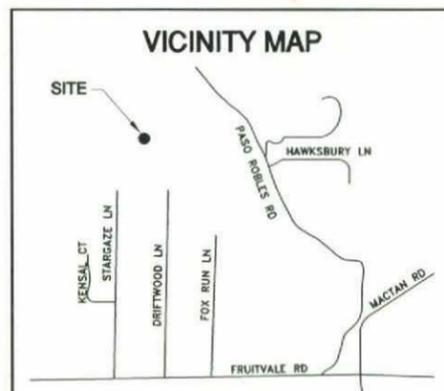




AGUACATE
29520 PASO ROBLES RD
VALLEY CENTER, CA 92082



THOMAS GUIDE PAGE: 1070-J5

ADDRESS
 29520 PASO ROBLES RD
 VALLEY CENTER, CA 92082

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE): FROM 15505 SAND CANYON AVENUE, IRVINE, CA 92618, HEAD SW ON SAND CANYON AVENUE TOWARD WATERWORKS WAY, KEEP LEFT AT THE FORK, MERGE ONTO 405 VIA RAMP TO SD. TAKE 1-5 SOUTH AND MERGE ONTO CA-78 EAST. CONTINUE ONTO E LINCOLN PKWY. THEN ONTO E LINCOLN AVE. TURN RIGHT ONTO EL NORTE PKWY. TURN LEFT ON VALLEY PKWY. CONTINUE ONTO VALLEY CENTER RD. TURN LEFT ON COLE GRADE ROAD IN VALLEY CENTER. TURN RIGHT ON FRUITVALE. TURN LEFT ON PASO ROBLES RD. ENTRANCE TO THE SITE ACCESS ROAD IS ON THE LEFT.

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8596 (FAX)

LEASING/PLANNING:
 PLANCOM, INC.
 DUFFY DAUGHERTY
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (858) 349-8055

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PERMITS REQUIRED

● MAJOR USE PERMIT

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: DUFFY DAUGHERTY
 PHONE: (925) 548-2050

OWNER: BRAD DISKIN
 15202 AGUACATE LANE
 VALLEY CENTER, CA 92082
 SITE CONTACT: BRAD DISKIN
 PHONE: (619) 889-4961

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A NEW 12'-8" x 22'-0" x 12'-10" CONCRETE BLOCK BUILDING ON A NEW CONCRETE PAD.
- INSTALLATION OF NEW 12'-8" x 12'-0" x 9'-11" CONCRETE BLOCK WALL ENCLOSURE AT GRADE LEVEL.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED INSIDE A NEW 35'-0" HIGH FAUX WATER TANK.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S MOUNTED BEHIND ANTENNAS IN PROPOSED 35'-0" HIGH FAUX WATER TANK.
- INSTALLATION OF ONE (2) VERIZON WIRELESS RAYCAP SURGE PROTECTORS MOUNTED INSIDE FAUX WATER TANK, AND (2) INSIDE EQUIPMENT BUILDING.
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" # MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED IN PROPOSED 35'-0" HIGH FAUX WATER TANK.
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS.
- INSTALLATION OF A 30kW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE NEW CONCRETE BLOCK WALL ENCLOSURE.
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE (TOTAL ELECTRICAL LENGTH = ±1670'-0")
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION (TOTAL TELCO LENGTH = ±1650'-0")
- LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 29520 PASO ROBLES RD
 VALLEY CENTER, CA 92082

ASSESSORS PARCEL NUMBER: APN 188-150-40

EXISTING ZONING: A-70 LIMITED AGRICULTURE

TOTAL SITE AREA: 2,998,359 S.F.
 = 68.83 ACRES

PROPOSED PROJECT AREA:
 EQUIPMENT BUILDING: 279 SF
 CONCRETE BLOCK ENCLOSURE: 152 SF
 TOTAL: 431 SF

PROPOSED TYPE OF CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: B

NOTE: THERE ARE NO EXISTING TELECOMMUNICATIONS FACILITIES ON THIS SITE

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-0.1	STORM WATER MANAGEMENT PLAN
A-1	ENLARGED SITE & AREA PLANS
A-2	EQUIPMENT FLOOR PLAN
A-3	ROOF PLAN AND CHAIN LINK LID PLAN
A-4	EXTERIOR ELEVATIONS
A-5	ANTENNA PLAN & FAUX WATER TANK ELEVATION
L-1	LANDSCAPE DEVELOPMENT PLAN
C1	TOPOGRAPHIC SURVEY
C2	TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
 THOSE PORTIONS OF LOT 2 AND THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-1

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION
 CALIFORNIA PLUMBING CODE, 2013 EDITION
 CALIFORNIA MECHANICAL CODE, 2013 EDITION
 CALIFORNIA ELECTRICAL CODE, 2013 EDITION
 CALIFORNIA FIRE CODE, 2013 EDITION
 CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
AGUACATE
 29520 PASO ROBLES RD
 VALLEY CENTER, CA 92082
 SAN DIEGO COUNTY

DRAWING DATES

11/12/13	90% ZD (ic)
11/18/13	100% ZD (ic)
02/24/14	100% ZD Revision 1 (ic)
05/20/14	100% ZD Revision 2 (se)
06/16/14	100% ZD Revision 3 (ic)
09/30/14	100% ZD Revision 4 (ic)
10/21/14	100% ZD Revision 5 (ic)
11/11/14	100% ZD Revision 5 (ic)

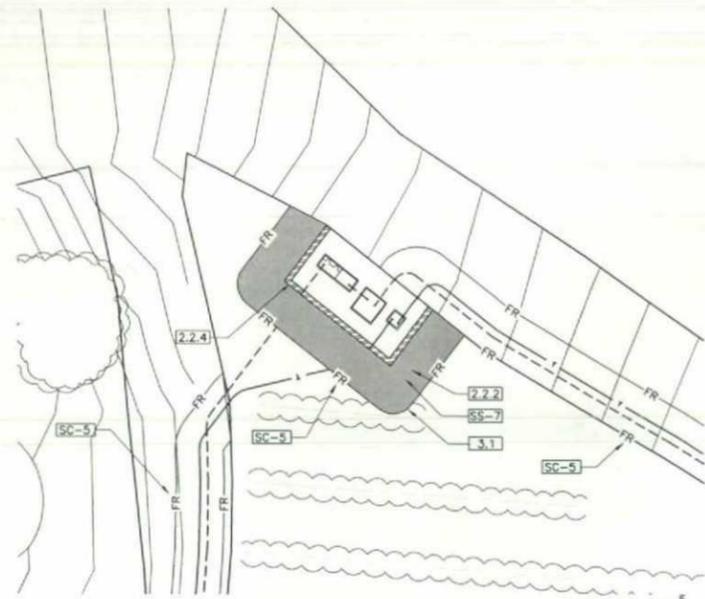
SHEET TITLE
TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\13330

T-1

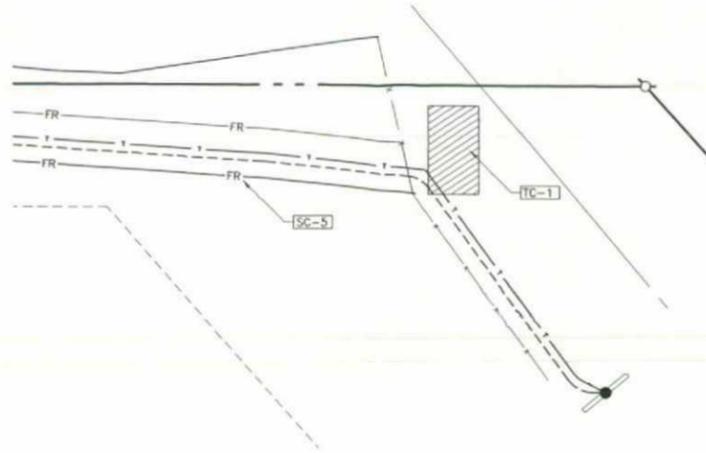
SDC PDS RCVD 12-02-14

MUP13-022



ENLARGED STORM WATER MANAGEMENT PLAN "B"

SCALE: 1" = 10'-0"



ENLARGED STORM WATER MANAGEMENT PLAN "C"

SCALE: 1" = 10'-0"

CONSTRUCTION STORMWATER BMPs:

DIRECTION OF LOT DRAINAGE → →

SS-6, SS-8 MULCH, STRAW, WOODCHIPS, SOIL APPLICATION

SC-5 FIBER ROLLS -FR-FR-

TC-1 STABILIZED CONSTRUCTION ENTRANCE

WM-1 MATERIAL DELIVERY & STORAGE

WM-8 CONCRETE WASTE MANAGEMENT

WM-5 SOLID WASTE MANAGEMENT

WM-9 SANITARY WASTE MANAGEMENT

WM-6 HAZARDOUS WASTE MANAGEMENT

LID PLANNING PRACTICE:

2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGE

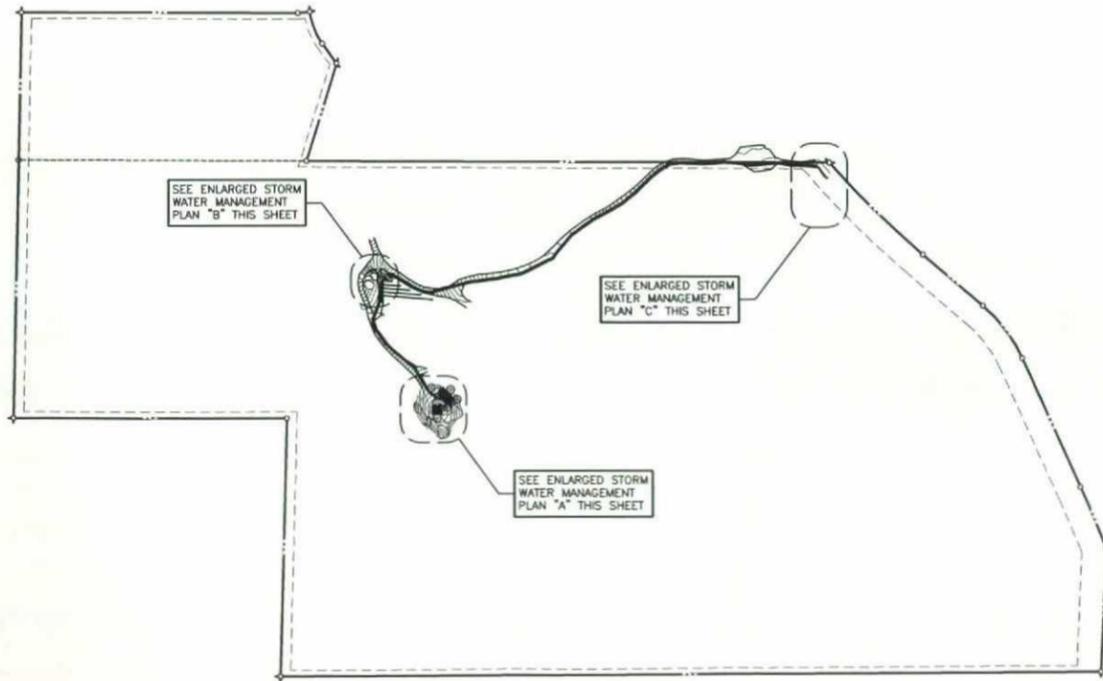
2.2.4 MINIMIZE SOIL COMPACTION

LID MANAGEMENT PRACTICE:

