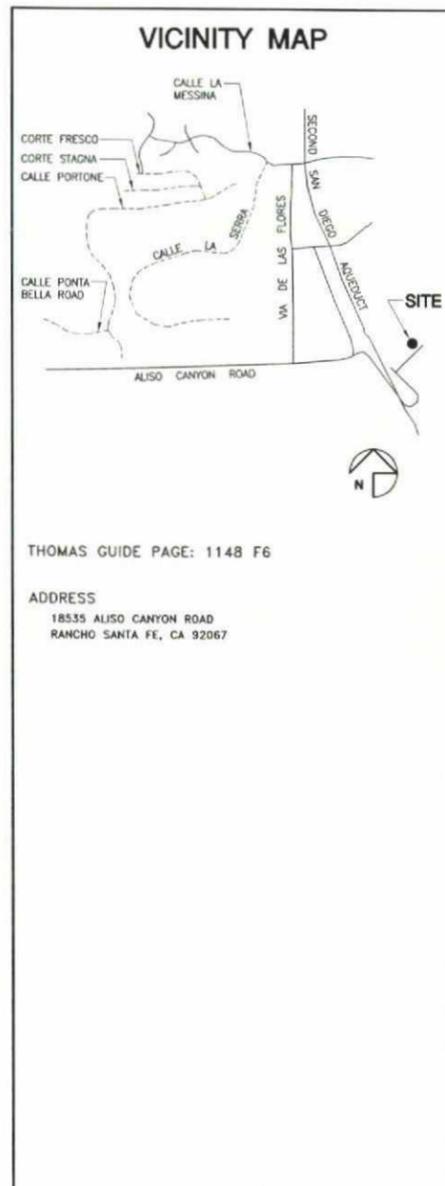




at&t
MOBILITY

BADGER
18535 ALISO CANYON ROAD
RANCHO SANTA FE, CA 92067
SD0668



CONSULTANT TEAM

ARCHITECT:
BOOTH & SUAREZ ARCHITECTURE INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

SURVEYOR:
FLOYD SURVEYING, INC.
26081 VIA REMOLINA
MISSION VIEJO, CA 92691
CONTACT: DAVID FLOYD
(949) 583-9082

PLANNING:
PLANCON, INC.
302 STATE PLACE
ESCONDIDO, CA 92029
KAREN ADLER
(760) 715-3416

LEASING:
PLANCON, INC.
302 STATE PLACE
ESCONDIDO, CA 92029
GREG MOORAD
(858) 603-2336

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

PROJECT SUMMARY

APPLICANT: AT&T MOBILITY
5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121
(858) 453-3388

OWNER: SANTA FE IRRIGATION DISTRICT
18535 ALISO CANYON ROAD
P.O. BOX 2081
RANCHO SANTA FE, CA 92067

CONTACT: COR SHAFFER
PHONE: (858) 756-2569

JURISDICTION: COUNTY OF SAN DIEGO

DEVELOPMENT SUMMARY:
AT&T MOBILITY TELECOMMUNICATION FACILITY THAT INCLUDES THE FOLLOWING MODIFICATIONS:

- INSTALLATION OF A CONCRETE BLOCK EQUIPMENT SHELTER
- INSTALLATION OF THREE ANTENNA SECTORS OF (4) ANTENNAS EACH (TOTAL OF 12 ANTENNAS) MOUNTED TO A NEW 60'-0" HIGH REPLACEMENT MONOPINE TREE
- INSTALL (4) RRU UNITS PER SECTOR (TOTAL OF 12) MOUNTED TO MONOPINE
- INSTALL NEW COAXIAL CABLE RUNS FROM PROPOSED 60'-0" HIGH MONOPINE TO NEW EQUIPMENT AREA
- INSTALLATION OF NEW 200 AMP ELECTRICAL SERVICE
- PROVIDE NEW TELCO/FIBER SERVICE CONNECTION
- INSTALLATION OF (2) NEW GPS ANTENNAS
- NO LANDSCAPE OR IRRIGATION IS PLANNED FOR THIS PROJECT

LEGAL DESCRIPTION:
PARCEL 1:
THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 13 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION PLEASE SEE SHEET C-2

PROJECT ADDRESS: 18535 ALISO CANYON ROAD
RANCHO SANTA FE, CA 92067

ASSESSORS PARCEL NUMBER: 265-270-78 PROPOSED DEVELOPMENT
265-270-23
265-270-79
265-270-90

EXISTING ZONING: A-70

EXISTING SITE AREA: 692,604 SQ. FT.
= 15.9 ACRES

PROPOSED SHELTER AREA: 300 SQ. FT.

TYPE OF CONSTRUCTION: VB

PROPOSED OCCUPANCY: U

NOTE: THERE ARE NO EXISTING TELECOMMUNICATIONS CARRIERS ON SITE. (PROPOSED VERIZON SITE PREVIOUSLY APPROVED P11-023W)

SHEET SCHEDULE

T-1	TITLE SHEET & PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT FLOOR PLAN
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS
A-4.1	ANTENNA, CSRF PLANS, CSRF ELEVATION SCHEMATIC & DETAILS
A-5	MONOPINE ELEVATION & DETAILS
LS-1	SITE SURVEY
LS-2	SITE SURVEY

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA BUILDING CODE, TITLE 24, 2010 EDITION
CALIFORNIA PLUMBING CODE, 2010 EDITION
CALIFORNIA MECHANICAL CODE, 2010 EDITION
CALIFORNIA ELECTRICAL CODE, 2010 EDITION
CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

at&t
MOBILITY

5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

BADGER

PROJECT NUMBER
SD0668

18535 ALISO CANYON ROAD
RANCHO SANTA FE, CA 92067
SAN DIEGO COUNTY

DRAWING DATES

02/08/13	90% ZD (r)
02/13/13	FINAL ZD (r)
05/01/13	REVISED ZD #1 (rc)
07/01/13	REVISED ZD #2 (r)
07/02/13	REVISED ZD #3 (r)

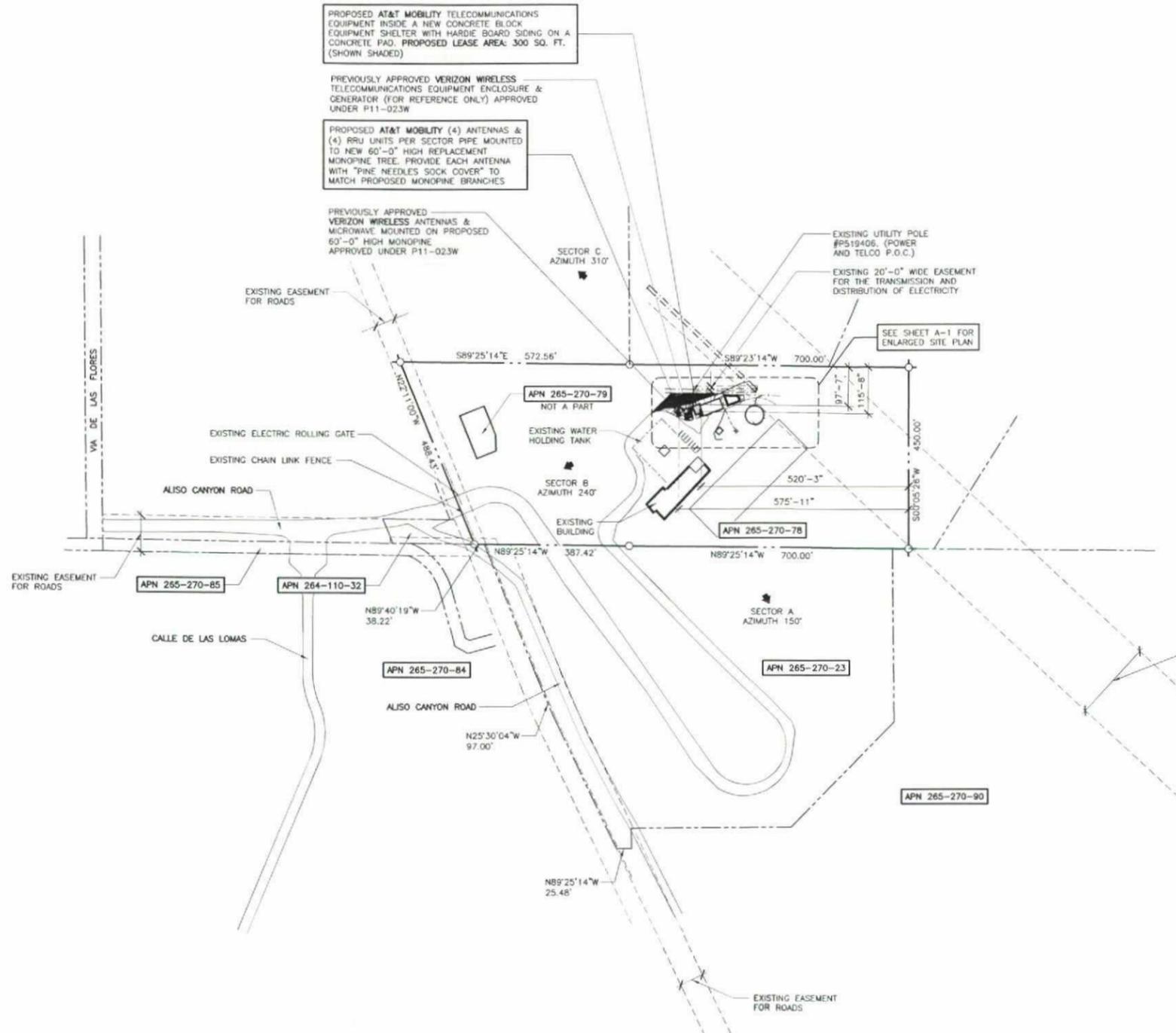
SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECTS\AT&T\13049

SDC PDS RCVD 07-16-13 **T-1**
MUP11-023W2

P11-023W2



PROPOSED AT&T MOBILITY TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK EQUIPMENT SHELTER WITH HARDIE BOARD SIDING ON A CONCRETE PAD. PROPOSED LEASE AREA: 300 SQ. FT. (SHOWN SHADED)

PREVIOUSLY APPROVED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ENCLOSURE & GENERATOR (FOR REFERENCE ONLY) APPROVED UNDER P11-023W

PROPOSED AT&T MOBILITY (4) ANTENNAS & (4) RRU UNITS PER SECTOR PIPE MOUNTED TO NEW 60'-0" HIGH REPLACEMENT MONOPINE TREE. PROVIDE EACH ANTENNA WITH "PINE NEEDLES SOCK COVER" TO MATCH PROPOSED MONOPINE BRANCHES

PREVIOUSLY APPROVED VERIZON WIRELESS ANTENNAS & MICROWAVE MOUNTED ON PROPOSED 60'-0" HIGH MONOPINE APPROVED UNDER P11-023W

EXISTING UTILITY POLE #P519406, (POWER AND TELCO P.O.C.)

