



RECHE  
731 S. STAGE COACH LANE  
FALLBROOK, CA 92028

**VICINITY MAP**

**SITE**

THOMAS GUIDE PAGE: 1027-J4

**ADDRESS**  
731 S. STAGE COACH LANE  
FALLBROOK, CA 92028

**DIRECTIONS:**  
(FROM VZW'S OFFICES IN IRVINE): FROM 15505 SAND CANYON AVENUE, IRVINE, CA 92618, HEAD SW ON SAND CANYON AVENUE TOWARD WATERWORKS WAY, KEEP LEFT AT THE FORK, MERGE ONTO 405 VIA RAMP TO SD, MERGE ONTO I-5 SOUTH, EXIT ONTO CA-76 E/SAN LUIS MISSION RY EXPY, TURN LEFT ONTO S MISSION ROAD, TURN RIGHT ONTO S. STAGE COACH LANE. DESTINATION WILL BE ON THE LEFT.

**CONSULTANT TEAM**

**ARCHITECT:**  
BOOTH & SUAREZ ARCHITECTURE INC.  
325 CARLSBAD VILLAGE DRIVE, SUITE D2  
CARLSBAD, CA 92008  
(760) 434-8474  
(760) 434-8596 (FAX)

**LEASING/PLANNING:**  
PLANCOM, INC.  
JODY BITTERLIN  
302 STATE PLACE  
ESCONDIDO, CA 92029  
(858) 349-8055

**SURVEYOR:**  
JRN CIVIL ENGINEERS  
232 AVENIDA FABRICANTE, SUITE 107  
SAN CLEMENTE, CA 92672  
(949) 248-4685

**PERMITS REQUIRED**

- MAJOR USE PERMIT

**SCALE**

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

**PROJECT SUMMARY**

**APPLICANT:** VERIZON WIRELESS  
15505 SAND CANYON AVENUE  
IRVINE, CA 92618  
**CONTACT:** JODY BITTERLIN  
PHONE: (858) 349-8055

**OWNER:** COMMUNITY BAPTIST CHURCH OF FALLBROOK  
731 S. STAGE COACH LANE  
FALLBROOK, CA 92028  
**SITE CONTACT:** REVEREND BENNETT  
PHONE: (760) 360-9726 OR  
(951) 5541-3192

**PROJECT DESCRIPTION:**

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A 35'-0" HIGH WOOD FRAMED MONUMENT TOWER.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS). ANTENNAS SHALL BE MOUNTED INSIDE PROPOSED 35'-0" HIGH MONUMENT TOWER.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND ANTENNAS
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED INSIDE PROPOSED 35'-0" HIGH MONUMENT TOWER.
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE FROM AN EXISTING UTILITY POLE
- INSTALLATION OF A 30kW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE A NEW CONCRETE BLOCK WALL ENCLOSURE
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM AN EXISTING UTILITY POLE
- INSTALLATION OF A NEW JOINT UTILITY TRENCH (DISTANCE OF TRENCHING ±130'-0")
- NO LANDSCAPE OR IRRIGATION IS PLANNED FOR THIS PROJECT

**PROJECT ADDRESS:** 731 S. STAGE COACH LANE  
FALLBROOK, CA 92028

**ASSESSORS PARCEL NUMBER:** APN 108-340-29

**EXISTING ZONING:** RR-2 (RURAL RESIDENTIAL)

**TOTAL SITE AREA:** 129,527 S.F.  
= 2.97 ACRES

**PROPOSED PROJECT AREA:**  
MONUMENT TOWER: 289 SF  
GENERATOR ENCLOSURE: 158 SF

**PROPOSED TYPE OF CONSTRUCTION:** TYPE VB

**PROPOSED OCCUPANCY:** B

**NOTE:** THERE ARE NO EXISTING TELECOMMUNICATIONS FACILITIES ON THIS SITE

**SHEET SCHEDULE**

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-0.1	STORM WATER MANAGEMENT PLAN
A-1	EQUIPMENT FLOOR PLAN
A-2	GENERATOR FLOOR PLAN
A-3	ANTENNA PLANS AND TOWER ROOF PLAN
A-4	EXTERIOR ELEVATIONS
A-5	GENERATOR ENCLOSURE ELEVATIONS
C-1	TOPOGRAPHIC SURVEY

**LEGAL DESCRIPTION**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE SOUTH 544.62 FEET OF THE EAST 400.00 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-1

**APPLICABLE CODES**

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION
- CALIFORNIA PLUMBING CODE, 2013 EDITION
- CALIFORNIA MECHANICAL CODE, 2013 EDITION
- CALIFORNIA ELECTRICAL CODE, 2013 EDITION
- CALIFORNIA FIRE CODE, 2013 EDITION
- CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

**ACCESSIBILITY DISCLAIMER**

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.



PREPARED FOR

P.O. BOX 19707  
IRVINE, CA 92623-9707  
(949) 286-7000

**APPROVALS**

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

**PROJECT NAME**

**RECHE**

731 S. STAGE COACH LANE  
FALLBROOK, CA 92028  
SAN DIEGO COUNTY

**DRAWING DATES**

DATE	REVISION
10/01/13	90% ZD (ic)
10/03/13	100% ZD (ic)
10/31/13	100% ZD Revision 1 (ic)
11/22/13	100% ZD Revision 2 (ic)
12/24/13	100% ZD Revision 3 (dm)
05/02/14	100% ZD Revision 4 (ic)
05/09/14	100% ZD Revision 5 (se)
07/15/14	100% ZD Revision 6 (se)
08/18/14	100% ZD Revision 7 (ic)
12/01/14	100% ZD Revision 8 (ic)
01/05/15	100% ZD Revision 9 (se)
01/24/15	100% ZD Revision 10 (se)
04/07/15	100% ZD Revision 11 (ic)
05/01/15	100% ZD Revision 12 (ic)

**SHEET TITLE**

**TITLE SHEET & PROJECT DATA**

PROJECTS\VERIZON\13241

SDC PDS RCVD 05-01-15 T-1  
**MUP14-004**

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 IRVINE, CA 92623-9707  
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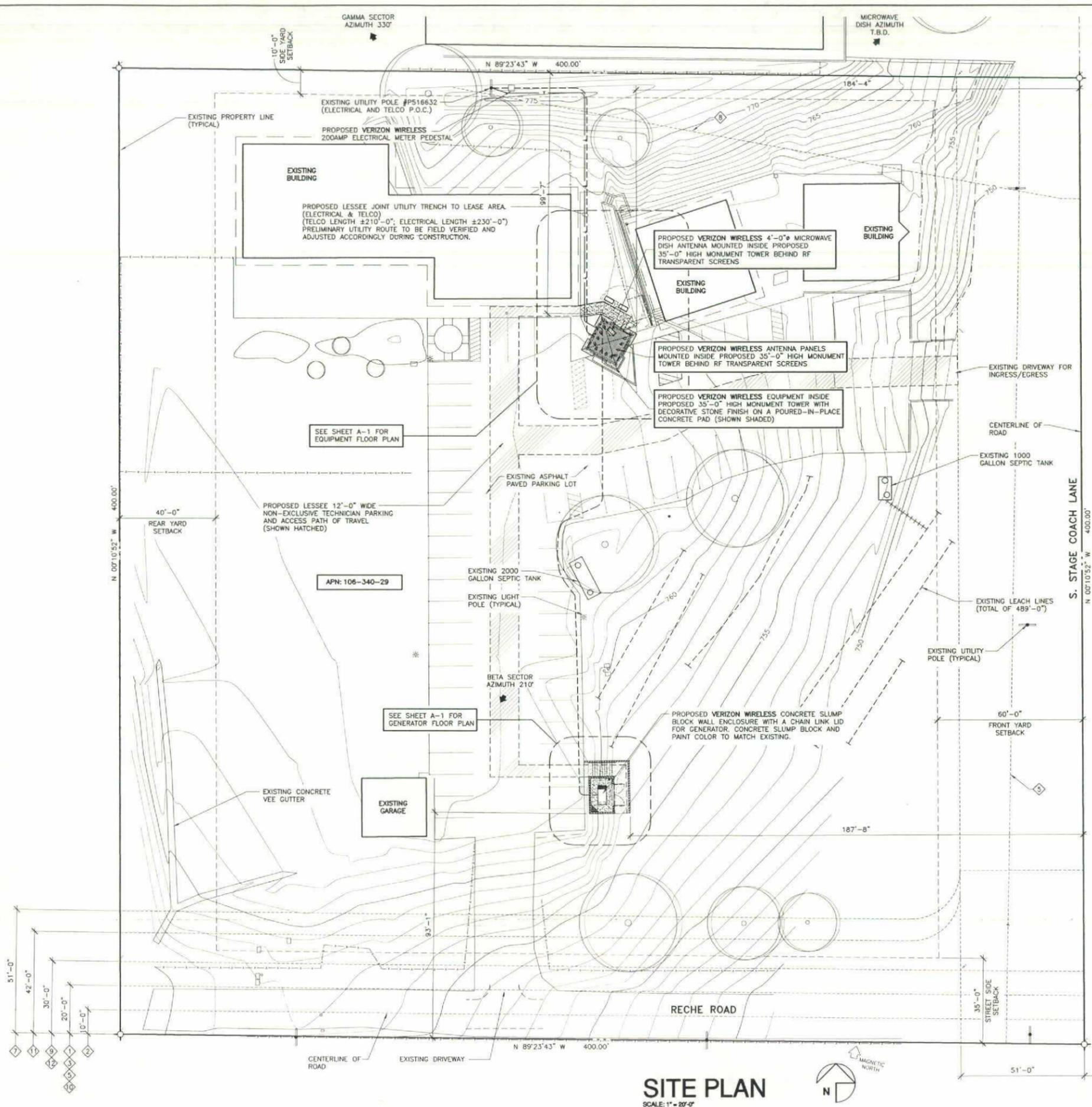
DRAWING DATES