3.1 HYDROLOGIC DESIGN

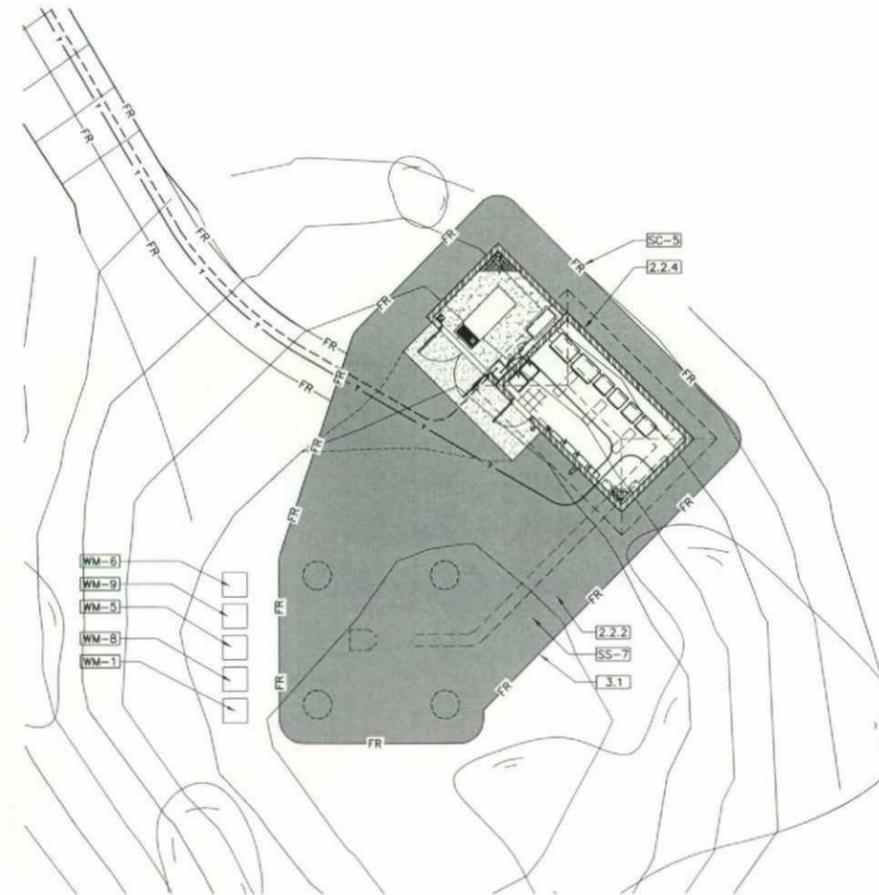
POST CONSTRUCTION BMPs:

SD-10 FLAT PAD AREA COVERAGE



STORM WATER MANAGEMENT PLAN

SCALE: 1" = 200'-0"



ENLARGED STORM WATER MANAGEMENT PLAN "A"

SCALE: 1" = 10'-0"

BOOTH & SUAREZ

ARCHITECTURE INCORPORATED
305 CARLSBAD VILLAGE DRIVE SUITE D9
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



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IRVINE, CA 92623-9707
(949) 286-7000

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SAN DIEGO COUNTY

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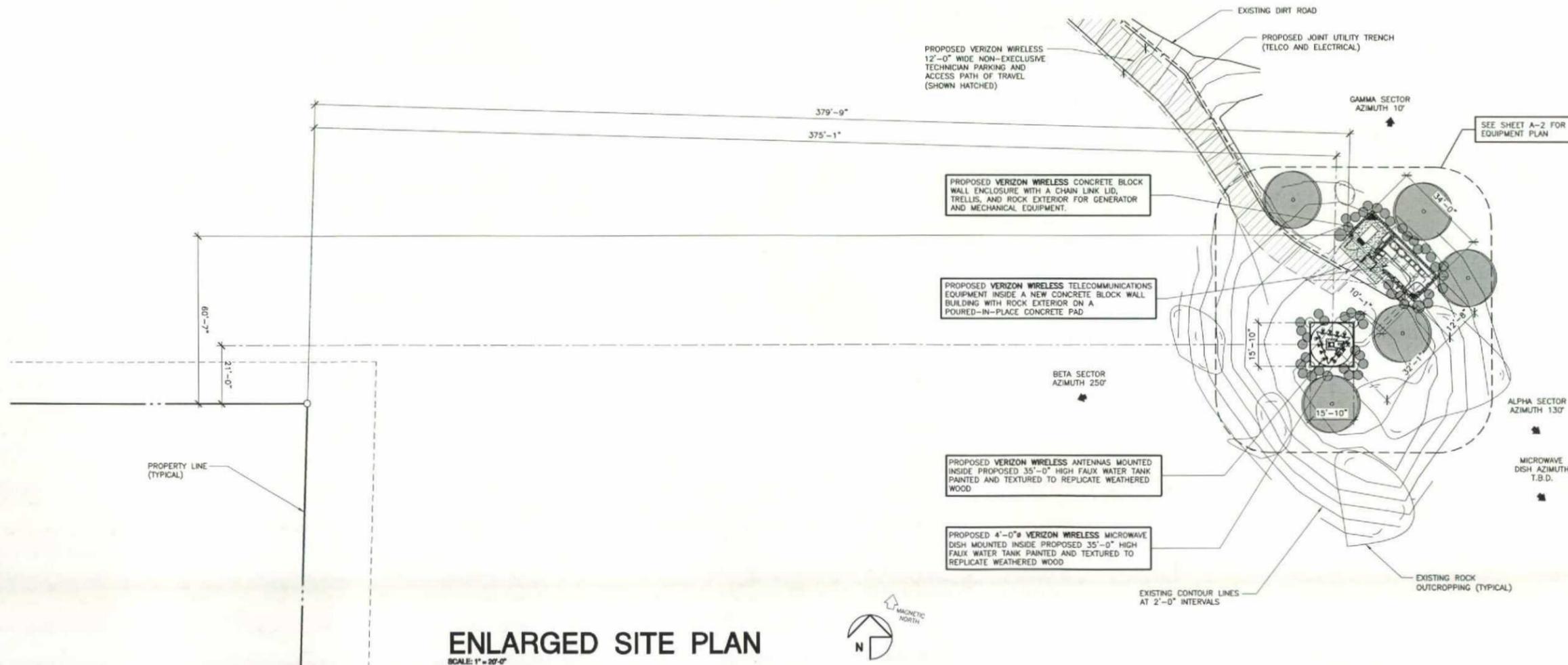
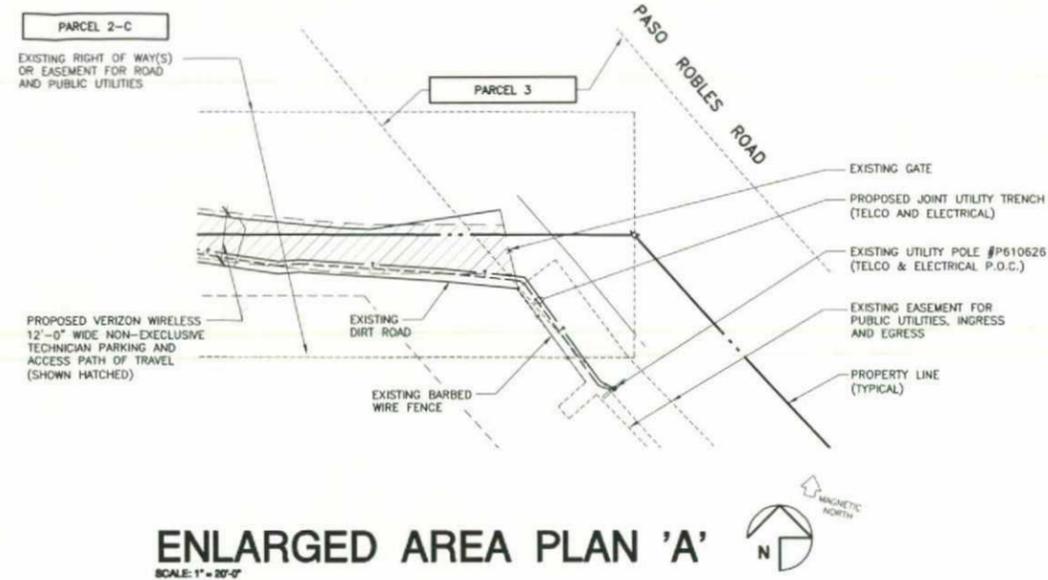
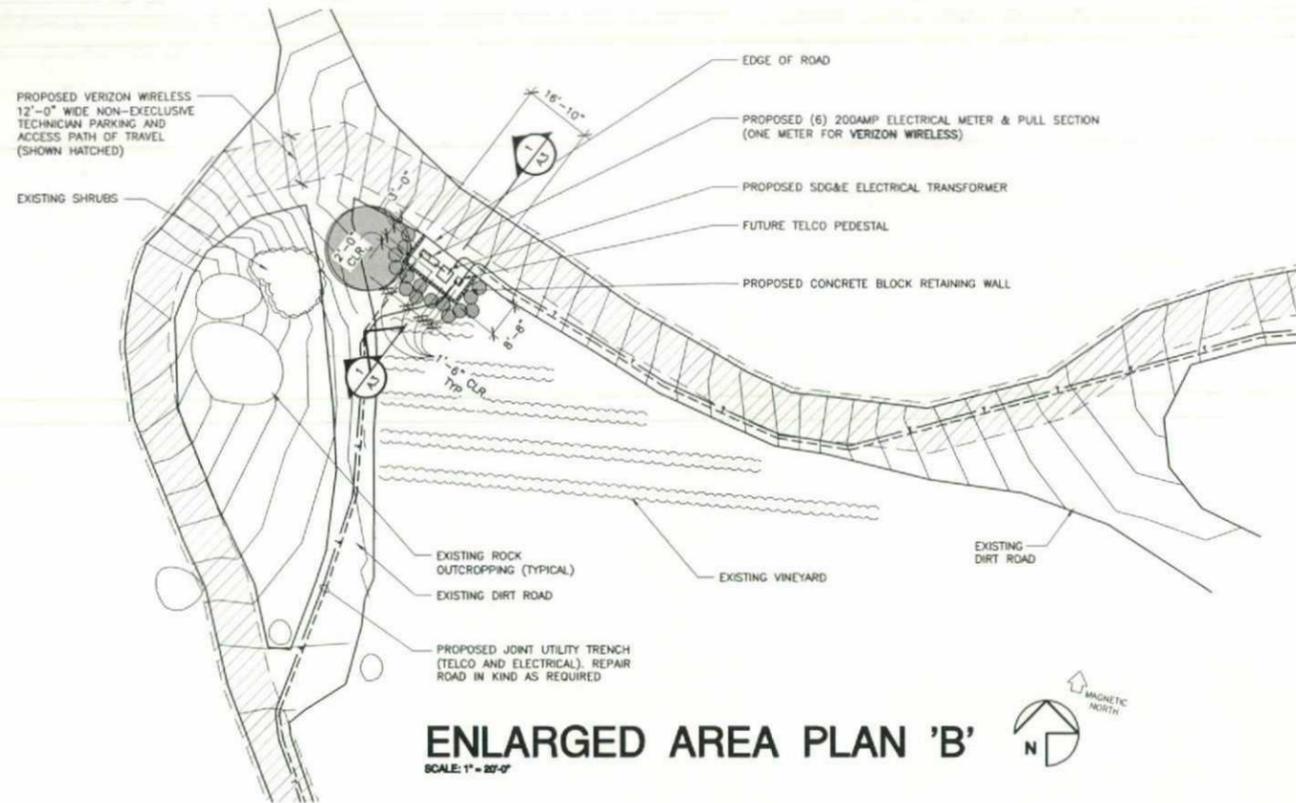
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05/20/14	100% ZD Revision 2 (**)
06/16/14	100% ZD Revision 3 (ic)
09/30/14	100% ZD Revision 4 (ic)
10/21/14	100% ZD Revision 5 (ic)
11/11/14	100% ZD Revision 6 (ic)