EXISTING 20'-0" WIDE EASEMENT FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY

SEE SHEET A-1 FOR ENLARGED SITE PLAN

**STORM WATER QUALITY NOTES
CONSTRUCTION BMPs**

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE COUNTY OF SAN DIEGO LAND DEVELOPMENT CODE.
2. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
3. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
5. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
6. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
7. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

Booth & Suarez
ARCHITECTURE INCORPORATED
395 CARLEAD VILLAGE DRIVE, SUITE B7
CARLEAD, CA 92008 (760) 434-8474



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MOBILITY
5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121

APPROVALS

R.F.	DATE
ZONING	DATE
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LANDLORD APPROVAL	DATE

PROJECT NAME
BADGER

PROJECT NUMBER
SD0668

18535 ALISO CANYON ROAD
RANCHO SANTE FE, CA 92067
SAN DIEGO COUNTY

DRAWING DATES

02/08/13	90X ZD (rl)
02/13/13	FINAL ZD (rl)
05/01/13	REVISED ZD #1 (nc)
07/01/13	REVISED ZD #2 (rl)
07/02/13	REVISED ZD #3 (rl)

LAND DISTURBANCE:

SHELTER:	300 SQ. FT.
MONOTREE FOOTING:	36 SQ. FT.
HARDSCAPE:	140 SQ. FT.
COAX CABLE TRENCH:	70 SQ. FT.
TOTAL:	546 SQ. FT.

AT&T MOBILITY TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

824-880 MHz BANDWIDTH
1865-1980 MHz BANDWIDTH
200 WATTS PER SECTOR

BOUNDARY NOTE:
THE PROJECT BOUNDARY SHOWN ON THIS DRAWING IS APPROXIMATE AND IS SHOWN FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED.

EASEMENTS:
ALL EASEMENTS SHOWN REFLECT PRELIMINARY RESEARCH OF RECORDED PARCEL MAPS & TITLE REPORT.

SITE PLAN
SCALE: 1" = 100'-0"
MAGNETIC NORTH

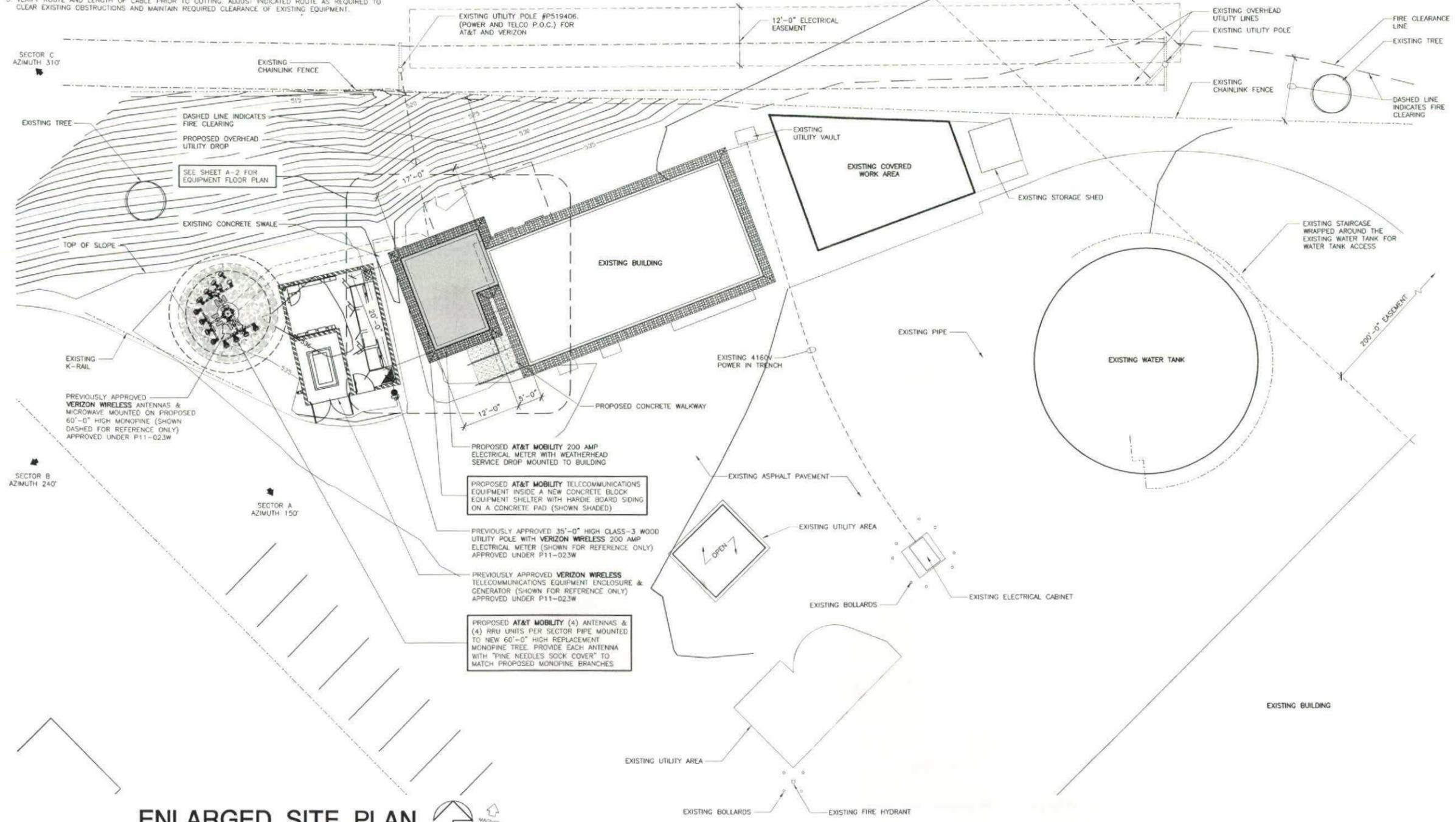
SHEET TITLE
SITE PLAN

PROJECTS\AT&T\13049

A-0

ANTENNA AND COAXIAL CABLE SCHEDULE													
SECTOR ANTENNA	DIRECTION	AZMUTH	ANTENNA MODEL NUMBER	DOWNWILT	RRUS	SKEW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX CABLE LENGTH (+ / - 5')	EQUIPMENT JUMPER LENGTH (+ / - 3')	CSRJ JUMPER LENGTH (+ / - 3')	ANTENNA JUMPER LENGTH (+ / - 3')	COAX SIZE
A1	SOUTHEAST	150°	ERICSSON AIR-21 KRC 118-0XX/1	0'	(4) RRU	N/A		8	110'-0"	10'-0"	13'-6"	9'-0"	7/8" / FIBER
A2			ERICSSON AIR-21 KRC 118-0XX/1										
A3			ERICSSON AIR-21 KRC 118-0XX/1										
A4			ERICSSON AIR-21 KRC 118-0XX/1										
B1	SOUTHWEST	240°	ERICSSON AIR-21 KRC 118-0XX/1	0'	(4) RRU	N/A		8	110'-0"	10'-0"	13'-6"	9'-0"	7/8" / FIBER
B2			ERICSSON AIR-21 KRC 118-0XX/1										
B3			ERICSSON AIR-21 KRC 118-0XX/1										
B4			ERICSSON AIR-21 KRC 118-0XX/1										
C1	NORTHWEST	310°	ERICSSON AIR-21 KRC 118-0XX/1	0'	(4) RRU	N/A		8	110'-0"	10'-0"	15'-0"	9'-0"	7/8" / FIBER
C2			ERICSSON AIR-21 KRC 118-0XX/1										
C3			ERICSSON AIR-21 KRC 118-0XX/1										
C4			ERICSSON AIR-21 KRC 118-0XX/1										
PROPOSED GPS			SYMMETRICOM 58532A GPS L1					2	20'-0"				1/2"
PROPOSED GPS			SYMMETRICOM 58532A GPS L1					2	20'-0"				1/2"

- NOTES:
- LTE ANTENNAS RRU UNITS TO INCLUDE CROSS SECTOR REDUNDANCY FEATURE FOR BOTH RRU UNITS PER DETAIL & CSRJ PLAN SHEET A4.1
 - FIELD VERIFY ALL CABLE LENGTHS PRIOR TO ORDERING CABLE
 - VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE OF EXISTING EQUIPMENT.