10/01/13	90% ZD (ic)
10/03/13	100% ZD (ic)
10/31/13	100% ZD Revision 1 (ic)
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05/02/14	100% ZD Revision 4 (ic)
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05/01/15	100% ZD Revision 12 (ic)

SHEET TITLE  
**SITE PLAN**

PROJECTS\VERIZON\13241

**A-0**



**SITE PLAN**  
 SCALE: 1" = 20'-0"

ALPHA SECTOR  
 AZIMUTH 100°

S. STAGE COACH LANE  
 N 00°10'52" W 400.00'

- EASEMENT NOTES:**
- 1 EXISTING EASEMENT FOR ROAD
  - 2 EXISTING EASEMENT FOR WATER PIPELINE AND INCIDENTAL RIGHTS
  - 3 EXISTING EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL RIGHTS
  - 4 EXISTING EASEMENT FOR INGRESS AND EGRESS
  - 5 EXISTING EASEMENT FOR POLES, WIRES AND ANCHORS AND INCIDENTAL RIGHTS
  - 6 EXISTING EASEMENT PUBLIC ROAD AND INCIDENTAL RIGHTS
  - 7 EXISTING EASEMENT FOR MATTERS CONTAINED IN A DOCUMENT RECORDED OCTOBER 28, 1965
  - 8 EXISTING EASEMENT FOR POLES, WIRES AND ANCHORS AND INCIDENTAL RIGHTS
  - 9 EXISTING EASEMENT FOR ROAD AND UTILITY AND INCIDENTAL RIGHTS
  - 10 EXISTING EASEMENT FOR UNDERGROUND COMMUNICATION STRUCTURES AND INCIDENTAL RIGHTS
  - 11 EXISTING EASEMENT OFFERED FOR DEDICATION
  - 12 EXISTING EASEMENT PUBLIC UTILITIES AND INCIDENTAL RIGHTS

**EASEMENTS:**  
 EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS.

**BOUNDARY NOTE:**  
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED.

PREPARED FOR  
**verizon**wireless  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

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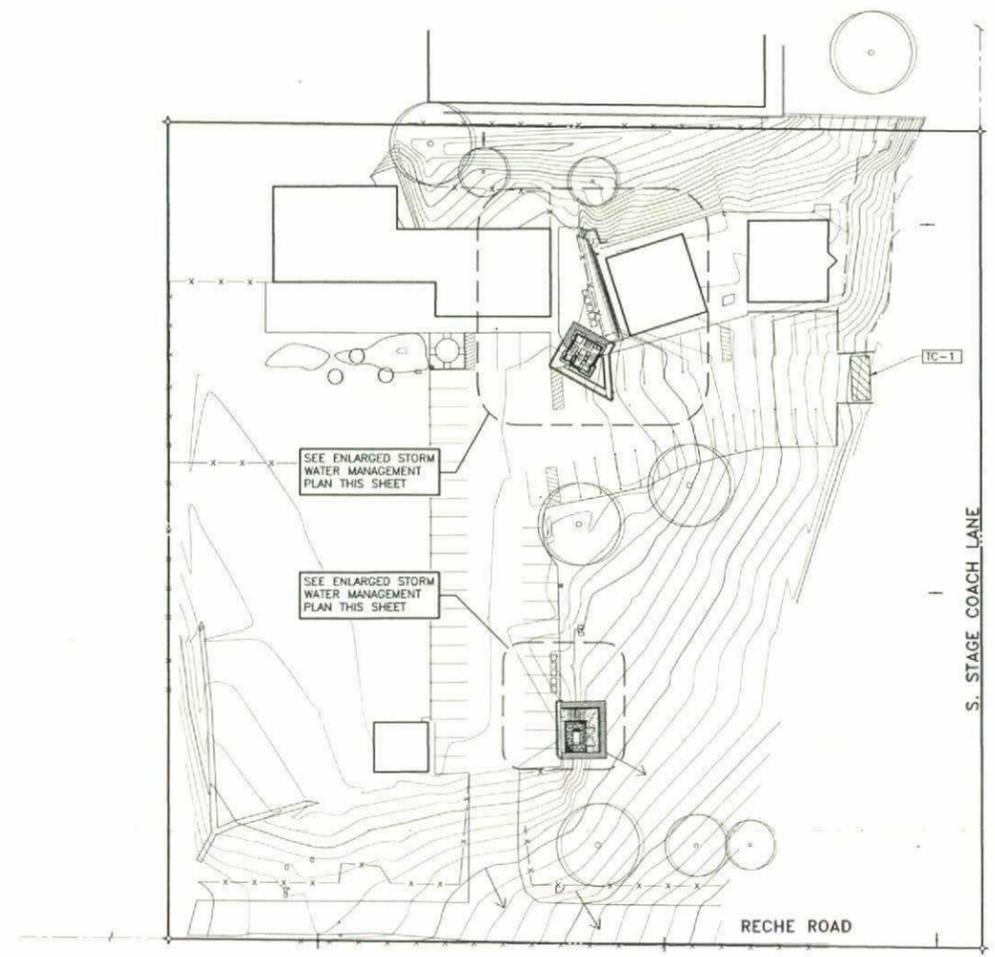
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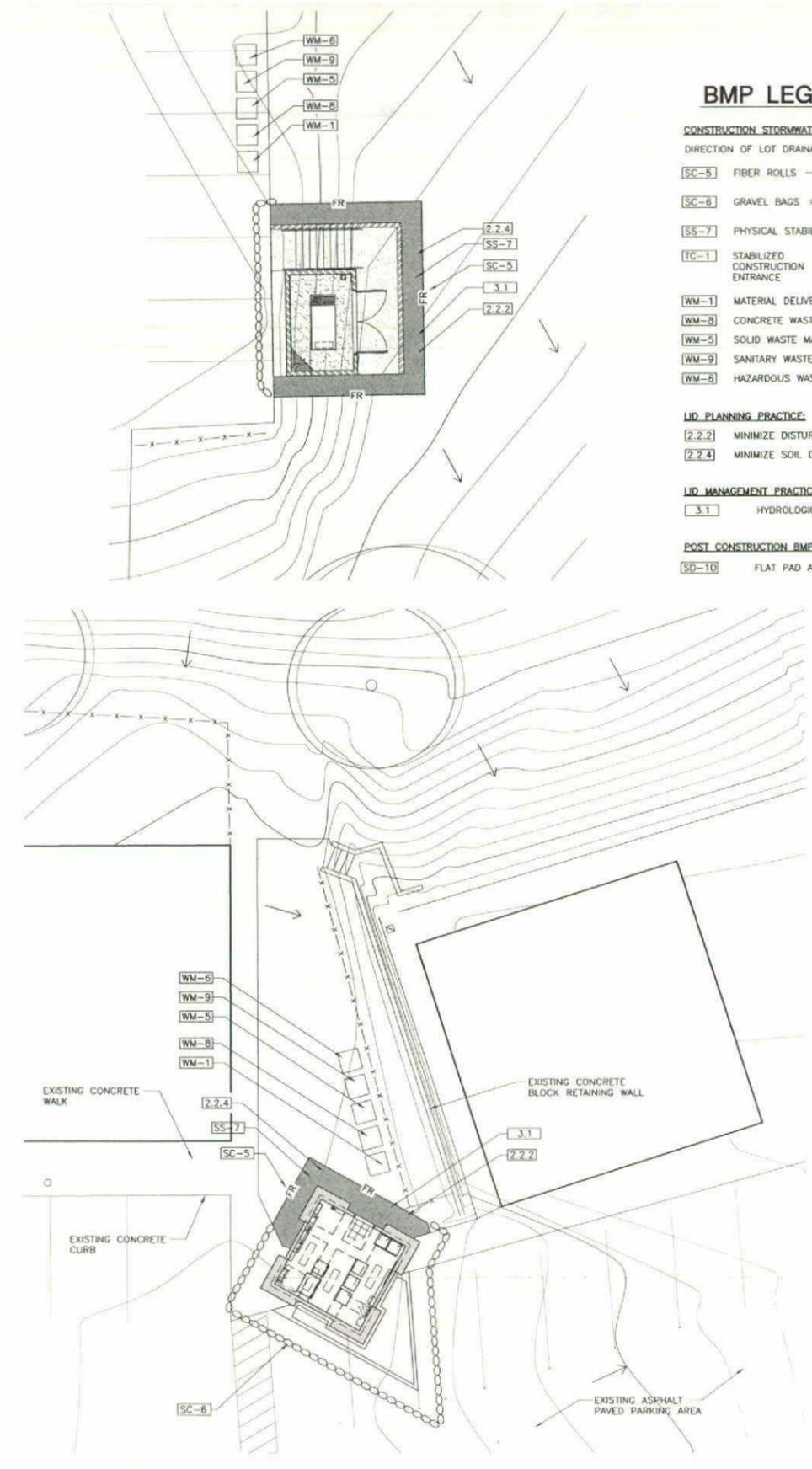
SHEET TITLE  
**STORM WATER  
 MANAGEMENT PLAN**