SHEET TITLE

STORM WATER MANAGEMENT PLAN

PROJECTS\VERIZON\13330

A-0.1



Booth & Suarez
ARCHITECTURE INCORPORATED
395 CARLSBAD VILLAGE DRIVE, SUITE 89
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verizon wireless
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10/21/14	100% ZD Revision 5 (ic)
11/11/14	100% ZD Revision 6 (ic)

SHEET TITLE
ENLARGED AREA PLANS

PROJECTS\VERIZON\13330

A-1



EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

EQUIPMENT FLOOR PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK BUILDING WITH ROCK EXTERIOR
- 2 PROPOSED VERIZON WIRELESS EQUIPMENT RACK 23" WIDE x 84" HIGH x 23" DEEP, WEIGHT: 1200 LBS.
- 3 PROPOSED VERIZON WIRELESS 2V BATTERY RACK, 37" WIDE x 37.66" HIGH x 27.88" DEEP, WEIGHT: 2860 LBS.
- 4 PROPOSED RAYCAP DC SURGE PROTECTION UNITS UNISTRUT MOUNTED TO WALL ON HIGH (TYPICAL OF 2)
- 5 PROPOSED (10) 4" CONDUITS FOR COAX CABLE AND (1) 1-1/2" FOR GROUND
- 6 PROPOSED OVERHEAD 18" CABLE LADDER @ +8'-0" (SHOWN DASHED)
- 7 PROPOSED AIR HANDLERS
- 8 PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9 PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10 PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11 PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12 PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 13 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME, PROVIDE NEW VERIZON WIRELESS SIGNAGE
- 14 PROPOSED ALUMINUM THRESHOLD
- 15 PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 16 PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 3)
- 17 PROPOSED WALL MOUNTED TELCO BOARD
- 18 PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 19 PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 20 PROVIDE AND INSTALL BATTERY ACID SPILL KIT(S) CAPABLE OF NEUTRALIZING A SPILL FROM THE LARGEST BATTERY
- 21 PROPOSED REFRIGERANT LINE ROUTING
- 22 PROPOSED (2) OUTDOOR CONDENSER UNITS (CARRIER 38HDR060) MOUNTED ON STACKING RACK
- 23 PROPOSED CONCRETE BLOCK WALL ENCLOSURE
- 24 PROPOSED VERIZON WIRELESS 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD, "GENERAC" SD030 GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 64 DBA AT A REFERENCE DISTANCE OF 25 FEET.
- 25 PROPOSED CONCRETE LANDING
- 26 PROPOSED PAIR 4'-0" WIDE STEEL GATES W/ FRAME
- 27 PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 28 PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER INSIDE A NEMA 3R CABINET
- 29 PROPOSED DRYWELL
- 30 PROPOSED TELCO CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 31 PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 32 PROPOSED JOINT UTILITY TRENCH
- 33 PROPOSED CHAIN LINK LID
- 34 PROPOSED 16" X 16" MOTORIZED EXHAUST FAN
- 35 INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE ENCLOSURE
- 36 PROPOSED VERIZON WIRELESS COAXIAL CABLE TRENCH
- 37 PROPOSED VERIZON WIRELESS STEP-DOWN TRANSFORMER ON A PREFABRICATED PAD
- 38 PROPOSED 35'-0" HIGH FAUX WATER TANK PAINTED AND TEXTURED TO REPLICATE WEATHERED WOOD
- 39 PROPOSED FAUX WATER TANK CAISSON FOOTING (TYPICAL OF 4)
- 40 PROPOSED LADDER WITH SECURITY DOOR AND SAFETY CAGE
- 41 PROPOSED GALVANIZED STEEL CENTER PIPE COAX CABLE CHASE
- 42 PROPOSED COAX CABLE SHROUD WITH ACCESS PANEL
- 43 EXISTING CONTOUR LINES AT 2'-0" INTERVALS
- 44 EXISTING DIRT AREA
- 45 EXISTING DIRT ROAD
- 46 EXISTING ROCK OUTCROPPING (TYPICAL)
- 47 OUTLINE OF BUILDING OVERHANG
- 48 PROPOSED CONTOUR LINE
- 49 PROPOSED SHRUB - SEE LANDSCAPE DEVELOPMENT PLAN (SHOWN SHADED) (TYPICAL)
- 50 PROPOSED TREE - SEE LANDSCAPE DEVELOPMENT PLAN (SHOWN SHADED) (TYPICAL)

PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

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VALLEY CENTER, CA 92082
SAN DIEGO COUNTY

DRAWING DATES

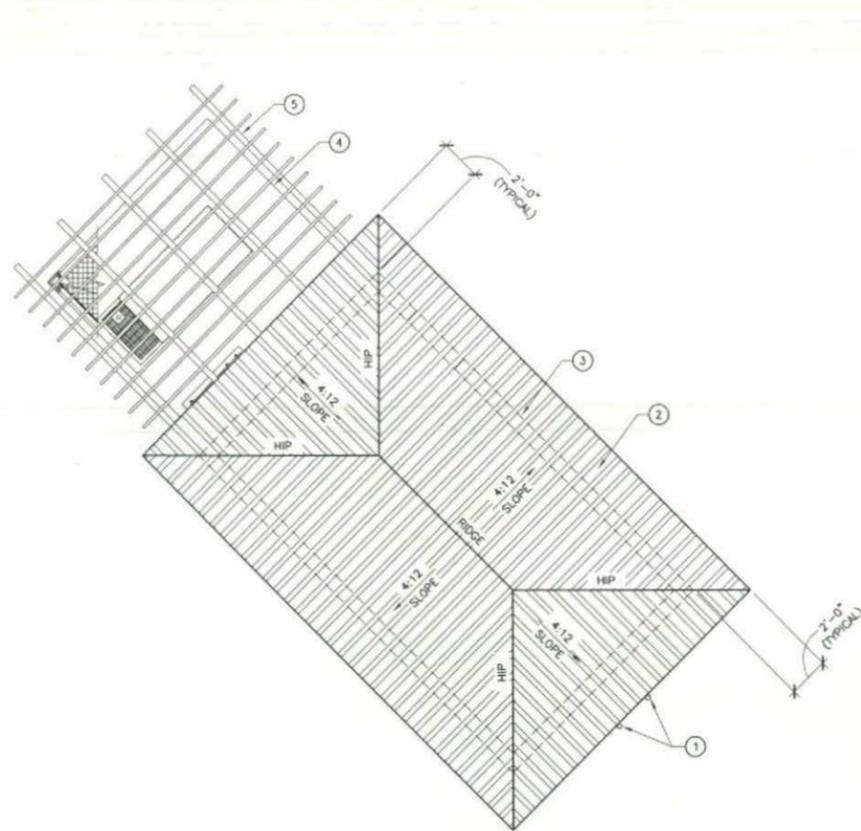
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11/11/14	100% ZD Revision 6 (ic)

SHEET TITLE

EQUIPMENT PLAN

PROJECTS\VERIZON\13330

A-2

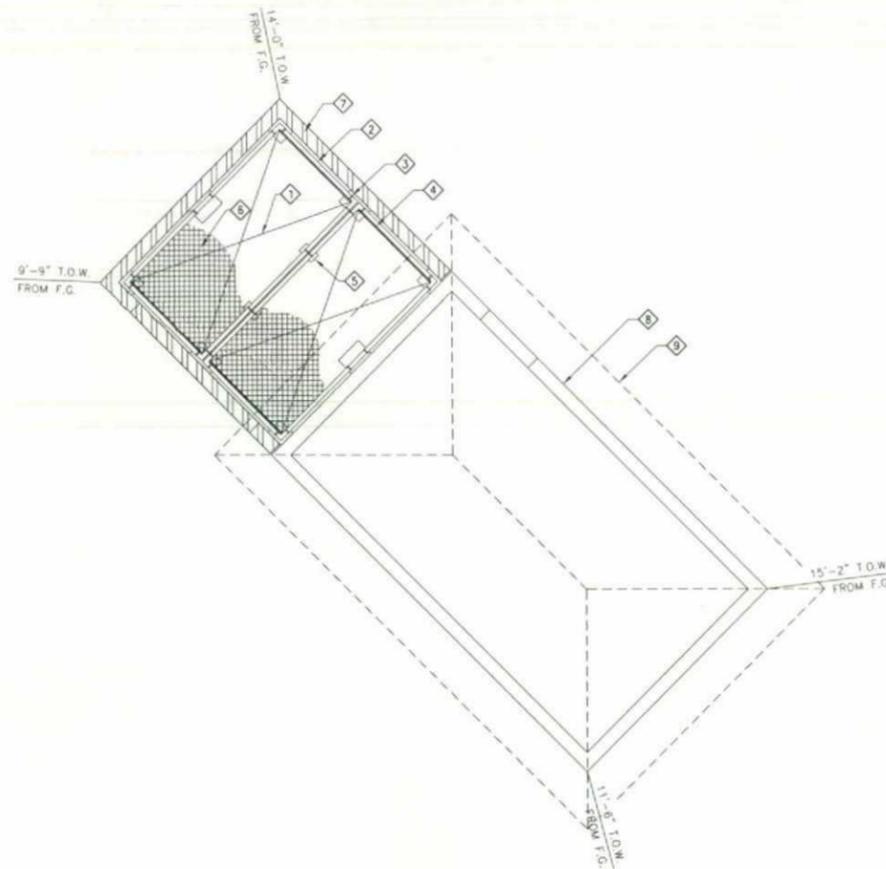


ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES:

- ① PROPOSED E911/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- ② PROPOSED METAL ROOF
- ③ PROPOSED BUILDING OUTLINE BELOW (SHOW DASHED)
- ④ PROPOSED ADJACENT GENERATOR ENCLOSURE
- ⑤ PROPOSED STEEL TRELLIS

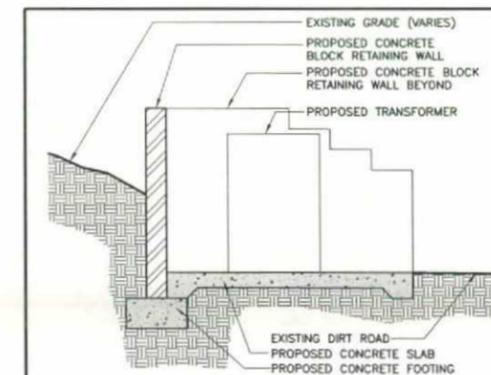


CHAIN LINK LID PLAN

SCALE: 1/4" = 1'-0"

CHAIN LINK LID PLAN NOTES:

- ① "X" INDICATES A SINGLE PANEL OF THE CHAINLINK LID
- ② PROPOSED 3" SCHEDULE 40 GALVANIZED STANDARD PIPE FRAME (TYPICAL)
- ③ PROPOSED GALVANIZED STEEL PIPE CLAMPS FOR CHAINLINK TENSIONER STRIP
- ④ PROPOSED GALVANIZED TENSIONER STRIP (TYPICAL)
- ⑤ PROPOSED BRACKET SUPPORT CLAMP FOR CHAINLINK LID AT 4'-0" O.C.
- ⑥ PROPOSED GALVANIZED CHAINLINK MESH PARTIALLY REMOVED FOR CLARITY. PROVIDE STANDARD WIRE TIES TO FRAME @ 12" O.C. WITH DOUBLE KNOTS ON BOTTOM SIDE OF FRAME, SEE SPECIFICATION THIS SHEET
- ⑦ PROPOSED CONCRETE BLOCK WALL
- ⑧ PROPOSED ADJACENT BUILDING
- ⑨ PROPOSED ADJACENT BUILDING OVERHANG



SECTION

SCALE: 3/8" = 1'-0" 1

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P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