ENLARGED SITE PLAN
SCALE: 1" = 10'-0"

Booth & Suarez
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CARLSBAD CA 92008 (760) 434-6474

PREPARED FOR
at&t MOBILITY
5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121

APPROVALS

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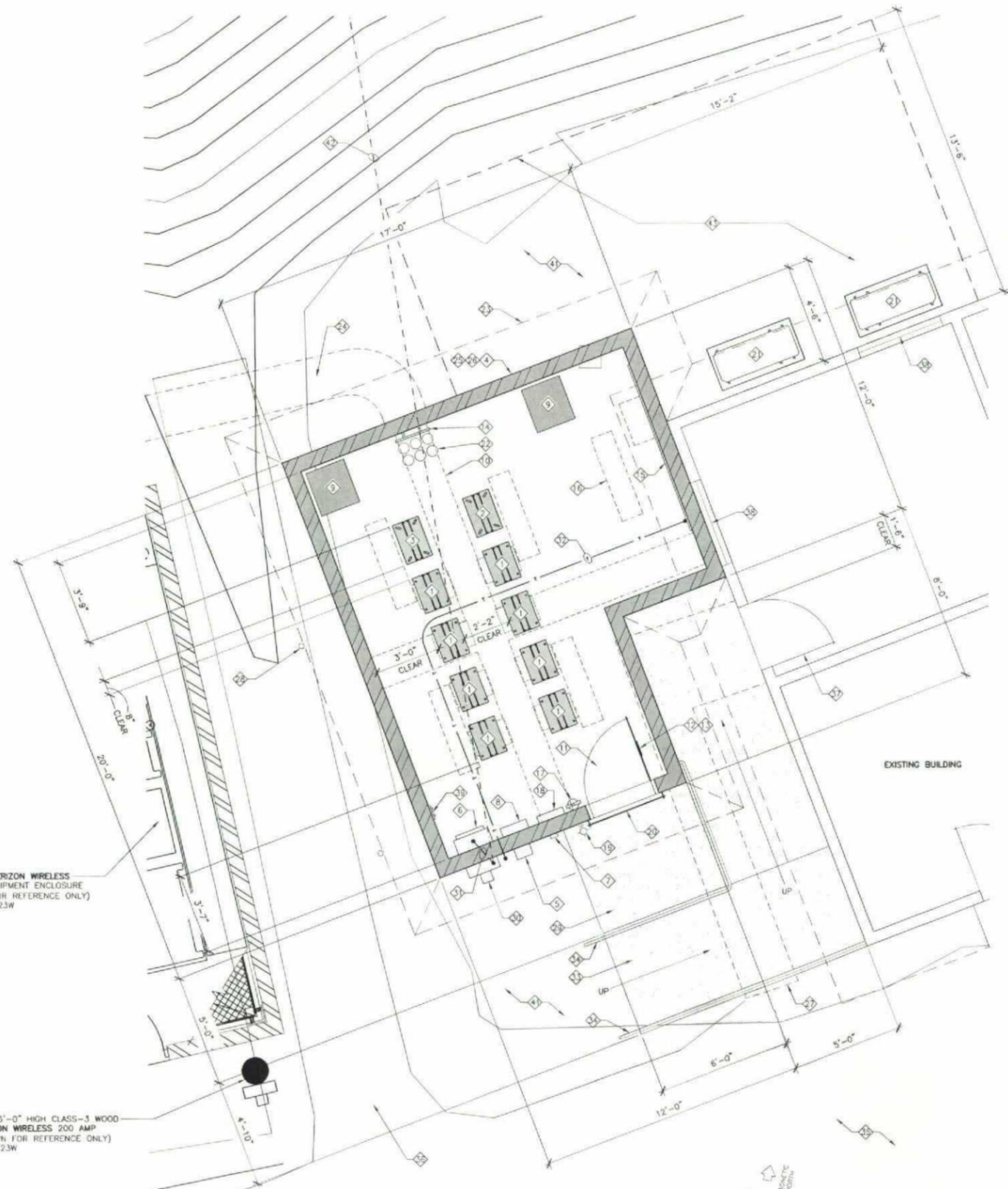
PROJECT NAME
BADGER
PROJECT NUMBER
SD0668
18535 ALISO CANYON ROAD
RANCHO SANTE FE, CA 92067
SAN DIEGO COUNTY

DRAWING DATES

02/08/13	90% ZD (H)
02/13/13	FINAL ZD (H)
05/01/13	REVISED ZD #1 (nc)
07/01/13	REVISED ZD #2 (ri)
07/02/13	REVISED ZD #3 (ri)

SHEET TITLE
ENLARGED SITE PLAN

PROJECTS\AT&T\13049



PREVIOUSLY APPROVED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ENCLOSURE & GENERATOR (SHOWN FOR REFERENCE ONLY) APPROVED UNDER P11-023W

PREVIOUSLY APPROVED 35'-0" HIGH CLASS-3 WOOD UTILITY POLE WITH VERIZON WIRELESS 200 AMP ELECTRICAL METER (SHOWN FOR REFERENCE ONLY) APPROVED UNDER P11-023W

EQUIPMENT FLOOR PLAN

SCALE: 3/8" = 1'-0"



EQUIPMENT FLOOR PLAN NOTES:

- 1 PROPOSED AT&T MOBILITY 19" RACK (TYPICAL OF 8) WEIGHT: 500 LBS. EACH, INSTALLED BY CONTRACTOR
- 2 PROPOSED AT&T MOBILITY ARGUS/ALPHA POWER SYSTEM RACK (TYPICAL OF 1) (MAXIMUM OF 8 BATTERIES), 22.5" WIDE x 21" DEEP x 84" HIGH, WEIGHT: 1650 LBS. EACH, INSTALLED BY CONTRACTOR
- 3 PROPOSED AT&T MOBILITY ARGUS/ALPHA EXPANSION BATTERY RACK (TYPICAL OF 1) (MAXIMUM OF 24 BATTERIES EACH), 22.5" WIDE x 21" DEEP x 84" HIGH, WEIGHT: 2800 LBS. EACH, INSTALLED BY CONTRACTOR
- 4 PROPOSED AT&T MOBILITY CONCRETE BLOCK EQUIPMENT SHELTER WITH HARDIE BOARD FINISH
- 5 PROPOSED LUG BOX FOR PORTABLE EMERGENCY GENERATOR CONNECTION (NO GENERATOR SHALL BE STORED ON SITE)
- 6 PROPOSED "INTERSECT, INC." MP SERIES 200AMP POWER DISTRIBUTION LOAD CENTER WITH MANUAL TRANSFER SWITCH MOUNTED TO WALL (20" WIDE x 10" DEEP x 40" HIGH) WEIGHT: 90 LBS.
- 7 PROPOSED "TRACCESS" LOCK BOX SHALL BE PROVIDED BY AT&T MOBILITY FOR INSTALLATION BY GENERAL CONTRACTOR
- 8 PROPOSED WALL MOUNTED ENVIRONMENTAL CONTROL PANEL
- 9 PROPOSED FAN COIL UNITS WITH OUTDOOR CONDENSERS UNITS, LOCATED IN MECHANICAL WELL
- 10 PROPOSED 18" WIDE OVERHEAD CABLE LADDER @ +7'-6" (TYPICAL)
- 11 12" x 12" x 1/8" VINYL FLOOR TILES: EXCELON #51826 SHELTER WHITE WITH 4" COVE BASE
- 12 NEW 3'-0" x 6'-8" WIDE STEEL DOOR AND FRAME WITH AT&T MOBILITY SIGNAGE
- 13 PROPOSED BATTERY CAUTION SIGN ON DOOR
- 14 PROPOSED MAIN GROUND BUSS BAR
- 15 PROPOSED 84" x 48" x 3/4" WALL MOUNTED PLYWOOD TELCO BOARD & EQUIPMENT
- 16 PROPOSED SURFACE MOUNTED 1' x 4' FLUORESCENT LIGHT FIXTURE (TYPICAL OF 5)
- 17 GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "2A-100C" FIRE EXTINGUISHER IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS
- 18 GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL "GRANGER" MODELS SM582 AND 6T401 WALL MOUNTED FIRST AID KIT WITH BLOOD BORNE PATHOGEN KIT AND PLASTIC SAFETY BIN WITH EMERGENCY EYEWASH STATION
- 19 PROPOSED EXTERIOR LIGHT FIXTURE
- 20 PROPOSED ALUMINUM THRESHOLD
- 21 PROPOSED CONDENSER UNITS ON A CONCRETE PAD, CARRIER: AIR CONDITIONING UNITS MODEL 3BH0R060 OR EQUIVALENT SIZED UNIT
- 22 PROPOSED (6) 6" COAXIAL CABLE CONDUIT SLEEVES (TYP.)
- 23 PROPOSED ROOF OVERHANG (SHOWN DASHED)
- 24 PROPOSED COAXIAL CABLE TRENCH, LENGTH OF TRENCH: 45'-0" (SHOWN DASHED)
- 25 PROPOSED CONCRETE BLOCK WALL (SHOWN SHADED)
- 26 PROPOSED AT&T MOBILITY EQUIPMENT INSIDE A PROPOSED CONCRETE BLOCK EQUIPMENT SHELTER WITH HARDIE BOARD FINISH AND SPANISH TILE MANSARD ROOF ON A POURED IN PLACE CONCRETE PAD. EQUIPMENT SHELTER TO COMPLY WITH COUNTY POLICY FP-2
- 27 REMOVE EXISTING CONCRETE WALKWAY (SHOWN DASHED)
- 28 PROPOSED GPS ANTENNAS MOUNTED TO ROOF OVERHEAD
- 29 PROPOSED CONCRETE LANDING
- 30 PROPOSED AT&T MOBILITY 200 AMP ELECTRICAL METER WITH WEATHERHEAD SERVICE DROP MOUNTED TO BUILDING
- 31 PROPOSED POWER UTILITY CONDUIT, LENGTH: 100'-0"
- 32 PROPOSED TELCO UTILITY CONDUIT, LENGTH: 100'-0"
- 33 PROPOSED CONCRETE RAMP & WALKWAY
- 34 PROPOSED GUARDRAIL
- 35 EXISTING ASPHALT PAVEMENT
- 36 EXISTING ASPHALT SWALE
- 37 EXISTING DOOR
- 38 EXISTING WINDOW
- 39 GENERAL CONTRACTOR SHALL PROVIDE A BROOM, DUSTPAN AND WALL HOOKS
- 40 NOT USED
- 41 EXISTING GRASS/DIRT AREA
- 42 PROPOSED OVERHEAD UTILITY DROP
- 43 PROPOSED AT&T MOBILITY LEASE AREA



PREPARED FOR



5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121

APPROVALS

R.F.	DATE
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SD0668

18535 ALISO CANYON ROAD
RANCHO SANTE FE, CA 92067

SAN DIEGO COUNTY

DRAWING DATES

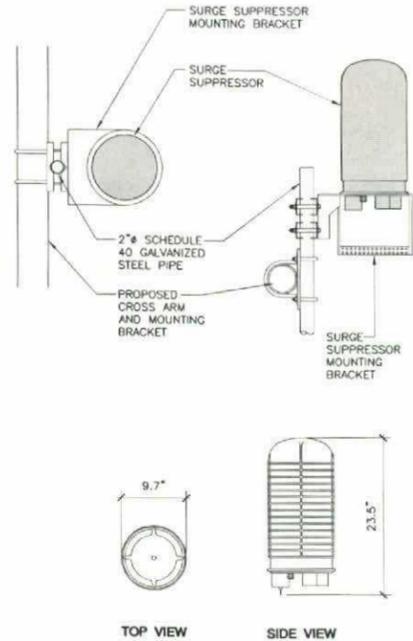
02/08/13	90% ZD (r)
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05/01/13	REVISED ZD #1 (nc)
07/01/13	REVISED ZD #2 (r)
07/02/13	REVISED ZD #3 (r)

SHEET TITLE

EQUIPMENT FLOOR PLAN

PROJECTS\AT&T\13049

A-2



WEIGHT: 30.0 LBS.