PROJECTS\VERIZON\13241

**A-0.1**



**STORM WATER  
 MANAGEMENT PLAN**  
 SCALE: 1" = 40'-0"



**ENLARGED STORM WATER MANAGEMENT PLANS**  
 SCALE: 1" = 10'-0"

**BMP LEGEND**

- CONSTRUCTION STORMWATER BMPs:**  
 DIRECTION OF LOT DRAINAGE → →
- SC-5 FIBER ROLLS —FR—FR—
  - SC-6 GRAVEL BAGS ○○○○○○
  - SS-7 PHYSICAL STABILIZATION ■■■■
  - TC-1 STABILIZED CONSTRUCTION ENTRANCE ▨▨▨▨
- WM-1 MATERIAL DELIVERY & STORAGE**  
**WM-8 CONCRETE WASTE MANAGEMENT**  
**WM-5 SOLID WASTE MANAGEMENT**  
**WM-9 SANITARY WASTE MANAGEMENT**  
**WM-6 HAZARDOUS WASTE MANAGEMENT**
- LID PLANNING PRACTICE:**  
 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGE  
 2.2.4 MINIMIZE SOIL COMPACTION
- LID MANAGEMENT PRACTICE:**  
 3.1 HYDROLOGIC DESIGN
- POST CONSTRUCTION BMPs:**  
 SD-10 FLAT PAD AREA COVERAGE

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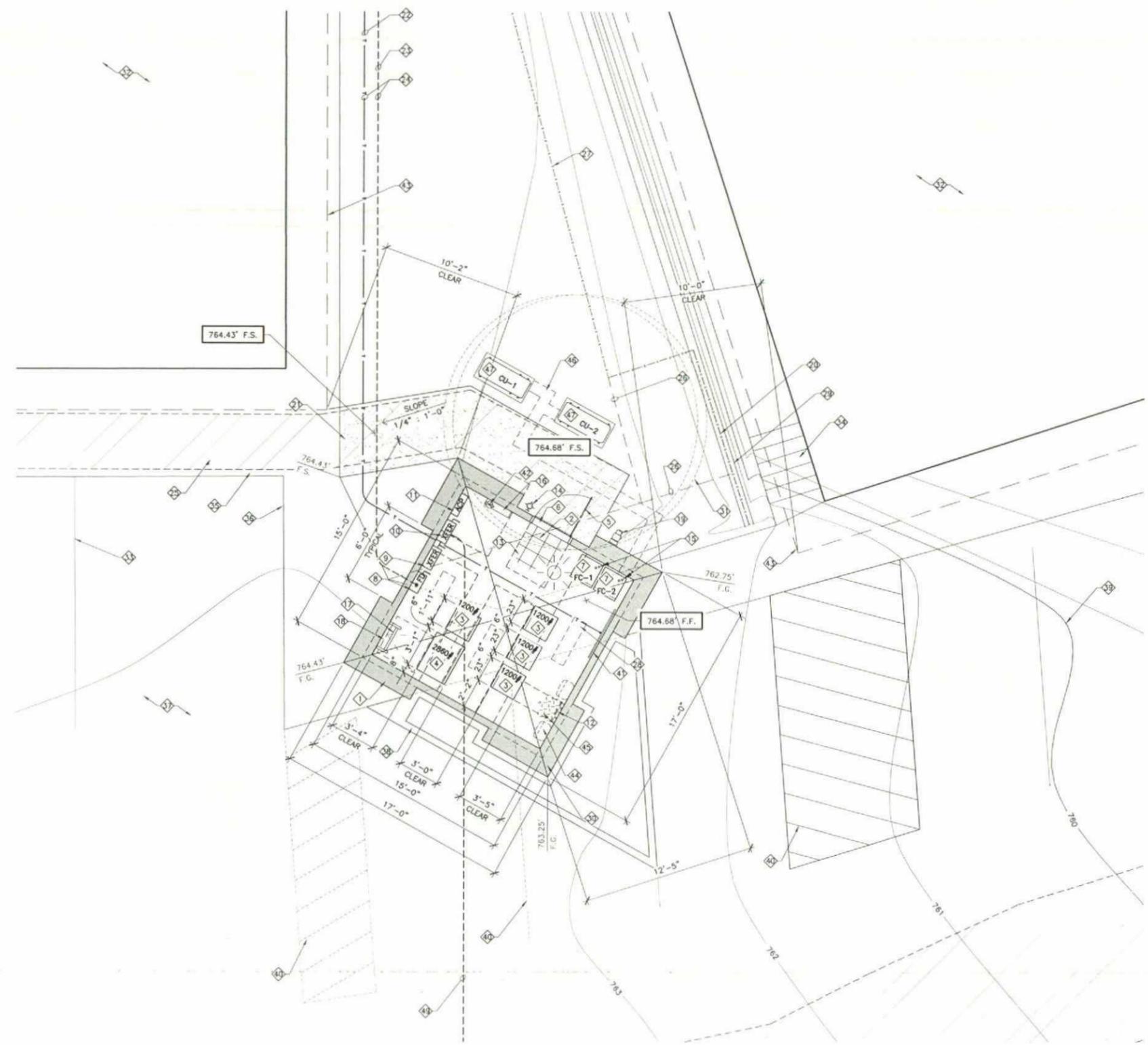
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SHEET TITLE