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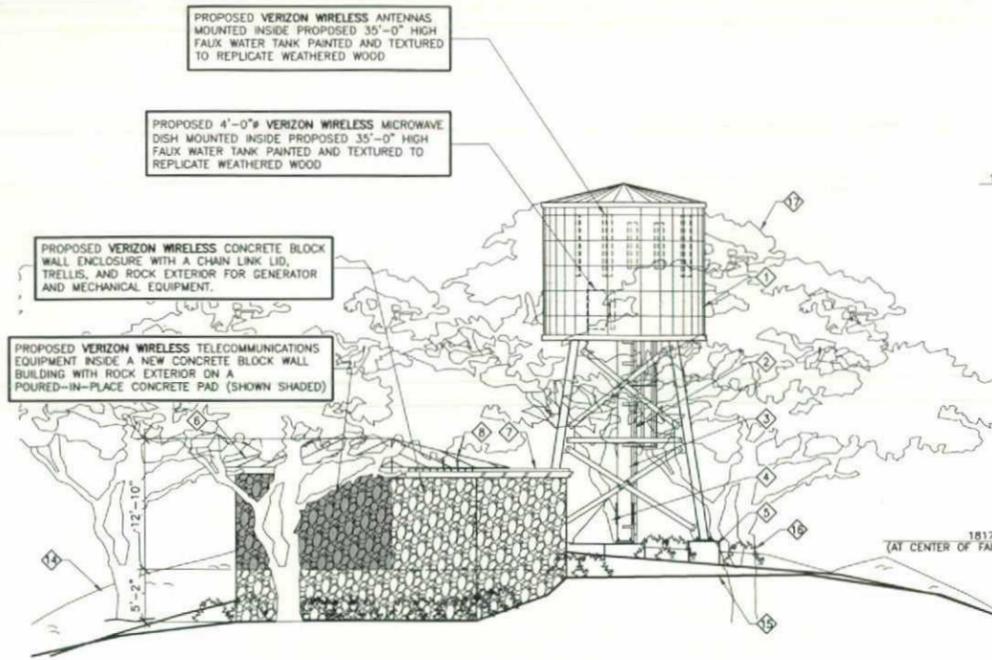
11/11/14 ..D Revision 6 (lc)

SHEET TITLE

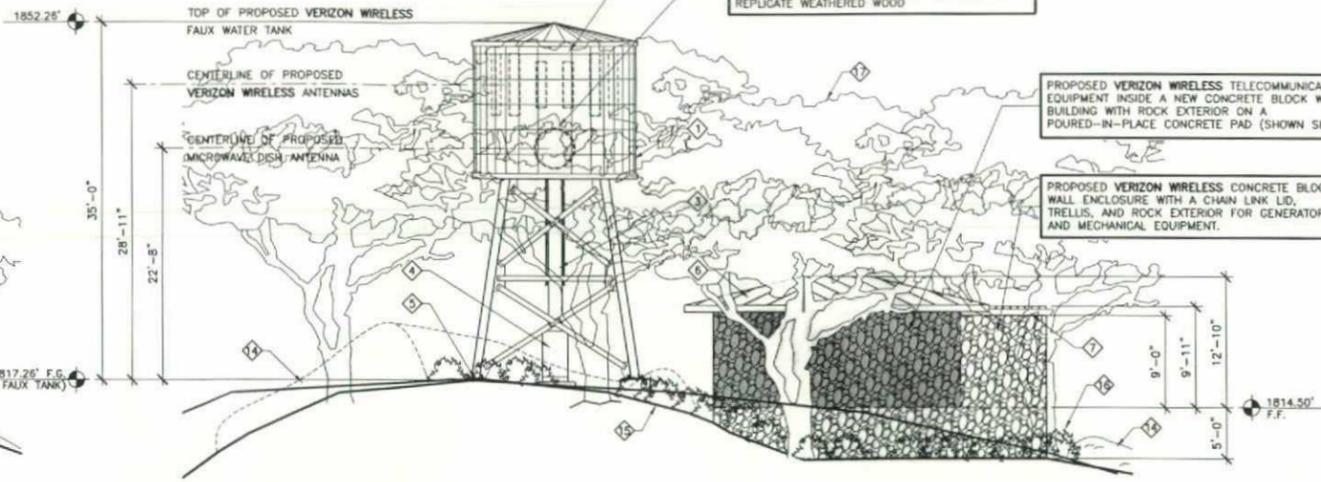
ROOF PLAN AND CHAIN LINK LID PLAN

PROJECTS\VERIZON\13330

A-3



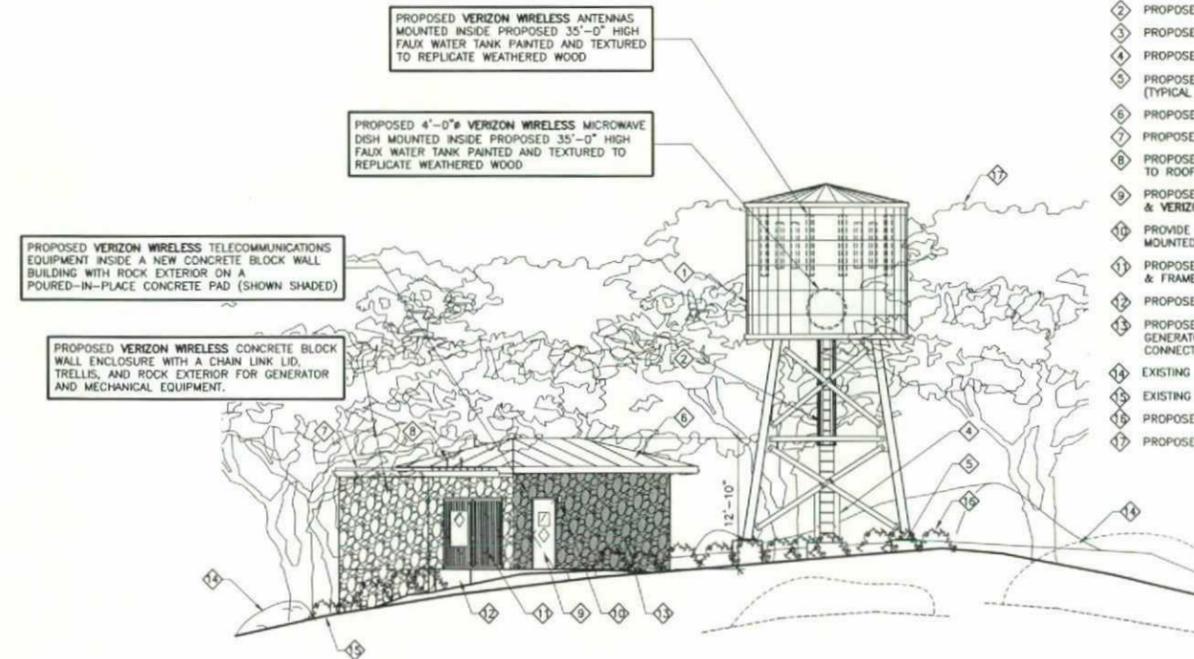
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



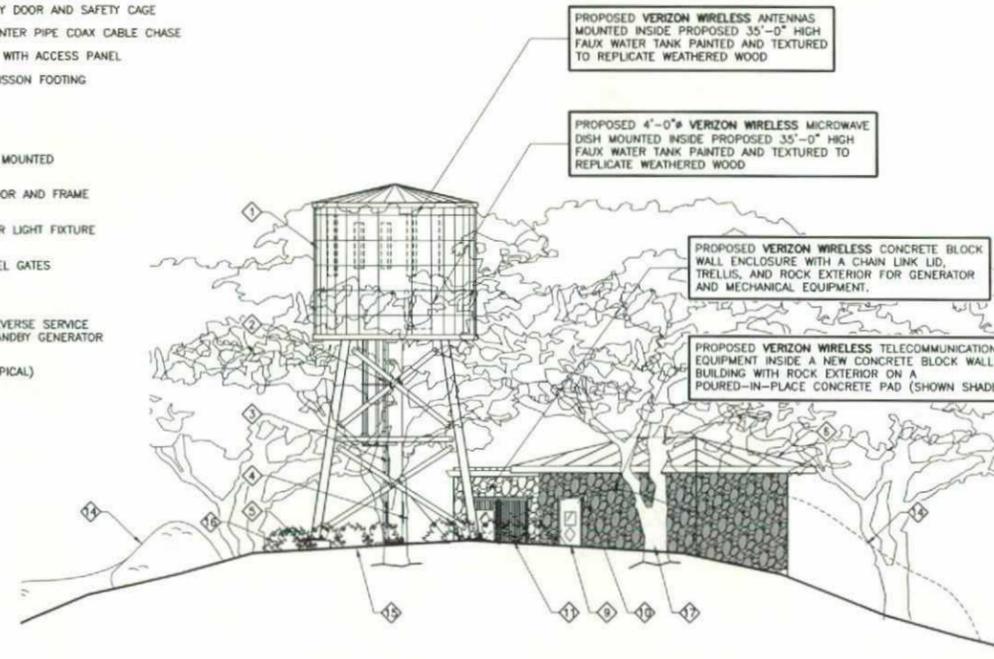
EAST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- 1 PROPOSED 35'-0" HIGH FAUX WATER TANK PAINTED AND TEXTURED TO REPLICATE WEATHERED WOOD. COLOR: TBD
- 2 PROPOSED LADDER WITH SECURITY DOOR AND SAFETY CAGE
- 3 PROPOSED GALVANIZED STEEL CENTER PIPE COAX CABLE CHASE
- 4 PROPOSED COAX CABLE SHROUD WITH ACCESS PANEL
- 5 PROPOSED FAUX WATER TANK CAISSON FOOTING (TYPICAL OF 4)
- 6 PROPOSED METAL ROOF
- 7 PROPOSED STEEL TRELLIS
- 8 PROPOSED E911/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 9 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 10 PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 11 PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME W/ SIGNAGE
- 12 PROPOSED CONCRETE LANDING
- 13 PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 14 EXISTING ROCK OUTCROPPING (TYPICAL)
- 15 EXISTING GRADE
- 16 PROPOSED SHRUBS (TYPICAL)
- 17 PROPOSED TREE (TYPICAL)



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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verizonwireless