SURGE PROTECTOR (SQUID) (AT&T)

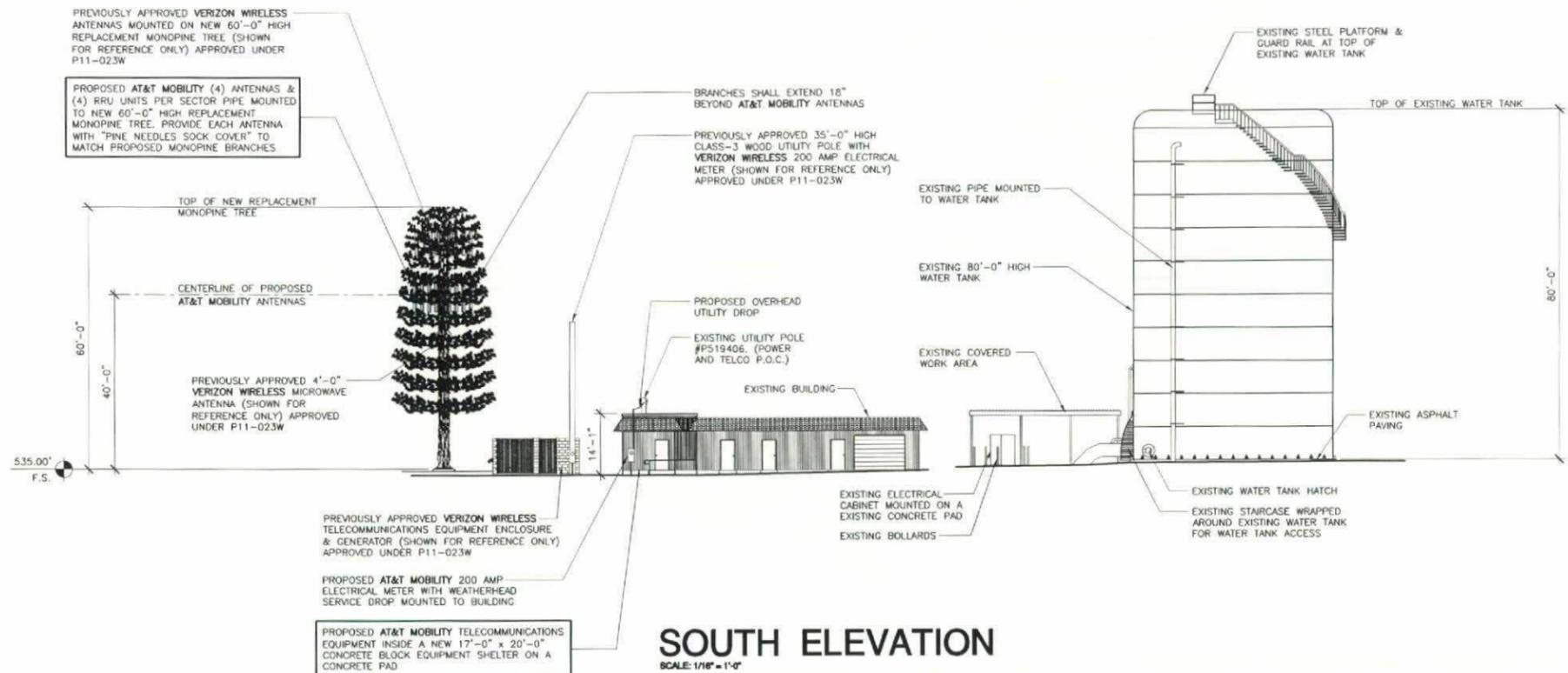
SCALE N.T.S. 1

NO DETAIL THIS SPACE

2

NO DETAIL THIS SPACE

3

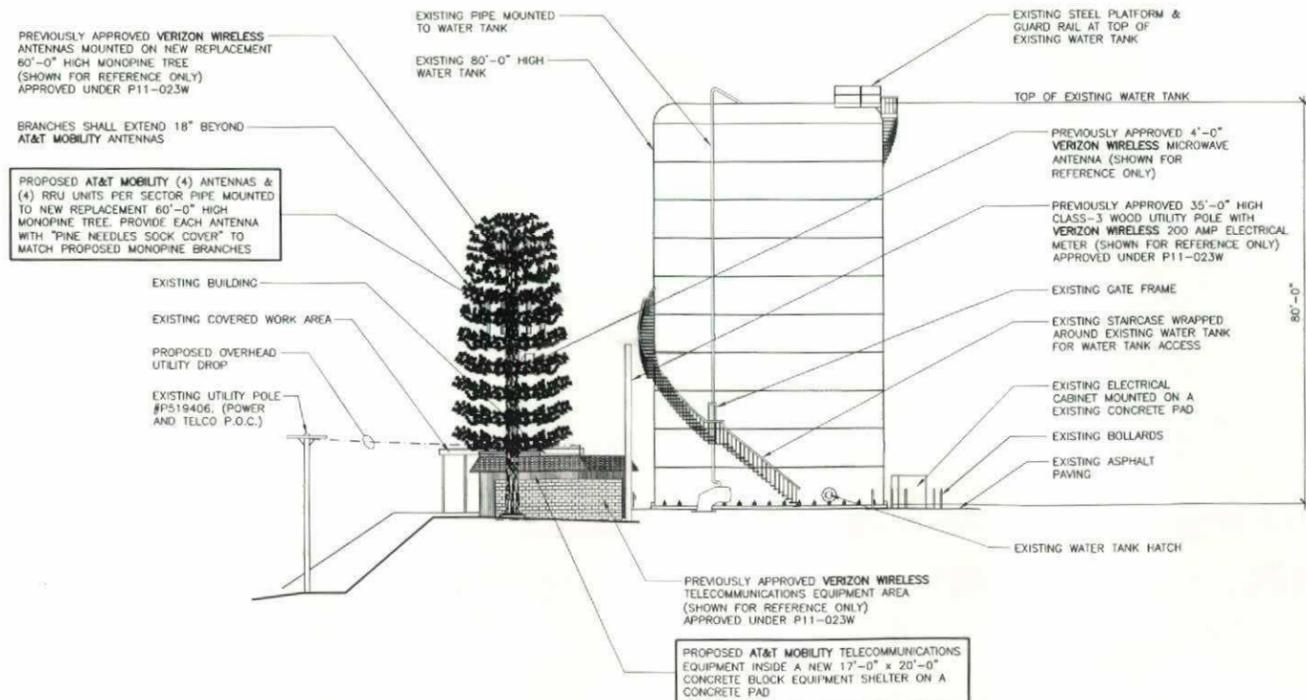


SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

COLOR SPEC:

PROPOSED AT&T MOBILITY EQUIPMENT SHELTER TO BE PAINTED BEIGE TO MATCH NEARBY EXISTING BUILDING.



WEST ELEVATION

SCALE: 1/16" = 1'-0"

