



The County of San Diego

Planning Commission Hearing Report

Date:	April 22, 2016 (Continued by the Planning Commission on July 17, 2015)	Case/File No.:	Pacifica Tentative Map; PDS2006-3100-5510 PDS2006-3190-06-02-023
Place:	County Conference Center 5520 Overland Avenue San Diego, CA 92123	Project:	Tentative Map
Time:	9:00 a.m.	Location:	East of South Mission Road, north of South Stage Coach Lane
Agenda Item:	#1	General Plan:	Village-Residential (VR-2)
Appeal Status:	Appealable to the Board of Supervisors	Zoning:	Rural Residential (RR)
Applicant/Owner:	Tim Thiele, RBF Consulting/Jose Islas	Community:	Fallbrook Community Plan
Environmental:	CEQA §15183 Exemption	APNs:	106-251-01, 03, 18, 24; 106-151-12, 13; 106-500-29

A. EXECUTIVE SUMMARY

1. Requested Actions

This is a request for the Planning Commission to evaluate the proposed Tentative Map (TM), PDS2006-3100-5510, determine if the required findings are met and, if met, take the following actions:

- a. Adopt the Environmental Findings included in Attachment D, which includes a finding that the project is exempt from further environmental review pursuant to Section 15183 of the California Environmental Quality Act (CEQA) Guidelines.
- b. Adopt the Resolution of Approval for the TM which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County of San Diego Regulations (Attachment B).

2. Key Requirements for Requested Actions

- a. Is the proposed project consistent with the vision, goals, and polices of the General Plan?
- b. Does the project comply with the policies set forth under the Fallbrook Community Plan?
- c. Is the proposed project consistent with the County's Zoning Ordinance?
- d. Is the proposed project consistent with the County's Subdivision Ordinance?
- e. Is the project consistent with other applicable County regulations?
- f. Does the project comply with the California Environmental Quality Act (CEQA)?

B. REPORT SUMMARY

1. Summary

The purpose of the following staff report is to provide the Planning Commission with the information necessary to consider the proposed TM, conditions of approval and findings, and Environmental Findings prepared in accordance with CEQA.

The applicant proposes a TM for a 25-lot subdivision, consisting of 21 residential lots, two Home Owners Association (HOA) lots for detention basins and two biological open space lots. Based on the analysis performed by staff, the Planning & Development Services (PDS) concludes that the key findings are met. Therefore, staff finds the proposal in conformance with the six listed Key Requirements for Action and recommends approval of the TM with the proposed conditions noted in the attached Resolution of Approval (Attachment B).

2. Background

The proposed project was submitted on July 27, 2006. The original design was for 26 lots (22 residential lots, two detention basins and two Biological Open Space Easements). At that time, the TM included an Administrative Permit for Lot Area Averaging. During processing of the project, the applicant worked with staff to develop a TM which conformed to the General Plan and Zoning without the need for Lot Area Averaging, which resulted in 25 total lots. Between 2006 and 2010, the project was further reduced to 21 residential lots (25 total) to satisfy biological concerns. In 2011, the applicant requested that the project be placed into "idle status," which allowed the project to remain active without the deadlines of the County of San Diego timeline schedule. In 2014, the applicant brought the project out of idle and continued processing.

The project was heard at the Planning Commission on July 17, 2015. There was opposition to the project, and the Planning Commissioners asked for various changes to the project based on concerns raised during Public Noticing and at the hearing. These items included requests to: reduce the amount of grading to better conform with the Fallbrook Community Plan, add landscaping for buffering and screening for the existing surrounding residents, and address safety concerns with the proposed u-turn to the north of the project. The Planning Commission referred the project back to staff and requested the applicant to return to the Planning Commission after these issues were addressed.

C. DEVELOPMENT PROPOSAL

1. Project Description

Since the July 17, 2015 Planning Commission hearing, the applicant has reduced grading, added landscaping and thoroughly evaluated other access options. The applicant worked diligently with staff to resolve the concerns that the Planning Commission, Fallbrook Community Planning Group (CPG), and nearby residents had with the design of the project. Changes include:

- Reducing the amount of grading from 80,000 cubic yards to 60,000 cubic yards of balanced cut and fill.
- Reducing the steepness of the slopes along the north and south property lines from a 2:1 to a 3:1 slope.
- Adding landscaping to help screen the development from existing residents.
- No longer requiring removal of the landscaped median at the intersection of South Mission Road and Sterling Bridge.

These changes, along with continued community outreach, allowed the project to receive a recommendation of approval from the Fallbrook Community Planning Group on February 15, 2016 (Ayes – 8, Noes – 0, Abstain – 0, Vacant/Absent – 7).

The updated proposed TM would continue to subdivide 17.30 acres into 25 lots, including 21 residential lots, two HOA common site area lots for detention basins, and two biological open space lots to preserve wetlands. The proposed residential lots are 0.5 gross acre and net. There are existing wells and structures previously used for agriculture which would be removed as a condition of the project. Water and sewer will be provided by Fallbrook Public Utilities District; and approximately 1,600 feet of sewer and water utilities will be extended for the project. Previously, grading was proposed for 80,000 cubic yards of balanced cut and fill. The quantities have been redesigned to 60,000 cubic yards of balanced cut and fill.

Access to the lots would still be provided by a proposed private road connecting to South Mission Road. The existing median design only allows for right-in from South Mission Road, right-out from the project. Finally, Stage Coach Lane fronts 137 feet along the southwest corner of the property. This section of Stage Coach Lane is conditioned to be improved and widened to Public Road Standards. The proposed private road is approximately 1,100 feet long, which is greater than the 800 feet allowed per the County Fire Code, per the zone for the area. During processing of the project, County Fire Marshal and the North County Fire Protection District agreed that the design was acceptable, with an emergency only access to Morro Road, shown in Figure 1. This emergency access allowed for the use of Morro Road without improvements, and the construction of a locked gate to the east of the property. This gate would allow for emergency access, while keeping vehicles from using Morro Road to access the site.



Figure 1: Tentative Map

2. Subject Property and Surrounding Land Uses

The site is approximately 17.3 acres and is located east of South Mission Road and north of Stage Coach Lane in the Fallbrook Community Plan Area (see Figures 2 and 3). The site gently slopes from the east to west, with steeper sections along the eastern and southern portions of the property. The Ostrich Farms Creek is located along the western portion of the property, abutting Mission Road.

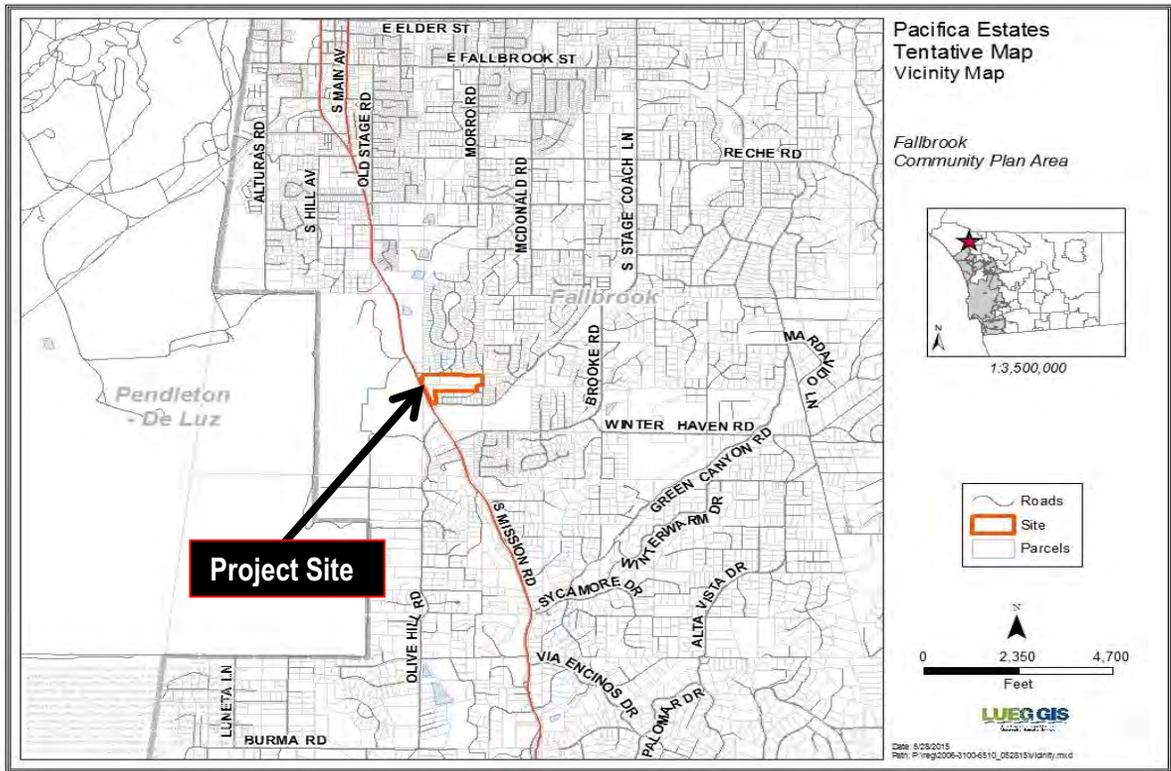


Figure 2: Project Location



Figure 3: Aerial Project Location

Surrounding land uses primarily consist of residential development to the north, east and south (see Figure 4). The surrounding residential development is similar in density and lot size. Existing parcels abutting the property to the north, east and south range from 10,000 square feet to one acre, with one nearby parcel at 2.3 acres. In addition, density of the surrounding land is approximately two units per acre, which is consistent with the proposed project's density. Fallbrook Community Air Park and Camp Pendleton are located to the west, and Fallbrook High School is located further to the south. South Mission Road runs north and south, and fronts the property to the west. Stage Coach Lane fronts the property for the first 137 feet east of South Mission Road and then continues easterly.



Figure 4: Aerial Photo

Table C-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Specific Plan Area, Village Residential, Open Space	RS, RR, S80, S88	Sterling Bridge, Stone Castle, Kirkcaldy Road	Residential
East	Village Residential, Public/Semi-Public Facilities, Open Space	RR	Morro Road, Rujean Lane, Knollwood Ave	Residential
South	Public/Semi-Public Facilities, Village Residential, Semi-Rural Residential, General Commercial	RR, A70, C36	Summerhill Lane, South Stage Coach Lane, Olive Hill Road	Residential, Fallbrook High School
West	Public/Semi-Public Facilities, Open Space, Public Agency Lands	A72	Mission Road, Air Park Road	Fallbrook Community Airpark

D. ANALYSIS AND DISCUSSION

1. Project Analysis

Staff has reviewed the project to ensure it conforms to the relevant ordinances and guidelines, including the San Diego County General Plan, Fallbrook Community Plan, the Subdivision Ordinance, the Zoning Ordinance, and CEQA Guidelines.

During processing of the proposed project and during public disclosure (March 26, 2015 - April 24, 2015), several concerns were raised by stakeholders. These issues were biology, drainage, grading, aesthetics, traffic, loss of agricultural land and property devaluation. During the July 17, 2015 Planning Commission hearing, these items, along with new concerns, were discussed. The new issues include: traffic alternatives and options; excessive u-turn traffic on both Summerhill Lane and the entrance to Peppertree Park; building height; landscaping for screening the project; and a pedestrian access along Morro Road to the nearby high school. These items will be discussed in the following sections. The project has been redesigned based on many of these concerns.

Biology Impacts

The impacts to biological resources were raised as a concern by stakeholders. The 17.30 acre site consists of 1.87 acres of southern riparian forest, 0.42-acre of southern coast live oak riparian forest, 0.26-acre of coast live oak woodland, 1.17 acres of non-native vegetation, 12.46 acres of agriculture, 0.66-acre of disturbed land, and 0.46-acre of urban/developed land. Ostrich Farms

Creek crosses the property along the western boundary and falls under such Agency jurisdiction as the Army Corp of Engineers (ACOE), California Department of Fish and Wildlife (CDFW), California Regional Water Quality Control Board (RWQCB), and County Resource Protection Ordinance (RPO). These Agencies had no comments or concerns during batching meetings or during the processing of the project. The project has been conditioned to require appropriate permits from ACOE and CDFW for the creek crossing. No state or federal endangered or threatened plants or wildlife were observed or are expected on-site. While no sensitive plants were found, five sensitive wildlife species were observed on-site and overhead: Cooper's hawk (*Accipiter cooperi*), great blue heron (*Ardea herodias*), red-shouldered hawk (*Buteo lineatus*), barn owl (*Tyto alba*), and white-tailed kite (*Elanus caeruleus*).

To mitigate for biological resources within the creek, 0.54 acres of southern riparian forest would be placed within an on-site biological open space, and 0.57 acres of coast live oak woodland would be mitigated off-site. The proposed bridge crossing the creek shall be an allowable use within the Biological Open Space Easement ("Easement"). The limits of this Easement would be delineated by a permanent fence with signage, with an opening for the bridge crossing. The open space fencing and signage would ensure that the wetland would remain protected from development and persons entering the area. The project would have a 100-foot limited building zone (LBZ) around the Easement, which is located along the western portion of the project. The LBZ would prohibit the construction of habitable structures within the Easement and this area is designed to be used as detention basins.

Project impacts were calculated as follows: approximately 0.18-acre of southern riparian forest, 0.19-acre of coast live oak woodland, 0.68-acre of non-native vegetation, 12.46 acres of non-contiguous agriculture, 0.42-acre of disturbed land, and 0.46-acre of developed land. The Ostrich Farms Creek and associated habitat would be placed in a biological open space easement except for the proposed bridge that would be used to access the property. Other mitigation measures include a revegetation plan that would be used to mitigate for 0.54-acre of southern riparian forest on-site in the biological easement, wetland permits, the transfer of land located along Ostrich Farms Creek to the Fallbrook Land Conservancy, restriction of all brushing, clearing and/or grading such that none will be allowed during the breeding season of migratory bird and raptor species, and temporary and permanent fencing with permanent signs adjacent to the open space. With these conditions and restrictions, the project has been mitigated to a level of less than significant.

Since the July 17, 2015 Planning Commission hearing, a community member raised a question about the biology report. The claim was that the report was not thorough because it did not evaluate the Coronado skink (lizard), which the neighbor claims to have seen in the area. While neither staff nor the applicant's Biologist have not confirmed the sighting, staff did acknowledge that the report did not address this species. However, the site is located in the Northern Foothills Ecoregion, which is not an ecoregion where the Coronado skink is expected to occur. In addition, the site contains only a small area (0.42 acre) of coast live oak woodland, which would be a potential habitat used by the Coronado skink. All other habitats on-site would not be expected to be Coronado skink habitat. Furthermore, in the unlikely event that a Coronado skink was observed on-site, it is classified as a County Group 2 species, which is mitigated concurrently with habitat-based mitigation. Mitigation for impacts to coast live oak woodland would be mitigated off-site at a ratio of 3:1. Therefore, this comment has been addressed.

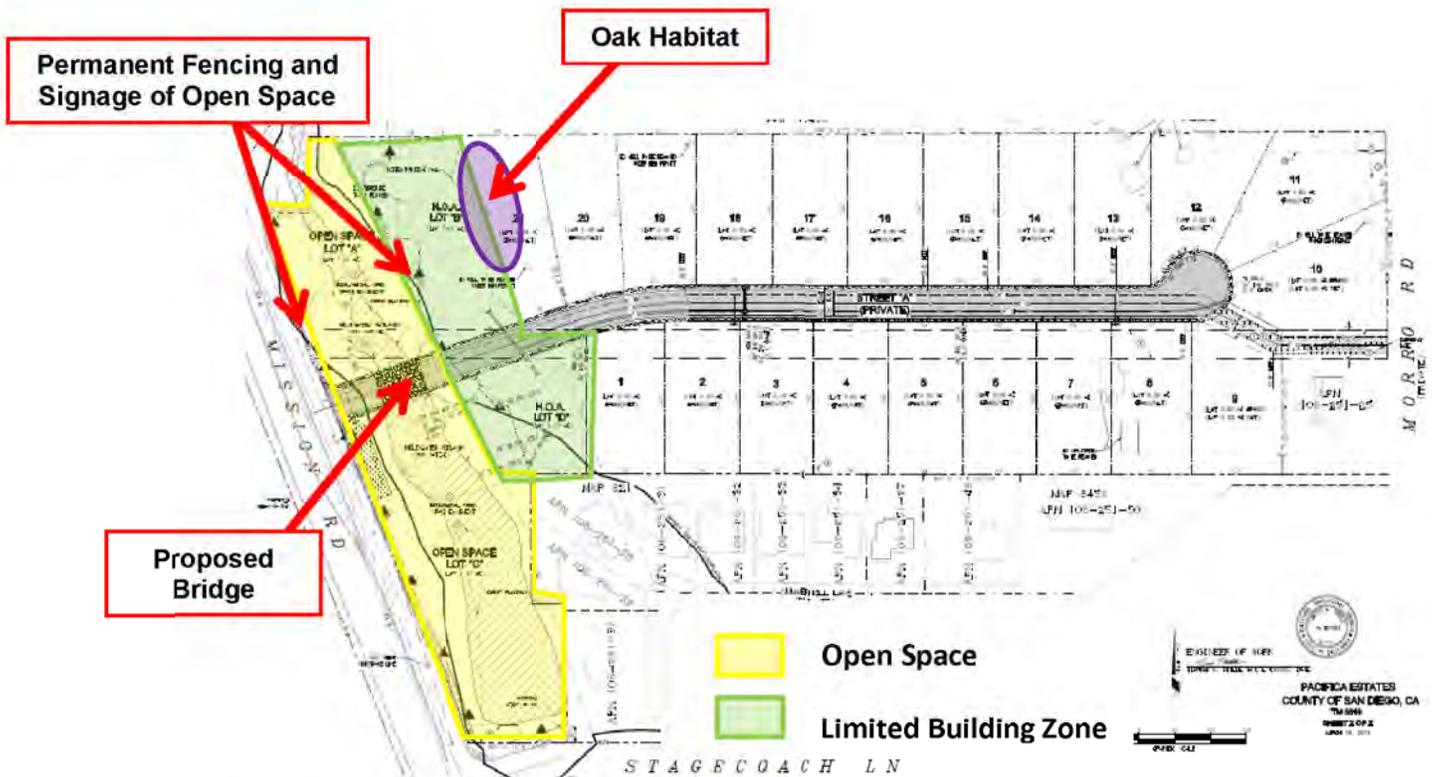


Figure 5: Open Space Exhibit

Finally, during the July 2015 Planning Commission hearing, a Commissioner asked if an area of oak habitat along the northwestern edge of Lot 21 could remain. Due to the revisions to the grading plans, the oak habitat would remain (see Figure 5). A condition has been added to the Resolution (Condition 63.e).

Drainage

Drainage was another main concern by the neighboring residents. The main drainage issues are: existing flooding versus potential flooding after final project; the existing culvert beneath Stage Coach Lane; and the additional drainage resulting from new impermeable surfaces into the 100-year floodplain.

The first concern is that the proposed grading and development would result in an increase of drainage to the south, where there are existing flooding issues from Ostrich Farms Creek during heavy rains. There is an existing brow ditch along the southern property boundary, which directs a majority of project site runoff to the southwestern corner of the site. The brow ditch would be upgraded to a concrete ditch to ensure that all runoff would be directed into the southerly proposed bioretention area. After review by Land Development, it was determined that the two proposed bioretention areas would be adequate for the project-generated runoff, making the post-development drainage consistent with pre-development conditions.

The bioretention basins incorporate soil and rock matrices, surface vegetation, and an elevated perforated sub-drain. The bioretention outlet includes an orifice restrictor plate that controls discharge for storms up to the 10-year storm event, which is consistent with regional hydromodification mitigation requirements, and it is fitted with a 12-inch diameter riser which will

function as dike flow during 100-year conditions. As such, runoff would not be discharged through a large pipe within the bioretention areas under any circumstances. Furthermore, the outlet would be fitted with energy dissipaters, which would decrease the potential for erosion as compared to pre-development conditions.

The second drainage issue addressed during public noticing pertained to the existing culvert beneath Stage Coach Lane, which is currently undersized for the 100-year flood event. The proposed project will not intensify this existing condition. Instead, it is anticipated to slightly improve the hydraulics through a reduction in project runoff contribution to the total flow approaching the culvert. The property contributes less than one percent of the total flow approaching the culvert, thus the calculable amount in project site runoff is minimal during 100-year flood conditions.

The last drainage item addressed during public noticing was regarding the four westerly properties along Summerhill Lane, which are currently located within the County mapped 100-year floodplain, and shown in Figure 6. The homes along Summerhill Lane are located immediately to the south of the project. As such, discharge from the proposed bioretention areas during 100-year conditions is not anticipated to have any measureable impact on those properties. As previously noted, the proposed project represents less than one percent of the total flow within Ostrich Farms Creek, upstream of Stage Coach Lane, and would result in a reduced peak flow discharge as compared to pre-development conditions. Exhibits of drainage both pre- and post- development are shown as Figures 6 and 7.

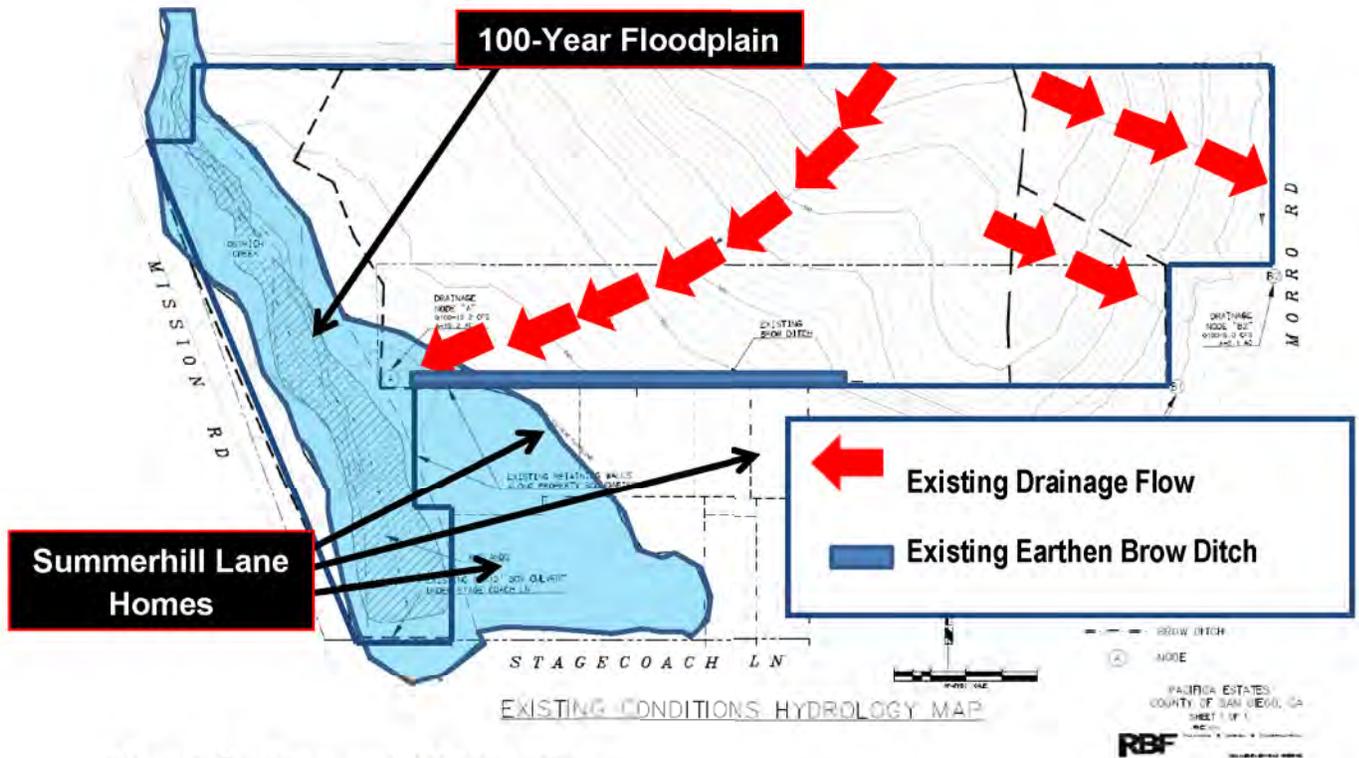


Figure 6: Pre-Improvement Drainage Plan

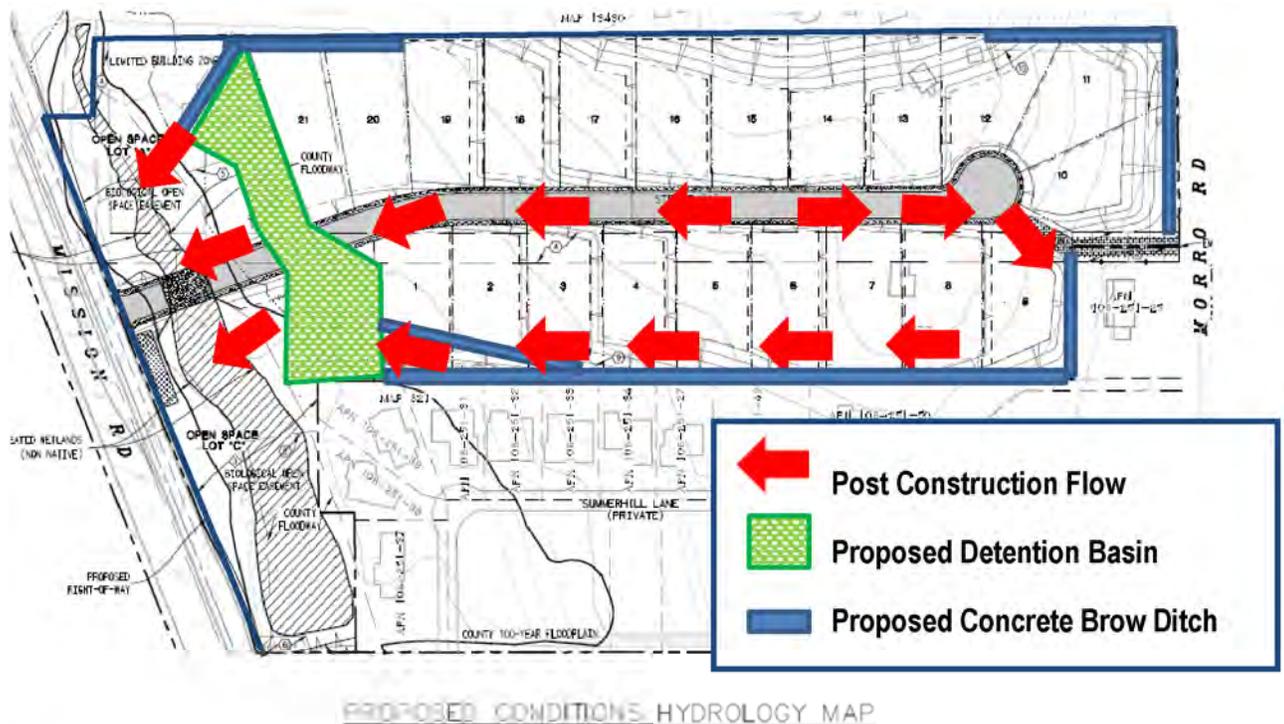


Figure 7: Post-Improvement Drainage Plan

Grading

Throughout the processing of the project, the Fallbrook CPG and surrounding residents mentioned that the amount of grading is excessive. At the July 2015 Planning Commission hearing, the project proposed 80,000 cubic yards of balanced cut and fill. The Fallbrook CPG and community members stated that this amount of grading, along with the 2:1 slopes were too substantial for the proposed subdivision. Policy LU2.1.3 of the Fallbrook CPG's Community Plan states "prohibit grading for residential development from unduly disrupting the natural terrain, or causing problems associated with runoff, drainage, erosion, or siltation." The applicant and staff described that the proposed grading and slopes were similar to existing nearby developments, such as Peppertree Park, which also uses 2:1 slopes throughout the development. However, the community was still opposed to the project as designed.

The Planning Commission asked that the applicant redesign the project to reduce the amount of proposed grading in order to comply with Fallbrook Community Plan guidelines. Over the next five months, the applicant worked closely with County staff and the CPG to design a project which meets the objectives of the Fallbrook Community Plan, particularly grading. The redesign reduced the grading from 80,000 cubic yards to 60,000 cubic yards and grading was softened to conform more to the natural terrain. In addition, the slopes along the northern and southern perimeter of the property have been lowered from a 2:1 slope to a 3:1 slope. The Preliminary Grading Plan from the July 2015 hearing showed maximum cuts at 24-feet, and maximum fill at 20-feet. The updated Preliminary Grading Plan has reduced the maximum cut and fill to 16-feet. The building pads have

been reduced in footprint size from an average of 16,000 square feet to an average of 13,000 square feet. Finally, the pads were moved closer toward the center of the property, which was a suggestion made by the Planning Commission at the July 2015 hearing. These updated Preliminary Grading Plans were shown to the Fallbrook CPG on December 21, 2015, and were given a recommendation of approval.

The following sequence of cross sections (Figure 8a-8d) shows the update to the grading proposed within the property. The profile and homes show the updated grading proposal. Note the landscaping along the perimeter and proposed private easement. The blue line indicates the natural grade and the red line indicates the previous grading proposal. The Preliminary Grading Plan which depicts each cross section is shown on Figure 8e, next page.

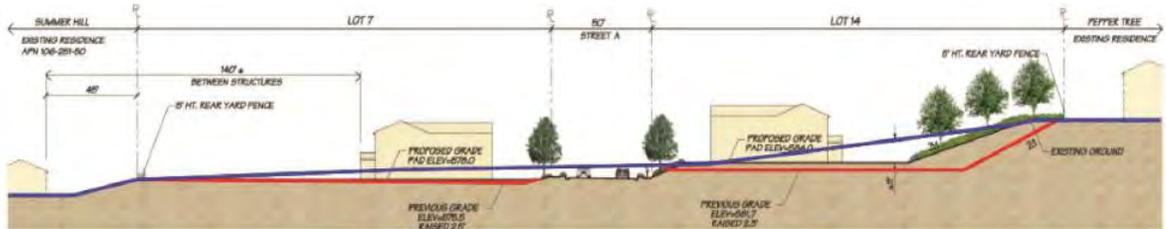


Figure 8a: Cross Section A-A

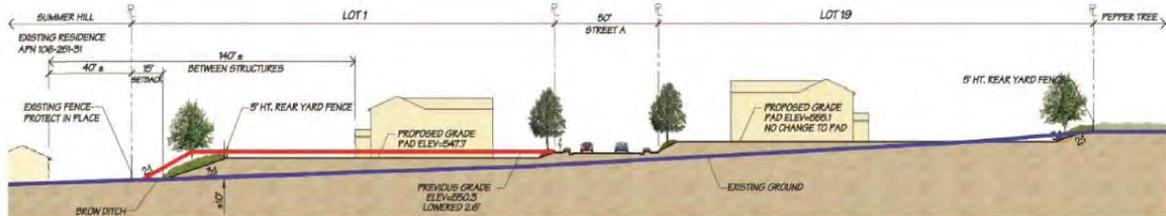


Figure 8b: Cross Section B-B

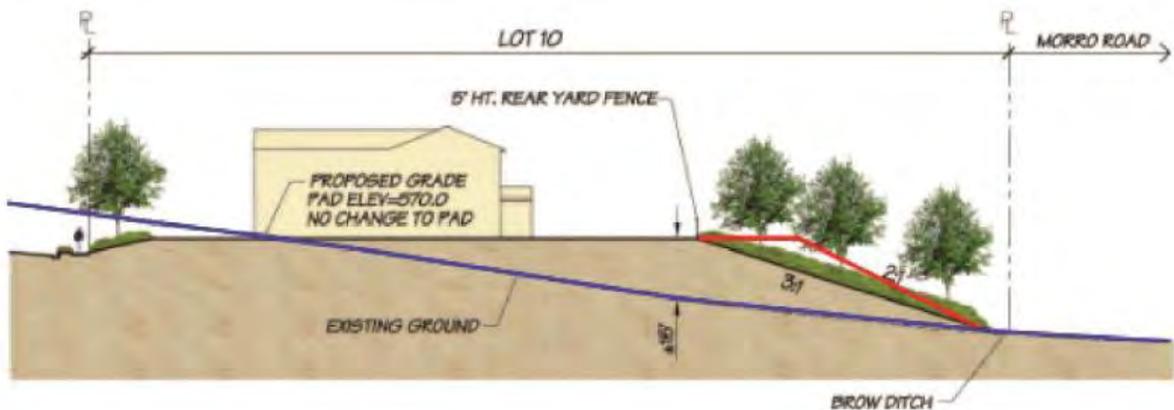


Figure 8c: Cross Section C-C

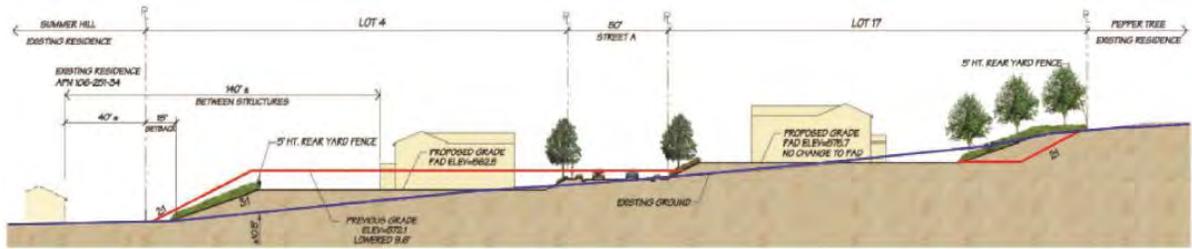


Figure 8d: Cross Section D-D

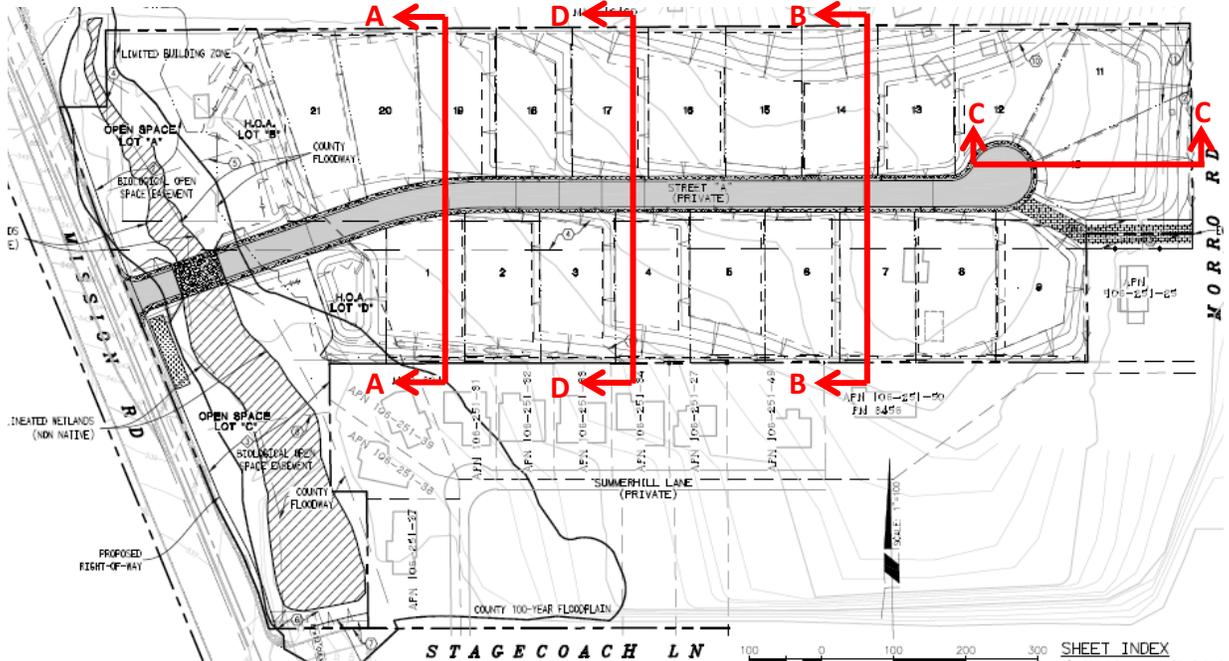


Figure 8e: Location of Cross Sections

Concern was also raised during Public Notification and Planning Commission regarding potential erosion, instability and/or ground failure. It was determined that the developable portion of the project is not located within a fault hazard zone, nor is it located within a landslide susceptibility area. While the western portion of the property is within a potential liquefaction area, this area is located within the proposed detention easement and/or LBZ, which preclude the building of habitable structures and is not proposed to be graded for a residence.

A comment was raised regarding the soils on the site, which would cause instability of future homes. The western portion of the site within the Easement or LBZ had a moderate to high erosion ratio, while the developable portion of the site lists an erodibility factor of "low." Regardless, the project would not result in substantial soil erosion or have a loss of topsoil, due to the following Best Management Practices (BMPs), which would be a condition of the project: preservation of significant trees, floodplains, steep slopes, and the existing wetland; and design on-site storm drain inlets, self-retaining landscape areas, rural swales, permeable pavements, and rip rap. Furthermore, the project would not result in substantial soil erosion or loss of topsoil because the project would be required to comply with the Watershed Protection Ordinance (WPO) and Grading

Ordinance which ensure that the project would not result in any unprotected erodible soils and would not significantly alter existing drainage patterns.

Aesthetics

The community raised issues regarding the visual impact of the proposed project. The nearby residents have concerns about the setbacks of the proposed homes in proximity to their existing homes and potential light pollution. Under CEQA, private viewsheds are not evaluated as an impact. However, there is consideration given to the design of the project in relation to the setting of the land surrounding and uses, as noted below. The applicant made several changes to the project which resulted in a design which adds additional screening and privacy.

The first issue raised was that the elevation of the proposed subdivision is higher than the existing homes along Summerhill Lane, to the south (see Figure 9). The neighboring resident's opinions are that the proposed homes would not only block the views from their backyards, but encroach into their privacy. Staff visited the site in April 2015, and determined that the homes to the south are currently 15-30 feet lower in elevation, and most would remain at approximately 15-30 feet lower in elevation post-development. However, the zoning also requires a 40-foot rear yard setback, which would provide an increased buffer for the abutting residents. Due to the changes in the Preliminary Grading Plan, the building pads have been reduced in size, and the slopes lowered. These changes allowed the building pads to be placed closer toward the center of the property. Finally, the applicant has agreed to add trees around the perimeter of the site, which allows for more privacy for the existing residents.

The second issue raised regarding visual impacts was light pollution. Residential lighting would be required to conform with the "County's Light Pollution Code" to prevent spillover onto adjacent properties and minimize impacts to dark skies. The applicant is required to submit photometric studies at the building permit stage to ensure that lighting is maintained within the property boundary. Furthermore, the site is within Safety Zone 6 of the Fallbrook Community Airpark, and was reviewed to ensure that the project, including lighting, would be compatible with the airport. For these reasons, the staff believes the project is in conformance with the County's requirements for lighting and airport compatibility.

Height of Residences

Another concern discussed in the July 2015 Planning Commission hearing was in regard to the height of the future homes. As noted in "Aesthetics," neighbors to the south are concerned that the proposed homes would "look down" upon their homes (see Figure 9). Residents to the north mentioned the proposed homes would block their views to the south (see Figure 10). Zoning for the site allows for homes to be two-stories, maximum of 35 feet in height. Since this project is only a Tentative Map with no allowance for ongoing conditions, the County cannot preclude a future two-story home from being a possibility under this zone. The applicants have responded to this concern by lowering the grading, moving the pads further from the perimeter and adding perimeter landscaping.



Figure 9: Looking South from Project Site (Summerhill Lane Homes at Project Boundary)



Figure 10: Looking Northeast from Project Site (Pepper Tree Park Homes at Project Boundary)

Buffering and Screening

Similar to the privacy issue, the surrounding neighbors were concerned with the change in the aesthetics due to the proposed subdivision. There was discussion at the July 2015 Planning Commission hearing that the proposed homes would be prominent in their viewshed. In addition to the changes in the grading and placement of the building pads, the applicant agreed to add a Conceptual Landscape Plan (Attachment A, page 4 and 5 of Preliminary Grading Plan). This Conceptual Landscape Plan would help screen the proposed homes for the existing residents. The Conceptual Landscape Plan was submitted to the Fallbrook Subcommittee and CPG, and both groups recommended approval at each group's February meeting. The conditions have been updated to incorporate the Conceptual Landscape Plan, require approval of a Final Landscape Plan, and will be continue to be maintained as an ongoing condition.

The applicant and staff worked to resolve these issues and concerns over several months, and produce an updated map that results in less grading, less visual and traffic impacts, and continues to preserve biological resources.

Traffic Impacts

Nearby residents mentioned that there are potential traffic impacts. One concern was the additional traffic generated from the subdivision. The Traffic Impact Study conducted by RBF Consulting on February 23, 2015, identified that the proposed project would result in an additional 210 average daily trips (ADT), which would be distributed to South Mission Road, Stage Coach Lane, and Olive Hill Road. No direct impacts were identified to occur along any project study segments or intersections. Staff determined that the project's potential ADT would not result in significant traffic impacts to the area. Because the Traffic Study was completed in 2007, staff requested that the applicant reevaluate the study based on current conditions. An updated Traffic Impact Study, dated May 2015, determined that the overall ADT on South Mission Road was 2.9% higher in May 2015 versus the October 2007 data. However, the peak period counts at project study intersections had decreased (morning peak periods down 3.5% and evening peak periods down 4.7%). As intersections are the main location for delay, staff determined that the combination of higher daily volumes but lower peak volumes found with the additional analysis confirm that the study findings remained the same, with no impacts identified. Therefore, staff concluded that there would be no significant traffic impacts.

Traffic Plan

Another traffic concern was the current design of the project driveway, which only allows right-in from South Mission Road and right-out from the project due to the landscaped median in South Mission Road along the project's frontage. The design recommended at the July 2015 Planning Commission hearing was for a proposed u-turn at the intersection of South Mission Road and Sterling Bridge Road, which is the intersection immediately north of the project. The u-turn proposal at South Mission Road and Sterling Bridge Road was not received well by the community, for reasons such as sight distance, turning radius and median removal.

After the July 2015 hearing, the applicant met with staff and the community to determine the best option for access in and out of the project. The applicant met with the Fallbrook CPG Traffic Subcommittee on February 9, 2016 and the Fallbrook CPG on February 15, 2016, and thoroughly explained six different access options. These options were:

- 1) Provide a left turn bay for southbound Mission Road Traffic at the project entrance. This option was dismissed because a substantial portion of the median would need to be removed, which was not well received with the Community Planning Group or surrounding residents.
- 2) Installation of a traffic signal at Mission Road and the project entrance. This option was not pursued because of the low amount of traffic generated by the proposed project. In addition, the existing traffic signals to the north and south of this proposed signal would restrict the movement of traffic along South Mission Road
- 3) Use of Sterling Bridge Road through Pepper Tree Park to connect to the subdivision. This option was not considered since Sterling Bridge Road is a private road, which is owned and maintained by the Peppertree Park Homeowner's Association (HOA), and the HOA's legal advisors declined to agree to this proposal. Furthermore, this proposed access would exceed the dead-end road length required by the Fire Code.
- 4) Use of Morro Road as the primary access. This option was dismissed due to poor sight distance, difficulty obtaining easement for grading and road improvement requirements, and exceedance of required dead-end road length distance.
- 5) Add a u-turn at Sterling Bridge Road and South Mission Road. This is the proposal that was previously presented to the Planning Commission at the July 2015 hearing. While this was determined by County staff as an option, it was removed as a possibility due to public concern for safety, and the community did not agree to the removal of 100 feet of median.
- 6) Utilize the existing intersection at Air Park Road and South Mission Road. As previously stated, this is the current proposal. This proposal would use the left turn lane of Air Park Road Intersection to accommodate traffic leaving the project and wanting to travel south. Currently, a left turn lane exists, and there is no restriction on making a u-turn. The intersection meets current standards in terms of width for u-turns, and the sight distance for making the u-turns is 750 feet, which well exceeds County standards of 450 feet for a road with this posted speed limit. It is located approximately 950 feet north of the project entrance, allowing sufficient time and distance for a motorist to move into the left lane and eventually left turn lane. Because the left turn lane currently exists, no part of the median would need to be removed. This alternative has been determined by the County Staff as an alternative that would not overburden any roads or intersections, and was part of the project description that was approved by the Fallbrook CPG on February 15, 2016.

At the end of the February Fallbrook CPG meeting, the group voted to recommend approval of the project. The recommendations included offering an Irrevocable Offer of Dedication (IOD) along the project frontage of South Mission Road for potential future widening, and researching the option for

adding a Mission Road acceleration and deceleration lane for vehicles entering and exiting the site. The County has added a condition for an IOD along South Mission Road. Staff also researched the request for an acceleration and deceleration lane, but determined it would not be feasible for several reasons:

- There is no nexus for acceleration/deceleration lanes as the ADT is below what is required.
- It would require the existing North County Transit District (NCTD) bus stop to be moved and the NCTD did not agree to relocation.
- There would be safety issues with the distance between the proposed acceleration lane and the existing Sterling Bridge intersection.
- The buildout for these lanes would encroach into the Ostrich Creek Biological Open Space Easement.
- A large amount of fill would be required within the drainage easement, which would require further environmental review and approval from such Agencies as CDFW and ACOE.
- Traffic studies have indicated that turn lanes do not slow traffic, whereas vehicles slowing to make a right turn directly from the roadway will result in traffic slowing and becoming a safer driving environment.

Therefore, the IOD is incorporated into the project design, but the acceleration/deceleration lane would not be a part of the project.

Excessive u-turn traffic on Summerhill Lane and the entrance to Peppertree Park

Several neighbors have stated that motorists currently make u-turns in the private road entrances to the neighborhoods at both Summerhill Lane and Stagecoach Lane and Sterling Bridge (which leads to Peppertree Park). The concern is that the proposed development of Pacifica Estates would lead to additional u-turns at these roads from future residents. While these maneuvers are not illegal (there are no signs stating “no u-turn”), it is an annoyance for the residents and it places additional vehicle trips on the private roads, which can lead to more wear. These statements were brought up during Planning Commission and at various CPG meetings. However, this is an existing condition, and there is no guarantee that the future residents or visitors of Pacifica Estates would perform these same turning maneuvers. Therefore, there are no changes to the project design based on this matter.

Pedestrian Access Along Morro Road

At the July 2015 Planning Commission hearing, the Planning Commission asked the applicant to add pedestrian access with a gate connecting to Morro Road. The idea was to allow pedestrians, mainly students, to use Morro Road to walk to Fallbrook High School. The applicant and staff looked into this option. The applicant is hesitant to add this access, since it may encourage pedestrians to use Morro Road with the intent of accessing the high school, which could place them in a dangerous situation. This may cause a person to attempt to cross at the Morro Road/Stage Coach Lane intersection. The intersection of Morro Road and Stage Coach Lane does

not allow for pedestrian crossing, does not have a school crossing guard, and there is poor sight distance along this stretch of roadway. A cautious pedestrian using Morro Road would be required to travel west along Stage Coach Lane and use the signal at the intersection of Stage Coach Lane and South Mission Road, which would add additional distance. It would be more practical and safer to walk west out of the subdivision, travel south along the existing sidewalk on South Mission Road and use the existing crossing signal. While the applicant would be willing to add a pedestrian gate to access Morro Road if it were requested by the Commission, they ask that the Commission understand the possible hazards involved in this decision.

Loss of Agricultural Land

The site has existing agricultural operations, and contains lands designated as Unique Farmland and Farmland of Local Importance. Due to the presence of onsite agricultural resources, the site was evaluated to determine the importance of the resource based on the County's Local Agricultural Resources Assessment (LARA) Model, which takes into account local factors that define the importance of San Diego County agricultural resources. In order for a site to be considered an important agricultural resource based on the LARA Model, all three required LARA Model factors (water, soil, and climate) must receive either a high or moderate score. A low score in any of these three categories results in a determination that the site is not an important agricultural resource.

The project site contains less than 10 acres of contiguous prime farmland or statewide importance soils and has a low rating in soil quality. Therefore, the land is not considered an "important agricultural resource". Additionally, the site is surrounded by dense residential development, a school and the Fallbrook Airport. Furthermore, the project site is not under a Williamson Contract. Therefore, no potentially significant impacts to agricultural resources will occur as a result of the TM.

Property Devaluation

There has been concern among several of the nearby residents that their property values could be affected negatively if the subdivision is approved and built. Property value is not considered a CEQA issue, nor is it a required TM finding. The review of the TM focuses on consistency with the General Plan, Zoning Ordinance, Subdivision Ordinance, and all other applicable laws and regulations, such as visual impacts, design and compatibility with the surrounding neighborhood. Therefore, property devaluation is not a relevant standard in evaluating the project.

2. General Plan Consistency

The proposed project is consistent with all relevant General Plan goals, policies, and actions. The following policies are highlighted in Table D-1.

Table D-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p>LU-1.9 Achievement of Planned Densities – Recognizing that the General Plan was created with the concept that subdivisions will be able to achieve densities shown on the Land Use Map, planned densities are intended to be achieved through the subdivision process except in cases where regulations or site specific characteristics render such densities infeasible.</p>	<p>The site is subject to General Plan Land Use Designation VR-2, which allows a maximum density of two units per acre, or 34 units. The proposed TM would result in a maximum of 25 lots and 21 units. With the open space factored out of the acreage, the development would utilize approximately 79% of the planned density.</p>
<p>LU-2.4 Relationship of Land Uses to Community Character – Ensure that the land uses and densities within any Regional Category or Land Use Designation depicted on the Land Use Map reflect the unique issues, character, and development objectives for a Community Plan area, in addition to the General Plan Guiding Principles.</p>	<p>The Village Regional Category is an area where higher intensity land uses are planned and established. Surrounding land uses are predominantly residential as is the proposed TM would continue to fit in with the community character for the Fallbrook Village classification.</p>
<p>LU-2.8 Mitigation of Development Impacts. Require measures that minimize significant impacts to surrounding areas from uses or operations that cause excessive noise, vibrations, dust, odor, aesthetic impairment and/or are detrimental to human health and safety.</p>	<p>The project is designed to minimize significant impacts to surrounding areas. The project proposes a residential subdivision and would not introduce a new use that would create or cause excessive noise or vibrations. The design of the project places development within the flattest area and an open space easement would be added on-site.</p>
<p>LU-6.1 – Environmental Sustainability. Require the protection of intact or sensitive natural resources in support of the long-term sustainability of the natural environment.</p>	<p>The project would preserve 0.54 acre of southern riparian forest within a Biological Open Space Easement. Fencing and signage would discourage intrusion by people or vehicles.</p>

General Plan Policy	Explanation of Project Conformance
<p>LU-6.5 – Sustainable Stormwater Management. Ensure that development minimizes the use of impervious surfaces and incorporates other Low Impact Development (LID) techniques and a combination of site design, source control, and stormwater best management practices, where applicable and consistent with the County’s LID Handbook.</p>	<p>The project incorporates LID techniques, as explained in the Stormwater Management Plan (SWQMP). The applicant proposes LID design techniques, such as the installation of bioretention areas.</p>
<p>LU-6.9 – Development Conformance with Topography. Require development to conform to the natural topography to limit grading; incorporate and not significantly alter the dominate physical characteristics of a site; and to utilize natural drainage and topography in conveying stormwater to the maximum extent practicable.</p>	<p>The project would involve 60,000 cubic yards of grading for the 21 residential lots and two detention basin lots. The applicant has redesigned the project to incorporate more of the natural topography, reduced the slopes from 2:1 to 3:1, and reduced the building pad sizes.</p>
<p>LU-6.10 – Protection from Hazards. Require that development be located and designed to protect property and residents from the risks of natural and man-induced hazards.</p>	<p>The site was analyzed for agricultural hazardous wastes and structural removal hazards. The project site contains the potential for contamination from agriculture use. Due to the low probability of hazards in the soils or structures, the applicant was not required to perform a Phase I and Limited Phase II Environmental Site Assessment (ESA) during the processing of the permit. However, a condition has been added (Condition #69).</p>
<p>LU-9.5 – Village Uses. Encourage development of distinct areas within communities offering residents a place to live, work and shop, and neighborhoods that integrate a mix of uses and housing types.</p>	<p>The proposed project would provide Fallbrook community residents and others additional opportunities to own a unit in the established residential area, while being in close proximity to commercial shopping, school, and work.</p>
<p>LU-13.2 Commitment of Water Supply. Require new development to identify adequate water resources, in accordance with State law, to support the development prior to approval.</p>	<p>The project is located within the Fallbrook Public Utilities District. A Project Facility Availability Form has been provided from the Fallbrook Public Utilities District and indicates that water service is available. The project would extend a water line approximately 900 feet from Morro Road, along the proposed private road, to the west.</p>

General Plan Policy	Explanation of Project Conformance
<p>LU-14.2 Wastewater Disposal. Require that development provide for the adequate disposal of wastewater concurrent with the development and that the infrastructure is designed and sized appropriately to meet reasonably expected demands.</p>	<p>The project is located within the Fallbrook Public Utilities District. A Project Facility Availability Form has been provided that indicates that sewer service is available. The project would extend a sewer line approximately 900 feet from Morro Road, along the proposed private road, to the west.</p>
<p>COS-4.1 Water Conservation. Require development to reduce the waste of potable water through use of efficient technologies and conservation efforts that minimize the County's dependence on imported water and conserve groundwater resources.</p>	<p>The project would be required to comply with San Diego County's <i>Water Conservation in Landscaping Ordinance</i> and the County of San Diego <i>Water Efficient Landscape Design Manual</i>, which includes water conservation requirements and water efficient landscaping. This policy is enforced at the Building Permit phase.</p>
<p>COS-14.3 Sustainable Development. Require design of residential subdivisions and nonresidential development through "green" and sustainable land development practices to conserve energy, water, open space, and natural resources.</p>	<p>The project has been designed using sustainable land development practices, including the installation of bio-retention basins to treat stormwater runoff, the preservation of a biologically sensitive area and the improvement of an existing flooding condition.</p>
<p>COS-19.1 Sustainable Development Practices. Require land development, building design, landscaping, and operational practices that minimize water consumption.</p>	<p>The proposed TM would include conditions to require that planning, funding and construction efforts shall consider ways to minimize water consumption, regardless of whether water is deemed to be readily available by applicable water authorities at local, county, and/or state levels.</p>
<p>S-3.6 – Fire Protection Measures. Ensure that development located within fire threat areas implement measures that reduce the risk of structural and human loss due to wildfire.</p>	<p>The project has been reviewed and approved by the County Fire Marshal and North County FPD. The design features provided by the applicant include: a minimum 36-foot wide private roadway; the cul-de-sac to be 38 feet AC surface width; emergency access to Morro Road; and the installation of three fire hydrants at specific locations along the proposed private road.</p>

3. Community Plan Consistency

The proposed project is consistent with the following relevant Fallbrook Community Plan goals, policies, and actions as described in Table D-2.

Table D-2: Fallbrook Community Plan Conformance

Community Plan Policy	Explanation of Project Conformance
<p>Goal LU 1.1 - Perpetuate the existing rural charm and village atmosphere while accommodating growth.</p>	<p>The proposal for single-family homes would encourage growth within Fallbrook while maintaining a rural feel, since the Biological Open Space creates a buffer from South Mission Road. In addition, the proposed lot sizes and density is consistent with the surrounding area.</p>
<p>Policy LU 2.1.3 - Prohibit grading for residential development from unduly disrupting the natural terrain, or causing problems associated with runoff, drainage, erosion, or siltation.</p>	<p>The project originally was proposed to grade 80,000 cubic yards of material. The updated design has been reduced to 60,000 cubic yards. The applicant has also redesigned the project to incorporate more of the natural topography, reduced the slopes from 2:1 to 3:1, and reduced the building pad sizes. The project would also incorporate bioretention areas and BMPs to ensure no increased amount of runoff or erosion as a result of the development.</p>
<p>Policy COS 1.2.1 - Encourage floodplains and natural stream courses to be preserved in permanent open space and uses limited to recreational or light agriculture uses.</p>	<p>Ostrich Farms Creek is located along the western portion of the property. This area would be placed into a Biological Open Space and dedicated to the Fallbrook Conservation District.</p>

4. Zoning Ordinance Consistency

The proposed project is subject to the Rural Residential (RR) zone, and complies with all applicable zoning requirements with the incorporation of conditions of approval. The Planning Commission should consider whether the included conditions of approval ensure compatibility of the proposed project with the surrounding properties and overall community character.

Table D-3: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	RR	Yes
Animal Regulation:	J	Yes
Density:	-	N/A
Lot Size:	0.5AC	Yes
Building Type:	C	Yes
Height:	G	Yes
Lot Coverage:	-	N/A
Setback:	G	Yes
Open Space:	-	N/A
Special Area Regulations:	C	N/A

Development Standard	Proposed/Provided	Complies?
Section 2182 of the Zoning Ordinance describes the permitted uses in the Rural Residential (RR) Use Regulations.	The proposed project complies with the RR Use Regulations.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4200 of the Zoning Ordinance describes the required minimum lot size.	The proposed project would comply with the minimum lot size.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires a setback of 50 feet in the front yard, 10 feet in the side yard, and 40 feet in the rear yard.	The proposed lots have been designed to contain building pads that are large enough for a single-family dwelling to be constructed outside of the required setbacks.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

5. Subdivision Ordinance Consistency

The project has been reviewed for compliance with the Subdivision Ordinance. The project is consistent with the requirements for major subdivisions in terms of design (Section 81.401), dedication and access (Section 81.402), and improvements (Sections 81.403 and 81.404). The project includes requirements and conditions of approval necessary to ensure that the project is implemented in a manner consistent with the Subdivision Map Act and the Subdivision Ordinance.

6. Applicable County Regulations

Table D-4: Applicable Regulations

County Regulation Policy	Explanation of Project Conformance
1 Resource Protection Ordinance (RPO)	The project has been reviewed and found to be in conformance with the RPO. There are no RPO steep slopes on the property and no cultural resources. A 100-year flood plains occurs along the western portion of the property, however no development would be allowed in this area, as it would be encumbered by a Biological Open Space Easement and Limited Building Zone. Biological resources considered sensitive by the RPO will be mitigated for in full compliance with the RPO. Finally, RPO wetlands are present on-site, however, a Biological Open Space Easement would protect this resource, consistent with RPO requirements.
2 Noise Ordinance	The project would not generate potentially significant noise levels which exceed the allowable limits of the County Noise Element of Noise Ordinance.
3 County Consolidated Fire Code	The project was reviewed by the County Fire Marshal and the North County Fire Protection District. The determination was that the proposed project complies with all applicable fire regulations, including the County Consolidated Fire Code. The project meets maximum dead-end road length with the proposed emergency access easement connecting to Morro Road to the east (Condition #45).

7. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed for compliance with CEQA and the project qualifies for an Exemption from Additional Environmental Review pursuant to CEQA Guidelines Section 15183 (Attachments C). CEQA Section 15183 provides an exemption from additional environmental review for projects that are consistent with the development density established by the General Plan for which an Environmental Impact Report (EIR) was certified. For the proposed project, the planning level document is the General Plan Update Program EIR, certified by the Board of Supervisors August 2011. Additional environmental review is only for project-specific significant effects which are peculiar to the project or its site. Attachment C includes the “Statement of Reasons for Exemption” which details the analysis of environmental effects staff determined were not discussed in the prior EIR. The project level environmental analysis includes technical studies for drainage and stormwater management. County staff determined that the mitigation measures for the project would reduce any potential impacts to the environment to a level below significance. Details of these mitigation measures can be found in the Resolution of Approval (Attachment B).

