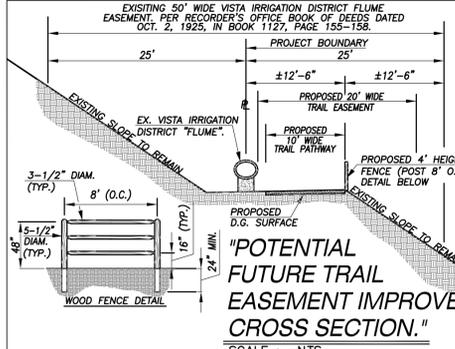


TENTATIVE TRACT NO. 5570

COUNTY OF SAN DIEGO, CALIFORNIA.

GENERAL PLAN- 1 RES.
ZONING - A70
LAND USE- VACANT
TR. 12615



POTENTIAL FUTURE TRAIL EASEMENT IMPROVEMENT CROSS SECTION.
SCALE : NTS

- GENERAL NOTES:**
- TOTAL PROPOSED LOTS: 20 RESIDENTIAL LOTS
 - ACREAGE WITHIN SUBDIVISION BOUNDARY: GROSS AREA: 12.54 ACRES. NET AREA: 11.59 ACRES.
 - MINIMUM LOT SIZE BEING CREATED: 15,018 SQ. FT. (0.34 Acres)
 - TAX RATE AREA: 76009
 - GRADING QUANTITIES: CUT; 30,000 CY. FILL; 30,000 CY.
 - COMMUNITY PLAN: NORTH COUNTY METRO
 - GENERAL PLAN CATEGORY: EXISTING; VILLAGE
 - GENERAL PLAN DESIGNATION: EXISTING; VILLAGE RESIDENTIAL-VR 2.9
 - SEWER & WATER: VALLECITOS WATER DISTRICT: 210 VALLECITOS DE ORO SAN MARCOS, CA 92069; PHONE: 760.744.0460
 - GAS & ELECTRIC: SAN DIEGO GAS & ELECTRIC: 8326 CENTURY PARK COURT SAN DIEGO, CA 92123; PHONE: 800.611.7343
 - TELEPHONE: AT&T PHONE: 1.888.294.8433
 - CABLE: TIME WARRIOR CABLE: 1.888.418.1385 COX: 1.877.473.0327
 - FIRE DISTRICT: COUNTY OF SAN DIEGO FIRE DEPARTMENT/ SAN MARCOS FIRE PROTECTION DISTRICT
 - SCHOOL DISTRICT: SAN MARCOS UNIFIED SCHOOL DISTRICT: 255 PICO AVE. SUITE 250, CA 92069; PHONE: 760.752.1299
 - TOPOGRAPHY: THE TOPO, CONTOURS AND ELEVATIONS ARE COMPILED FROM AERIAL PHOTOS, AERIAL SURVEYS AND COUNTY TOPO MAPS.
 - SOLAR ACCESS NOTE: ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQ. FT. OF SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT/ COMMERCIAL UNIT ALLOWED BY THIS SUBDIVISION.
 - DESIGN STANDARDS: STANDARDS FOR PUBLIC ROADWAY DESIGN WITHIN THIS PROJECT SHALL CONFORM WITH THE STANDARDS OF THE COUNTY OF SAN DIEGO.
 - STREET LIGHT STATEMENT: THE REQUIRED LIGHTING SYSTEM SHALL BE INSTALLED ACCORDING TO COUNTY ROAD STANDARDS. THE PUBLIC WORKS DEPARTMENT SHALL ADMINISTER THE COMPLIANCE PROCEDURES TO ASSURE PROPER INSTALLATION AND CONTINUED OPERATION.
 - SPECIAL ASSESSMENT ACT STATEMENT: THE SUBDIVIDER MAY TAKE A REQUEST TO THE BOARD OF SUPERVISORS FOR PERMISSION TO INITIATE PROCEEDINGS UNDER A SPECIAL ASSESSMENT ACT FOR CONSTRUCTION OF MAJOR UTILITY AND TRANSPORTATION INFRASTRUCTURE.
 - RELINQUISHED ACCESS FROM RICHLAND ROAD.