Booth & Suarez

ARCHITECTURE INCORPORATED
395 CARLSBAD VILLAGE DRIVE, SUITE 09
CARLSBAD, CA 92008 (760) 434-8474



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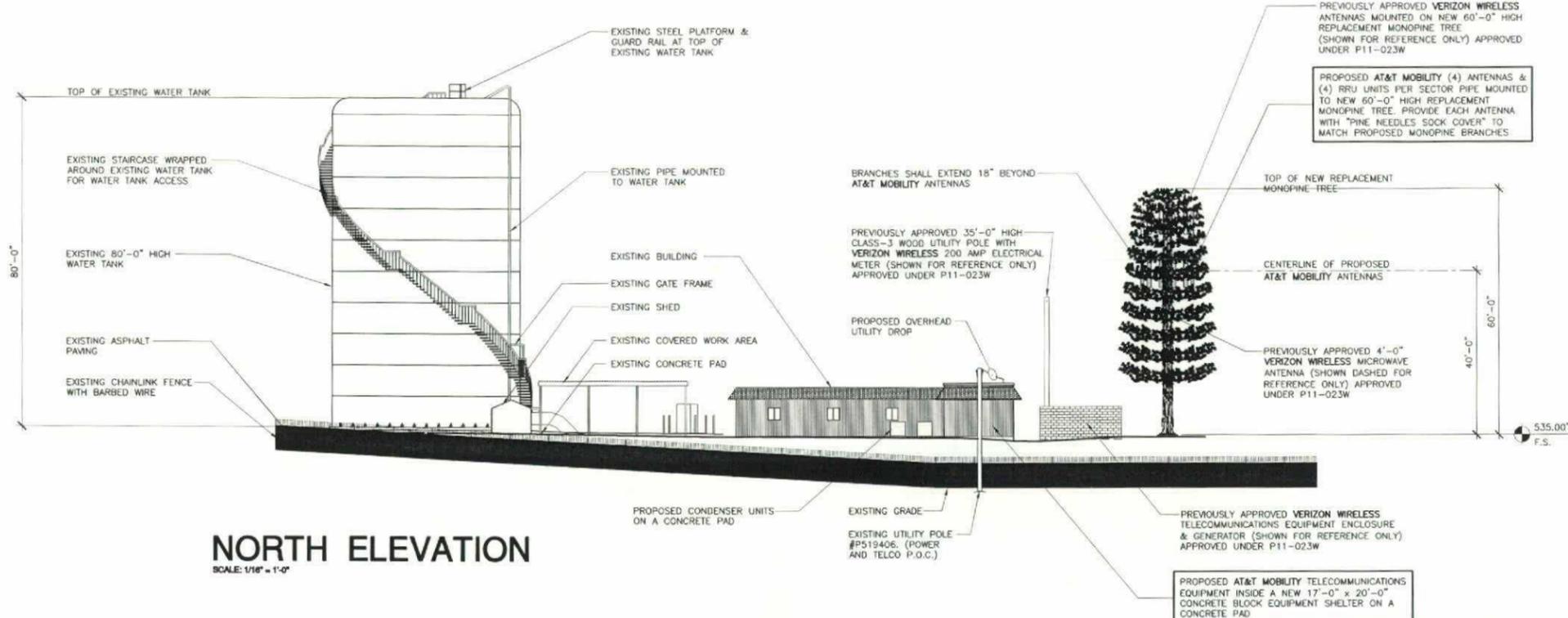
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07/01/13	REVISED ZD #2 (r)
07/02/13	REVISED ZD #3 (r)

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\AT&T\13049

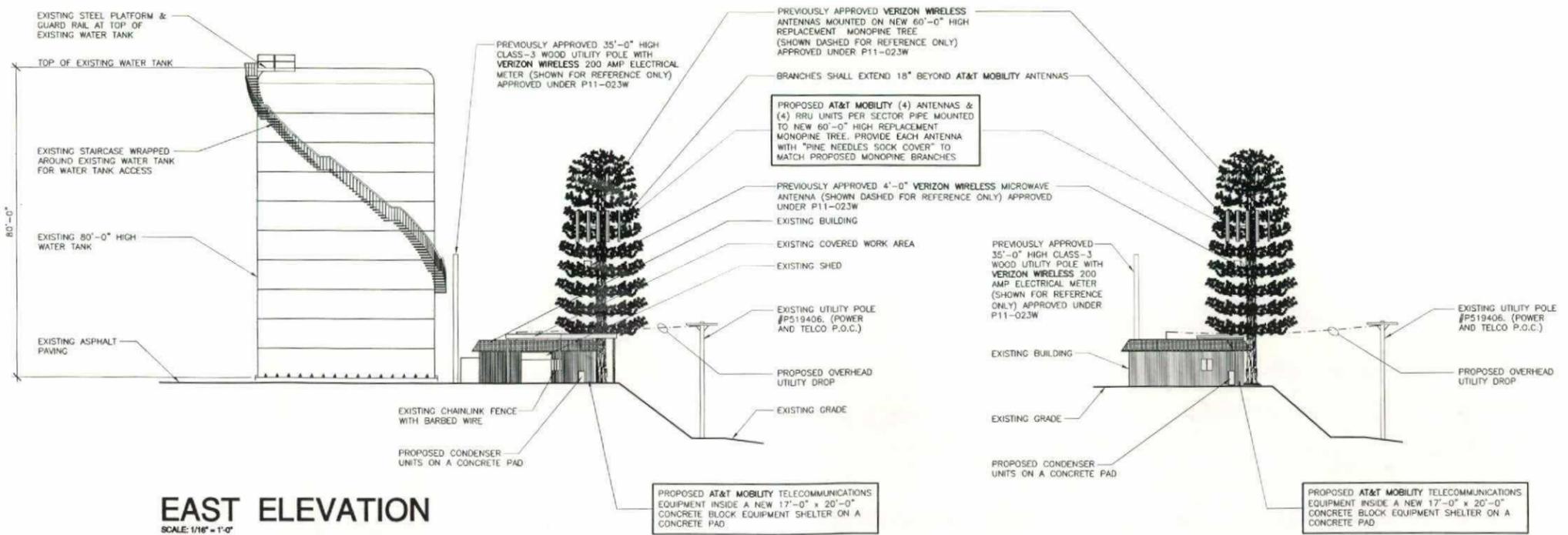
A-3



NORTH ELEVATION

SCALE: 1/16" = 1'-0"

COLOR SPEC:
 PROPOSED AT&T MOBILITY EQUIPMENT SHELTER TO BE PAINTED BEIGE TO MATCH NEARBY EXISTING BUILDING.



EAST ELEVATION

SCALE: 1/16" = 1'-0"

PARTIAL EAST ELEVATION

SCALE: 1/16" = 1'-0"

APPROVALS

R.F.	DATE
ZONING	DATE
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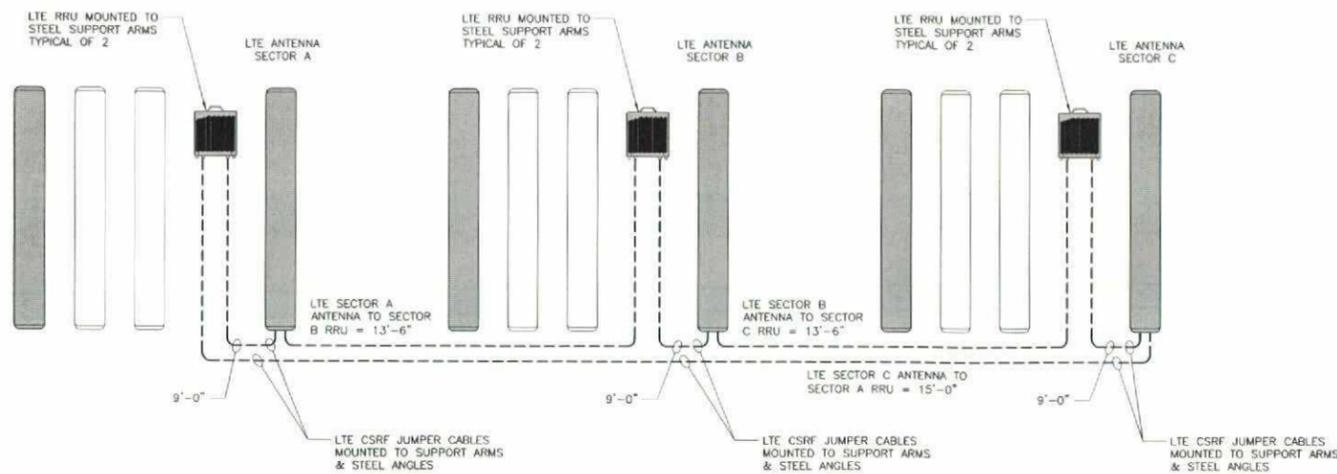
SAN DIEGO COUNTY

DRAWING DATES

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07/02/13	REVISED ZD #3 (r)

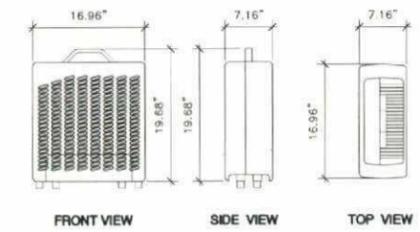
SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\AT&T\13049



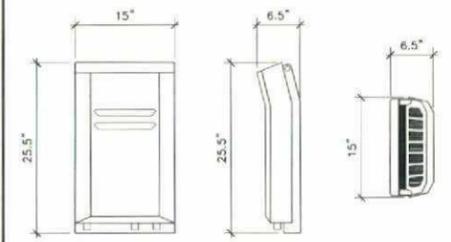
CSRf ELEVATION SCHEMATIC
SCALE: N.T.S.

NOTE:
SCHEMATIC SHOWS ONLY ONE OF TWO RRUS FOR CLARITY



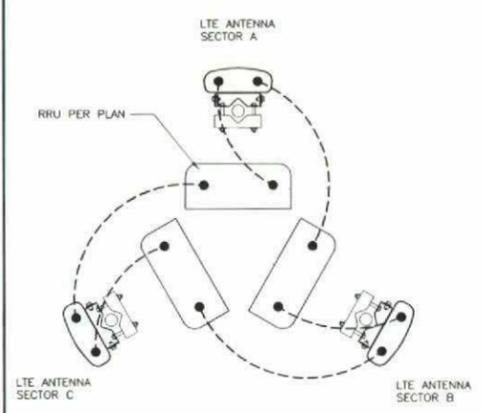
NOTE:
RRU UNITS SHALL NOT BE MOUNTED HORIZONTALLY OR UPSIDE DOWN.

REMOTE RADIO UNIT (RRU-11) SCALE: NONE 1



NOTE:
RRU UNITS SHALL NOT BE MOUNTED HORIZONTALLY OR UPSIDE DOWN.