E. COMMUNITY PLANNING GROUPPrior to July 17, 2015 Planning Commission Hearing

On August 21, 2006, the Fallbrook CPG discussed the project as originally proposed. The initial design was for 26 lots using lot area averaging to achieve parcels smaller than what the zoning allows. The group recommended denial by a vote of 8-0-0-7 (Ayes – 8, Noes – 0, Abstain – 0, Vacant/Absent – 7). The concerns raised by the public and the CPG included: lot area averaging not appropriate for the site, increased traffic to an already busy road, safety concerns regarding entering and exiting the site, and no immediate u-turn available.

On October 18, 2010, the applicant returned with a revised project. The applicant noted the changes to the project design which provided the emergency access to Morro Road, the lot sizes met the half-acre Zoning requirement and the General Plan density requirement, and stormwater improvements had been made. The CPG and community still had apprehension due to the potential traffic impact to South Mission Road and the surrounding streets, and the amount of grading proposed. The group voted unanimously with a recommendation of denial with a vote of 15-0-0-0 (Ayes – 15, Noes – 0, Absent – 0, Abstain – 0).

On April 20, 2015, members of the community requested time to speak against the project during the CPG's open forum part of the meeting. The topics included grading, drainage, setbacks, privacy, property devaluation and traffic. There was no vote or recommendation made by the CPG, since the open forum is strictly for non-voting issues. The time allotted was requested by neighbors who had received noticing of the project during the 30-day Public Notice period.

After the July 17, 2015 Planning Commission Hearing

On December 15, 2015, the applicant and County staff attended the Fallbrook Land Use Subcommittee meeting. After hearing the applicant, staff, and public testimony, the Committee voted to recommend approval the grading plan proposed, but reject the traffic plan (Ayes – 7, Noes – 0, Absent – 0, Abstain – 0).

On December 21, 2015 the applicant and County staff attended the Fallbrook CPG meeting. After hearing the applicant, County Staff, and public testimony, the CPG voted unanimously to recommend approval of the grading but reject the current traffic plan (Ayes – 12, Noes – 0, Absent – 2, Abstain – 1).

On February 9, 2016, the project was heard by the Fallbrook Circulation Subcommittee to discuss the alternate access routes, as detailed previously in the report. The applicant proposed that the u-turn at Air Park Road was the preferred alternative for egress from the project. There was also public testimony taken. The Transportation Subcommittee made a motion to compile the concerns to the CPG for further discussion. The motion passed (Ayes – 7, Noes – 0, Absent – 3, Abstain – 1).

On February 15, 2016, the applicant and County staff attended the Fallbrook CPG meeting. Because the Preliminary Grading Plan and Conceptual Landscape Plan had already received a recommendation of approval by the CPG, the majority of the applicant's discussion was regarding the access alternatives. In addition, public testimony was taken which addressed several topics, including traffic.

After much deliberation, the CPG voted 8-7 to recommend approval of the project (Ayes – 8, Noes – 7, Absent – 0, Abstain – 0).

The details of the discussion are listed in the minutes from the CPG, and are found under Section E, Public Input. Also see Attachment E for CPG recommendation.

F. PUBLIC INPUT

Comments were received as a result of the public notices sent at the time of the TM application submittal, during processing of the permit, during Public Noticing from March 26, 2015 to April 24, 2015, and at the Community Planning Group Meetings. These issues, as noted earlier, varied widely. The main points were increase in traffic along an already busy roadway (South Mission Road), lack of adequate sight distance, increased drainage from the project, grading and land stability, aesthetics, lack of privacy and impact on viewsheds, and property devaluation.

Since the project was continued by the Planning Commission, several neighbors have continued to express concerns about the design of the project, and many had attended the CPG meetings in December 2015 and February 2016. The remaining concerns raised by the residents at these final CPG meetings were: traffic, excessive u-turn traffic on both Summerhill Lane and the entrance to Peppertree Park, grading, drainage and privacy.

Staff has evaluated all of these items and determined that the updated project is consistent with the General Plan, Fallbrook Community Plan, Zoning Ordinance, Subdivision Ordinance, and CEQA; and all issues have been reviewed and adequately addressed. In addition, traffic, drainage, grading and aesthetics have been fully analyzed, and in certain cases modified or reduced and appropriately designed to ensure that the additional impacts would be mitigated.

G. RECOMMENDATIONS

Staff recommends that the Planning Commission:

1. Adopt the Environmental Findings included in Attachment D, which includes a finding that the project is exempt from further environmental review pursuant to Section 15183 of the California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the Resolution of Approval for TM PDS2006-3100-5510 which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County of San Diego Regulations (Attachment B).

Report Prepared By:

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Report Approved By:

Mark Wardlaw, Director
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AUTHORIZED REPRESENTATIVE:



MARK WARDLAW, DIRECTOR

ATTACHMENTS:

- Attachment A – Planning Documentation
- Attachment B – Resolution Approving PDS2006-3100-5510
- Attachment C – Environmental Documentation
- Attachment D – Environmental Findings
- Attachment E – Public Documentation
- Attachment F – Ownership Disclosure

Attachment A – Planning Documentation

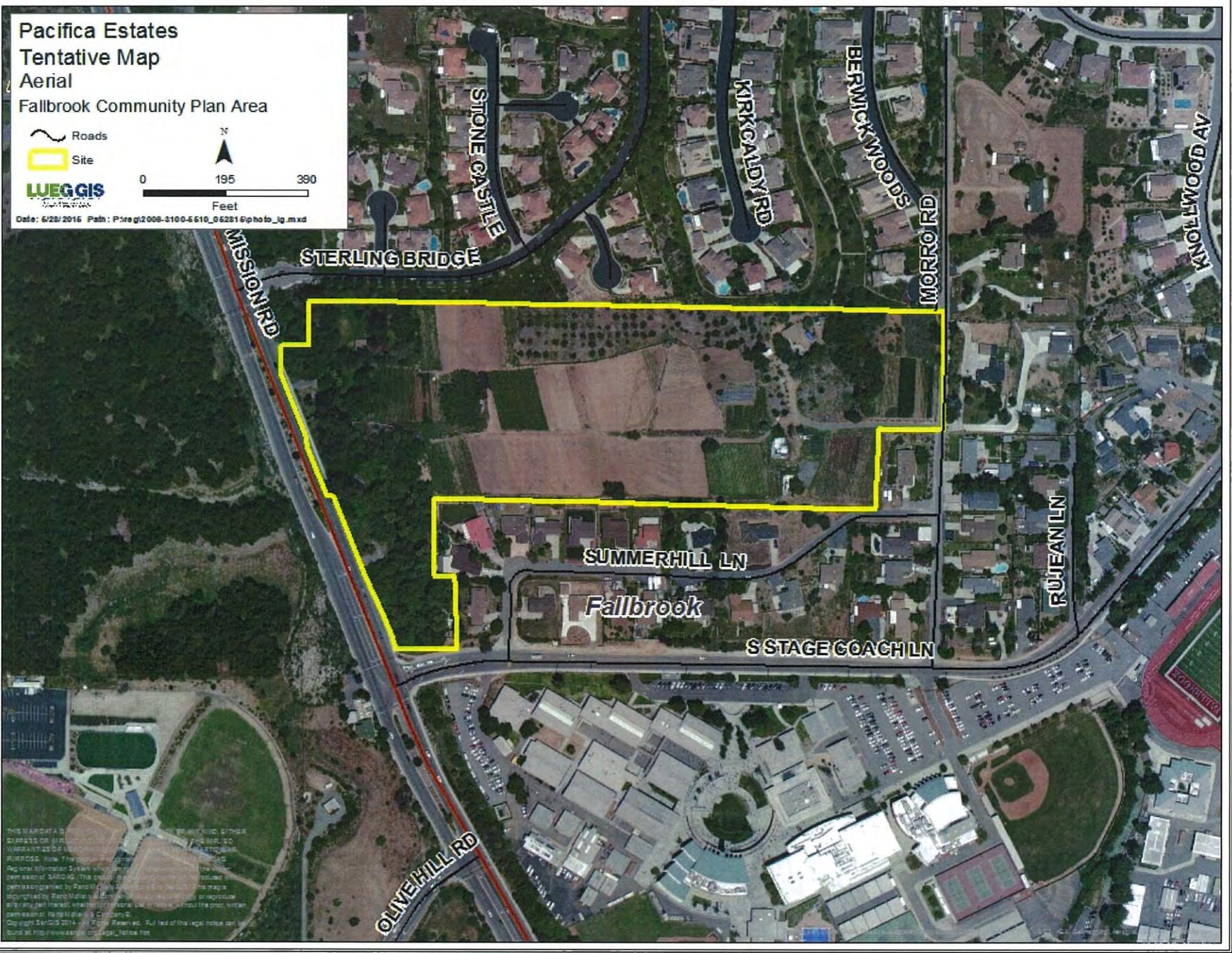
Pacifica Estates
Tentative Map
Aerial
Fallbrook Community Plan Area

~ Roads
□ Site

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COUNTY OF SAN DIEGO TRACT TM 5510 - PACIFICA ESTATES TENTATIVE MAP



SAN DIEGO COUNTY THOMAS BROS.
PG 1027 SECTION G-7

VICINITY MAP
NTS

LEGEND

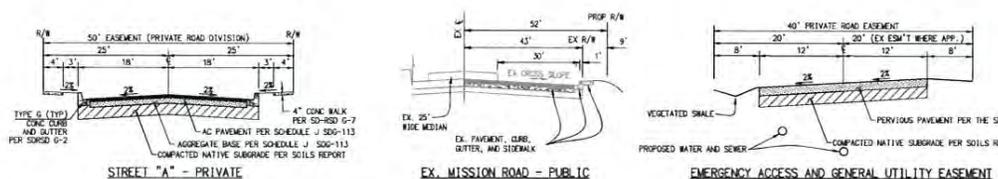
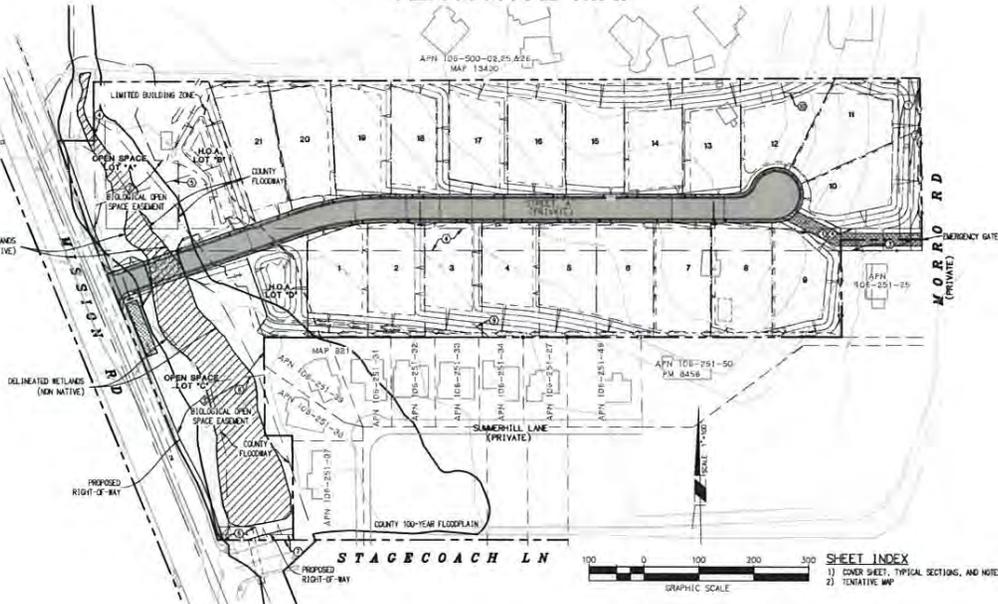
ITEM	SYMBOL
SUBDIVISION BOUNDARY	---
PROPOSED LOT LINE	---
RIGHT OF WAY LINE	---
EXISTING CONTOUR	~
PROPOSED CONTOUR	~
SPOT ELEVATION	550 X 400.1
PROPOSED 6" TYPE G CONCRETE CURB AND GUTTER	---
PROPOSED DRIVEWAY	---
STORM DRAIN PIPE (SIZE PER PLAN)	---
SANITARY SEWER MAIN (SIZE PER PLAN)	---
DOMESTIC WATER MAIN (SIZE PER PLAN)	---
FIRE HYDRANT ASSEMBLY	---
CURB INLET-TYPE B-1	---
CURB INLET-TYPE B-2	---
STORM DRAIN CLEANSOUT	---
ASPHALT PAVING	---
CONCRETE SIDEWALK	---
PERMEABLE PAVEMENT	---
VEGETATED BUFFER STRIP	---
NON-NATIVE WETLANDS	---
LIMITS OF BIOLOGICAL OPEN SPACE & STORAGE LOCATIONS	---
LIMITS OF LIMITED BUILDING ZONE (Lbz)	---

ZONE: EXISTING/PROPOSED

ZONE	REGS
USE REGULATIONS	RR2
NEIGHBORHOOD REGULATIONS/ANIMAL	J
DENSITY	2
LOT SIZE	0.5
BUILDING TYPE	C
MAXIMUM FLOOR AREA	---
FLOOR AREA RATIO	---
HEIGHT	G
LOT COVERAGE	G
SETBACK	G
OPEN SPACE	---
SPECIAL AREA REGULATIONS	---

LAND USE SUMMARY TABLE

21 NEW RESIDENTIAL LOTS (LOTS 1-21)	19.99 ACRES
2 OPEN SPACE LOTS (LOTS "A" AND "C")	3.86 ACRES
2 R.O.A. COMMON AREA (LOTS "B" AND "D")	1.06 ACRES
PRIVATE STREET (SHEET "A")	1.36 ACRES
TOTAL	17.3 ACRES

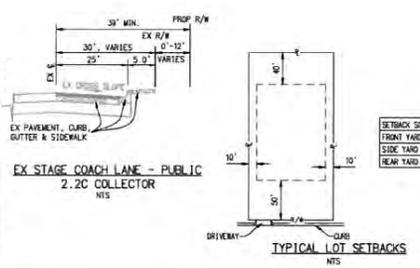


PROPOSED EASEMENTS

DESCRIPTION	FINAL STATUS
EMERGENCY ACCESS EASEMENT TO COUNTY OF SAN DIEGO (VARIES 20'-40')	TO BE ABANDONED PER SEPARATE DOCUMENT
OPEN SPACE EASEMENT TO FALLBROOK CONSERVATION DISTRICT	TO REMAIN
OPEN SPACE EASEMENT TO FALLBROOK CONSERVATION DISTRICT	TO BE ABANDONED PER SEPARATE DOCUMENT
WATER AND SEWER MAIN EASEMENT TO FALLBROOK P.U.D. (VARIES 20'-40')	TO REMAIN

EXISTING EASEMENTS

DESCRIPTION	FINAL STATUS
EX 40' ACCESS AND P.U.E. PER DOC #03-0988052- AUG 13, 2003	TO BE ABANDONED PER SEPARATE DOCUMENT
EX 20' SEWER EASEMENT TO FALLBROOK P.U.D. PER DOC #79-09203 - MARCH 8, 1979	TO REMAIN
EX 20' PRIVATE ROAD AND UTILITY EASEMENT PER DOC #04-244864 - MAY 24, 2004	TO BE ABANDONED PER SEPARATE DOCUMENT
EX ROAD EASEMENT PER TRACT MAP #821	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #794-192 - JAN 14, 1938	TO REMAIN
EX GRADING AND DRAINAGE EASEMENT PER DOC #77-052841 - FEBRUARY 23, 1977	TO REMAIN
EX ROAD AND UTILITY EASEMENT PER DOC #61-223721 - DECEMBER 29, 1961	TO REMAIN
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #037-495 - AUGUST 14, 1936	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1795-423 - JANUARY 18, 1945	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1634-179 - MAY 14, 1929	TO BE ABANDONED PER SEPARATE DOCUMENT



LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING A PORTION OF THE SOUTH 1/2 ACRES OF LOT 8 OF THE SUBDIVISION OF TRACT 0 OF THE PARTITION OF THE RANCHO, MORGENTE, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP NO. 821, FILED SEPTEMBER 25, 1898 THAT CERTAIN PARCEL OF LAND IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING A PORTION OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN THAT CERTAIN PARCEL OF LAND IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING A PORTION OF LOT 21 OF THE SUBDIVISION OF TRACT 9 OF PARTITION OF THE RANCHO MORGENTE, ACCORDING TO MAP NO. 821 AS FILED IN THE OFFICE OF COUNTY RECORDER SEPTEMBER 25, 1898.

ASSESSOR'S PARCEL NUMBERS

106-251-01, 03, 10 & 24 ; 106-151-12 AND 13, 106-500-29

GENERAL NOTES

- TAX RATE AREA: 75018
- AREAGE: 17.3 ACRES AREAS: 15.6 ACRES NET
- TOTAL NUMBER OF LOTS: 25
 - 21 NEW RESIDENTIAL LOTS (LOTS 1-21)
 - 2 OPEN SPACE LOTS FOR WETLAND AND BUFFER AREA (LOTS "A" AND "C")
 - 2 R.O.A. COMMON AREA LOTS FOR DELTA/RETENTION/WATER QUALITY BASINS (LOTS "B" AND "D")
- AVERAGE LOT SIZE: 0.5 ACRES
- ZONING: EXISTING - RR2 (0.5 ACRE RESIDENTIAL)
PROPOSED - RR2 (0.5 ACRE RESIDENTIAL)
REGIONAL CATEGORY: CT (COUNTRY TOWN)
- COMBUNITY PLAN: FALLBROOK
- GENERAL PLAN: EXISTING - 3 (RESIDENTIAL)
PROPOSED - 3 (RESIDENTIAL)
- SERVICES/UTILITIES
 - SEWER DISTRICT: FALLBROOK PUBLIC UTILITIES DISTRICT
 - WATER DISTRICT: FALLBROOK PUBLIC UTILITIES DISTRICT
 - FIRE DISTRICT: FALLBROOK FIRE PROTECTION DISTRICT
 - SCHOOL DISTRICT: FALLBROOK UNIFIED HIGH SCHOOL DISTRICT & FALLBROOK UNIFIED ELEMENTARY SCHOOL DISTRICT
 - STREET LIGHTING: COUNTY OF SAN DIEGO
 - TELEPHONE: SDG
 - ELECTRIC: SAN DIEGO GAS AND ELECTRIC
 - GAS: SAN DIEGO GAS AND ELECTRIC
- NO REQUEST TO INITIATE PROCEEDINGS UNDER A SPECIAL ASSESSMENT ACT WILL BE MADE FOR THIS PROJECT.
- FEES TO BE PAID IN LIEU OF PARK AND LAND DEDICATION
- PRIVATE STREET "A" IS PROPOSED IN A PRIVATE ROAD DIVISION (PRD)
- ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT ALLOWED BY THIS SUBDIVISION.
- TOPOGRAPHIC SOURCE: SURVEY BY VICTOR RODRIGUEZ-FERNANDEZ DATED 6/16/05
- BOTH EXISTING RESIDENCES ON SITE ARE TO BE DEMOLISHED AS WILL THE EXISTING ACCESSORY STRUCTURE.
- THE PROPOSED SUBDIVISION ACCESSES (PUBLIC ROAD AND EMERGENCY ACCESS) SHALL BE ALLWEATHER CROSSING (1000 WIDTH IMPACTING ADJACENT PROPERTIES)
- LANDING PROPOSED FOR ALL LOTS. REFER TO SEPARATE PRELIMINARY GRADING PLAN.
- ALL EXISTING STRUCTURES LABELED ON PRELIMINARY GRADING PLAN "TO BE DEMOLISHED" SHALL BE DEMOLISHED PRIOR TO RECORDING OF FINAL MAP.
- ALL SEPTIC TANKS ON PROPERTY SHALL BE PAVED, COVERED, AND BACK-FILLED PRIOR TO RECORDING OF FINAL MAP.
- ALL WELLS ON PROPERTY SHALL BE DESTROYED UNDER OSH PERMIT PRIOR TO RECORDING OF FINAL MAP.
- AVERAGE SLOPE = 0.8%

OWNER/SUBDIVIDER

JOSE LUIS 12345
2345 LA COSTA AVENUE, #311
CARLSBAD, CA 92008
760-427-4176

[Signature]

PREPARED BY:

RBF CONSULTING
2050 AVENIDA ENCHUSA, SUITE 200
CARLSBAD, CA 92008
(760) 478-9183

ENGINEER OF WORK

TIMOTHY W. THELLE, P.E. C.E. 060283 DATE

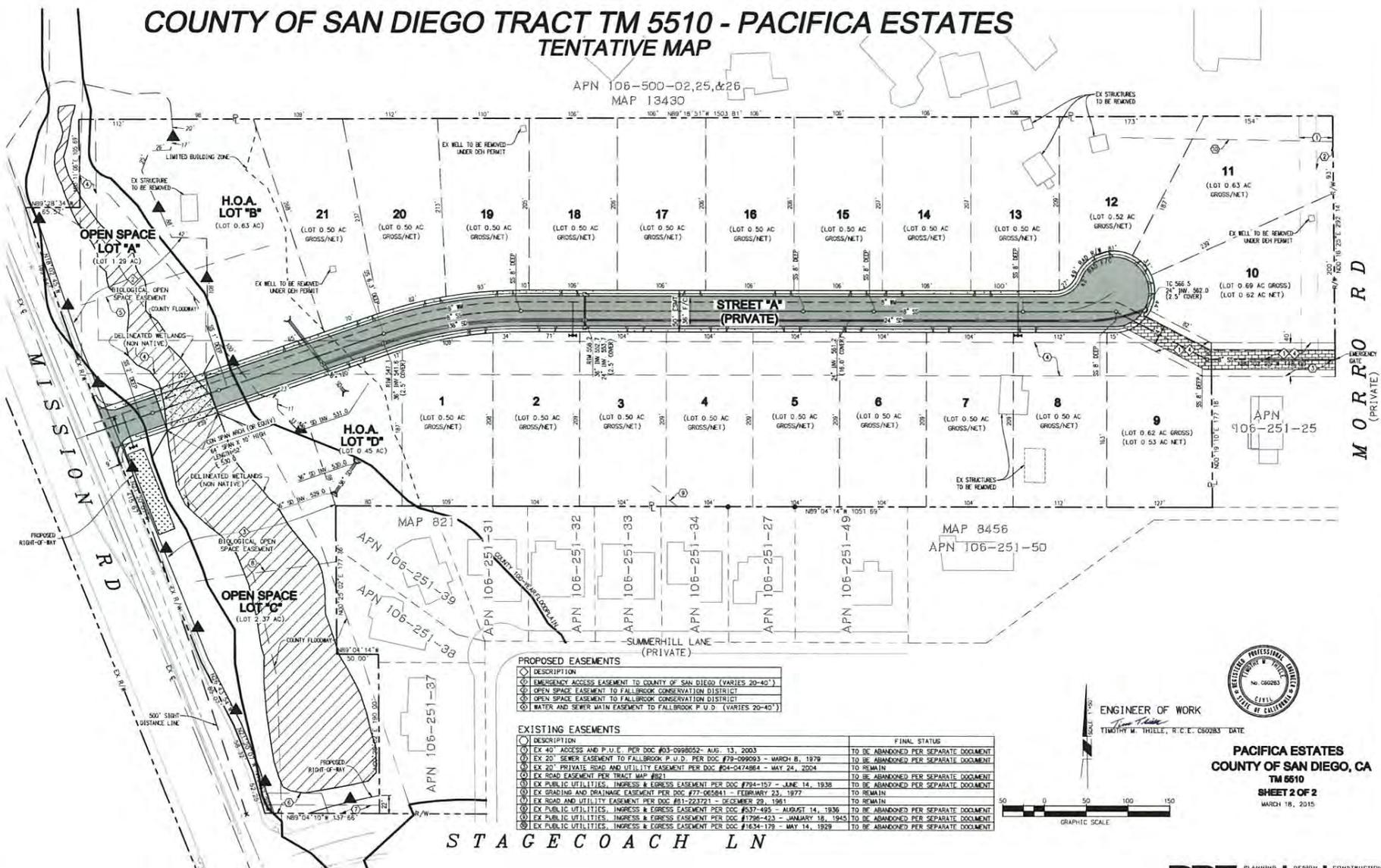


PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510
SHEET 1 OF 2
MARCH 18, 2015

PLANNING ■ DESIGN ■ CONSTRUCTION
RBF CONSULTING
2050 AVENIDA ENCHUSA, SUITE 200
CARLSBAD, CALIFORNIA 92008
TEL: 618.9183 ■ FAX: 618.9183 ■ WWW.RBF.COM

COUNTY OF SAN DIEGO TRACT TM 5510 - PACIFICA ESTATES TENTATIVE MAP

APN 106-500-02,25,&26
MAP 13430



PROPOSED EASEMENTS

DESCRIPTION	FINAL STATUS
EX 40' ACCESS AND P.U.E. PER DOC #03-099052 - AUG. 13, 2003	TO BE ABANDONED PER SEPARATE DOCUMENT
EX 20' SEWER EASEMENT TO FALLBROOK P.U.D. PER DOC #72-099093 - MARCH B, 1979	TO BE ABANDONED PER SEPARATE DOCUMENT
EX 20' PRIVATE ROAD AND UTILITY EASEMENT PER DOC #04-0474864 - MAY 24, 2004	TO REMAIN
EX ROAD EASEMENT PER TRACT MAP #811	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #794-157 - JUNE 14, 1936	TO BE ABANDONED PER SEPARATE DOCUMENT
EX GRADING AND DRAINAGE EASEMENT PER DOC #77-065841 - FEBRUARY 23, 1977	TO REMAIN
EX ROAD AND UTILITY EASEMENT PER DOC #81-223274 - DECEMBER 22, 1981	TO REMAIN
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #632-495 - AUGUST 14, 1936	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1798-423 - JANUARY 16, 1945	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1634-179 - MAY 14, 1929	TO BE ABANDONED PER SEPARATE DOCUMENT

EXISTING EASEMENTS

DESCRIPTION	FINAL STATUS
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ENGINEER OF WORK
TIMOTHY M. THIELE, R.C.E. C50283 DATE

PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510
SHEET 2 OF 2
MARCH 18, 2015



STAGECOACH LN

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COUNTY OF SAN DIEGO TRACT TM 5510 - PACIFICA ESTATES

PRELIMINARY GRADING PLAN

LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING A PORTION OF THE SOUTH 10 ACRES OF LOT 8 OF THE SUBDIVISION OF TRACT 2 OF THE PARTITION OF THE RANCHO, MONTERE, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP NO. 1021, FILED SEPTEMBER 22, 1906; THAT CERTAIN PARCEL OF LAND IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING A PORTION OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN THAT CERTAIN PARCEL OF LAND IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING A PORTION OF LOT 21 OF THE SUBDIVISION OF TRACT 9 OF PARTITION OF THE RANCHO MONTERE, ACCORDING TO MAP NO. 1021 AS FILED IN THE OFFICE OF COUNTY RECORDS SEPTEMBER 22, 1906.

ASSESSOR'S PARCEL NUMBERS

106-251-01, 03, 10, 18 & 24; 106-151-12 AND 13, 106-500-29

GENERAL NOTES

- TAX RATE AREA: 75018
- ACREAGE: 17.3 GROSS ACRES, 15.6 ACRES NET
- TOTAL NUMBER OF LOTS: 25
 - 21 NEAR RESIDENTIAL LOTS (LOTS 1-21)
 - 2 OPEN SPACE LOTS FOR WETLAND AND BUFFER AREA (LOTS "A" AND "C")
 - 2 1/4 A COMMON AREA LOTS FOR RESTORATION/QUALITY IMPROVEMENT (LOTS "B" AND "D")
- AVERAGE LOT SIZE: 0.5 ACRES
- ZONING: EXISTING - RNC (0.5 ACRE RESIDENTIAL)
PROPOSED - RNC (0.5 ACRE RESIDENTIAL)
- RESIDENTIAL CATEGORY: CT (COUNTRY TOWN)
- COMMUNITY PLAN: FALLBROOK
PROPOSED - J (RESIDENTIAL)
- SERVICES/UTILITIES: FALLBROOK PUBLIC UTILITIES DISTRICT
SEWER DISTRICT: FALLBROOK PUBLIC UTILITIES DISTRICT
WATER DISTRICT: FALLBROOK FIRE PROTECTION DISTRICT
FIRE DISTRICT: FALLBROOK FIRE PROTECTION DISTRICT
SCHOOL DISTRICT: FALLBROOK UNIFIED HIGH SCHOOL DISTRICT & FALLBROOK UNIFIED ELEMENTARY SCHOOL DISTRICT
STREET LIGHTING: COUNTY OF SAN DIEGO
TELEPHONE: SDC
ELECTRIC: SAN DIEGO GAS AND ELECTRIC
GAS: SAN DIEGO GAS AND ELECTRIC
- NO REQUEST TO INITIATE PROCEEDINGS UNDER A SPECIAL ASSESSMENT ACT WILL BE MADE FOR THIS PROJECT
- FEES TO BE PAID IN LIEU OF PARK AND LAND DEDICATION
- PRIVATE STREET "A" IS PROPOSED IN A PRIVATE ROAD DIVISION (PRD)
- ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH
- FUTURE DRILLING UNIT ALLOWED BY THIS SUBDIVISION
- POPULOUS SOURCE: SHIRLEY BY VICTOR RODRIGUEZ-FERNANDEZ DATED 6/16/05
- BOTH EXISTING RESIDENCES ON SITE ARE TO BE DEMOLISHED AS WELL AS ONE EXISTING ACCESSORY STRUCTURE
- NO CUT SLOPE NO BREAKER SHALL BE 2:1 AND FILL SLOPE NO GREATER THAN 2:1
- THE PROPOSED SUBDIVISION ACCESS (PUBLIC ROAD AND EMERGENCY ACCESS) SHALL BE ALL-WEATHER CROSSING (ROAD WITHOUT IMPACTING ADJACENT PROPERTIES)
- GRADING PROPOSED FOR ALL LOTS
- ALL EXISTING STRUCTURES LABELED ON PRELIMINARY GRADING PLAN "TO BE REMOVED" SHALL BE DEMOLISHED PRIOR TO RECORDING OF FINAL MAP
- ALL SEPTIC TANKS ON PROPERTY SHALL BE PUMPED, CRUSHED, AND BACK-FILLED PRIOR TO RECORDING OF FINAL MAP
- ALL WELLS ON PROPERTY SHALL BE DESTROYED UNDER DOB PERMIT PRIOR TO RECORDING OF FINAL MAP
- AVERAGE SLOPE: 8 HORIZ

GRADING NOTES

- THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ACCURATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL OF THE PROPOSED GRADING WORK HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSION BEFORE COMMENCING SUCH ACTIVITY
- REMARK: COUNTY OF SAN BERNARDINO "SILT" BRASS BLOCK IN CONCRETE POST LOCATION 1.5 MI. SOUTH ON HWY 160, 1/2 MI. FROM FALLBROOK NEAR PUMP HOUSE. ROAD LEADING R. 26' OFF C.V. ELEV. 609.293

ARCHAEOLOGICAL AND BIOLOGICAL MITIGATION NOTES

- IN ORDER TO COMPLY WITH MITIGATION MONITORING AND REPORTING PROGRAM PURSUANT TO PACIFICA ESTATES PROJECT 3100 5510 (TM), A GLOBAL RESOURCE GRADING MONITORING PROGRAM SHALL BE IMPLEMENTED
- IN ORDER TO PREVENT UNWARRANTED DISTURBANCE TO OSTRICH FARMS CREEK AND SURROUNDING HABITAT, ALL GRADING LOCATED FOR THE OSTRICH FARMS CREEK CROSSING (PRIVATE ACCESS ROAD), NEAR LOTS "B" AND "D", LOT 1 AND 21 SHALL BE MONITORED BY A BIOLOGICAL MONITOR
- IN ORDER TO PREVENT UNWARRANTED DISTURBANCE TO THE BIOLOGICAL OPEN SPACE, TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED
- IN ORDER TO AVOID IMPACTS TO MIGRATORY BIRDS AND RAPTORS, WHICH ARE A SENSITIVE BIOLOGICAL RESOURCE PURSUANT TO ODM AS IMPLEMENTED UNDER THE COUNTY OF SAN DIEGO GUIDELINES FOR DETERMINING SIGNIFICANCE, THERE SHALL BE NO BRUSHING, CLEARING AND/OR GRADING SOONER THAN ONE YEAR WILL BE ALLOWED WITHIN 500 FEET OF THE BIOLOGICAL OPEN SPACE DURING THE BREEDING SEASON OF THE MIGRATORY BIRDS AND RAPTORS AS INDICATED ON THE PRELIMINARY GRADING PLAN AND/OR TENTATIVE MAP. THE BREEDING SEASON IS DEFINED AS OCCURRING BETWEEN FEBRUARY 15 AND AUGUST 31ST. THE DIRECTOR OF PLANNING AND LAND USE (DPLU), PCLT MAY WAIVE THIS CONDITION, THROUGH WRITTEN CONCURRENCE FROM THE FISHERY AND WILDLIFE SERVICE AND THE CALIFORNIA DEPARTMENT OF FISH AND GAME, PROVIDED THAT ALL ACTIVE NESTS ARE PRESENT IN THE VICINITY OF THE BRUSHING, CLEARING OR GRADING.

OWNER/SUBDIVIDER

JOE LUIS 1945
2348 LA COSTA, #311
CARLSBAD, CA 92008
760-427-4176

PREPARED BY:

MICHAEL BAKER INTERNATIONAL
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CARLSBAD, CA 92008
(760) 476-9183

ENGINEER OF WORK

TIMOTHY M. WHELLE, R.C.T.E. 0028283 DATE



PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510
SHEET 1 OF 5
JANUARY 29, 2016

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SAN DIEGO COUNTY THOMAS BROS. PG 1027 SECTION G-7

VICINITY MAP

NTS

LEGEND

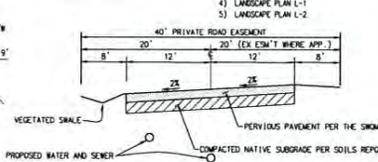
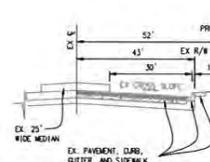
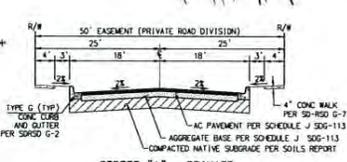
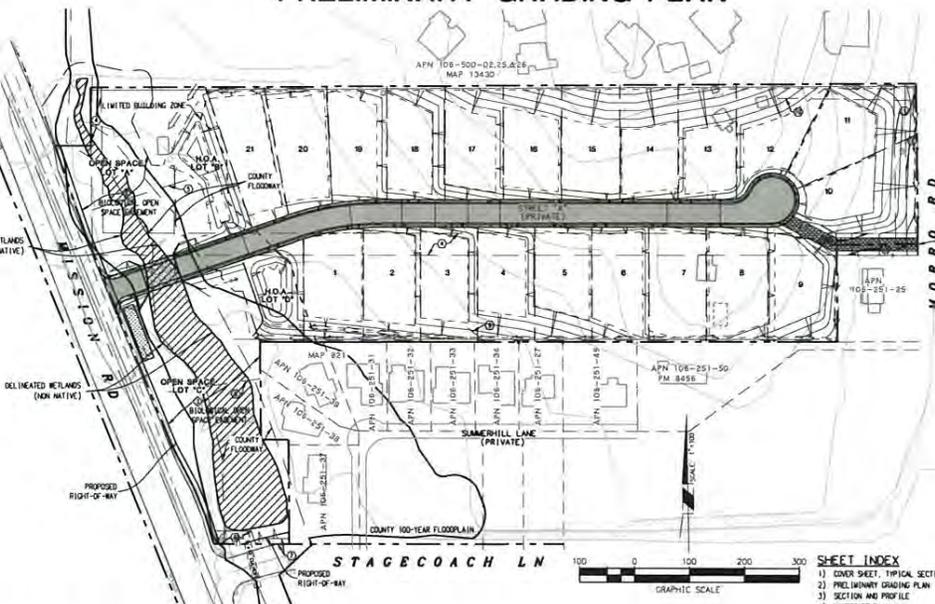
ITEM	SYMBOL
SUBDIVISION BOUNDARY	---
PROPOSED LOT LINE	---
RIGHT OF WAY LINE	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
SPOT ELEVATION	---
PROPOSED "B" TYPE G CONCRETE CURB AND GUTTER	---
PROPOSED DRIVEWAY	---
STORM DRAIN PIPE (SIZE PER PLAN)	---
CURB INLET-TYPE B-1	---
CURB INLET-TYPE B-2	---
STORM DRAIN CLEANOUT	---
SLOPE (CUT/FILL)	---
DIRECTION OF FLOW	---
PAD ELEVATION	---
BROAD DITCH	---
RIP RAP	---
DAYLIGHT / LIMIT OF GRADING	---
ASPHALT PAVING	---
PERMEABLE PAVEMENT	---
CONCRETE SIDEWALK	---
NON-NATIVE WETLANDS	---
VEGETATED BUFFER STRIP	---
LIMITS OF BIOLOGICAL OPEN SPACE & SIGNAGE LOCATIONS	---
LIMITS OF LIMITED BUILDING ZONE (L82)	---

ZONE: EXISTING/PROPOSED

ZONE	RRZ
USE REGULATIONS	J
NEIGHBORHOOD REGULATIONS/ANIMAL DENSITY	2
LOT SIZE	0.5
BUILDING TYPE	C
MAXIMUM FLOOR AREA	---
FLOOR AREA RATIO	---
HEIGHT	G
SETBACK	G
OPEN SPACE	---
SPECIAL AREA REGULATIONS	---

LAND USE SUMMARY TABLE

22 NEW RESIDENTIAL LOTS (LOTS 1-26)	10.99 ACRES
2 OPEN SPACE LOTS (LOTS "A" AND "C")	3.66 ACRES
2 1/4 "A" COMMON AREA LOTS "B" AND "D"	1.10 ACRES
PRIVATE STREET (STREET "A")	1.56 ACRES
TOTAL	17.3 ACRES

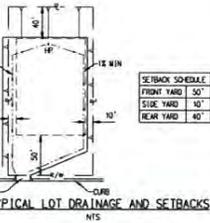
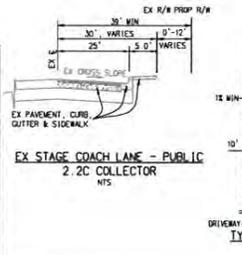


PROPOSED EASEMENTS

DESCRIPTION	VARIES
EMERGENCY ACCESS EASEMENT TO COUNTY OF SAN DIEGO	(VARIES 20'-40')
OPEN SPACE EASEMENT TO FALLBROOK CONSERVATION DISTRICT	(VARIES 20'-40')
OPEN SPACE EASEMENT TO FALLBROOK CONSERVATION DISTRICT	(VARIES 20'-40')
WATER AND SEWER MAIN EASEMENT TO FALLBROOK P.U.D.	(VARIES 20'-40')

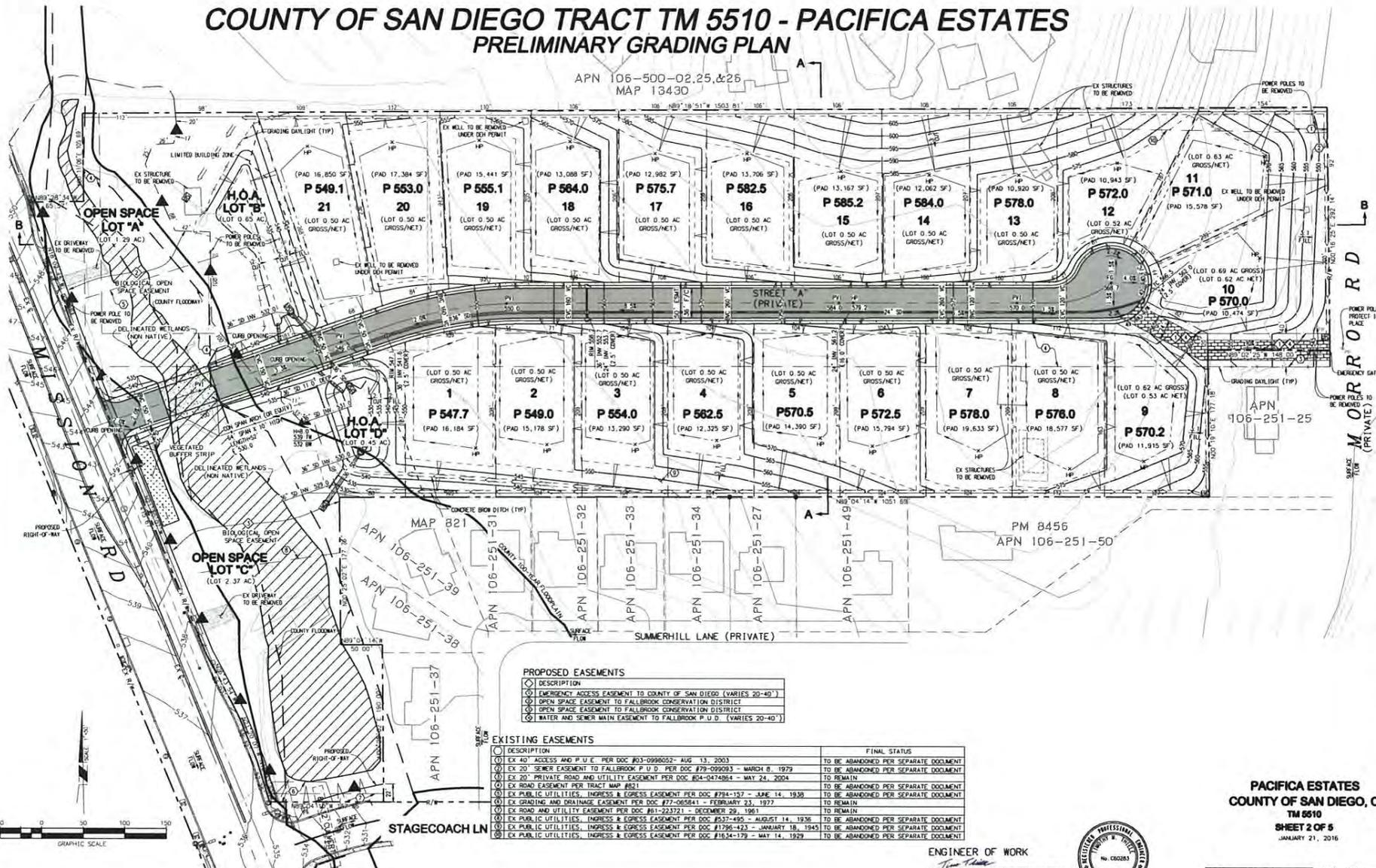
EXISTING EASEMENTS

DESCRIPTION	FINAL STATUS
EX. NO. ACCESS AND P.U.E. PER DOC #03-098052 - AUG. 13, 2003	TO BE ABANDONED PER SEPARATE DOCUMENT
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EX. 20' PRIVATE ROAD AND UTILITY EASEMENT PER DOC #04-047484 - MAY 24, 2004	TO REMAIN
EX. ROAD EASEMENT PER TRACT MAP #821	TO BE ABANDONED PER SEPARATE DOCUMENT
EX. PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #214-137 - JUNE 14, 1938	TO BE ABANDONED PER SEPARATE DOCUMENT
EX. GRADING AND DRAINAGE EASEMENT PER DOC #77-055841 - FEBRUARY 23, 1977	TO REMAIN
EX. ROAD AND UTILITY EASEMENT PER DOC #61-223721 - DECEMBER 29, 1961	TO REMAIN
EX. PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #337-655 - AUGUST 14, 1936	TO BE ABANDONED PER SEPARATE DOCUMENT
EX. PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1736-423 - JANUARY 18, 1945	TO BE ABANDONED PER SEPARATE DOCUMENT
EX. PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1834-179 - MAY 14, 1938	TO BE ABANDONED PER SEPARATE DOCUMENT



COUNTY OF SAN DIEGO TRACT TM 5510 - PACIFICA ESTATES PRELIMINARY GRADING PLAN

APN 106-500-02,25,&26
MAP 13430



PROPOSED EASEMENTS

DESCRIPTION	FINAL STATUS
EMERGENCY ACCESS EASEMENT TO COUNTY OF SAN DIEGO (VARIES 20-40')	TO BE ABANDONED PER SEPARATE DOCUMENT
OPEN SPACE EASEMENT TO FALLBROOK CONSERVATION DISTRICT	TO BE ABANDONED PER SEPARATE DOCUMENT
OPEN SPACE EASEMENT TO FALLBROOK CONSERVATION DISTRICT	TO BE ABANDONED PER SEPARATE DOCUMENT
WATER AND SEWER MAIN EASEMENT TO FALLBROOK P.U.D. (VARIES 20-40')	TO BE ABANDONED PER SEPARATE DOCUMENT

EXISTING EASEMENTS

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EX GRADING AND DRAINAGE EASEMENT PER DOC #77-060841 - FEBRUARY 23, 1977	TO REMAIN
EX ROAD AND UTILITY EASEMENT PER DOC #81-223721 - DECEMBER 29, 1961	TO REMAIN
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #537-495 - AUGUST 14, 1936	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1796-423 - JANUARY 18, 1945	TO BE ABANDONED PER SEPARATE DOCUMENT
EX PUBLIC UTILITIES, INGRESS & EGRESS EASEMENT PER DOC #1634-179 - MAY 14, 1929	TO BE ABANDONED PER SEPARATE DOCUMENT



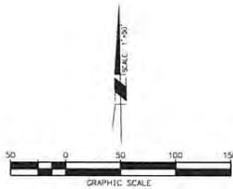
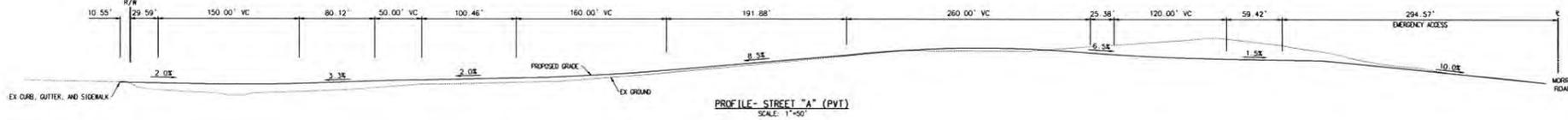
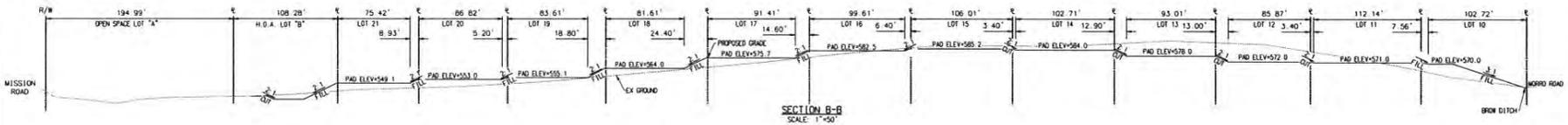
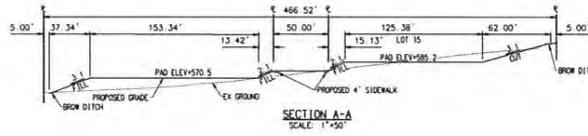
PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510
SHEET 2 OF 5
JANUARY 21, 2016

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COUNTY OF SAN DIEGO TRACT TM 5510 - PACIFICA ESTATES PRELIMINARY GRADING PLAN



**PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510**

**SHEET 3 OF 8
JANUARY 21, 2016**

ENGINEER OF WORK
Timothy W. Heile
TIMOTHY W. HEILE, P.E., C.E. C40283 DATE



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LANDSCAPE CONCEPT PLAN

SEE LEGEND NEXT SHEET

MINIMUM TREE SEPARATION DISTANCE

Improvement	Minimum Distance to Street Tree
Traffic signals (stop sign)	20 feet
Underground utility lines	5 feet
Above ground utility structures	10 feet
Driveway (entire)	10 feet
Intersections (intersecting curb lines of two streets)	25 feet
Sewer Lines	10 feet

EXISTING VEGETATION NOTES

ALL EXISTING VEGETATION IN THE OPEN SPACE EASEMENT ADJACENT TO MISSION ROAD SHALL REMAIN UNALTERED AND BE PROTECTED IN PLACE. ALL OTHER ONSITE VEGETATION SHALL BE REMOVED THROUGH THE GRADING PROCESS

WATER METER NOTE

THE PROJECT SHALL HAVE ITS OWN DEDICATED LANDSCAPE IRRIGATION WATER METER SEPARATE FROM THE WATER METER PROVIDED FOR THE CITY RIGHT OF WAY LANDSCAPE AND SEPARATE FROM ANY POTABLE WATER METER

PLANT MATERIAL NEAR SEWER LINES

NO TREE OR SHRUB EXCEEDING 3' IN HEIGHT SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC SEWER FACILITIES

MULCHING NOTE

ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH

SIGHT TRIANGLE NOTE

THE CIVIL ENGINEER SHALL CONSTRUCT SIGHT DISTANCE TRIANGLE LINES AT ALL INTERSECTIONS AND DRIVEWAYS PER THE COUNTY OF S.D. STANDARDS. WITHIN THESE VISIBILITY LINES ALL LANDSCAPE, FENCING, WALLS ETC MUST BE KEPT TO A HEIGHT LESS THAN 30"

WATER CONSERVATION STATEMENT

APPLICABILITY OF THE COUNTY OF SAN DIEGO LANDSCAPE WATER CONSERVATION ORDINANCE. STATES THAT NEW CONSTRUCTION AND REHABILITATED LANDSCAPES WITH A PROPOSED CUMULATIVE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET ARE REQUIRED TO COMPLY WITH THE JAN 2016 STATE WATER CONSERVATION ORDINANCE.

IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN SOUTHERN CALIFORNIA, THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO REDUCE THIS PROJECT'S DEMAND ON THE COUNTY OF SAN DIEGO'S AVAILABLE WATER SUPPLY. THE IRRIGATION SYSTEM WILL BE AUTOMATIC AND WILL INCORPORATE LOW VOLUME/LOW PRECIPITATION RATE SPRAY EMITTERS. DRIP IRRIGATION SYSTEMS MAY BE EMPLOYED WHERE CONSIDERED TO BE EFFECTIVE AND FEASIBLE. IRRIGATION VALVES SHALL BE SEGREGATED TO ALLOW FOR THE SYSTEM OPERATION IN RESPONSE TO ORIENTATION AND EXPOSURE. TURF WILL BE RESTRICTED TO AREAS WHICH MAY RECEIVE SIGNIFICANT AMOUNTS OF USE AND ENJOYMENT BY THE GUESTS AND RESIDENTS. PLANT MATERIAL WILL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST, AND WEST EXPOSURES. SOIL WILL BE AMENDED AND PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND COVERAGE AND TO PROVIDE FOR MAXIMUM MOISTURE RETENTION AND PERCOLATION. PLANTER BEDS WILL BE MULCHED TO RETAIN SOIL MOISTURE AND REDUCE. EVAPOTRANSPIRATION FROM THE ROOT ZONES. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR THE PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT OF THE VEGETATION SELECTED.

THE ESTIMATED TOTAL WATER USE (ETWU) OF THE IRRIGATION SYSTEM WILL BE DESIGNED TO WORK WITHIN THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) FOR THE DEVELOPMENT. A FULL LANDSCAPE DOCUMENT PACKAGE, PER THE LANDSCAPE WATER CONSERVATION ORDINANCE WILL BE REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

THE AUTOMATIC IRRIGATION CONTROLLER SHALL MAKE USE OF WEATHER DATA VIA AUTOMATIC EVAPOTRANSPIRATION DATA TRANSMISSIONS (EITHER ONSITE OR OFF SITE) AUTOMATIC RUN TIME ADJUSTMENTS SHALL TAKE PLACE AS A RESPONSE TO THIS WEATHER DATA. THE CONTROLLER SHALL ALSO AUTOMATICALLY RESPOND TO RAIN AND HIGH WIND EVENTS VIA AN ONSITE WEATHER SENSOR.

ROOT BARRIER NOTE

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL TREES WITHIN 10' OF HARDSCAPE SURFACES (FOOTINGS, WALLS, SIDEWALKS OR ANY OTHER HARDSCAPE ELEMENT); MINIMUM DEPTH OF 18" FOR A LENGTH OF 20' CENTERED ON THE TRUNK OF THE TREE

MAINTENANCE RESPONSIBILITY

ALL REQUIRED LANDSCAPE AREAS INCLUDING LANDSCAPING AND PEDESTRIAN LIGHTING WITHIN THE PROJECT LIMITS AS SHOWN SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THIS PERMIT

UTILITY SCREENING

ALL WATER, SEWER AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION

I, SHAWNNA HARRISON am familiar with the requirements for landscape and irrigation plans contained in the County Landscape Water Conservation regulations, in Title 8 Division 6, Chapter 7. I have prepared the plan in compliance with these regulations. I certify that the plan implements those regulations to provide efficient use of water.

I, SHAWNNA HARRISON certify that the Conceptual Landscape Plan as shown herein per the grading plan satisfy the grading ordinance requirements as stated per section 87 417 (planting) and section 87 418 (irrigation).

NOTES

FINISH GRADING NOTE: ALL LANDSCAPE AREAS SHALL BE FINISH GRADED TO REMOVE ROCKS AND TO INSURE SURFACE DRAINAGE AWAY FROM BUILDINGS.

IRRIGATION NOTE: FIELD ADJUST ALL SPRINKLERS TO ELIMINATE OVERSPRAY ONTO SIDEWALKS, DRIVEWAYS, BUILDINGS, FENCES, OR WALLS.



LANDSCAPE ARCHITECT
 SHAWNNA A HARRISON, RLA 5085, LEED AP
 CELL: 760-274-3838
 EMAIL: SHAWNNAHARRISON18@YAHOO.COM



PACIFICA ESTATES
COUNTY OF SAN DIEGO
TM 5510
SHEET 4 OF 5
LANDSCAPE CONCEPT PLAN
 JANUARY 2016

CANDIDATE PLANT MATERIAL (Note more than one plant species in each category may be selected to represent one symbol or hatch)

BOTANICAL NAME	COMMON NAME	FORM AND SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
TREES							
EVERGREEN SCREEN TREE/VERTICAL ACCENT TREE							
LYGODIUM HABRUS FLORIBUNDUS	CATALINA IRONWOOD	10'-18'	25-30'	24-36" BOX	EST	LOW	
PIRUS CAHARRIENSIS	CALARY ISLAND PINE	10'-15'	35-40'	24-36" BOX	EST	LOW	
TRISTANTIA CONFERTA	BIRSBANE BOX	10'-15'	25-30'	24-36" BOX	EST	LOW	
CEDRUS DEODARA	DEODAR CEDAR	12'-15'	25-30'	24-36" BOX	EST	MODERATE	
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRRESS	9-8'	25-30'	24-36" BOX	EST	MODERATE	
ELAEAGARBUS DECIPENS	JAPANESE BLUEBERRY	9-8'	15-23'	24-36" BOX	EST	MODERATE	
MEALAEUCA QUINQUELOPERVA	CALEPUT TREE	8-10'	15-20'	24-36" BOX	EST	MODERATE	
HYMENOSPORUM FLAVUM	SWEET SHADE TREE	8-10'	25-30'	24-36" BOX	EST	LOW	

BOTANICAL NAME	COMMON NAME	FORM AND SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
BROAD CANOPY SLOPE TREE/STREET TREE/ACCENT TREE							
UMBELLARIA CALIFORNICA	BAY LAUREL	25-40'	35-40'	36" BOX	BHCST	LOW	
METRODEROS EXCELSUS	NEW ZEALAND CHRISTMAS	20-25'	25-30'	36" BOX	BHCST	LOW	
CUSCUS AGRIFOLIA	COAST LIVE OAK	20-25'	25-30'	36" BOX	BHCST	LOW	
CHLOPSIS LINEARIS	DESERT WILLOW	20-25'	15-20'	36" BOX	DAT	LOW	
TABEUIA IMPETIGINOSA	PRICKLY PINE	12-18'	10-15'	36" BOX	DAT	LOW	
MUSEUM	PALO VERDE	20-25'	25-30'	36" BOX	DAT	LOW	
FRUITLESS OLIVE							
OLEA EUROPAEA SWAIN HILL	FRUITLESS OLIVE	15-20'	10-18'	36" BOX	BHCST	MODERATE	
ROBINA PSEUDOACADIA PURPLE	LODGEPOLE	20-25'	20-25'	36" BOX	DAT	MODERATE	
NOELKEUTERIA BIPINNATA							
ULMUS PARVIFOLIA	CHINESE FLAME TREE	20-25'	20-25'	36" BOX	DAT	LOW	
SAUHIIA VARIEGATA	CHINESE ELM	20-25'	20-25'	36" BOX	BHCST	MODERATE	
PRUNUS CERASIFERA	PURPLE ORCHID TREE	20-25'	20-25'	36" BOX	DAT	MODERATE	
LAGERSTROEMIA INDICA SPP	FLOWERING CHERRY	15-20'	15-20'	36" BOX	DAT	MODERATE	
ACHIA STENOPHYLLA	GRAPE MYRTLE	10-15'	15-20'	36" BOX	DAT	MODERATE	
SCODIUM MIDDLE	SHOESTRING ACACIA	15-20'	15-20'	36" BOX	BHCST	MODERATE	
	CALIFORNIA PEPPER	20-25'	15-20'			MODERATE	

BOTANICAL NAME	COMMON NAME	FORM AND SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
DETENTION BASIN RELATED TREES							
PLATANUS HACMOSA	AUSTRALIAN TREE FERN	15-20'	25-35'	24-36" BOX	DAT	MODERATE	
POPULUS ALBA ITALICA	DRAGON TREE	10-15'	35-40'	24-36" BOX	VAT/CAT	MODERATE	
SALIX SPP	CORNYLUS	20-25'	15-20'	24-36" BOX	DAT	LOW	
CERISIA OCCIDENTALIS FOREST PLANT	EASTERN REDBUD	10-15'	10-15'	24-36" BOX	DAT	MODERATE	

SHRUBS/GROUNDCOVER/VINES

BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
PARARIAN PLANTINGS (ALSO SEE GROUNDCOVERS)							
FESTUCA OVINA GLAUCA	BLUE FESCUE	1' OR 5' GAL	ESS	LOW			
SENECIO MANDRALISCAE	BLUE CHALK STICKS	1' OR 5' GAL	ESS	LOW			
SALVIA SPP	SAGE	1' OR 5' GAL	ESS	LOW			
ERIGERON KARVINKIANUS	SANTAL BARBARA DAISY	1' OR 5' GAL	ESS	LOW			
ALOE SPP	ALOE	1' OR 5' GAL	ESS	LOW			
ROSA SPP	CARPET ROSE	1' OR 5' GAL	ESS	LOW			
DIANELLA SPP	FLAX LILY	1' OR 5' GAL	ESS	LOW			
CISTUS SPP	ROCK ROSE	1' OR 5' GAL	ESS	LOW			
CAREX SPP	SEDGE	1' OR 5' GAL	ESS	LOW			
CALISTEMON LITTEL JOHN	DWARF CALLISTEMON	1' OR 5' GAL	ESS	LOW			
LAVANDULA SPP	LAVENDER	1' OR 5' GAL	ESS	LOW			

FORM AND FUNCTION ABBREVIATIONS	DESCRIPTION
BHCST	BROAD HEADED CANOPY SHADE TREE
VAPT	VERTICAL ACCENT PALM/TREE
EST	EVERGREEN SCREEN TREE
EAT	EDIBLE ACCENT TREE
DAT	DECIDUOUS ACCENT TREE
ESS	EVERGREEN BORDER SHRUB
ESS	VERTICAL EVERGREEN SCREENING SHRUB
EAS	EVERGREEN ACCENT SHRUB
EFCC	EVERGREEN FLOWERING GROUND COVER
EFV	EVERGREEN FLOWERING VINE
RAS	RIPARIAN ACCENT SHRUB

- GENERAL NOTES**
- A PERMIT SHALL BE OBTAINED FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY WORK WITHIN THE STREET RIGHT-OF-WAY.
 - THE STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH IAW (DEED) COUNTY STANDARDS AND AS APPROVED BY THE MATERIALS INSPECTOR.
 - APPROVAL OF THESE IMPROVEMENT PLANS BY SHAWA DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
 - ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO CONSTRUCTION OF BERM CURB, CROSS CUTTER AND PAVING.
 - THE LOCATION AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO PRECEDING FACILITIES AS SHOWN ON THESE PLANS, HOWEVER THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER WHICH IS NOT RECORDED OR NOT SHOWN ON THESE PLANS.
 - LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF BERM CURB, CROSS CUTTER, EXISTING UNDERGROUND FACILITIES AND LOCATION OF EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT WORKING TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
 - THE CONTRACTOR SHALL NOTIFY THE SAN DIEGO GAS AND ELECTRIC COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. NOTICE: ALL ELECTRICAL AND GAS SERVICES WITHIN THIS PROJECT ARE UNDERGROUND INSTALLATIONS. FOR LOCATION OF ELECTRICAL CABLES AND GAS PIPING AND APPLICANCES CONTACT THE SAN DIEGO GAS AND ELECTRIC COMPANY.
 - THE CONTRACTOR SHALL NOTIFY PACIFIC BELL TELEPHONE COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. NOTICE: ALL TELEPHONE SERVICES WITHIN THIS PROJECT ARE UNDERGROUND INSTALLATIONS. FOR LOCATION OF CABLES AND APPLICANCES CONTACT TELEPHONE COMPANY.
 - POWER SOURCES AND BUS SERVING STREET LIGHTS SHALL BE SLOW ON THE "BORDER" PROPERTY AND BOUNDARIES SHALL BE LOCATED WITHIN THE DEDICATED RIGHT-OF-WAY OR WITHIN EASEMENTS DEDICATED TO UTILITY SERVICES. IF APPLICABLE.
 - THIRTY FEET ROAD BARRIERS SHALL BE SHOWN HEREON ARE FOR INFORMATION ONLY. COUNTY OFFICIALS SIGNATURE HEREON DOES NOT CONSTITUTE ANY LIABILITY OR RESPONSIBILITY OF ANY KIND FOR THE DESIGN OR CONSTRUCTION OF THESE PRIVATE IMPROVEMENTS, IF APPLICABLE.
 - NO PAVING SHALL BE DONE UNTIL EXISTING POWER POLES ARE RELOCATED OUTSIDE THE AREA TO BE PAVED.
 - THIRTY FEET ROAD BARRIERS SHALL BE SHOWN HEREON ARE FOR INFORMATION ONLY. COUNTY OFFICIALS SIGNATURE HEREON DOES NOT CONSTITUTE ANY LIABILITY OR RESPONSIBILITY OF ANY KIND FOR THE DESIGN OR CONSTRUCTION OF THESE PRIVATE IMPROVEMENTS, IF APPLICABLE.

BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
SHRUBS/GROUNDCOVER/VINES CONTIN.							
SLOPE PLANTINGS - LARGE EVERGREEN SHRUBS							
FICUS NITIDA GREEN GEM	INDIAN LAUREL FIG	4-6'	10-15'	15 GAL	ESS	LOW	
ETEROMELES ARBUTIFOLIA	TOYON	4-6'	8'	15 GAL	ESS	LOW	
RHAMNUS CALIFORNICA	COFFEEBERRY	4-6'	8-10'	15 GAL	ESS	HIGH	
ELYMUS CONDENSATUS	GIANT WILD RYE	4-6'	8-10'	15 GAL	ESS	LOW	
LAURUS NOBILIS	SWEET BAY	4-6'	10-15'	15 GAL	ESS	LOW	
ECHINOCYATHUS	PRIDE OF BACARA	4-6'	5-6'	15 GAL	ESS	LOW	
PIRITOSPORIUM TENUICOLM	SILVERSHREEN	4-6'	10-15'	15 GAL	ESS	LOW	

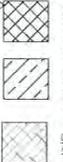
BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
SLOPE PLANTINGS - SMALL TO MEDIUM EVERGREEN BORDER SHRUBS/ACCENT SHRUBS							
AGAVE ATTENUATA	FOXTAIL AGAVE	5'	2-3'	5 GAL to 15 GAL	EAS	LOW	
AGAVE DESMETIANA VARIEGATA	DWARF CENTURY PLANT	3'	2'	5 GAL to 15 GAL	EAS	LOW	
NYC	MAIDEN HAIR GRASS	3'	3-6'	1 GAL to 5 GAL	EAS	MODERATE	
JULIPERUS SCUMATA BLUE STAR	DWARF JUNIPER	4'	3'	1 GAL to 5 GAL	EAS	LOW	
ROSMARINUS OFFICINALIS	ROSEMARY	4'	3'	1 GAL to 5 GAL	EAS	LOW	
ECHINOCYATHUS BRUSONII	GOLDEN BARREL CACTUS	2'	VARIES	1 GAL to 5 GAL	EAS	LOW	
EUPHORBIA SPP	EUPHORBIA	VARIES	3'	1 GAL to 5 GAL	EAS	LOW	
ARCTOSTAPHYLOS SPP	MANZANITA	4'	3'	15 GAL	EFCC	MODERATE	
PIRITOSPORIUM CRASSIFOLIUM COMPACTUM	DWARF KARO	3'	1'	1 GAL to 5 GAL	EFCC	LOW	
FESTUCA OVINA GLAUCA	BLUE FESCUE GRASS	18" O C	1'	1 GAL	EFCC	LOW	
SENECIO MANDRALISCAE	BLUE CHALK STICKS	18" O C	12"	1 GAL	EFCC	LOW	
BACCHARIS FIBROSA POINT	DWARF COYOTE BUSH	18" O C	VARIES	1 GAL	EFCC	MODERATE	
EUCHEVERIA SPP	HELI AND CHICKS	VARIES	3'	1 GAL to 5 GAL	EFCC	MODERATE	
SALVIA SPP	SAGE	24" O C	18"	1 GAL to 5 GAL	EFCC	LOW	
ERIGERON SPP	SUNWHEAT	24" O C	10"	1 GAL	EFCC	LOW	
ALOE SPP	ALOE	24" O C	4-6'	1 GAL to 5 GAL	EAS	LOW	
RIBES SPP	GOOSEBERRY	3-4" O C	4-6'	1 GAL to 5 GAL	EAS	MODERATE	
MORANDELLA SUBGLABRA	WINT BUSH	18" O C	1'	1 GAL	EAS	LOW	
LEPTOSPERMUM LAEVIGATUM MELALEUCA	STICKY MONKEY FLOWER	18" O C	3-6'	1 GAL to 5 GAL	EAS	LOW	
NEOPHILA	AUSTRALIAN TEA TREE	8-9"	8-9"	1 GAL to 5 GAL	EAS	LOW	
ROSA CALIFORNICA	PINK MELALEUCA	2" O C	2-3'	1 GAL to 5 GAL	DAT	LOW	
RHAMNUS CALIFORNICA	COFFEEBERRY	5" O C	8-9"	1 GAL to 5 GAL	EAS	LOW	
WAHAESIANA	POVERTY WEED	3" O C	VARIES	1 GAL to 5 GAL	EAS	MODERATE	
STREPTIZIA REGINAE	BIRD-OF-PARADISE	3" O C	2-4'	5 GAL	EAS	MODERATE	
LIGUSTRUM TEXANUM	TEXAS PRIVET	3" O C	2'	5 GAL	EAS	MODERATE	
BUXUS SPP	BOXWOOD	2" O C	2'	5 GAL	EAS	MODERATE	
EDUYNIMUS SPP	EDUYNIMUS	2" O C	2'	5 GAL	EAS	MODERATE	
DANIELIA SPP	FLAX LILY	2" O C	3-4'	5 GAL	EAS	MODERATE	
GREVILLEA SPP	GREVILLEA	3" O C	3-4'	5 GAL	EAS	LOW	
LEUCADENDRON SPP	COLEBUSH	1" O C	1'	5 GAL	EAS	LOW	
HEUCHERA SANGUINEA	CORAL BELLS	1" O C	2-3'	1 GAL	EAS	LOW	
DASYLIRION LONGISSIMUM	MEXICAN GRASS TREE	3" O C	2'	5 GAL	EAS	MODERATE	
POLYSTICHUM MUNITLUM	SWORD FERN	2" O C	3-4'	5 GAL	EAS	LOW	
LEUCOPHYLLUM FRUTE SCENS	TEXAS RANGER	4" O C	4-5'	5 GAL	EAS	MODERATE	
HAKIA SUAVEOLENS	SWEET HAKEA	5" O C	3-3'	5 GAL	EAS	LOW	
CISTUS SPP	ROCKROSE	3" O C	4-5'	5 GAL	EAS	LOW	
CHAMALUCIDUM UNICRATUM	HAW FLOWER	3" O C	3-5'	5 GAL	EAS	LOW	
BOUGAINVILLEA SPP	BOUGAINVILLEA	3" O C	3'	5 GAL	EAS	LOW	
CAREX SPP	REED YUCCA	2" O C	3'	5 GAL	EAS	LOW	
CAREX SPP	CAREX	2" O C	3-6'	5 GAL	EAS	LOW	
WAX LEAF PRIVET	WAX LEAF PRIVET	30" O C	2'	1 GAL	EAS	LOW	
BUXUS MICROCARPA SPP	BOXWOOD HEDGE	18" O C	2'	1 GAL	EAS	MODERATE	
ANGICAHUHO SPP	KANGAROO PAW	18" O C	2-3'	5 GAL	EAS	MODERATE	
PHORNIUM SPP	NEW ZEALAND FLAX	18" O C	2-4'	5 GAL	EAS	MODERATE	

BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
SLOPE PLANTINGS - GROUNDCOVERS							
BACCHARIS SPP	COYOTE BRUSH			FLATS OR 1 GAL	EFCC	LOW	
BOUGAINVILLEA SPP	BOUGAINVILLEA			FLATS OR 1 GAL	EFCC	LOW	
CEANOETHUS SPP	CALIFORNIA LILAC			FLATS OR 1 GAL	EFCC	LOW	
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE			FLATS OR 1 GAL	EFCC	LOW	
MYOPORIUM SPP	MYOPORIUM LAVENDER			FLATS OR 1 GAL	EFCC	LOW	
OSTEOSPERMUM FRUITCOOSUM	FREEWAY DAISY			FLATS OR 1 GAL	EFCC	LOW	
ARCTOSTAPHYLLUS SPP	ARCTOSTAPHYLLUS			FLATS OR 1 GAL	EFCC	LOW	

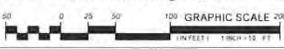
BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
VINES (LOCATION TBD)							
BOUGAINVILLEA	BOUGAINVILLEA			5-15 GAL	EFV	MODERATE	
DISTICHS BUCCHATORIA	BLOOD-RED TRUMPET VINE			5-15 GAL	EFV	MODERATE	
FICUS REPENS	CREeping FIG			5-15 GAL	EFV	MODERATE	
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE			5-15 GAL	EFV	MODERATE	
PAVONIA JASMINOIDES	BOYER VINE			5-15 GAL	EFV	MODERATE	
GREVILLA OCCIDENTALIS	LAVENDER STAR FLOWER			5-15 GAL	EFV	MODERATE	

BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	SIZE	FUNCTION	QTY	WATER REQ.
BIOSWALL SHRUB/GROUND COVER							
JUNOUS SPP	CREeping RUSH	2'	2-3'	1 GAL	RAS	LOW	
GREVILLA OCCIDENTALIS	CORAL DOGWOOD	3-4'	2-3'	1 GAL	RAS	LOW	
CAREX SPP	SEDGE	1-2'	1-3'	1 GAL	RAS	LOW	
MULLEBERGIA SPP	VARIES	2-3'	2-3'	1 GAL	RAS	LOW	
MISCANTHUS SPP	VARIES	4-5'	3-4'	1 GAL	RAS	LOW	
SALIX SPP	WILLOW	4-5'	9-6'	1 GAL	RAS	LOW	
LEYMUS SPP	WILD RYE	2-4'	1-2'	1 GAL	RAS	LOW	
FESTUCA SPP	FESCUE	1-2'	2-3'	1 GAL	RAS	LOW	
POLYSTICHUM SPP	FOUNTAIN GRASS	2-4'	2-3'	1 GAL	RAS	LOW	
LOMONDRA SPP	DWARF MAT RUSH	1-2'	4-5'	1 GAL	RAS	LOW	

DEDICATED OPEN SPACE CONSERVATION EASEMENT - RIPARIAN AREA - NO PLANNING MODIFICATIONS



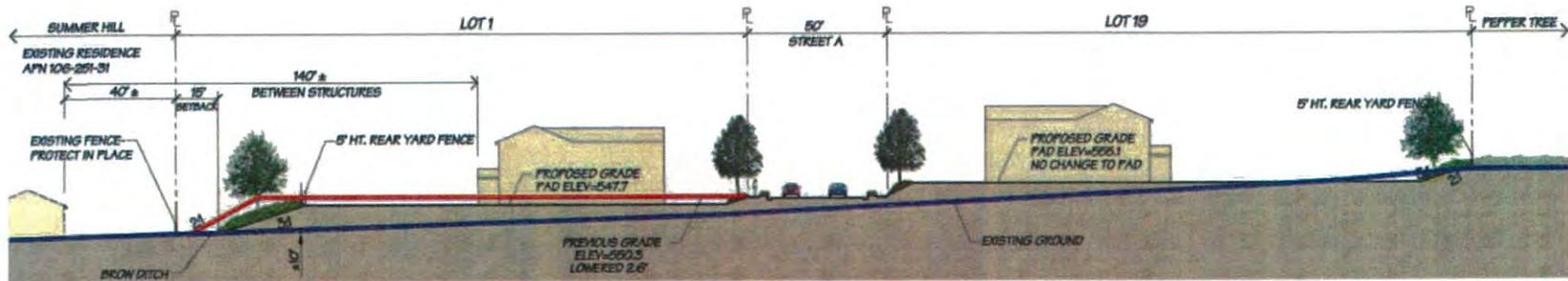
LANDSCAPE ARCHITECT
 SHAWNA A HARRISON, RLA 5085, LEED AP
 CEI 760-274-3838
 EMAIL SHAWNAHARRISON18@YAHOO.COM



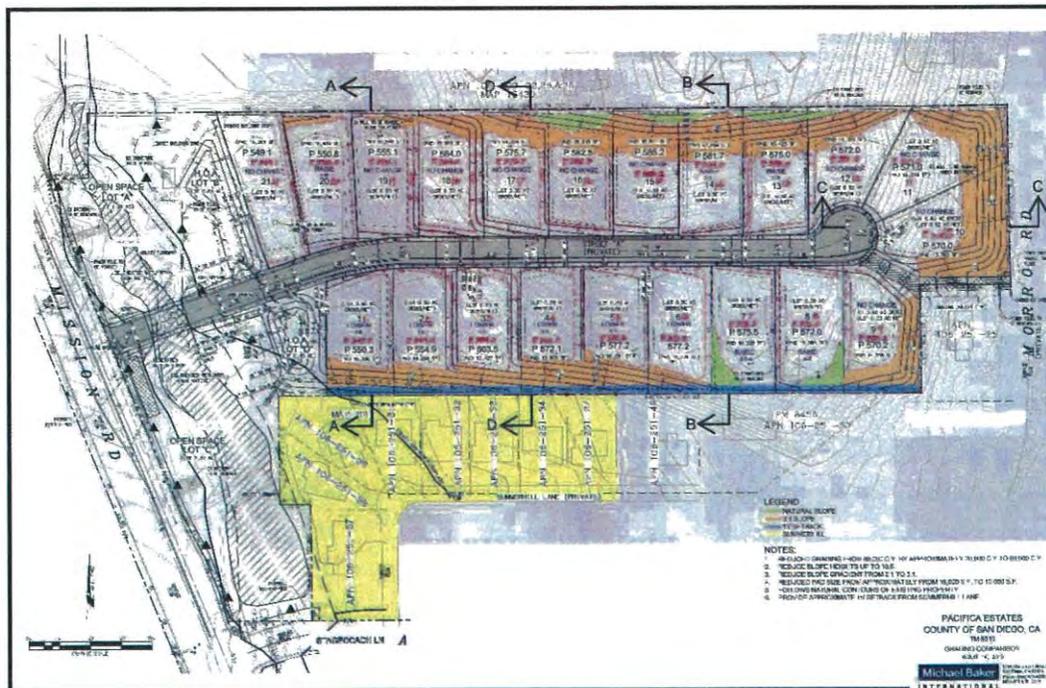
PACIFICA ESTATES
COUNTY OF SAN DIEGO
 TM 5510
SHEET 5 OF 5
LANDSCAPE CONCEPT PLAN

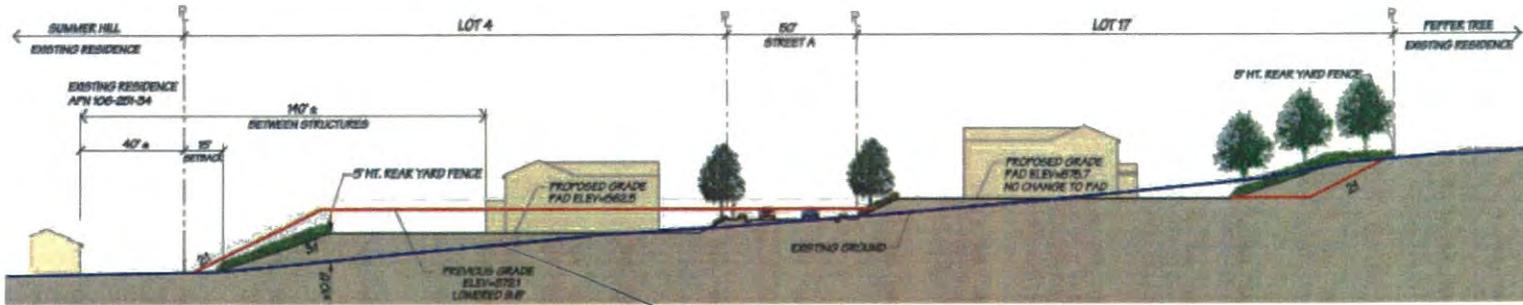
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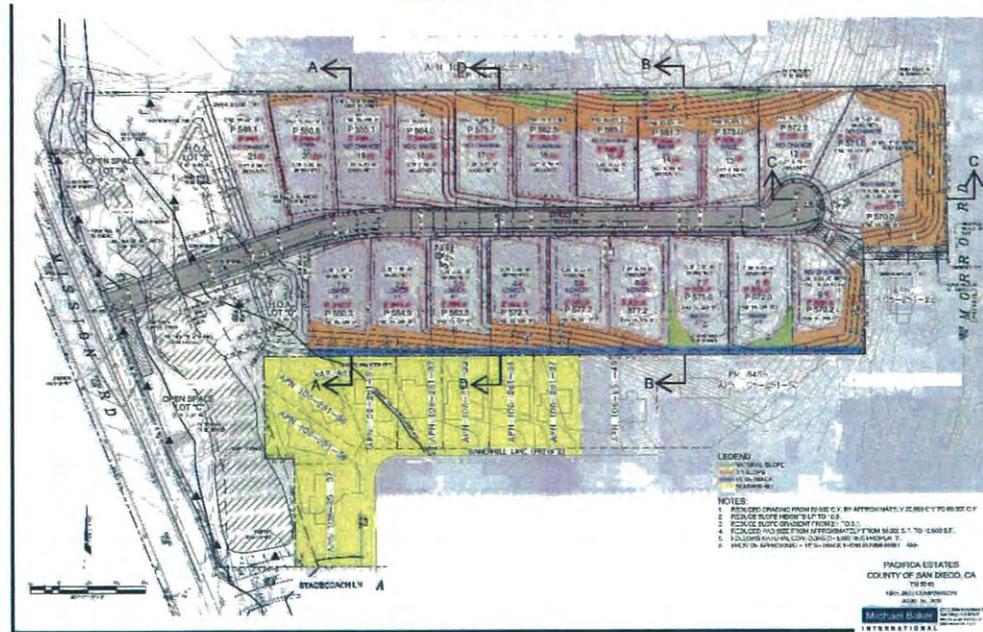


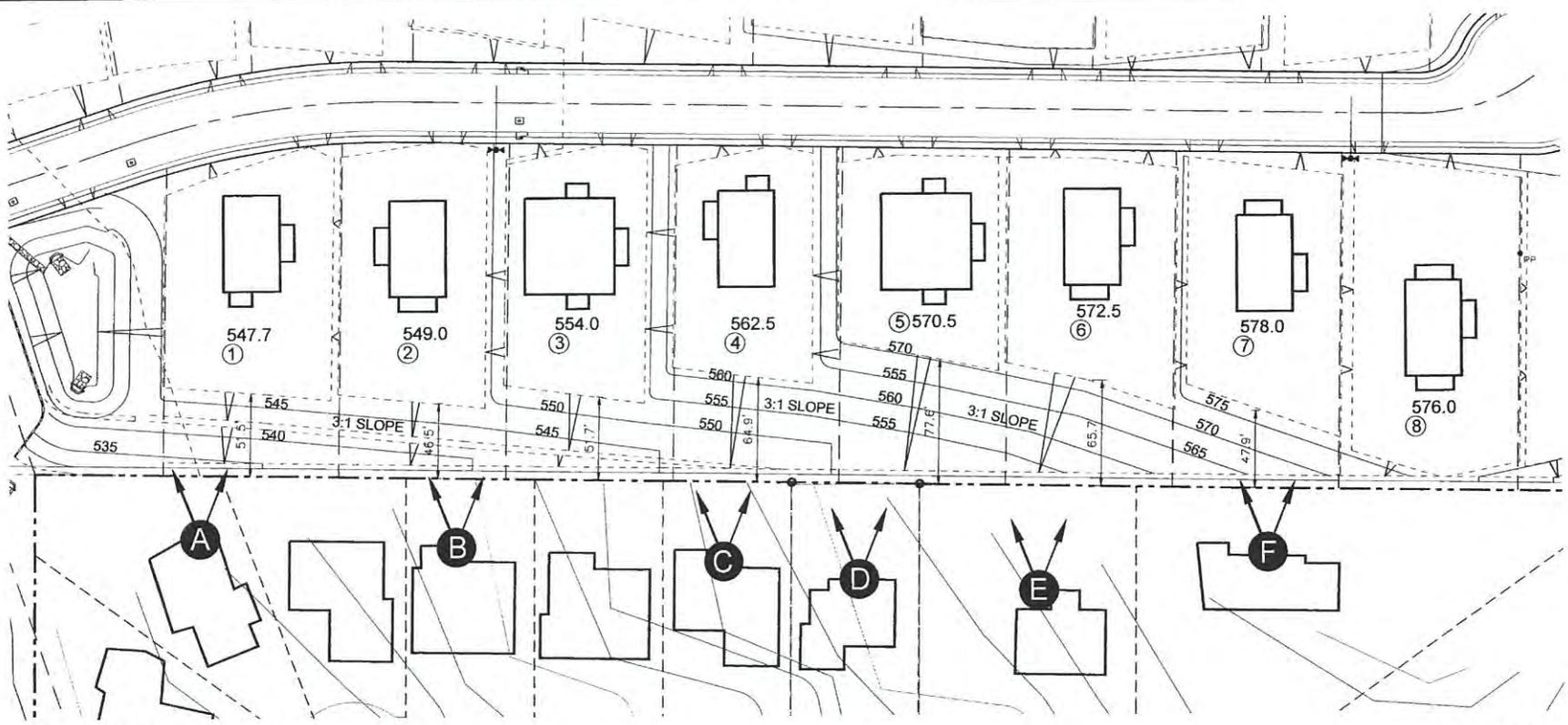
SECTION A-A





SECTION D-D





VIEW KEY MAP

1" = 30'-0"

NOTE- LOTS 1, 2, 4, 6, 7, AND 8 SHOW PROPOSED HOMES AT AN APPROXIMATE FOOTPRINT OF 2,100 SQ FT AND PLANNED FOR 2-STORY CONSTRUCTION. LOTS 3 AND 5 SHOW AN APPROXIMATE 4,000 SQ FT SINGLE STORY FOOTPRINT. THE SETBACK FROM THE REAR (MID POINT) OF EACH STRUCTURE TO THE TOP OF SLOPE IS ROUGHLY 55' (WITH THE EXCEPTION OF LOT 5 WHICH IS 35')

SOUTHERN SLOPE VIEW STUDY- KEY MAP
PACIFICA ESTATES

NORTH

LANDSCAPE ARCHITECT:
 SHAWNA A HARRISON, RLA # 5085



PACIFICA ESTATES
 COUNTY OF SAN DIEGO, CA
 TM 5510
 GRADING COMPARISON
 AUGUST 18, 2015

Michael Baker
 INTERNATIONAL

1755 Claremont View, Suite
 San Diego, CA 92128
 Phone: (619) 441-3000
 MB@BAKERI.COM



TREE PLACEMENT EXHIBIT

1" = 30'-0"



A



B

SOUTHERN SLOPE VIEW STUDY- VIEWS
PACIFICA ESTATES

NORTH

LANDSCAPE ARCHITECT:
SHAWNA A HARRISON, RLA # 5085

PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510

GRADING COMPARISON
AUGUST 10, 2015



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San Diego, CA 92108
Phone: 619.515.1000
www.mbakery.com



C



D



E



F

SOUTHERN SLOPE VIEW STUDY- VIEWS
PACIFICA ESTATES

LANDSCAPE ARCHITECT:
SHAWNA A HARRISON, RLA # 5085

PACIFICA ESTATES
COUNTY OF SAN DIEGO, CA
TM 5510

GRADING COMPARISON
AUGUST 10, 2015



Michael Baker
INTERNATIONAL

NORTH

**Attachment B – Resolution
Approving PDS2006-3100-5510**

RESOLUTION OF SAN DIEGO COUNTY)
CONDITIONALLY APPROVING)
TENTATIVE MAP NO. 5510)

WHEREAS, Tentative Map No. 5510 proposing the division of property located along the east side of South Mission Road, north of South Stage Coach Lane, and generally described as:

The south 10 acres of Lot 8 of the subdivision of Tract D of the partition of the Rancho, Monserate, in the County of San Diego, State of California, according to Map No. 821, filed September 25, 1896.

That certain parcel of land in the County of San Diego, State of California, being a portion of Section 36, Township 9 South, Range 4 West, San Bernardino Meridian.

was filed with the County of San Diego pursuant to the Subdivision Map Act and San Diego County Subdivision Ordinance on March 18, 2015; and

WHEREAS, on April 22, 2016, the Planning Commission of the County of San Diego pursuant to Section 81.304 of the San Diego County Subdivision Ordinance held a duly advertised public hearing on said Tentative Map and received for its consideration, documentation, written and oral testimony, recommendations from all affected public agencies, and heard from all interested parties present at said hearing; and

WHEREAS, the Planning Commission of the County of San Diego has determined that the conditions hereinafter enumerated are necessary to ensure that the subdivision and the improvement thereof will comply with the Subdivision Map Act and conform to all ordinances, plans, rules, standards, and improvement and design requirements of San Diego County.

IT IS RESOLVED, DETERMINED, AND ORDERED, that based on the findings, said Tentative Map is hereby approved subject to the following conditions:

MAP EXPIRATION: The approval of this Tentative Map Expires Thirty-Six (36) Months after the date of the approval of this Resolution at 4:00 P.M. Unless, prior to that date, an application for a Time Extension has been filed as provided by Section 81.308 of the County Subdivision Ordinance.

STANDARD CONDITIONS: The "Standard Conditions (1-29) for Tentative Subdivision Maps" approved by the Board of Supervisors on June 16, 2000, and filed with the Clerk, as Resolution No. 00-199, shall be made conditions of this Tentative Map approval. Only the following exceptions to the Standard Conditions set forth in this Resolution or

shown on the Tentative Map will be authorized. **The following Standard Subdivision Conditions are here by waived:**

- a. Standard Condition 10.a: Said condition states that all fixtures shall use a low pressure sodium (LPS) vapor light source. This waiver/modification allows the use of high pressure sodium (HPS) vapor light sources at the project site if required. HPS vapor light sources are only prohibited within a 15 mile radius of Palomar or Mount Laguna observatories pursuant to direction from the Board of Supervisors [statement of proceedings of 1-29-03].
- b. Standard Condition 11: Said condition pertains to condominium units or a planned development. This subdivision is neither a condominium nor a planned development.
- c. Standard Condition 27.1: Said condition states that the Final Map may be filed as units or groups of units. The Final Map for this project is required to include the entire area shown on the Tentative Map and shall not be filed as units or groups of units.

PRELIMINARY GRADING PLAN: The approval of this Tentative Map here by adopts the Preliminary Grading and Improvement Plan dated January 21, 2016, consisting of three sheets (Attached Herein as Exhibit B) pursuant to Section 81.303 of the County Subdivision Ordinance. In accordance with the Section 87.207 of the County Grading Ordinance, Environmental Mitigation Measures or other conditions of approval required and identified on this plan, shall be completed or implemented on the final engineering plan before any improvement or grading plan can be approved and any permit issued in reliance of the approved plan. Any Substantial deviation therefrom the Preliminary Grading and Improvement Plan may cause the need for further environmental review. Additionally, approval of the preliminary plan does not constitute approval of a final engineering plan. A final engineering plan shall be approved pursuant to County of San Diego Grading Ordinance (Sec 87.701 et. al.)

APPROVAL OF MAP: THE FOLLOWING SPECIFIC CONDITIONS SHALL BE COMPLIED WITH BEFORE A MAP IS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS AND FILED WITH THE COUNTY OF SAN DIEGO RECORDER: (and where specifically, indicated, conditions shall also be complied with prior to the approval and issuance of grading or other permits as specified):

1-29. The “Standard Conditions (1-29) for Tentative Subdivision Maps” approved by the Board of Supervisors on June 16, 2000, with the exception of those “Standard Conditions” waived above.

30. ROADS#1–PUBLIC ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.404 and the Community Trails Master Plan. ***South Mission Road*** and ***Stage Coach Lane*** shall be improved.

DESCRIPTION OF REQUIREMENT: Improve or agree to improve and provide security for the following:

- ~~a. Provide a northbound left turn pocket and modified signal phasing to allow U-turns at **South Mission Road/Sterling Bridge Road intersection**. All of the above shall be to the satisfaction of the Director of PDS.~~
- a. Improve or agree to improve and provide security for the project side of **Stage Coach Lane**, along the project frontage in accordance with Public Road Standards for a Light Collector Road, to a graded width of thirty-nine feet (39') from centerline and to an improved width of twenty-seven feet (27') from centerline with asphalt concrete pavement over approved base with Portland cement concrete curb, gutter and sidewalk, with face of curb at twenty-seven feet (27') from centerline. Provide transition, tapers, traffic striping to match existing pavement. All of the above shall be to the satisfaction of the Director of PDS.
- b. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the County of San Diego Public Road Standards, the Land Development Improvement Plan Checking Manual and the Community Trails Master Plan. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities.

DOCUMENTATION: The applicant shall complete the following:

- c. Process and obtain approval of Improvement Plans to improve ~~South Mission Road/Sterling Bridge Road intersection and~~ Stage Coach Lane.
- d. Provide Secured agreements require posting security in accordance with Subdivision Ordinance Sec. 81.408
- e. Upon approval of the plans, pay all applicable inspection fees with [LD, PDC].
- f. If the applicant is a representative, then one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

- g. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the North County Fire Protection District and the [PDS, LDR].

TIMING: Prior to the approval of the map, the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

31. ROADS#2-PRIVATE ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.404, the proposed on-site private road easement shall be improved. **DESCRIPTION OF REQUIREMENT:** Improve or agree to improve and provide security for the on-site private road easements as follows:

- a. The proposed on-site private road easement, **Street "A"**, from South Mission Road easterly to the proposed cul-de-sac located at Lots 10 and 11, to a graded width of fifty feet (50') and to an improved width of thirty-six feet (36') with asphalt concrete pavement over approved base. The road section at the bridge crossing shall be improved to meet AASHTO HB 17 standard and can be improved to twenty four feet (24') in width and transition on both sides to 36 feet. The improvement and design standards of Section 3.1(C) of the County Standards for Private Road for one hundred one (101) to seven hundred fifty (750) trips shall apply.
- b. **Streets "A"** shall terminate with a cul-de-sac graded to a radius of forty-nine feet (49'), and surfaced to a radius of forty-two feet (42') with asphalt concrete pavement over approved base.
- c. The proposed on-site private road easement, **Secondary Access Road**, from the proposed cul-de-sac easterly to Morro Road shall be constructed to a graded width of twenty-eight feet (28') and to an improved width of twenty-four feet (24'), with asphalt concrete pavement over approved base. The improvement and design standards of Section 3.1(C) of the County Standards for Private Road for one hundred one (101) to seven hundred fifty (750) trips shall apply.
- d. The off-site private road easement, **Morro Road**, from the secondary access road southerly to Stage Coach Lane shall be constructed to a graded width of twenty-eight feet (28') and to an improved width of twenty-four feet (24'), with asphalt concrete pavement over approved base. The existing pavement of Morro Road may remain and shall be widened with asphalt concrete to provide a constant width of twenty-four feet (24'). The improvement and design standards of Section 3.1(C) of the County

Standards for Private Road for one hundred one (101) to seven hundred fifty (750) trips shall apply.

- e. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the County of San Diego Public Road Standards, and San Diego County Standards for Private Roads, and the Land Development Improvement Plan Checking Manual. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities. **DOCUMENTATION:** The applicant shall complete the following:

- f. Process and obtain approval of Improvement Plans to improve Street A, Secondary Access Road and Morro Road.
- g. Provide Secured agreements require posting security in accordance with Subdivision Ordinance Sec. 81.408.
- h. Upon approval of the plans, pay all applicable inspection fees with [LD, PDCI].
- i. If the applicant is a representative, then one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the Final Map, the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

32. ROADS#3-PAVEMENT CUT POLICY

INTENT: In order to prohibit trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface, and to comply with County Policy RO-7 adjacent property owners shall be notified and solicited for their participation in the extension of utilities. **DESCRIPTION OF REQUIREMENT:** All adjacent property owners shall be notified who may be affected by this policy and are considering development of applicable properties, this includes requesting their participation in the extension of utilities to comply with this policy. No trench cuts for

undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface. **DOCUMENTATION:** The applicant shall sign a statement that they are aware of the County of San Diego Pavement Cut Policy and submit it to the [PDS, LDR] for review. **TIMING:** Prior to the approval of improvement plans or the approval of the Final Map, whichever comes first, the letters shall be submitted for approval. **MONITORING:** The [PDS, LDR] shall review the signed letters.

33. ROADS#4–SIGHT DISTANCE

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.E of the County of San Diego Public Road Standards, an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: “There is _____feet of unobstructed intersectional sight distance in the southerly direction from the proposed on-site private road easement, **Street A** along South Mission Road in accordance with the methodology described in Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of _____as described in Table 5 based on a speed of _____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code.”
- b. If the lines of sight fall within the existing public road right-of-way, the engineer or surveyor shall further certify that: “Said lines of sight fall within the existing right-of-way and a clear space easement is not required.”

DOCUMENTATION: The applicant shall have a Registered Civil Engineer, or a Licensed Land Surveyor provide a signed statement that physically, there is minimum unobstructed sight distance as detailed above, and submit them to the [PDS, LDR] for review. **TIMING:** Prior to the approval of the Final Map, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications.

34. ROADS#5–PRIVATE ROAD EASEMENT

INTENT: In order to promote orderly development and to comply with the County Subdivision Ordinance Section 81.402 the easement(s) shall be provided. **DESCRIPTION OF REQUIREMENT:**

- a. The Final Map shall show a fifty-foot (50') wide proposed on-site private road easement, **Street A**, from South Mission Road easterly to the

proposed cul-de-sac located at the easterly terminus of the proposed private road easement.

- b. The Final Map shall show a minimum forty-foot (40') wide for a proposed onsite private road easement from the proposed cul-de-sac easterly to Morro Road.

DOCUMENTATION: The applicant shall show the easements on the Final Map.

TIMING: Prior to approval of the Final Map, the easements shall be shown.

MONITORING: The [PDS, LDR] shall review the Final Map to ensure that the fire turnout easement is indicated pursuant to this condition.

35. ROADS#6-ONSITE IRREVOCABLE OFFER OF DEDICATION

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.402, an irrevocable offer of dedication (IOD) shall be granted by separate document prior to map recordation. **DESCRIPTION OF**

REQUIREMENT: Grant an IOD for real property for public highway as indicated below:

- a. Grant the onsite right-of-way on a separate document to the County of San Diego for road purposes that provides a one-half right of way width of fifty-nine foot (59') from the ultimate centerline [minimum centerline radius five hundred feet (500')] of **South Mission Road (SF 1305)**; along the project frontage in accordance with County of San Diego Public Road Standards for a Boulevard with intermittent turn lanes (4.2B) with bike lane. Plus the right to construct and maintain slopes and drainage improvements as required beyond the fifty-nine foot (59') limit for that portion within the land division for South Mission Road, including a twenty-foot (20') radius property line corner rounding at the street intersection to the satisfaction of the Director PDS.
- b. Any dedication, offer of dedication, or grant of right-of-way shall be free of any burdens or encumbrances which would interfere with the purposes for which the granting, dedication or offer of dedication is required, per Subdivision Ordinance Sec. 81.402, at the time of recordation of the Map. All easements of any type must be plotted on the Map. Or, the affected utility company/district shall enter into a joint use agreement with the County of San Diego to the satisfaction of the Director of PDS.

DOCUMENTATION: The applicant shall prepare a separate document for the IOD as indicated above and submit to the [DGS, RP] for review and preparation. The applicant shall pay all applicable fees associated with review and preparation of the documents. **TIMING:** Prior to the approval of the Map, the IOD shall be granted. **MONITORING:** The [DGS, RP] shall prepare, approve the easement documents for recordation, and forward the recorded copies to [PDS,

LDR] for review and approval. The [*PDS, LDR*] shall review the onsite granting for compliance with this condition.

36. **ROADS#7–ROAD DEDICATION**

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.402, road right of way shall be dedicated to the County. **DESCRIPTION OF REQUIREMENT:**

- a. Dedicate on the map to the County of San Diego an easement for road purposes that provides a one-half right-of-way width of thirty-nine feet (39') from the centerline of ***Stage Coach Lane (SA 40)***; along the project frontage in accordance with County of San Diego Public Road Standards for a Light Collector (2.2C), together with right to construct and maintain slopes and drainage facilities to the satisfaction of the Director of PDS.
- b. The dedication shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required, and shall be accepted for public use. The affected utility company/district shall enter into a joint use agreement with the County of San Diego to the satisfaction of the Director of PDS.

DOCUMENTATION: The applicant shall dedicate the easement on the map and show it as Accepted. **TIMING:** Prior to the approval of the map, the onsite dedication shall be provided for roads with the recordation of the unit the road is within, abuts or provides access to. **MONITORING:** The [*PDS, LDR*] shall verify that the dedication is indicated on the map and Accepted by the County.

37. **ROADS#8–PRIVATE ROAD MAINTENANCE AGREEMENT**

INTENT: In order to ensure that the private roads approved with this subdivision are maintained, in accordance with Subdivision Ordinance Section 81.402(c), the applicant shall assume responsibility of the private roads. **DESCRIPTION OF REQUIREMENT:** A maintenance agreement shall be executed that indicates the following:

- a. Maintenance shall be provided through a private road maintenance agreement satisfactory to the Director of PDS.
- b. The Director of PDS shall be notified as to the final disposition of title (ownership) to ***Street A***, and place a note on the Final Map as to the final title status of said roads.
- c. Access to each lot shall be provided by private road easement not less than forty feet (40') wide.

DOCUMENTATION: The applicant shall execute the private road maintenance agreement, to the satisfaction of the Director of PDS, and indicate the ownership

on the map as indicated above. **TIMING:** Prior to the approval of the map, the agreement shall be executed and the ownership shall be indicated on the map. **MONITORING:** The [PDS, LDR] shall review the executed agreement and the map for compliance with this condition.

38. **ROADS#9–RELINQUISH ACCESS**

INTENT: In order to promote orderly development and to comply with the Mobility Element of the General Plan and County Subdivision Ordinance Section 81.401 (g), access shall be relinquished. **DESCRIPTION OF REQUIREMENT:**

- a. Relinquish access rights onto **South Mission Road (SF1305)** along the project frontage except for one fifty-foot access opening as shown on the approved Tentative Map.
- b. Relinquish access rights onto **Stage Coach Lane (SA 40)** along the project frontage.
- c. The access relinquishment shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required.

DOCUMENTATION: The applicant shall prepare the pages of the Final Map and present them for review to [PDS, LDR]. **TIMING:** With the approval of the Map, the access shall be relinquished. **MONITORING:** The [PDS, LDR] shall prepare and process the relinquishment of access with the Final Map.

39. **ROADS#10–CENTERLINE LOCATION**

INTENT: In order to promote orderly development and to comply with the County Subdivision Ordinance Sec. 81.703 & 81.805, the centerline of the following roads shall be shown on the subdivision map. **DESCRIPTION OF REQUIREMENT:**

The engineer or surveyor preparing the map shall contact [PDS, LDR] to determine the desired location of the centerline for **South Mission Road (SF1305)**, which is shown on the Mobility Element of the County General Plan as a **4.2B Boulevard with bike lane**. The following shall be shown on the Map:

- a. The centerline location as approved by the Director of PDS.
- b. Since South Mission Road is not required to be constructed to ultimate, the following shall be shown on the Map as "nontitle" information:
 1. The width of the right-of-way which is fifty-nine feet (59') from the centerline and identified by a line drawn at the appropriate location and labeled, "Limit of Proposed Street Widening."
 2. The additional six feet (6') is for a bicycle facility.

3. A building line which is seventy-nine feet (79') from the centerline of the road, identified by a line drawn at the appropriate location and labeled, "Limit of Building Line."
4. The ultimate slopes and drainage facilities including profile and cross-sections sufficient to verify limits.

DOCUMENTATION: The applicant shall prepare the pages of the Final Map and present them for review to [PDS, LDR]. **TIMING:** With the approval of the Map, the access shall be relinquished. **MONITORING:** The [PDS, LDR] shall prepare and process the relinquishment of access with the Final Map.

40. **DRNG#1-ONSITE & OFFSITE DRAINAGE IMPROVEMENTS**

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.403 and to comply with the County Flood Damage Prevention Ordinance (Title 8, Division 11), County Watershed Protection Ordinance (WPO) No.10096, County Code Section 67.801 et. seq., and the County Resource Protection Ordinance (RPO) No. 9842, drainage improvements shall be completed. **DESCRIPTION OF REQUIREMENT:** Improve or agree to improve and provide security for Storm drains system conveying runoff on-site and off-site and two proposed on-site detention basins.

All drainage plan improvements shall be prepared and completed pursuant to the following ordinances and current standards: San Diego County Drainage Design Manual, San Diego County Hydrology Manual, County of San Diego Grading Ordinance, Zoning Ordinance Sections 5300 through 5500, County Resource Protection Ordinance (RPO) No. 9842, Community Trails Master Plan and Parkland Dedication Ordinance and County Flood Damage Protection Ordinance (Title 8, Division 11), Low Impact Development (LID) and Hydromodification requirements and the Land Development Improvement Plan Checking Manual.

DOCUMENTATION: The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve storm drains system, and two on-site detention basins.
- b. Provide Secured agreements require posting security in accordance with Subdivision Ordinance Sec. 81.404 (a)(2).
- c. Pay all applicable inspection fees with [LD, PDC].
- d. If the applicant is a representative, then one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the approval of the map, the plans, agreements, and securities shall be approved. The improvements shall be completed within 24 months from the recordation of Final Map or Map pursuant to Subdivision Ordinance Sec. 81.403. The execution of the agreements and acceptance of the securities shall be completed before the approval of any subdivision map. **MONITORING:** The [PDS, LDR], [DPR, TC] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

41. DRNG#2—LINES OF INUNDATION

INTENT: In order to comply with Grading Ordinance No. 10179, Section 87.803 (38) and prevent future development in flood-prone areas the Lines of Inundation shall be shown on the map. **DESCRIPTION OF REQUIREMENT:** Lines of inundation to the limits of the 100-year flood along the watercourse, which flows through the property, shall be shown and labeled "Subject to Inundation By The 100-Year Flood" on the Final Map. Each parcel shall have a flood free building site to the satisfaction of the Director of PDS. If any of the parcels are found to be devoid of a buildable, flood free site for a residence, the subdivider shall take appropriate action so that each parcel does have a buildable flood free site. This pertains to watersheds having area of one hundred (100) or more acres. **DOCUMENTATION:** The applicant shall indicate the lines of inundation on the non-title sheet of the Final Map as indicated above. **TIMING:** Prior to the approval of the Final Map, the inundation lines shall be indicated and labeled on the map. **MONITORING:** The [PDS, LDR] shall verify that the inundation lines have been indicated pursuant to this condition.

42. STRMWTR#1—STORMWATER FACILITIES MAINTENANCE AGREEMENT

INTENT: In order to promote orderly development and to comply with the County Flood Damage Prevention Ordinance (Title 8, Division 11), County Watershed Protection Ordinance (WPO) No.10096, County Code Section 67.801 et. seq., the maintenance agreements shall be completed. **DESCRIPTION OF REQUIREMENT:** To the satisfaction of the Director of PDS, complete the following:

- a. The private storm drain system shall be maintained by a maintenance mechanism such as a homeowners association or other private entity.
- b. Establish a maintenance agreement/mechanism (to include easements) to assure maintenance of the Category 2 post-construction best management practices (BMP's). Provide security to back up the maintenance pursuant to the County Maintenance Plan Guidelines.

DOCUMENTATION: The applicant shall process the agreement forms with [PDS, LDR] and pay the deposit and applicable review fees. **TIMING:** Prior to the approval of the map execution of the agreements and securities shall be

completed. **MONITORING:** The [PDS, LDR] shall review the agreements/mechanisms for consistency with the condition and County Standards.

43. STRMWTR#2-EROSION CONTROL

INTENT: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 40096 10385 and all other applicable ordinances and standards for this priority project. **DESCRIPTION OF**

REQUIREMENT: The applicant shall maintain the appropriate on-site and offsite Best Management Practices pursuant to the approved Stormwater Management Plan (SWMP) and Stormwater Protection Plan (SWPP) including, but not limited to the erosion control measures, irrigation systems, slope protection, drainage systems, desilting basins, energy dissipators, and silt control measure.

- a. An agreement and instrument of credit shall be provided pursuant to Subdivision Ordinance 81.408, for an amount equal to the cost of this work as determined or approved by the [PDS, LDR], in accordance with the County of San Diego Grading Ordinance Section 87.304(e). The cash deposit collected for grading, per the grading ordinance, will be used for emergency erosion measures. The developer shall submit a letter to PDS authorizing the use of this deposit for emergency measures.
- b. An agreement in a form satisfactory to County Counsel shall accompany the Instrument of Credit to authorize the County to unilaterally withdraw any part of or all the Instrument of Credit to accomplish any of the work agreed to if it is not accomplished to the satisfaction of the County PDS and/or LD by the date agreed.

DOCUMENTATION: The applicant shall provide the letter of agreement and any additional security and/or cash deposit to the [PDS, LDR]. **TIMING:** Prior to approval of the map for all phases, and the approval of any plan and the issuance of any permit, the agreement and securities shall be executed.

MONITORING: The [PDS, LDR] shall ensure that the agreement and the securities provided adequately satisfy the requirements of the conditions to potentially perform the required erosion control and stormwater control measures proposed on all construction and grading plans. [LD, PDCI] shall use the securities pursuant to the agreement to implement and enforce the required stormwater and erosion control measures pursuant to this condition during all construction phases as long as there are open and valid permits for the site.

44. PLN#1-OVERFLIGHT EASEMENT

INTENT: In order to comply with the Fallbrook Airport Land Use Compatibility Plan an Overflight Easement shall be granted. **DESCRIPTION OF REQUIREMENT:** Grant by separate document or on the map, to the Fallbrook

Community Airpark, an Overflight easement over the entire property as shown on the approved Tentative Map. The grant of right-of-way shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required. **DOCUMENTATION:** The applicant shall prepare the legal descriptions of the easement(s), submit them for preparation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents – OR – show the easement on the Tentative Map with the appropriate granting language on the title sheet **TIMING:** Prior to the approval of the map, the overflight easement shall be granted or shown on the map. **MONITORING:** The [DGS, RP] shall prepare and execute the easement documents and forward a copy of the recorded documents to [PDS, LDR] for review and approval – OR – the granting language shall be shown on the title sheet of the final map. The [PDS, LDR] shall review the easements for compliance with this condition.

45. ALTERNATE FIRE EASEMENT: [LD, LDR] [FIRE] [MA].

INTENT: In order to provide the adequate circulation for fire protection to the proposed subdivision and complies with the County of San Diego Consolidated Fire Code Section 503.1.2 and California Code of Regulations (CCR) Title 14 for Dead-end roads alternate/ emergency fire access easement shall be provided. **DESCRIPTION OF REQUIREMENT:** The final map shall show an onsite forty-foot (40') private easement from cul-de-sac to Morrow Road, to the satisfaction of the North County Fire Protection District and the County of San Diego, Director of Public Works. **DOCUMENTATION:** The applicant shall show the easement on the final map. **TIMING:** Prior to approval of the final map, the easement shall be indicated on the final map. **MONITORING:** The [LD, LDR] shall review the map to ensure that the fire easement is indicated pursuant to this condition.

46. BIOLOGICAL EASEMENT: [PDS] [DPR, GPM] [DGS, RP] [MA, GP, IP] [PDS, FEE X 2].

INTENT: In order to protect sensitive biological resources, pursuant to CEQA as implemented under the County of San Diego Guidelines for Determining Significance, a biological open space easement shall be granted. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a conservation easement, as shown on the approved Tentative Map. This easement is for the protection of biological resources and prohibits all of the following on any portion of the land subject to said easement: grading; excavation; placement of soil, sand, rock, gravel, or other material; clearing of vegetation; construction, erection, or placement of any building or structure; vehicular activities; trash dumping; or use for any purpose other than as open space. Granting of this open space authorizes the County and its agents to periodically access the land to perform management and monitoring activities for the purposes of species and habitat conservation. The only exceptions to this prohibition are:

- a. Selective clearing of vegetation by hand to the extent required by written order of the fire authorities for the express purpose of reducing an identified fire hazard. While clearing for fire management is not

anticipated with the creation of this easement, such clearing may be deemed necessary in the future for the safety of lives and property. All fire clearing shall be pursuant to the Uniform Fire Code and the Memorandum of Understanding dated February 26, 1997, between the wildlife agencies and the fire districts and any subsequent amendments thereto. Activities conducted pursuant to a revegetation or habitat management plan approved by the Director of PDS, Parks and Recreation or the Director of Public Works.

- b. Activities conducted pursuant to a revegetation or habitat management plan approved by the Director of PDS.
- c. Vegetation removal or application of chemicals for vector control purposes where expressly required by written order of the Department of Environmental Health of the County of San Diego.

DOCUMENTATION: The applicant shall prepare the draft plats and legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. Upon Recordation of the easements, the applicant shall provide copies of the recorded easement documents to [PDS, PPS] for approval.

TIMING: Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the easements shall be executed and recorded.

MONITORING: The [DGS, RP] shall prepare and approve the easement documents and send them to [PDS, PPS] and [DPR TC, GPM] for preapproval. The [PDS, PPS] shall pre-approve the language and estimated location of the easements before they are released to the applicant for signature and subsequent recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPS] for satisfaction of the condition.

- 47. LBZ EASEMENT: [PDS, PPS] [DGS, RP][MA, GP, IP] [PDS, FEEX 2] INTENT:** In order to protect sensitive biological resources, pursuant to CEQA as implemented under the County of San Diego Guidelines for Determining Significance, a Limited Building Zone Easement shall be granted to limit the need to clear or modify vegetation for fire protection purposes within an adjacent biological resource area. **DESCRIPTION OF REQUIREMENT:** Grant to the County of San Diego a Limited Building Zone Easement as shown on the Tentative Map. The purpose of this easement is to limit the need to clear or modify vegetation for fire protection purposes within the adjacent biological open space easement and prohibit the construction or placement of any structure designed or intended for occupancy by humans or animals. The only exceptions to this prohibition are:

- a. Decking, fences, and similar facilities.

- b. Sheds, gazebos, and detached garages, less than 250 square feet in total floor area, that are designed, constructed and placed so that they do not require clearing or fuel modification within the biological open space easement, beyond the clearing/fuel modification required for the primary structures on the property.

DOCUMENTATION: The applicant shall prepare the draft plats and legal descriptions of the easements, then submit them for preparation and recordation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. Upon Recordation of the easements, the applicant shall provide copies of the recorded easement documents to [PDS, PPS] for approval. **TIMING:** Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the easements shall be recorded. **MONITORING:** The [DGS, RP] shall prepare and approve the easement documents and send them to [PDS, PPS] for pre approval. The [PDS, PPS] shall pre-approve the language and estimated location of the easements before they are released to the applicant for signature and subsequent recordation. Upon Recordation of the easements [DGS, RP] shall forward a copy of the recorded documents to [PDS, PPS] for satisfaction of the condition.

- 48. OFF-SITE MITIGATION: [PDS, PPS] [MA, GP, IP] [PDS, FEE X2] [DPR, GPM]**
INTENT: In order to mitigate for the impacts to coast live oak woodland , which is a sensitive biological resource pursuant to CEQA as implemented under the County of San Diego Guidelines for Determining Significance, off-site mitigation shall be acquired. **DESCRIPTION OF REQUIREMENT:** The applicant shall purchase habitat credit, or provide for the conservation of habitat of 0.57-acre of coast live oak woodland, located in the Northern Foothills Eco-region as indicated below.

- a. **Option 1:** If purchasing Mitigation Credit the mitigation bank shall be approved by the California Department of Fish & Wildlife. The following evidence of purchase shall include the following information to be provided by the mitigation bank:
1. A copy of the purchase contract referencing the project name and numbers for which the habitat credits were purchased.
 2. If not stated explicitly in the purchase contract, a separate letter must be provided identifying the entity responsible for the long-term management and monitoring of the preserved land.
 3. To ensure the land will be protected in perpetuity, evidence must be provided that a dedicated conservation easement or similar land constraint has been placed over the mitigation land.

4. An accounting of the status of the mitigation bank. This shall include the total amount of credits available at the bank, the amount required by this project and the amount remaining after utilization by this project.
- b. **Option 2:** If habitat credit cannot be purchased in a mitigation bank, then the applicant shall provide for the conservation of habitat of the same amount and type of land located in the Northern Foothills Eco-region in San Diego County as indicated below:
1. The type of habitat and the location of the proposed mitigation, should be pre-approved by [PDS, PPS] before purchase or entering into any agreement for purchase.
 2. A Resource Management Plan (RMP) shall be prepared and approved pursuant to the County of San Diego Biological Report Format and Content Requirements to the satisfaction of the Director of PDS. If the offsite mitigation is proposed to be owned and/or managed by DPR, the RMP shall also be approved by the Director of DPR.
 3. An open space easement over the land shall be dedicated to the County of San Diego or like agency to the satisfaction of the Director of PDS. The land shall be protected in perpetuity.
 4. The final RMP cannot be approved until the following has been completed to the satisfaction of the Director of PDS: The land shall be purchased, the easements shall be dedicated, a Resource Manager shall be selected, and the RMP funding mechanism shall be in place.
 5. In lieu of providing a private habitat manager, the applicant may contract with a federal, state or local government agency with the primary mission of resource management to take fee title and manage the mitigation land. Evidence of satisfaction must include a copy of the contract with the agency, and a written statement from the agency that (1) the land contains the specified acreage and the specified habitat, or like functioning habitat, and (2) the land will be managed by the agency for conservation of natural resources in perpetuity.

DOCUMENTATION: The applicant shall purchase the off-site mitigation credits and provide the evidence to the [PDS, PPS] for review and approval. If the offsite mitigation is proposed to be owned or managed by DPR, the applicant must provide evidence to the [PDS PPS] that [DPR, GPM] agrees to this proposal. It is recommended that the applicant submit the mitigation proposal to

the [PDS, PPS], for a pre-approval. If an RMP is going to be submitted in-lieu of purchasing credits, then the RMP shall be prepared and an application for the RMP shall be submitted to the [PDS, ZONING]. **TIMING:** Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the mitigation shall be completed. **MONITORING:** The [PDS, PPS] shall review the mitigation purchase for compliance with this condition. Upon request from the applicant [PDS, PPS] can pre-approve the location and type of mitigation only. The credits shall be purchased before the requirement can be completed. If the applicant chooses option #2, then the [PDS, ZONING] shall accept an application for an RMP, and [PDS, PPD] shall review the RMP submittal for compliance with this condition and the RMP Guidelines.

49. **OPEN SPACE SIGNAGE: [PDS, PPS] [MA, GP, IP] [PDS, FEE]. INTENT:** In order to protect the proposed open space easement from entry, informational signs shall be installed. **DESCRIPTION OF REQUIREMENT:** Open space signs shall be placed along the biological open space boundary along Mission Road and between the biological open space boundary and HOA Lots "B" and "D" as indicated on the approved Tentative Map. The signs must be corrosion resistant, a minimum of 6" x 9" in size, on posts not less than three (3) feet in height from the ground surface, and must state the following:

**Sensitive Environmental Resources
Area Restricted by Easement**

Entry without express written permission from the County of San Diego is prohibited. To report a violation or for more information about easement restrictions and exceptions contact the County of San Diego,
Department of Planning & Development Services
Reference: (TM 5510, ER06-02-023)

DOCUMENTATION: The applicant shall install the signs as indicated above and provide site photos and a statement from a California Registered Engineer, or licensed surveyor, that the open space signs have been installed at the boundary of the open space easement. **TIMING:** Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the open space signs shall be installed. **MONITORING:** The [PDS, PPS] shall review the photos and statement for compliance with this condition.