LEGAL DESCRIPTION:

APN No. 218-220-10 & 17
ALL THAT CERTAIN PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, AND STATE OF CALIFORNIA, BEING DESCRIBED AS FOLLOWS:
THAT CERTAIN PARCEL OF LAND CONTAINED 21.36 ACRES AS SHOWN AND DELINEATED ON RECORD OF SURVEY NO. 10574, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 12, 1986 AS FILE NO. 86-235873 OF OFFICIAL RECORDS, EXCEPTING THEREFROM THAT CERTAIN PARCEL OF LAND LYING SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:
COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL OF LAND CONTAINED 21.36 ACRES, AS SHOWN ON RECORD OF SURVEY NO. 10574; THENCE ALONG THE CENTER LINE OF RICHLAND ROAD NORTH 37 DEGREES 07' 38" WEST 151.01 FEET TO POINT BEING THE BEGINNING OF THE "TIE LINE" AS SHOWN AND DELINEATED ON SAID RECORD OF SURVEY NO. 10574 SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING; THENCE ALONG SAID "TIE LINE" NORTH 52 DEGREES 52' 22" EAST 740 FEET, MORE OR LESS, TO THE CENTER LINE OF THE RIGHT OF WAY OF VISTA IRRIGATION DISTRICT FLUME LINE AS SHOWN AND DELINEATED ON SAID RECORD OF SURVEY NO. 10574 AND THE TRUE POINT OF TERMINATION.

SAID PARCEL OF LAND BEING A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 12 SOUTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN.

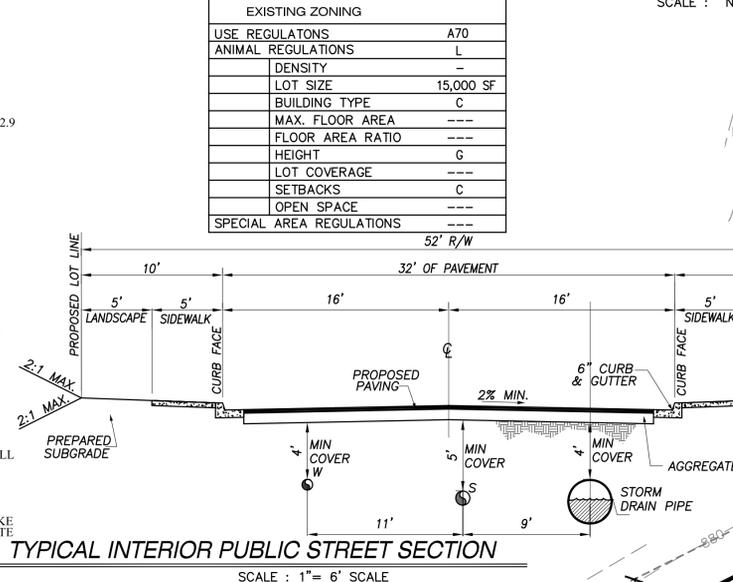
AND THE FURTHER EXCEPTING THAT CERTAIN PARCEL OF LAND DESCRIBED AS FOLLOWS:
THE SOUTHEASTERLY 557.72 FEET OF THE CERTAIN PARCEL OF LAND CONTAINING 21.36 ACRES AS SHOWN AND DELINEATED ON THE RECORD OF SURVEY NO. 10574, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 12, 1986 AS FILE NO. 86-235873 OF OFFICIAL RECORDS.

DECLARATION OF RESPONSIBLE CHARGE
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH THE CURRENT STANDARDS.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

ENGINEER OF WORK
M.H. SHAPOURI,
RCE LIC. NO. CS2794
SHAPOURI & ASSOCIATES
18029 CALLE AMBIENTE,
SUITE 502
MAILING ADDRESS:
P.O. BOX 676221,
RANCHO SANTA FE, CA
92067