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

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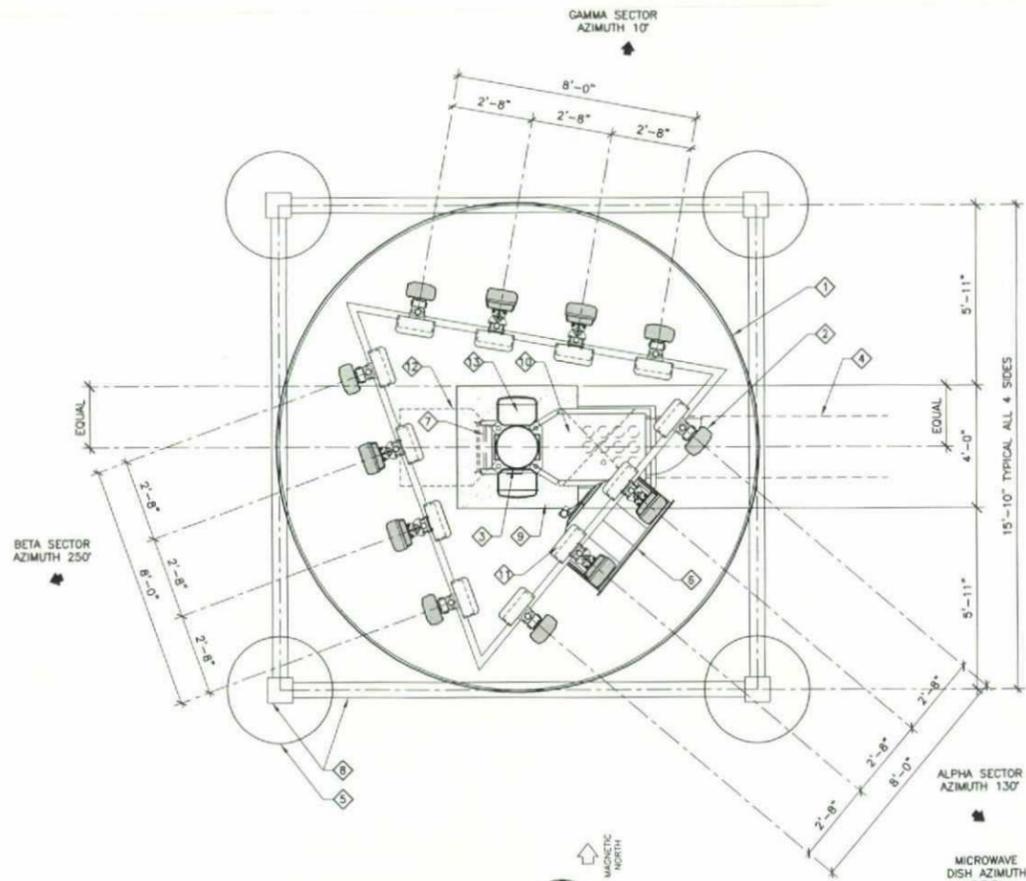
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10/21/14	100% ZD Revision 5 (lc)
11/11/14	100% ZD Revision 6 (lc)

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\13330

ANTENNA AND COAXIAL CABLE SCHEDULE									
SECTOR ANTENNA	DIRECTION	AZIMUTH	DOWNTILT	SKREW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5)	JUMPER LENGTH (+ / - 3)	COAX SIZE
ALPHA1					78" L x 15" W x 9.5" D	6 COAX. 2 HYBRID + 4 RET CABLES	75'-0"	6'-0"	7/8"
ALPHA2	SOUTHEAST	130°	0°	N/A	78" L x 15" W x 9.5" D				
ALPHA3					78" L x 15" W x 9.5" D				
ALPHA4					78" L x 15" W x 9.5" D				
BETA1								78" L x 15" W x 9.5" D	6 COAX. 2 HYBRID + 4 RET CABLES
BETA2	SOUTHWEST	250°	0°	N/A	78" L x 15" W x 9.5" D				
BETA3					78" L x 15" W x 9.5" D				
BETA4					78" L x 15" W x 9.5" D				
GAMMA1								78" L x 15" W x 9.5" D	6 COAX. 2 HYBRID + 4 RET CABLES
GAMMA2	NORTH	10°	0°	N/A	78" L x 15" W x 9.5" D				
GAMMA3					78" L x 15" W x 9.5" D				
GAMMA4					78" L x 15" W x 9.5" D				
MICROWAVE DISH					T.B.D.	-	-	4'-0" DIAMETER	1

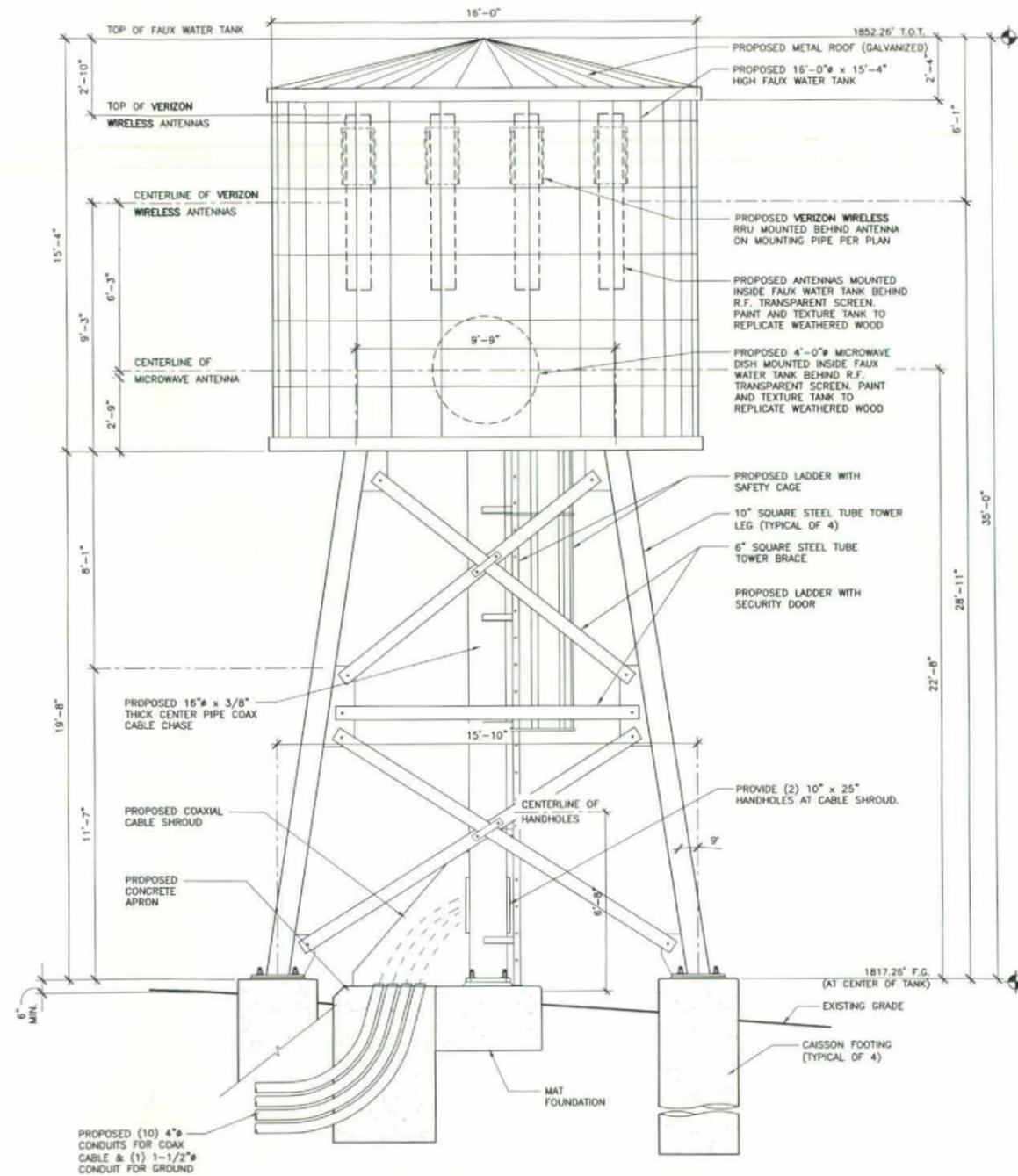


ANTENNA PLAN

SCALE: 3/8" = 1'-0"

ANTENNA PLAN NOTES:

- 1 PROPOSED 16'-0" x 35'-0" HIGH VERIZON WIRELESS FAUX WATER TANK
- 2 PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE NEW 16'-0" FAUX WATER TANK
- 3 PROPOSED GALVANIZED STEEL CENTER PIPE COAX CABLE CHASE FROM FAUX WATER TANK TO TRENCH
- 4 PROPOSED COAXIAL CABLE TRENCH (SHOWN DASHED)
- 5 CONCRETE CAISSON FOOTING AT LEGS OF NEW FAUX WATER TANK (TYPICAL OF 4)
- 6 PROPOSED VERIZON WIRELESS 4'-0" MICROWAVE DISH MOUNTED INSIDE NEW 16'-0" FAUX WATER TANK
- 7 PROPOSED LADDER
- 8 PROPOSED WATER TANK TOWER LEGS AND FRAMING (TYPICAL)
- 9 PROPOSED MAT FOUNDATION
- 10 PROPOSED COAXIAL CABLE SHROUD WITH ACCESS PANEL
- 11 PROPOSED VERIZON WIRELESS RRU MOUNTED BEHIND ANTENNA ON MOUNTING PIPE
- 12 PROPOSED ACCESS HATCH (SHOWN DASHED)
- 13 PROPOSED RAYCAP DC SURGE PROTECTION UNIT MOUNTED TO STEEL CENTER PIPE (TYPICAL OF 2)



FAUX WATER TANK ELEVATION

SCALE: 3/8" = 1'-0"

PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A/C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