50. **OPEN SPACE FENCING: [PDS, PPS] [MA, GP, IP] [PDS, FEE].**
Intent: In order to protect the proposed open space easement from entry, and disturbance, permanent fencing may be installed. **DESCRIPTION OF REQUIREMENT:** Open space fencing shall be placed along the biological open space boundary as indicated on the Conceptual Grading and Development Plan. The fencing design shall consist of split rail. **DOCUMENTATION:** The applicant shall install the fencing as indicated above and provide site photos and a statement from a California Registered Engineer, or licensed surveyor that the open space fencing has been installed. **TIMING** Prior to the approval of the map

and prior to the approval of any plan and issuance of any permit, the fencing or walls shall be placed. **MONITORING:** The [PDS, PPS] shall review the photos and statement for compliance with this condition.

51. RESOURCE MANAGEMENT PLAN: [PDS, PPD] [DPR, GPM] [MA, GP, IP]

INTENT: In order to provide for the long-term management of the proposed open space preserve, a Resource Management Plan (RMP) shall be prepared and implemented or the open space shall be transferred to a private conservancy, federal, state or local government agency with the primary mission of resource management with an agreement to manage and preserve the onsite open space. **DESCRIPTION OF REQUIREMENT:** Submit to and receive approval from the Director of the Department of Planning & Development Services for either:

- a. Transfer of real property to a private conservancy, local, state, or federal agency with an agreement to manage and conserve lands. Prior to completion of this mitigation the following shall occur:
 1. The Director of Planning & Development Services shall (a) review and approve the proposed agreement to transfer title of onsite open space, (b) approve the proposed agency's ability to perform the mitigation action, (c) approve the agency's conservation management strategy for this mitigation requirement.
 2. Evidence must include a copy of the contract with the agency or conservancy and a written statement from the agency/ conservancy that the land will be managed for conservation of natural resources in perpetuity.
 3. The agency/ conservancy will also prepare a new Resource Management Plan or addendum to an existing RMP detailing how the resources will be conserved and managed. The RMP funding mechanism shall be identified and approved by the County to fund annual costs for basic stewardship.
 4. The applicant and the agency or conservancy must execute a transfer of title of the specific property or enter into an agreement in a recorded deed of trust or equivalent.
- b. A Resource Management Plan (RMP). The RMP shall be for the perpetual management of onsite open space. The plan shall be prepared and approved pursuant to the most current version of the County of San Diego Biological Report Format and Content Requirements. The final RMP cannot be approved until the following has been completed to the satisfaction of the Director of PDS and in cases where DPR has agreed to be the owner and/or manager, to the satisfaction of the Director of DPR.

1. The plan shall be prepared and approved pursuant to the most current version of the County of San Diego Biological Report Format and Content Requirements.
2. The habitat land to be managed shall be completely purchased.
3. The easements shall be dedicated to ensure that the land is protected in perpetuity.
4. A Resource Manager shall be selected and evidence provided by applicant as to the acceptance of this responsibility by the proposed Resource Manager
5. The RMP funding mechanism shall be identified and approved by the County to fund annual costs for basic stewardship.
6. A contract between applicant and County shall be executed for the implementation of the RMP.

DOCUMENTATION: The applicant shall prepare the RMP and submit it to the [PDS, ZONING] and pay all applicable review fees -OR- The applicant shall submit proof of a contract with a federal, state or local government agency with the primary mission of resource management, that they will take fee title of all onsite open space and a written statement from the agency that the land will be managed by the agency for conservation of natural resources in perpetuity.

TIMING: Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the RMP shall be approved. **MONITORING:** The [PDS, PPD] shall review the RMP for compliance with the content guidelines, the conceptual RMP, and this condition.

52. REVEGETATION PLAN: [PDS, PPD] [MA, GP, IP]

INTENT: In order to mitigate for the impacts to southern riparian forest, which is a sensitive biological resource pursuant to CEQA as implemented under the County of San Diego Guidelines for Determining Significance, **DESCRIPTION OF REQUIREMENT:** A Revegetation Plan, shall be prepared, which mitigates impacts to 0.54 acres of southern riparian forest. The revegetation shall occur within the biological open space. The revegetation plan shall conform to the Conceptual Wetland Revegetation Plan outlined in Attachment A of the November 10, 2010 memorandum (Vincent Scheidt), and the most current version of the County of San Diego Report Format and Content Requirements for Revegetation Plans. The Revegetation Plan shall include the following:

- a. The monitoring plan shall be for a length of 5 years and have an 80 percent success criterion.

- b. A preservation plan over the land to be revegetated shall be included in the Revegetation Plan. The preservation plan shall include evidence of dedication of an open space easement to the County of San Diego or evidence of protection in perpetuity by some other means to the satisfaction of the Director PDS.
- c. The report shall be prepared by a County approved biologist and the construction plans shall be prepared by a State of California Licensed Landscape Architect.
- d. Revegetation objectives, revegetation site biological resource map, 24"x 36" landscape plan, map showing revegetation areas according to mitigation type and amount, site preparation information, type of planting materials (e.g. species ratios, source, size material, etc.), planting program, 80 percent success criteria, and a detailed cost estimate.
- e. A cost estimate based on a 3% annual inflation rate shall be submitted and approved, which includes the cost of the plant stock and its installation, irrigation system and installation, cost of monitoring and maintenance of the revegetation area for the required monitoring period, and report preparation and staff time to review.

DOCUMENTATION: The applicant shall prepare the Revegetation Plan, submit it to the [PDS, ZONING] and pay all the applicable review fees and deposits.
TIMING: Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the Revegetation Plan shall be approved.
MONITORING: The [PDS, LA] shall review the Revegetation Plan for conformance with this condition and the Report Format and Content Requirements for Revegetation Plans. Upon approval of the Plan, a Director's Decision of approval shall be issued to the applicant, and a request for compliance with condition 26 shall be made to enter into a Secured Agreement for the implementation of the Plan.

53. SECURED AGREEMENT: [PDS, PPD] [MA, GP, IP]

INTENT: In order to assure project completion and success of the Revegetation Plan in condition 25, a surety shall be provided and an agreement shall be executed. **DESCRIPTION OF REQUIREMENT:** The applicant shall enter into a Secured Agreement with the County of San Diego as follows:

- a. The security shall consist of a letter of credit, bond, or cash for 100 percent of the estimated costs associated with the implementation of the Revegetation Plan and,
- b. Provide a 10 percent cash deposit of the cost of all improvements, but no less than \$3,000 and no more than \$30,000.

- c. The monitoring time and the length of time the Secured Agreement and cash deposit will be in effect starts at the time the installation is accepted by a County staff representative. The Secured Agreement and cash deposit shall be released upon completion of the Revegetation Plan implementation provided the installed vegetation is in a healthy condition and meets the 80 percent success criteria. Eighty- percent success rate and one hundred percent vegetative cover, excluding herbaceous species, shall be considered satisfactory completion of the Revegetation Plan.

DOCUMENTATION: The applicant shall execute a Secured Agreement provided with the Revegetation Plan Final Decision, and provide the approved securities and the cash deposit for County monitoring time. The executed Agreement, cash deposit, and the securities shall be submitted to the *[PDS, Landscape Architect]* for final review and approval. **TIMING:** Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, and after the approval of the Revegetation Plan, the agreement shall be executed and the securities provided for the revegetation plan implementation. **MONITORING:** The *[PDS, LA]* shall review the Agreement cash deposit and securities provided are in compliance with this condition, and the Revegetation Plan Final Decision. The *[PDS, LA]* shall sign the Agreement for the Director of PDS and ensure the cash deposit is collected by *[PDS, FISCAL]*. Upon acceptance of the Agreement, securities and cash deposit, the *[PDS, LA]*, shall provide a confirmation letter-acknowledging acceptance of securities.

54. **WETLAND PERMITS: [PDS, PPS] [GP, CP, MA] [PDS, FEE X2] INTENT:** In order to comply with the State and Federal Regulations for impacts to Ostrich Farms Creek and surrounding habitat, the following agency permits, or verification that they are not required shall be obtained. **DESCRIPTION OF REQUIREMENT:** The following permit and agreement shall be obtained, or provide evidence from the respective resource agency satisfactory to the Director of Planning & Development Services that such an agreement or permit is not required:

- a. A Clean Water Act, Section 401/404 permit issued by the California Regional Water Quality Control Board and the U.S. Army Corps of Engineers for all project related disturbances of waters of the U.S. and/or associated wetlands.
- b. A Section 1602 Streambed Alteration Agreement issued by the California Department of Fish and Wildlife for all project related disturbances of any streambed.

DOCUMENTATION: The applicant shall consult each agency to determine if a permit or agreement is required. Upon completion of the agency review of this project, the applicant shall provide a copy of the permit(s)/agreement(s), or evidence from each agency that such an agreement or permit is not required to

the [PDS, PPS] for compliance. **TIMING** Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the permits shall be obtained. **MONITORING:** The [PDS, PPS] shall review the permits/agreement for compliance with this condition. Copies of these permits should be transmitted to the [LD, ESU], for implementation on the grading plans.

55. BIOLOGICAL MONITORING: [PDS, PPS] [LD, LDR] [GP, IP, MA] [PDS, FEE X2]. INTENT: In order to prevent inadvertent disturbance to Ostrich Farms Creek and surrounding habitat, all grading located at the Ostrich Farms Creek crossing (Private access road), HOA Lots "B" and "D", Lot 1 and 21 shall be monitored by a biologist. **DESCRIPTION OF REQUIREMENT:** A County approved biologist "Project Biologist" shall be contracted to perform biological monitoring during all grading, clearing, grubbing, trenching, and construction activities for the Ostrich Farms Creek crossing (Private access road), HOA Lots "B" and "D", Lot 1 and 21 . The following shall be completed:

- a. The Biologist shall perform the monitoring duties before, during and after construction pursuant to the most current version of the County of San Diego Biological Report Format and Requirement Guidelines and this permit. The contract provided to the county shall include an agreement that this will be completed, and a Memorandum of Understanding (MOU) between the biological consulting company and the County of San Diego shall be executed. The contract shall include a cost estimate for the monitoring work and reporting.
- b. The cost of the monitoring shall be added to the grading bonds that will be posted with the Department of Public Works, or bond separately with the Department of Planning & Development Services.

DOCUMENTATION: The applicant shall provide a copy of the biological monitoring contract, cost estimate, and MOU to the [PDS, PPS]. Additionally, the cost amount of the monitoring work shall be added to the grading bond cost estimate. **TIMING:** Prior to the approval of any plan, issuance of any permit, and prior to approval of the map, the requirement shall be completed. **MONITORING:** The [PDS, PPS] shall review the contract, MOU and cost estimate or separate bonds for compliance with this condition. The cost estimate should be forwarded to [LD, Project Manager], for inclusion in the grading bond cost estimate, and grading bonds. The [LD, PC] shall add the cost of the monitoring to the grading bond costs.

56. CULT#1 ARCHAEOLOGICAL MONITORING [PDS, FEE X 2]

INTENT: In order to mitigate for potential impacts to undiscovered buried archaeological resources, an Archaeological Monitoring Program and potential Data Recovery Program shall be implemented pursuant to the County of San Diego Guidelines for Determining Significance for Cultural Resources and the California Environmental Quality Act (CEQA). **DESCRIPTION OF**

REQUIREMENT: A County Approved Principal Investigator (PI) known as the "Project Archaeologist," shall be contracted to perform archaeological monitoring and a potential data recovery program during all grading, clearing, grubbing, trenching, and construction activities. The archaeological monitoring program shall include the following:

- a. The Project Archaeologist shall perform the monitoring duties before, during and after construction pursuant to the most current version of the County of San Diego Guidelines for Determining Significance and Report Format and Requirements for Cultural Resources. The Project Archaeologist shall also evaluate fill soils to determine that they are clean of cultural resources. The contract or letter of acceptance provided to the County shall include an agreement that the archaeological monitoring will be completed, and a Memorandum of Understanding (MOU) between the Project Archaeologist and the County of San Diego shall be executed. The contract or letter acceptance shall include a cost estimate for the monitoring work and reporting.
- b. The Project Archeologist shall provide evidence that a Luiseno Native American has been contracted to perform Native American Monitoring for the project.
- c. The cost of the monitoring shall be added to the grading bonds or bonded separately.

DOCUMENTATION: The applicant shall provide a copy of the Archaeological Monitoring Contract or letter of acceptance, cost estimate, and MOU to the [PPD]. Additionally, the cost amount of the monitoring work shall be added to the grading bond cost estimate. **TIMING:** Prior to approval of the map and prior to approval of any plans and issuance of any permit, the contract shall be provided. **MONITORING:** The [PPD] shall review the contract or letter of acceptance, MOU and cost estimate or separate bonds for compliance with this condition. The cost estimate should be forwarded to [PDS, LDR], for inclusion in the grading bond cost estimate, and grading bonds and the grading monitoring requirement shall be made a condition of the issuance of the grading or construction permit.

57. CULT#2 CULTURAL RESOURCES REPORT [PDS, FEE X2]

INTENT: In order to ensure that the Archaeological Monitoring occurred during the earth-disturbing activities, a final report shall be prepared. **DESCRIPTION OF REQUIREMENT:** A final Archaeological Monitoring and Data Recovery Report that documents the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program shall be prepared. The report shall include the following items:

- a. DPR Primary and Archaeological Site forms.

- b. Daily Monitoring Logs
- c. Evidence that the disposition of all cultural materials collected during the survey, evaluation, and archaeological monitoring program have been completed as follows:

1. All prehistoric cultural materials shall be curated at a San Diego curation facility or a culturally affiliated Tribal curation facility that meets federal standards per 36 CFR Part 79, and, therefore, would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records, including title, shall be transferred to the San Diego curation facility or culturally affiliated Tribal curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the prehistoric archaeological materials have been received and that all fees have been paid.

or

Evidence that all prehistoric materials collected during the archaeological monitoring program have been returned to a Native American group of appropriate tribal affinity. Evidence shall be in the form of a letter from the Native American tribe to whom the cultural resources have been repatriated identifying that the archaeological materials have been received.

2. Historic materials shall be curated at a San Diego curation facility as described above and shall not be curated at a Tribal curation facility or repatriated. The collections and associated records, including title, shall be transferred to the San Diego curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the historic materials have been received and that all fees have been paid.
- d. If no cultural resources are discovered, a Negative Monitoring Report must be submitted stating that the grading monitoring activities have been completed. Grading Monitoring Logs must be submitted with the negative monitoring report.

DOCUMENTATION: The applicant's archaeologist shall prepare the final report and submit it to the [PPD] for approval. Once approved, a final copy of the report shall be submitted to the South Coastal Information Center (SCIC) and the culturally-affiliated Tribe. **TIMING:** Prior to any occupancy, or final grading release, the final report shall be prepared. **MONITORING:** The [PPD] shall

review the final report for compliance this condition and the report format guidelines. Upon acceptance of the report, [PPD] shall inform [PDS, LDR] and [LD, PDCI], that the requirement is complete and the bond amount can be relinquished. If the monitoring was bonded separately, then [PPD] shall inform [PDS or LD FISCAL] to release the bond back to the applicant.

58. COST RECOVERY: [PDS, LD, DEH, DPR], [MA, GP, IP]

INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5 existing deficit accounts associated with processing this map shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this map. **DOCUMENTATION:** The applicant shall provide a receipt to the Department of Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No map can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any map and prior to the approval of any plan and issuance of any permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DEH, and DPR deposit accounts have been paid.

59. GRADING PLAN CONFORMANCE: [LD, ESU] [DPR, TC PP] [GP, IP, MA]

INTENT: In order to implement the required mitigation measures for the project, the required grading plan and improvement plans shall conform to the approved Conceptual Grading and Development Plan. **DESCRIPTION OF REQUIREMENT:** The grading and or improvement plans shall conform to the approved Conceptual Grading Plan, which includes all of the following mitigation measures: Biological and Cultural Monitoring. **DOCUMENTATION:** The applicant shall submit the grading plans and improvement plans, which conform to the conceptual development plan for the project. **TIMING:** Prior to the approval of Final Map and prior to the approval of any plan and issuance of any permit, the notes and items shall be placed on the plans as required. **MONITORING:** The [LD, ESU, or PDS, BD for PDS Minor Grading, [DPR, TC for trails and PP for park improvements] shall verify that the grading and or improvement plan requirements have been implemented on the final grading and or improvement plans as applicable. The environmental mitigation notes shall be made conditions of the issuance of said grading or construction permit.

60. STRUCTURE REMOVAL: [PDS, PPS] [GP, IP, MA] [PDS, FEE] INTENT: In order to comply with County Zoning Ordinance Section 4800, To comply with project design, the structure(s) on site shall be demolished. **DESCRIPTION OF REQUIREMENT:** The single-family structures and sheds located on-site as shown on the approved Tentative Map, shall be demolished.

- a. Evidence shall be a signed stamped statement from a registered professional; Engineer, Surveyor, Contractor, which states, that the

structures have been demolished. The letter report shall also include before and after pictures of the area and structure(s).

- b. A Demolition Permit shall be obtained from the *[PDS Building Division]*. Compliance with conditions 34 and 35 to determine the presence or absence of Lead Based Paints and or Asbestos shall be completed before any demolition permit can be issued.

DOCUMENTATION: The applicant shall submit to the *[PDS, PPS]* the signed statement and the photographic evidence that the structures have been removed, relocated, or demolished pursuant to this condition. **TIMING:** Prior to the approval of Final Map and prior to the approval of any plan and issuance of any permit (excluding demolition permit), and prior to approval of the map the applicant shall comply with this condition. **MONITORING:** The *[PDS, PPS]* shall review the statement and, photos, and any additional evidence for compliance with this condition.

61. LEAD SURVEY: [PDS, PPS] [MA, GP,] [PDS, FEE X 2].

INTENT: In order to avoid hazards associated with lead based paint (LBP) and to mitigate below levels of significance as established in the County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance, the structure(s) on site shall be surveyed for the presence of LBP because the structures were built prior to 1980 (single-family residence with pool, 1908; residence with shed and garage/carport, 1929.) **DESCRIPTION OF REQUIREMENT:** A survey shall be performed before the demolition of the residences, sheds and garage/carport located on-site as shown on the approved the approved Tentative Map. The survey shall be completed by a California Department of Health Services (DHS) certified lead inspector/risk assessor to determine the presence or absence of lead based paint (LBP) located in the structure(s). The following conditions only apply if lead containing materials are found present:

- a. All lead containing materials shall be managed in accordance with applicable regulations including, at a minimum, the hazardous waste disposal requirements (Title 22 California Code of Regulations [CCR] Division 4.5), the worker health and safety requirements (Title 8 California Code of Regulations Section 1532.1), and the State Lead Accreditation, Certification, and Work Practice Requirements (Title 17 CCR Division 1, Chapter 8).
- b. All lead containing materials scheduled for demolition must comply with applicable regulations for demolition methods and dust suppression.

DOCUMENTATION: The applicant shall submit a letter or report prepared by a California Department of Health Services (DHS) certified lead inspector/risk assessor to the *[PDS, PPS]*, which certifies that there was no presence of Lead

Based Paint Material, or that there was LBD present and all lead containing materials have been remediated pursuant to code sections referenced above. **TIMING:** Prior to the approval of any plan, issuance of any permit (excluding demolition permit), and prior to approval of the map for TM 5517, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPS] shall review the report and any additional evidence for compliance with this condition.

62. ASBESTOS SURVEY: [PDS, PPS] [MA, GP] [PDS, FEE X 2].

INTENT: In order to avoid hazards associated with Asbestos Containing Materials (ACMs) because the structures were built to 1980 (single-family residence with pool, 1908; residence with shed and garage/carport, 1929.), and to mitigate below levels of significance as established by the County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance, the structure(s) on site shall be surveyed for ACMs

DESCRIPTION OF REQUIREMENT: A facility survey shall be performed to determine the presence or absence of Asbestos Containing Materials (ACMs) in the residences, sheds and garage/carport located on-site as shown on the approved Tentative Map.

- a. Suspect materials that will be disturbed by the demolition or renovation activities shall be sampled and analyzed for asbestos content, or assumed to be asbestos containing. The survey shall be conducted by a person certified by Cal/OSHA pursuant to regulations implementing subdivision (b) of Section 9021.5 of the Labor Code, and shall have taken and passed an EPA-approved Building Inspector Course.
- b. If ACMs are found present, they shall be handled and remediated in compliance with the San Diego County Air Pollution Control District Rule 361.145 – Standard for Demolition and Renovation.

DOCUMENTATION: The applicant shall submit to the [PDS, PPS] a signed, stamped statement from the person certified to complete the facility survey indicating that the survey has been completed and that either regulated asbestos is present or absent. If regulated asbestos is present, the letter shall describe the procedures taken to remediate the hazard and certify that they have been remediated pursuant to code sections referenced above. **TIMING:** Prior to the approval of Final Map, issuance of any permit (excluding demolition permit), and prior to approval of Final Map the applicant shall comply with this condition. **MONITORING:** The [PDS, PPS] shall review the report and any additional evidence for compliance with this condition.

63. LNDSCP#1–LANDSCAPE DOCUMENTATION PACKAGE

INTENT: In order to provide adequate Landscaping that complies with the State's Model Water Efficient Landscape Ordinance (MWELO) as codified at 23 California Code of Regulations sections 490 et. seq. until such time as the County enacts an updated Water Conservation in Landscaping Ordinance found

to be as effective as the State's MWEL0, a Landscape Plan shall be prepared. Upon the effective date of the County's updated water efficient landscape requirements shall apply to all new, modified, and existing landscapes in place of the State's MWEL0. **DESCRIPTION OF REQUIREMENT:** The Landscape Documentation Package shall be prepared by a California licensed Landscape Architect, Architect, or Civil Engineer and include the following information:

- a. Indication of the proposed width of any adjacent public right-of-way, and the locations of any required improvements and any proposed plant materials to be installed or planted therein. The applicant shall obtain a permit from DPW approving the variety, location, and spacing of all trees proposed to be planted within said right(s)-of-way. A copy of this permit and a letter stating that all landscaping within the said right(s)-of-way shall be maintained by the landowner(s) shall be submitted to PDS.
- b. A complete planting plan including the names, sizes, and locations of all plant materials, including trees, shrubs, and groundcover. Wherever appropriate, native or naturalizing plant materials shall be used, which can thrive on natural moisture. These plants shall be irrigated only to establish the plantings.
- c. A complete watering system including the location, size, and type of all backflow prevention devices, pressure, and non-pressure water lines, valves, and sprinkler heads in those areas requiring a permanent, and/or temporary irrigation system.
- d. The watering system configuration shall indicate how water flow, including irrigation runoff, low head drainage, overspray or other similar conditions will not impact adjacent property, non-irrigated areas, structures, walkways, roadways or other paved areas, including trails and pathways by causing water to flow across, or onto these areas.
- e. Spot elevations of the hardscape, building and proposed fine grading of the installed landscape.
- f. The location and detail of all walls, fences, and walkways shall be shown on the plans, including height from grade and type of material. A lighting plan and light standard details shall be included in the plans (if applicable) and shall be in compliance with the County's Light Pollution Code.
- g. No landscaping material or irrigation or other infrastructure shall be located within a proposed trail easement or designated pathway.
- h. Additionally, the following items shall be addressed as part of the Landscape Plan: The State's MWEL0 can be found at: <https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeo>

[fRegulations?guid=I55B69DB0D45A11DEA95CA4428EC25FA0&originati onContext=documenttoc&transitionType=Default&contextData=%28sc.Def ault%29.](https://www.sandagov.com/Regulations?guid=I55B69DB0D45A11DEA95CA4428EC25FA0&originati onContext=documenttoc&transitionType=Default&contextData=%28sc.Def ault%29)

- i. Planting adjacent to the two Open Space lots (A&C), slopes associated with the private street passing through the Open Space lots, the vegetated buffer along Mission Road, the slopes associated with the two HOA lots (B&D), and the area where the existing driveway will be removed shall not contain any invasive or fire prone vegetation as per the County's 'Fire, Defensible Space and You' brochure and Appendix H&I within the County's Water Efficient Landscape Design Manual.
- j. Plans shall be in compliance with Sheets 4 and 5 of the Preliminary Grading Plans (labeled as Landscape Concept Plan) dated January 21, 2016, including slope planting densities and container sizes specified.
- k. The single oak tree along the northwestern portion of Lot 21 shall remain.

DOCUMENTATION: The applicant shall prepare the Landscape Plans using the Landscape Documentation Package Checklist (PDS Form #404), submit them to the [PDS, PCC], and pay all applicable review fees. **TIMING:** Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the Landscape Plans shall be prepared and approved. **MONITORING:** The [PDS, LA] and [DPR, TC, PP] shall review the Landscape Plans for compliance with this condition.

The following Grading and or Improvement Plan Notes shall be placed on the Preliminary Grading Plan and made conditions of the issuance of said permits. An email or disc will be provided with an electronic copy of the grading plan note language.

PRE-CONSTRUCTION GRADING AND/OR IMPROVEMENTS: (Prior to any clearing, grubbing, trenching, grading, or any land disturbances.)

(CULTURAL RESOURCES)

64. CULT#GR-1 ARCHAEOLOGICAL MONITORING – PRECONSTRUCTION MEETING [PDS, FEE X2]

INTENT: In order to comply with the County of San Diego Guidelines for Significance – Cultural Resources, an Archaeological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The County approved Project Archaeologist, Luiseno Native American Monitor, and [PPD], shall attend the pre-construction meeting with the contractors to explain and coordinate the requirements of the archaeological monitoring program. The Project Archaeologist and Luiseno Native American Monitor shall monitor the original cutting of previously undisturbed deposits in all areas identified for development

including off-site improvements. The Project Archaeologist and Luiseno Native American monitor shall also evaluate fill soils to determine that they are clean of cultural resources. The archaeological monitoring program shall comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources. **DOCUMENTATION:** The applicant shall have the contracted Project Archeologist and Luiseno Native American attend the preconstruction meeting to explain the monitoring requirements. **TIMING:** Prior to any clearing, grubbing, trenching, grading, or any land disturbances this condition shall be completed. **MONITORING:** The [DPW, PDCI] shall invite the [PPD] to the preconstruction conference to coordinate the Archaeological Monitoring requirements of this condition. The [PPD] shall attend the preconstruction conference and confirm the attendance of the approved Project Archaeologist.

DURING CONTRUCTION: *(The following actions shall occur throughout the duration of the grading construction).*

65. AIR QUALITY: [LD]. INTENT: To mitigate for potential air quality effects that may be caused by painting activities during construction. **DESCRIPTION OF REQUIREMENT:** The project shall comply with the following Air Quality measures:

- a. The project applicant shall limit daily application of paint to no more than 100 gallons.

DOCUMENTATION: The applicant shall comply with the Air Quality requirements of this condition. **TIMING:** The following actions shall occur throughout the duration of the architectural coatings phase. **MONITORING:** The [LD] shall make sure that the construction contractor complies with the Air Quality requirements of this condition. The [LD] shall contact the [PDS, PPS] if the applicant fails to comply with this condition.

66. AIR QUALITY: [LD, PDCI]. INTENT: To mitigate for potential air quality effects that may be caused by grading activities during construction. **DESCRIPTION OF REQUIREMENT:** The project shall comply with the following Air Quality measures:

- a. All haul/dump trucks entering or leaving the site with soil or fill material must maintain at least 2 feet of freeboard or cover loads of all haul/dump trucks securely.
- b. Dust control measures of the Grading Ordinance will be enhanced with a minimum of three (3) daily applications of water to the construction areas, between dozer/scrapper passes and on any unpaved roads within the project limits.

- c. Grading is to be terminated if winds exceed 25 mph.
- d. Sweepers and water trucks shall be used to control dust and debris at public street access points.
- e. Dirt storage piles will be stabilized by chemical binders, tarps, fencing or other suppression measures.
- f. Internal construction-roadways will be stabilized by paving, chip sealing or chemicals after rough grading.
- g. A minimum of 5 - 15 mph signs shall be posted and enforced on unpaved areas during construction.
- h. Disturbed areas shall be replanted as soon as practical.

DOCUMENTATION: The applicant shall comply with the Air Quality requirements of this condition. **TIMING:** The following actions shall occur throughout the duration of the grading construction. **MONITORING:** The [LD] shall make sure that the grading contractor complies with the Air Quality requirements of this condition. The [LD] shall contact the [PDS, PPS] if the applicant fails to comply with this condition.

67. AIR QUALITY: [LD, PDCI]. INTENT: To mitigate for potential air quality effects that may be caused by construction activities. **DESCRIPTION OF REQUIREMENT:** The project shall comply with the following Air Quality measures:

- a. During construction activities, construction equipment shall be properly maintained to ensure proper timing and tuning of engines. Equipment maintenance records and equipment design specification data sheets shall be kept on-site during construction activity.
- b. During construction activities, the contractor shall ensure that all equipment on-site will not idle for more than five (5) minutes.
- c. The contractor shall ensure use of low-sulfur diesel fuel in construction equipment as required by the California Air Resources Board (CARB).
- d. The project applicant shall ensure that various phases of construction activity will not overlap (i.e., demolition, grading, paving, and building).

DOCUMENTATION: The applicant shall comply with the Air Quality requirements of this condition. **TIMING:** The following actions shall occur throughout the duration of the construction activities. **MONITORING:** The [LD] shall make sure that the construction contractor complies with the Air Quality

requirements of this condition. The [LD] shall contact the [PDS, PS] if the applicant fails to comply with this condition.

(CULTURAL RESOURCES)

**68. CULT#GR-2 ARCHAEOLOGICAL MONITORING – DURING CONSTRUCTION
[PDS, FEE X2]**

INTENT: In order to comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources, a Cultural Resource Grading Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The Project Archaeologist and Luiseno Native American Monitor shall monitor the original cutting of previously undisturbed deposits in all areas identified for development including off-site improvements. The archaeological monitoring program shall comply with the following requirements during earth-disturbing activities:

- a. During the original cutting of previously undisturbed deposits, the Project Archaeologist and Luiseno Native American Monitor shall be onsite as determined necessary by the Project Archaeologist. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The frequency and location of inspections will be determined by the Project Archaeologist in consultation with the Luiseno Native American Monitor. Monitoring of cutting of previously disturbed deposits will be determined by the Project Archaeologist in consultation with the Luiseno Native American Monitor.
- b. In the event that previously unidentified potentially significant cultural resources are discovered, the Project Archaeologist or the Luiseno Native American monitor shall have the authority to divert or temporarily halt ground disturbance operations in the area of discovery to allow evaluation of potentially significant cultural resources. At the time of discovery, the Project Archaeologist shall contact the PDS Staff Archaeologist. The Project Archaeologist, in consultation with the PDS Staff Archaeologist and the Luiseno Native American Monitor, shall determine the significance of the discovered resources. Construction activities will be allowed to resume in the affected area only after the PDS Staff Archaeologist has concurred with the evaluation. Isolates and clearly non-significant deposits shall be minimally documented in the field. Should the isolates and/or non-significant deposits not be collected by the Project Archaeologist, then the Luiseno Native American monitor may collect the cultural material for transfer to a Tribal Curation facility or repatriation program. A Research Design and Data Recovery Program (Program) is required to mitigate impacts to identified significant cultural resources. The Research Design and Data Recovery Program shall be prepared by the Project Archaeologist in coordination with the Luiseno Native American Monitor. The County Archaeologist shall review and approve the Program, which shall be carried out using professional archaeological

methods. The Program shall include (1) reasonable efforts to preserve (avoidance) "unique" cultural resources or Sacred Sites; (2) the capping of identified Sacred Sites or unique cultural resources and placement of development over the cap, if avoidance is infeasible; and (3) data recovery for non-unique cultural resources. The preferred option is preservation (avoidance).

- c. If any human remains are discovered, the Property Owner or their representative shall contact the County Coroner and the PDS Staff Archaeologist. Upon identification of human remains, no further disturbance shall occur in the area of the find until the County Coroner has made the necessary findings as to origin. If the remains are determined to be of Native American origin, the Most Likely Descendant (MLD), as identified by the Native American Heritage Commission (NAHC), shall be contacted by the Property Owner or their representative in order to determine proper treatment and disposition of the remains. The immediate vicinity where the Native American human remains are located is not to be damaged or disturbed by further development activity until consultation with the MLD regarding their recommendations as required by Public Resources Code Section 5097.98 has been conducted. Public Resources Code §5097.98, CEQA §15064.5 and Health & Safety Code §7050.5 shall be followed in the event that human remains are discovered.
- d. The Project Archaeologist and Luiseno Native American monitor shall evaluate fill soils to determine that they are clean of cultural resources.
- e. The Project Archaeologist shall submit monthly status reports to the Director of Planning and Development Services starting from the date of the Notice to Proceed to termination of implementation of the archaeological monitoring program. The report shall briefly summarize all activities during the period and the status of progress on overall plan implementation. Upon completion of the implementation phase, a final report shall be submitted describing the plan compliance procedures and site conditions before and after construction.

DOCUMENTATION: The applicant shall implement the Archaeological Monitoring Program pursuant to this condition. **TIMING:** The following actions shall occur throughout the duration of the earth disturbing activities. **MONITORING:** The [DPW, PDCI] shall make sure that the Project Archeologist is on-site performing the monitoring duties of this condition. The [DPW, PDCI] shall contact the [PPD] if the Project Archeologist or applicant fails to comply with this condition.

69. ENVIRONMENTAL SITE ASSESMENT: [PDS, PPS] [DEH, HMD] [GP, CP, UO] [PDS, FEE X 2]. INTENT: In order to comply with the County of San Diego Hazardous Materials and Existing Contamination Guidelines for Determining Significance, an Environmental Site Assessment shall be completed. **DESCRIPTION OF REQUIREMENT:** A signed, stamped Phase I and Limited Phase II Environmental Site Assessment (ESA) shall be prepared by a Registered Engineer or Professional Geologist. These assessments shall include the following information:

- a. The **limited Phase II** shall include shallow soil sampling between six inches to 2-3 feet in depth, in areas of the site where future exposure is likely to occur (such as around proposed house pads), and in the areas of the site with the highest likelihood for contamination, such as around chemical/ pesticide/ fuel storage and mixing areas and among agricultural crops.
- b. The ESA should identify whether onsite soils exceed regulatory screening levels for pesticides, petroleum, heavy metals, or other contaminants.
- c. If contaminated soils are detected, provide a letter from DEH stating that a VAP work plan has been prepared and approved to remediate contaminated soils.
- d. If contaminated soils are detected, provide a copy of the contract and a signed sealed statement from the Registered Engineer or Professional Geologist, which states that they will implement the VAP work plan. Grading required to implement the site remediation activities is permitted.
- e. Provide evidence that all required work has been fully incorporated into the Grading Plans if required to obtain a grading permit pursuant to the County Grading Ordinance 87.101 et. al.

DOCUMENTATION: Upon completion of the Phase I and Phase II ESA, the applicant shall submit the copies of the assessments (and a work plan for soil remediation, if applicable) to the [PDS, PPS] for approval. **TIMING:** Prior to approval of any grading and or improvement plans, issuance of any construction, building or any other permit, and prior to commencement of construction, or use of the property in reliance on this permit, the applicant shall comply with this condition. **MONITORING:** The [PDS, PPS] shall review the report and any additional evidence for compliance with this condition. The work plan shall be approved by the Department of Environmental Health, Site Assessment and Mitigation (SAM), Voluntary Assistance Program (VAP).

ROUGH GRADING: (Prior to rough grading approval and issuance of any building permit).

(CULTURAL RESOURCES)

70. CULT#GR-3 ARCHAEOLOGICAL MONITORING – ROUGH GRADING [PDS, FEE] INTENT: In order to comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources, an Archaeological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The Project Archaeologist shall prepare one of the following reports upon completion of the earth-disturbing activities that require monitoring:

- a. If no archaeological resources are encountered during earth-disturbing activities, then submit a final Negative Monitoring Report substantiating that earth-disturbing activities are completed and no cultural resources were encountered. Archaeological monitoring logs showing the date and time that the monitor was on site and any comments from the Luiseno Native American Monitor must be included in the Negative Monitoring Report.
- b. If archaeological resources were encountered during the earth disturbing activities, the Project Archaeologist shall provide an Archaeological Monitoring Report stating that the field monitoring activities have been completed, and that resources have been encountered. The report shall detail all cultural artifacts and deposits discovered during monitoring and the anticipated time schedule for completion of the curation and/or repatriation phase of the monitoring.

DOCUMENTATION: The applicant shall submit the Archaeological Monitoring Report to the [PPD] for review and approval. Once approved, a final copy of the report shall be submitted to the South Coastal Information Center and the culturally-affiliated Tribe. **TIMING:** Upon completion of all earth-disturbing activities, and prior to Rough Grading Final Inspection (Grading Ordinance SEC 87.421.a.2), the report shall be completed. **MONITORING:** The [PPD] shall review the report or field monitoring memo for compliance with the project MMRP, and inform [DPW, PDCI] that the requirement is completed.

FINAL GRADING RELEASE: (Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).

(CULTURAL RESOURCES)

71. CULT#GR-4 ARCHAEOLOGICAL MONITORING – FINAL GRADING [PDS, FEE] INTENT: In order to comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for

Cultural Resources, an Archaeological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The Project Archaeologist shall prepare a final report that documents the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program if cultural resources were encountered during earth-disturbing activities. The report shall include the following, if applicable:

- a. Department of Parks and Recreation Primary and Archaeological Site forms.
- b. Daily Monitoring Logs
- c. Evidence that the disposition of all cultural materials has been completed as follows:
 1. Evidence that all prehistoric materials collected during the archaeological monitoring program have been submitted to a San Diego curation facility or a culturally affiliated Native American Tribal curation facility that meets federal standards per 36 CFR Part 79, and, therefore, would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records, including title, shall be transferred to the San Diego curation facility or culturally affiliated Native American Tribal curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the prehistoric archaeological materials have been received and that all fees have been paid.

or

Evidence that all prehistoric materials collected during the archaeological monitoring program have been returned to a Native American group of appropriate tribal affinity. Evidence shall be in the form of a letter from the Native American tribe to whom the cultural resources have been repatriated identifying that the archaeological materials have been received.

2. Historic materials shall be curated at a San Diego curation facility and shall not be curated at a Tribal curation facility or repatriated. The collections and associated records, including title, shall be transferred to the San Diego curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the historic materials have been received and that all fees have been paid.

- d. If no cultural resources are discovered, a Negative Monitoring Report must be submitted stating that the archaeological monitoring activities have been completed. Grading Monitoring Logs must be submitted with the negative monitoring report.

DOCUMENTATION: The applicant's archaeologist shall prepare the final report and submit it to the [PPD] for approval. Once approved, a final copy of the report shall be submitted to the South Coastal Information Center (SCIC) and the culturally-affiliated Tribe. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the final report shall be prepared. **MONITORING:** The [PPD] shall review the final report for compliance with this condition and the report format guidelines. Upon acceptance of the report, [PPD] shall inform [PDS, LDR] and [DPW, PDCI], that the requirement is complete and the bond amount can be relinquished. If the monitoring was bonded separately, then [PPD] shall inform [PDS or DPW FISCAL] to release the bond back to the applicant.

IT IS FURTHER RESOLVED, THEREFORE, that the Planning Commission of the County of San Diego hereby makes the following findings as supported by the minutes, maps, exhibits, and documentation of said Tentative Map all of which are herein incorporated by reference:

1. The Tentative Map is consistent with all elements of the San Diego County General Plan and with the VR-2 Land Use Designation of the Fallbrook Community Plan because it proposes a residential use type at a density of 0.7 dwelling units per acre and complies with the provisions of the State Subdivision Map Act and the Subdivision Ordinance of the San Diego County Code;
2. The Tentative Map is consistent with The Zoning Ordinance because it proposes a residential use type with a minimum net lot size of 0.5 acre in the RR (Rural Residential) Use Regulation;
3. The design and improvements of the proposed subdivision are consistent with all elements of the San Diego County General Plan and with the Fallbrook Community Plan, and comply with the provisions of the State Subdivision Act and the Subdivision Ordinance of the San Diego County Code;
4. The site is physically suitable for the residential type of development because the design is for appropriately sized residential pads that do not require setback variances or impact sensitive resources;
5. The site is physically suitable for the proposed density of development because it is located on a public road, and it is served by the Fallbrook Public Utilities District and the North County Fire Protection District;

6. The design of the subdivision and the type of improvements will not cause public health problems because adequate water supply and sewage disposal services have been found to be available or can be provided concurrent with need;
7. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat based upon the 15183 Checklist dated March 26, 2015.
8. The design of the subdivision or the type of improvements do not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision, as defined under Section 66474 of the Government Code, State of California; and

The division and development of the property in the manner set forth on the approved Tentative Map will not unreasonably interfere with the free and complete exercise of the public entity or public utility right-of-way or easement;

9. The discharge of sewage waste from the subdivision into the Fallbrook Public Utilities District sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the Water Code, as specified by Government Code Section 66474.6;
10. Because adequate facilities and services have been assured and adequate environmental review and documentation have been prepared, the regional housing opportunities afforded by the subdivision outweigh the impacts upon the public service needs of County residents and fiscal and environmental resources; and
11. Determinations and findings pursuant to the California Environmental Quality Act, the Resource Protection Ordinance, and the Watershed Protection, Stormwater Management, and Discharge Control Ordinance have been made by the Planning Commission.

WAIVER AND EXCEPTION: This subdivision is hereby approved pursuant to the provisions of the State Subdivision Map Act, the County Subdivision Ordinance, the County Public and Private Road Standards, and all other required ordinances of San Diego County except for a waiver or modification of the:

Existing improvements along the project frontage of South Mission Road to remain and waive an 8-foot widening of the road for shoulder. Existing improvements conform to County standards and additional widening of the road section along the project frontage would be a spot improvement inconsistent with the street improvements in the area. A parking prohibition for South Mission Road from Stagecoach Lane to Northwest project boundary was approved by the

Board of Supervisors when the County installed the existing improvements. The design exception request was supported by the Director of Public Works, dated January 18, 2011.

MITIGATION MONITORING OR REPORTING PROGRAM (MMRP): Public Resources Code Section 21081.6 requires the County to adopt a Mitigation Monitoring or Reporting Program for any project approved with the adoption of a Mitigated Negative Declaration or with the certification of an Environmental Impact Report, for which changes in the project are required in order to avoid significant impacts.

Section 21081.6(a)(1) states, in part:

The public agency shall adopt a reporting or monitoring program for the changes made to the project or conditions of project approval, adopted in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designed to ensure compliance during project implementation.

Section 21081(b) further states:

A public agency shall provide [that] the measures to mitigate or avoid significant effects on the environment are fully enforceable through permit conditions, agreements, or other measures.

As indicated above, a Mitigation Monitoring or Reporting Program is required to assure that a project is implemented in compliance with all required mitigation measures. The Mitigation Monitoring or Reporting Program (MMRP) for this project is incorporated into the mitigation measures adopted as project conditions of approval. Each mitigation measure adopted as a condition of approval (COA) includes the following five components.

INTENT: An explanation of why the mitigation measure (MM) was imposed on the project.

DESCRIPTION: A detailed description of the specific action(s) that must be taken to mitigate or avoid impacts.

DOCUMENTATION: A description of the informational items that must be submitted by the applicant to the Lead Agency to demonstrate compliance with the COA.

TIMING: The specific project milestone (point in progress) when the specific required actions are required to implemented.

MONITORING: This section describes the actions to be taken by the lead agency to assure implementation of the mitigation measure.

The conditions of approval required to mitigate or avoid significant impacts on the environment are listed below and constitute the MMRP for this project:

46-52, 54-57, 60-71

MAP PROCESSING REQUIREMENTS: The parcel map shall comply with the following processing requirements pursuant to the Sections 81.801 through 81.811 of the Subdivision Ordinance and the Subdivision Final Map Processing Manual.

- The Final map shall show an accurate and detailed vicinity map.
- The Basis of Bearings for the Final Map shall comply with Section 81.506 of the Subdivision Ordinance.
- Prior to the approval of the Final Map by the Department of Public Works, the subdivider shall provide the Department of Public Works with a copy of the deed by which the subject property was acquired and a Final Map report from a qualified title insurance company.
- The following notes shall appear on the Final Map:
 - All parcels within this subdivision have a minimum of 100 square feet of solar access for each future dwelling unit allowed by this subdivision as required by Section 81.401(m) of the Subdivision Ordinance.
 - At the time of recordation of the Final Map, the name of the person authorizing the map and whose name appears on the SURVEYOR'S CERTIFICATE as the person who requested the map, shall be the name of the owner of the subject property.
 - The public and private easement roads serving this project shall be named. The responsible party shall contact the Street Address Section of PDS Services (858-694-3797) to discuss the road naming requirements for the development. Naming of the roads is necessary for the health and safety of present and future residents.
- The Zoning regulations require that each parcel shall contain a minimum net area of 0.5 acre. If, as a result of survey calculations, required easements, or for any other reason, the area of any parcel shown on this Tentative Map is determined by the Department of Public Works to be below the zoning minimum, it becomes the responsibility of the subdivider to meet zoning requirements by lot redesign, or other applicable technique. The subdivider shall comply with the zoning area requirements in full before the Department of Public Works may file a Parcel Map with the County Recorder.

ORDINANCE COMPLIANCE AND NOTICES: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

NOTICE: The subject property contains wetlands, a lake, a stream, and/or waters of the U.S. which may be subject to regulation by State and/or federal agencies, including, but not limited to, the Regional Water Quality Control Board, U.S. Army Corps of Engineers and the California Department of Fish and Wildlife. The California Department of Fish and Wildlife specifically requested notification for this project. It is the applicant's responsibility to consult with each agency to determine if a permit, agreement or other approval is required and to obtain all necessary permits, agreements or approvals before commencing any activity which could impact the wetlands, lake, stream, and/or waters of the U.S. on the subject property. The agency contact information is provided below.

U.S. Army Corps of Engineers: 6010 Hidden Valley Rd, Suite 105, Carlsbad, CA 92011-4219; (858) 674-5386; <http://www.usace.army.mil/>

Regional Water Quality Control Board: 9174 Sky Park Court, Suite 100, San Diego, CA 92123-4340; (858) 467-2952; <http://www.waterboards.ca.gov/sandiego/>

California Department of Fish and Wildlife: 3883 Ruffin Rd., San Diego, CA 92123; (858) 467-4201; <http://www.dfg.ca.gov/>

~~**STORMWATER ORDINANCE COMPLIANCE:** In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 10096 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that the property owner keep additional and updated information onsite concerning stormwater runoff. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.~~

~~**LOW IMPACT DEVELOPMENT NOTICE:** On January 24, 2007, the San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The~~

~~requirements of the Municipal Permit were implemented beginning January 25, 2008. Project design shall be in compliance with the new Municipal Permit regulations. The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link on Page 19, Section D.1.d (4), subsections (a) and (b):~~

~~http://www.waterboards.ca.gov/sandiego/water_issues/programs/stormwater/docs/sd_permit/r9_2007_0001/2007_0001final.pdf.~~

~~http://www.sdcounty.ca.gov/PDS/docs/LID_Handbook.pdf.~~

~~The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link above.~~

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 10385 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. Project design shall be in compliance with the new Municipal Permit regulations. The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

[http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED PROTECTION PROGRAM/susmppdf/lid_handbook_2014sm.pdf](http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf)

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below.

<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

DRAINAGE: The project shall be in compliance with the County of San Diego Flood Damage Prevention Ordinance No. 10091, adopted December 8, 2010.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities exceed 200 cubic yards of excavation or eight feet (8') of cut/fill per criteria of Section 87.202 (a) of the County Code.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact DPW Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to County TIF Ordinance number 77.201 – 77.223. The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

NOTICE: Time Extension requests cannot be processed without updated project information including new Department of Environmental Health certification of septic systems. Since Department of Environmental Health review may take several months, applicants anticipating the need for Time Extensions for their projects are advised to submit applications for septic certification to the Department of Environmental Health several months prior to the expiration of their Tentative Maps.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PPS	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (LD)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten days after adoption of this Resolution, these findings and conditions may be appealed in accordance with Section 81.307 of the Subdivision Ordinance and as provided in Section 66452.5 of the Government Code. An appeal shall be filed with the appellant body and/or the Board of Supervisors within TEN CALENDAR DAYS of the date of this Resolution AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. No Final Map shall be approved, no grading permit issues, and no building permits for model homes or other temporary uses as permitted by Section 6116 of the Zoning Ordinance shall be issued pursuant to said Tentative Map until after the expiration of the 10th day following adoption of this Resolution, or if an appeal is taken, until the appeal board has sustained the determination of this advisory body. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of adoption of this Resolution.

ON MOTION of Commissioner _____, seconded by Commissioner _____, this Resolution is passed and approved by the Planning Commission of the County of San Diego, State of California, at a regular meeting held on this 22nd day of April, 2016, in Planning & Development Services Conference Center Hearing Room, 5520 Overland Avenue, San Diego, California, by the following vote:

AYES:

NOES:

ABSENT:

DPL/WP 001-TM (06/29/09)

cc: Jose Luis Islas, 2348 La Costa Ave #311, Carlsbad, CA 92009
Tim Thiele, RBF Consulting, 5050 Avenida Encinas, Ste. 260, Carlsbad, CA 92008
Mark Sanchez, 2436 Green Hills Way, Vista, CA 92084
James Chagala & Associates, 10324 Meadow Glen Way East, Escondido, CA 92026

email cc:
David Sibbet, Planning & Development Services, Land Development
Ed Sinsay, Project Manager, Planning & Development Services
James Chagala <jchagala@hotmail.com>
Fallbrook CPG

Attachment C – Environmental Documentation



County of San Diego

MARK WARDLAW
DIRECTOR
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PLANNING & DEVELOPMENT SERVICES
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ASSISTANT DIRECTOR
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Statement of Reasons for Exemption from Additional Environmental Review and 15183 Checklist Pursuant to CEQA Guidelines §15183

Date: ~~March 26, 2015~~ April 22, 2016
Project Title: Pacifica Estates Tentative Map
Record ID: PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER)
Plan Area: Fallbrook
GP Designation: VR-2 (Village Residential)
Density: N/A
Zoning: Rural Residential (RR)
Min. Lot Size: 0.5 acre
Special Area Reg.: N/A
Lot Size: 17.3 acres
Applicant: Tim Thiele, RBF Consulting (760) 476-9193
Staff Contact: Marisa Smith (858) 694-2621
 marisa.smith@sdcounty.ca.gov

Project Description

The project is a major subdivision to divide a 17.3-acre property into 25 lots, including 21 residential, two open space lots to preserve wetlands, and two homeowner association (HOA) common area lots for detention basins. The proposed residential lots would be 0.5 acre gross and net. The site is located east of South Mission Road and north of Stage Coach Lane, in the Fallbrook Community Plan Area. Access to all lots would be provided by a proposed private road connecting to Mission Road, and the traffic design only allows for right-in, right-out. ~~A U-Turn lane would be proposed at the intersection of South Mission and Sterling Bridge Road, which is north of the project. Approximately 100 feet of the existing median would be removed to allow for the addition of the U-Turn. A u-Turn already exists at the intersection of Air Park and South Mission Road (north of the project) and at the intersection of South Mission Road and Stage Coach Lane (south of the project).~~ The existing residential home, accessory structures, and existing agricultural operation would be removed. The project is conditioned to improve South Mission Road by adding a left turn lane and signal, as well as add curb returns and sidewalk along the proposed private access road. Stage Coach Lane is conditioned to widen Stage Coach Lane along the project frontage. Water and sewer would be provided by Fallbrook Public Utilities District. Approximately 1,600 feet extension of sewer and/or water utilities will be required for the project. Earthwork will consist of ~~80,000~~ 60,000 cubic yards of balanced cut and fill. The project site is subject to the Village Residential General Plan Regional Category, Land Use Designation Village. Zoning for the site is Rural Residential, (RR). The project is consistent with density and lot size requirements of the General Plan and Zoning Ordinance.

Overview

California Public Resources Code section 21083.3 and California Environmental Quality Act (CEQA) Guidelines Section 15183 provide an exemption from additional environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an Environmental Impact Report (EIR) was certified, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: (1) Are peculiar to the project or the parcel on which the project would be located, and were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent, (2) Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan or zoning action, or (3) Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR. Section 15183(c) further specifies that if an impact is not peculiar to the parcel or to the proposed project, has been addressed as a significant effect in the prior EIR, or can be substantially mitigated by the imposition of uniformly applied development policies or standards, then an additional EIR need not be prepared for that project solely on the basis of that impact.

General Plan Update Program EIR

The County of San Diego General Plan Update (GPU) establishes a blueprint for future land development in the unincorporated County that meets community desires and balances the environmental protection goals with the need for housing, agriculture, infrastructure, and economic vitality. The GPU applies to all of the unincorporated portions of San Diego County and directs population growth and plans for infrastructure needs, development, and resource protection. The GPU included adoption of new General Plan elements, which set the goals and policies that guide future development. It also included a corresponding land use map, a County Road Network map, updates to Community and Subregional Plans, an Implementation Plan, and other implementing policies and ordinances. The GPU focuses population growth in the western areas of the County where infrastructure and services are available in order to reduce the potential for growth in the eastern areas. The objectives of this population distribution strategy are to: 1) facilitate efficient, orderly growth by containing development within areas potentially served by the San Diego County Water Authority (SDCWA) or other existing infrastructure; 2) protect natural resources through the reduction of population capacity in sensitive areas; and 3) retain or enhance the character of communities within the unincorporated County. The SDCWA service area covers approximately the western one third of the unincorporated County. The SDWCA boundary generally represents where water and wastewater infrastructure currently exist. This area is more developed than the eastern areas of the unincorporated County, and would accommodate more growth under the GPU.

The GPU EIR was certified in conjunction with adoption of the GPU on August 3, 2011. The GPU EIR comprehensively evaluated environmental impacts that would result from Plan implementation, including information related to existing site conditions, analyses of the types and magnitude of project-level and cumulative environmental impacts, and feasible mitigation measures that could reduce or avoid environmental impacts.

Summary of Findings

The Pacifica Estates Major Subdivision (PDS2006-3100-5510) is consistent with the analysis performed for the GPU EIR. Further, the GPU EIR adequately anticipated and described the impacts of the proposed project, identified applicable mitigation measures necessary to reduce project specific impacts, and the project implements these mitigation measures (see [http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_7.00 - Mitigation Measures 2011.pdf](http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_7.00_-_Mitigation_Measures_2011.pdf) for complete list of GPU Mitigation Measures.

15183 Statement of Reasons

A comprehensive environmental evaluation has been completed for the project as documented in the attached §15183 Exemption Checklist. This evaluation concludes that the project qualifies for an exemption from additional environmental review because it is consistent with the development density and use characteristics established by the County of San Diego General Plan, as analyzed by the San Diego County General Plan Update Final Program EIR (GPU EIR, ER #02-ZA-001, SCH #2002111067), and all required findings can be made.

In accordance with CEQA Guidelines §15183, the project qualifies for an exemption because the following findings can be made:

1. The project is consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified.

The project would subdivide a 17.3-acre property into 25 lots, which is consistent with the Village Residential development density established by the General Plan and the certified GPU EIR.

2. There are no project specific effects which are peculiar to the project or its site, and which the GPU EIR Failed to analyze as significant effects.

The subject property is no different than other properties in the surrounding area, and there are no project specific effects which are peculiar to the project or its site. The project site is located in an area developed with similarly sized, estate residential lots with associated accessory uses. The property does not support any peculiar environmental features, and the project would not result in any peculiar effects.

In addition, as explained further in the 15183 Checklist below, all project impacts were adequately analyzed by the GPU EIR. The project could result in potentially significant impacts to Biology, resources. However, applicable mitigation measures specified within the GPU EIR have been made conditions of approval for this project.

3. There are no potentially significant off-site and/or cumulative impacts which the GPU EIR failed to evaluate.

The proposed project is consistent with the density and use characteristics of the development considered by the GPU EIR and would represent a small part of the growth that was forecast for build-out of the General Plan. The GPU EIR considered the incremental impacts of the proposed project, and as explained further in the 15183 Exemption Checklist below, no potentially significant off-site or cumulative impacts have been identified which were not previously evaluated.

4. There is no substantial new information which results in more severe impacts than anticipated by the GPU EIR.

As explained in the 15183 exemption checklist below, no new information has been identified which would result in a determination of a more severe impact than what had been anticipated by the GPU EIR.

5. The project will undertake feasible mitigation measures specified in the GPU EIR.

As explained in the 15183 exemption checklist below, the project will undertake feasible mitigation measures specified in the GPU EIR. These GPU EIR mitigation measures will be undertaken through project design, compliance with regulations and ordinances, or through the project's conditions of approval.

	April 22, 2016
Signature	Date
Marisa Smith	Project Manager
Printed Name	Title

CEQA Guidelines §15183 Exemption Checklist

Overview

This checklist provides an analysis of potential environmental impacts resulting from the proposed project. Following the format of CEQA Guidelines Appendix G, environmental effects are evaluated to determine if the project would result in a potentially significant impact triggering additional review under Guidelines section 15183.

- Items checked “Significant Project Impact” indicates that the project could result in a significant effect which either requires mitigation to be reduced to a less than significant level or which has a significant, unmitigated impact.
- Items checked “Impact not identified by GPU EIR” indicates the project would result in a project specific significant impact (peculiar off-site or cumulative that was not identified in the GPU EIR.
- Items checked “Substantial New Information” indicates that there is new information which leads to a determination that a project impact is more severe than what had been anticipated by the GPU EIR.

A project does not qualify for a §15183 exemption if it is determined that it would result in: 1) a peculiar impact that was not identified as a significant impact under the GPU EIR; 2) a more severe impact due to new information; or 3) a potentially significant off-site impact or cumulative impact not discussed in the GPU EIR.

A summary of staff’s analysis of each potential environmental effect is provided below the checklist for each subject area. A list of references, significance guidelines, and technical studies used to support the analysis is attached in Appendix A. Appendix B contains a list of GPU EIR mitigation measures.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
1. AESTHETICS – Would the Project:			
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

- 1(a) The project would be visible from public roads and trails; however, the site is not located within a viewshed of a scenic vista. There is a thick riparian habitat along the western boundary of the project area, and will remain a visual buffer to motorists along South Mission Road, as this area would be placed in open space.
- 1(b) The property is not within the viewshed of a County or state scenic highway. There is a thick riparian habitat along the western boundary of the project area, and will remain a visual buffer to motorists along South Mission Road, as this area would be placed in open space. The project site also does not support any significant scenic resources that would be lost or modified through development of the property.
- 1(c) The project would be consistent with existing community character. The project is located along the south side of South Mission Road, in an area characterized by residential uses. There are existing single family residences surrounding the site, and the Fallbrook Airport is located to the west of South Mission Road. The addition of 21 new residential lots would not substantially degrade the visual quality of the site or its surroundings.
- 1(d) Residential lighting would be required to conform with the County’s Light Pollution Code to prevent spillover onto adjacent properties and minimize impacts to dark skies.

Conclusion

As discussed above, the project would not result in any significant impacts to aesthetics; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
2. Agriculture/Forestry Resources			
– Would the Project:			
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide or Local Importance as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, or other agricultural resources, to a non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Result in the loss of forest land, conversion of forest land to non-forest use, or involve other changes in the existing environment, which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Important Farmland or other agricultural resources, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

2(a) The project site has existing agricultural operation, and contains lands designated as Unique Farmland and Farmland of Local Importance. Due to the presence of onsite agricultural resources, the County agricultural resources specialist, Michelle Chan, evaluated the site to determine the importance of the resource based on the County's Local Agricultural Resources Assessment (LARA) Model which takes into account local factors that define the importance of San Diego County agricultural resources. The LARA Model considers the availability of water resources, climate, soil quality, surrounding land use, topography, and land use or parcel size consistency between the project site and surrounding land uses. A more detailed discussion of the LARA Model can be found in the Guidelines for Determining Significance for Agricultural Resources at <http://www.sdcdplu.org/dplu/Resource/docs/3~pdf/AG-Guidelines.pdf>.