REMOTE RADIO UNIT (RRU) SCALE: NONE 2

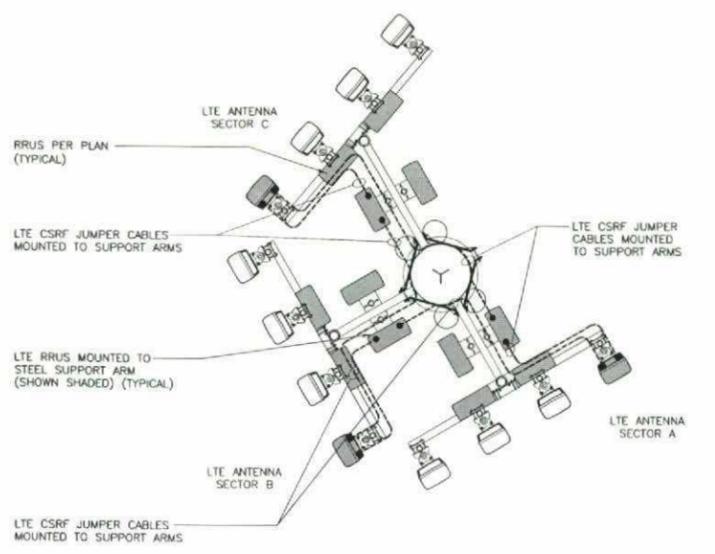


CROSS SECTION REDUNDANCY FEATURE

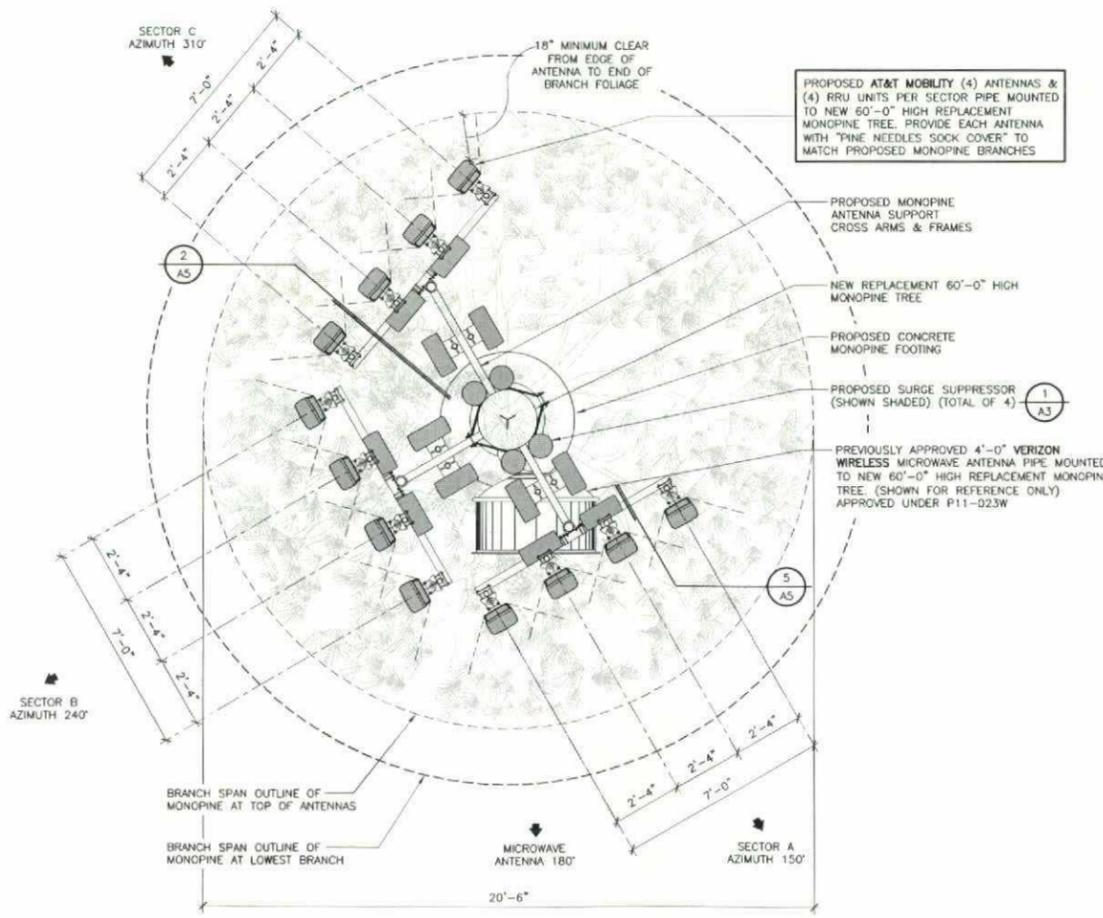
NOTE:
CROSS SECTION REDUNDANCY FEATURE, ONE RF OUTPUT FROM EACH SECTOR'S RADIO HEAD CONNECTS TO A DIFFERENT SECTOR'S ANTENNA INPUT, WHILE THE OTHER RF OUTPUT CONNECTS TO ITS OWN SECTOR'S ANTENNA INPUT VIA RF JUMPER

1. ALL RF CABLE LENGTHS ARE WITHIN 9FT. OF EACH OTHER ACROSS ALL SECTORS. FOR EXAMPLE, SECTOR A'S SHORTEST JUMPER IS 6 FT; THEREFORE SECTOR C'S LONGEST JUMPER CAN BE NO MORE THAN 15FT. LONG. MAXIMUM TOTAL CABLE LENGTH FOR 2 CABLES IS 35'-0"
2. ALL RF CABLE JUMPERS MUST USE PRE-MADE JUMPERS WITH PRE-INSTALLED CONNECTORS ON BOTH ENDS, AS PER RF AND CTO BEST PRACTICES AND GUIDELINES. USE ONLY LDF OR LCF12 JUMPERS FROM APPROVED RF JUMPER CABLE VENDORS (ANDREW AND RFS). DO NOT USE SUPERFLEX TYPE JUMPERS.

LTE SITE - RADIO HEAD CONFIGURATION SCALE: N.T.S. 3



CSRf PLAN
SCALE: 3/8" = 1'-0"



ANTENNA PLAN
SCALE: 3/8" = 1'-0"

PREPARED FOR
at&t MOBILITY
5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME
BADGER