AGUACATE
29520 PASO ROBLES RD
VALLEY CENTER, CA 92082
SAN DIEGO COUNTY

DRAWING DATES

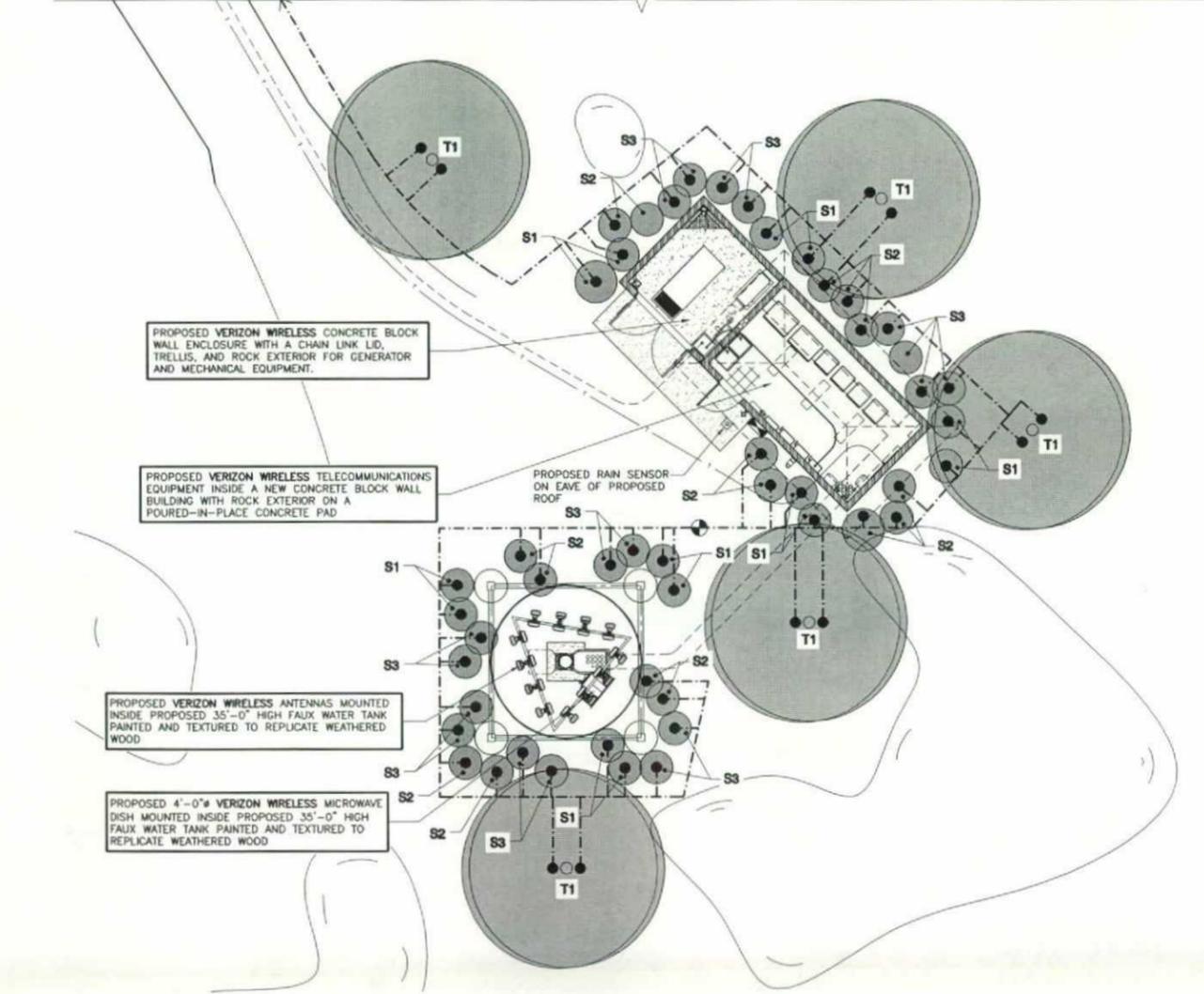
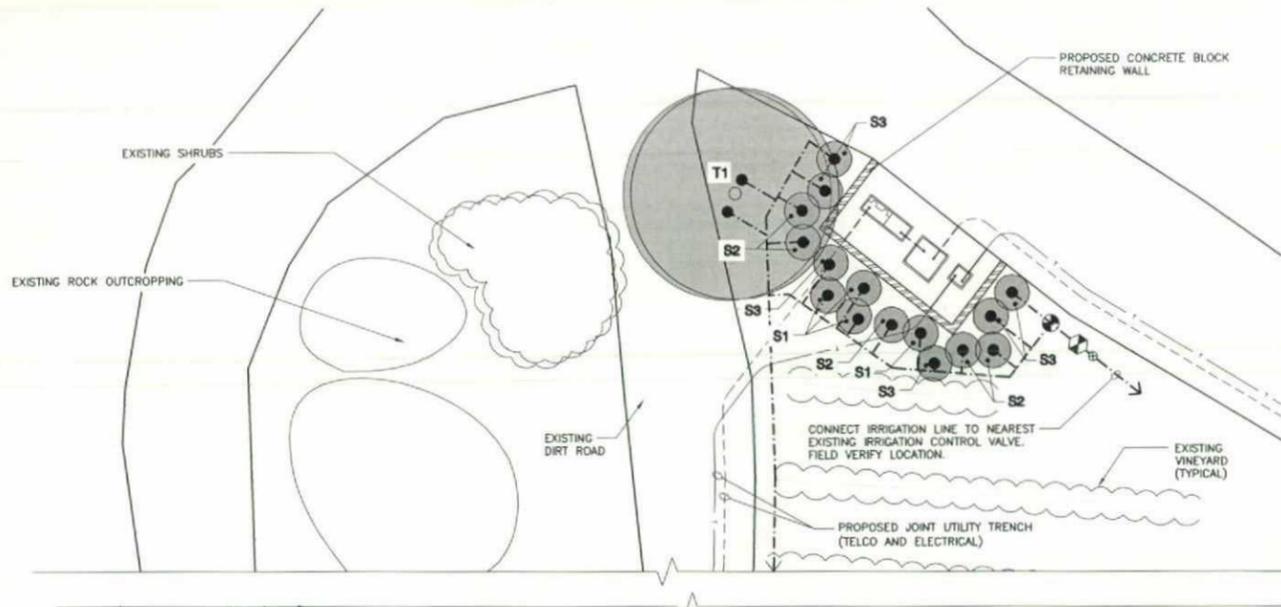
11/12/13	90% ZD (ic)
11/18/13	100% ZD (ic)
02/24/14	100% ZD Revision 1 (ic)
05/20/14	100% ZD Revision 2 (se)
06/18/14	100% ZD Revision 3 (ic)
09/30/14	100% ZD Revision 4 (ic)
10/21/14	100% ZD Revision 5 (ic)
11/11/14	100% ZD Revision 5 (ic)

SHEET TITLE

**FAUX WATER TANK
ELEVATION &
ANTENNA PLAN**

PROJECTS\VERIZON\13330

A-5



LANDSCAPE DEVELOPMENT PLAN

SCALE 1/8" = 1'-0"



WATER CONSERVATION NOTES

- ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO COUNTY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
- PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
- ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
- SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
- BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND WASTING.
- IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
- NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
- AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

IRRIGATION NOTES

- CONTRACTOR TO COORDINATE WITH PROPERTY OWNER FOR PROPOSED IRRIGATION P.O.C.
- CONTRACTOR TO DETERMINE AVAILABLE PRESSURE FROM IRRIGATION P.O.C.
- CONTRACTOR TO DETERMINE SYSTEM DESIGN PRESSURE AND PRESSURE MAIN LINE SIZE FROM AVAILABLE PRESSURE.

LANDSCAPE NOTES

- AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT, TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION.
- FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH.
- NO EXISTING TREES WILL BE REMOVED AS A PART OF THIS PROJECT.

PLANTING NOTES

- DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
- TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
- ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
- TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
- ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
- PLANTING INSTALLATION CRITERIA:
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
- PLANTING MAINTENANCE CRITERIA:
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE COUNTY OF SAN DIEGO LANDSCAPE STANDARDS.
- MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGN) - 20' ABOVE GROUND UTILITY STRUCTURES - 10'
UNDERGROUND UTILITY LINES - 5' DRIVEWAY (ENTRIES) - 10'
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25'
- IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
- IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
- ALL PRUNING SHALL COMPLY WITH THE NATIONAL ARBORIST ASSOCIATION. NO TOPPING OR PRUNING OF VEHICULAR USE AREA TREES INTO TOPIARY/HEDGE FORMS IS ALLOWED. TREES SHALL BE ALLOWED TO GROW TO THEIR FULL HEIGHT AND WIDTH TO PROVIDE THE INTENDED SHADE OVER PAVED PARKING SURFACES.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	SERIES AND DESCRIPTION	PSI	GPM	RAD
●	TORO	HARDEE 533 RICHELDEL ADJUSTABLE FLOW BUBBLER	20	0-2 GPM	0-2'
⊕	RAINBIRD	100-PEB 1" ELECTRIC REMOTE CONTROL VALVE			
⊙	KBI	IN LINE BALL VALVE FOR SYSTEM SHUT OFF			
⊖	FEBCO	PRESSURE BACKFLOW PREVENTER (SIZE, MAKE AND MODEL T.B.D.)			
⊞	RAINBIRD	ESP-4 4 STATION AUTOMATIC TIMER CONTROLLER W/ LOCKING CABINET			
⊠	RAINGUARD	RGVR-S VANDAL RESISTANT RAIN SENSOR SHUT OFF DEVICE			
---	J.M.	CLASS 200 PVC NON PRESSURE LATERAL LINE (USE CLASS 315 PVC FOR 1/2" SIZE)			

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	FORM / FUNCTION	MATURE HEIGHT & SPREAD
S1	CEANOTHUS ARBOREUS	CALIFORNIA LILAC 'TREWITHEM BLUE'	5 GALLON	18	SHRUB	10' HEIGHT 10' SPREAD
S2	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GALLON	21	SHRUB	10' HEIGHT 10' SPREAD
S3	HETEROMELES ARBUTIFOLIA	TOYON	5 GALLON	24	SHRUB	10' HEIGHT 10' SPREAD
T1	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	6	TREE	35' HEIGHT 45' SPREAD

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
395 CARLSBAD VILLAGE DRIVE SUITE 09
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A/C	DATE
RE	DATE
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PROJECT NAME

AGUACATE

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SAN DIEGO COUNTY

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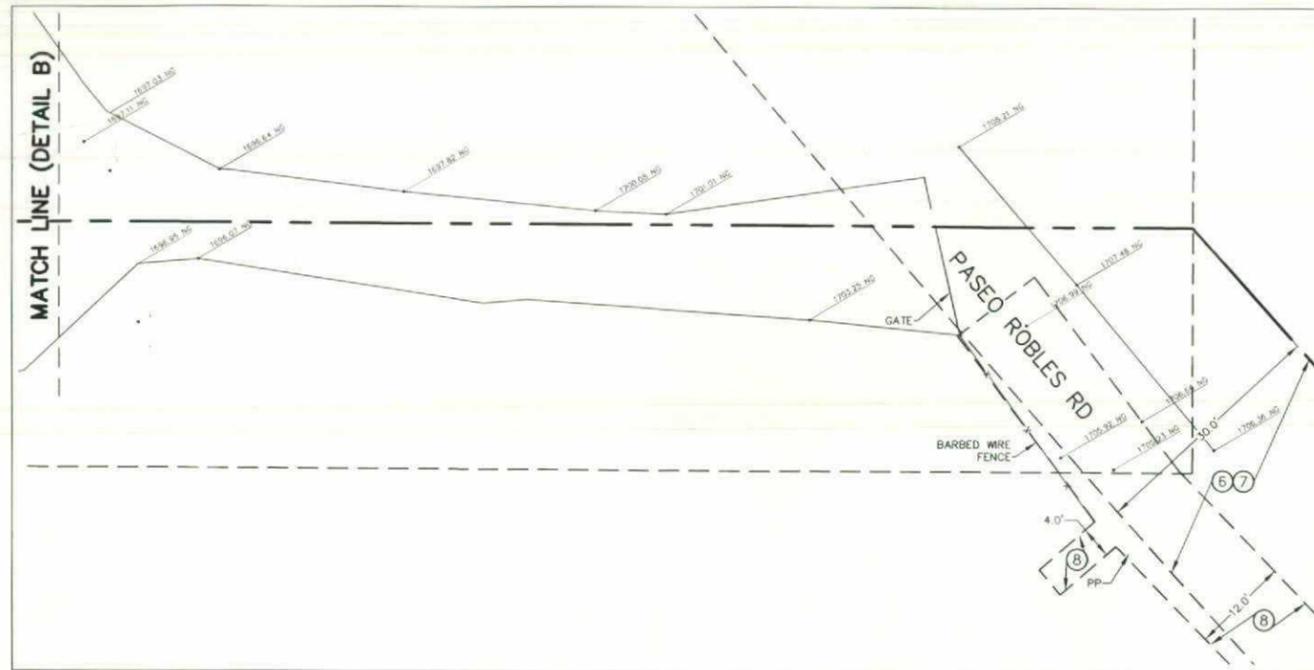
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02/24/14	100% ZD Revision 1 (ic)
05/20/14	100% ZD Revision 2 (sa)
06/16/14	100% ZD Revision 3 (ic)
09/30/14	100% ZD Revision 4 (ic)
10/21/14	100% ZD Revision 5 (ic)
11/11/14	100% ZD Revision 6 (ic)

SHEET TITLE

LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\13330

L-1



- LEGEND:**
- AC - ASPHALT CONCRETE
 - AG - ANCHOR GUY
 - CATV - CABLE BOX
 - EB - ELECTRIC BOX
 - EC - EDGE OF CONCRETE
 - EU - ELECTRIC UTILITY
 - FG - FINISH GRADE
 - FL - FLOW LINE
 - FS - FINISH SURFACE
 - FS - FINISH SURFACE
 - ICV - IRRIGATION CONTROL VALVE
 - LP - LIGHT POLE
 - PP - POWER POLE
 - SBC - SOUTHER BELL COMMUNICATION BOX
 - SDMH - STORM DRAIN MANHOLE
 - SUPB - STREET LIGHT PULLBOX
 - TB - TOP OF CONCRETE BASE
 - TC - TOP OF CURB
 - TOE - TOE OF NATURAL GROUND
 - TOP - TOP OF NATURAL GROUND
 - TP - TELEPHONE PEDESTAL
 - UB - UTILITY BOX