In order for a site to be considered an important agricultural resource based on the LARA Model, all three required LARA Model factors (water, soil, and climate) must receive either a high or moderate score. A low score in any of these three categories would render a LARA Model result that the site is not an important agricultural resource.

The 17.47 acre site contains approximately 7.67 acres of land with FMMP soils. However, approximately 3.1 acres of land with FMMP soil (i.e. the western portion of the project site), which have never been used for agriculture operation, would be placed within a proposed biological open space easement. According to the *Guidelines for*

Determining Significance for Agricultural Resources, lands that are primarily a biological habitat type that have never been used for agriculture, and lands constrained by biological conservation easements are not considered as agricultural resources. As a result, the project site contains less than 10 acres of contiguous prime farmland or statewide importance soils, receives a low rating in soil quality and is considered not an important agricultural resource. Additionally, the site is zoned RR (Rural Residential), which is not considered to be an agricultural zone, and is surrounded by dense residential development, a school and the Fallbrook Airport. Furthermore, the project site is not under a Williamson Contract. Therefore, no potentially significant project or cumulative level conversion of agricultural resources to a non-agricultural use will occur as a result of this project.

- 2(b) The project site is zoned RR (Rural Residential), which is not considered to be an agricultural zone. However, the proposed project will not result in a conflict in zoning for agricultural use, because horticulture, tree crops, and row and field crops are permitted uses in RR zones. Additionally, the project site's land is not under a Williamson Act Contract. Therefore, the project does not conflict with existing zoning for agricultural use, or a Williamson Act Contract.
- 2(c) The project site including offsite improvements do not contain forest lands or timberland. The County of San Diego does not have any existing Timberland Production Zones. In addition, the project is consistent with existing zoning and a rezone of the property is not proposed. Therefore, project implementation would not conflict with existing zoning for, or cause rezoning of, forest land, timberland or timberland production zones.
- 2(d) The project site including any offsite improvements do not contain any forest lands as defined in Public Resources Code section 12220(g), therefore project implementation would not result in the loss or conversion of forest land to a non-forest use. In addition, the project is not located in the vicinity of offsite forest resources.
- 2(e) The project site and surrounding area within a radius of three miles contains Unique Farmland, and Farmland of Local Importance. As a result, the proposed project was reviewed by County Agricultural Specialist, Michelle Chan, and was determined not to have significant adverse impacts related to the conversion of Prime Farmland, Unique Farmland, Farmland of Statewide or Local Importance or active agricultural operations to a non-agricultural use for the following reasons: The area surrounding the project site is comprised of dense residential use, the Fallbrook Airpark, a school, and vacant lands interspersed with a few avocado groves are located across South Mission Road, approximately 500 -1,450 feet from the project site. The project, which proposes the creation of 21 single family residences, is compatible with the existing land use and will not introduce new land uses that do not currently exist in the area. Also, based on the results of the Local Agricultural Resources Assessment (LARA) Model, the site is not considered an important agricultural resource, and no potentially significant project or cumulative level conversion of agricultural resources to a non-agricultural use will occur as a result of this project. Furthermore, the project site is not under a Williamson Contract. Therefore, no potentially significant project or cumulative level conversion of Prime Farmland, Unique Farmland, Farmland of Statewide Importance, or Farmland of Local Importance to a non-agricultural use will occur as a result of this project.

Conclusion

As discussed above, the project would not result in any significant impacts to agricultural resources; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
3. Air Quality – Would the Project:			
a) Conflict with or obstruct implementation of the San Diego Regional Air Quality Strategy (RAQS) or applicable portions of the State Implementation Plan (SIP)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

3(a) The project proposes development that was anticipated and considered by SANDAG growth projections used in development of the RAQS and SIP. As such, the project would not conflict with either the RAQS or the SIP. In addition, the operational emissions from the project are below screening levels, and will not violate any ambient air quality standards.

3(b) Grading operations associated with the construction of the project would be subject to the Grading Ordinance, which requires the implementation of dust control measures. Emissions from the construction phase would be minimal, temporary and localized, resulting in pollutant emissions below the screening level criteria established by County air quality guidelines for determining significance. In addition, the project would result in additional vehicle trips associated with the proposed land uses. However, as shown in the air quality study conducted for the project, operational-related emissions would not exceed County screening levels (Appendix X).

3(c) The project would contribute PM10, NOx, and VOCs emissions from construction/grading activities; however, the incremental increase would not exceed established screening thresholds (see question 3(b) above)).

3(d) The project will develop 21 single-family residential units, which is considered a new sensitive receptor; however, the project site is not located within a quarter-mile of any

identified point source of significant emissions. Similarly, the project does not propose uses or activities that would result in exposure of these sensitive receptors to significant pollutant concentrations and will not place sensitive receptors near any carbon monoxide hotspots.

- 3(e) The project could produce objectionable odors during construction and would not result in any permanent odor sources associated with operations. Odorous emissions disperse rapidly with increasing distance from the source and due to the small scale of construction activities, emissions would be minimal and temporary, ceasing once construction is complete. Therefore, construction related odors would not result in a new odor source that could adversely affect a substantial number of individuals.

Conclusion

As discussed above, the project would not result in any significant impacts to air quality; therefore, the project would not result in an impact which was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
4. Biological Resources – Would the Project:			
Have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Conflict with the provisions of any adopted Habitat Conservation Plan, Natural Communities Conservation Plan, other approved local, regional or state habitat conservation plan or any other local policies or ordinances that protect biological resources?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

4(a) Based on County records, a staff field site visit, and the Biological Letter Report prepared by RC Biological Consulting (December 2008) and updated in a memorandum by Vincent Scheidt (November 10, 2010), the 17.3 acre site consists of 1.87 acres of southern riparian forest, 0.42-acre of southern coast live oak riparian forest, 0.26-acre of coast live oak woodland, 1.17 acres of non-native vegetation, 12.46 acres of agriculture, 0.66-acre of disturbed land, and 0.46-acre of urban/developed land. Ostrich Farms Creek crosses the property along the western boundary and falls under the jurisdiction of the Army Corp of Engineers (ACOE), California Department of Fish and Wildlife (CDFW), California Regional Water Quality Control Board (RWQCB), and County Resource Protection Ordinance (RPO). No state or federal endangered or threatened plants or wildlife were observed or are expected to occur onsite. No sensitive plants and five sensitive wildlife species were observed onsite and overhead: Cooper's hawk (*Accipiter cooperi*), great blue heron (*Ardea herodias*), red-shouldered hawk (*Buteo lineatus*), barn owl (*Tyto alba*), and white-tailed kite (*Elanus caeruleus*).

This project proposes to develop a total of 25 lots on 17.3 acres that include 21 lots, two open space lots, and two stormwater basin lots. Project impacts were calculated as follows: approximately 0.18-acre of southern riparian forest, 0.19-acre of coast live oak woodland, 0.68-acre of non-native vegetation, 12.46 acres of agriculture, 0.42-acre of disturbed land, and 0.46-acre of developed land. The Ostrich Farms Creek and associate habitat will be placed in a biological open space easement except for the proposed creek crossing that will be used to access the property. The project proposes offsite mitigation that includes 0.57-acre of coast live oak woodland. Other mitigation measures includes a revegetation plan that will be used to mitigate for 0.54-acre of southern riparian forest onsite, wetland permits, the transfer of land located along Ostrich Farms Creek to the Fallbrook Land Conservancy, restriction of all brushing, clearing and/or grading such that none will be allowed during the breeding season of migratory bird and raptor species, and temporary and permanent fencing with permanent signs adjacent to the open space.

County staff has reviewed past, present, and probable future projects located within the Fallbrook area as listed in Section XVII(b), and has determined that the cumulative loss of 0.18-acre of southern riparian forest and 0.19-acre of coast live oak woodland is significant and will contribute to the cumulative overall loss of these habitats. However, this project is essentially an infill project that is surrounded by development, from which the biological resources of highest quality and connectivity will remain in perpetuity. This project's contribution to the cumulative habitat loss will be less than cumulatively considerable because the project will manage the onsite biological open space in perpetuity, create and enhance a minimum of 0.54-acre of southern riparian forest onsite, and acquire a minimum of 0.57-acre of coast live oak woodland or habitat of similar function and value within the Northern Foothill Eco-region to the satisfaction of the Director of PDS.

Therefore no significant impacts are proposed, either directly or through habitat modifications, to species identified as a candidate, sensitive, or special status species. With the proposed design elements and mitigation measures, adverse effects to potentially sensitive species and their habitats will be avoided or reduced such that the project is consistent with local or regional plans, policies, or regulations.

As considered by the GPU EIR, project impacts to sensitive habitat and/or species will be mitigated through ordinance compliance and through implementation of the following mitigation measures: preservation of 0.54-acre of southern riparian forest onsite, and acquire a minimum of 0.57-acre of coast live oak woodland or habitat of similar function and value within the Northern Foothill Eco-region and breeding season avoidance to prevent brushing, clearing, and/or grading between February 1 and August 31. The GPU EIR identified these mitigation measures as Bio 1.6 and Bio 1.7.

- 4(b) Based on County records, a staff field site visit, and the Biological Letter Report prepared by RC Biological Consulting (December 2008) and updated in a memorandum by Vincent Scheidt (November 10, 2010), the site contains riparian habitat (southern coast live oak riparian forest and southern riparian forest), in addition to coast live oak woodland, which is recognized as sensitive natural communities by the County, the California Department of Fish and Wildlife, and the US Fish and Wildlife Service.

The project proposes direct impacts from residential pads, private roads and driveways, associate infrastructure, and fire clearing. Ostrich Farms Creek crosses the property along the western boundary and has a north-south orientation. Open space is proposed over the creek with an upland component on each side of the drainage that are natural buffers. Since project access must cross Ostrich Farms Creek, a bridge is proposed. The bridge will be 64 feet wide, 52 feet long, and 10 feet high, and will impact approximately 0.18-acre of southern riparian forest non-native vegetation and disturbed land.

Mitigation for direct impacts to habitat will include the preservation of Ostrich Farms Creek onsite and associate habitat that consists of 0.42-acre of southern coast live oak riparian forest, 1.69 acres of southern riparian forest, 0.07-acre of coast live oak woodland, 0.49-acre of non-native vegetation, and 0.24-acre of disturbed land. A revegetation plan will also be implemented onsite for 0.54-acre of creation/enhancement (minimum of 0.18-acre creation) of the southern riparian forest within the proposed biological open space easement. Additional mitigation measures include: dedication of a limited building zone easement, temporary and permanent fences and permanent signs around the perimeter of the open space, biological monitoring during grading/clearing and bridge construction, and avoidance of the migratory birds and raptor breeding season. The project will also be conditioned to acquire wetland permits for the creek crossing.

As detailed in response a) above, project impacts to any riparian habitat or sensitive natural community identified in the County of San Diego Multiple Species Conservation Program, County of San Diego Resource Protection Ordinance, Natural Community Conservation Plan, Fish and Wildlife Code, Endangered Species Act, Clean Water Act, or any other local or regional plans, policies or regulations, are considered less than significant through the implementation of the conditions described above.

As considered by the GPU EIR, project impacts to sensitive habitat and/or species will be mitigated through ordinance compliance and through implementation of the following mitigation measures: preservation of 0.54-acre of southern riparian forest onsite, and acquire a minimum of 0.57-acre of coast live oak woodland or habitat of similar function and value within the Northern Foothill Eco-region and breeding season avoidance to prevent brushing, clearing, and/or grading between February 1 and August 31. The GPU EIR identified these mitigation measures as Bio 1.6 and Bio 1.7.

- 4(c) Based on County records, a staff field site visit, and a Biological Letter Report prepared by RC Biological Consulting (December 2008) and updated in a memorandum by Vincent Scheidt (November 10, 2010), it was determined that wetlands, defined by Section 404 of the Clean Water Act, are located along the western property boundary known as Ostrich Farms Creek. The onsite creek and buffer habitat is proposed to be placed within a biological open space easement to remain in perpetuity. A small portion, however, will be impacted as a result of a proposed bridge crossing to access the property. Creek crossing impacts will be mitigated for onsite at a 3:1 ratio. The 3:1 ratio includes the no net loss of wetlands with a 1:1 creation component and 2:1 enhancement component. In addition, a limited building zone would help prevent potential fire clearing around future habitable structures from entering into the proposed open space easement. Other conditions for the project include the placement of temporary and permanent fencing between the proposed project development and the existing open space. The project will be required to provide a copy of a Clean Water Act, Section 401/404 permit issued by the California Regional Water Quality Control Board and the U.S. Army Corps of Engineers for all project related disturbances to wetlands and /or waters of the U.S. A Streambed Alteration Agreement issued by the California Department of Fish and Wildlife for all project related disturbances of any streambed will also be required. In addition, biological monitoring of the construction of the bridge crossing, including all project related brushing, clearing, and/or grading adjacent to the proposed open space easement will be a condition of this project.
- 4(d) This project is not a part of an identified preserve assemblage within a planned area and is surrounded by existing residential development in the Community of Fallbrook. The project proposes direct impacts from residential pads, private roads and driveways, associate infrastructure, and fire clearing. The remaining areas that aren't proposed for development are will be placed in biological open space that will be part of a revegetation plan used as mitigation for the creek crossing. Since the property is surrounded by residential development, and is not part of a planned preserve, this property is not considered a regional wildlife corridor. Local wildlife corridors, however, do exist on the property within the local creek (Ostrich Farms Creek) located on the western portion of the property to remain as biological open space. Therefore wildlife will continue to utilize the local drainage onsite and impacts to wildlife corridors, including nursery sites will be less than significant with the mitigation described above incorporated into the project.
- 4(e) The project is not located in an approved Multiple Species Conservation Program (MSCP) nor is it located in Pre-approved Mitigation Areas (PAMA) under the draft North County MSCP. In addition, the project will not preclude connectivity between areas of high habitat value because the areas of the highest value will remain as onsite biological open space. In addition, the property is surrounded by existing residential development and is not located within or adjacent to a pre-determined habitat planning area. Refer to the attached Ordinance Compliance Checklist for further information on consistency with any adopted Habitat Conservation Plan, Natural Communities Conservation Plan, other approved local, regional or state habitat conservation plan, including, Habitat Management Plans (HMP) Special Area Management Plans (SAMP) or any other local policies or ordinances that protect biological resources including the MSCP, Biological Mitigation Ordinance, Resource Protection Ordinance (RPO), Habitat Loss Permit (HLP).

Conclusion

The project could result in potentially significant impacts to biological resources; however, further environmental analysis is not required because:

1. No peculiar impacts to the project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR will be applied to the project.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
5. Cultural Resources – Would the Project:			
a) Cause a substantial adverse change in the significance of a historical resource as defined in 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Directly or indirectly destroy a unique paleontological resource or site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

5(a) Based on an analysis of records and a survey of the property by County approved archaeologist, Brian F. Smith, it has been determined that the onsite 1908 and 1929 residences (including ancillary structures and features) are not historically significant. As such, impacts to the structures would not be significant. The results of the survey and evaluation are provided in a cultural resources report titled, *An Archaeological Assessment of the Pacifica Estates Project* (November 1, 2010), prepared by Brian F. Smith.

As considered by the GPU EIR, potential impacts to cultural resources will be mitigated through ordinance compliance and through conformance with the County's Cultural Resource Guidelines if resources are encountered. The GPU EIR identified these mitigation measures as Cul-1.1, CUL-1.6.

5(b) No archaeological resources were found on the property during the archaeological survey. The Native American Heritage Commission (NAHC) was contacted for a listing of Native American Tribes whose ancestral lands may be impacted by the project. The NAHC response indicated that no sacred sites, on record with the commission, were

present on the project property. Five Tribes were identified by the NAHC as groups that should be contacted. County staff contacted the five tribes and Pala was the only Tribe that responded with a request that archaeological monitoring be required. Regional coordination and consultation is identified in the GPU EIR as mitigation measures CUL-2.2, CUL-2.4, and CUL-2.6.

As considered by the GPU EIR, potential impacts to cultural resources will be mitigated through compliance with the Grading Ordinance and through conformance with the County's Cultural Resource Guidelines if resources are encountered. In addition, the project will be condition with archaeological monitoring (Cul-2.5) that includes the following:

- Pre-Construction
 - Pre-construction meeting to be attended by the Project Archaeologist and Luiseno Native American monitor to explain the monitoring requirements.
- Construction
 - Monitoring. Both the Project Archaeologist and Luiseno Native American monitor are to be onsite during earth disturbing activities. The frequency and location of monitoring of native soils will be determined by the Project Archaeologist in consultation with the Luiseno Native American monitor. Monitoring of previously disturbed soils will be determined by the Project Archaeologist in consultation with the Luiseno Native American monitor.
 - If cultural resources are identified:
 - Both the Project Archaeologist and Luiseno Native American monitor have the authority to divert or temporarily halt ground disturbance operations in the area of the discovery.
 - The Project Archaeologist shall contact the County Archaeologist.
 - The Project Archaeologist in consultation with the County Archaeologist and Luiseno Native American shall determine the significance of discovered resources.
 - Construction activities will be allowed to resume after the County Archaeologist has concurred with the significance evaluation.
 - Isolates and non-significant deposits shall be minimally documented in the field. Should the isolates and non-significant deposits not be collected by the Project Archaeologist, the Luiseno Native American monitor may collect the cultural material for transfer to a Tribal curation facility or repatriation program.
 - If cultural resources are determined to be significant, a Research Design and Data Recovery Program shall be prepared by the Project Archaeologist in consultation with the Luiseno Native American monitor and approved by the County Archaeologist. The program shall include reasonable efforts to preserve (avoid) unique cultural resources of Sacred Sites; the capping of identified Sacred Sites or unique cultural resources and placement of development over the cap if avoidance is infeasible; and data recovery for non-unique cultural resources. The preferred option is preservation (avoidance).

- Fill Soils – On-Site and Imported
 - All fill soils (on-site and imported) shall be evaluated to make the determination that they are clean of cultural resources.
 - Human Remains.
 - The Property Owner or their representative shall contact the County Coroner and the PDS Staff Archaeologist.
 - Upon identification of human remains, no further disturbance shall occur in the area of the find until the County Coroner has made the necessary findings as to origin.
 - If the remains are determined to be of Native American origin, the Most Likely Descendant (MLD), as identified by the Native American Heritage Commission (NAHC), shall be contacted by the Property Owner or their representative in order to determine proper treatment and disposition of the remains.
 - The immediate vicinity where the Native American human remains are located is not to be damaged or disturbed by further development activity until consultation with the MLD regarding their recommendations as required by Public Resources Code Section 5097.98 has been conducted.
 - Public Resources Code §5097.98, CEQA §15064.5 and Health & Safety Code §7050.5 shall be followed in the event that human remains are discovered.
 - Rough Grading
 - Upon completion of Rough Grading, a monitoring report shall be prepared identifying whether resources were encountered.
 - Final Grading
 - A final report shall be prepared substantiating that earth-disturbing activities are completed and whether cultural resources were encountered.
 - Disposition of Cultural Material.
 - The final report shall include evidence that all prehistoric materials have been curated at a San Diego curation facility or Tribal curation facility that meets federal standards per 36 CFR Part 79, or that the prehistoric materials have been repatriated to a Native American Tribe of appropriate cultural affinity.
 - The final report shall include evidence that all historic materials have been curated at a San Diego curation facility that meets federal standards per 36 CFR Part 79.
- 5(c) The site does not contain any unique geologic features that have been listed in the County's Guidelines for Determining Significance for Unique Geology Resources nor does the site support any known geologic characteristics that have the potential to support unique geologic features.
- 5(d) A review of the County's Paleontological Resources Maps and data on San Diego County's geologic formations indicates that the project is located on geological formations (sensitivity rating of zero) that do not contain unique paleontological resources.

As considered by the GPU EIR, potential impacts to paleontological resources will be mitigated through ordinance compliance and through conformance with the County's Cultural Resource Guidelines if resources are encountered. The GPU EIR identified these mitigation measures as Cul-3.1 and Cul-3.2.

5(e) Based on an analysis of records and archaeological surveys of the property, it has been determined that the project site does not include a formal cemetery or any archaeological resources that might contain interred human remains.

Conclusion

The project could result in potentially significant impacts to cultural resources; however, further environmental analysis is not required because:

1. No peculiar impacts to the project or its site have been identified.
2. There are no potentially significant off-site and/or cumulative impacts which were not discussed by the GPU EIR.
3. No substantial new information has been identified which results in an impact which is more severe than anticipated by the GPU EIR.
4. Feasible mitigation measures contained within the GPU EIR will be applied to the project.

6. Geology and Soils – Would the Project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving: rupture of a known earthquake fault, strong seismic ground shaking, seismic-related ground failure, liquefaction, and/or landslides?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Result in substantial soil erosion or the loss of topsoil?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in an on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Discussion

- 6(a)(i) The project is not located in a fault rupture hazard zone identified by the Alquist-Priolo Earthquake Fault Zoning Act, Special Publication 42, Revised 1997, Fault-Rupture Hazards Zones in California, or located within any other area with substantial evidence of a known fault.
- 6(a)(ii) To ensure the structural integrity of all buildings and structures, the project must conform to the Seismic Requirements as outlined within the California Building Code. Compliance with the California Building Code and the County Building Code will ensure that the project will not result in a significant impact.
- 6(a)(iii) The western portion of the project site is within a "Potential Liquefaction Area" as identified in the County Guidelines for Determining Significance for Geologic Hazards. In addition, the western portion of the site is located within a floodplain. However, the project is designed to place this area within a biological open space easement and/or Limited Building Zone (LBZ). Therefore, the proposed residential properties would not be affected.
- 6(a)(iv) The site is not located within a "Landslide Susceptibility Area" as identified in the County Guidelines for Determining Significance for Geologic Hazards.
- 6(b) According to the Soil Survey of San Diego County, the majority of the soils on-site is identified as Fallbrook sandy loam and Placentia sandy loam. Soils along the western portion and in the floodway are mainly Tujunga sand and Vista coarse sandy loam. The Fallbrook sandy loam and Placentia sandy loam have a soil erodibility rating of Moderate and High, respectively. Tujunga sand and Vista coarse sandy loam have a soil erodibility rating of low.

However, the project will not result in substantial soil erosion or the loss of topsoil for the following reasons:

- The project has prepared a Stormwater Management Plan dated March 2015 and prepared by RBF Consulting. The plan includes the following Best Management Practices to ensure sediment does not erode from the project site: preserve significant trees, floodplains, steep slopes, and wetland; design on-site storm drain inlets, self-retaining landscape areas, rural swales, permeable pavements, and rip rap.

Furthermore, the project will not result in substantial soil erosion or the loss of topsoil because the project will be required to comply with the Watershed Protection Ordinance (WPO) and Grading Ordinance which will ensure that the project would not result in any unprotected erodible soils, will not alter existing drainage patterns, and will not develop steep slopes. Additionally, the project will be required to implement Best Management Practices (BMPs) to prevent fugitive sediment.

- 6(c) The project is not located on or near geological formations that are unstable or would potentially become unstable as a result of the project. Based on the topography and geologic environment, the site has a low potential for landslides. Therefore, there will be no potentially significant impact from the exposure of people or structures to adverse effects from landslides.

- 6(d) The project is underlain by Placentia sandy loam (PeC), Fallbrook sandy loam (FaD2) and Ramona sandy loam (RaB), which is considered to be an expansive soil as defined within Table 18-I-B of the Uniform Building Code (1994). However, the project will not result in a significant impact because compliance with the Building Code and implementation of standard engineering techniques will ensure structural safety.
- 6(e) The project will rely on public water and sewer for the disposal of wastewater. No septic tanks or alternative wastewater disposal systems are proposed.

Conclusion

As discussed above, the project would not result in any significant impacts to/from geology/soils; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
7. Greenhouse Gas Emissions – Would the Project:			
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

7(a) The project would produce GHG emissions through construction activities, vehicle trips, and residential fuel combustion. However, the project falls below the screening criteria that were developed to identify project types and sizes that would have less-than-cumulatively considerable GHG emissions (i.e., the project would result in less than 50 single-family residential units).

The San Diego County Recommended Approach for Addressing Climate Change (2015), uses screening thresholds for determining the need for additional analysis. Screening thresholds are recommended based on various land use densities and project types. Projects that meet or fall below the screening thresholds are expected to result in 900 MT/year of GHG emissions or less and would not require additional analysis. The 50 unit standard for single-family residential land use would apply to the proposed project.

The project proposed the development of 21 single-family residential units on 17. Acres, and therefore would therefore fall below the screening criteria of 50 units. For projects of this size, it is presumed that the construction and operational GHG emissions would not exceed 900 MT CO2e per year, and there would be a less-than cumulatively considerable impact. This assumes that the project does not involve unusually extensive construction and does not involve operational characteristics that would generate unusually high GHG emissions.

7(b) As described above, the project would not result in a cumulatively considerable contribution to global climate change. As such, the project would be consistent with County goals and policies included in the County General Plan that address greenhouse

gas reductions. Therefore, the project would be consistent with emissions reduction targets of Assembly Bill 32, the Global Warming Solutions Act. Thus, the project would not conflict with any applicable plan, policy or regulation adopted for the purpose of reducing emissions of greenhouse gas emissions.

Conclusion

As discussed above, the project would not result in any significant impacts to greenhouse gas emissions; therefore, the project would not result in an impact which was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
8. Hazards and Hazardous Materials – Would the Project:			
a) Create a significant hazard to the public or the environment through the routine transport, storage, use, or disposal of hazardous materials or wastes or through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5, or is otherwise known to have been subject to a release of hazardous substances and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

h) Propose a use, or place residents adjacent to an existing or reasonably foreseeable use that would substantially increase current or future resident's exposure to vectors, including mosquitoes, rats or flies, which are capable of transmitting significant public health diseases or nuisances?

Discussion

8(a) The project will not create a significant hazard to the public or the environment because it does not propose the storage, use, transport, emission, or disposal of Hazardous Substances, nor are Hazardous Substances proposed or currently in use in the immediate vicinity.

The project proposes to demolish two residences on site, that were constructed prior to 1980 and that may contain Lead Based Paint (LBP) and Asbestos Containing Materials (ACMs). Lead is a highly toxic metal that was used up until 1978 in paint used on walls, woodwork, siding, windows and doors. Lead containing materials shall be managed by applicable regulations including, at a minimum, the hazardous waste disposal requirements (Title 22 CCR Division 4.5, the worker health and safety requirements (Title 8 CCR Section 1532.1) and the State Lead Accreditation, Certification, and Work Practice Requirements (Title 17 CCR Division 1, Chapter 8). Asbestos was used extensively from the 1940's until the late 1970's in the construction industry for fireproofing, thermal and acoustic insulation, condensation control, and decoration. The USEPA has determined that there is no "safe" exposure level to asbestos. It is therefore highly regulated by the USEPA, CalEPA, and the CalOSHA. Demolition or renovation operations that involve asbestos-containing materials must conform to San Diego Air Pollution Control District (SDAPCD) Rules 361.140-361.156. In accordance with existing regulations, the project will be required to complete asbestos and lead surveys to determine the presence or absence of ACMs or LBP prior to issuance of a building permit that includes demolition of onsite structures and prior to commencement of demolition or renovation activities.

The project site contains the potential for contamination from historic agriculture. The project has been conditioned to complete a Phase I and Limited Phase II Environmental Site Assessment (ESA) prior to the approval of any grading or improvement plans. If the results of the ESA's determine that site remediation is required, it shall be performed under the oversight of the registered engineer or professional geologist and the DEH Voluntary Assistance Program (VAP).

8(b) Although the project is located within one-quarter mile of the Fallbrook High School, the project itself would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste. The project site does, however, contain the historic agriculture, which has the potential for contamination. The project has been conditioned to complete a Phase I and Limited Phase II Environmental Site Assessment (ESA) prior to the approval of any grading or improvement plans. If the results of the ESA's determine that site remediation is required, it shall be performed under the oversight of the registered engineer or professional geologist and the DEH Voluntary Assistance Program (VAP).

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- 8(c) Based on a site visit and a comprehensive review of regulatory databases, the project site has not been subject to a release of hazardous substances. Additionally, the project does not propose structures for human occupancy or significant linear excavation within 1,000 feet of an open, abandoned, or closed landfill, is not located on or within 250 feet of the boundary of a parcel identified as containing burn ash (from the historic burning of trash), and is not on or within 1,000 feet of a Formerly Used Defense Site.
- 8(d) The proposed project is a 21 lot residential subdivision that is located within Review Area 1, Safety Zone 6 of the Airport Land Use Compatibility Plan (ALUCP) for the Fallbrook Community Airpark. The San Diego County Regional Airport Authority determined that the project would be compatible with the Fallbrook Community Airpark ALUCP on November 4, 2010, for the following reasons: residential uses are considered compatible uses within Safety Zone 6; the project is located outside of the 60 decibel CNEL noise contour for the airport, and per the ALUCP residential uses outside this contour are compatible with airport uses; the project would comply with the ALUCP airspace protection surfaces because potential heights of future structures would not require an obstruction evaluation from the Federal Aviation Administration (FAA); and the project would be conditioned to require the recordation of an overflight notification to all future lot owners.

In addition to the project's consistency with the Fallbrook Community Airpark ALUCP, the proposed project would not involve any distracting visual hazards, including but not limited to, distracting lights, glare, sources of smoke or other obstacles, or an electronic hazard that would interfere with aircraft instruments or radio communications. The project is a residential subdivision that would not involve construction of any structure equal to or greater than 150 feet in height, thereby resulting in the creation of a safety hazard to aircraft and/or operations from an airport or heliport. Further, the project is not located within any Federal Aviation Administration Height Notification Zone, nor does it include any artificial bird attractor, including but not limited to reservoirs, golf courses with water hazards, large detention and retention basins, wetlands, landscaping with water features, wildlife refuges, or agriculture. Therefore, the project would not constitute a safety hazard for people residing or working in the project area.

- 8(e) The proposed project is not within one mile of a private airstrip. As a result, the project will not constitute a safety hazard for people residing or working in the project area.
- 8(f)(i) OPERATIONAL AREA EMERGENCY PLAN AND MULTI-JURISDICTIONAL HAZARD MITIGATION PLAN: The project will not interfere with this plan because it will not prohibit subsequent plans from being established or prevent the goals and objectives of existing plans from being carried out.
- 8(f)(ii) SAN DIEGO COUNTY NUCLEAR POWER STATION EMERGENCY RESPONSE PLAN: The property is not within the San Onofre emergency planning zone.
- 8(f)(iii) OIL SPILL CONTINGENCY ELEMENT: The project is not located along the coastal zone.
- 8(f)(iv) EMERGENCY WATER CONTINGENCIES ANNEX AND ENERGY SHORTAGE RESPONSE PLAN: The project would not alter major water or energy supply infrastructure which could interfere with the plan.
- 8f)(v) DAM EVACUATION PLAN: The project is not located within a dam inundation zone.

- 6(g) The proposed project is completely surrounded by urbanized areas, and/or irrigated lands and there are no adjacent wildland areas. A Fire Service Availability dated August 10, 2006 was received from the North County Fire Protection District. An updated letter dated February 25, 2015 from the North County Fire Protection District listed required conditions. The conditions from the North County Fire Protection District include: entry and secondary access, road improvements, water supply, and fire clearing. The Fire Service Availability Letter indicates the expected emergency travel time to the project site to be 5 minutes. The Maximum Travel Time allowed pursuant to the County Public Facilities Element is 5 minutes. Therefore, based on the location of the project; review of the project by County staff; and through compliance with the North County Fire Protection District's conditions, it is not anticipated that the project will expose people or structures to a significant risk of loss, injury or death involving hazardous wildland fires.
- 6(h) The project does not involve or support uses that would allow water to stand for a period of 72 hours or more (e.g. artificial lakes, agricultural ponds). Also, the project does not involve or support uses that will produce or collect animal waste, such as equestrian facilities, agricultural operations (chicken coops, dairies etc.), solid waste facility or other similar uses. Moreover, based on a site visit conducted by County staff, there are none of these uses on adjacent properties.

Conclusion

As discussed above, the project would not result in any significant impacts to/from hazards/hazardous materials; therefore, the project would not result in an impact which was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
9. Hydrology and Water Quality – Would the Project:			
a) Violate any waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Is the project tributary to an already impaired water body, as listed on the Clean Water Act Section 303(d) list? If so, could the project result in an increase in any pollutant for which the water body is already impaired?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Could the proposed project cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Substantially alter the existing drainage pattern of the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?

f) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

g) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems?

h) Provide substantial additional sources of polluted runoff?

i) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map, including County Floodplain Maps?

j) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

k) Expose people or structures to a significant risk of loss, injury or death involving flooding?

l) Expose people or structures to a significant risk of loss, injury or death involving flooding as a result of the failure of a levee or dam?

m) Inundation by seiche, tsunami, or mudflow?

Discussion

9(a) The project will require a NPDES General Permit for Discharges of Storm Water Associated with Construction Activities. The project applicant has provided a Stormwater Management Plan (SWMP) which demonstrates that the project will comply with all requirements of the WPO. The project will be required to implement site design measures, source control BMPs, and/or treatment control BMPs to reduce potential pollutants to the maximum extent practicable. These measures will enable the project to meet waste discharge requirements as required by the San Diego Municipal Permit, as implemented by the San Diego County Jurisdictional Urban Runoff Management Program (JURMP) and Standard Urban Storm Water Mitigation Plan (SUSMP).

9(b) The project lies in the Bonsall (903.12) hydrologic subareas, within the San Luis Rey hydrologic unit. According to the Clean Water Act Section 303(d) list, a portion of this watershed at the Pacific Ocean Shoreline, San Luis Rey River, and Keys Creek are impaired for enterococcus, coliform, nitrogen, phosphorus, and fecal coliform. Constituents of concern in the above watersheds include coliform bacteria, nutrients, sediment, lowered dissolve oxygen, and trace metals. The project could contribute to release of these pollutants; however, the project will comply with the WPO and

implement site design measures, source control BMPs, and treatment control BMPs to prevent a significant increase of pollutants to receiving waters.

The project proposes the following activities that are associated with these pollutants: grading and construction. However, the following site design measures and/or source control BMPs and/or treatment control BMPs will be employed such that potential pollutants will be reduced in any runoff to the maximum extent practicable so as not to increase the level of these pollutants in receiving waters: preserve significant trees, floodplains, steep slopes, and wetland; design on-site storm drain inlets, self-retaining landscape areas, rural swales, permeable pavements, and two settling basins.

The proposed BMPs are consistent with regional surface water and storm water planning and permitting process that has been established to improve the overall water quality in County watersheds. As a result the project will not contribute to a cumulative impact to an already impaired water body, as listed on the Clean Water Act Section 303(d). Regional surface water and storm water permitting regulation for County of San Diego, Incorporated Cities of San Diego County, and San Diego Unified Port District includes the following: Order 2001-01 (NPDES No. CAS 0108758), adopted by the San Diego Region RWQCB on February 21, 2001; County Watershed Protection, Storm Water Management, and Discharge Control Ordinance (WPO) (Ord. No. 9424); County Storm water Standards Manual adopted on February 20, 2002, and amended January 10, 2003 (Ordinance No. 9426). The stated purposes of these ordinances are to protect the health, safety and general welfare of the County of San Diego residents; to protect water resources and to improve water quality; to cause the use of management practices by the County and its citizens that will reduce the adverse effects of polluted runoff discharges on waters of the state; to secure benefits from the use of storm water as a resource; and to ensure the County is compliant with applicable state and federal laws. Ordinance No. 9424 (WPO) has discharge prohibitions, and requirements that vary depending on type of land use activity and location in the County. Ordinance No. 9426 is Appendix A of Ordinance No. 9424 (WPO) and sets out in more detail, by project category, what Dischargers must do to comply with the Ordinance and to receive permits for projects and activities that are subject to the Ordinance. Collectively, these regulations establish standards for projects to follow which intend to improve water quality from headwaters to the deltas of each watershed in the County. Each project subject to WPO is required to prepare a Stormwater Management Plan that details a project's pollutant discharge contribution to a given watershed and propose BMPs or design measures to mitigate any impacts that may occur in the watershed.

- 9(c) As stated in responses 9(a) and 9(b) above, implementation of BMPs and compliance with required ordinances will ensure that project impacts are less than significant.
- 9(d) The project will obtain its water supply from the Fallbrook Public Utilities Water District which obtains water from surface reservoirs or other imported sources. The project will not use any groundwater. In addition, the project does not involve operations that would interfere substantially with groundwater recharge.
- 9(e) The project proposes 21 residential lot subdivision. As outlined in the Storm water Management Plan (SWMP) dated March 2015 and prepared by RBF Consulting, the project will implement the following site design measures, source control, and/or treatment control BMP's to reduce potential pollutants, including sediment from erosion or siltation, to the maximum extent practicable from entering storm water runoff: Bioretention areas, vegetated swales, permeable pavements and rip-raps. These

measures will control erosion and sedimentation and satisfy waste discharge requirements as required by the Land-Use Planning for New Development and Redevelopment Component of the San Diego Municipal Permit (SDRWQCB Order No. R9-2007-0001), as implemented by the San Diego County Jurisdictional Urban Runoff Management Program (JURMP) and Standard Urban Storm Water Mitigation Plan (SUSMP). The SWMP specifies and describes the implementation process of all BMP's that will address equipment operation and materials management, prevent the erosion process from occurring, and prevent sedimentation in any onsite and downstream drainage swales. The Department of Public Works will ensure that the Plan is implemented as proposed. Due to these factors, it has been found that the project will not result in significantly increased erosion or sedimentation potential and will not alter any drainage patterns of the site or area on- or off-site. In addition, because erosion and sedimentation will be controlled within the boundaries of the project, the project will not contribute to a cumulatively considerable impact. For further information on soil erosion refer to VI., Geology and Soils, Question b.

- 9(f) The proposed project will not significantly alter established drainage patterns or significantly increase the amount of runoff for the following reasons, based on a Drainage Study prepared by RBF Consulting on March 2015: Drainage will be conveyed to either natural drainage channels or approved drainage facilities.

Therefore, the project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site. Moreover, the project will not contribute to a cumulatively considerable alteration or a drainage pattern or increase in the rate or amount of runoff, because the project will not substantially increase water surface elevation or runoff exiting the site, as detailed above.

- 9(g) The project does not propose to create or contribute runoff water that would exceed the capacity of existing or planned storm water drainage systems.
- 9(h) The project has the potential to generate pollutants; however, site design measures, source control BMPs, and treatment control BMPs will be employed such that potential pollutants will be reduced to the maximum extent practicable.
- 9(i) Drainage swales, which are mapped on a County Floodplain Map were identified on the project site. However, the project is not proposing to place structures with a potential for human occupation within these areas and will not place access roads or other improvements which will limit access during flood events or affect downstream properties.
- 9(j) The project site contains drainage swales, which are identified as being 100-year flood hazard areas. However, the project is not proposing to place structures, access roads or other improvements which will impede or redirect flood flows in these areas.
- 9(k) The project lies within a special flood hazard area as identified on the County Flood Plain Map. However, the project is located at an elevation that would prevent exposure of people or property to flooding. In addition the CEQA Drainage Study submitted to the Department of Public Works identified no erosion or sedimentation hazards that would result in a potential flooding hazard.

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9(l) The project site lies outside a mapped dam inundation area for a major dam/reservoir within San Diego County. In addition, the project is not located immediately downstream of a minor dam that could potentially flood the property.

9(m)(i) SEICHE: The project site is not located along the shoreline of a lake or reservoir.

9(m)(ii) TSUNAMI: The project site is not located in a tsunami hazard zone.

9(m)(iii) MUDFLOW: Mudflow is type of landslide. See response to question 6(a)(iv).

Conclusion

As discussed above, the project would not result in any significant impacts to/from hydrology/water quality; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
10. Land Use and Planning – Would the Project:			
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

10(a) The project does not propose the introduction of new infrastructure such as major roadways, water supply systems, or utilities to the area.

10(b) The project would not conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect, including policies of the General Plan and Community Plan.

The only access available to this project is via South Mission Road between Stagecoach Road (to the south) and Pepper Tree Drive (to the north). To limit community disruption and to reduce both noise pollution and traffic congestion, the project's access road will only allow right-in, right-out access, will add a left turn lane at the Fallbrook Airpark access road along with a traffic light in which motorists would need to utilize the existing left turn lane at Airpark and South Mission Road and make a u-turn.

Conclusion

As discussed above, the project would not result in any significant impacts to land use/planning; therefore, the project would not result in an impact which was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
11. Mineral Resources – Would the Project:			

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a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

11(a) The project site has been classified by the California Department of Conservation – Division of Mines and Geology as an area of undetermined mineral resources (MRZ-3). However, the project site is surrounded by residential uses which are incompatible to future extraction of mineral resources on the project site. A future mining operation at the project site would likely create a significant impact to neighboring properties for issues such as noise, air quality, traffic, and possibly other impacts. Therefore, the project will not result in the loss of a known mineral resource because the resource has already been lost due to incompatible land uses.

11(b) The project site is not located in an Extractive Use Zone (S-82), nor does it have an Impact Sensitive Land Use Designation (24) with an Extractive Land Use Overlay (25).

Conclusion

As discussed above, the project would not result in any significant impacts to mineral resources; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
12. Noise – Would the Project:			
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

Discussion

12(a) The project will not expose people to potentially significant noise levels that exceed the allowable limits of the General Plan, Noise Ordinance, or other applicable standards for the following reasons:

General Plan – Noise Element: Tables N-1 and N-2 addresses noise sensitive areas and requires projects to comply with a Community Noise Equivalent Level (CNEL) of 60 decibels (dBA). Projects which could produce noise in excess of 60 dB(A) are required to incorporate design measures or mitigation as necessary to comply with the Noise Element.

Primary noise sources associated with the project subdivision are from future traffic traveling on Stage Coach Lane and Mission Road. Future traffic noise impacts will be as high as 60 dBA CNEL at ground level exterior noise sensitive land uses on Lot 21. No noise mitigation is required to ground level exterior noise sensitive receptors. Noise levels at the second floors of all lots were found to comply with the 60 dBA CNEL requirement, therefore interior mitigation for these is not required to achieve an interior noise level requirement of 45 dBA. Project site is located approximately ½ mile from the Fallbrook Community Airpark. An exhibit within the noise report in Appendix F is an illustration showing the Fallbrook Community Airpark noise contours that is located away from the project subdivision. Therefore, the project will not expose people to potentially significant noise levels that exceed the allowable limits of the County of San Diego General Plan, Noise Element.

Noise Ordinance – Section 36-404: Non-transportation noise generated by the project is not expected to exceed the standards of the Noise Ordinance at or beyond the project’s property line. The project does not involve any noise producing equipment that would exceed applicable noise levels at the adjoining property line.

Noise Ordinance – Sections 36-409 and 36-410: The project will not generate construction noise in excess of Noise Ordinance standards. Construction operations will occur only during permitted hours of operation. Also, it is not anticipated that the project will operate construction equipment in excess of an average sound level of 75dB between the hours of 7 AM and 7 PM.

12(b) The project proposes residences where low ambient vibration is essential for interior operation and/or sleeping conditions. However, the facilities are typically setback more than 50 feet from any County Circulation Element (CE) roadway using rubber-tired vehicles with projected groundborne noise or vibration contours of 38 VdB or less; any property line for parcels zoned industrial or extractive use; or any permitted extractive uses. A setback of 50 feet from the roadway centerline for heavy-duty truck activities would insure that these proposed uses or operations do not have any chance of being impacted significantly by groundborne vibration or groundborne noise levels (Harris, Miller Miller and Hanson Inc., *Transit Noise and Vibration Impact Assessment* 1995, Rudy Hendriks, *Transportation Related Earthborne Vibrations* 2002). This setback insures that this project site will not be affected by any future projects that may support

sources of groundborne vibration or groundborne noise related to the adjacent roadways.

- 12(c) As indicated in the response listed under Section 12(a), the project would not expose existing or planned noise sensitive areas in the vicinity to a substantial permanent increase in noise levels that exceed the allowable limits of any applicable noise standards. Also, the project is not expected to expose existing or planned noise sensitive areas to direct and cumulative noise impacts over existing ambient noise levels.
- 12(d) The project does not involve any operational uses that may create substantial temporary or periodic increases in ambient noise levels in the project vicinity. Also, general construction noise is not expected to exceed the construction noise limits of the Noise Ordinance. Construction operations will occur only during permitted hours of operation. Also, the project will not operate construction equipment in excess of 75 dB for more than an 8 hours during a 24 hour period.
- 12(e) The proposed project is located within approximately 2 miles of a public airport or public use airport. However, the project implementation is not expected to expose people residing or working in the project area to excessive noise levels in excess of the CNEL 60 dB(A). This is based on staff's review of projected County noise contour maps (CNEL 60 dB(A) contours) and a Noise Analysis prepared by Urban Crossroads dated November 1, 2010. The location of the project is outside of the CNEL 60 dB(A) contours maps illustrated in Appendix F within the noise report. In addition, based on the list of past, present and future projects there are no new or expanded public airports projects in the vicinity that may extend the boundaries of the CNEL 60 dB noise contour or CLUP. Refer to XVII. Mandatory Findings of Significance for a comprehensive list of the projects considered. Therefore, the project will not expose people residing or working in the project area to excessive airport-related noise on a project or cumulative level.
- 12(f) The project is not located within a one-mile vicinity of a private airstrip.

Conclusion

As discussed above, the project would not result in any significant impacts to/from noise; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
13. Population and Housing – Would the Project:			
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

Discussion

13(a) The project will not induce substantial population growth in an area because the project does not propose any physical or regulatory change that would remove a restriction to or encourage population growth in an area.

13(b) The project will not displace existing housing.

13(c) The property currently has two single family residences, one which is abandoned, and several sheds and a garage/carport, all of which are to be demolished. This residential development would displace one existing residence. Potentially a total of 21 single-family dwellings will exist when the lots are developed. Therefore, the proposed project will not displace a substantial number of people

Conclusion

As discussed above, the project would not result in any significant impacts to populations/housing; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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14. Public Services – Would the Project:

a) Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance service ratios for fire protection, police protection, schools, parks, or other public facilities?

Discussion

14(a) Based on the project’s service availability forms, the project would not result in the need for significantly altered services or facilities.

Conclusion

As discussed above, the project would not result in any significant impacts to public services; therefore, the project would not result in an impact which was not adequately evaluated by the GPU EIR.

Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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15. Recreation – Would the Project:

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

Discussion

15(a) The project would incrementally increase the use of existing parks and other recreational facilities; however, the project will be required to pay fees or dedicate land for local parks pursuant to the Park Land Dedication Ordinance.

15(b) The project does not include trails and/or pathways.

Conclusion

As discussed above, the project would not result in any significant impacts to recreation; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
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16. Transportation and Traffic – Would the Project:

a) Conflict with an applicable plan, ordinance or policy establishing measures of the effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

e) Result in inadequate emergency access?

f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

Discussion

- 16(a) The County of San Diego Guidelines for Determining Significance for Traffic and Transportation (Guidelines) establish measures of effectiveness for the performance of the circulation system. These Guidelines incorporate standards from the County of San Diego Public Road Standards and Public Facilities Element (PFE), the County of San Diego Transportation Impact Fee Program and the Congestion Management Program.

A Traffic Impact Study, dated February 23, 2015, prepared by RBF Consulting was completed for the proposed project. The Traffic Impact Study identified that the proposed project will result in an additional 210 ADT. The project trips will be distributed to South Mission Road, Stage Coach Lane, and Olive Hill Road. However, it was found that the project will not have a direct impact related to a conflict with any performance measures establishing measures of effectiveness of the circulation system because the project trips do not exceed any of the County's Guidelines for Determining Significance for determining significant direct impacts. As identified in the County's Guidelines for Determining Significance for Traffic and Transportation, the project trips would not result in a substantial increase in the number of vehicle trips, volume of capacity ratio on roads, or congestion at intersections in relation to existing conditions. In addition, the project would not conflict with policies related to non-motorized travel such as mass transit, pedestrian or bicycle facilities. Therefore, the project would not have a direct impact related to a conflict with policies establishing measures of the effectiveness for the performance of the circulation system.

The proposed project generates 210 ADT. These trips will be distributed on mobility element roadways in the County some of which currently or are projected to operate at inadequate levels of service. The County of San Diego has developed an overall programmatic solution that addresses existing and projected future road deficiencies in the unincorporated portion of San Diego County. The TIF program creates a mechanism to proportionally fund improvements to roadways necessary to mitigate potential cumulative impacts caused by traffic from future development. These new projects were based on SANDAG regional growth and land use forecasts, the SANDAG Regional Transportation Model was utilized to analyze projected build-out (year 2030) development conditions on the existing mobility element roadway network throughout the unincorporated area of the County. Based on the results of the traffic modeling, funding necessary to construct transportation facilities that will mitigate cumulative impacts from new development was identified. Existing roadway deficiencies will be corrected through improvement projects funded by other public funding sources, such as TransNet, gas tax, and grants. Potential cumulative impacts to the region's freeways have been addressed in SANDAG's Regional Transportation Plan (RTP). This plan, which considers freeway buildout over the next 30 years, will use funds from TransNet, State, and Federal funding to improve freeways to projected level of service objectives in the RTP.

These project trips therefore contribute to a potential significant cumulative impact and mitigation is required. The potential growth represented by this project was included in the growth projections upon which the TIF program is based. By ensuring TIF funds are spend for the specific roadway improvements identified in the TIF Program, the CEQA mitigation requirement is satisfied and the Mitigation Fee nexus is met. Therefore, payment of the TIF, which will be required at issuance of building permits, in combination

with other components of the program described above, will mitigate potential cumulative traffic impacts to less than significant.

- 16(b) The designated congestion management agency for the San Diego region is SANDAG. SANDAG is responsible for preparing the Regional Transportation Plan (RTP) of which the Congestion Management Program (CMP) is an element to monitor transportation system performance, develop programs to address near- and long-term congestion, and better integrate land use and transportation planning decisions. The CMP includes a requirement for enhanced CEQA review applicable to certain large developments that generate an equivalent of 2,400 or more average daily vehicle trips or 200 or more peak hour vehicle trips. These large projects must complete a traffic analysis that identifies the project's impacts on CMP system roadways, their associated costs, and identify appropriate mitigation. Early project coordination with affected public agencies, the Metropolitan Transit System (MTS) and the North County Transit District (NCTD) is required to ensure that the impacts of new development on CMP transit performance measures are identified.

The project proposes an increase of 210 ADTs. The additional 210 ADTs from the proposed project do not exceed the 2400 trips (or 200 peak hour trips) required for study under the region's Congestion Management Program. Additionally, the project does not involve construction of any new buildings, nor does it propose a new primary use. The additional access or support structures will not generate ADTs on a daily basis. Therefore the project will not conflict with travel demand measures or other standards of the congestion management agency.

- 16(c) The main compatibility concerns for the protection of airport airspace are related to airspace obstructions (building height, antennas, etc.) and hazards to flight (wildlife attractants, distracting lighting or glare, etc.). The project is a residential subdivision and is located within Safety Zone 6 for the Fallbrook Community Airpark. The proposed residential land use is consistent with the allowable land uses identified for Safety Zone 6 within the Fallbrook Community Airpark ALUCP; therefore, the project would not result in a change in air traffic patterns because the allowable land uses within airport safety zones are created for the purpose of ensuring ongoing airport safety, including maintenance of air traffic patterns. Furthermore, the project would not exceed the FAR Part 77 criteria related to airspace obstructions. Therefore, the proposed project would not have a significant impact on air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.
- 16(d) The proposed project will not significantly alter roadway geometry on South Mission Road. A safe and adequate sight distance shall be required at all driveways and intersections to the satisfaction of the Director of the PDS. All road improvements will be constructed according to the County of San Diego Public and Private Road Standards. The proposed project will not place incompatible uses (e.g., farm equipment) on existing roadways. Therefore, the proposed project will not significantly increase hazards due to design features or incompatible uses.
- 16(e) The Fallbrook Fire Protection District and the San Diego County Fire Authority have reviewed the project and its Fire Protection Plan and have determined that there is adequate emergency fire access.
- 16(f) The proposed project is 21 residential lot subdivision and will generate 210 ADT. Project implementation will not result in the construction of any road improvements or new road

design features that would interfere with the provision of public transit, bicycle or pedestrian facilities. In addition, the project does not generate sufficient travel demand to increase demand for transit, pedestrian or bicycle facilities. Therefore, the project will not conflict with policies, plans, or programs regarding public transit, bicycle or pedestrian facilities, or otherwise decrease the performance or safety of such facilities.

Conclusion

As discussed above, the project would not result in any significant impacts to transportation/traffic; therefore, the project would not result in an impact that was not adequately evaluated by the GPU EIR.

	Significant Project Impact	Impact not identified by GPU EIR	Substantial New Information
17. Utilities and Service Systems – Would the Project:			
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion

17(a) The project would discharge domestic waste to a community sewer system that is permitted to operate by the Regional Water Quality Control Board (RWQCB). A project facility availability form has been received from the Fallbrook Public Utilities District that indicates that there is adequate capacity to serve the project.

The following conditions are required by the FPUD: additional 1500 feet of pipeline. Therefore, because the project will be discharging wastewater to a RWQCB permitted

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community sewer system and will be required to satisfy the conditions listed above, the project is consistent with the wastewater treatment requirements of the RWQCB, including the Regional Basin Plan.

- 17(b) The project involves new water and wastewater pipeline extensions. However, these extensions will not result in additional adverse physical effects beyond those already identified in other sections of this environmental analysis.
- 17(c) The project involves new storm water drainage facilities. However, these extensions will not result in additional adverse physical effects beyond those already identified in other sections of this environmental analysis.
- 17(d) A Service Availability Letter from the Fallbrook Public Utilities District has been provided which indicates that there is adequate water to serve the project.
- 17(e) A Service Availability Letter from the Fallbrook Public Utilities District has been provided, which indicates that there is adequate wastewater capacity to serve the project.
- 17(f) All solid waste facilities, including landfills require solid waste facility permits to operate. There are five permitted active landfills in San Diego County with remaining capacity to adequately serve the project.
- 17(g) The project will deposit all solid waste at a permitted solid waste facility.

Conclusion

As discussed above, the project would not result in any significant impacts to utilities and service systems; therefore, the project would not result in an impact which was not adequately evaluated by the GPU EIR.

Attachments:

Appendix A – References

Appendix B – Summary of Determinations and Mitigation within the Final Environmental Impact Report, County of San Diego General Plan Update, SCH # 2002111067

Appendix A

The following is a list of project specific technical studies used to support the analysis of each potential environmental effect:

Brian F. Smith & Associates, Sara Clowery-Moreno, (November 1, 2010), Archaeological Assessment
Urban Crossroads, Haseeb Qureshi and Aric Evatt, (November 1, 2010), Air Quality
Vincent N. Scheidt, Biologist, (November 10, 2010), Biological Resources Map and Report
Urban Crossroads, Jeremy Loudon and Allison Stalker, (October 3, 2008), Noise Study
RBF Consulting, Jay H. Sullivan, (March 2015), Major Stormwater Management Plan
RBF Consulting, Tim Thiele, (June 2014), Hydromodification Mitigation Study
RBF Consulting, Jay H. Sullivan, (March 2015), Preliminary Drainage Study
RBF Consulting, Dawn Wilson, (February 23, 2015), Traffic Impact Study

For a complete list of technical studies, references, and significance guidelines used to support the analysis of the General Plan Update Final Certified Program EIR, dated August 3, 2011, please visit the County's website at:

[http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_5.00 -
References 2011.pdf](http://www.sdcounty.ca.gov/PDS/gpupdate/docs/BOS_Aug2011/EIR/FEIR_5.00_-_References_2011.pdf)

Appendix B

A Summary of Determinations and Mitigation within the Final Environmental Impact Report, County of San Diego General Plan Update, SCH # 2002111067 is available on the Planning and Development Services website at:

http://www.sdcounty.ca.gov/pds/gpupdate/GPU_FEIR_Summary_15183_Reference.pdf

**REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH
ORDINANCES/POLICIES**

FOR PURPOSES OF CONSIDERATION OF

**PDS2006-3100-5510 (TM), Log No. PDS2006-3910-06-02-023 (ER)
Pacifica Estates Tentative Map**

April 22, 2016

I. HABITAT LOSS PERMIT ORDINANCE – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES

NO

NOT APPLICABLE/EXEMPT

While the proposed project and off-site improvements are located outside of the boundaries of the Multiple Species Conservation Program, the project site and locations of any off-site improvements do not contain habitats subject to the Habitat Loss Permit/Coastal Sage Scrub Ordinance. Therefore, conformance to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings is not required.

II. MSCP/BMO - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES

NO

NOT APPLICABLE/EXEMPT

The proposed project and any off-site improvements related to the proposed project are located outside of the boundaries of the Multiple Species Conservation Program. Therefore, conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance is not required.

III. GROUNDWATER ORDINANCE - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES

NO

NOT APPLICABLE/EXEMPT

The project will obtain its water supply from the Fallbrook Public Utilities Water District which obtains water from surface reservoirs and/or imported sources. The project may use groundwater for irrigation, but not domestic supply.

IV. RESOURCE PROTECTION ORDINANCE - Does the project comply with:

The wetland and wetland buffer regulations (Article IV, Sections 1 & 2) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Article IV, Section 3) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Steep Slope section (Article IV, Section 5)?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Article IV, Section 6) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Article IV, Section 7) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

Wetland and Wetland Buffers: The site contains southern coast live oak riparian forest and southern riparian forest which is part of Ostrich Farms Creek. The southern coast live oak riparian forest and most of the southern riparian forest habitat will be placed in a biological open space easement prior to issuance of improvement or grading plans or prior to recordation of the Final Map, whichever comes first. Property access is proposed to cross Ostrich Farms Creek. Crossing of RPO wetlands is an allowed use so long as there is (1) no feasible alternative to avoid the wetland, (2) the crossing is limited to the minimum number feasible, (3) the crossing is designed to cause least impact to the environment, (4) the least damaging construction methods are used, (5) the crossing would serve adjoining properties, (6) and there is a no net loss of wetlands. The project proposes creation and enhancement mitigation components to Ostrich Farms Creek onsite through a revegetation plan with the removal of exotics, and planting of native species. In addition, a monitoring biologist will observe construction activities at the creek crossing in order to ensure that the least damaging construction methods are used. Therefore, no significant impact will occur because there will be a no net loss of wetlands and the proposed project complies with Sections 86.604(a) and (b) of the Resource Protection Ordinance.

Floodways and Floodplain Fringe: The project is in compliance. The project is adjacent to the floodway/floodplain fringe area, but there are no proposals for any offsite uses or improvements that need compliance with the Resource Protection Ordinance.

Steep Slopes: The average slope for the property is 8.8 percent gradient. Slopes with a gradient of 25 percent or greater and 50 feet or higher in vertical height are required to be placed in open space easements by the San Diego County Resource Protection Ordinance (RPO). There are no steep slopes on the property. The project is in conformance with the RPO.