PROJECT NUMBER
SD0668

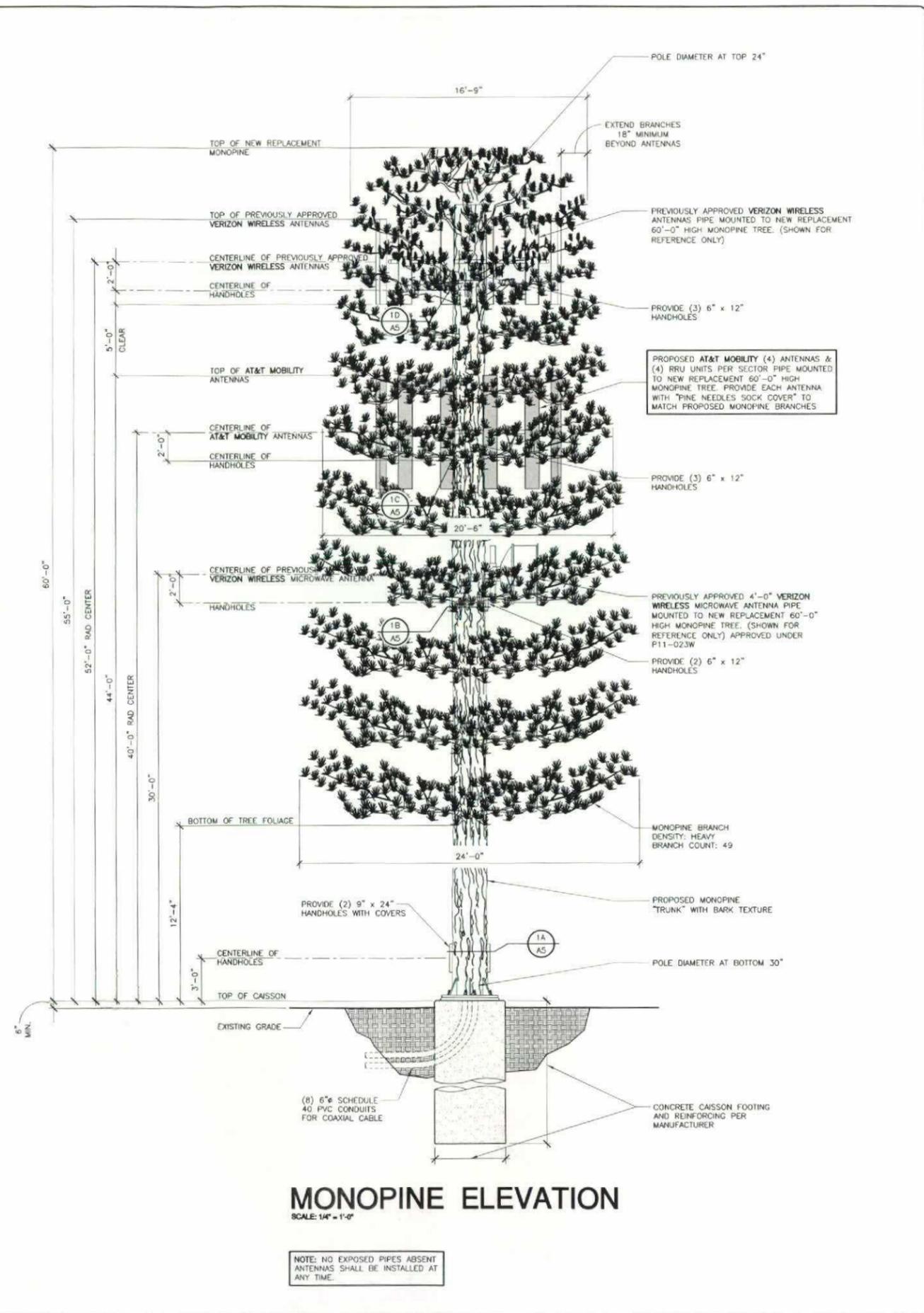
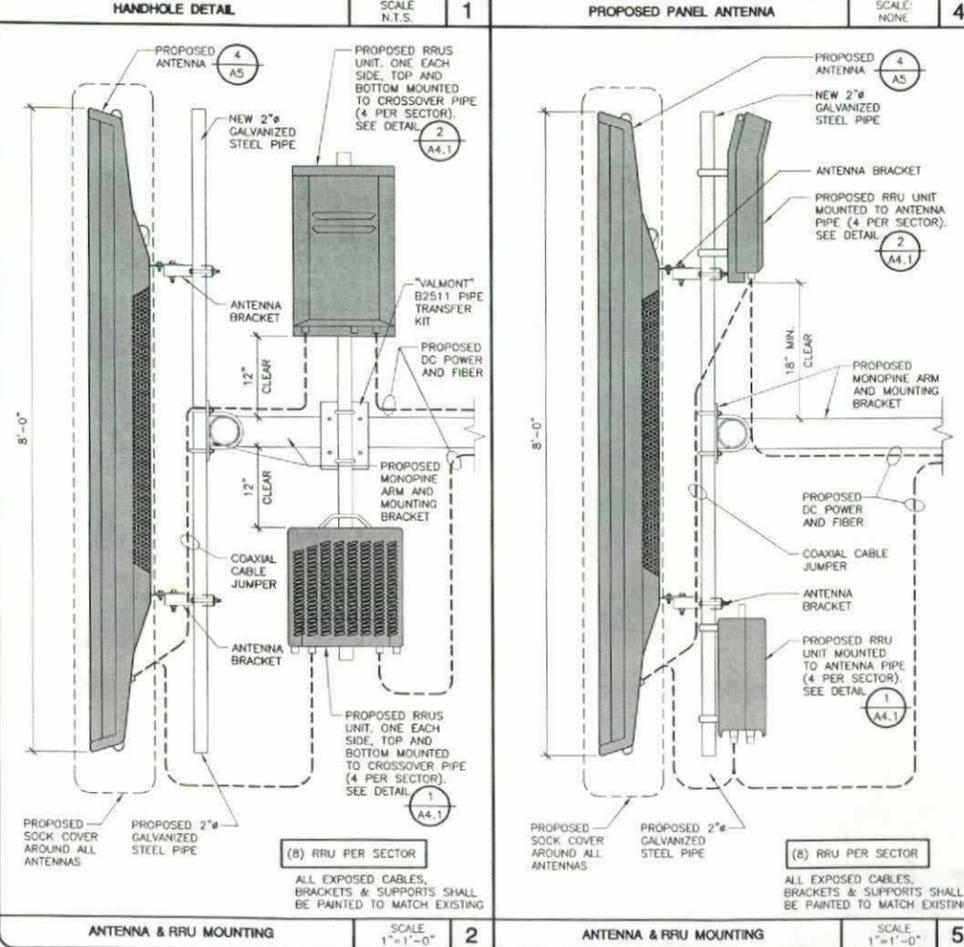
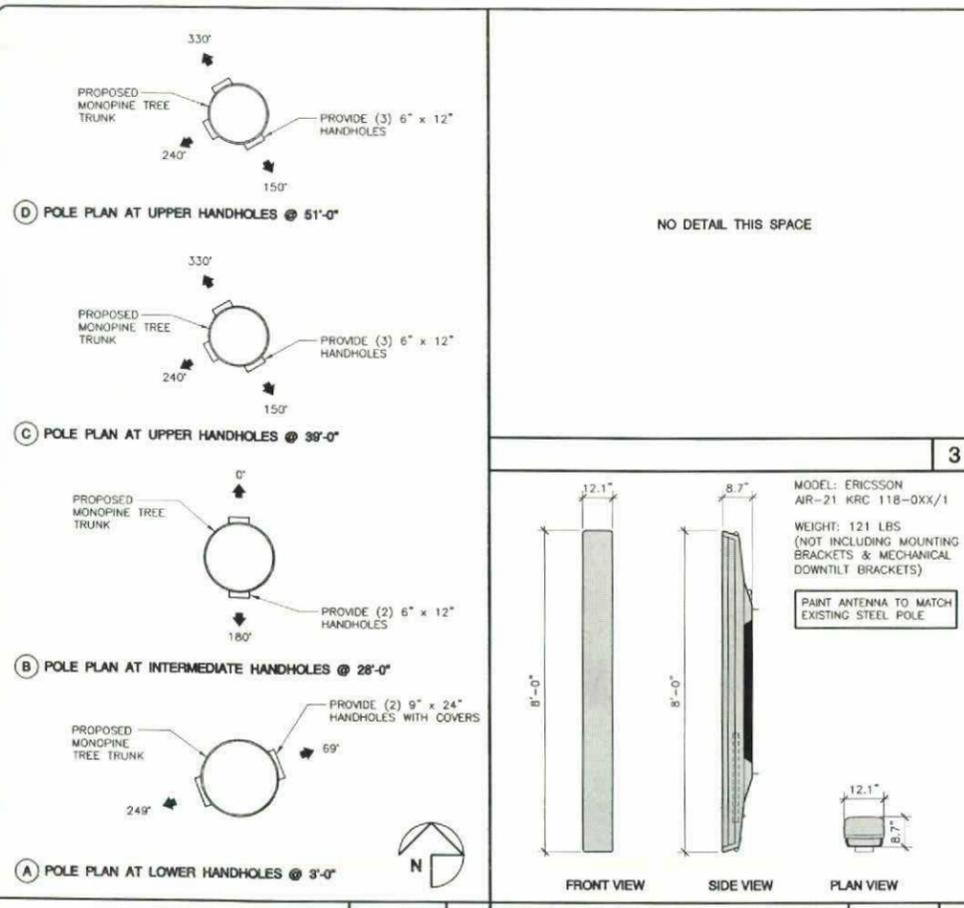
18535 ALISO CANYON ROAD
RANCHO SANTE FE, CA 92067
SAN DIEGO COUNTY

DRAWING DATES

02/08/13	90% ZD (r1)
02/13/13	FINAL ZD (r1)
05/01/13	REVISED ZD #1 (nc)
07/01/13	REVISED ZD #2 (r1)
07/02/13	REVISED ZD #3 (r1)

SHEET TITLE
ANTENNA, CSRf PLANS, CSRf ELEVATION SCHEMATIC & DETAILS

PROJECTS\AT&T\13049



BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
335 CARLSBAD VILLAGE DRIVE, SUITE 00
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

at&t
MOBILITY

5738 PACIFIC CENTER BLVD.
SAN DIEGO, CA 92121

APPROVALS

R.F.	DATE
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18535 ALISO CANYON ROAD
RANCHO SANTE FE, CA 92067
SAN DIEGO COUNTY

DRAWING DATES

02/08/13	90% ZD (r)
02/13/13	FINAL ZD (r)
05/01/13	REVISED ZD #1 (nc)
07/01/13	REVISED ZD #2 (r)
07/02/13	REVISED ZD #3 (r)

SHEET TITLE

MONOPINE ELEVATION & DETAILS

PROJECTS: AT&T, 13049

A-5

OWNER'S NAME: SAN DIEGUITO WATER DISTRICT
 ASSESSOR'S PARCEL NUMBER(S) 265-270-78-00

BASIS OF BEARINGS: (NAD 83; Epoch 2002)
 THE BEARINGS SHOWN HEREON ARE BASED ON TRUE NORTH AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.

BASIS OF ELEVATIONS: NAVD 1988
 ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM TWO NATIONAL GEODETIC SURVEY C.O.R.S. REFERENCE STATIONS: 1) PLOS, ELEVATION = 44.68' AND 2) MONP, ELEVATION = 6152.81' WITH GEOD 2009 CORRECTIONS APPLIED.

SITE DATA

FEMA FLOOD ZONE DESIGNATION: National Flood Insurance Program.
 County: SAN DIEGO Effective Date: 5/16/2012
 Panel: 1070G Community-Panel Number: 06073C
 The Flood Zone Designation for this site is: ZONE: X

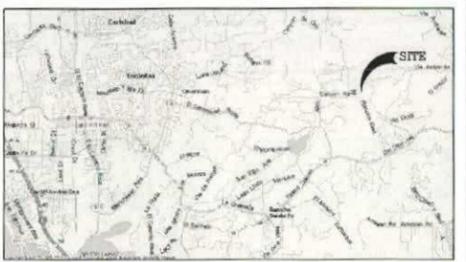
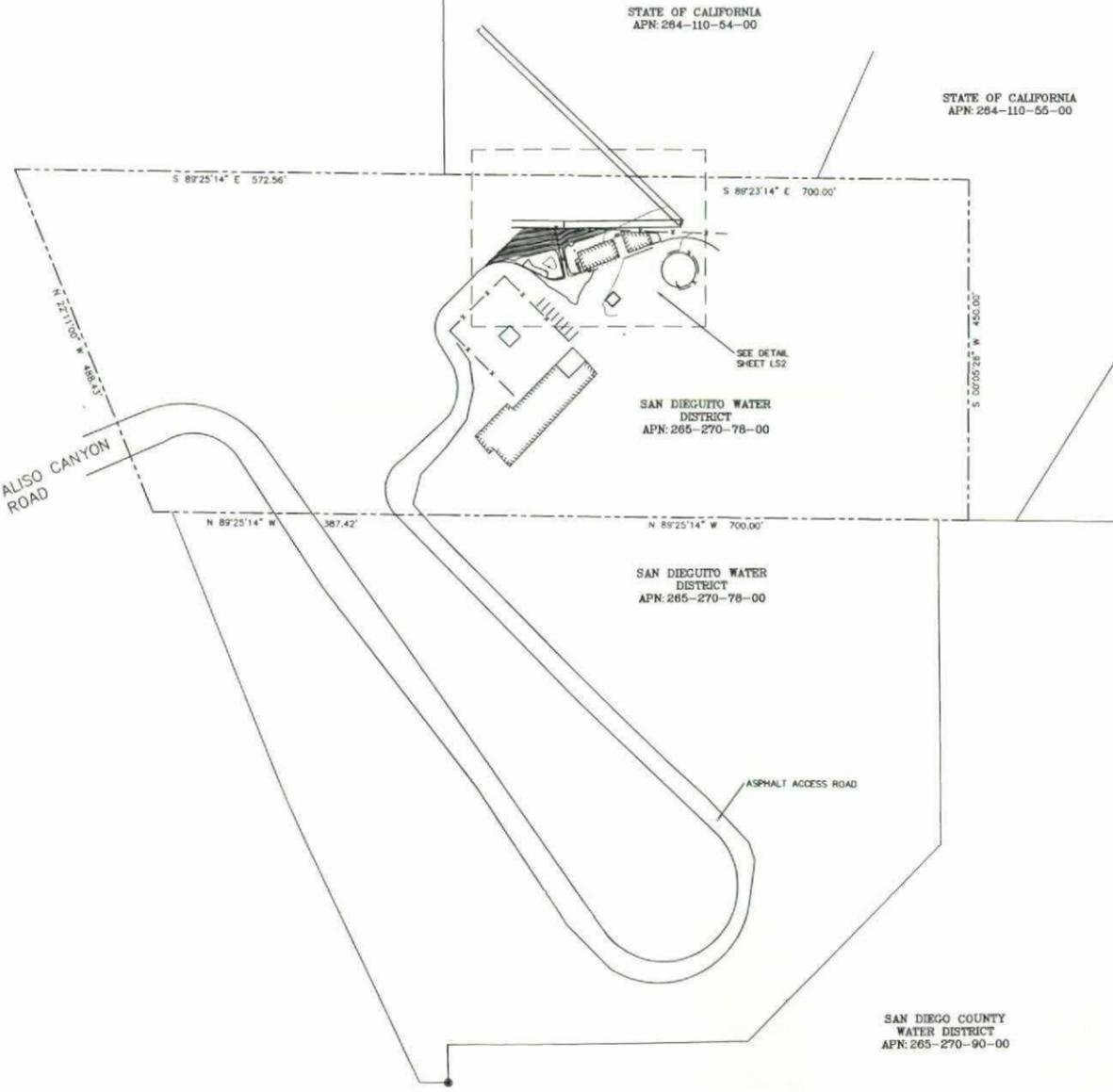
FEMA FLOOD ZONE INFORMATION