March 14, 2014 Date
M.H. SHAPOURI, RCE CS2794
TELEPHONE No. (858) 756-8340

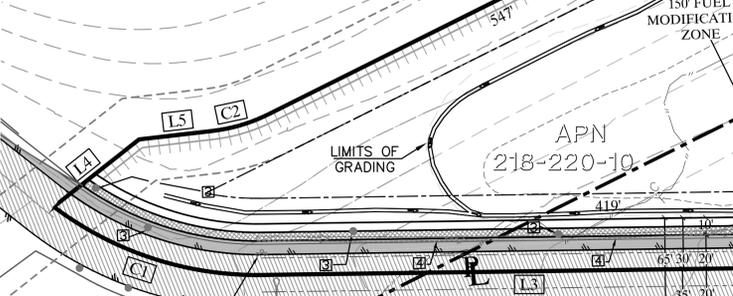
RICHLAND ROAD PUBLIC STREET CROSS SECTION
SCALE : NTS



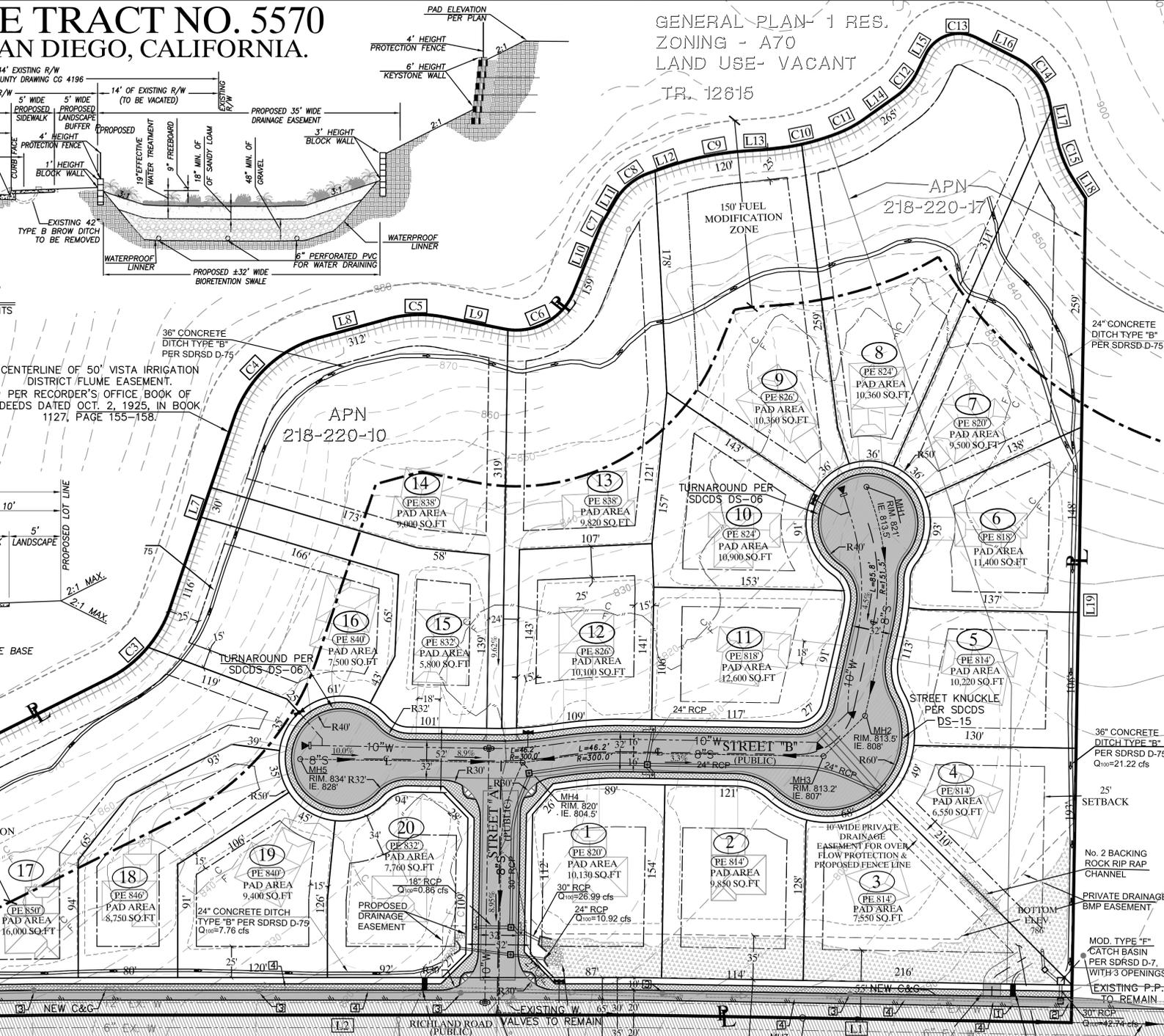
TYPICAL INTERIOR PUBLIC STREET SECTION
SCALE : 1" = 6' SCALE

IMPROVEMENT PLAN NOTE:

PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF PUBLIC SEWER, WATER, AND STORM DRAIN SYSTEMS, AND PUBLIC ROADS AS INDICATED ON THESE PLANS.