LEGAL DESCRIPTION:
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
THOSE PORTIONS OF LOT 2 AND THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 2, NORTH 89°43'34" EAST, 719.44 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 17°05'40" EAST, 250.73 FEET TO A POINT HEREIN DESIGNATED AS POINT "A"; THENCE NORTH 36°42'10" WEST, 60.00 FEET TO THE BEGINNING OF A TANGENT 166.01 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHEASTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 29°17'20", A DISTANCE OF 84.86 FEET; THENCE SOUTH 82°35'10" WEST, 30.00 FEET; THENCE SOUTH 89°44'10" WEST, 690.98 FEET TO THE WESTERLY LINE OF SAID LOT 2; THENCE ALONG SAID WESTERLY LINE SOUTH 00°47'30" WEST, 361.97 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 5; THENCE ALONG THE WESTERLY LINE OF SAID NORTHEAST QUARTER, SOUTH 00°47'38" WEST, 633.62 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID NORTHEAST QUARTER; THENCE ALONG THE NORTHERLY AND EASTERLY LINES OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AS FOLLOWS: NORTH 89°29'10" EAST, 883.50 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; AND SOUTH 01°07'17" WEST, 630.84 FEET TO THE SOUTHERLY LINE OF SAID NORTHEAST QUARTER OF SECTION 5; THENCE ALONG SAID SOUTHERLY LINE NORTH 89°14'36" EAST, 2040.30 FEET TO THE EASTERLY LINE OF SAID SECTION 5; THENCE ALONG SAID EASTERLY LINE NORTH 02°05'06" EAST, 302.04 FEET TO THE CENTER LINE OF THAT CERTAIN 60.00 FOOT EASEMENT RESERVED FOR ROAD AND PUBLIC UTILITY PURPOSES AS SHOWN ON RECORD OF SURVEY MAP NO. 6149, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 14, 1963; THENCE NORTHEASTERLY ALONG SAID CENTER LINE TO THE SOUTHERLY LINE OF LOT 1 IN SAID SECTION 5; THENCE ALONG THE SOUTHERLY LINE OF LOTS 1 AND 2 IN SAID SECTION 5, SOUTH 89°43'34" WEST, 1302.02 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:
EASEMENTS FOR ROAD AND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO OVER, UNDER, ALONG AND ACROSS THOSE PORTIONS OF LOTS 1 AND 2 AND OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS EASEMENT PARCELS "A", "B" AND "C" AS FOLLOWS:

EASEMENT PARCEL "A":
A STRIP OF LAND 60.00 FEET TO WIDTH THE CENTER LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

COMMENCING AT SAID POINT "A" HEREINABOVE DESIGNATED IN PARCEL 1; THENCE NORTH 35°42'10" WEST, 60.00 FEET TO THE BEGINNING OF A TANGENT 166.01 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY AND THE TRUE POINT OF BEGINNING; THENCE NORTHEASTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 49°17'30", A DISTANCE OF 139.92 FEET; THENCE TANGENT TO SAID CURVE NORTH 11°35'20" EAST, 38.90 FEET TO THE BEGINNING OF A TANGENT 160.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 132°48'10", A DISTANCE OF 370.86 FEET; THENCE TANGENT TO SAID CURVE SOUTH 35°36'20" EAST, 281.73 FEET TO THE BEGINNING OF A TANGENT 83.13 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 86°51'20", A DISTANCE OF 126.02 FEET TO THE BEGINNING OF A RESERVE 87.01 FOOT RADIUS CURVE; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 84°15'00", A DISTANCE OF 127.94 FEET; THENCE TANGENT TO SAID CURVE SOUTH 38°12'40" EAST, 213.86 FEET TO THE BEGINNING OF A TANGENT 200.00 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 52°03'46", A DISTANCE OF 181.73 FEET TO THE POINT OF TANGENCY IN THE SOUTHERLY LINE OF SAID LOT 1; THENCE ALONG SAID SOUTHERLY LINE TANGENCY TO SAID CURVE, NORTH 89°43'34" EAST, 317.27 FEET TO THE CENTER LINE OF THAT CERTAIN 60.00 FOOT EASEMENT RESERVED FOR ROAD AND PUBLIC UTILITY PURPOSES AS SHOWN ON RECORD OF SURVEY MAP NO. 6149, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 14, 1963.

EASEMENT PARCEL "B":
COMMENCING AT SAID POINT "A"; THENCE NORTH 36°42'10" WEST, 60.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE AT RIGHT ANGLE SOUTH 53°17'50" WEST, 30.00 FEET TO A POINT ON THE ARC OF A 50.00 FOOT RADIUS CURVE THE CENTER OF WHICH BEARS SOUTH 53°17'50" WEST FROM SAID POINT; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 36°52'12", A DISTANCE OF 32.18 FEET TO THE BEGINNING OF A REVERSE 50.00 FOOT RADIUS CURVE; THENCE COUNTER-CLOCKWISE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 253°44'24", A DISTANCE OF 221.43 FEET TO THE BEGINNING OF A REVERSE 50.00 FOOT RADIUS CURVE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 36°52'12", A DISTANCE OF 32.18 FEET; THENCE ALONG THE PROLONGATION OF THE RADIAL LINE OF SAID CURVE SOUTH 53°17'50" WEST, 30.00 FEET TO THE TRUE POINT OF BEGINNING.

EASEMENT PARCEL "C":
THAT PORTION OF SAID LOT 1 LYING WITHIN A STRIP OF LAND 60.00 FEET IN WIDTH, THE CENTER LINE OF WHICH IS DESCRIBED AS FOLLOWS:

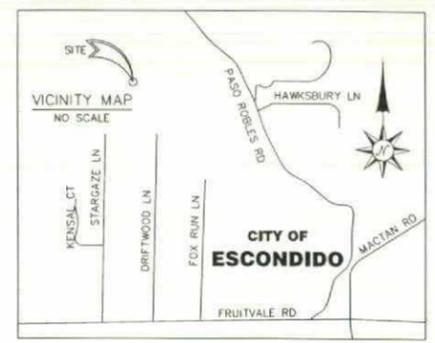
BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LOT 1, DISTANT THEREON SOUTH 89°43'34" WEST, 317.27 FEET FROM THE CENTER LINE OF THE 60.00 FOOT EASEMENT AS SHOWN ON SAID RECORD OF SURVEY MAP NO. 6149, BEING THE BEGINNING OF A TANGENT 259.71 FOOT RADIUS CURVE, CONCAVE, SOUTHEASTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 39°49'04" A DISTANCE OF 187.44 FEET.

PARCEL 3:
AN EASEMENT FOR ROAD AND PUBLIC UTILITIES AND FOR PURPOSES INCIDENTAL THERETO OVER, UNDER, ALONG AND ACROSS THOSE PORTIONS OF SECTIONS 4 AND 5 IN TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN AND DESIGNATED AS "60.00 FOOT EASEMENT RESERVED FOR ROAD AND PUBLIC UTILITY PURPOSES" ON RECORD OF SURVEY MAP NO. 6149, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 14, 1963, EXCEPTING THEREFROM ALL THAT PORTION THEREOF NOT LYING WITHIN SECTION 5, AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4.

DETAIL - A
SCALE: 1" = 10'



BOUNDARY DETAIL
SCALE: 1" = 500'



LEGAL DESCRIPTION: CONTINUED
PARCEL 4:

AN EASEMENT FOR ROAD AND PUBLIC UTILITIES OVER, UNDER, ALONG AND ACROSS A STRIP OF LAND 60.00 FEET IN WIDTH LYING WITHIN THE WEST HALF OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, THE CENTER LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, DISTANT THEREON, NORTH 89°22'49" WEST (RECORD NORTH 89°19'30" WEST) 576.55 FEET FROM THE SOUTHEASTERLY CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 53°51'01" EAST, 240.15 FEET TO THE BEGINNING OF A TANGENT 230.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 47°19'50", A DISTANCE OF 190.00 FEET; THENCE TANGENT TO SAID CURVE, NORTH 05°48'20" EAST, 71.75 FEET TO THE BEGINNING OF A TANGENT 200.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 28°54'00", A DISTANCE OF 100.88 FEET; THENCE TANGENT TO SAID CURVE NORTH 34°42'20" EAST, 330.91 FEET TO THE BEGINNING OF A TANGENT 350.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 32°53'35", A DISTANCE OF 200.93 FEET; THENCE TANGENT TO SAID CURVE NORTH 01°48'45" EAST, 497.61 FEET TO THE BEGINNING OF A 55.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE NORTHERLY AND NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 75°27'25", A DISTANCE OF 72.43 FEET; THENCE TANGENT TO SAID CURVE NORTH 73°58'40" WEST, 230.24 FEET TO THE BEGINNING OF A TANGENT 300.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 21°20'00", A DISTANCE OF 111.70 FEET; THENCE TANGENT TO SAID CURVE, NORTH 52°18'40" WEST, 672.50 FEET TO THE BEGINNING OF A TANGENT 200.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 21°38'30" A DISTANCE OF 75.74 FEET; THENCE TANGENT TO SAID CURVE, NORTH 30°40'10" WEST 312.42 FEET TO THE BEGINNING OF A TANGENT 500.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10°15'00", A DISTANCE OF 89.45 FEET; THENCE TANGENT TO SAID CURVE, NORTH 20°25'10" WEST, 287.78 FEET TO THE BEGINNING OF A TANGENT 3400.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02°05'24", A DISTANCE OF 124.02 FEET TO A POINT ON THE WESTERLY LINE OF SECTION 4 ABOVE DESCRIBED.

ASSESSOR'S PARCEL NUMBER: 188-150-40

ITEMS CORRESPONDING TO SCHEDULE "B":
BY COMMONWEALTH LAND TITLE COMPANY COMMITMENT NO: 08020654
4100 NEWPORT PLACE DR., SUITE 120 TITLE OFFICER: CHRIS MAJARI
NEWPORT BEACH, CA 92660 DATED: OCTOBER 10, 2013
(949) 724-0706

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

2. EASEMENT(S) OR RIGHT(S) OF WAY FOR THE PURPOSE(S) SHOWN BELOW AND RIGHT INCIDENTAL THERETO AS GRANTED AND/OR RESERVED IN VARIOUS DEEDS OF RECORD. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 3. EASEMENT(S) FOR PUBLIC HIGHWAY AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE COUNTY OF SAN DIEGO RECORDED IN BOOK 257 PAGE 441 OF DEEDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION IS NOT DISCLOSED OF RECORD AND IS NOT PLOTTED HEREON.
 4. THE RIGHTS OF THE PUBLIC TO USE ANY PORTION OF THE HEREIN DESCRIBED PROPERTY LYING WITHIN THE BOUNDARIES OF NEW SURVEY 52 AND ROAD SURVEY 841, AS SHOWN BY THE COUNTY SURVEYOR'S OFFICE. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
 5. EASEMENT(S) FOR ROAD AND PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED ON DECEMBER 30, 1965 AS FILE NO. 234623 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM ILLEGIBLE RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
 6. EASEMENT(S) FOR ROAD AND PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT RECORDED ON OCTOBER 8, 1968 AS FILE NO. 174750 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 7. EASEMENT(S) FOR ROAD AND PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED ON OCTOBER 9, 1968 AS FILE NO. 175734 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 8. EASEMENT(S) FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED ON APRIL 28, 1969 AS FILE NO. 73225 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 9. EASEMENT(S) FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED ON NOVEMBER 17, 1969 AS FILE NO. 89-626304 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ITEMS #'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID RECORD IS ASSUMED BY THIS MAP.