**EQUIPMENT FLOOR PLAN**

PROJECTS\VERIZON\13241



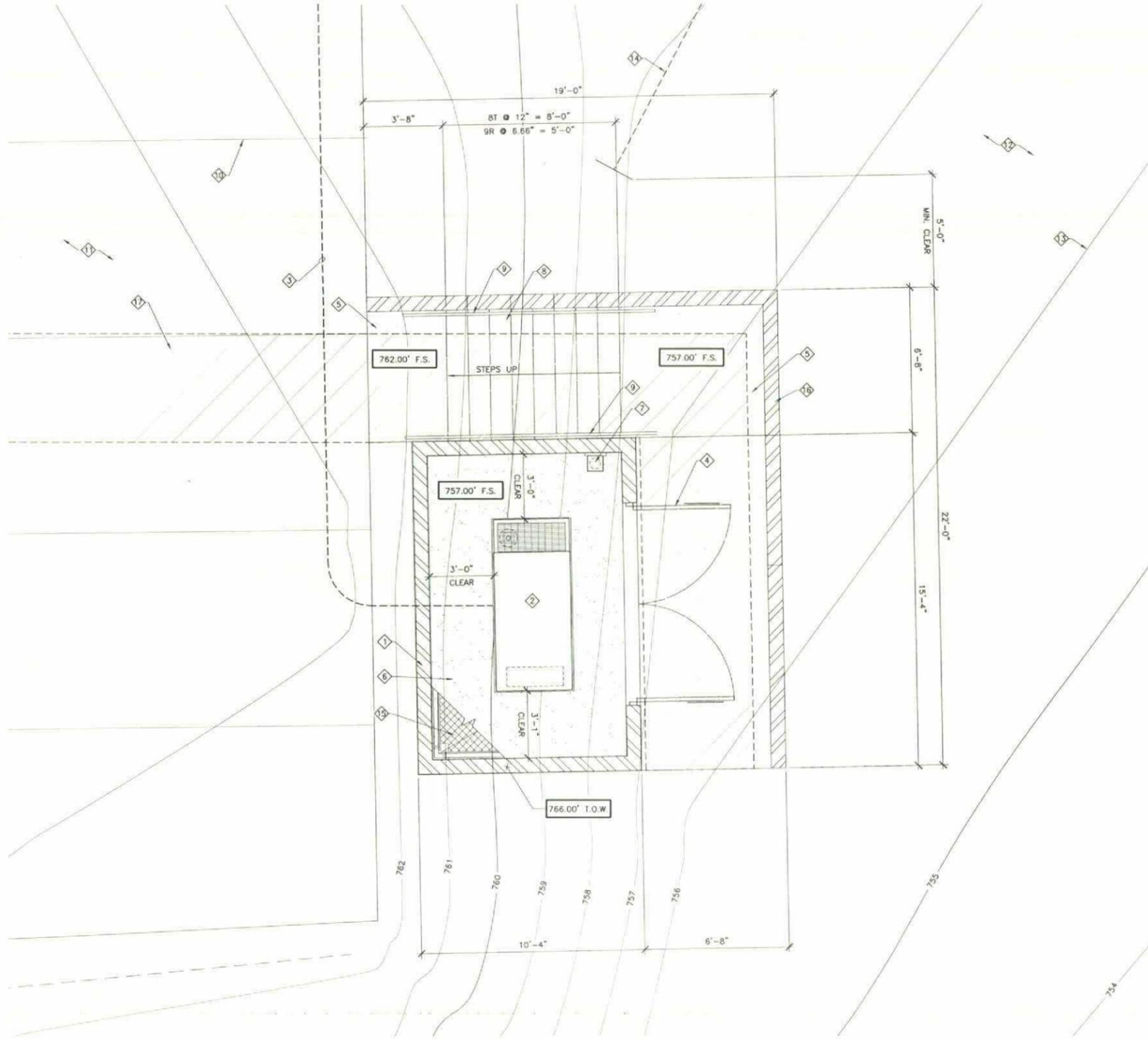
EQUIPMENT FLOOR PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE A NEW WOOD FRAMED EQUIPMENT TOWER, ARCHITECTURE AND FINISH TO MATCH EXISTING BUILDINGS (SHOWN SHADED).
- 2. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELON #51973 MONO WHITE WITH 4" COVER BASE.
- 3. PROPOSED VERIZON WIRELESS EQUIPMENT RACK, 23" WIDE x 84" HIGH x 23" DEEP, WEIGHT: 1200 LBS. (TYPICAL OF 4)
- 4. PROPOSED VERIZON WIRELESS 2V BATTERY RACK, 37" WIDE x 37.66" HIGH x 27.88" DEEP, WEIGHT: 2860 LBS. (TYPICAL OF 1)
- 5. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 6. PROPOSED ALUMINUM THRESHOLD
- 7. PROPOSED AIR HANDLERS (TYPICAL OF 2)
- 8. PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9. PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10. PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11. PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 13. PROPOSED OVERHEAD 18" CABLE LADDER @ +7'-6" (SHOWN DASHED)
- 14. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 15. PROPOSED REFRIGERANT LINE ROUTING
- 16. PROVIDE AND INSTALL (1) BATTERY ACID SPILL KIT
- 17. PROPOSED STEEL ACCESS LADDER
- 18. PROPOSED ACCESS HATCH ABOVE (SHOWN DASHED)
- 19. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 20. PROPOSED CHAIN LINK FENCE
- 21. PROPOSED CONCRETE SIDEWALK
- 22. PROPOSED TELCO CONDUIT IN AN UNDERGROUND TRENCH
- 23. PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND TRENCH
- 24. PROPOSED UNDERGROUND JOINT UTILITY TRENCH, PRELIMINARY UTILITY ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION.
- 25. PROPOSED LESSEE ACCESS PATH OF TRAVEL (SHOWN HATCHED)
- 26. REMOVE PORTION OF EXISTING CHAIN LINK FENCE (SHOWN DASHED)
- 27. EXISTING FENCE TO REMAIN
- 28. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 3)
- 29. EXISTING CONCRETE BLOCK RETAINING WALL
- 30. REMOVE EXISTING LIGHT STANDARD
- 31. REMOVE EXISTING TREE
- 32. EXISTING BUILDING
- 33. EXISTING PARKING STRIPE
- 34. EXISTING CONCRETE STEPS
- 35. EXISTING CONCRETE WALK
- 36. EDGE OF EXISTING PAVEMENT
- 37. EXISTING ASPHALT PAVED PARKING AREA (TYPICAL)
- 38. PROPOSED CONCRETE PLANTER CURB
- 39. EXISTING CONTOUR LINES AT 1'-0" INTERVALS
- 40. PROPOSED ACCESSIBLE PARKING STRIPES
- 41. PROPOSED WALL MOUNTED TELCO BOARD
- 42. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 43. EXISTING BUILDING ROOF OVERHANG ABOVE (SHOWN DASHED)
- 44. PROPOSED RAYCAP DC SURGE PROTECTION UNITS MOUNTED HIGH UP ON WALL (TYPICAL OF 2)
- 45. PROPOSED (6) 6" CONDUITS FOR COAX CABLE & (1) 1-1/2" CONDUIT FOR GROUND ABOVE
- 46. PROPOSED REFRIGERANT LINE ROUTING IN A TRENCH UNDER PROPOSED CONCRETE SIDEWALK
- 47. PROPOSED OUTDOOR CONDENSER UNIT (CARRIER MODEL 38HDR60 WITH 72 dBA SOUND LEVEL, OR EQUIVALENT SIZED UNIT) MOUNTED ON A CONCRETE PAD (TYPICAL OF 2)
- 48. BLACK OUT EXISTING PARKING STRIPES
- 49. PROPOSED ELECTRICAL CONDUIT ROUTING FOR GENERATOR IN A UTILITY TRENCH UNDER EXISTING ASPHALT PAVED DRIVEWAY

**EQUIPMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"





**GENERATOR FLOOR PLAN NOTES:**

- ① PROPOSED CONCRETE SLUMP BLOCK WALL ENCLOSURE, CONCRETE SLUMP BLOCK COLOR TO MATCH EXISTING BUILDINGS (NOISE CONTROL FEATURE)
- ② PROPOSED VERIZON WIRELESS 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD IN A SOUND ATTENUATION ENCLOSURE WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 65 dBA OR LESS AT A REFERENCE DISTANCE OF 23 FEET, OR EQUIVALENT SIZED UNIT
- ③ PROPOSED ELECTRICAL CONDUIT ROUTING FOR GENERATOR IN A UTILITY TRENCH UNDER EXISTING ASPHALT PAVED DRIVEWAY
- ④ PROPOSED PAIR 4'-8" WIDE STEEL GATE & FRAME W/ SIGNAGE
- ⑤ PROPOSED CONCRETE LANDING
- ⑥ INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER
- ⑦ PROVIDE AND INSTALL (1) WALL MOUNTED CLASS 4A-40B-C FIRE EXTINGUISHER INSIDE A NEMA 3R CABINET
- ⑧ PROPOSED CONCRETE STAIRS
- ⑨ PROPOSED HANDRAIL
- ⑩ EXISTING PARKING STRIPE (TYPICAL)
- ⑪ EXISTING ASPHALT PAVED PARKING AREA (TYPICAL)
- ⑫ EXISTING LANDSCAPE AREA
- ⑬ EXISTING CONTOUR LINES AT 1'-0" INTERVALS
- ⑭ EXISTING LEACH LINE
- ⑮ PROPOSED CHAIN LINK LID
- ⑯ PROPOSED CONCRETE BLOCK RETAINING WALL
- ⑰ PROPOSED LESSEE ACCESS PATH OF TRAVEL (SHOWN HATCHED)

**GENERATOR FLOOR PLAN**  
SCALE: 3/8" = 1'-0"



PREPARED FOR  
**verizon wireless**  
P.O. BOX 19707  
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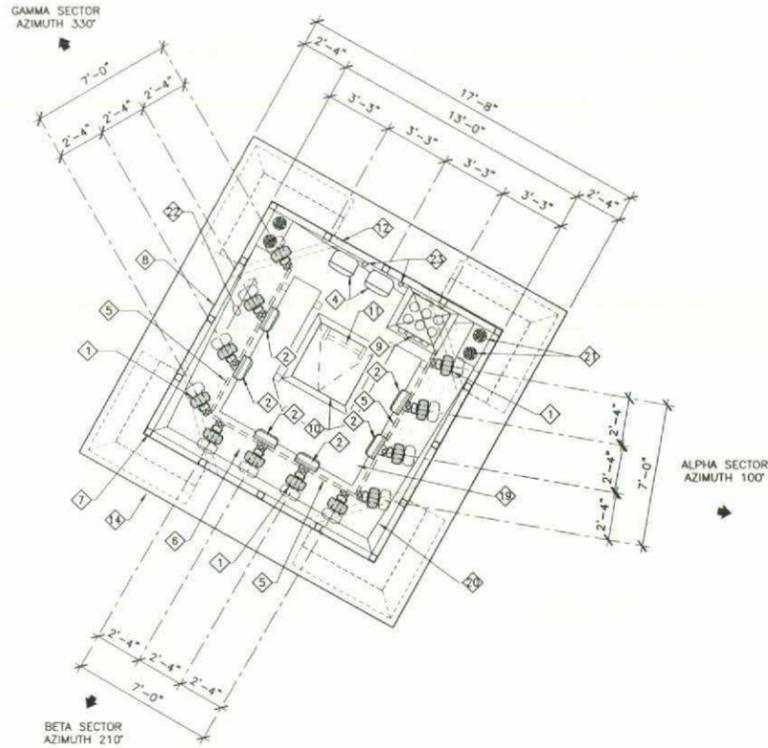
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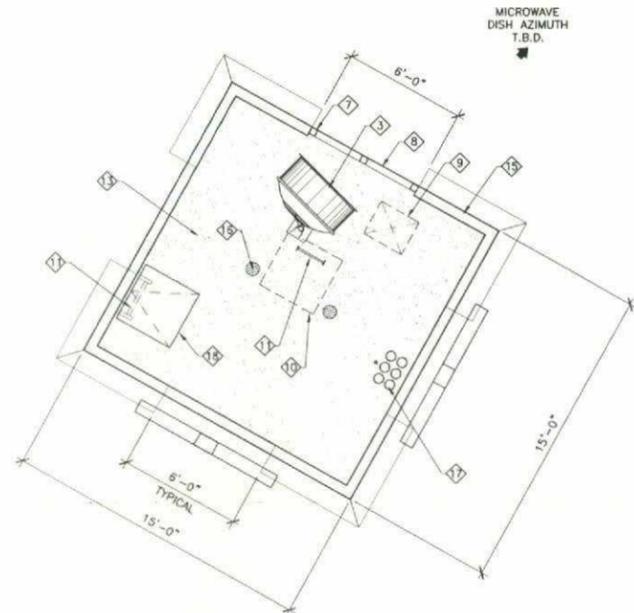
SHEET TITLE  
**GENERATOR FLOOR PLAN**