PAR.1
PM 3973



CONSTRUCTION NOTES

- EXISTING TYPE "F" C.B. PER CG 4196 TO BE REMOVE
- EXISTING 30" RCP STORM DRAIN SYSTEM PER CG 4196
- EXISTING POWER POLE & GUY ANCHOR TO BE REMOVED AND OVERHEAD UTILITIES PLACED UNDERGROUND
- EXISTING TYPE "B" BROW DITCH TO BE REMOVED

OWNER INFORMATION
BANK OF THE WEST, Mr. Blair Pruett
2527 CAMINO RAMON
SAN RAMON, CA 94583
PHONE: (760) 307-3027 Ext. 701

LEGEND

- EXISTING CONTOURS
- PROJECT BOUNDARY
- EXISTING ASSESSOR PARCEL NUMBER
- PROJECT BOUNDARY DIMENSION
- PROPOSED LOT LINES
- PROPOSED SETBACKS
- PROPOSED CONCRETE DITCH
- PROPOSED LOT DIMENSION
- PROPOSED LOT NUMBER
- PROPOSED FIRE HYDRANTS
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER LINES
- PROPOSED WATER VALVE TEE CONNECTION
- PROPOSED WATER END CAP CONNECTION
- PROPOSED SEWER LINE
- PROPOSED MANHOLE
- PROPOSED STORM DRAIN PIPE
- PROPOSED CURB INLET
- PROPOSED CLEANOUT
- PROPOSED BMP AREA
- PROPOSED EASEMENT LINE
- PROPOSED 10' WIDE TRAIL
- PROPOSED 5' WIDE SIDEWALK

LINE TABLE OF PROPOSED LOTS (GROSS)

LOT NUM	LOT SIZE(S.F.)	RESIDENTIAL	LOT NUM	LOT SIZE(S.F.)	RESIDENTIAL
LOT 1	15,870	RESIDENTIAL	LOT 13	30,262	RESIDENTIAL
LOT 2	16,922	RESIDENTIAL	LOT 14	36,434	RESIDENTIAL
LOT 3	19,538	RESIDENTIAL	LOT 15	15,051	RESIDENTIAL
LOT 4	17,083	RESIDENTIAL	LOT 16	20,440	RESIDENTIAL
LOT 5	15,018	RESIDENTIAL	LOT 17	67,473	RESIDENTIAL
LOT 6	15,139	RESIDENTIAL	LOT 18	16,182	RESIDENTIAL
LOT 7	24,138	RESIDENTIAL	LOT 19	15,033	RESIDENTIAL
LOT 8	39,139	RESIDENTIAL	LOT 20	15,096	RESIDENTIAL
LOT 9	30,218	RESIDENTIAL	PUBLIC ST. "A" & "B"	54,272	----
LOT 10	15,158	RESIDENTIAL	RICHLAND ROAD	37,725	----
LOT 11	15,263	RESIDENTIAL			
LOT 12	15,208	RESIDENTIAL			

LINE AND CURVE TABLE OF PROPERTY BOUNDARY

LINE	LENGTH	BEARING	CURVE	LENGTH	RADIUS
L11	346.35'	S37°07'38"E	C3	78.37'	100.00'
L12	477.65'	S38°07'21"E	C4	97.74'	100.00'
L13	315.29'	S38°55'29"E	C5	46.12'	100.00'
L14	63.94'	N76°18'58"W	C6	68.85'	50.00'
L15	43.76'	N44°43'58"W	C7	7.41'	50.00'
L16	402.73'	N64°31'50"W	C8	34.76'	50.00'
L17	159.29'	S70°34'06"W	C9	68.12'	250.00'
L18	56.83'	N53°25'44"W	C10	60.57'	200.00'
L19	49.69'	N27°00'16"W	C11	24.94'	100.00'
L20	53.69'	S74°06'01"W	C12	24.85'	50.00'
L21	19.11'	S82°35'48"W	C13	47.59'	30.00'
L22	12.85'	N57°33'59"W	C14	45.29'	50.00'
L23	14.82'	N41°57'18"W	C15	37.79'	100.00'

SCALE : 1:50

APN 218-220-10

APN 218-220-17

APN 218-220-18

APN 218-220-19

APN 218-220-20

APN 218-220-21

APN 218-220-22

APN 218-220-23

APN 218-220-24

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APN 218-220-44

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APN 218-220-48

APN 218-220-49

APN 218-220-50

JOB NO.
DRAWN:
SUBMITTALS:
REVISIONS:
SUBDIVISION TENTATIVE
MAP OF APN 218-220-10 & 17
COUNTY OF SAN DIEGO, CA.
92069

TENTATIVE MAP
ORCHARD HILLS
RESIDENTIAL DEVELOPMENT

SHAPOURI & ASSOCIATES
PROJECT MANAGEMENT SERVICES
ENGINEERING - ARCHITECTURE - PLANNING
C/O VILLAGE, 1800 CALLE AMBIENTE, SUITE 502
RANCHO SANTA FE, CALIFORNIA 92067
PHONE: (858) 756-8340

SHEET TITLE: NO.
TM 5570 1 of 1
DATE PRINTED:
03-14-2014