MIGUEL A. MARTINEZ L.S. 7443
PROFESSIONAL LAND SURVEYOR
STATE OF CALIFORNIA
Exp. 08/30/14

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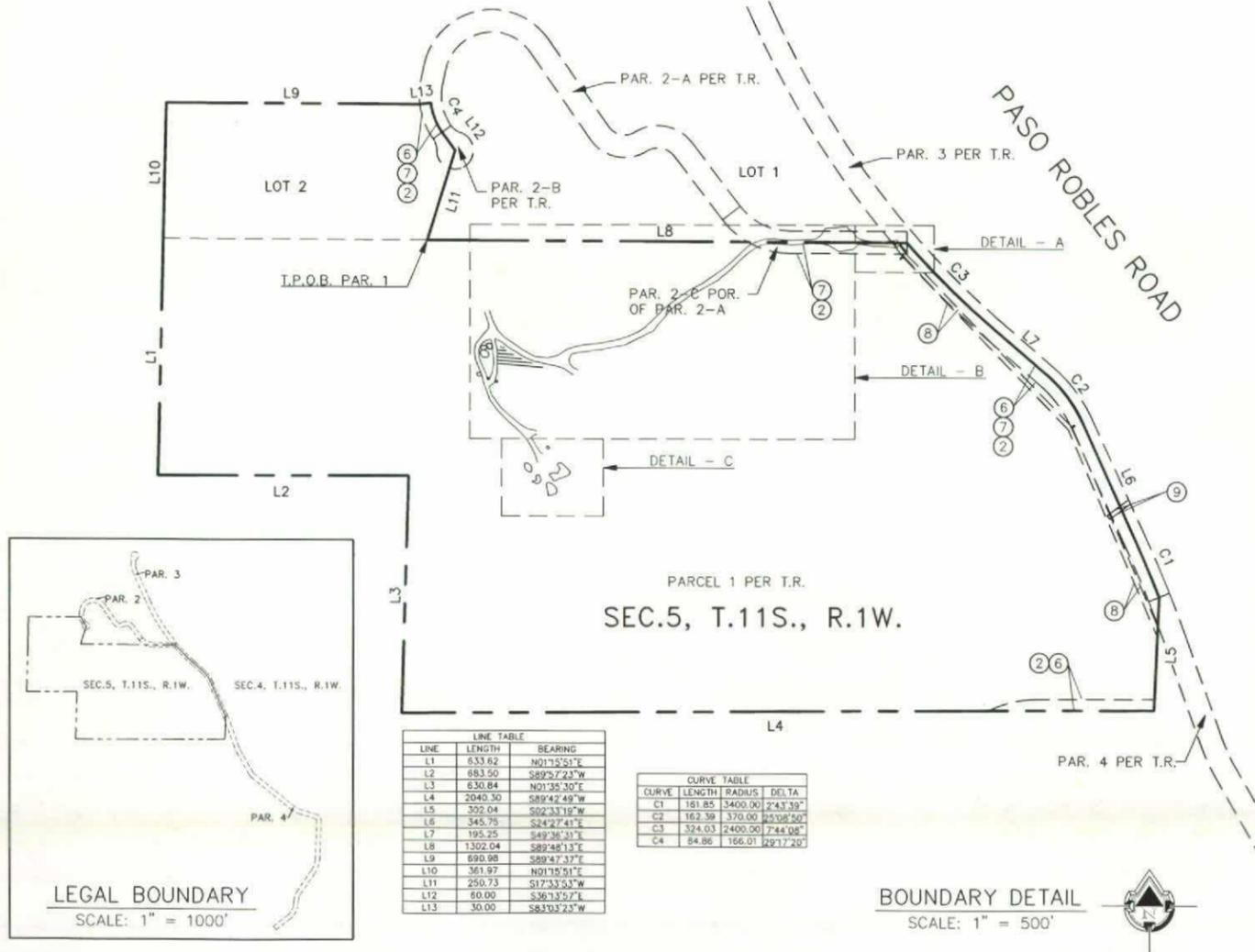
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SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

PROJECT NAME
AGUACATE
29520 PASO ROBLES RD
VALLEY CENTER, CALIFORNIA 92082

DRAWING DATES
C1

SHEET TITLE
TOPOGRAPHIC SURVEY



LINE TABLE

LINE	LENGTH	BEARING
L1	633.62	N01°15'51"E
L2	883.50	S89°27'23"W
L3	630.84	N01°35'30"E
L4	2040.30	S89°42'49"W
L5	302.04	S02°33'19"W
L6	345.75	S24°27'41"E
L7	195.25	S49°36'31"E
L8	1302.04	S89°46'13"E
L9	690.98	S89°47'37"E
L10	361.97	N01°15'51"E
L11	250.73	S17°33'53"W
L12	60.00	S36°13'57"E
L13	30.00	S83°03'23"W

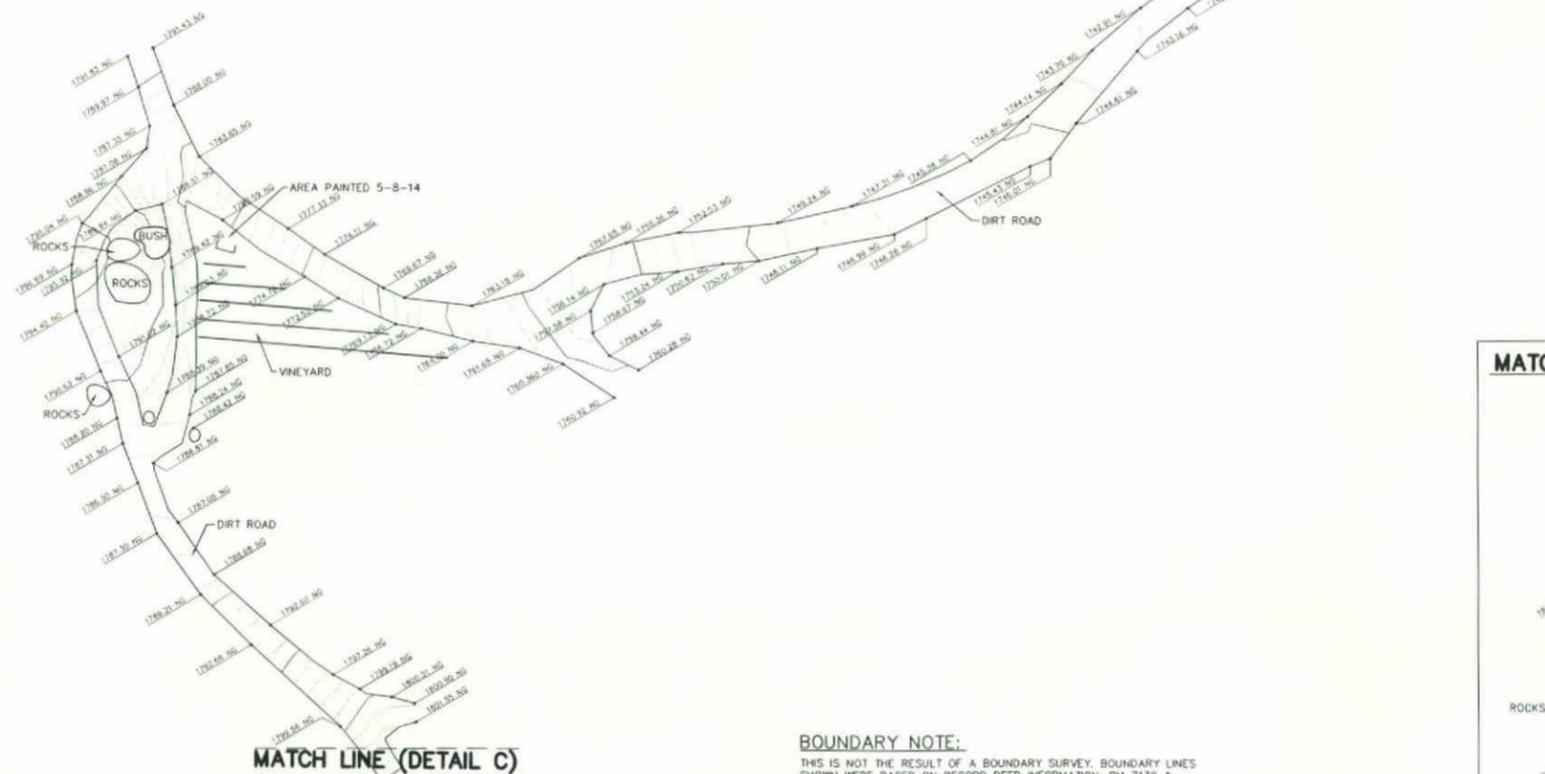
CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	181.85	3400.00	2°43'39"
C2	163.39	370.00	23°02'50"
C3	324.03	2400.00	7°44'08"
C4	84.86	166.01	29°17'20"

LEGAL BOUNDARY
SCALE: 1" = 1000'

C1

DETAIL - B
SCALE: 1" = 40'



LEGEND:

- AC - ASPHALT CONCRETE
- AG - ANCHOR GUY
- CATV - CABLE BOX
- ED - ELECTRIC BOX
- EC - EDGE OF CONCRETE
- EU - ELECTRIC UTILITY
- FG - FINISH GRADE
- FL - FLOW LINE
- FS - FINISH SURFACE
- FS - FINISH SURFACE
- ICV - IRRIGATION CONTROL VALVE
- LP - LIGHT POLE
- PP - POWER POLE
- SBC - SOUTHER BELL COMMUNICATION BOX
- SDMH - STORM DRAIN MANHOLE
- SLPB - STREET LIGHT PULLBOX
- TB - TOP OF CONCRETE BASE
- TC - TOP OF CURB
- TG - TOP OF NATURAL GROUND
- TOP - TOP OF NATURAL GROUND
- TP - TELEPHONE PEDESTAL
- UB - UTILITY BOX

BOUNDARY NOTE:

THIS IS NOT THE RESULT OF A BOUNDARY SURVEY. BOUNDARY LINES SHOWN WERE BASED ON RECORD DEED INFORMATION, PM 7139 & ROS 6149.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, GRID BEARING BETWEEN USGS STATION 'F 301 RESET' AND 'VALLEY CENTER 1975' PER USGS QUAD SHEETS.

ASSESSOR'S PARCEL NUMBER

188-150-40

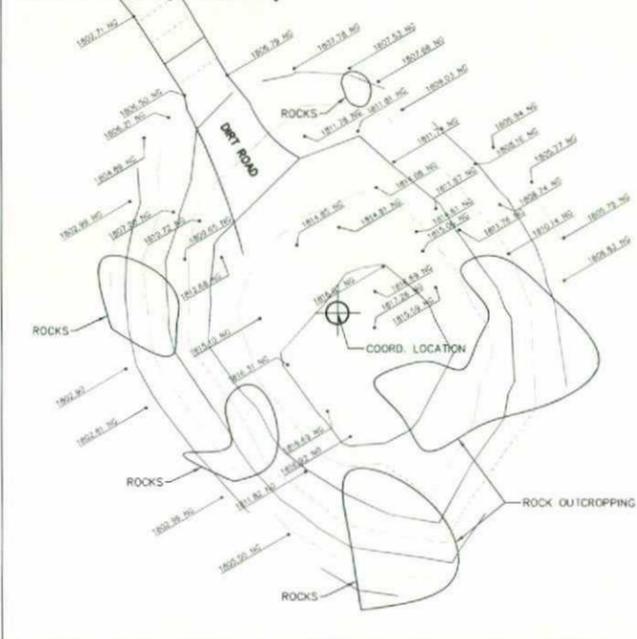
DATUM STATEMENT:

BENCHMARK FOR THIS SURVEY IS THE NGVD ELEVATION AT STATION 'F 301 RESET',
ELEV=1393.5
DATUM: NGVD 29

DATE OF SURVEY:

10/25/13

MATCH LINE (DETAIL B)



COORDINATES:

LATITUDE: 33°15'03.989" N
LONGITUDE: 117°00'10.283" W
DATUM: NAD83

DETAIL - C
SCALE: 1" = 20'



BOOTH & SUAREZ
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29520 PASO ROBLES RD
VALLEY CENTER, CALIFORNIA 92082

DRAWING DATES

SHEET TITLE

TOPOGRAPHIC SURVEY

C2