PROJECTS\VERIZON\13241



**UPPER LEVEL ANTENNA PLAN**

SCALE: 1/4" = 1'-0"



**LOWER LEVEL ANTENNA PLAN**

SCALE: 1/4" = 1'-0"

ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR ANTENNA	DIRECTION	AZIMUTH	DOWNTILT	SKW ANGLE	SIZE	RRU REQUIREMENTS PER SECTOR	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX SIZE
ALPHA1	EAST	100°	0°	N/A	78" L x 15" W x 9.5" D	(4) RRU'S FOR AWS AND PCS LTE + (4) RRU'S A2 FOR 4-WAY RX DIVERSITY, TYPICAL PER SECTOR	6 COAX, 2 HYBRID + 4 RET CABLES	30'-0"	6'-0"	7/8"
ALPHA2					78" L x 15" W x 9.5" D					
ALPHA3					78" L x 15" W x 9.5" D					
ALPHA4					78" L x 15" W x 9.5" D					
BETA1	SOUTHWEST	210°	0°	N/A	78" L x 15" W x 9.5" D	(4) RRU'S FOR AWS AND PCS LTE + (4) RRU'S A2 FOR 4-WAY RX DIVERSITY, TYPICAL PER SECTOR	6 COAX, 2 HYBRID + 4 RET CABLES	30'-0"	6'-0"	7/8"
BETA2					78" L x 15" W x 9.5" D					
BETA3					78" L x 15" W x 9.5" D					
BETA4					78" L x 15" W x 9.5" D					
GAMMA1	NORTHWEST	330°	0°	N/A	78" L x 15" W x 9.5" D	(4) RRU'S FOR AWS AND PCS LTE + (4) RRU'S A2 FOR 4-WAY RX DIVERSITY, TYPICAL PER SECTOR	6 COAX, 2 HYBRID + 4 RET CABLES	30'-0"	6'-0"	7/8"
GAMMA2					78" L x 15" W x 9.5" D					
GAMMA3					78" L x 15" W x 9.5" D					
GAMMA4					78" L x 15" W x 9.5" D					
MICROWAVE DISH	T.B.D.	-	-	-	4'-0" DIAMETER		1	25'-0"	-	1 1/4"

**ANTENNA PLAN NOTES:**

- 1 PROPOSED VERIZON WIRELESS ANTENNA PANELS MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS. (TYP.)
- 2 PROPOSED STACKED PAIR VERIZON WIRELESS RRU'S MOUNTED BEHIND ANTENNA ON MOUNTING PIPE (TYPICAL 4 RRU'S PER SECTOR) (SEE RRU REQUIREMENTS IN ANTENNA SCHEDULE)
- 3 PROPOSED VERIZON WIRELESS 4'-0" MICROWAVE DISH MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREEN
- 4 PROPOSED RAYCAP DC SURGE PROTECTION UNITS MOUNTED TO UNITSTRUT (TYPICAL OF 2)
- 5 PROPOSED UNISTRUT
- 6 PROPOSED BUILT-UP ROOFING
- 7 PROPOSED 4" x 4" x 1/4" FIBERGLASS TUBE (TYPICAL)
- 8 PROPOSED RF TRANSPARENT SCREEN
- 9 PROPOSED COAX CABLE HATCH (ABOVE SHOWN DASHED)
- 10 PROPOSED ACCESS HATCH (ABOVE SHOWN DASHED)
- 11 PROPOSED STEEL ACCESS LADDER (BELOW SHOWN DASHED)
- 12 PROPOSED BRACE ABOVE (TYPICAL OF 4) (SHOWN DASHED)
- 13 PROPOSED WATERPROOF DECK
- 14 PROPOSED DECORATIVE ARCHITECTURAL FOAM
- 15 PROPOSED 2x STUD WALL
- 16 PROPOSED FLOOR DRAIN (TYPICAL OF 2)
- 17 PROPOSED COAX CABLE PENETRATION WITH (6) 6" NONCOMBUSTIBLE SLEEVES IN FLOOR
- 18 PROPOSED ACCESS HATCH
- 19 PROPOSED COAX CABLE TRAY ON 4 X 4 PVC SLEEPERS
- 20 PROPOSED ROOF CRICKET
- 21 PROPOSED ROOF DRAIN AND OVERFLOW (TYPICAL OF 2)
- 22 SLOPE MINIMUM 1/4" PER 1'-0" TO DRAIN
- 23 PROPOSED E911/GPS ANTENNAS MOUNTED TO FIBERGLASS TUBE FRAMING ABOVE (TYPICAL OF 2)

APPROVALS

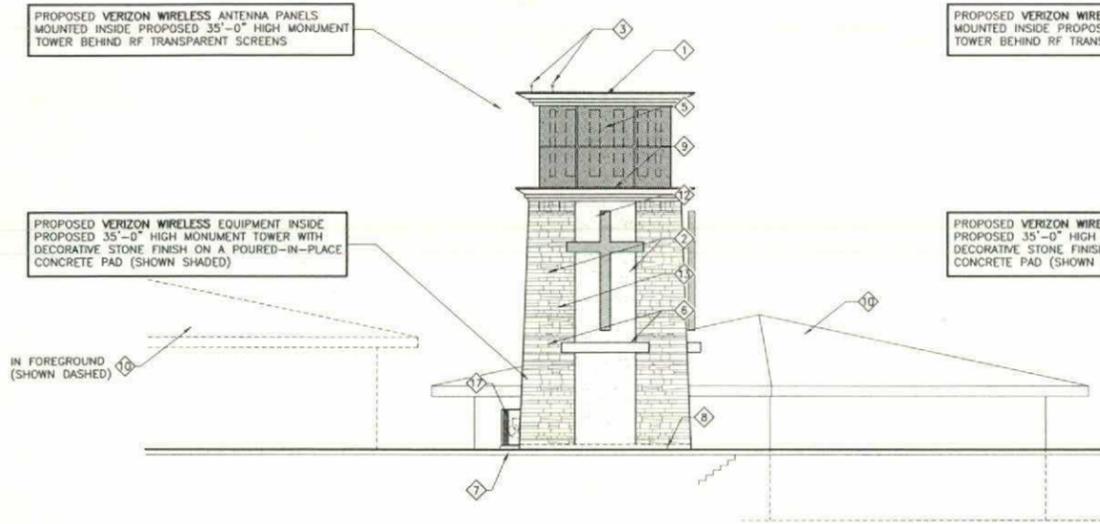
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RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME  
**RECHE**  
 731 S. STAGE COACH LANE  
 FALLBROOK, CA 92028  
 SAN DIEGO COUNTY