Sensitive Habitats: Sensitive habitat lands include unique vegetation communities and/or habitat that are either necessary to support a viable population of sensitive species, is critical to the proper functioning of a balanced natural ecosystem, or which serves as a functioning wildlife corridor. No sensitive habitat lands were identified on the site as determined on a site visit conducted by Monica Bilodeau on January 20, 2009. Therefore, it has been found that the proposed project complies with Section 86.604(f) of the RPO.

Significant Prehistoric and Historic Sites: The property has been surveyed by County approved archaeologist, Brian F. Smith, and it has been determined that the property does not contain any archaeological sites. Structures on site are greater than 50 years in age. However based on an evaluation of the historic resources it has been determined that they are not historically significant. Therefore the project conforms to the requirements of the RPO.

V. STORMWATER ORDINANCE (WPO) - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES NO NOT APPLICABLE

The project Storm Water Management Plan, dated March 2015, has been reviewed and is found to be complete and in compliance with the WPO.

VI. NOISE ORDINANCE – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES NO NOT APPLICABLE

The proposal would not expose people to nor generate potentially significant noise levels which exceed the allowable limits of the County of San Diego Noise Element of the General Plan, County of San Diego Noise Ordinance, and other applicable local, State, and Federal noise control regulations.

Staff has reviewed the Preliminary Noise Study report prepared by Urban Crossroads dated October 3, 2008 submitted on December 17, 2008. The project consists of 21 single family residential lots located north of Stage Coach Lane and immediately east of Mission Road. County General Plan Noise Element thresholds for noise sensitive land uses are 60 dBA CNEL. Primary noise sources associated with the project subdivision are from future traffic traveling on Stage Coach Lane and Mission Road. Future traffic noise impacts will be as high as 60 dBA CNEL at ground level exterior noise sensitive land uses on Lot 21. No noise mitigation is required to ground level exterior noise sensitive receptors. Noise levels at the second floors of all lots were found to comply with the 60 dBA CNEL requirement, therefore interior mitigation for these is not required to achieve an interior noise level requirement of 45 dBA. Project site is located

approximately ½ mile from the Fallbrook Community Airpark. An exhibit within the noise report in Appendix F is an illustration showing the Fallbrook Community Airpark noise contours that is located away from the project subdivision. The noise report also evaluated construction noise impacts associated the preparation of the project subdivision. Grading activities typically represent on of the highest potential sources for temporary noise impacts. Nearest property lines are located at the adjacent residences to the north and south and are a minimum of 100 feet or more from the proposed grading operations. Based on these parameters, temporary construction noise will be as high as 75 dBA at the project property line which complies with County construction noise standards. Therefore, the proposed project subdivision will comply with County noise standards. No noise mitigation and no specific noise conditions are required at this time.

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
Attn: James Scott
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. O650
Attn: Project Planning Division Section Secretary

SUBJECT: **FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152**

Project Name: Pacifica Estates Tentative Map; PDS2006-3100-5510 (TM); PDS2006-29610-06-02-023 (ER)

Project Location: Vacant property of 17.3 acres along the east side of Mission Road, north of Stage Coach Lane. (APN 106-251-01-03-18 & 24; 106-51-12, 13; 106-500-29)

Project Applicant: Timothy Thiele, RBF Consulting, 5050 Avenida Encinas, Ste. 206, Carlsbad, CA 92008 (760) 476-9193

Project Description: The project is a major subdivision to divide a 17.3-acre property into 25 lots, including 21 residential, two open space lots to preserve wetlands, and two homeowner association (HOA) common area lots for detention basins. The proposed residential lots would be 0.5-acre gross and net. The site is located east of South Mission Road and north of Stage Coach Lane, in the Fallbrook Plan Area. Access to all lots would be provided by a proposed private road connecting to Mission Road, and the traffic design only allows for right-in, right-out. The existing residential home, accessory structures and agricultural land would be removed. The project is conditioned to improve South Mission Road by adding curb returns and sidewalk along the proposed private access road. Stage Coach Lane is conditioned to widen Stage Coach Lane along the project frontage. Water and Sewer would be provided by Fallbrook Public Utilities District. Approximately 1,600 feet extension of sewer and/or water utilities will be required for the project. Earthwork will consist of 60,000 cubic yards of balanced cut and fill. The project site is subject to the Village Residential General Plan Regional Category, Land Use Designation Village. Zoning for the site is Rural Residential, (RR).

Agency Approving Project: County of San Diego
County Contact Person: Marisa Smith Telephone Number: (858) 694-2621
Date Form Completed: March 9, 2016

This is to advise that the County of San Diego Planning Commission has approved the above described project on _____ (date/item #) and found the project to be exempt from the CEQA under the following criteria:

1. Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)
 - Declared Emergency [C 21080(b)(3); G 15269(a)]
 - Emergency Project [C 21080(b)(4); G 15269(b)(c)]
 - Statutory Exemption. C Section:
 - Categorical Exemption. G Section:
 - G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.
 - G 15182 - Residential Projects Pursuant to a Specific Plan
 - G 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning
 - Activity is exempt from the CEQA because it is not a project as defined in Section 15378.

2. Mitigation measures were were not made a condition of the approval of the project.

3. A Mitigation reporting or monitoring plan was was not adopted for this project.

Statement of reasons why project is exempt: the project is consistent with the development density established by existing zoning, community plan, or general plan polices for which an EIR was certified. The project shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: _____ Telephone: (858) 694-2621
Name (Print): Marisa Smith Title: Land Use & Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.



State of California—Natural Resources Agency
CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE
2015 ENVIRONMENTAL FILING FEE CASH RECEIPT

RECEIPT# 37-2015-041
STATE CLEARING HOUSE # (if applicable)

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY

LEAD AGENCY PDS			DATE 06/16/2015
COUNTY/STATE AGENCY OF FILING San Diego			DOCUMENT NUMBER
PROJECT TITLE TM 5510 (PDS2006-3100-5510)			
PROJECT APPLICANT NAME JOSE ISLAS			PHONE NUMBER (760) 593-8637
PROJECT APPLICANT ADDRESS 2348 LA COSTA AVENUE APT #311	CITY CARLSBAD	STATE CA	ZIP CODE 92009
PROJECT APPLICANT (Check appropriate box): <input type="checkbox"/> Local Public Agency <input type="checkbox"/> School District <input type="checkbox"/> Other Special District <input type="checkbox"/> State Agency <input checked="" type="checkbox"/> Private Entity			

CHECK APPLICABLE FEES:

<input type="checkbox"/> Environmental Impact Report (EIR)	\$3,069.75	\$	0.00
<input type="checkbox"/> Mitigated/Negative Declaration (MND)(ND)	\$2,210.00	\$	0.00
<input type="checkbox"/> Application Fee Water Diversion (State Water Resources Control Board only)	\$850.00	\$	0.00
<input type="checkbox"/> Projects Subject to Certified Regulatory Programs (CRP)	\$1,043.75	\$	0.00
<input checked="" type="checkbox"/> County Administrative Fee	\$50.00	\$	50.00
<input type="checkbox"/> Project that is exempt from fees			
<input type="checkbox"/> Notice of Exemption (attach)			
<input type="checkbox"/> CDFW No Effect Determination (attach)			
<input type="checkbox"/> Other _____		\$	_____

PAYMENT METHOD:

Cash
 Credit
 Check
 Other _____

TOTAL RECEIVED \$ 50.00

SIGNATURE 	PRINTED NAME AND TITLE Cara Trieu / Cashier
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Attachment D – Environmental Findings

ENVIRONMENTAL FINDINGS

Pacifica Estates Tentative Map

PDS2006-3100-5510

PDS2006-3910-06-02-023

April 22, 2016

- 1) In accordance with State CEQA Guidelines section 15183, find the project is exempt from further environmental review for the reasons stated in the Notice of Exemption dated March 9, 2016, because the project is consistent with the General Plan for which an environmental impact report dated August 2011 on file with Planning & Development Services as Environmental Review Number 02-ZA-001 (GPU EIR) was certified, there are no project specific effects which are peculiar to the project or its site, there are no project impacts which the GPU EIR failed to analyze as significant effects, there are no potentially significant off-site and/or cumulative impacts which the GPU EIR failed to evaluate, there is no substantial new information which results in more severe impacts than anticipated by the GPU EIR, and that the application of uniformly applied development standards and policies, in addition to feasible mitigation measures included as project conditions would substantially mitigate the effects of the project, as explained in the 15183 Statement of Reasons dated April 22, 2016.
- 2) In accordance with State CEQA Guidelines Section 15183(e)2, the Planning Commission, at a duly noticed public hearing on April 22, 2016, found that feasible mitigation measures identified in the General Plan Update EIR will be undertaken.
- 3) Find that the proposed project is consistent with the Resource Protection Ordinance (County Code, section 86.601 et seq.).
- 4) Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).

Attachment E – Public Documentation

FALLBROOK COMMUNITY PLANNING GROUP

And

DESIGN REVIEW BOARD

Regular Meeting

Monday 15 February 2016, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook
MINUTES

Mr. Russell called the meeting to order at 7:00 p.m.

Fifteen (15) members were present: Anne Burdick, Ike Perez, Roy Moosa, Tom Harrington, Jean Dooley, Jim Russell, Jack Wood, Ron Miller, Jackie Heyneman, Jerry Kalman, Lee J. De Meo. Bill McCarthy, Eileen Delaney, Donna Gebhart and Margaret Singleton-O'Leary, Also a large audience was also present.

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Group's jurisdiction but not on today's agenda. Three minute limitation. Non-discussion, & Non-voting item.

Several property owners around the Fallbrook Golf Course spoke about their concerns with the Golf Course's current management and the prospect of a portion of the course being acquired for mitigation land. From several different perspectives, they stated how important the Golf Course is to Fallbrook and how tragic it would be to lose it to a mitigation bank. The group of property owners had created an organization (savefallbrookgolfcourse.com) to try and block any attempt to convert any of the current golf course into mitigation land. The recent conversion of the San Luis Ray Golf Course to a mitigation bank provided an example of how a great recreational facility could be lost. One of the most compelling arguments was how conversion to a mitigation bank would turn an excellent fire buffer (as an irrigated golf course) into a major fire hazard.

Mr. Russell thanked all the interested parties for attending the meeting but informed them that until such time as the property owner applies to the county for a modification of zoning or use, the planning Group has no authority to advise the county of the community's concerns. He advised that they closely monitor developments on the site through the county. As soon as the Planning Group gets a request to review and comment on any development on the site, it would be published in the Village News and posted at Fire Station number 1 and the library.

2. Approval of the minutes for the meetings of 18 January 2016. Voting Item.

Ms. Dooley motioned to approve the minutes as presented and the motion passed unanimously.

3. TM5510RPL1 (PACIFICA ESTATES) Request to subdivide the 17.3 acres located at 2270 Mission Road into 25 lots for 21 dwelling units, 2 open space lots, and 2 Home Owner Association Common lots. Owner F. Martinez and J.L. Islas 210-265-1306. Contact person Mark Sanchez, 760-207-8421, jmsconsulting56@gmail.com . County planner David Sibbet, 858.694-3091, david.sibbet2sdcounty.ca.gov and Marisa Smith, 858-694-2621. **Circulation Committee.** Community input. Voting item

Mr. Jim Chagala introduced the project briefly going over the history of the development. He stated that the Planning Group, due to excessive grading and traffic safety concerns, had originally denied the project. Since that time the grading plan had been re-designed to minimalize slope heights and slope rates. Also landscaping on the perimeter slopes had been added to provide privacy for the surrounding developments. The Planning Group had reviewed the preliminary plans and approved the grading in concept. Those changes had been made to the projects grading plans. Therefore the traffic flow for the site was the last issue from his view. At this point he went through the six alternatives the developer and engineering staff had studied.

- 1) **The first was to create a left turn pocket on Mission Road southbound for the entrance to the subdivision. This alternative would eliminate southbound traffic from utilizing the Stagecoach Mission intersection to make a U-turn to enter the site but would have no impact on traffic exiting the project and wanting to go south on Mission. This alternative also would require an extensive part of the median to be removed. The developer had rejected this alternative due to its limited improvement to traffic flow and negative impact to the landscaped median.**
- 2) **Second was to install a traffic signal at the Mission Road entrance to the project. Mr. Chagala stated that the traffic counts for the project would not reach the County signalization requirement. The cost would also be prohibitive for a development of this size. Also County regulations would not allow signalization due to the proximity to Sterling Road and Stage Coach traffic signals on Mission. The developer had decided to abandon this alternative.**
- 3) **Third was primary access at Sterling Bridge. Mr. Chagala stated that in 2008 the developer had researched with the Pepper Tree Homeowners Association what would be required to utilize the Sterling Bridge access to Mission road. At that time the developer was advised that utilization of the Sterling Road bridge would require approval of at minimum 67% of the membership as well as Eligible Mortgage Holders. Mr. Chagala stated that the Pepper Tree Homeowners Association had advised him again in January of this year that the same approval requirement still held true. An additional issue with this alternative is that the entrance road would be extended to a 1,700 foot distance from the 1,200 foot distance with the Mission entrance in the center of the project. County regulations require a secondary access with primary roads exceeding 800 feet. The County and North County Fire had approved the project with only an emergency access on Morro Road with the 1,200 primary road. Mr. Chagala felt that the Sterling Bridge access would trigger a secondary access requirement and Morro Road easement rights would need to be acquired and additional improvements would be needed to open it as a secondary access road. The**

developer had decided in light of the difficulty in acquiring approval of the Pepper Tree Homeowners/lenders and the possibility of having to acquire additional easement rights from the Morro Road residence to abandon this alternative.

- 4) The fourth alternative was to make Morro Road the primary entrance to the project. Mr. Chagala informed the Committee that while solving the Mission Road problems this alternative presented several other complex problems. Additional easement rights would need to be acquired from the residents along Morro Road. Also easements would be needed on several properties on Stage Coach to the east of the Morro Road Stage Coach intersection to provide proper site distance. Additionally road improvements and signalization would be needed. The developer's engineers estimate that this could cost 1.5 million dollars. In the developer's view the project could not carry this type of development cost. Additionally an emergency access would still be required. This would require connecting to Mission or accessing through Pepper Tree. The developer had rejected this alternative.
- 5) The fifth alternative was to make the entrance on Mission a right in, right out and install a U-turn lane at the Sterling Bridge intersection. Southbound traffic wanting to enter the project would utilize the Sage Coach Mission intersection to U-turn on Mission Road. This alternative had met County staff approval and been presented to the Planning Group in December of last year. The planning Group and several members of the audience had objected to the demolition of several hundred feet of landscaped median to construct this turn lane. Concern was also presented with the need for traffic exiting the project and then needing to cross two lanes of traffic to reach the turn lane in a very short distance. In the light of public concern, the developer had decided to abandon this alternative.
- 6) Finally the main entrance on Mission would be a right in right out and utilize the existing Airpark turn lane for southbound U-turns on Mission. Southbound traffic wanting to enter the project would still utilize the Sage Coach Mission intersection to U-turn on Mission Road. This alternative also met with County Staff approval. This was the developer's current proposal.

Mr. Chagala felt the sixth alternative was the best solution.

Next, Mr. David Green spoke and presented a detailed power point presentation detailing the history of the project's reviews to this point, his review of the aesthetics of the project, biological resources he felt were missed by the projects EIR, a detailed soil and geological study he made of the site, grading impact studies he also made and land use impacts of the project. Several residence of Summer Hill Lane, to the south of the project, commented on the current difficulty they have controlling traffic and addressing maintenance on Summer Hill. These property owners felt the new project would make the situation worse.

Residents of Morro Road stated that they had drainage, traffic control and maintenance problems as well and agreed that the project would make the situation worse.

Residents of the Pepper Tree subdivision stated that the Mission Road entrance would cause problems at the Sterling Bridge intersection and they felt that the Airpark intersection was an unsafe alternative.

Mr. Duane Urquhart informed the Group that his development, Pepper Tree Park, had made some improvements to Morro Road, which brought it close to private road standards. He presented a letter he thought should be sent out to the Pepper Tree homeowners to gauge their interest in working with the project's new homeowners.

Ms. Burdick stated that the Circulation Committee had reviewed the traffic proposals and had decided to compile the concerns and present them to the Group for their consideration. One of the main concerns she had was that a question was raised at the committee meeting about the opinion of the Airpark and the Fallbrook Tennis Club in their intersection being considered for the projects traffic flow. Ms. Burdick did contact the Tennis Club management and was informed that Pepper Tree Park Residents were currently using the intersection instead of waiting for the light at Sterling Bridge and it was not a problem. The airpark is a County facility and was contacted in the County's internal review process.

Mr. Moosa stated that he felt the Sterling Bridge entrance was the best alternative and thought further effort should be applied to that alternative.

A representative of the Pepper Tree Home owners association stated that the process of getting the homeowners approval to utilize Sterling Bridge was more involved than Mr. Urquhart had implied. He stated that a formal proposal? would need to be made. At that point the homeowners board would consider the request and if it chose to do so forward it to legal counsel. Counsel would then return their analysis and recommendations. At that time the board would decide to send out a letter or not. He felt the major question was would the Fire District or the County allow only an emergency access (not a secondary access) if the primary access was 1700 feet long. A secondary access would require development of Morro Road.

Mr. David Sibbet, County Planning Manager, commented that he had just, that day, received notification from North County Fire that a secondary access would be required if the primary access was 1700 feet long.

Mr. Russell stated that in his opinion the Pepper Tree access was impossible. Getting 67% of the homeowners to agree was challenging but 67% of lienholders was impossible. He felt Mission Road was the only reasonable access for this project. He suggested that requiring acceleration and deceleration lanes be constructed by the project might be suggested to the County.

Ms. Singleton-O'Leary felt the project was reasonable and might raise land values for some of the surrounding properties. But she thought the speed limit on Mission Road was too high for the congestion in the area. She suggested lowering it to 40 miles per hour or lower.

Several members still had reservations with the project. Others felt the property owner had rights to develop his property.

After lengthy discussion Mr. Harrington motioned to approve the project as presented and recommended that County staff consider requiring acceleration and deceleration

lanes be constructed at the Mission Road entrance. Also that the County should consider requiring an additional road dedication at the Stage Coach and Mission Road intersection to allow for future improvement of the intersection. The motion passed with eight members in favor.

Ayes: Tom Harrington, Jim Russell, Margret Singleton-O'Leary, Jack Wood, Ron Miller, Lee De Meo, Anne Burdick and Ike Perez.

4. Proposed update to the Parkland Dedication Ordinance The Board of Supervisors directed county staff to perform a comprehensive update of the ordinance. In addition to the Board directed actions, the Board Letter also asked staff to:

- Provide a new toolbox for developing parks associated with discretionary projects while balancing the needs of the community and park users
- Incorporate working with neighboring jurisdictions
- Provide more flexibility for developers to meet requirements
- Look into revising park planning areas to be consistent with planning group areas
- Align with the General Plan, Live Well San Diego, and the County's Strategic Plan
- Include information on the level of service standards and community needs

Staff is asking for input from Community Planning/Sponsor Groups on how to improve the ordinance. **Marcus Lubich**, (858) 966-1348 office | (858)378-3878 cell. Marcus.lubich@sdcounty.ca.gov . **Parks & Recreation Committee**. Community input. Voting item. (1/27)

Mr. Marcus Lubich introduced the item and described some of the changes the County was trying to make to the Parkland Dedication Ordinance. The changes ranged from how fees were charged to project priorities.

Ms. Heyneman informed the Group that the Parks Committee had reviewed the request but had concerns with several details of the proposed changes.

Members of CSA-81 stated that they too had problems with the proposed changes and wanted to be included in the discussion of how these ordinances would be changed.

A representative of FPUB said his utility district, being one of the largest open space property owners in the community, wanted to be involved in the discussions of ordinance changes.

Mr. Lubich informed the Group that a meeting was already scheduled with CSA-81 later in the week.

Ms. Heyneman suggested that a meeting of several community groups needed to take place prior to the Planning Group supporting any changes.

After further discussion, **Ms. Heyneman** motioned to continue the item until a greater consensus could be reached. The motion passed unanimously.

5. TPM 21233 Request to subdivide the 6.37 acres located at 4342 Ramona drive into three lots for three single-family dwelling units. The existing residence on lot#1 to remain. Owner and contact person Mike Amos, 760-801-1603, mikeamos@micontractor.com. County planner Vincent Kattoula, (858)-694-3959, Vincent.Kattoula@sdcountry.ca.gov. **Land Use Committee**. Community input. Voting item. (1/12)

The applicant had requested that the item be continued due to his inability to attend the meeting.

Mr. Wood motioned to continue the item and the motion passed unanimously.

6. The changes to the Fallbrook Community Plan to add two new parcels to the Grand Tradition is tentatively planning for the Grand Tradition General Plan Amendment and Rezone to be considered by the County Planning Commission on March 11th. In addition to the proposed land use and zoning changes, changes to the Fallbrook Community Plan Policy LU2.2a1 are necessary to incorporate the two new Commercial parcels. The draft changes to the policy are provided below. County planner Robert Citrano, 858-694-3229, Robert.Citrano@sdcountry.ca.gov. Land Use Committee. Community input. Voting item. (1/27)

Policy LU2.2a1 APNs 104-250-34, 104-250-35, 104-350-14, and 106-410-36, 106-410-59 and 106-410-61 contain The Grand Tradition. In this iteration of the Fallbrook Community Plan a category of Commercial was placed on those parcels to facilitate that business (The Grand Tradition) and only that business. It is primarily a wedding venue for reserved group activities with an outdoor/indoor commercial area with three separate facilities: the Beverly Mansion (15,000 SF), Arbor Terrace (5,000 SF) and a third site yet to be constructed, Tuscany/Vineyard (5,000 SF), plus the possibility of a future hotel to support those group activities. In this case, the total square footage permitted for the entire ~~22~~ 30-acre venue shall be 80,000 SF. If the current business usage of ~~The Grand Tradition~~ ceases to exist on these parcels, the Land Use Designation will revert to a Village Residential 2 designation ~~residential with 0.5-acre zoning~~.

Mr. Don McDougal introduced the request stating that the effort was to modify the Fallbrook Community Plan to match the County General Plan modifications that the Planning Group had previously approved.

Mr. Wood reported that the Land Use Committee had reviewed the request and supported it with one modification. The Committee felt that in the last sentence the statement "If the business of The Grand Tradition ceases" should read "If the current business usage ceases".

After limited discussion Mr. Wood motioned to approve the request with the one change in wording and the motion passed unanimously.

7. Request from James Brennan, Brenson Realty Group, Inc., 951-695-9555, james@brensonrealty.com, to hear a proposed use for the 1.94 acres located on west Alvarado Ave west of Summit Avenue to build multifamily dwelling units consisting of 2

and 3 bedroom apartments. **Land Use Committee.** Community input. Non-voting item.
(1/27)

Applicant was not present and there was no presentation.

8. Presentation by Robert Faudoa and Ted Walters of Gary Engineering, 858-483-0620, garyengca@aol.com on a proposed project 'Mission Canyon Center Project' located on the 6.4 acres on the south side of east Mission Road west of Ranger Road. Proposed project would require a zone change from agriculture to commercial, Tentative Map to subdivide property into 3 lots, a Major Use Permit and a General Plan Amendment. The proposal is for a 3,000 SqFt Arco am/pm Food Mart, Car Wash, Electric Charging Station, 2,500 SqFt drive-thru restaurant, 8,000 SqFt commercial strip, facilities to have 4, 2,000 SqFt tenants. Community input. Non-voting item. (2/5)

Mr. Robert Faudoa of Gary Engineering introduced the project. He requested input from the community and the Group of developing a gas station and commercial strip on a 6.4 acre site at the north east corner of Mission Road and Old 395 intersection. Mr. Wood stated that he felt that kind of development had no chance of success at that location.

Mr. Russell informed Mr. Faudoa that commercial zoning of that project would be in direct conflict with the Fallbrook Community Plan. Section LU2.2.2, which limited the extent of commercial development from the village center.

Other members of the group felt that given an appropriate type of development might be acceptable. A member of the audience felt leaving the property as is would better reflect the community's agricultural background.

The Meeting was adjourned at 10:28 pm
Tom Harrington, Secretary

Circulation Committee Minutes for February 09, 2016
Fallbrook Community Planning Group
(Not official until approved at the next meeting)

Chair Anne Burdick called the meeting to order at 2:00 p.m. at the Palomares House, 1815 Stage Coach Lane. There was no site tour prior to the meeting.

Members present were: Jack Wood, Anne Burdick, Donna Gebhart, Scott Atkins, Roy Moosa, Jedda Lorek, *ex officio* member Patty Koch, and Tom Harrington. Shirley Fender, Tom Mintun and Bill McCarthy were excused.

1. Open Forum. Opportunity for members of the public to speak to the Circulation Committee on any subject matter within the committee's jurisdiction but not on today's agenda. Three minute limitation. Non-voting item.

Mr. David Green presented four ways to evaluate grading impacts. He hoped these approaches would assist the Planning Group in determining the extent a development was impacting the natural grade of a site. The four methods were as follows:

- a) **Ratio of Dirt Disturbed to the Development Area:** Mr. Green felt this method was perhaps the easiest and quickest way to get a sense of a developments impact on the natural terrain.
- b) **Ridge Orientation:** Projects that have ridge lines in the limits of the proposed grading limits should alert Group members that major changes to the natural terrain could be proposed.
- c) **The Project Grading Plan:** The contour lines on grading plans should be closely inspected to evaluate the difference between the existing and proposed elevations.
- d) **Slope Orientation:** This is a study of how the natural slope direction and grade are changed by the proposed grade of the development. Again a good indicator of the proposed grading changes the original condition.

Mr. Green felt that each of these methods could be utilized to inform the discussion about the impact grading would have and whether the proposed grading was in conflict with the community plan prohibition on unduly disturbing the natural terrain.

Ms. Burdick stated that the paper that Mr. Green had provided to Mr. Russell had been forwarded to all of the Planning Group members.

2. Approval of the minutes for the meeting of November 10, 2015.

Mr. Wood motioned to approve the minutes as presented and the motion passed unanimously.

3. TM5510RPL1 (PACIFICA ESTATES) Request to subdivide the 17.3 acres located at 2270 Mission Road into 25 lots for 21 dwelling units, 2 open space lots, and 2 Home Owner Association Common lots. Owner F. Martinez and J.L. Islas 210-265-1306. Contact person Mark Sanchez, 760-207-8421, jmsconsulting56@gmail.com . County planner David Sibbet, 858.694-3091, david.sibbet2sdcounty.ca.gov and Marisa Smith, 858-694-2621. **Circulation Committee.** Community input. Voting item

Mr. Jim Chagala introduced the project. He stated that the Planning Group had problems with the grading of the site but modifications had been made that the Group had approved in concept. Those modifications had been made to the grading plan and submitted to the County. The one remaining issue was the traffic impact the project would have on Mission



Road. Mr. Chagala stated that the project engineers had researched and studied six different alternatives to access the site. They were as follows:

- 1) The first was to create a left turn pocket on Mission Road southbound for the entrance to the subdivision. This alternative would eliminate southbound traffic from utilizing the Stagecoach Mission intersection to make a U-turn to enter the site but would have no impact on traffic exiting the project and wanting to go south on Mission. This alternative also would require an extensive part of the median to be removed. The developer had rejected this alternative due to its limited improvement to traffic flow and negative impact to the landscaped median.
- 2) Second was to install a traffic signal at the Mission Road entrance to the project. Mr. Chagala stated that the traffic counts for the project would not reach the County signalization requirement. The cost would also be prohibitive for a development of this size. Also County regulations would not allow signalization due to the proximity to Sterling Road and Stage Coach traffic signals on Mission. The developer had decided to abandon this alternative.
- 3) Third was primary access at Sterling Bridge. Mr. Chagala stated that in 2008 the developer had researched with the Pepper Tree Homeowners Association what would be required to utilize the Sterling Bridge access to Mission road. At that time the developer was advised that utilization of the Sterling Road bridge would require approval of at minimum 67% of the membership as well as Eligible Mortgage Holders. Mr. Chagala stated that the Pepper Tree Homeowners Association had advised him again in January of this year that the same approval requirement still held true. An additional issue with this alternative is that the entrance road would be extended to a 1,700 foot distance from the 1,200 foot distance with the Mission entrance in the center of the project. County regulations require a secondary access with primary roads exceeding 800 feet. The County and North County Fire had approved the project with only an emergency access on Morro Road with the 1,200 primary road. Mr. Chagala felt that the Sterling Bridge access would trigger a secondary access requirement and Morro Road easement rights would need to be acquired and additional improvements would be needed to open it as a secondary access road. The developer had decided in light of the difficulty in acquiring approval of the Pepper Tree Homeowners/lenders and the possibility of having to acquire additional easement rights from the Morro Road residence to abandon this alternative.
- 4) The fourth alternative was to make Morro Road the primary entrance to the project. Mr. Chagala informed the Committee that while solving the Mission Road problems this alternative presented several other complex problems. Additional easement rights would need to be acquired from the residents along Morro Road. Also easements would be needed on several properties on Stage Coach to the east of the Morro Road Stage Coach intersection to provide proper site distance. Additionally road improvements and signalization would be needed. The developer's engineers estimate that this could cost 1.5 million dollars. In the developer's view the project could not carry this type of development cost. Additionally an emergency access would still be required. This would require connecting to Mission or accessing through Pepper Tree. The developer had rejected this alternative.
- 5) The fifth alternative was to make the entrance on Mission a right in, right out and install a U-turn lane at the Sterling Bridge intersection. Southbound traffic wanting to enter the project would utilize the Sage Coach Mission intersection to U-turn on Mission Road.

This alternative had met County staff approval and been presented to the Planning Group in December of last year. The planning Group and several members of the audience had objected to the demolition of several hundred feet of landscaped median to construct this turn lane. Concern was also presented with the need for traffic exiting the project and then needing to cross two lanes of traffic to reach the turn lane in a very short distance. In the light of public concern, the developer had decided to abandon this alternative.

- 6) Finally the main entrance on Mission would be a right in right out and utilize the existing Airpark turn lane for southbound U-turns on Mission. Southbound traffic wanting to enter the project would still utilize the Sage Coach Mission intersection to U-turn on Mission Road. This alternative also met with County Staff approval. This was the developer's current proposal.

Mr. Chagala stated that all of the Mission road access would require a bridge over Ostrich Creek. His engineers estimate for that bridge was \$250,000.

Ms. Patty Koch, representing North County Fire, stated that while the project had been approved with a 1,200 foot primary road and only an alternate emergency access, a 1,700 foot primary road would dramatically exceed the 800 foot primary road limit. A 1,700 foot primary road would need additional review to avoid a secondary road access requirement. This would impact alternatives 3 and 4.

Mr. David Green presented a 2007 traffic study of Mission Road showing the concentration of traffic between 6:00 to 9:00 in the morning and between 2:00 to 5:00 in the evening. He felt that the project's traffic would be dealing with these concentrated traffic flows. He also expressed concern with the practicality of utilizing the Airpark intersection to provide southbound access for the project. He felt that the descending grade and horizontal curve of Mission's southbound lane coupled with the speed of southbound traffic did not provide sufficient sight distance for a vehicle to safely execute a U-turn. Another concern with using Airpark Road for U-turns is the space for smaller vehicles to execute a U-turn is blocked when a vehicle coming from the air park or tennis club is stopped at the Stop sign. He felt there wasn't sufficient space for a full-size pickup to execute a U-turn. He felt County Staff had not considered these safety problems when reviewing this proposal and asked if the Fallbrook Tennis Club and Fallbrook Community Airpark had been informed that this option was under consideration and afforded an opportunity to comment. These concerns would impact alternatives 1, 5 and 6.

Mr. Wood stated that he had worked several shifts as a volunteer Sheriff providing traffic control along Mission Road while crews were cleaning up the right-of-way. He said that his experience was that traffic along Mission typically was well in excess of the speed limit and did not provide a safe distance from workers on the shoulder. This concern would impact all of the Mission Road entrance proposals.

Mr. Scott Atkins questioned the ability of a pick-up truck or any other large vehicle to navigate a U-turn at South Mission and Stage Coach. He felt it wasn't possible to complete that turn without having to make a two point turn and thereby disrupting the flow of traffic. This concern would impact all proposals except 3 and 4.

Ms. Donna Gebhart raised the issue of traffic speed and the "distracted walking" of the high school students who were busy with cell phones and conversations with friends. She felt that having cars waiting to enter the new project or to queue up at Sterling Bridge would limit the free flow of traffic and create additional accidents, that it wasn't a "safe situation" to use the sidewalk on South Mission. This concern would impact all proposals except 4.

Mr. Duane Urquhart was skeptical of the engineer's cost estimate for making Morro Road the primary entrance to the project. He stated that when his staff had looked at the alternative in 2008, the cost was dramatically less and maybe the developer should reassess that report.

Also, he proposed a possibility that the Pepper Tree Homeowners might be willing to allow an emergency access through the existing emergency access from Morro Road through Pepper Tree. These issues might change the developer's decision on alternative 4.

Mr. Moosa stated that the only viable alternative in his mind, from a safety perspective, was having the primary entrance for the project utilize the Sterling Bridge intersection. He suggested that perhaps the Pepper Tree Homeowners might be interested if the developer were to offer the \$250,000 to the homeowner association in lieu of building the bridge across Ostrich Creek.

Mr. Harrington stated that there were two issues that had not been vetted at this point. The possibility of a deal with the Pepper Tree Home Owners and the willingness of the County and North County Fire living with only an emergency access if the primary road was 1,700 feet long. Without these two questions answered, alternatives 3 and possibly 4 could not be discarded.

After further discussion Mr. Harrington motioned to compile the concerns with each of the alternatives and present them to the Planning Group on Monday February 15. The motion passed with Ms. Lorek abstaining.

The Meeting was adjourned at 3:30 pm
Tom Harrington

**FALLBROOK COMMUNITY PLANNING GROUP
And
DESIGN REVIEW BOARD**

Regular Meeting

Monday 21 December 2015, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook
MINUTES

called the meeting to order at 7:00 p.m.

Twelve (12) members were present: Anne Burdick, Ike Perez, Roy Moosa, Tom Harrington, Jean Dooley, Jim Russell, Jack Wood, Ron Miller, Jackie Heyneman, Donna Gebhart, Jerry Kalman and Lee J. De Meo. Bill McCarthy and Eileen Delaney were excused. Ms. Margaret Singleton-O'Leary, who has been nominated to fill the vacant seat on the Group but has not been appointed to the position by the Board of Supervisors as of this meeting, was also present.

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Group's jurisdiction but not on today's agenda. Three minute limitation. Non-discussion, & Non-voting item.

NONE

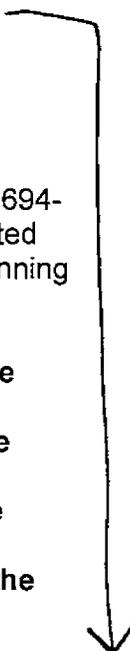
2. Approval of the minutes for the meetings of 16 November 2015. Voting Item.

Ms. Burdick commented that the lists of improvement projects were not attached to the copy of the minutes in the Group package and they needed to be attached. She motioned to approve the minutes amended to include the lists of improvement projects. The motion passed unanimously.

3. TM5510RPL1 (PACIFICA ESTATES) Request to subdivide the 17.3 acres located at 2270 Mission Road into 25 lots for 21 dwelling units, 2 open space lots, and 2 Home Owner Association Common lots. Owner F. Martinez and J.L. Islas 210-265-1306. Contact person Mark Sanchez, 760-207-8421, jmsconsulting56@gmail.com, Jim Chagala, 760-751-2691, planning@chagala.com. County planner David Sibbet, 858.694-3091, david.sibbet2sdcounty.ca.gov and Marisa Smith, 858-694-2621. The FCPG voted unanimously to recommend denial of this project on 21 Jan 2008 and the County Planning Commission voted 6 0 to continue the item on 17 July 2015. **Land Use Committee.** Community input. Voting item

Mr. David Sibbet introduced the project stating the Planning Commission heard the project in July. At that time they continued the project and requested that the applicant consider re-designing the grading plan then take the project back to the Planning Group before coming back to the Planning Commission.

Mr. Jim Chagala, representing the developer, presented the proposed changes. He stated that the primary concerns that he noted at the July planning Commission meeting were focused on three issues 1) The Grading, 2) Privacy of the homes to the south of the project and 3) Traffic flow concerns.



He illustrated the changes to the grading plan. The overall project would be moving 60,000 cubic yards of dirt instead of 80,000 yards of the previous plan. Slopes were reduced to 3:1 from 2:1 and pad elevations were lowered. The southerly slope adjacent to the homes on Summerhill Drive was moved 15 feet to the north. Fencing and landscaping was planned on the slope to provide a buffer to the homes to the south. He further stated that the slope landscaping and drainage features would be maintained by the homeowners association. The hope was that these modification would help address items 1) and 3).

As for the traffic concerns, Mr. Chagala suggested that the need to remove a section of the median on South Mission road could be circumvented by having the developments traffic use the airpark turn lane to make u turns on Mission road.

Mr. Wood reported that the Land Use Committee had reviewed the project.

Mr. David Green, a Summerhill resident, felt the project was in conflict with the Fallbrook Community Plan and would degrade the current level of privacy the residence to the south of the development enjoyed. He felt the environmental impact review had not addressed the Colorado skink. He presented the Group a detailed review of the current soil types on the site and felt that the project could not stabilize those types of soil to withstand a heavy El Nino rain event. Mr. Green stated that the traffic impacts of the development on Summerhill Drive would be especially bad. Fallbrook Beatification Alliance Representative, Jerri Patchett objected to removal of 100' of median. She stated that the median represented a great entry feature for Fallbrook and the landscaping improvements and maintenance were the result of community donations.

Mr. Duane Urquhart of Pepper tree Park addressed the traffic issues. He suggested the development be incorporated into the Pepper Tree Park development and access be off Sterling Drive.

Ms. Debbie McCain, a Summerhill resident was concerned with the public use of Summerhill. She stated that traffic currently utilize Summerhill to drop off students to the high school and complete u-turns on Mission Road. She felt the development would further degrade this condition.

Mr. Russell suggested that Morro Road might be an alternative to the Mission Road access issue.

After lengthily discussion, Mr. Harrington Motioned to support in concept the re-grading depicted in the exhibits. This motion passed with Ms. Gebhart, Ms. Dooley and Mr. Miller voting against.

Ms. Burdick Motioned to reject the projects access and traffic plan as not meeting circulation and safety standards. This motion passed unanimously.

4. Request for a site plan waiver for the B Designator for 1075 S: Mission Rd, #12L, (APN 104-390-11) for two wall signs for "Radio Shack" (being replaced) and "Sprint" (adding new Sprint sign next to Radio Shack). Applicant, Kristina Bernal, 760-735-3255. County planner Peggy Hobson, 858-495-5044, peggyhobson@sdcounty.ca.gov. Continued at the 19 Oct and 16 November FCPG meetings. **Design Review Committee**. Community input. Voting item (9/17)

Ms. Heyneman stated that while the applicant had met with the Design Review Committee there were still outstanding concerns with the project and the applicant had requested that the project be continued.

Ms. Heyneman motioned that the project be continued and the motion passed unanimously.

5. MUP-15-026 Request for a Major Use Permit to establish a religious assembly use at 1375 S. Mission Road (APN 104-200-54). The site is 2.32 acres, fully developed with a light industrial manufacturing use that occupies an existing single story, 25,525 sqft building. The current General Plan designation is Limited Impact Industrial and the Zoning is M52, Limited Industrial. Owner Anthony Duchi Jr, Applicant North Coast Church, 760-704-6700/760-522-0053. County planner Donald Kraft, 858 694-3856, Donald.kraft@sdcounty.ca.gov. **Land Use Committee**. Community input. Voting item. (11/03).

Mr. De Meo requested himself from this item due to his membership in this church.

Mr. Jamie Loomie presented the request. The church has a 10 year lease with two 5 year options for extensions. The parking will be modified for 83 stalls with in the site. Landscaping will be done. It will have a 332 person assembly area. It will be the third location established by the church since 2009. Actual members number 232 which may mean inadequate parking. It was pointed out that other locations use shuttles to bring parishioners to respective sites.

Location is not easy to find as the address is S. Mission and the site is at the end of a long driveway (no name street?). Because the entry is a very short distance from the signal at Clemmons Lane, it may require a right in and right out signage.

There will be two services at staggered hours.

Mr. Wood reported that the Land Use Committee had reviewed the project. There were concerns with traffic and parking, but had recommended approval subject to Design Review and Circulation review of the project.

Mr. Trent Jenkins, the church's youth pastor, stated that the church had a number of volunteers that typically assist traffic flow at their facilities.

The planning Group had concerns with church members possibly parking in adjoining businesses and also questioned if the joint maintenance of the existing driveway was covered in an agreement. The church representatives stated that they would be working on those issues.

After limited discussion Mr. Wood motioned to approve the change of use, subject to Design Review and Circulation requirements and the Motion carried unanimously.

6. POD 15-003. Subject: PUBLIC REVIEW of San Diego County Code related to Amendments to the Water Conservation in Landscaping Ordinance (POD 15-003). On April 1, 2015 the Governor issued an Executive Order pertaining to the existing drought conditions facing California. As part of the Executive Order a number of State requirements were created to address and mitigate the on-going emergency drought condition. One of the requirements directed the State's Department of Water Resources (DWR) to amend their Model Water Efficiency Landscape Ordinance (MWELo). The County is now required to adopt the State's amended MWELo or adopt a County

ordinance as effective as the State's ordinance at conserving water. The County is proceeding with amendments to our local ordinance to address the State's amendment to their MWELo. Notable changes to the County's ordinance to reflect the State's MWELo include:

- Ordinance applicability - threshold for when landscaping requirements are to be applied must be amended. The State has reduced the threshold for applicability to include all new development projects with a landscaped area equal to or greater than 500 s.f. Current thresholds contained in the County's Landscape Ordinance are 1,000 s.f. for multi-family, commercial and industrial and 5,000 s.f. for single family residential.
- Water budgets - water budget formulas have been revised. • Irrigation Systems - required use of more efficient irrigation systems.
- Graywater Use - promotes use of graywater.
- Stormwater capture - rainwater retention requirements added.
- Prescriptive Compliance Checklist - assist in streamlining review process in some instances.

- Monitoring and reporting - updated monitoring and reporting requirements.

County planner Joseph Farace, 858-694-3690, joseph.farache@sdcounty.ca.gov. **Land Use and Design Review Committees.** Community input. Voting item. (11/30)

Mr. Wood reported that the Land Use Committee had reviewed the proposed amendments. They all appeared to be State mandated and the Committee had motioned to take no position.

Ms. Heyneman reported that the Design Review Committee had reviewed the proposed amendments. They felt the amendments did not affect any Design Review guidelines. After limited discussion, Ms. Heyneman motioned to take no position on the amendments and the motion passed unanimously.

7. STP15-023 Site Plan for the removing of the existing structure which consists of two mechanic bays and convenience store for a total of 1,937 SqFt and proposing a new structure consisting of only a convenience store for a total of 2,084 SqFt. The new structure is designed to conform to Fallbrook Community Character, Fallbrook Design Guidelines, plus a site plan waiver for the B Designator for new signs, including the AmPm logo on building, located at 1161 South Main Avenue. Owner Attiq & Asper Inc., 619-559-1660, attiqf@yahoo.com. Contact person Paris Hagman, 619-954-3864, parishag@pacbell.net. County planner Dag Bunnemeyer, (858) 694-2581, or Michael Johnson, 858-694-3429, michael.johnson@sdcounty.ca.gov. **Design Review Committee.** Community Input. Voting item. (12/4)

The property owner introduced the request to demo the existing convenience store and mechanic bays. Then a new convenience store would be constructed in the site. Ms. Heyneman reported that the Design Review Committee had reviewed the project. The Design Review Committee had asked the Applicant to change the siding on the building to stone; add stone to the fencing; enclose the trash area and show the landscaping. They presented these changes.

Signage was not reviewed as their sign plans were not completed. Applicants were advised that they would need to return for review of their signage.

The property owner had agreed to all the requested modifications the committee had suggested.

After limited discussion Ms. Heyneman motioned to approve the project as presented and the motion passed unanimously

8. Appoint Scott Atkins, 3075 Reche Road, 760-728-2700 to the Circulation Committee as a non-elected member. Community input. Voting item.

Mr. Russell introduced Mr. Atkins. Mr. Atkins gave a brief bio on his background. The appointment was unanimously.

The Meeting was adjourned at 9:45 pm
Tom Harrington, Secretary

LAND USE COMMITTEE

Meeting December 15, 2015

The meeting was called to order by Jack Wood, Chairman. Committee members in attendance were Roy Moosa, Jack Wood, Jeff Marchand, Jerry Kalman, Eileen Delaney, Anne Burdick, and Jackie Heyneman. Many community members were also present.

1. Open Forum. Opportunity for members of the public to speak to the Land Use Committee on any subject matter within the committee's jurisdiction but not on today's agenda. Three minute limitation. Non-voting item, no discussion

No one spoke

2. Approval of the minutes of the September 15, 2015 meeting.

Anne Burdick made a motion for approval of the minutes. Motion carried unanimously.

3. TM5510RPL1 (PACIFICA ESTATES) Request to subdivide the 17.3 acres located at 2270 Mission Road into 25 lots for 21 dwelling units, 2 open space lots, and 2 Home Owner Association Common lots. Owner F. Martinez and J. L. Islas 210-265=1306. Contact person Mark Sanchez, 760-207-8421k jmsconsulting56@gmail.com . County planner David Sibbet, 858-694-3091, david.sibbet@sdcounty.ca.gov and Marisa Smith, 858-694-2621. The FCPG voted unanimously to recommend denial of this project on 21 Jan 2008 and the County Planning Commission voted 6-0 to continue the item on 17 July 2015. Land Use Committee. Community input. Voting item.

Opening the topic was Dave Sibbet, County Planner who gave a brief summary of the history of this request up to this date. The project has been reviewed 8 times originally requesting 34 lots in February 2004. In early 2015 there was concern by residents about very high and steep slopes infringing on the privacy of adjacent Summerhill and Morro Road residents (Fallbrook Community Plan LU2.1.3), flooding damage possible from adjacent year-round waterway due to alluvial soil, and major traffic concerns about egress onto S. Mission Rd.

Jim Chagale presented for Pacifica Estates.

Zoning is village Residential 2 dwelling units per acre.

1. Site is the largest vacant area in the vicinity.
2. In order to lower height of slopes, pads have been reduced from 13,000 to 10,000 – 12,000 sq. ft.
3. Trees have been added to slopes for privacy and erosion control behind Summerhill for all sites. Plants depicts 15' distance from Summerhill back property lines before slope starts. Sites that abut Morro Rd residents have greatest slopes.
4. Traffic plan indicates with 21 lots average daily use is 210 trips. Exit from project onto S. Mission would be right in & right out.

5. 100' of median would be removed at Sterling Bridge to facilitate U-turn for south bound traffic. Stated that traffic study estimates 40% will U-turn to go south 60% go north.

Discussion by Committee. The changes in the grading show a reasonable job response to that issue. Traffic is still a concern as traffic study of 2010 pointed out speed caused by Winter Haven and Stagecoach Lane lights being synchronized.

Secondary access concerns: Sterling Bridge could suffice but would depend on Peppertree Park HOA land County approval. Also questioned was the ability of large vehicles to make the u-turn at Stagecoach Lane to be able to make a right turn into the project from S. Mission Rd. This also would be true of fire trucks coming from Station 1. .

Public Input.

1. FBA Representative Jerri Patchett objected to removal of 100' of median. Supported annually be specific donors to maintain the median as well as a major fund raiser each for Fallbrook Beautification Projects.
2. Residents pointed out Bus stops between Stagecoach and Sterling Bridge.
3. Questioned county staff seeming support of developer position. Explained his attendance was to clarify county staff position. Also asked to explain the entire process. Property owner versus developer
4. Resident pointed out differences between the Peppertree Project bounded by a nature preserve and Pacific Estates surrounded by other residences.
5. Alluvial soils still create major problems. Planned retention basins (2) possibly incapable of handling run off created by impervious surfaces (i.e. road and driveways).
6. Comments by Dwayne Urqhardt of Pepper tree Park addressed the traffic issues. His advice was that using S. Mission as the major access to the development would create a costly investment to span the environmental area adjacent to S. Mission. The line of sight issue is also less than to be desired. A less expensive trade off would be the upgrade of Morro Rd as access.

Roy Moosa made a motion to accept grading as proposed, but reject access and traffic plan as not meeting circulation and safety standards. Motion carried unanimously.

4. MUP-15-026 Request for a Major Use Permit to establish a religious assembly use at 1375 S. Mission Road (APN 104-200-54). The site is 2.32 acres, fully developed with a light industrial manufacturing use that occupies an existing single story, 25,525 sq. ft. building. The current General Plan designation is Limited Impact Industrial and the Zoning is M52, Limited Industrial. Owner Anthony Duchy Jr, applicant North Coast Church, 760-7040-67--760-522-0053. County planner Donald Kraft, 858-694-3856, Donald.kraft@sdcounty.ca.gov. Land Use Committee. Community Input. Voting item. (11/03).

Jamie Loomie made the presentation. The group has a 10 year lease with two 5 year options for extensions. The parking will be modified for 83 stalls with in the site.

Landscaping will be done. It will have a 332 person assembly area. It will be the third location established by the church since 2009. Actual members number 232 which may mean inadequate parking . It was pointed out that other locations use shuttles to bring parishioners to respective sites.

Location is not easy to find as the address is S. Mission and the site is at the end of a long driveway (no name street?). Because the entry is a very short distance from the signal at Clemmons Lane, it may require a right in and right out signage.

There will be two services at staggered hours.

Roy Moosa made a motion to approve the change of use, subject to Design Review and Circulation requirements. Motion carried unanimously.

5. POD 15-003. Subject: PUBLIC REVIEW of San Diego County Code related to Amendments to the Water Conservation in Landscaping Ordinance (POFD 15-003). On April 1, 2015 the Governor issued an Executive Order pertaining to the existing drought conditions facing California. As part of the executive Order a number of State requirements were created to address and mitigate the on-going emergency drought condition. One of the requirements directed the State's Department of Water Resources (DWR) to amend their Model Water Efficiency Landscape Ordinance (MWELo). The County is now required to adopt the State's amended MWELo or adopt a County ordinance as effective as the State's ordinance at conserving water. The County is proceeding with amendments to our local ordinance to address the State's amendment to the MWELo. Notable changes to the County's ordinance to reflect the State's MWELo include:

Ordinance applicability – threshold for when landscaping requirements are to be applied must be amended. The State has reduced the threshold for applicability to include all new development projects with a landscaped area equal to or greater than 500 sq. ft. Current thresholds contained in the County's Landscape Ordinance are 1,000 sq. ft. for multi-family, commercial and industrial and 5,000 sq. ft. for single family residential

Water budgets – water budget formulas have been revised.

Irrigation systems - required use of more efficient irrigation systems.

Graywater Use – promotes use of graywater.

Storm water capture – rainwater retention requirements added.

Prescriptive compliance checklist – assist in streamlining review process in some instances.

Monitoring and reporting – updated monitoring and reporting requirements.

County planner Joseph Farace, 858-694-3690, joseph.farace@sdcounty.ca.gov. Land Use and Design Review committees. Community Input. Voting item.

After committee discussion, Anne Burdick suggested that we take no position. Unanimously approved.

The meeting was adjourned at 12:30 p.m.

Respectfully submitted,

Jackie Heynema

Public Documentation Previously Filed
in July 17, 2015 Planning Commission
Hearing Report

FALLBROOK COMMUNITY PLANNING GROUP

And

FALLBROOK DESIGN REVIEW BOARD

Regular Meeting

Monday 18 October 2010, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook

MINUTES

Meeting called to order at 7:00 PM by Jim Russell, who led the assembly in the Pledge of Allegiance.

15 members were present: Anne Burdick, Jean Dooley, Tom Harrington, Ron Miller, Steve Smith, Jim Russell, Jack Wood, Eileen Delaney, Jackie Heyneman, Michele Bain, Roy Moosa, Harry Christiansen, Paul Schaden, John Crouch and Donna Gebhart.

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Groups jurisdiction but not on today's agenda. Three minute limitation. Non-discussion & Non-voting item.

Mr. Russell announced that a long time member of the Planning Group Mr. Jim Bowan had passed away last weekend in Texas. He requested a moment of silence in reverence.

2. Approval of the minutes for the meetings of 20 September 2010. Voting item.

Mr. Harrington noted that the time the September meeting was held was incorrect and changed that to 7:00 PM. Mr. Smith motioned to approve the minutes as corrected and the motion passed with 14 in favor and Ms. Gebhart abstaining.

3. Reconsideration of the decision of 7/19/2010 to deny the request for the signalization of the intersection of South Mission Road and Pepper Tree Lane based on the new information provided by DPW Unit Manager Kenton Jones, 858-874-4009 at the 9/20/2010 FCPG meeting. **Circulation Committee.** Community input. Voting item.

Ms Burdick presented the request on behalf of the Department of Public Works to revisit the request to place a traffic signal at the intersection of South Mission and Pepper Tree. DPW felt that the warrants were met and they requested the Planning Group's support for putting the intersection on the list for future signalization. Mr. Murali Pasumarthi explained the importance of having intersections on the improvement list to assure that both private development and Capital Improvement Projects did not overlook their importance. After discussion of the request, Ms. Burdick motioned to approve the signalization of the intersection and the motion was approved unanimously.

4. Discussion on a request to signalize the intersection of Brooke Road and Stage Coach Lane. DPW Unit Manager Kenton Jones, 858-874-4009. **Circulation Committee.** Community input. Voting item.

Ms Burdick again introduced the request. She stated that DPW had studied the intersection, found it meets four of the eight possible warrants and was asking for Planning Group concurrence. A Ms. Robinson spoke to the danger of the intersection stating her son had become a paraplegic after an accident at the intersection and felt there was definitely a need for some improvement. Ms. Burdick stated that DPW engineers felt that the intersections of Calavo and Brooke could be controlled as one large intersection.

Mr. Carl Hickman (DPW Transportation Section) gave some detail of how the large intersection would work.

After further discussion Ms, Burdick motioned to approve the signalization of the intersection and the motion was approved unanimously

5. MUP10-025 (SD0662 Cask & Clever) Major Use Permit for an unmanned telecommunications facility with antennas mounted on a proposed 32-foot high artificial Queen Monopalm tree located at 4019 South Mission Road. Owner Andrew Stannard Family Trust 619-234-5171. Applicant AT&T Mobility 760-715-3416. Contact person Karen Adler 760-715-3416. County planner Stephany Morgan 858-694-2069 stephany.morgan@sdcounty.ca.gov. **Public Facilities Committee**. Community input. Voting item.(8/18)

The applicant presented the request showing details of the existing landscaping on the property and how the antenna facilities would be integrated into the site.

Mr. Crouch reported that the Facilities Committee had inspected the site and determined that it was not the old Cask and Clever site but several parcels south of that property.

Nevertheless, the Committee had no objections to the project.

After discussion Mr. Crouch motioned to approve the project as presented and the motion was approved unanimously

6. TM5510RPL2 (PACIFICA ESTATES) Request to subdivide the 17.3 acres located at 2270 Mission Road into 25 lots for 21 dwelling units, 2 open space lots, and 2 Home Owner Association Common lots. Owner F. Martinez and J.L. Islas 210-265-1306. Applicant and Contact person Tim Thiel 760-603-6243. County planner Gail Wright 858-694-3003. Continued at the 21Jan2008 FCPG meeting. **Land Use & Circulation Committees**. Community input. Voting item (9/16)

The Applicant presented the project stating that the project had been revised to address some of the Planning Group's concerns and requested approval.

Mr. Wood stated that the Land Use Committee had reviewed the project and recognized that the emergency access problem had been resolved to the Fire Department's satisfaction, lot sizes met the current half acre zoning, and storm water improvements had been made.

However, the cut and fill slopes while reduced were still 22 to 28 feet in height.

Ms. Burdick reported that the Circulation Committee had reviewed the project and recognized the resolution to the emergency access issue but had major concerns with the project's impacts to Mission Road. Both the proximity to Stage Coach and the possible impact to the Pepper Tree entrance were of concern.

A resident of the Pepper Tree Project stated that the traffic signal at the Pepper Tree entrance was becoming dangerous already with traffic running the red light regularly. He felt that additional traffic of a new subdivision would be a very dangerous development.

Mr. Russell chastised the developer for continuing to propose flat pads on a site with so much natural grade change. He felt the proposed grading represented a clear violation to the Fallbrook Community Plan grading restrictions.

After further discussion, Mr. Wood motioned to deny the request on the grounds of its violation of the Fallbrook Community Plan Grading restrictions and the safety concerns of the traffic impact to Mission Road with the current design. The motion was approved unanimously

7. Presentation by Chris Brown, 760-809-7455, alchemycb@cox.net on possible changes to the Campus Park/Passerelle project (504 acres located in the north east corner of I-15 and SR-76). **Land Use, Circulation, Parks & Recreation, and Design Review Committees**. Community input. Non-voting item.

Mr. Brown and Mr. Davis presented the re-designed project. The primary changes were a reduction of units from 1076 to 751, elimination of the two multi-family housing sections on the south end of the project, (MF 1 & 4), to be replaced by open space, and reduction of the height of buildings to conform to the Fallbrook Design Guidelines (35' maximum height).

The elimination of the two multi-family housing sections also eliminated the split between the Fallbrook and Bonsall school districts and reduced the student population by 30%. Now all housing in Campus Park is located in the Fallbrook District. The height reduction eliminated the need for a special fire truck.

Mr. Davis reviewed the circulation elements of the project and noted that TIF fees will be allocated to improve the intersections at Pala Mesa/Old 395, Reche Road/Old 395, and Stewart Canyon/Old 395. There will be three signalized intersections within the project on Horse Ranch Creek Road that will provide four-way access, and link the project and the college. Campus Park will also install a signal at SR76 and Horse Ranch Creek Road.

A resident of the Stewart Canyon area spoke in opposition to the project. She stated that the impact to the Stewart Canyon area would be unwelcome.

Ms. Burdick stated that the Circulation Committee had reviewed the project and had concerns with the width of proposed improvement north of the project to Stewart Canyon and the connecting road between Horse Ranch Creek and Pankey roads. The Committee felt both sections should be four lane roads. Also the Committee felt that a traffic Signal at Pankey and SR-76 was needed.

Mr. Wood appreciated the unit reduction numbers but was concerned with the lot sizes. He felt 6,000 square foot lots were the appropriate minimum and the 4,000 square foot lots were too small.

Ms. Delaney appreciated the height reductions but requested more single story units be considered.

Ms. Heyneman noted several concerns that the Parks and Recreation Committee had had over the years of review that the current plan addressed. However she requested that the project consider further reduction of 27 units to meet a previous request of the Planning Group.

Ms. Bain had air quality concerns with proposing to place a residential community in such close proximity to a working rock quarry and major traffic corridors.

Mr. Harrington commented that the project was definitely moving in the right direction. It appeared to be the result of reaction to the EIR and Planning Group Comments. However, he agreed with Mr. Wood's concern with 4,000 square foot lots and Ms. Heyneman's point of asking the developer for further unit reduction.