(WAITING FOR TITLE)

TITLE REPORT NOTES

(WAITING FOR TITLE)

PROPERTY LEGAL DESCRIPTION



VICINITY MAP

LEGEND

These standard symbols will be found in the drawing.

■	ELECTRIC BOX
□	FIRE HYDRANT
●	MONUMENT FOUND
⊙	UTILITY POLE
▭	BUILDING
----	ASPHALT SURFACE
----	BOTTOM OF CURB
----	EDGE OF CONCRETE
----	ELECTRICAL VAULT
----	EDGE OF PAVEMENT
----	FENCE TOP
----	LIP OF GUTTER
----	GROUND SPOT ELEVATION
----	PAINT STRIPING
----	ROOF TOE
----	ROOF TOP
----	SIDEWALK
----	TOP OF CURB
----	WALL TOP
----	UTILITY POLE TOP
----	V-GUTTER ASPHALT
----	WIRE OVERHEAD
----	BOUNDARY LINE
----	CENTERLINE
----	MISC. PROPERTY LINE
----	MISC. TIE LINE
----	RIGHT-OF-WAY LINE
----	EASEMENT LINE
----	FENCE LINE

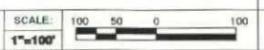
LEGEND

1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.

2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.

3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.

4) Field survey completed on FEBRUARY 5, 2013.



OVERALL SITE PLAN

GENERAL NOTES

Booth Suarez &
 ARCHITECTURE INCORPORATED
 995 CARLSBAD VILLAGE DRIVE, SUITE 09
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

at&t
 MOBILITY

6925 LUSK BOULEVARD
 SAN DIEGO, CA 92121

PREPARED BY: DAF
 CHECKED BY: DAF
 APPROVED BY: DAF

#	DATE	REVISIONS
1	2/8/13	SITE SURVEY

FLOYD SURVEYING
 2621 GREEN RIVER RD.
 STE 105--202
 CORONA, CA 92882
 CELL: (949) 200-0626
 EMAIL: fs@floydsurveying.com

SITE NAME
BADGER

SITE NUMBER
SD0668

SITE ADDRESS
 18535 ALISO CANYON ROAD
 RANCHO SANTA FE, CA 92067

SHEET TITLE
**SITE SURVEY
 GENERAL INFORMATION**

SHEET NUMBER
LS1

Booth Suarez &
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE, SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



6925 LUSK BOULEVARD
 SAN DIEGO, CA 92121

PREPARED BY: DAF
 CHECKED BY: DAF
 APPROVED BY: DAF

#	DATE	REVISIONS
1	2/8/13	SITE SURVEY

FLOYD SURVEYING
 2621 GREEN RIVER RD.
 STE 105-202
 CORONA, CA 92882
 CELL: (949) 200-0626
 EMAIL: fsi@floydsurveying.com



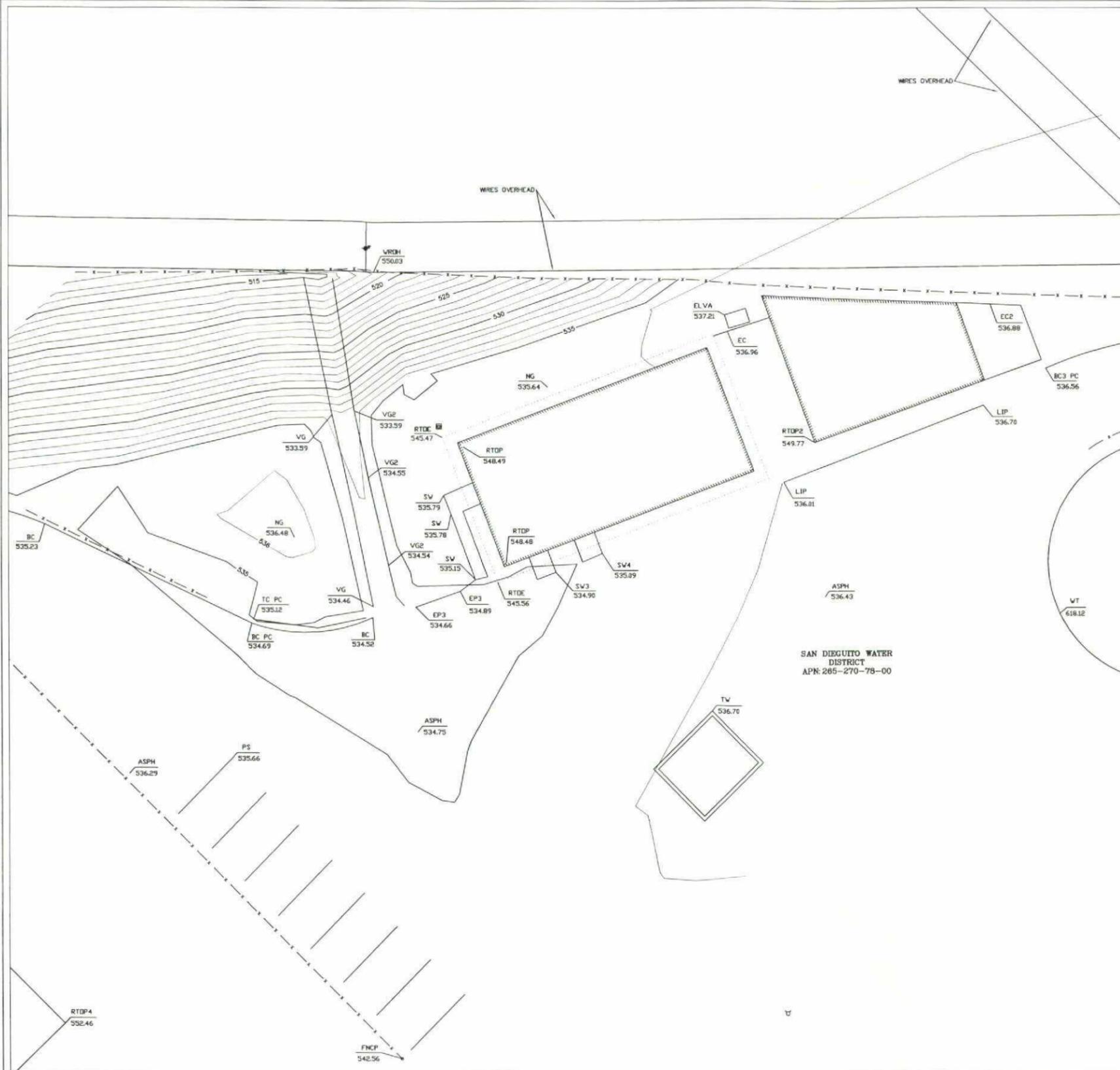
SITE NAME
BADGER

SITE NUMBER
SD0668

SITE ADDRESS
 18535 ALISO CANYON ROAD
 RANCHO SANTA FE, CA 92067

SHEET TITLE
**SITE SURVEY
 GENERAL INFORMATION**

SHEET NUMBER
LS2



LEGEND

- These standard symbols will be found in the drawing.
- ELECTRIC BOX
 - ⊕ FIRE HYDRANT
 - ⊙ MONUMENT FOUND
 - ⊙ UTILITY POLE
 - ▭ BUILDING
 - ASPH ASPHALT SURFACE
 - BC BOTTOM OF CURB
 - EC EDGE OF CONCRETE
 - ELVA ELECTRICAL VAULT
 - EP EDGE OF PAVEMENT
 - FNCP FENCE TOP
 - LIP LIP OF GUTTER
 - NG GROUND SPOT ELEVATION
 - PS PAINT STRIPING
 - RTOE ROOF TOE
 - RTOP ROOF TOP
 - SW SIDEWALK
 - TC TOP OF CURB
 - TW WALL TOP
 - UP UTILITY POLE TOP
 - VC V-GUTTER ASPHALT
 - WROH WIRE OVERHEAD
 - BOUNDARY LINE
 - - - CENTERLINE
 - MISC. PROPERTY LINE
 - · - MISC. TIE LINE
 - - - RIGHT-OF-WAY LINE
 - · - EASEMENT LINE
 - x - x - FENCE LINE

LEGEND

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- Field survey completed on FEBRUARY 5, 2013.

DETAIL SITE PLAN



GENERAL NOTES