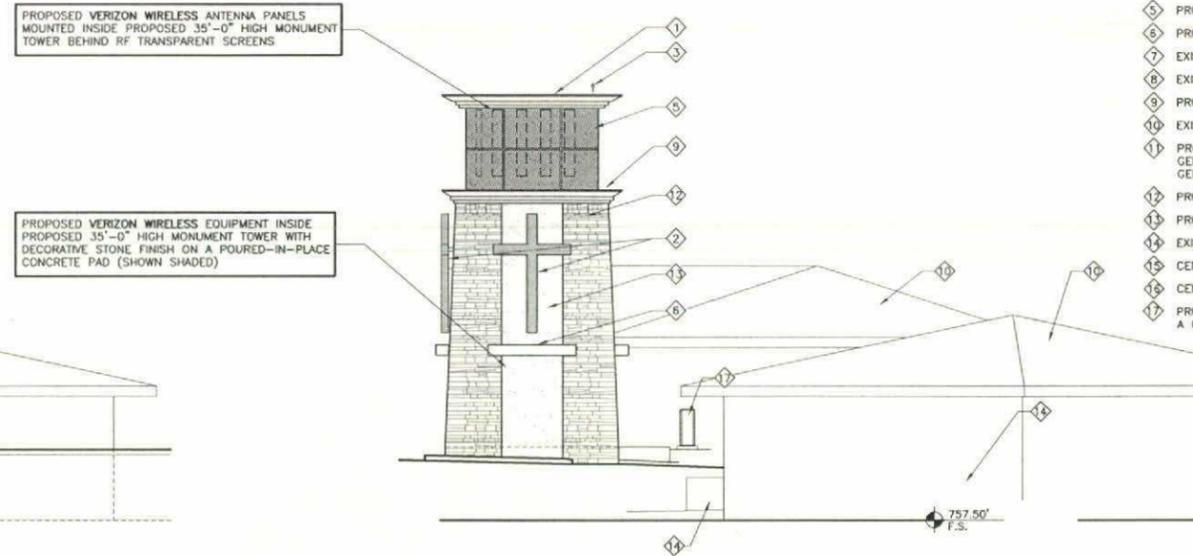
DRAWING DATES

10/01/13	90% ZD (ic)
10/03/13	100% ZD (ic)
10/31/13	100% ZD Revision 1 (ic)
11/22/13	100% ZD Revision 2 (ic)
12/24/13	100% ZD Revision 3 (dm)
05/02/14	100% ZD Revision 4 (ic)
05/09/14	100% ZD Revision 5 (sa)
07/15/14	100% ZD Revision 6 (sa)
08/18/14	100% ZD Revision 7 (ic)
12/01/14	100% ZD Revision 8 (ic)
01/05/15	100% ZD Revision 9 (sa)
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04/07/15	100% ZD Revision 11 (ic)
05/01/15	100% ZD Revision 12 (ic)

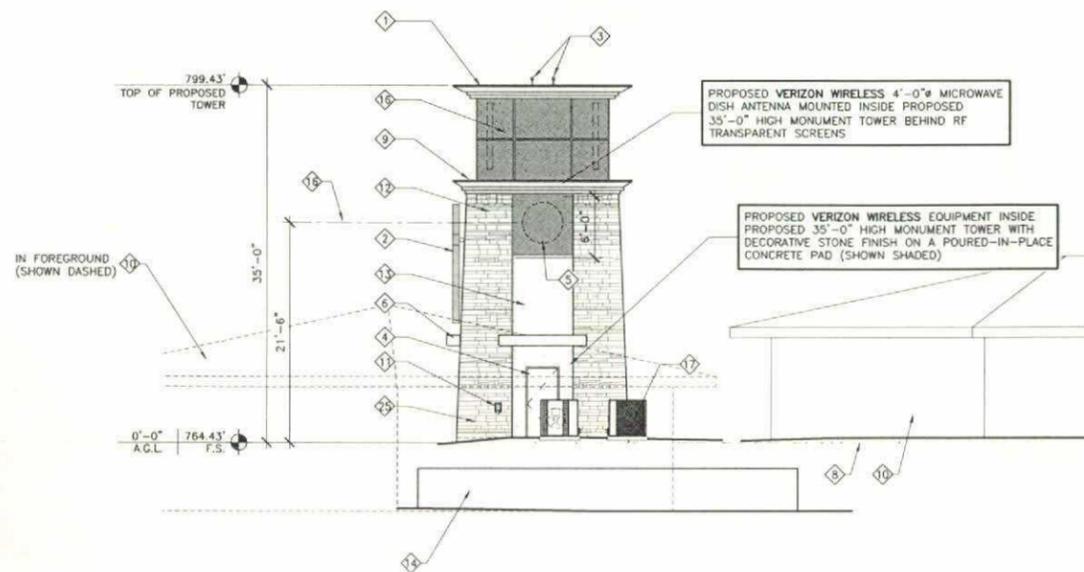
SHEET TITLE  
**ANTENNA PLANS AND TOWER ROOF PLAN**



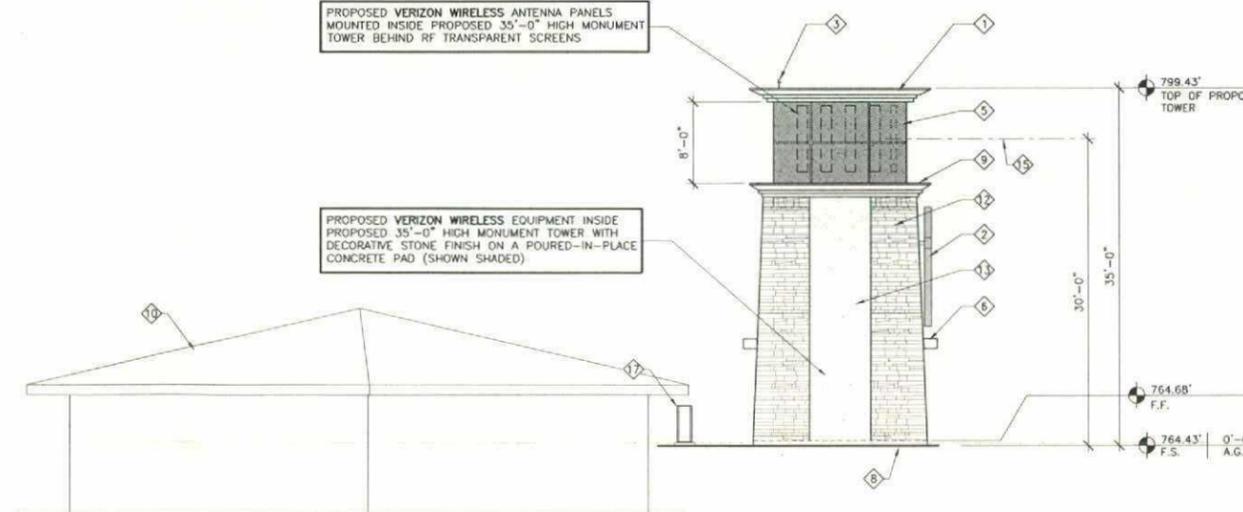
**SOUTHWEST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTHEAST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTHEAST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTHWEST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

**ELEVATION NOTES:**

- 1 PROPOSED 35'-0" HIGH TOWER
- 2 PROPOSED STEEL CROSS (GALV.)
- 3 PROPOSED E911/GPS ANTENNAS MOUNTED TO TOWER (TYPICAL OF 2)
- 4 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 5 PROPOSED RF TRANSPARENT SCREEN
- 6 PROPOSED STEEL OVERHANG (GALV.)
- 7 EXISTING CONCRETE CURB
- 8 EXISTING GRADE
- 9 PROPOSED ARCHITECTURAL FOAM
- 10 EXISTING BUILDING
- 11 PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 12 PROPOSED DECORATIVE STONE
- 13 PROPOSED STUCCO FINISH
- 14 EXISTING RETAINING WALL
- 15 CENTERLINE OF VERIZON WIRELESS ANTENNAS
- 16 CENTERLINE OF VERIZON WIRELESS MICROWAVE DISH
- 17 PROPOSED OUTDOOR CONDENSER UNIT MOUNTED ON A CONCRETE PAD (TYPICAL OF 2)

**BOOTH & SUAREZ**  
ARCHITECTURE INCORPORATED  
395 CARLEBAD VILLAGE DRIVE SUITE D9  
CARLEBAD, CA 95008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707  
IRVINE, CA 92623-9707  
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
GPS	DATE
EE/OUT	DATE

PROJECT NAME

**RECHE**

731 S. STAGE COACH LANE  
FALLBROOK, CA 92028  
SAN DIEGO COUNTY

DRAWING DATES

10/01/13	90% ZD (ic)
10/03/13	100% ZD (ic)
10/31/13	100% ZD Revision 1 (ic)
11/22/13	100% ZD Revision 2 (ic)
12/24/13	100% ZD Revision 3 (dn)
05/02/14	100% ZD Revision 4 (ic)
05/09/14	100% ZD Revision 5 (se)
07/15/14	100% ZD Revision 6 (se)
08/18/14	100% ZD Revision 7 (ic)
12/01/14	100% ZD Revision 8 (ic)
01/05/15	100% ZD Revision 9 (se)
01/24/15	100% ZD Revision 10 (se)
04/07/15	100% ZD Revision 11 (ic)
05/01/15	100% ZD Revision 12 (ic)

SHEET TITLE

**EXTERIOR ELEVATIONS**

PROJECTS\VERIZON\13241

**A-4**



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**RECHE**

731 S. STAGE COACH LANE  
 FALLBROOK, CA 92028  
 SAN DIEGO COUNTY

DRAWING DATES

10/01/13	90% ZD (ic)
10/03/13	100% ZD (ic)
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12/01/14	100% ZD Revision 8 (ic)
01/05/15	100% ZD Revision 9 (se)
01/24/15	100% ZD Revision 10 (se)
04/07/15	100% ZD Revision 11 (ic)
05/01/15	100% ZD Revision 12 (ic)