Mr. Russell was less impressed by the new proposal. He felt that previous proposals had never been approved and that the development should be proposing around the 650 units. He stated that the only 4,000 square foot lots in Fallbrook were in mobile home parks. He further commented that the only reason the previous density was considered for this area (the HP development) was because it produced an employment center with a light industrial component. Mr. Russell felt the current development did not offer those aspects.

At this point Mr. Russell informed the Group that the development would be a voting item on next month's agenda and closed the discussion.

8. Waiver of B community design site plan for a two story elevator. Location: 2795 Sumac Rd. Contact: Lance McAuley, 760-728-0188, County Planner: Dag Bunnemeyer, Dag.bunnemeyer@sdcounty.ca.gov. **Design Review Committee**. Community input. Voting Item. **The request was withdrawn by the applicant.**

The meeting was adjourned at 9:00 pm.
Tom Harrington, secretary

FALLBROOK COMMUNITY PLANNING GROUP

And

FALLBROOK DESIGN REVIEW BOARD

Regular Meeting

Monday 18 October 2010, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook

MINUTES

Meeting called to order at 7:00 PM by Jim Russell, who led the assembly in the Pledge of Allegiance.

15 members were present: Anne Burdick, Jean Dooley, Tom Harrington, Ron Miller, Steve Smith, Jim Russell, Jack Wood, Eileen Delaney, Jackie Heyneman, Michele Bain, Roy Moosa, Harry Christiansen, Paul Schaden, John Crouch and Donna Gebhart.

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Groups jurisdiction but not on today's agenda. Three minute limitation. Non-discussion & Non-voting item.

Mr. Russell announced that a long time member of the Planning Group Mr. Jim Bowan had passed away last weekend in Texas. He requested a moment of silence in reverence.

2. Approval of the minutes for the meetings of 20 September 2010. Voting item.

Mr. Harrington noted that the time the September meeting was held was incorrect and changed that to 7:00 PM. Mr. Smith motioned to approve the minutes as corrected and the motion passed with 14 in favor and Ms. Gebhart abstaining.

3. Reconsideration of the decision of 7/19/2010 to deny the request for the signalization of the intersection of South Mission Road and Pepper Tree Lane based on the new information provided by DPW Unit Manager Kenton Jones, 858-874-4009 at the 9/20/2010 FCPG meeting. **Circulation Committee.** Community input. Voting item.

Ms Burdick presented the request on behalf of the Department of Public Works to revisit the request to place a traffic signal at the intersection of South Mission and Pepper Tree. DPW felt that the warrants were met and they requested the Planning Group's support for putting the intersection on the list for future signalization. Mr. Murali Pasumarthi explained the importance of having intersections on the improvement list to assure that both private development and Capital Improvement Projects did not overlook their importance. After discussion of the request, Ms. Burdick motioned to approve the signalization of the intersection and the motion was approved unanimously.

4. Discussion on a request to signalize the intersection of Brooke Road and Stage Coach Lane. DPW Unit Manager Kenton Jones, 858-874-4009. **Circulation Committee.** Community input. Voting item.

Ms Burdick again introduced the request. She stated that DPW had studied the intersection, found it meets four of the eight possible warrants and was asking for Planning Group concurrence. A Ms. Robinson spoke to the danger of the intersection stating her son had become a paraplegic after an accident at the intersection and felt there was definitely a need for some improvement. Ms. Burdick stated that DPW engineers felt that the intersections of Calavo and Brooke could be controlled as one large intersection.

Mr. Carl Hickman (DPW Transportation Section) gave some detail of how the large intersection would work.

After further discussion Ms, Burdick motioned to approve the signalization of the intersection and the motion was approved unanimously

5. MUP10-025 (SD0662 Cask & Clever) Major Use Permit for an unmanned telecommunications facility with antennas mounted on a proposed 32-foot high artificial Queen Monopalm tree located at 4019 South Mission Road. Owner Andrew Stannard Family Trust 619-234-5171. Applicant AT&T Mobility 760-715-3416. Contact person Karen Adler 760-715-3416. County planner Stephany Morgan 858-694-2069 stephany.morgan@sdcounty.ca.gov. **Public Facilities Committee.** Community input. Voting item.(8/18)

The applicant presented the request showing details of the existing landscaping on the property and how the antenna facilities would be integrated into the site.

Mr. Crouch reported that the Facilities Committee had inspected the site and determined that it was not the old Cask and Clever site but several parcels south of that property.

Nevertheless, the Committee had no objections to the project.

After discussion Mr. Crouch motioned to approve the project as presented and the motion was approved unanimously

6. TM5510RPL2 (PACIFICA ESTATES) Request to subdivide the 17.3 acres located at 2270 Mission Road into 25 lots for 21 dwelling units, 2 open space lots, and 2 Home Owner Association Common lots. Owner F. Martinez and J.L. Islas 210-265-1306. Applicant and Contact person Tim Thiel 760-603-6243. County planner Gail Wright 858-694-3003. Continued at the 21Jan2008 FCPG meeting. **Land Use & Circulation Committees.** Community input. Voting item (9/16)

The Applicant presented the project stating that the project had been revised to address some of the Planning Group's concerns and requested approval.

Mr. Wood stated that the Land Use Committee had reviewed the project and recognized that the emergency access problem had been resolved to the Fire Department's satisfaction, lot sizes met the current half acre zoning, and storm water improvements had been made.

However, the cut and fill slopes while reduced were still 22 to 28 feet in height.

Ms. Burdick reported that the Circulation Committee had reviewed the project and recognized the resolution to the emergency access issue but had major concerns with the project's impacts to Mission Road. Both the proximity to Stage Coach and the possible impact to the Pepper Tree entrance were of concern.

A resident of the Pepper Tree Project stated that the traffic signal at the Pepper Tree entrance was becoming dangerous already with traffic running the red light regularly. He felt that additional traffic of a new subdivision would be a very dangerous development.

Mr. Russell chastised the developer for continuing to propose flat pads on a site with so much natural grade change. He felt the proposed grading represented a clear violation to the Fallbrook Community Plan grading restrictions.

After further discussion, Mr. Wood motioned to deny the request on the grounds of its violation of the Fallbrook Community Plan Grading restrictions and the safety concerns of the traffic impact to Mission Road with the current design. The motion was approved unanimously

7. Presentation by Chris Brown, 760-809-7455, alchemycb@cox.net on possible changes to the Campus Park/Passerelle project (504 acres located in the north east corner of I-15 and SR-76). **Land Use, Circulation, Parks & Recreation, and Design Review Committees.** Community input. Non-voting item.

Mr. Brown and Mr. Davis presented the re-designed project. The primary changes were a reduction of units from 1076 to 751, elimination of the two multi-family housing sections on the south end of the project, (MF 1 & 4), to be replaced by open space, and reduction of the height of buildings to conform to the Fallbrook Design Guidelines (35' maximum height).

The elimination of the two multi-family housing sections also eliminated the split between the Fallbrook and Bonsall school districts and reduced the student population by 30%. Now all housing in Campus Park is located in the Fallbrook District. The height reduction eliminated the need for a special fire truck.

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A resident of the Stewart Canyon area spoke in opposition to the project. She stated that the impact to the Stewart Canyon area would be unwelcome.

Ms. Burdick stated that the Circulation Committee had reviewed the project and had concerns with the width of proposed improvement north of the project to Stewart Canyon and the connecting road between Horse Ranch Creek and Pankey roads. The Committee felt both sections should be four lane roads. Also the Committee felt that a traffic Signal at Pankey and SR-76 was needed.

Mr. Wood appreciated the unit reduction numbers but was concerned with the lot sizes. He felt 6,000 square foot lots were the appropriate minimum and the 4,000 square foot lots were too small.

Ms. Delaney appreciated the height reductions but requested more single story units be considered.

Ms. Heyneman noted several concerns that the Parks and Recreation Committee had had over the years of review that the current plan addressed. However she requested that the project consider further reduction of 27 units to meet a previous request of the Planning Group.

Ms. Bain had air quality concerns with proposing to place a residential community in such close proximity to a working rock quarry and major traffic corridors.

Mr. Harrington commented that the project was definitely moving in the right direction. It appeared to be the result of reaction to the EIR and Planning Group Comments. However, he agreed with Mr. Wood's concern with 4,000 square foot lots and Ms. Heyneman's point of asking the developer for further unit reduction.

Mr. Russell was less impressed by the new proposal. He felt that previous proposals had never been approved and that the development should be proposing around the 650 units. He stated that the only 4,000 square foot lots in Fallbrook were in mobile home parks. He further commented that the only reason the previous density was considered for this area (the HP development) was because it produced an employment center with a light industrial component. Mr. Russell felt the current development did not offer those aspects.

At this point Mr. Russell informed the Group that the development would be a voting item on next month's agenda and closed the discussion.

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Contact: Lance McAuley, 760-728-0188, County Planner: Dag Bunnemeyer,
Dag.bunnemeyer@sdcounty.ca.gov. **Design Review Committee**. Community input. Voting Item.
The request was withdrawn by the applicant.

The meeting was adjourned at 9:00 pm.
Tom Harrington, secretary

Fallbrook CPG Comments 8/21/2006

elevations, a site plan and an aerial view of the 4 corners at this location. The latter shows the Walgreen's to be the smallest building in the quadrant. The proposal is for limited hours of operation, although about 10 % of Walgreens operate 7/24. All deliveries would be at closed hours, since the loading dock would use the same driveway as the drive-up prescription window. The architecture is such as to enhance the country town of Fallbrook, with earth-tone colors and brown metal awnings over the windows. They have added a third tower to the roofline as requested by Design Review. One factor mentioned by DR is that Walgreen's does not sell alcoholic beverages, in contrast to the nearby Rite Aid Pharmacy.

Eileen Delaney said Walgreen's will supply a letter that the store will not be open 24 hour schedules. Jim Russell did not like the request for a waiver of setback on the north side. John Crouch said this would be an improvement to the gas station, and that 24 hour operation in downtown Fallbrook will not be practical. Jack Wood reminded us that he Sheriff finds this area to have high crime activity. This was a non voting presentation.

12. Informational Presentation for a new building for McDaniel's Fruit Co. on Industrial Way. Contact person Julie Chiu, Davy Architecture Eight Eleven Tenth Avenue San Diego, CA 92101-6503 619.238.3811 ext. 15, jchiu@davyarchitecture.com. **Design Review Committee.** Community input. Non voting item. (7/25)

The applicant was not ready for this presentation, ut expects to return to the agenda within 6 months.

→ 13. TM5510/AD06-045 Request to subdivide the 17.3 acres located at 2270 South Mission Road into 26 lots for 22 dwelling units, 2 open space lots and 2 storm water runoff control lots. The request includes an application for an Administration Determination Permit to allow for Lot Area Averaging to accommodate lots smaller that allowed by current zoning because of the sensitive environmental lands within the project. The project proposes up to 28 foot high cut and fill slopes. Owner F. Martinez & J.L. Islas 210-265-1306. Applicant & Contact person Brooks Cavanaugh 758-7710 rlucera@rbf.com. County planner Gail Wright 858-694-3003. **Land Use Committee.** Community input. Voting item. ←

Brooks Cavanaugh presented. He asked for a continuance so the owners could consider the comments from the Land Use Committee. A number of people had come to the meeting to comment on the project, so Chair Jim Russell allowed full discussion but no vote. This is a proposed subdivision north of the High School, on a narrow and steeply sloping site. It would use large earth movement and disturbance to the natural terrain. The Land Use Committee had reviewed and acted on his project before the continuance was requested. An excerpt from the Committee minutes is included next:

Brooks Cavanaugh represented the project. The owner has no rights to use Morro Road, a private road east of the site, which means the only immediately feasible access is off South Mission Road. NCFPD will require an emergency vehicle access to Morro Road. There is no space to add acceleration or deceleration lanes along Mission because of the terrain. Furthermore, all turns from or onto Mission Road must be right turns only, from or onto the northbound lane. Traffic from the north needing to enter the project would have to turn left at Stage Coach Lane and somehow turn around in the very busy High School area. The first turn for exiting traffic wanting to go south would be equally convoluted at the Air Park entrance. The owners propose a bridge through the wooded water course off Mission and creation of 2 retention ponds for surface water flow.

The internal problems have to do with the large amount of earth moving, which would create a fill slope 28 feet high, towering over the existing homes south of the project. Stability of such a high fill area for new homes is questionable. Even at that, the slope from east to west is high, meaning that home pads would be stair stepped along the private road. The committee believes that the retention ponds and the "HOA" lots cannot be used in the calculation for lot size averaging, so that the number of home sites must be reduced

Mr. Cavanaugh was informed of two paragraphs in the Fallbrook Community Plan having to do with maintaining terrain and not using excessive grading. Committee members were solicited for general comments. Common was the excess of grading, the plain vanilla look of the product, and the external traffic problems as described above, the internal public street should have a 56 ft ROW with 36 ft of paving. Harry Christiansen passed out a handout regarding lot size averaging regulations and pointed out the project does not qualify for lot size averaging because that procedure is only used to preserve ground forms and environmental features. The nine substandard lots do not do this. The internal road ending in a cul-de-sac is over the 600 foot maximum required by County Public Road Standards for a 52 foot wide road. Jack Wood is concerned with the disturbance to the natural terrain created by the amount of cut-and-fill, the dangerous traffic patterns, width of the public road and need for acceleration / deceleration lanes along Mission Road.

Harry Christiansen moved to recommend denial of the proposed subdivision as follows:

1. Lot Size Averaging is not appropriate in this instance because the nine substandard lots do not contribute to satisfying the purposes of the Ordinance as defined in Section 4230.a.

- 2. *The required Findings to be met in authorizing Lot Size Averaging are not satisfied with regard to "suitability of the site for this intensity of development" (4230.b.1.iii), and "the other impacts relating to dangerous traffic patterns" (4230.b.1.v).*
- 3. *Nine lots on the north side of Street A are less than 1/2 acre, so the number of total lots needs to be reduced.*
- 4. *Public Road Standards do not permit the 52 foot wide Right of Way proposed, so the road width should be increased to 56 feet.*
- 5. *Mission Road should have acceleration and deceleration lanes to safely serve the traffic resulting from this subdivision.*
- 6. *The limited access to and from the project (right turns in and out) creates potentially unsafe driving risks because of U turn limitations on Mission Road.*
- 7. *The Fallbrook Community Plan prohibits excessive grading and steep slopes.*

Motion was approved unanimously, 8 to 0.

Meeting adjourned at 9:06 PM

Jim Bowen, secretary

Cc: DPLU Mike Tartaglia
Dag Bunnemeyer Items 3, 4, 7, 10.
Christine Stevenson Item 5
Matthew Wright Item 8
Gaail Wright Item 13
Fallbrook Chamber of Commerce

**LIST OF PERSONS, ORGANIZATIONS, AND PUBLIC AGENCIES
THAT COMMENTED ON THE CEQA SECTION 15183
PDS2006-3100-5510; PACIFICA ESTATES TENTATIVE MAP**

A draft version of the California Environmental Quality Act Section 15183 was circulated for public noticing from March 26, 2015 to April 24, 2015. The following is a listing of the names and addresses of persons, organizations, and public agencies that commented during this public review period.

<u>NAME</u>	<u>ADDRESS</u>
<u>FEDERAL AGENCIES</u>	
N/A	
<u>STATE AGENCIES</u>	
N/A	
<u>COUNTY, CITY, AND OTHER LOCAL AGENCIES</u>	
Merri Lopez-Keifer, Tribal Legal Counsel San Luis Rey Band of Mission Indians	1889 Sunset Drive, Vista, CA 92081
<u>ORGANIZATIONS</u>	
James W. Royale, Jr., Chairperson San Diego County Archaeological Society, Inc	PO Box 81106, San Diego, CA 92138
<u>INDIVIDUALS</u>	
Richard and Violet Hulit	2433 Summerhill Lane, Fallbrook, CA 92028
Emmanuel Magos	2465 Summerhill Lane, Fallbrook, CA 92028
Jerome Gough	2317 Morro Road, Fallbrook, CA 92028
Brenda J. Lineman	2311 Morro Road, Fallbrook, CA 92028
Craig & Julia Mosgowsky	2187 Kirkcaldy Rd, Fallbrook, CA

	92029
Jeffrey Ray	2426 Summerhill Lane, Fallbrook, CA 92028
Robert and Joan Glick	2302 Morro Road, Fallbrook, CA 92028
Steven C. Johnson	1668 Loch Ness Drive, Fallbrook, 92028
Richard and Pamela Cook	1680 Loch Ness Drive, Fallbrook, 92028
Charles Bertolino	N/A
Greg and Jean Kaput	2104 Kirkcaldy Road, Fallbrook, CA 92028
Tom Gattegno	N/A
Wayne Savoie	605 Highland Park, Fallbrook, CA 92028
David and Genese Witwer	821 Highland Park, Fallbrook, CA 92028
David Green	2461 Summerhill Lane, Fallbrook, CA 92028
Debbie McCain	2425 Summerhill Lane, Fallbrook, CA 92028
Rex Welch	1069 Highland Park, Fallbrook, CA 92028
Nancy Dala	933 Highland Park Drive, Fallbrook, CA 92028
Scott Nunan	2158 Berwick Woods, Fallbrook, CA 92028
Michael Porretta	847 Inverlochy Drive, Fallbrook, CA 92028

Rod Campo

1045 Highland Park Drive,
Fallbrook, CA 92028

Angel Guadarrama

2457 Summer Hill Lane,
Fallbrook, CA 92028

Patrick Zimmerle

2441 Summer Hill Lane,
Fallbrook, CA 92028

A

Smith, Marisa

From: Dick Hulit <hutar63@sbcglobal.net>
Sent: Monday, April 06, 2015 8:10 PM
To: Smith, Marisa
Cc: 'Dick Hulit'
Subject: Pacifica Estates Proposal

Categories: Pacifica Estates

As directed, this information is provided to you for inclusion and consideration of the Pacifica Estates Proposal.

The proposed Pacifica Estates Project seems to be a redo of a previously rejected project. The Fallbrook Planning Committee Considered and rejected a similar project in the past(2008-2010).

In spite of the Governor of California's recent proclamation regarding Water Conservation, this project seems to plan for the use of more water use, for construction and occupancy for the 21 proposed new homes including 2}story homes in area of predominately Single Story Dwellings

While in the midst of a 4 year Drought, it is difficult to imagine a flood, yet part of the project planned is in a 100 Year Flood Plain.

Additional concerns include Safety Issues on Mission Road. The stretch of road between Stage Coach Lane/Mission and Sterling Bridge Road is only about .2 of a mile. The Proposal to break the Center Divide Strip to provide a U-Turn and Left Turn Lane appears dangerous.

Safety considerations for the area include the Volume of Traffic while High School is in session as well as the already heavy traffic for people driving out of the area to go to work.

In the past,2008-2010, the lack of regard for the general neighborhood was demonstrated by the laying on of lights on elevated wires to enhance growing times. The lights went on at Dark and remained on all night. The lights were only turned off, then removed, at the direction of the police. There was no regard for the neighborhood and the quality of life therein.

This project has been previously reviewed and rejected by the Fallbrook Planning Committee. The current proposal seems no different than the old Rejected proposal.

Respectfully Submitted,
Richard and Violet Hult
2433 Summerhill Lane
Fallbrook CA
92028



Smith, Marisa

From: Emmanuel Magos <mannymagos@yahoo.com>
Sent: Friday, April 17, 2015 8:29 AM
To: Smith, Marisa
Cc: Laurie Magos
Subject: PROPOSED DEVELOPMMENT; TRACT TM 5510, PACIFICA ESTATES

Categories: Pacifica Estates

Good morning Ms. Smith,

My name is Emmanuel Magos. My wife Laurie, two children, and I reside at 2465 Summerhill Lane. Per the Public Disclosure Notice dated March 26, 2015 regarding the County's intent to announce findings about the subject proposal, I would like to submit our input for consideration.

As residents of Summerhill Lane, we join our neighbors in voicing our objections to the proposed development due to a variety of reasons but primarily due to the potential hazards associated with rain run-off from the area to our north. As you may know, the area to the west of our property (behind our backyard) has had a history of severe flooding. We are concerned that any change of landscape at the proposed site will lead to increased drainage in this area thereby increasing the risk of flooding during major rain storms. Additionally, Mission Rd. is a very heavily travelled road by both commuter and commercial traffic, especially during the work commute/school hours. We are concerned about the increase in traffic behind our home and the potential for an increase in vehicle/pedestrian accidents, especially any that may be caused by the proposed U-turn lane at Sterling Bridge Rd. The proposed U-turn provides only a short distance to cross over two lanes of traffic for vehicles intent on travelling south on Mission Rd.

No doubt our neighbors have voiced these and similar concerns. As a result, we are very anxious to hear what plans the County/developer may have in place to mitigate these concerns should the development plan be approved.

Thank you for the opportunity to express our concerns.

Sincerely,

E. Manny Magos
951-295-8024

**Smith, Marisa**

From: Jerome Gough <jeromegough@yahoo.com>
Sent: Friday, April 24, 2015 2:32 PM
To: Smith, Marisa
Subject: Pacific Estates Major Subdivison, PDS2006-3100-5510

These are the comments I would like to make.

I am concerned when a developer can change the contour of the land in such a dramatic fashion. I read his report and I did not see that he has any concern for the homes that surround his property. The study references the views from Mission and Stagecoach. On Mission they are going 50 mph and better be watching for his owners entering the road. On Stage Coach there is no view. My property has a 15++ foot wall of dirt at the edge of my back yard and another wall of dirt to the north which are eye sores. When they started planting in back of my property I had to put in a some railroad ties to stop the dirt. I am not alone with this grading problem, my neighbor across the street to the west battled the mud run off when we had medium rain. The hill was covered with plants. This is prior to any cut fill or compaction. "Pacific Estates" put in a catch basin at their east side entrance from Morro Rd. When it rained their employees emptied it constantly. They also spent a day with several men cleaning out the drainage ditch.

I have had some bad experiences with grading. I worked in Glendora and Valencia California when the mud slides went through homes and my employer ask everyone to help move people out and get their belongings out.

The reason for all of this grading is most likely due to the sewer line restrictions. I believe they require a certain slope to the line and a maximum and minium depth. Due to the fact that they can not get a sewer connection out the west end of the property they are grading to get to a level where it works from west to east.

I assume they plan to use some type of foliage to prevent run off. What will happen when water is in short supply and the plants die and we get a heavy rain. When the drops hit the bare earth the dirt moves. I watched this happen on Ocean View Terrace in Vista.

If you decide to allow him to develop this land I believe that Pacific Estates should be required to disclose the lighting and noise from the football and other evening events at the high school to potential buyers. From the half way up the current rise you can hear the bells and PA at the high school during the day.

The Traffic study that does not reflect current changes such as the 76 to the south becoming 4 lanes verses 2 lanes also the number of people

exiting the marine base. The safety issues at Pacific Estates west entrance and exit. High school students jumping there emergency gate and crossing Stage Coach at Morro Rd. We will need a 6' fence at the east end of their property to prevent the high school students from crossing my property at 2317 Morro Rd to go to school.



April 20, 2015

County of San Diego
Planning & Development Services
Attn: Ms. Marisa Smith, (858) 694-2621
5510 Overland Avenue, Suite 310
San Diego, CA 92123
marisa.smith@sdcounty.ca.gov

Subject: Pacifica Estate Subdivision/Fallbrook, CA

RE:

- a) <http://www.sandiegocounty.gov/content/dam/sdc/pds/ceqa/PacificaEstates/TM-5510-DrainageStudy.pdf>
- b) <http://www.sandiegocounty.gov/dpw/land/landpdf/gradingordinance.pdf>
- c) http://www.sandiegocounty.gov/pds/ceqa_public_review.html

Dear Ms. Smith,

This letter is in response to a notification we received that the County of San Diego, Planning & Development Services (PDS) intended to adopt findings for the "Pacifica Estates Major Subdivision, PDS2006-3100-5510 TM; Log No. PDS2006-3910-06-02-023 (ER)" project.

We have been residents of 2311 Morro Road in Fallbrook since 1985. We own a single family residence adjacent to the South side of the property that is the location of Pacifica Estates request for development.

We object to any form of approval of this request for the following reasons:

1. The decisions to reject the project request in the past are based on clearly valid criteria. The Fallbrook Community Planning Group met three times to consider this project, 21 January 2008, 16 February 2009, and 18 October 2010. At the 16 February 2009 and the 18 October 2010 meetings The Fallbrook Community Planning Group recommended a denial for the project.
2. The request for approval is based on faulty assessments on the impact on drainage.
 - a. Reference a) the Drainage Study states: "...3.1 Drainage Patterns The proposed project will not alter or divert drainage, as compared to predevelopment conditions...". This statement is clearly inaccurate. Reference b) The Grading Study proposes to move 80,000 cubic yards of soil without altering drainage. Placing 20 feet of fill on the southwest side of the development will divert the drainage into the private properties on Summerhill.

- b. The Drainage Study also states: "...3.4 Project Erosion and Siltation. Because runoff over erodible surfaces will be restricted to flows from the individual lots, and because the proposed grading will limit the flows and velocities of runoff generated, neither erosion nor siltation are anticipated." This statement is misleading. The proposed grading will introduce highly erodible surfaces that will flow into private properties to the South of the development. This statement fails to take into account newly introduced soil that will redirect overland flows to the South. The proposed slope to the South compared to the degree of existing grades to the West makes it readily evident that the average velocity will be significantly higher on the proposed slopes to the South.
- c. The Drainage Study also states: "...While Table 1-2 describes on-site soils as low to moderately erodible, Table 3-1 shows that the average velocity associated with overland flows will decrease in the post-development condition from approximately 2.0 fps pre-development to 0.3 fps. For the proposed condition this velocity applies only to the initial concentration of flow on the typical lot..." This statement is inaccurate. First, there are no "typical lots". Each lot on the South side is established on a different slope and elevation. Second, 80,000 cubic yards of fill at a height of 20 feet on a 2:1 slope guarantees an absolute certainty that there will be significant erosion flooding the private properties on Summerhill. Third, given the volume and height of fill, the structures on lots 3 through 6 are certain to experience cracked foundation slabs.
- d. The Drainage Study also states: "...4.3 Ostrich Farms Creek Hydraulics. A hydraulic model of the 100-year flood event was developed using HEC-RAS. The model results indicate that the proposed project will affect minor changes to water surface elevations in Ostrich Farms Creek ... immediately adjacent to the project site..." This statement is misleading. First, the increased water flow from the increase in impervious surfaces has to go somewhere. Second, the grading plan clearly demonstrates that this water will flow to the southwest into private property on Summerhill.
- e. The Drainage Study also states: "...A comparison of the HEC-RAS 100-year pre-development and post-development hydraulic models indicates that the proposed culvert crossing of Ostrich Farms Creek will not impact flow conditions upstream or downstream from the proposed property (i.e. HGL, flow velocity, and flooded width match)..." This statement in 4.3 Ostrich Farms Creek Hydraulics is based on an erroneous premise. First, the error is in the beginning of the study with the statement that the only water flow is East and West. Second, even with the current topography the predominant flow is from the Northeast to the Southwest. Third, the grading plan creates a flood risk for the adjacent private properties to the south by attempting to avoid adverse effects on the wetlands.
- f. The "Survey for the San Diego Area by the Soil Conservation Service issued December 1973" is cited in the Drainage Study as the basis for the Drainage Study's analysis. A comparison of the soil properties the Drainage Study ascribes to the predominant soils with the soil properties the Survey demonstrate that the Drainage Study erroneously downgraded their propensity to erode from "severe" in the Survey to "low-to-moderate" in the Drainage Study.

- g. The Drainage Study is also erroneous as it summarizes Soil Types on the proposed development site in Table 1-2 and locations in Exhibit E. Exhibit E also discusses the limitations of these Soil Types. Yet this is at variance with the cited Survey. The two predominant Soil Types found on 14 of the 17 acres comprising the proposed project are "Fallbrook Sandy Loam 9-15%, Eroded (FaD2)" and Soil Type "Placentia Sandy Loam 2-9% (PeC). Both are Soil Type 'C' and should be identified as such in the Drainage Study. The Drainage Study states their erodibility as low-to-medium whereas Table 11 in the Survey cited as the source for the Drainage Study states FaD2's erodibility as "severe 16" and PeC's erodibility as "severe 9".
 - h. The Drainage Study, Paragraph 1.2.3 & Table 1-2 and Major Storm Water Management Plan, Table 2, item 4 highly misrepresents the erodibility properties of the prevalent Soil Types on the proposed project as compared to what the erodibility properties described in "Survey for the San Diego Area by the Soil Conservation Service". As the Survey is the Drainage Study's authoritative source for soils, saying 14 of the project's 17 acres is of Soil Type B rather than Soil Type C and then stating erodibility as being low to moderate when their own source of information rates it as severe is not acceptable. Given that the infiltration rate will be much slower and thus the runoff much higher than stated in the Drainage Study and the Storm Water Management Plan, these two documents must be resubmitted to accurately cite the soil properties provided in the Survey.
 - i. There are other issues with the Drainage Study. Paragraph 3.1. states in part that the project will "...not alter or divert drainage, as compared to predevelopment conditions." This is in conflict with paragraph 2.1 where it states a substantial portion of runoff presently directed towards Morro Road will be diverted to flow towards the detention ponds. It also conflicts with the proposed project's Preliminary Grading Plan, which says 80,000 cubic yards will be cut and filled. The cut will be on the northern edge of the property and will remove more than 20 feet of elevation to accommodate the northern pads. Fill will be along the southern border, where the southern edge of those pads will be built up by 20 feet or more on the natural slope. For just the Western slope described in paragraph 1.2.1, that portion of the slope will change from approximately 11% to 5%, and that does not take into account the remainder of the cut and fill plans that result in drainage being redirected from Morro Road toward the two detention basins.
 - j. The erroneous and outdated data in both the Drainage Study and the Storm Water Management Plan invalidate the Grading Plan and Hydromodification Mitigation Study. California fauna protected by federal law will be destroyed by this development due to the construction and effects of water drainage.
3. The request for approval is based on an unrealistic and unfeasible plan for grading.
- a. Given the cut and fill amounts are both 80,000 cubic yards, it is apparent that the on-site soils cut from the northern side of the proposed site will be used to build pads for lots on the southern sides. According to the source cited in the proposed project's Drainage Study, the erodibility of the preponderance of soil types that

- would be used as fill for lots and construction of the berm is rated "severe" rather than the "low-to-moderate erodibility stated throughout the Drainage Study.
- b. Further, the expandability (shrink-swell) properties of the soil cut from the northern edge of the proposed project site are rated "moderate". Expandability of soil just west of the cut is rated "high". The expandability rating the Survey ascribes to these soils should be taken into consideration for the berm, residential lots, private road, and construction of the detention ponds. Given the data available, it is highly probable that the berm will migrate onto adjacent property to the south.
 - c. Nowhere in the request is there a plan to prevent the southern slope of the berm from eroding. There is no contingency plan for clearing siltation from channels used to direct runoff from this slope to the detention ponds.
 - d. According to the Drainage Study, the plan is to add 3.8 acres of impervious surfaces and redirect a "substantial portion" of runoff into the two detention ponds next to Ostrich Farms Creek. This will nearly triple the current amount of runoff going into Ostrich Farms Creek. The Grading Plan provides no relief or solution to this threat to adjacent private properties.
 - e. According to Table I in the "Survey for the San Diego Area by the Soil Conservation Service, the Fallbrook Sandy Loam's "Shrink-Swell" behavior is 'Moderate' and the Placentia Sandy Loam's Shrink-Swell behavior is 'High'. Therefore, placing two story homes on pads with 80,000 cubic yards of fill dirt will guarantee cracked slabs and significant soil shift.
4. This request should be rejected for reasons of traffic safety, protection of private property and protection fauna and wildlife habitats .
- a. The request does not address the impact on the roads, residents, or high school students during construction.
 - b. Access to the site will not be possible from Stagecoach through Morro Road given that it is a private road too narrow for construction equipment. Morro Road was not built to handle heavy equipment. The transport of construction equipment on Morro Road will destroy the road surface. Access to Morro Road is also subject to permission by residents to provide right of way.
 - c. Access to the site from Mission Road would require expansion of a small bridge. That is now possible because it would destroy protected fauna and habitats in a wetlands area.
 - d. Even if the decision was made to destroy the private road, the congestion would place at risk movement of emergency vehicles, resident access and school traffic.
 - e. If the decision was made to destroy the wetlands, the congestion on Mission Road created by the construction vehicles turning off and on Mission would require special traffic supervision and enforcement on a road with a 50 mph limit.
 - f. After the development is populated the traffic flow, congestion and speed limit differentials in terms of vehicular throughput, vehicular speed and conflict index will make Mission Road intolerably unsafe.
 - i. The request proposes a new right-turn-only intersection into the two northbound lanes of a major, 50 mph, four-lane divided road between two existing, traffic-signal controlled interscctions less than 1,000 feet apart.
-

- ii. When completed, this right-turn-only intersection will be the sole access and exit for all vehicles. All vehicles will have to turn right to enter the development or turn right and accelerate up a 2.5% grade to enter South Mission Road.
 - iii. Additionally, the request proposes adding a new U-turn lane at the South Mission Road and Sterling Bridge Road. This new intersection proposed by the project is approximately 550 feet north of South Mission Road and Stagecoach Lane and less than 400 feet south of the S. Mission Rd/Sterling Bridge Rd intersection.
 - iv. Presently, neither left turns nor U-turns are allowed at this signal-controlled intersection and there is insufficient space to widen the right-most lane of southbound traffic to accommodate vehicles that require extra room to turn-around.
 - g. Beyond this, the Traffic Impact Study uses data that is years out of date.
5. There is no acceptable plan for utilities.
- a. The request proposes to install sewer and water with a new bridge across protected wetlands. That is not feasible given the traffic issues on Mission Road during construction and current environmental regulations.
 - b. Electrical, cable, sewer and water installed through Morro Road is not feasible given the rights of current property owners on Morro Road.
6. The request's assessment of the potential effects of the proposed project on local water resources in terms of quantity and location does not match reality.
- a. The request states: "The proposed project will not alter or divert flow, as compared to existing conditions. Easterly and westerly 100-year peak flow discharge will be reduced under proposed conditions, as compared to existing conditions." We believe that the proposed project will alter and divert water flow because the project creates an artificial ridgeline with the 80,000 cubic yards of fill. It is possible that "...Easterly and westerly 100-year peak flow discharge will be reduced under proposed conditions..." because all of the discharge will be redirected south into private property on Summerhill.
 - b. The request states: "The project will not increase peak 100-year discharges in Ostrich Farms Creek or other points downstream. It accomplishes this by means of on-site bioretention basins. These basins are connected with an equalization pipe, thus only the southerly basin discharges from the site (Node A on the proposed hydrologic work map in Appendix B)." We believe that given the grading plan, it is clear that "...The major bioretention basins..." will be private homes on Summerhill.
 - c. The request states: "There are no County Master Plan drainage facilities shown in the approved Comprehensive Plan that would affect the project. The existing culvert that passes Ostrich Farms Creek under Stage Coach Lane is inadequate. For the 100-year flood event Stage Coach Lane is overtopped by flow, which produces a backwater effect that will cause flooding near Stage Coach Lane. The proposed project has no impact, adverse or mitigating, upon this situation." We

believe that given the grading plan, the project will significantly exacerbate any such event on Stagecoach because it will flood Summerhill.

- d. The request does not address the effects of moving 80,000 cubic yards of loose dirt to a height of 20 feet with 30 degree slopes into adjacent private properties.
 - e. The Drainage Study and Grading Plan contain three false premises:
 - i. The topography is not as it really appears.
 - ii. No water has or ever will drain to the south or southwest.
 - iii. Water does not flow downhill.
7. It is not reasonable or rational to request approval for the plan for development even though it contains violations of several conditions under which a grading permit could reasonably be approved.
 8. This project will have a severe impact on the environment yet there is no evidence of an Environmental Review in accordance with existing regulations.
 9. The County of San Diego's Statement of Reasons for Exemption from Additional Environmental Review does not accurately address current State and Federal regulations. Any request to develop the proposed site must include the complete review process.
 10. This Plan for development is in clear violation of San Diego County Code of Regulatory Ordinances TITLE 8 SEC. 87.101. (d) and (f). It may also be in violation of State and Federal Acts covering the protection of endangered species.
 11. A recommendation for disapproval has been made on several occasions by The Fallbrook Community Planning Group. Given the characteristics of the subject property, adjacent properties and protected wetlands, there is no evidence that CEQA Section 15183 applies in this case. Therefore, approval under these circumstances without full review and referral to The Fallbrook Community Planning Group would elicit every appearance of corruption.

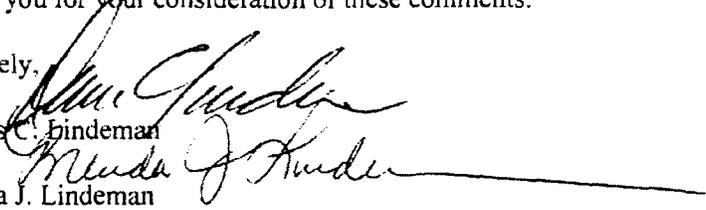
The rejection of this proposed Subdivision by Pacifica Estates will preserve the value of the community and will work to maintain law and order.

Thank you for your consideration of these comments.

Sincerely,

Dennis C. Lindeman

Brenda J. Lindeman



2311 Morro Road
Fallbrook Ca 92028
760-723-1353



Craig & Julia Mosgowsky
2187 Kirkcaldy Rd
Fallbrook, CA. 92029
Craig.Mosgowsky@USBank.com
949-424-4405

April 22, 2015

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
5510 Overland Ave, Suite 310
San Diego, CA 92123

RE: Pacifica Estates -- PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER)

Dear Ms Smith:

As a homeowner and resident of Peppertree Park in Fallbrook, CA, I am concerned about the impact of the Pacifica Estates development proposed for the adjoining land to the south. My concerns involve:

- Traffic Impact – In spite of the findings of the traffic study, the proposed access involving right turns and u-turns will have a negative impact on traffic flow and safety on Mission Avenue and Sterling Bridge Road. The RBF Traffic Report which was utilized by the County Planning Department is flawed and we would ask that the County require another alternative to the already heavy traffic flow in this area. (see further discussion regarding traffic impact)
- Environmental Impact – The County letter regarding Exemption for Additional Environmental Review is erroneous and inaccurate. There are significant impacts with this project and the exemption should not apply. We would ask that the County require additional review and disclosure for this project as mandated by California Environmental Quality Act (CEQA).
- Missing check list items – The 15183 Exemption Checklist has most items unchecked. These items are discussed but the net impact is unclear.

Discussion

A. Traffic Impact

The proposed access plan involving right turns and u-turns seems less than ideal. Exiting the development and travelling south would involve a right turn (North) into the

traffic lane followed by merging into the left traffic lane and into the proposed left turn lane all within 0.1 mile on a posted 50 MPH road. Additionally, traffic is often slowing to merge into the right turn lane for Sterling Bridge Road. This seems to be a dangerous maneuver. In this same section of Mission between Stage Coach Lane and Sterling Bridge Road are a Breeze North County bus stop, a school zone, a bicycle lane, and pedestrian sidewalk. (See attached Exhibit A).

Rather than make this difficult and risky maneuver, residents will instead elect to stay in the right lane, turn into Sterling Bridge private roadway, make a u-turn behind the Peppertree Park guard house, and utilize the left turn lane and traffic light to more safely head south. This extra traffic will have a negative impact on our HOA's private street, which consists of pavers and is maintained by the home owners association, not the county. (See attached Exhibit B).

Page 28 of the Traffic Impact Study discusses the review of six access options and choosing option number 2 as the most favorable. The other options were not detailed in the study. What were these other options and why was this option chosen as the most favorable? It appears that converting the emergency access on Morro Road to the main access and changing the Mission access to allow emergency vehicles only would be advantageous from a traffic and safety standpoint.

C. Missing Check List Items on the 15183 Exemption Check List.

Although discussed, the checklist is not filled out to indicate the severity of the impact on the following items:

1. Aesthetics -- A through D not checked
 - We purchased our property in December 2013 mainly for the privacy and the uninterrupted view from our backyard. In discussion with the site engineer Tim Thiele a typical 2 story home would impair our view significantly even with the proposed 20 foot slope. That is unacceptable. Our home is the most adversely impacted property regarding the proximity of this new development.
 - We are very concerned about the lack of any Architectural Landscape Plans or Design Review. It is possible that the project will degrade the existing character of the community – adversely affecting the value of our property

2. Agricultural Impact -- A through E not checked
3. Air Quality Impact -- A through E not checked
 - We are quite concerned about the amount of dust and airborne debris that will occur during the grading operations especially with the huge amount of soil movement (80,000 cubic yards) being planned for this project.
 - Biological Impact – Significant impact indicated
 - We are very concerned about the impact on the wildlife that currently resides on the proposed project site. Once the construction starts, those animals will become displaced and could find a new home within our property. There are many desirable bird species that we enjoy that will lose habitat.
4. Cultural Resources Impact -- A through E not checked.
5. Geology and Soils Impact -- A through E not checked.
 - There is a significant impact to the soil that will need additional review. This project is contemplating moving 80,000 cubic yards of soil which is far above normal for a project of this size.
6. Greenhouse Gas Impact -- A through E not checked.
 - Hazards and Hazardous Material Impact – A through E not checked
 - Our property has historically been invaded by rodents until we took corrective action to resolve the issue. We are very concerned that the disruption of their normal habitat will greatly increase the invasiveness of potentially disease carrying animals such as mice, rats, rabbits, squirrels and gophers all of which we have fought hard to eliminate at our cost.
7. Hydrology and Water Impact -- A through E not checked.
 - As we all are aware, we are being asked to conserve water by reducing usage by 25%. It is our belief that this reduction will increase to 50% within the next 6 months putting a larger strain on our local water usage. Can we really afford to increase our local public water usage with an additional 21 homes during such a dire drought emergency?
8. Land Use and Planning Impact -- A through B not checked.
 - The negative traffic impact has already been discussed and is a major obstacle in allowing this project to move forward.

9. Mineral Resources Impact -- A through B not checked.
10. Noise Impact -- A through E not checked.
 - Both my wife and I work from a home office and are vulnerable to excessive noise. The existing traffic on Mission is barely acceptable and a major nuisance especially during sleeping hours. Noise from construction including grading and carpenters, additional traffic volume and traffic lights (car and motorcycles racing from the lights), absence of a HOA controlled noise ordinance for the 21 homes are all **MAJOR** concerns.
11. Population and Housing Impact -- A through C not checked.
12. Public Service Impact -- not checked
13. Recreation Impact -- A through B not checked.
14. Transportation and Traffic Impact -- A through E not checked.
 - Already addressed – there are significant traffic issues that will need further review and discussion.
15. Utilities and Service System Impact -- A through G not checked.

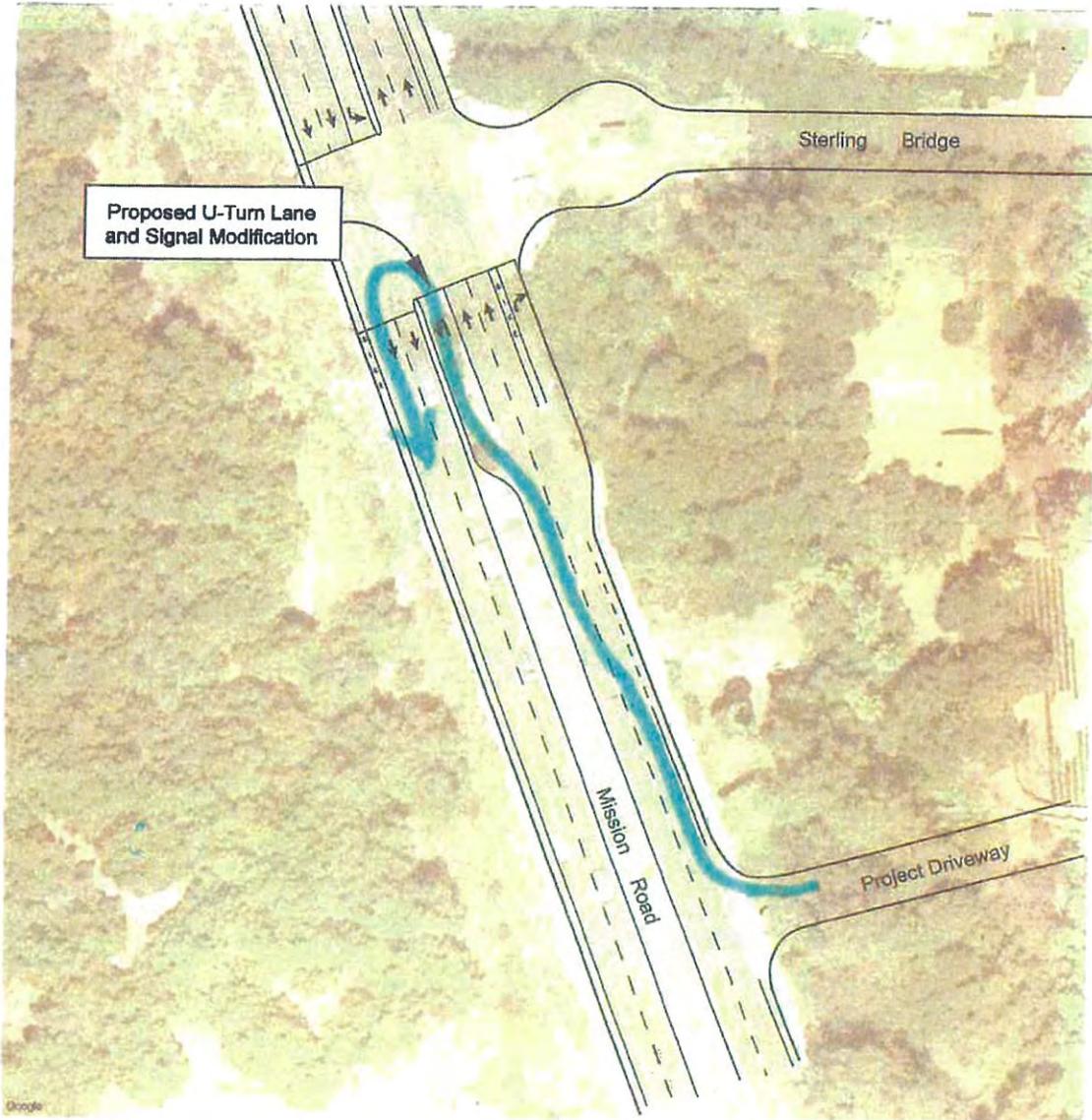
In conclusion, Fallbrook has never been a place that promotes the use of every available space to build homes on. The open feel of the landscape and unsullied views of this city is a major part of the appeal of Fallbrook. That appeal was why we moved here in December 2013. If the approval for this development goes through, we can say goodbye to the quiet landscape, natural surroundings, and adequate resources. It will also leave the door wide open for other developers to buy the land and build as many homes as they can to litter the area.

I would request additional information, disclosure and discussion regarding these issues prior to this project going forward. Thank you for your consideration.

Regards,

Craig & Julia Mosgowsky

Exhibit A



NOT TO SCALE

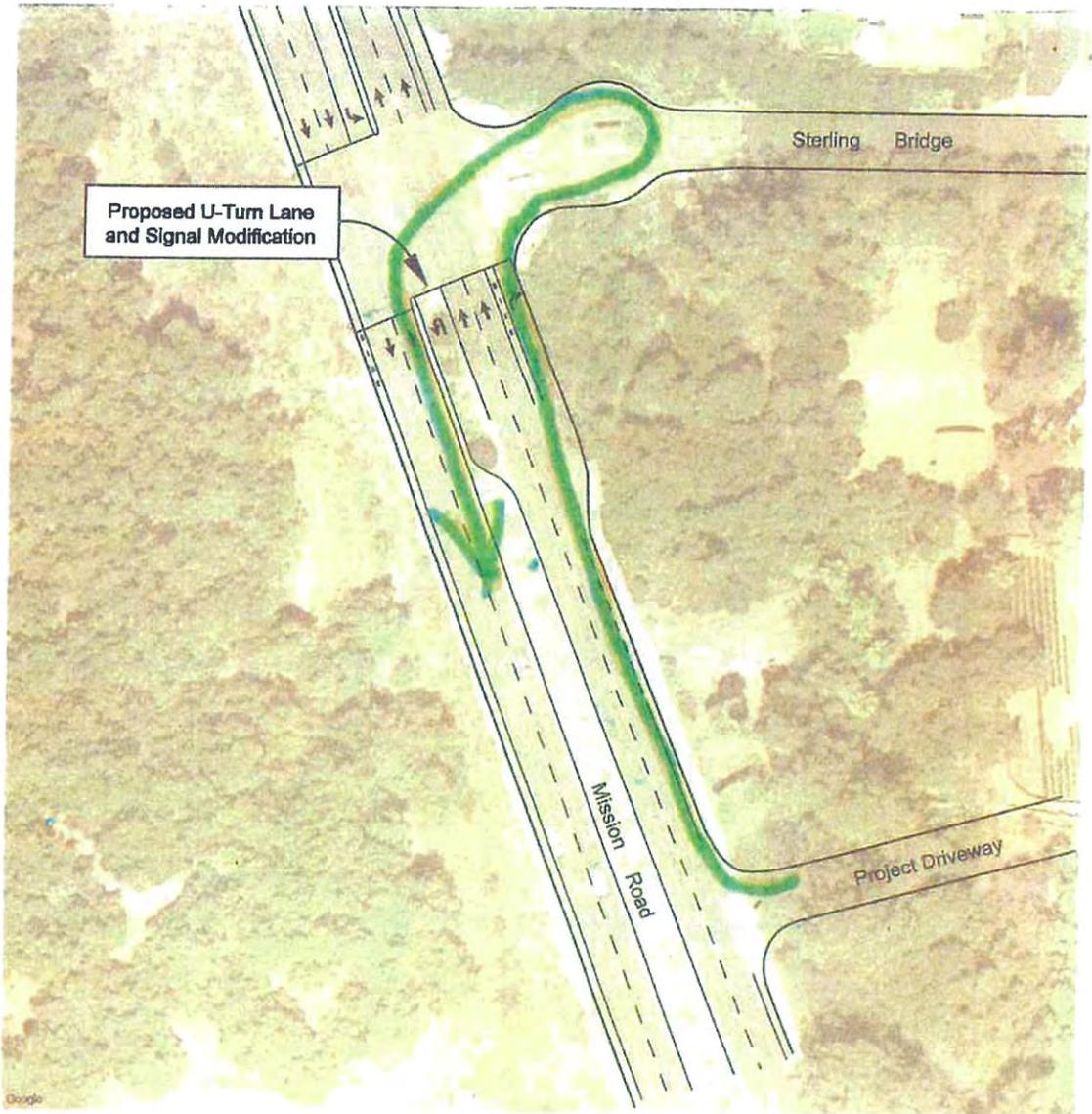


JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

~~EXHIBIT 10~~

Exhibit B



NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

F

Smith, Marisa

From: Jeff Ray <j.55ray@att.net>
Sent: Tuesday, April 21, 2015 2:54 PM
To: Smith, Marisa
Cc: dgreen399@att.net
Subject: Pacifica Estate Subdivision

April 21, 2015

To: Marisa Smith, County of San Diego Planning and Development Services

Subject: Pacifica Estate Subdivision

Dear Ms. Smith,

I am a 25 year resident of Summerhill Lane in Fallbrook, California. I have many concerns regarding the proposed Pacifica Estate subdivision. I have concerns about the character of the landowners as they have tried numerous times over the past 10 years to have this project approved and each time their proposal was rejected by the Fallbrook Community Planning Group. Now they have bypassed the Fallbrook Community Planning Group altogether and have gone to a different source that does not have a familiarity of the region to get their project approved.

I have serious concerns regarding the soil in the vicinity as I myself had a contractor transfer dirt from my front yard to my back yard about a year ago to stabilize a slope and with the first heavy rain we received, a portion of this new slope collapsed. With this Pacifica Estate project requiring 80,000 cubic yards of dirt to be graded and the home pads estimated to being 22 to 28 feet higher than the existing homes below, I'm sure you would have concerns as well if yours was one of those homes below.

As of now, I don't feel the need to purchase flood insurance but if this project comes to fruition, I would be compelled to purchase it. With me approaching retirement age, that's an additional unnecessary expenditure I'd rather avoid.

A major concern of mine would be the devaluation of our property. With these new homes towering over ours, the scenic views of everyone on our street would be eliminated. After recently spending over \$50,000 on home improvements, I would be extremely upset if I decided to sell my house and couldn't re-coup that investment.

Finally, my biggest concern is the local traffic. With Fallbrook High School being right across the street and the proposed new street entrance and one-way exit plus the supposed new u-turn lane, drivers trying to cross two 50 MPH lanes (with drivers going 55 to 60) to get to the u-turn lane will many times be looking only to their left. With pedestrian children not paying attention as they're walking to school and coming from the exiting drivers right, I guarantee you there will be pedestrian fatalities in addition to many more accidents because of the new u-turn lane. Never mind the nightmare for emergency first responders in the area. The proposed new u-turn lane is a joke. There is not enough room for a larger vehicle to make a u-turn in that area let alone trying to do it with traffic coming at you at 50 MPH or greater.

This is a bad project in its entirety and I strongly urge the county to reject this Pacifica Estate subdivision project.

Thank you for your time

Jeffrey Ray
2426 Summerhill Lane
Fallbrook, Ca. 92028



This email is free from viruses and malware because avast! Antivirus protection is active.

6



San Diego County Archaeological Society, Inc.

Environmental Review Committee

23 April 2015

To: Ms. Marissa Smith
 Department of Planning and Development Services
 County of San Diego
 5510 Overland Avenue, Suite 310
 San Diego, California 92123

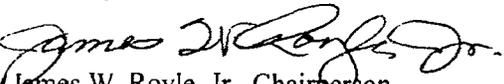
Subject: Notice of Intent to Adopt CEQA Section 15183 Findings
 Pacifica Estates Major Subdivision
 PDS2006-3100-5510, Log No. PDS2006-3910-06-02-023

Dear Ms. Smith:

I have reviewed the subject document on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the documentation provided on the County's website, we agree with the conclusions of the cultural resources report and with the cultural resources mitigation measures as specified in the posted *Statement of Reasons for Exemption from Additional Environmental Review and 15183 Checklist*.

Thank you for providing the opportunity to comment upon this project's environmental documents.

Sincerely,

 James W. Royle, Jr., Chairperson
 Environmental Review Committee

cc: Brian F. Smith & Associates
 SDCAS President
 File



Smith, Marisa

From: rjglick@roadrunner.com
Sent: Wednesday, April 22, 2015 10:28 AM
To: Smith, Marisa
Subject: pacifica Estates proposed project

A BIG FAT NO ON THIS PROJECT. WE DO NOT NEED MORE HOUSING AND PROJECTS IN FALLBROOK. THIS PROJECT WOULD CAUSE MORE WATER RUN OFF AND CONGESTION. PACIFICA ESTATES SHOULD CONSIDER DONATING THAT PROPERTY TO FALLBROOK AS A WILDLIFE PRESERVE AND NATURE WALK. WE LIVE ON MORRO RD, AS YOU KNOW IS A PRIVATE ROAD AND WE WILL NOT HAVE CONSTRUCTION EQUIPMENT GOING UP AND DOWN OUR " PRIVATE ROAD " THAT WE HAVE TO MAINTAIN.
THANK YOU IN ADVANCE FOR YOUR HELP. THERE ARE NO RESIDENTS THAT I KNOW OF THAT IS IN FAVOR OF THIS PROJECT. ENOUGH SAID.

ROBERT & JOAN GLICK
2302 MORRO ROAD
760-451-1357

I

Steven C Johnson
1668 Loch Ness Drive
Fallbrook, CA 92028
Scj.clt@gmail.com
704 968 7031

April 16, 2015

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
5510 Overland Ave, Suite 310
San Diego, CA 92123

RE: Pacifica Estates -- PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER) Comments due by April 25, 2015

<mailto:Marisa.Smith@sdcounty.ca.gov> T. [858-694-2621](tel:858-694-2621)

Dear Ms Smith:

As a homeowner and resident of Peppertree Park in Fallbrook, CA, I am concerned about the impact of the Pacifica Estates development proposed for adjoining land to the south. My concerns involve:

- Traffic Impact – In spite of the findings of the traffic study, the proposed access involving right turns and u-turns will have a negative impact on traffic flow and safety on Mission Avenue and Sterling Bridge Road
- Water – At a time when residents are being required to cut water usage by 25%, how does building this development support water use reduction?
- Missing check list items – The 15183 Exemption Checklist has most items unchecked. These items are discussed but the net impact is unclear.

I would request additional study on these issues prior to this project going forward.

Thank you for your consideration.

Regards,


Steven C Johnson

Peppertree Park home owner

(attachments)

Discussion

A. Traffic Impact

The proposed access plan involving right turns and u-turns seems less than ideal. Exiting the development and travelling south would involve a right turn (north) into the traffic lane followed by merging into the left traffic lane and into the proposed left turn lane all within 0.1 mile on a posted 50 MPH road. Additionally, traffic is often slowing to merge into the right turn lane for Sterling Bridge Road. This seems to be a dangerous maneuver. In this same section of Mission between Stage Coach Lane and Sterling Bridge Road are a Breeze North County bus stop, a school zone, a bicycle lane, and pedestrian sidewalk. (See attached Exhibit A).

Rather than make this difficult and risky maneuver, residents will instead elect to stay in the right lane, turn into Sterling Bridge private roadway, make a u-turn behind the Peppertree Park guard house, and utilize the left turn lane and traffic light to more safely head south. This extra traffic will have a negative impact on our HOA's private street, which consists of pavers and is maintained by the home owners association, not the county. (See attached Exhibit B).

Page 28 of the Traffic Impact Study discusses the review of six access options and choosing option number 2 as the most favorable. The other options were not detailed in the study. What were these other options and why was this option chosen as the most favorable? It appears that converting the emergency access on Moro Road to the main access and changing the Mission access to emergency only would be advantageous from a traffic and safety standpoint.

B. Water

Due to the drought that California is experiencing, Governor Brown required a 25% reduction in water usage by each water district within the state. How will the construction of this addition not negatively impact this requirement?