SHEET TITLE

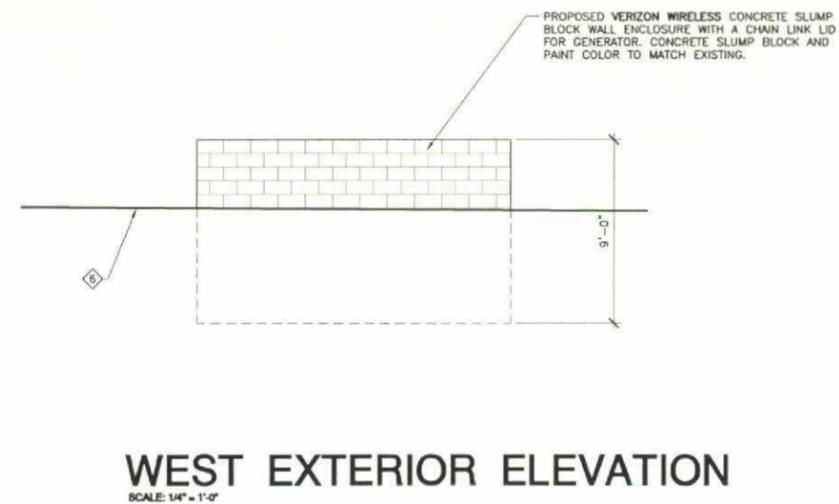
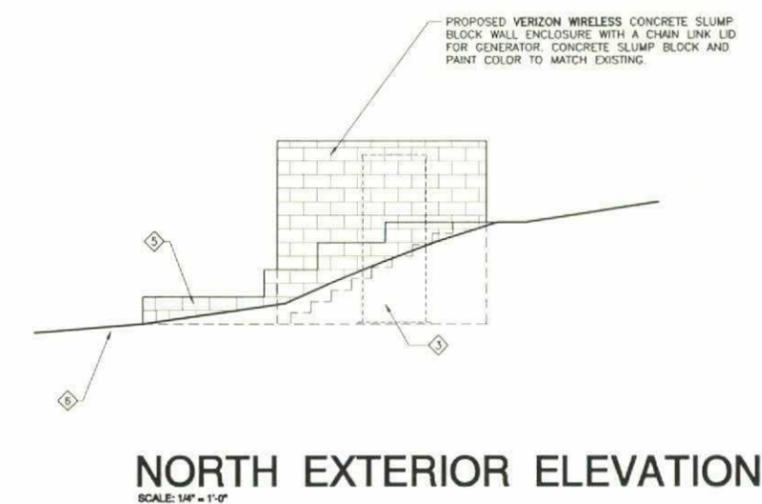
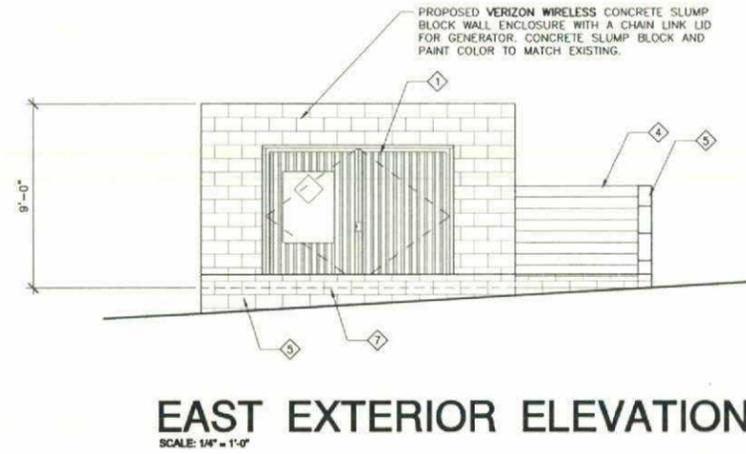
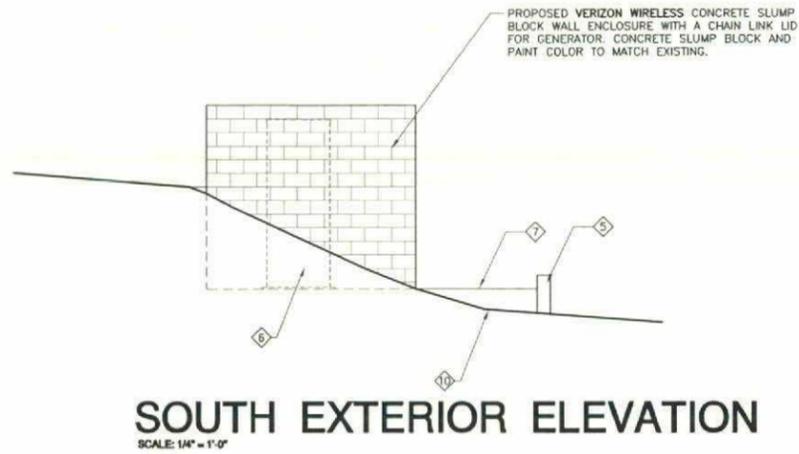
**GENERATOR ENCLOSURE ELEVATIONS**

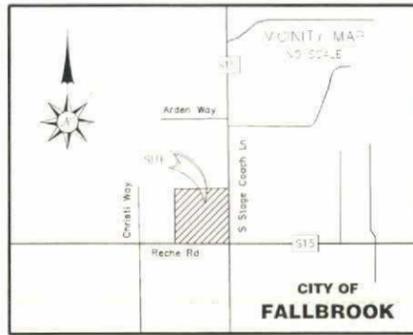
PROJECTS\VERIZON\13241

**A-5**

ELEVATION NOTES:

- 1 PROPOSED PAIR 4'-6" WIDE STEEL GATES & FRAME W/ SIGNAGE
- 2 PROPOSED CONCRETE LANDING
- 3 PROPOSED VERIZON WIRELESS ENCLOSED STANDBY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- 4 PROPOSED CONCRETE STAIRS
- 5 PROPOSED CONCRETE SLUMP BLOCK RETAINING WALL
- 6 EXISTING GRADE
- 7 PROPOSED CONCRETE LANDING





**LEGAL DESCRIPTION:**

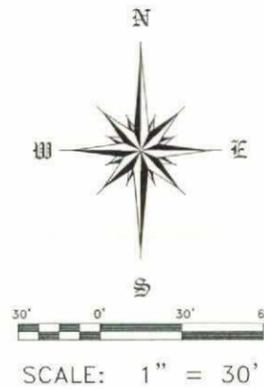
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE SOUTH 544.62 FEET OF THE EAST 400.00 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF SAID NORTHEAST QUARTER OF SECTION 30, DISTANT THEREON, SOUTH 01° 15' 50" EAST 928.86 FEET FROM THE NORTHEAST CORNER OF SAID SECTION;  
 THENCE SOUTH 89° 35' 10" WEST 400.04 FEET TO THE WEST LINE OF THE EAST 400.00 FEET OF SAID NORTHEAST QUARTER OF NORTHEAST QUARTER;  
 THENCE ALONG SAID WEST LINE, NORTH 01° 15' 50" WEST, 143.00 FEET TO THE SOUTH LINE OF THE LAND CONVEYED TO FRANK T. BLACKIEWCZ AND WIFE BY DEED RECORDED FEBRUARY 22, 1972 RECORDER'S FILE NO. 41484 OF OFFICIAL RECORDS;  
 THENCE ALONG SAID SOUTH LINE NORTH 89° 35' 10" EAST 400.04 FEET TO THE EAST LINE OF SAID SECTION 30;  
 THENCE ALONG SAID EAST LINE SOUTH 01° 15' 50" EAST 143.00 FEET TO THE POINT OF BEGINNING.

ASSESSOR'S PARCEL NUMBER: 106-340-29



**COORDINATES:**

LATITUDE: 33°22'12.07"N  
 LONGITUDE: 117°13'42.05" W  
 DATUM: NAD83

**ITEMS CORRESPONDING TO SCHEDULE "B":**

BY: COMMONWEALTH LAND TITLE COMPANY FILE NO. 08020260  
 4100 NEWPORT PLACE DR., SUITE 120 TITLE OFFICER: CHRIS MAZAR  
 NEWPORT BEACH, CA 92660 DATED: AUGUST 26, 2013  
 PHONE: (949) 724-0706

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- 2 THE RIGHTS OF THE PUBLIC TO USE FOR HIGHWAY PURPOSES THAT PORTION OF THE PREMISES HEREIN DESCRIBED LYING WITHIN THE ROAD SHOWN AS NEW SURVEY NO. 166 IN THE OFFICE OF COUNTY SURVEYOR SAN DIEGO COUNTY, DECLARED A PUBLIC HIGHWAY BY ORDER OF THE BOARD OF SUPERVISORS ON MAY 7, 1902. THIS ITEM LIES WITHIN STAGE COACH LANE AND IS NOT PLOTTED HEREON.
- 3 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON LICENSED SURVEYOR'S MAP NO. 481 RECORDING DATE DECEMBER 17, 1934.
- 4 EASEMENT(S) FOR ROAD, AS GRANTED IN A DOCUMENT RECORDED MARCH 23, 1946 AS INSTRUMENT NO. 32018, IN BOOK 2078, PAGE 284 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN RECHE ROAD AND IS PLOTTED HEREON.
- 5 COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED OCTOBER 7, 1946 AS INSTRUMENT NO. 108049, IN BOOK 2256, PAGE 228 OF OFFICIAL RECORDS. THIS ITEM IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 6 EASEMENT(S) FOR A WATER PIPE LINE AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED SEPTEMBER 26, 1948 AS INSTRUMENT NO. 104975, IN BOOK 2226, PAGE 473 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN RECHE ROAD AND IS PLOTTED HEREON.
- 7 EASEMENT(S) FOR INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED OCTOBER 21, 1948 AS INSTRUMENT NO. 105799, IN BOOK 2990, PAGE 239 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN RECHE ROAD AND IS PLOTTED HEREON.
- 8 EASEMENT(S) FOR POLES, WIRES AND ANCHORS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED OCTOBER 20, 1948 AS INSTRUMENT NO. 104309, IN BOOK 2988, PAGE 468 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN STAGE COACH LANE AND THE ROUTE OF SAID EASEMENT IS PLOTTED HEREON.
- 9 EASEMENT(S) FOR INGRESS AND EGRESS FOR ROAD AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED MAY 10, 1955 AS INSTRUMENT NO. 61211, IN BOOK 5637, PAGE 249 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN RECHE ROAD AND IS PLOTTED HEREON.
- 10 EASEMENT(S) FOR PUBLIC ROAD AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED OCTOBER 28, 1965 AS INSTRUMENT NO. 196166 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 11 THE MATTERS CONTAINED IN A DOCUMENT RECORDED OCTOBER 28, 1965 AS INSTRUMENT NO. 196169 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 12 EASEMENT(S) FOR POLES, WIRES AND ANCHORS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED MAY 20, 1966 AS INSTRUMENT NO. 84709 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND THE CENTER LINE OF SAID EASEMENT IS PLOTTED HEREON.
- 13 EASEMENT(S) FOR ROAD AND UTILITY AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED JULY 15, 1971 AS INSTRUMENT NO. 152800 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN RECHE ROAD AND IS PLOTTED HEREON.
- 14 COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED MARCH 19, 1979 AS INSTRUMENT NO. 79-111779 OF OFFICIAL RECORDS. THIS ITEM IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 15 EASEMENT(S) FOR UNDERGROUND COMMUNICATION STRUCTURES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED APRIL 10, 1979 AS INSTRUMENT NO. 79-146495 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN RECHE ROAD AND IS PLOTTED HEREON.
- 16 AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PUBLIC ROAD RECORDED AUGUST 1, 1979 AS INSTRUMENT NO. 79-321176 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 18 EASEMENT(S) FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED APRIL 4, 1991 AS INSTRUMENT NO. 1991-015612 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ITEMS #1'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

**BASIS OF BEARINGS:**

THE BEARING OF N 00°10'52" W ALONG THE CENTERLINE OF STAGE COACH LANE PER PARCEL MAP NO. 11583 IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BOUNDARY NOTE:**

THE BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION AS COLLECTED FROM THE ASSESSOR'S PARCEL MAP. IT IS NOT THE RESULT OF A COMPLETE BOUNDARY SURVEY, IT HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

**LEGEND:**

- EB - EXISTING BUILDING
- FS - FINISH SURFACE
- NG - NATURAL GROUND
- PP - POWER POLE
- TB - TOP OF BUILDING
- TC - TOP OF CURB
- TOE - BOTTOM OF NATURAL GROUND
- TOP - TOP OF NATURAL GROUND
- TP - TOP OF POLE
- TT - TOP OF TREE
- TW - TOP OF WALL
- (XXX) - RECORD DATA PER LEGAL DESCRIPTION

**ASSESSOR'S PARCEL NUMBER:**

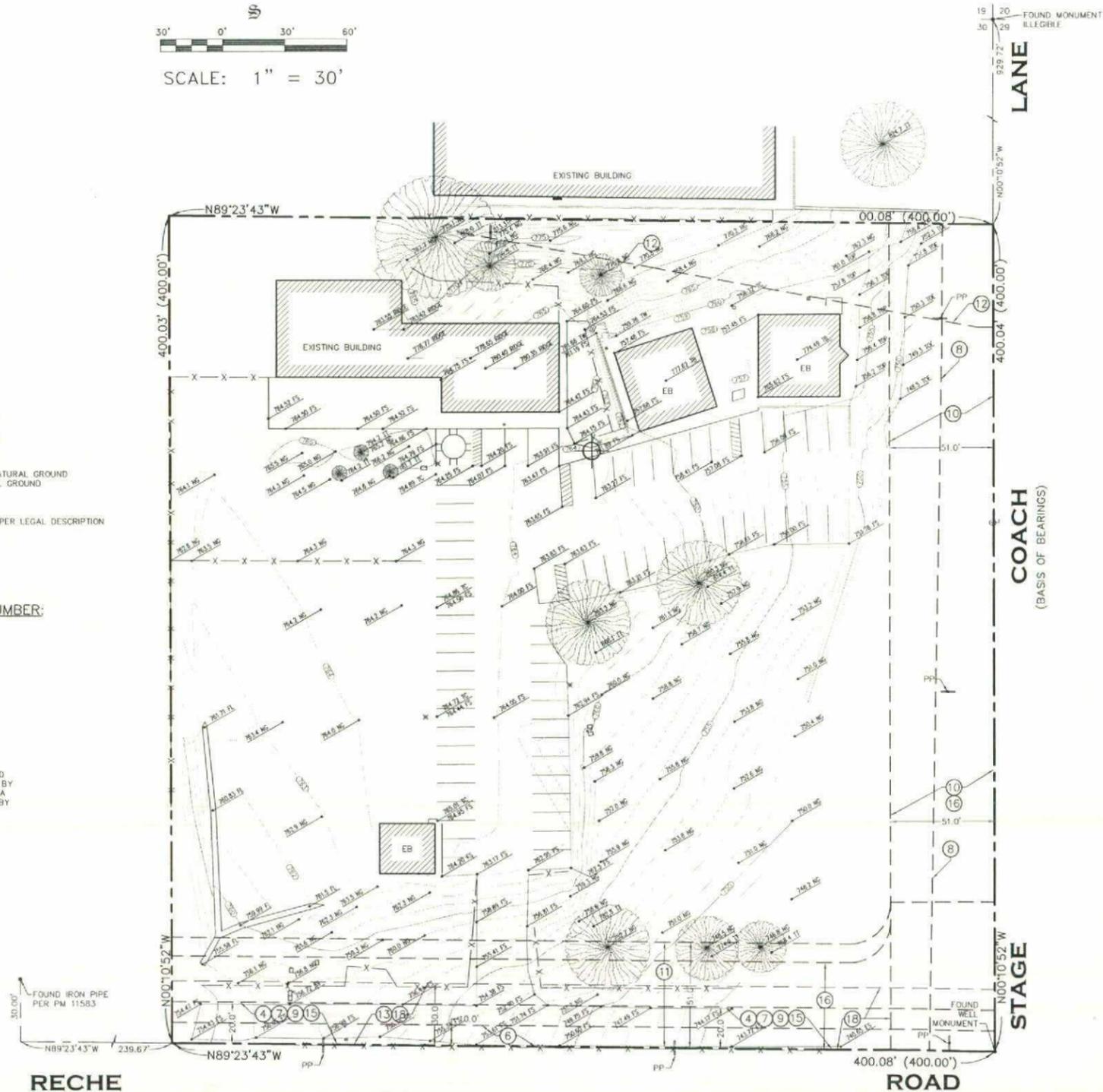
106-340-29

**DATE OF SURVEY:**

AUGUST 21, 2013

**DATUM STATEMENT:**

ELEVATIONS SHOWN HEREON ARE BASED ON ORTHOMETRIC ELEVATIONS DERIVED BY GPS OBSERVATIONS USING THE GEOIDYA MODELING CONVERSION AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY.



**BOOTH SUAREZ &**  
 ARCHITECTURE :: PLANNING  
 WILLIAM K. BOOTH, ARCHITECT ROBERT A. SUAREZ, ARCHITECT  
 P.O. BOX 4481, CARLSBAD, CA 92018 (760) 434-8474

PREPARED FOR  
  
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 (949) 222-7000

CONSULTANT  
**JRN**  
**CIVIL ENGINEERS**  
 232 AVENIDA FABRICANTE,  
 SUITE 107  
 SAN CLEMENTE, CA 92672  
 (949) 248-4685

PROJECT NAME  
**RECHE**  
 731 S STAGE COACH LANE  
 FALLBROOK, CA 92028  
 SAN DIEGO COUNTY

DRAWING DATES  
 08/21/13 SURVEY  
 11/22/13 REVISED  
 12/05/13 REVISED  
 04/26/15 REVISED

SHEET TITLE  
 TOPOGRAPHIC SURVEY

PROJECTS/VERIZON/12978

C1