C. Missing Check List Items on the 15183 Exemption Check List.

Although discussed, the checklist is not filled out to indicate the severity of the impact on the following items:

1. Aesthetics -- a through d not checked

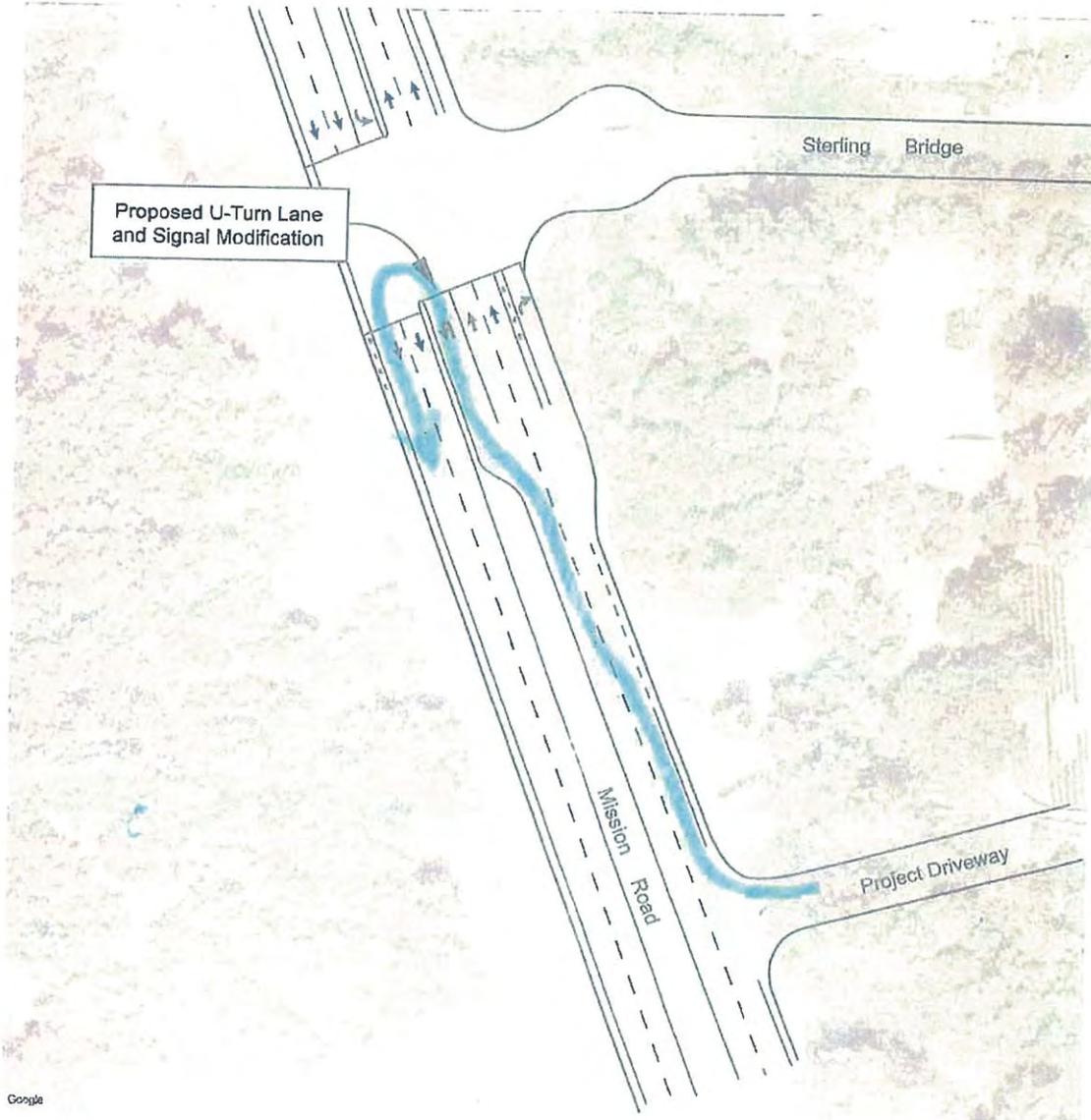
1c – Without Architectural Landscape Plans or Design Review, how can we be assured that the project will be consistent with the existing community character?

2. Agricultural Impact -- a through e not checked

3. Air Quality Impact -- a through e not checked

4. Biological Impact – Significant impact indicated
5. Cultural Resources Impact -- a through e not checked
6. Geology and Soils Impact -- a through e not checked
7. Greenhouse Gas Impact -- a through e not checked
8. Hazards and Hazardous Material Impact -- a through h not checked
9. Hydrology and Water Impact -- a through m not checked
10. Land Use and Planning Impact -- a through b not checked
11. Mineral Resources Impact -- a through b not checked
12. Noise Impact -- a through e not checked
13. Population and Housing Impact -- a through c not checked
14. Public Service Impact -- not checked
15. Recreation Impact -- a through b not checked
16. Transportation and Traffic Impact -- a through e not checked
17. Utilities and Service System Impact -- a through g not checked

Exhibit A



Google



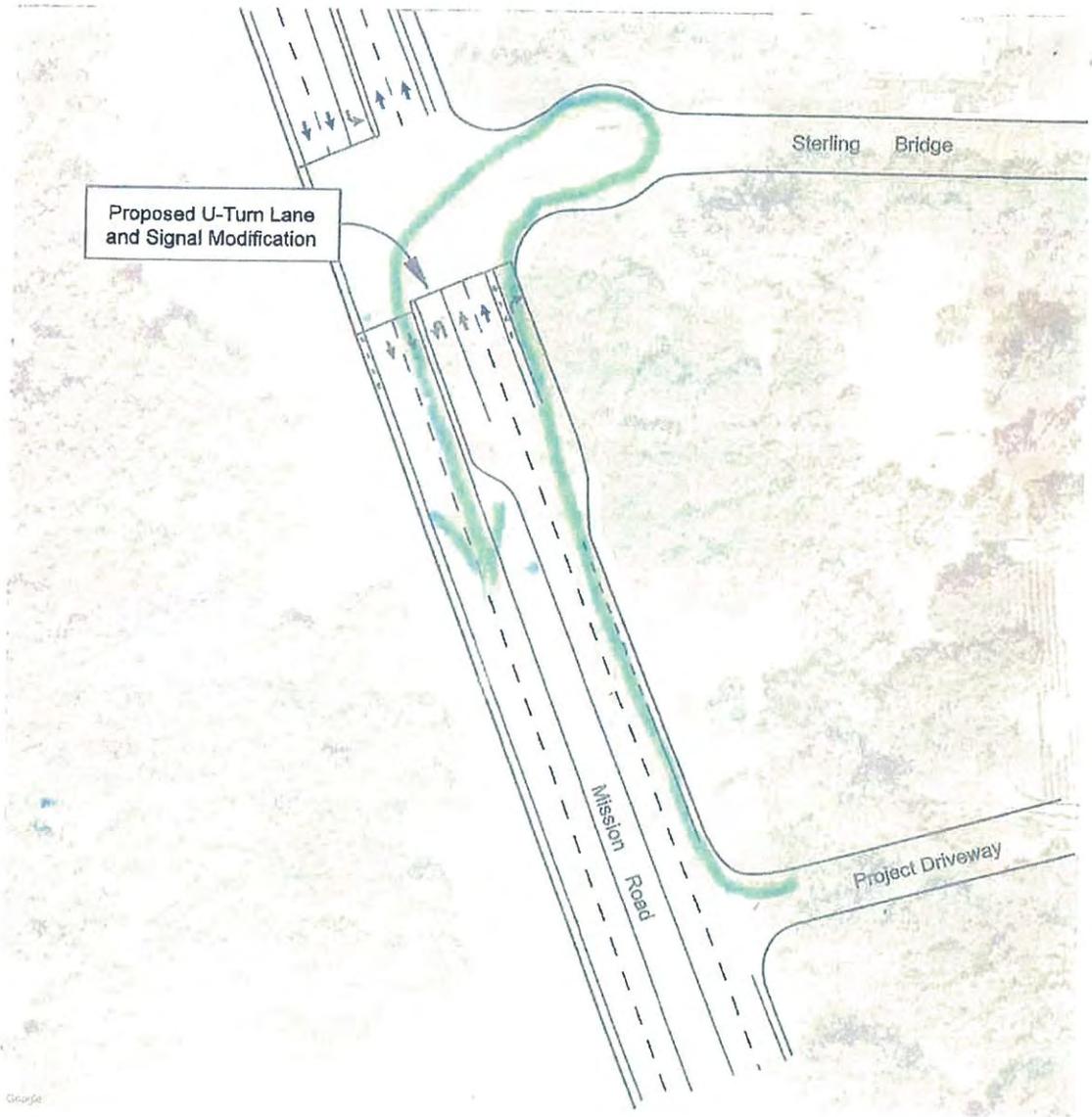
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JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

Exhibit B



NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

(J)

Smith, Marisa

From: Pamela Cook <ledthezeppelin8@gmail.com>
Sent: Thursday, April 23, 2015 5:38 PM
To: Smith, Marisa
Subject: Pacifica Estates

RE: Pacifica Estates PDS2006-3100-5510 (TM) Log # PDS2006-3910-06-02-023.

Dear Ms Smith I am a homeowner in Peppertree Park in Fallbrook CA. I am concerned about the impact of the proposed Pacific Estates development. My concern is the water usage for these homes in a time when we are being asked to cut usage by 25% here in Fallbrook . The traffic impact is also questionable. In particular the proposed access which would require u-turns or use of entrance at Peppertree Park will negatively impact traffic flow. Finally, the 1583 Exemption list has most items unchecked. The impact of this is unclear. I would respectfully ask that additionally study on these issues prior to moving forward. Thank you for your consideration.

Regards Richard and Pamela Cook

Address

1680 Loch Ness Dr. Fallbrook , CA. 92078

Phone 760 731-1159

SAN LUIS REY BAND OF MISSION INDIANS

1889 Sunset Drive • Vista, California 92081
760-724-8505 • FAX 760-724-2172
www.slrmissionindians.org

April 23, 2015

Marisa Smith
Project Manager
Planning & Development Services
County of San Diego
5510 Overland Ave., Ste. 110
San Diego, CA 92123

VIA ELECTRONIC MAIL
Marisa.Smith@sdcounty.ca.gov

**RE: COMMENTS ON THE NOTICE OF INTENT TO ADOPT FINDINGS
PURSUANT TO SECTION 15183 OF THE CALIFORNIA ENVIRONMENTAL
QUALITY ACT REGARDING THE PACIFICA ESTATES TENTATIVE MAP
(PDS2006-3100-5510 AND LOG NO. PDS2006-3910-06-02-023)**

Dear Ms. Smith:

We, the San Luis Rey Band of Mission Indians ("Tribe"), have received and reviewed the County of San Diego's ("County's") Notice of Intent to Adopt Findings Pursuant to Section 15183 of the California Environmental Quality Act ("Section 15183 Notice") and all of its supporting documentation as it pertains specifically to the protection and preservation of cultural resources that are located within the parameters of the Pacifica Estates Tentative Map project's ("Project's") property boundaries. After our review, the Tribe is satisfied, and concurs, with the proposed Cultural Resource Mitigation Measures as contained within the Section 15183 environmental document and that the Project should be allowed to proceed as proposed.

The Tribe, however, respectfully requests that the County amend and/or modify the mitigation measure involving the "disposition of cultural resources." Currently, this mitigation measure provides only for curation of our unearthened cultural resources. As the County is aware, it is a core Luiseño cultural and spiritual belief that all materials unearthened be repatriated back to which they were discovered, and NOT curated. Therefore, as has been done in previous Section 15183 and other CEQA related documents, the Tribe respectfully requests that additional language be included under "disposition of cultural resources" allowing for repatriation of our Luiseño cultural resources.

Furthermore, the Tribe is opposed to any undocumented fill being used during the proposed development. In the event the "fill" will be imported into the Project area, the Tribe requests that any proposed use of fill be clean of cultural resources and documented as such. It has been a practice of many in the construction profession to utilize fill materials that contained cultural resources from other "unknown" areas thereby contaminating the potential cultural landscape of the area being filled. This

type of fill material is unacceptable. Moreover, if the fill material is to be utilized from areas within the Project boundaries, then we ask that that fill be analyzed and confirmed by an archeologist and/or Luiseño Native American monitor that such fill material does not contain cultural resources. A requirement that fill material be absent of any and all cultural resources should therefore be included as an additional mitigation measure of the Section 15183.

The San Luis Rey Band of Mission Indians appreciates this opportunity to provide the County of San Diego with our comments on the Pacifica Estates Tentative Map Project. As stated above, the Tribe is satisfied with the mitigation measures for Cultural Resources as proposed in the Section 15183 and respectfully requests that two (2) additional mitigation measures be adopted by the County for this Project. As always, we look forward to working with the County to guarantee that the requirements of the CEQA are rigorously applied to this Project and all projects. We thank you for your continuing assistance in protecting our invaluable Luiseño cultural resources.

Sincerely,



Merri Lopez-Keifer
Tribal Legal Counsel
San Luis Rey Band of Mission Indians

cc: Melvin Vernon, SLR Tribal Captain
Carmen Mojado, SLR Secretary of Government Relations
Donna Beddow, Planning & Development Services, County of San Diego



Smith, Marisa

From: Charles Bertolino <charles.bertolino@yahoo.com>
Sent: Monday, April 20, 2015 3:37 PM
To: Smith, Marisa
Subject: Pacifica

Please reconsider this project, due to traffic issues, but most importantly our current water crises. This project will pressure our resources, and infrastructure. In addition, since this area pays amongst the highest water rates in the state, this project will pressure rates higher.

Charles Bertolino

Sent from my iPad



Greg and Jean Kaput
2104 Kirkcaldy Road
Fallbrook, CA 92028

April 22, 2015

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
5510 Overland Ave, Suite 310
San Diego, CA 92123

RE: Pacifica Estates -- PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER) Comments due by April 25, 2015

<mailto:Marisa.Smith@sdcounty.ca.gov> T. [858-694-2621](tel:858-694-2621)

Dear Ms Smith:

As a homeowner and resident of Peppertree Park in Fallbrook, CA, I am concerned about the impact of the Pacifica Estates development proposed for adjoining land to the south. My concerns involve:

- Traffic Impact – In spite of the findings of the traffic study, the proposed access involving right turns and U-turns will have a negative impact on traffic flow and safety on Mission Avenue and Sterling Bridge Road
- Water – At a time when residents are being required to cut water usage by 25%, how does building this development support water use reduction?
- Missing check list items – The 15183 Exemption Checklist has most items unchecked. These items are discussed but the net impact is unclear.

I would request additional study on these issues prior to this project going forward.

Thank you for your consideration.

Regards,

Greg and Jean Kaput

Peppertree Park home owners

Discussion

A. Traffic Impact

The proposed access plan involving right turns and U-turns seems less than ideal. Exiting the development and travelling south would involve a right turn (north) into the traffic lane followed by merging into the left traffic lane and into the proposed left turn lane all within 0.1 mile on a posted 50 MPH road. Additionally, traffic is often slowing to merge into the right turn lane for Sterling Bridge Road. This seems to be a dangerous maneuver. In this same section of Mission between Stage Coach Lane and Sterling Bridge Road are a Breeze North County bus stop, a school zone, a bicycle lane, and pedestrian sidewalk. (See attached Exhibit A).

Rather than make this difficult and risky maneuver, residents will instead elect to stay in the right lane, turn into Sterling Bridge private roadway, make a U-turn behind the Peppertree Park guard house, and utilize the left turn lane and traffic light to more safely head south. This extra traffic will have a negative impact on our HOA's private street, which consists of pavers and is maintained by the home owners association, not the county. (See attached Exhibit B).

Page 28 of the Traffic Impact Study discusses the review of six access options and choosing option number 2 as the most favorable. The other options were not detailed in the study. What were these other options and why was this option chosen as the most favorable? It appears that converting the emergency access on Moro Road to the main access and changing the Mission access to emergency only would be advantageous from a traffic and safety standpoint.

B. Water

Due to the drought that California is experiencing, Governor Brown required a 25% reduction in water usage by each water district within the state. How will the construction of this addition not negatively impact this requirement?

C. Missing Check List Items on the 15183 Exemption Check List.

Although discussed, the checklist is not filled out to indicate the severity of the impact on the following items:

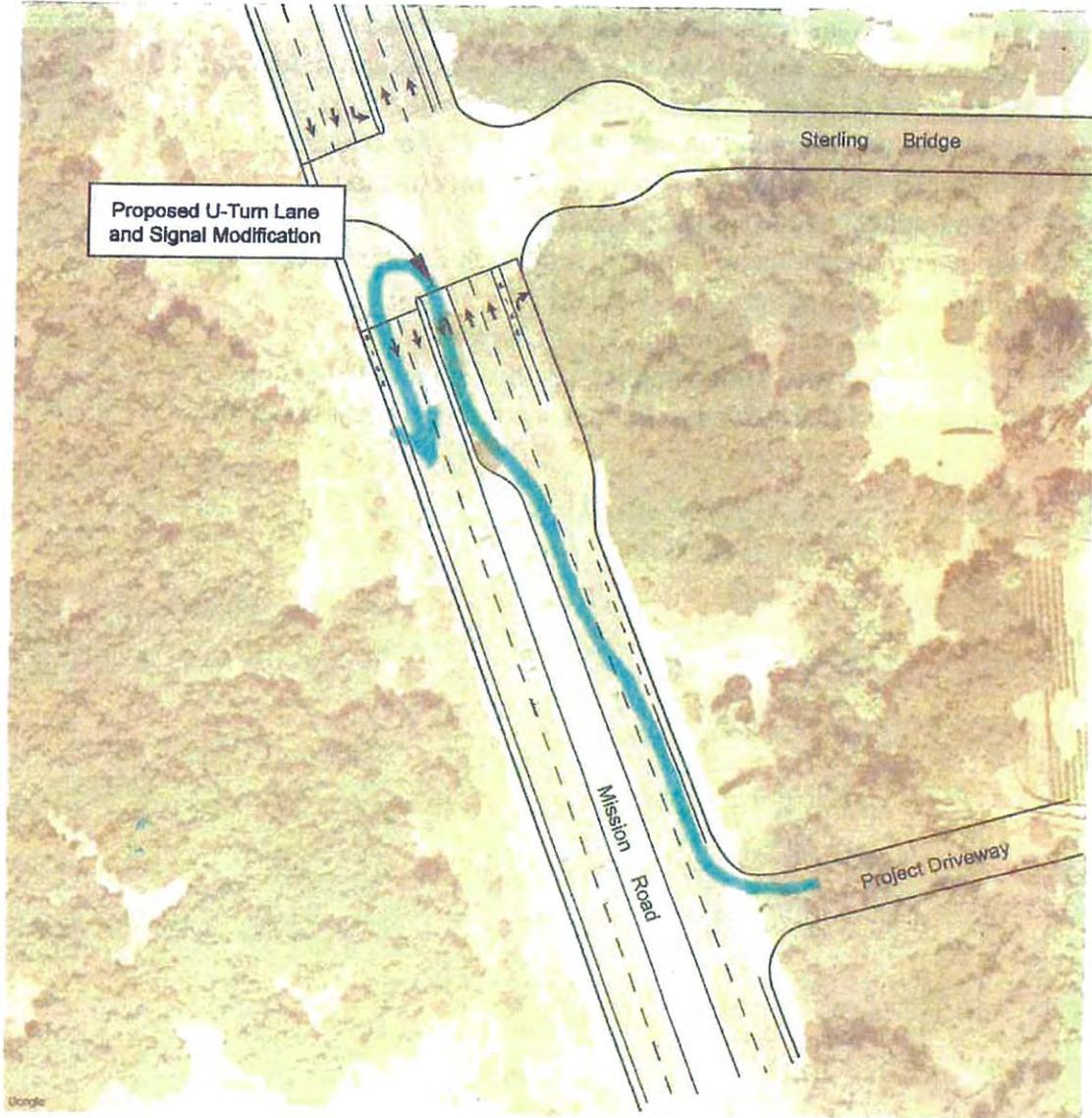
1. Aesthetics -- a through d not checked

1c – Without Architectural Landscape Plans or Design Review, how can we be assured that the project will be consistent with the existing community character?

2. Agricultural Impact -- a through e not checked
3. Air Quality Impact -- a through e not checked

4. Biological Impact – Significant impact indicated
5. Cultural Resources Impact -- a through e not checked
6. Geology and Soils Impact -- a through e not checked
7. Greenhouse Gas Impact -- a through e not checked
8. Hazards and Hazardous Material Impact -- a through h not checked
9. Hydrology and Water Impact -- a through m not checked
10. Land Use and Planning Impact -- a through b not checked
11. Mineral Resources Impact -- a through b not checked
12. Noise Impact -- a through e not checked
13. Population and Housing Impact -- a through c not checked
14. Public Service Impact -- not checked
15. Recreation Impact -- a through b not checked
16. Transportation and Traffic Impact -- a through e not checked
17. Utilities and Service System Impact -- a through g not checked

Exhibit A



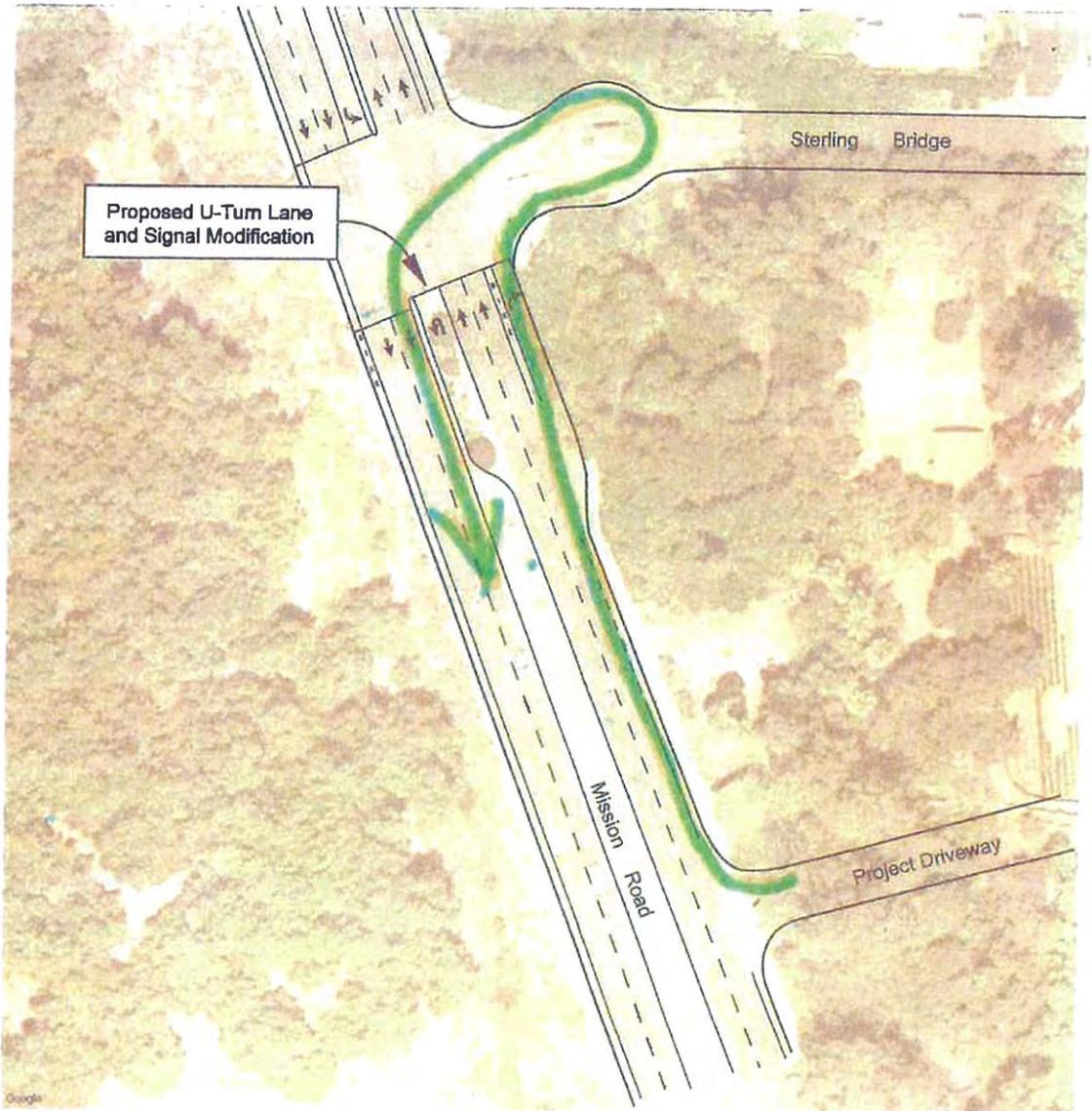
NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

Exhibit B



NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

N

Smith, Marisa

From: Tom Gattegno <rokqtmn@gmail.com>
Sent: Wednesday, April 22, 2015 7:08 PM
To: Smith, Marisa
Subject: Proposed residential development Fallbrook ID-PDS2006-3100-5510

Dear Ms. Smith,

Regarding this development :

1-We are in a severe drought situation that cannot be taxed further without serious consequences and what will this added consumption do to our already dwindling supply?

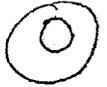
2-We are adjacent to a high school (Stagecoach Rd and S. Mission) along with its twice daily traffic problems and congestion which impacts our gated entry with vehicles parked in the red zones awaiting students.

3-South Mission Rd (SR-13) is a heavily trafficked road in both directions and in particular during the peak commute hours and adding an egress/ingress between Stagecoach Rd and Sterling Bridge will create safety issues with entry and egress as vehicle will not have a designated left turn lane for s/b traffic and will create an unsafe situation for those attempting entry by blocking the #2 lane so close to a blind corner and intersection.

4-Development is a positive for our community but not for the negative impact it will produce in this already congested corridor.

Sincerely,

Thomas Gattegno



Smith, Marisa

From: wayne savoie <wayss@sbcglobal.net>
Sent: Wednesday, April 22, 2015 11:40 AM
To: Smith, Marisa
Subject: RE: Pacifica Estates Major Subdivision PDS2006-3100-5510

Marisa-

The RBF Traffic Report which the County Planning Department references in making a finding of no significant project impact is deeply flawed. The report relies on the allegedly lower traffic volume generated from the project without properly considering the facts on the ground.

Currently, the two lane S. Mission Rd segment between Stage Coach Lane and Sterling Bridge is heavily congested. Between these two already busy intersections there is also a bus stop and significant traffic from an almost 3,000 student high school.

The project proposes to locate another main access road between these two major intersections which are arguably too close in proximity. Then, to compound the problems further, the traffic study proposes to have U-Turns used through these already busy intersections to provide north and south access to the project. To suggest that a project generated car trip going north on S. Mission can safely cross two busy lanes within approximately 100 ft of the intersection to make a U-turn to go south is illogical and unsafe. Moreover, the proximity of a de-acceleration lane to the Sterling Bridge access into the Peppertree Park project provides additional traffic conflicts.

Purportedly, there are other alternative access roads outlined in the project Specific Access Study which need to be disclosed and reviewed by the public. Even with the suggested lower traffic volumes, the current proposed project main access will create significant traffic circulation and safety problems that must be addressed.

Sincerely,
Wayne Savoie
605 Highland Park
Fallbrook, CA

P

David and Genese Witwer
821 Highland Park
Fallbrook, CA 92028
dakota2630@yahoo.com

April 21, 2015

Marisa Smith, Project Manager
Marisa.Smith@sdcounty.ca.gov
Land Use and Environmental Planner
County of San Diego
Planning and Development Services
5510 Overland Ave. Suite 310
San Diego, CA 92123

Re: Pacifica Estates – PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER)

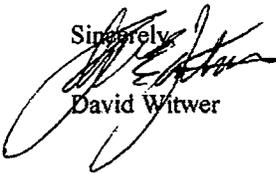
Dear Ms. Smith:

We are homeowners at Peppertree Park in Fallbrook and have resided in the area since 2006. We have been generally aware of previous efforts for development of an adjacent property to the Association property to the south. However, we are uncertain if a traffic study has taken place as the Association Private gated entryway is already laced with problems from vehicular traffic due to the High School. Patrons and others routinely park, block, and perform a u-turn at the gate shack while waiting and picking up their students—this creates congestion upon entry and exit and slows down Mission Road traffic. Consequently, an existing safety issue exists from trespassing onto the Association property from unauthorized cars—further development in this area of Stagecoach and Mission Roads could amplify this situation. A traffic study to round out the picture would be most helpful before any decision is made to understand the impact to Stage Coach and Mission Roads.

Of equal concern is the reliance upon water during excavation, grading, and construction. And of course the recurring consequence with new development is increased water demands on a fragile area infrastructure amid uncertainty. As Fallbrook residents, we are being asked to reduce watering of exterior plants, lawns etc. to twice a week; so it seems that increasing the demand through development is counterproductive to state and local water district conservation efforts. When we bought the house, we had a nice lawn, which is fading before us and now seems impractical given the future.

Finally, we are advised that the 15183 Exemption Checklist is incomplete; it would seem the impact is less than clear if the items unchecked are critical to the review and approval process.

We respectfully request additional study of these issues before moving forward and the effort.

Sincerely,

David Witwer


Genese Witwer



Smith, Marisa

From: Dick Hult <hutar63@sbcglobal.net>
Sent: Friday, April 24, 2015 12:16 PM
To: Smith, Marisa
Cc: 'Dave Green'; HARVEYZimm@aol.com; dennyindeman@dennyindeman.com; hsiu.green@med.navy.mil; Mannymagos@yahoo.com
Subject: Re: Proposed Pacifica Estates Project

As a Property owner at 2433 Summerhill Lane, Fallbrook, CA 92028, I request to be notified when the Public Hearing for the proposed Pacifica Estates Project is scheduled. I am very surprised to note that your prior Public Notice regarding the proposal indicates that the project review previously denied by the local Planning Committee was going forward and public review not required.

Please let us all know when the hearing will be held.

Thanks for your consideration in this matter.

Respectfully,
Richard and Violet Hult



From: David E. Green
 2461 Summerhill Lane
 Fallbrook, CA 92028

To: County of San Diego
 Planning & Development Services
 Attn: Ms. Marisa Smith, (858) 694-2621
 5510 Overland Avenue, Suite 310
 San Diego, CA 92123

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

Ref: (a) County of San Diego, Planning & Development Services letter dated March 26, 2015;
 Subj: Public Disclosure Notice, Intent to Adopt Findings Pursuant to Section 15183 of the California Environmental Quality Act
 (b) County of San Diego, Planning & Development Services letter dated March 26 2015;
 Subj: Statement of Reasons for Exemption from Additional Environmental Review and 15183 Checklist Pursuant to CEQA Guidelines
 (c) County of San Diego General Plan Update, Fallbrook Community Plan adopted 3 August 2011
 ((References continued in Enclosure (1))

Encl: (1) References
 (2) 2005 Rain Event Experienced at 2461 Summerhill Lane
 (3) Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1-5 of the Proposed Development
 (4) Impact of Pacifica Estates Development on the Aesthetics of the Existing, Summerhill Lane Neighborhood
 (5) Traffic Impact after Construction Is Complete
 (6) Impacts of Drainage and Stormwater Management on Existing Summerhill Residences

1. Reference (a) announced that the County of San Diego, Planning & Development Services (PDS) intended to adopt its findings that the "Pacifica Estates Major Subdivision, PDS2006-3100-5510 TM; Log No. PDS2006-3910-06-02-023 (ER)" project "...qualifies for an exemption from additional environmental review because it is consistent with the development density and use characteristics established by the County of San Diego General Plan¹..." Reference (a) further stated that while public review is not required as part of this process, comments would be accepted and taken into consideration. My understanding of this project is several significant impacts have not been considered and I appreciate the opportunity to bring these out before an exemption is granted and the project goes forward. Before doing so, I would like to provide some background of my wife's and my 25+ years of experience living on Summerhill Ln.

¹ Page 3 of reference (b).

2. Background. My wife and I bought our Summerhill home in February 1989. Things that appealed to us then still appeal to us now; the aesthetics of its semi-rural, open setting and the sense of privacy we enjoy in our backyard. We also continue to enjoy the wildlife that treat our property as their very own as well as sitting in our backyard on a warm summer night to view the stars (it gets very dark in our area when the sun goes down). The 'Community Vision' expressed in Fallbrook's Community Plan (reference (c)² resonates with us where it says "The small town atmosphere and rural, semi-rural natural environment are what residents most cherish and what ((we)) most wish to preserve for the future."

Development of Peppertree Park 15 years ago altered this somewhat. Houses replaced the groves on the ridgeline and construction of Sterling Bridge Road impeded our open view towards the Los Jilgueros Preserve. We noticed with the construction of Peppertree Park that the few deer we had seen in the proposed development site no longer appeared and that the roadrunners that frequented our property also disappeared. However, some of the wildlife (Red Shouldered & Cooper hawks, herons, owls, bats, coyotes, rabbits, California gopher snake, etc.) remained and we still enjoyed a sense of openness afforded by the undeveloped field to our North, our sense of privacy, and the dark night skies.

After the property proposed for the Pacifica Estates project was purchased, it was turned into flower fields. Agricultural operations may raise dust, but they still leave us with the sense of our area's semi-rural character. Their operations do not dramatically alter our sense of openness or intrude on our privacy. And once their floodlights were removed, their day-time-only operations no longer intruded upon our ability to enjoy our view of the stars on a warm summer night

Another change that encroached on our sense of a semi-rural setting was changing South Mission Road (S. Mission Rd) from a winding, two-lane, 45mph road into a four-lane, divided, 50mph road. Widening and smoothing the turns/surface of this road has been a blessing and a curse; on the plus side is a quicker trip to/from Fallbrook. On the down side is there is significantly more (and faster) traffic on the road, the majority of which routinely exceeds the posted speed limit by 5-10mph. There is also more road noise; however, the riparian zone along Ostrich Farms Creek helps muffle most of it for the majority of the year.

The change to S. Mission Rd has also resulted in what we think of as a significant increase in the number of times we hear first responders racing South down S. Mission Rd. With respect to the less than half-mile stretch of S. Mission Rd between the Sterling Bridge and Winterhaven intersections, we have noticed several occasions in the past couple of years where first responders turn off their sirens when they reach one of these four, controlled intersections. We have heard accidents when working in our yard and have personally responded to the scene of three injury accidents in our area in just the past few months to see if we could provide assistance. We don't usually hear collisions when in our house, but, as I said, we often hear first responder sirens being turned off when they reach one of the four intersections in our area. Our assumption during the day is they have reached the scene of whatever drew them there. If at night, our assumption is the first responders are using sirens only as necessary.

² Page 11, last sentence of the second paragraph.

I would also like to say that we have experienced several rain events over the years that resulted in significant runoff from the proposed development site running through all yards on the South side of the proposed development. The main channel of Ostrich Farms Creek is 20 or more feet from our property, but there have been a few instances when this creek has risen to the base of a retaining wall we built in 1989/1990 and a couple of times when it has come up the retaining wall. The most memorable rain event for us occurred during the 1992/1993 rain season when water flowed over Stagecoach Ln. The rains we experienced in the first two weeks of January 2003 had saturated the ground and the heavier rains we received on 15 and 16 January were more than Ostrich Farms Creek could convey. Water rose above the cinder blocks we used as the base of the retaining wall and would have spilled onto our property if the top 2' of the privacy fence atop our retaining wall wasn't masonry³. In that event, Ostrich Farms Creek did spill over the edge of our neighbor's property and fill his pool with muddy water and debris and some of the Fallbrook High School buildings were flooded.

3. Project-Related Impacts of the Pacifica Estates Project. A review of the documents available on the San Diego County website appears to overlook or minimize Fallbrook's 'Community Vision' quoted above, and all documentation, County or project, makes little to no mention of the impact this project will have on the current residents and neighborhoods. As I could not find where much of the following has been previously considered, I have chosen to comment.

a. Aesthetics. Policy LU 2.1.2 in reference (c) states "Encourage the use of open space, architecture, and building materials *which are in harmony with the natural environment and maintain and promote the intimate personal scale of the village and its character and warmth.*" Policy LU 2.1.3 states "Prohibit grading for residential development from unduly disrupting the natural terrain, or causing problems associated with runoff, drainage, erosion, or siltation."

According to reference (d), 80,000 cubic yards of dirt will be moved, with most of it being cut from the northern edge and piled up along the southern edge to form level pads and a private road across most of the site. These operations essentially eliminate the natural ridge running south by southwest rather dramatically – the ridge's natural slope averages 13.9%; after cut and fill operations are completed, the slope will average 2% in that area as the development runs east-to-west⁴. This is not "in harmony with the natural terrain or environment **nor is there is anything intimate or warm from the Summerhill Ln residents' perspective about having a dirt wall that is higher than our existing homes' rooftops erected directly behind our property and then topping it off with McMansions!** Enclosure (3) graphically depicts how Lots #1 through #5 will absolutely tower over the older homes on the northern side of Summerhill Ln

Because policy LU-9.9 of the San Diego County General Plan states "Plan and support an efficient residential development pattern *that enhances established neighborhoods...*", I expected to find in reference (b) some mention of how that dirt berm and the differences

³ See enclosure (2) for pictures showing the outside cinder and slump blocks that comprise the retaining wall facing Ostrich Farms Creek

⁴ Reference (d), page 3, Section A-A. Natural, southwesterly ridge drops around 65 feet in elevation over 467 feet (avg slope 13.9%). After cutting & filling, pads for Lots #15 and #5 drop 8 feet in elevation over 385 feet (2% avg slope).

between the design/architecture of Summerhill Ln's smaller homes (~1,600 square feet) built in the 1970s to the taller, newer homes of 2,500-3,200 square feet would dramatically impact the lifestyle of the current residents on Summerhill Ln and Morro Rd. Newer homes (often referred to as 'McMansions'), are significantly taller in profile as they generally have 10-12 foot ceilings and higher-pitched roofs whereas homes built in the 1970s have 8' ceilings and lower pitched roofs (3:12). Instead, Finding 2 in reference (b) says the proposed development site is no different than other properties in the surrounding area and would not result in any specific effects peculiar to the project or its site. Looking at this 150 foot wide dirt berm from the backyards of the Summerhill Ln residents, having a dirt wall rising with 50% slope to heights as much as 27 feet behind their home is a most peculiar effect as no such feature exists in our neighborhood. McMansions atop that berm will tower over Summerhill Ln's existing homes, destroying the present owners' sense of living in a semi-rural area. This effect not explicitly considered in any documentation.

Reference (b) doesn't convey the significant aesthetic impact this project will have upon the current residents. For instance,

(1) Paragraph 1a) asks if the project would have a substantial adverse effect on a scenic vista. This is addressed by saying that although the project would be visible from public roads and trails, "There is a thick riparian habitat along the western boundary of the project area, and ((it)) will remain a visual buffer to motorists along South Mission Road as this area would be placed in open space." Not represented is how the current residents consider the open area to be a scenic vista and essential for their sense of Fallbrook's semi-rural atmosphere.

(2) Paragraph 1(b)'s answer to the question of whether the project would substantially damage scenic resources is only given from the perspective of a passing motorist by mentioning the riparian habitat remaining a visual buffer to motorists along S. Mission Rd and that the project site doesn't support any scenic resources that would be lost. Overlooked is the semi-rural character of Fallbrook. As people enter our town from the south, the project site and the Los Jilgueros Preserve are the last open areas before motorists enter town. These two sites are a nice transition from semi-rural to a town and serve as a reminder of Fallbrook's agricultural history (especially when the flowers are in bloom). I've had out-of-town friends comment on this.

(3) Paragraph 1) asks if the project would substantially degrade the existing visual character or quality of the site and its surroundings. In my opinion, the answer to this question is misleading when it says the development would be "consistent with existing community" and that "There are existing single family residences surrounding the site." The reality is the development would substantially degrade the existing visual character, quality of the site, and most certainly clash in almost every respect with its surroundings. As an open field, the site presently serves as an aesthetically pleasing, visual buffer that separates the newer style homes of Peppertree Park from our older homes on Summerhill Ln. Piling McMansions atop a berm erected almost literally in the backyards of the Summerhill Ln homes and looming 35-60 feet over these homes in a lordly fashion would glaringly display the different architectural styles in a manner that would pit one against the other. This WOULD substantially degrade the site's surroundings and is the opposite of the San Diego County General Plan's policy LU 9.8⁵ which

⁵ Reference (e)

requires “*new development within Villages to include road networks, pedestrian routes, and amenities that create or maintain connectivity; and site, building and landscape design that is compatible with surrounding areas.*”

(4) When the sun goes down, it gets very dark in our area, and my wife and I enjoy sitting in our backyard on warm summer nights and watching the stars. The County’s Statement of Reason’s for Exemption (paragraph 1(d) completely overlooks our perspective when it states “Residential lighting would be required to conform with the County’s Light Pollution Code to prevent spillover onto adjacent properties and minimize impacts to dark skies.” All one needs to do is look at the elevation differences between the existing Summerhill Ln residences and what is proposed along the southern side of the proposed development to see the impact will be significant and difficult to minimize. If the McMansions are single-story homes, they will tower 35-50 feet over the Summerhill residences. If they are two-story homes, they will be 45-60 feet higher. As they will be nearly in our back yards, we will have to look up through their lights to see the night sky. Enclosure (3) portrays the elevation differences, and this priceless experience will be forever lost.

Enclosure (4) provides additional insights into the dramatic impact this project will have on the aesthetics of our neighborhood through pictures taken from our backyard that show our current views and, hopefully, convey the sense of tranquility this semi-rural setting provides.

b. Impact Upon Summerhill Ln Homes’ Property Values. Nowhere is there mention of how this proposed development will affect the property values of surrounding homes. **In our opinion, this proposed development will likely resulting in a significant drop in property values of Summerhill Ln homes.** Part of the charm of living on Summerhill Ln is the sense of living in a semi-rural area, which includes the ability to look over open spaces, enjoy a sense of privacy, and see the stars at night. The proposed development erases all that and replaces it with a closed-in, city-like sense of wall-to-wall housing. It is our opinion that eliminating many of the aesthetics enjoyed by Summerhill Ln residents will result in our property values going down. QUESTION: How does the developer propose to offset the emotional and financial harm his development will do to the residents of Summerhill Ln?

c. Impact to Traffic During Construction Phase. Nowhere does the project assess the impact on the residents, or high school students during construction. Reference (b), paragraph 10(b) erroneously says the project site can be accessed via S. Mission Rd between Stagecoach Rd and Pepper Tree Drive (no such road exists in Fallbrook; I assume it means Sterling Bridge Rd). The only bridge on S. Mission Rd that provides access to the project site doesn’t appear capable of supporting the weight of heavy trucks or equipment. Until the bridge proposed in the project’s plan is built, the site can only be accessed from Morro Rd. (see Figure 1).

Morrow Rd is a narrow, private road that is maintained by the residents. Positioned directly across Stagecoach Ln from the Fallbrook Union High School’s parking lots, it is so narrow that when cars are parked on both sides of the street, emergency vehicles cannot get through. The project’s Traffic Impact Study (reference (g)) makes no mention of how the proposed development will impact traffic during the High School’s peak traffic hours (7:30-8:00 morning, 2:30-3:00 afternoon) or after-school athletic events.

Seeing and experiencing the chaos that happens when school lets out forms my opinion that this project should not even be considered until the question of how the site will be accessed at different stages of construction is answered and comments received from those impacted. Request the developer be required to update the Traffic Impact Study includes access to the site during construction so the Fallbrook Community can consider the full impact of this project.

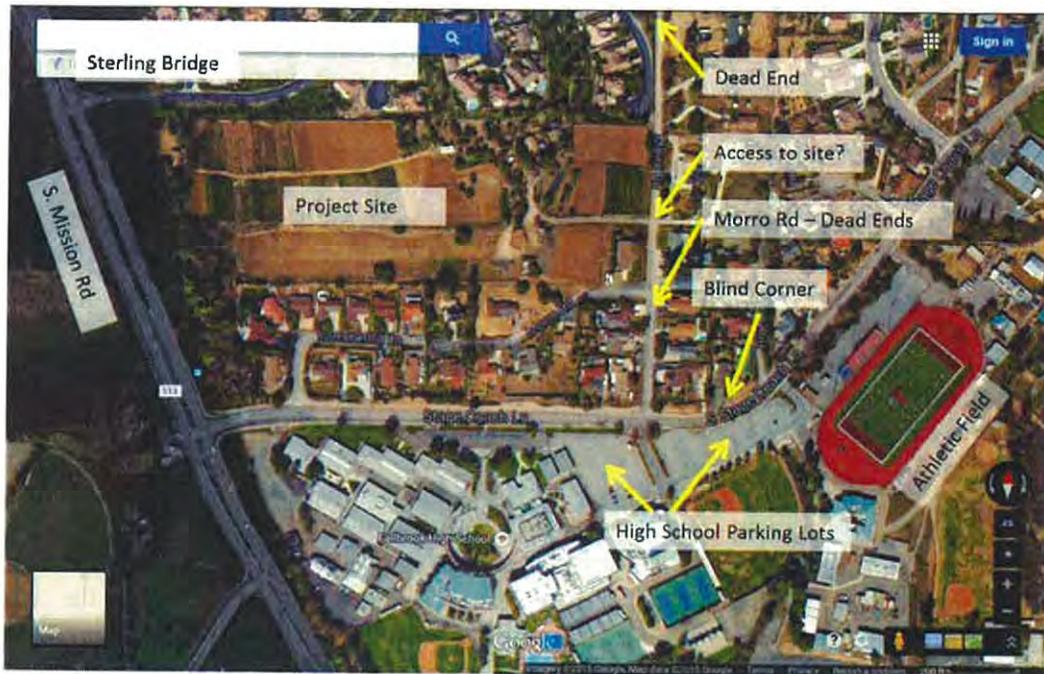


Figure 1. Intersection of Morro Rd/Stagecoach Ln across from High School

d. Traffic Safety After Construction Is Complete. Up front, all that are familiar with this area vehemently agree that adding this uncontrolled intersection between Stagecoach Ln and Sterling Bridge Rd will decrease safety for all. It also violates the County's General Plan policy LU 9.8⁶ as the access solution does not "create or maintain connectivity". We also agree that traffic seems worse and believe the data used as the basis for the project's Traffic Impact Study (TIS) (reference (g)) needs to be updated. Reasons we opine traffic has increased is twofold.

- Traffic counts used in reference (g) were made before the SR 76 segment from Oceanside to Bonsall was changed into a four-lane road (2012) and construction begun on the segment continuing east to Interstate 15. People trying to avoid delays on the segment under construction now use S. Mission Rd to access I-15 further north.

- The timeframes used for the project's TIS (2007 and 2010) were when some or all of the major Marine units aboard Camp Pendleton were in the Middle East. More than 40,000 Marines, Sailors, and their families are based at Camp Pendleton⁷. Traffic congestion in Fallbrook goes up or down significantly depending upon how many Marine units are 'home'.

⁶ Reference (e)

⁷ See <http://www.pendleton.marines.mil/About/Population.aspx> for current Camp Pendleton population information.

All major Marine units have returned; therefore, the project's TIS must consider their presence in our community.

Access to the 21 residences in the new development is planned to be accomplished by shoehorning a new, uncontrolled, right-turn-only intersection into the two northbound lanes of a major, 50mph, four-lane divided road between two existing, traffic-signal controlled intersections less than 1,000 feet apart. The new, uncontrolled intersection proposed by the project is approximately 550 feet north of the S. Mission Rd/Stagecoach Ln intersection and less than 400 feet south of the S. Mission Rd/Sterling Bridge Rd intersection (see Figure 2). When completed, this intersection will be the sole access for residents, their guests, delivery vehicles, sanitation trucks, moving vans, etc.



Figure (2). Overhead view of S. Mission Rd from Stagecoach Ln to Sterling Bridge Rd

- All entering the proposed development will have to turn right to enter. All departing be expected to stop, turn right and accelerate up a minor grade (approximate slope of 2.5%).
- For those departing the proposed development that want to go south, I assume the solution will be the one most prevalent in the County's and project's documentation – the addition of a U-turn lane at the intersection of S. Mission Rd and Sterling Bridge Rd⁸. The point depicting the proposed private road in Figure 2 is setback 10 feet to show a stopped motorist's sight distance. To me, there doesn't look to be sufficient "sight distance" to see fast moving motorcycles in the right-most lane of northbound traffic for drivers trying to turn right⁹. Once

⁸ Paragraph 10(b) of reference (b) also says the solution is "add a left turn lane at the Fallbrook Airpark access road along with a traffic light"; however, we believe that to be in error.

⁹ The line depicting the proposed intersection is offset to a point like that in the project's Traffic Impact Study in order to depict sight distance seen by a resident at the private road's Stop sign.

the existing median is removed to put in a U-turn lane, larger vehicles will likely have to make a three-point turn as there doesn't look to be enough room for them to make a U-turn..

- For those driving in S. Mission Rd's southbound lanes, the proposal is to continue past the proposed site and make a U-turn at Stagecoach Ln's, signal-controlled intersection. At present, full-size pick-ups or larger vehicles swing too wide to make a U-the turn, so they turn left onto Stagecoach Ln and then left onto Summerhill Ln where they swing around in front of my house to begin their trek back north towards Fallbrook. Adding the new intersection will increase traffic on Summerhill Ln, a private road that we, the residents, pay to maintain¹⁰.

Enclosure (5) contains additional descriptive information on the potential impact that needs to be considered in the project's TIS. Once the data used to prepare the TIS is updated, I request the impact of adding this proposed intersection to S. Mission Rd be reconsidered.

e. Drainage and Stormwater Management. Although reference (b) correctly states the erodibility characteristics of the predominant soils on the proposed development site, the project's Preliminary Drainage Study¹¹ significantly understates these soils' erodibility characteristics. This Drainage Study is a foundational document used by the Major Stormwater Management Plan (SWMP)¹² and several others throughout the planning phase; therefore, all other documentation dependent upon its results need to be verified after it is corrected. Other issues with the project's Drainage Study and SWMP in the context of the project design are discussed in enclosure (6).

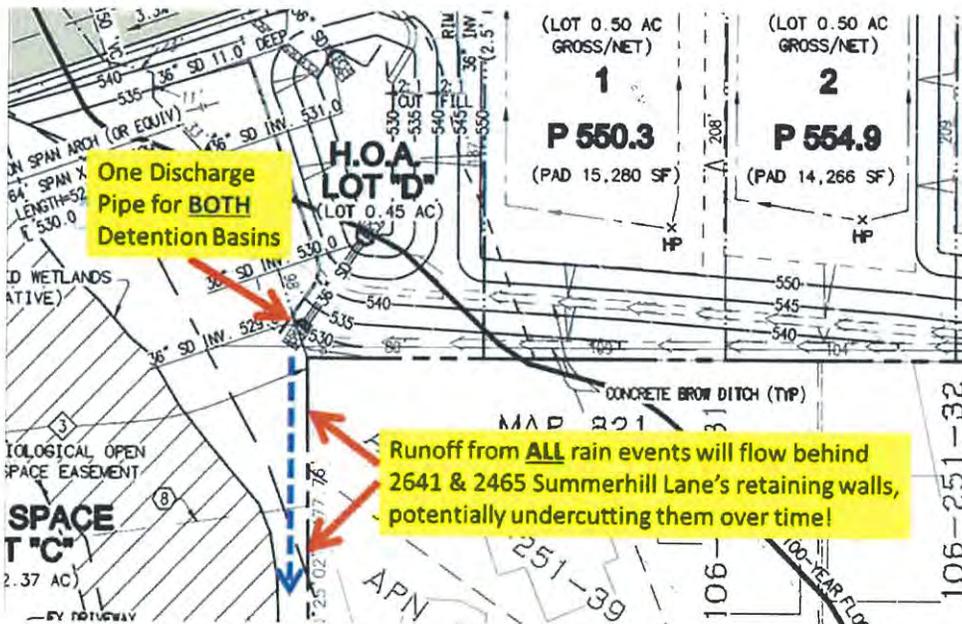


Figure 3. Reference (d) extract depicting placement of the discharge pipe pointing all water from the two detention basins along two retaining walls located at 2461 and 2645 Summerhill Ln.

¹⁰ We recently had an estimate to repave Summerhill Ln; cost is in excess of \$30,000 that we would have to split

¹¹ Reference (f), Table 1-2 and paragraph 1.2.3.

¹² Reference (h), Table 2, item #7 which states "The selection, design and location of treatment BMPs for the project relied heavily on the project-wide drainage plan.

Finding 3 on page 3 of reference (b) states, in part, "...no potentially significant off-site or cumulative impacts have been identified which were not previously evaluated." I cannot find any mention of how the sole discharge pipe used to direct water from the two detention basins into 'Open Space Lot "C"' may impact my retaining wall, my neighbor's retaining wall, or these walls footings. According to page 2 of the project's Grading Plan (reference (d)), the pipe runs southwest out of H.O.A Lot "D" to the northwest corner of my property, where runoff from the two detention basins will join the runoff flowing off the southern edge of the berm (likely in a swale running east-to-west along the northern edge of the Summerhill residences). Well away from Ostrich Farms Creek's main channel, Figure (3) depicts my understanding of the planned drainage solution.

Presently, water only approaches my retention wall during rain events that saturate the ground over several days and cause Ostrich Farms Creek to overflow its natural channel. Enclosure (2) includes pictures and information from one such event. If this project goes forward, all rain events resulting in runoff will now be directed such that the runoff may run along the face of my wall that faces the creek, and the proposed changes¹³ to the natural flow of runoff will increase both the volume and velocity of water in the immediate vicinity of my retaining wall. I want to know what the long-term impact will be.

f. Grading Plan. Paragraph 6.c) of reference (b) asks if a project would "be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in an on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse." My interpretation of the project's Grading Plan (reference (d)) indicates to me that a berm approximately 150 feet wide will be constructed that rises from west to east for several hundred feet and the depths of the compacted soil along its southern edge will vary between 10 feet and 20 feet for the length of this berm. The slope running from the edge of Lot #1 to within 5 feet of my property is 2:1 or 50%, and the soils coming from the cut areas of the project site to construct the berm are rated 'severe' for erodibility and expansion is rated 'moderate-to-high'. I realize we aren't in a 'Landslide Susceptibility Area', however, the County Guidelines for Determining Significance for Geologic Hazards¹⁴ does say

"The most common cause of a landslide is down slope gravitational stress applied to slope materials (overly steep natural slopes, cliffs, *man-made cuts and fills*, etc.). Another common cause includes excessive rainfall or irrigation on a cliff or slope. A type of soil failure is slope wash, from the erosion of slopes by surface-water runoff. Earthquakes can trigger rockfalls, rock avalanches, debris flows, or other types of potentially damaging landslide movements. Seismic induced landslides can occur under a broad range of conditions that include (1) steeply sloping to nearly flat land; (2) bedrock, consolidated sediments, or fill, and (3) dry to very wet conditions."

¹³ Changes include adding approximately 3.6 acres of impervious surface to the existing 0.20 acres and redirecting substantial amounts of runoff that presently runs towards Morro Rd towards the detention basins.

¹⁴ Reference (j), paragraph 1.4, 2nd paragraph

This man-made berm, constructed of expansive and erosive soils, appears to have all the makings for movement. One day, these disturbed soils will become saturated one-time too many and move, be the water source from man-induced activities such as over-watering or several weeks of measurable precipitation, of which this area has seen several times in the past¹⁵. And liquefaction may also be an issue if the disturbed soils in this berm are saturated and this area feels the effects of, or is hit by, a significant earthquake. In short, my layman's sense is the berm, or portions of it, will one day impact my property, be it from erosion, creep or a landslide. I ask these issues be directly addressed.

5. Thank you for the opportunity to review and comment on the Pacifica Estates project. As is obvious, I don't think all angles have yet been considered. Therefore, I think the exemption should be denied. I also firmly believe any future attempts to develop the site be required to again come before the Fallbrook Community Planning Group and receive a positive endorsement before taking up time on the San Diego County Planning Commission's agenda.

I look forward to seeing responses to my questions and issues, and ask that my wife and I be informed of any future meetings or other forums that discuss this project as well as any other proposal to develop this site.

Respectfully Submitted,

David E. Green

Copy to:

Fallbrook Community Planning Group (Attn: Mr. Russell and Mr. Wood)
San Diego County Planning Commission (Attn: Mr. Barnhart and Mr. Pallinger)

¹⁵Source: Project Clean Water's website using the data from the Fallbrook ALERT Station. Link is: http://www.projectcleanwater.org/index.php?option=com_content&view=article&id=167%3A%20rainfall-data&catid=29&Itemid=188.

Enclosure (1): References

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

- Ref:
- (a) County of San Diego, Planning & Development Services letter dated March 26, 2015; Subj: Public Disclosure Notice, Intent to Adopt Findings Pursuant to Section 15183 of the California Environmental Quality Act
 - (b) County of San Diego, Planning & Development Services letter dated March 26 2015; Subj: Statement of Reasons for Exemption from Additional Environmental Review and 15183 Checklist Pursuant to CEQA Guidelines
 - (c) County of San Diego General Plan Update, Fallbrook Community Plan adopted 3 August 2011
 - (d) County of San Diego Tract TM 5510 – Pacifica Estates Preliminary Grading Plan dated March 18, 2015
 - (e) County of San Diego General Plan as updated August 2011
 - (f) CEQA Preliminary Drainage Study, Pacifica Estates, County of San Diego, California, TM 5510 as revised March 2015
 - (g) Pacifica Estates Issue Specific Traffic Impact Study, TM 5510, dated February 23, 2015
 - (h) Major Stormwater Management Plan (Major SWMP) for Pacifica Estates, PDS2006-3100-5510 as revised March 2015
 - (i) San Diego County Standards for Private Roads
 - (j) County of San Diego, Guidelines for Determining Significance, Geologic Hazards dated July 30 2007
 - (k) Soil Survey San Diego Area, California, Part II, issued December 1973

Enclosure (2): 2005 Rain Event Experienced at 2461 Summerhill Lane

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

We have experienced several rain events over the years that resulted in significant runoff from the proposed development site running through our yard (and our neighbors' yards). In all of these, the events that resulted in the projected development site's runoff flowing through the yards along the northern side of Summerhill Lane lasted several days or weeks.

In a few of these, Ostrich Farms Creek has risen to the base or a bit higher of a retaining wall we built in 1989/1990. The most memorable rain event was the 1992/1993 rain season where Fallbrook received 14 inches of rain in the first 18 days of January 1993¹. Two inches of that fell on 15 January and an additional 3 inches fell on 16 January. By the morning of 16 January, Ostrich Farms Creek rose such that it was running over Stagecoach Lane and the water rose to the point that it was above the cinder blocks used as the base of the retaining wall. It likely would have flooded our property if the top 2 ½ feet of the privacy fence portion of this retaining wall wasn't also block.

It is because of the January 1993 rain event that anything that changes or potentially increases our area's natural flow of runoff or increases the velocity of water entering Ostrich Farms Creek concerns us. Unfortunately, the only photos we have of rain events are from the 2004/2005 rain season. Photos at the end of this enclosure show runoff from the proposed development site running through our yard, how Ostrich Farms Creek rose to the base of our retaining wall, and how much the creek was swollen by this particular event.

a. Runoff from the Proposed Development Site. The northern portion of our privacy fence, part of which also functions as a retaining wall is setback 6 inches from the southern edge of the proposed development site. The northeast corner of the retaining wall was 6 inches above ground level in 1989/1990. Erosion from the proposed development site piles dirt up along this area and we periodically have to remove it to prevent runoff from heavy rains pouring into our yard along this stretch of our wall. The runoff from the project site will cascade over the block portion of the wall as well as pour between the privacy fence's boards if we don't remove the build-up of eroded dirt. We also have a wooden gate that opens onto the proposed development site and water flows under that gate. I have blocked the bottom of this gate so runoff doesn't flow between the seams of the wood.

Pictures in this enclosure are from a couple rain events in 2005. The ones of runoff flowing through our yard were taken after the rains stopped on 9 January, 2005 and things had begun to settle down. These were taken so I would remember we were part of that watershed's drainage pattern and take that into consideration for changes we were already planning to make to reduce the amount of grass to be watered (and cut) on our lot. The remaining pictures were taken between rain showers on 21 February, 2005.

¹Source: Project Clean Water's website using the data from the Fallbrook ALERT Station. Link is: http://www.projectcleanwater.org/index.php?option=com_content&view=article&id=167%3Arainfall-data&catid=29&Itemid=188.

Enclosure (2): 2005 Rain Event Experienced at 2461 Summerhill Lane

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Back Gate between our backyard and the proposed development site



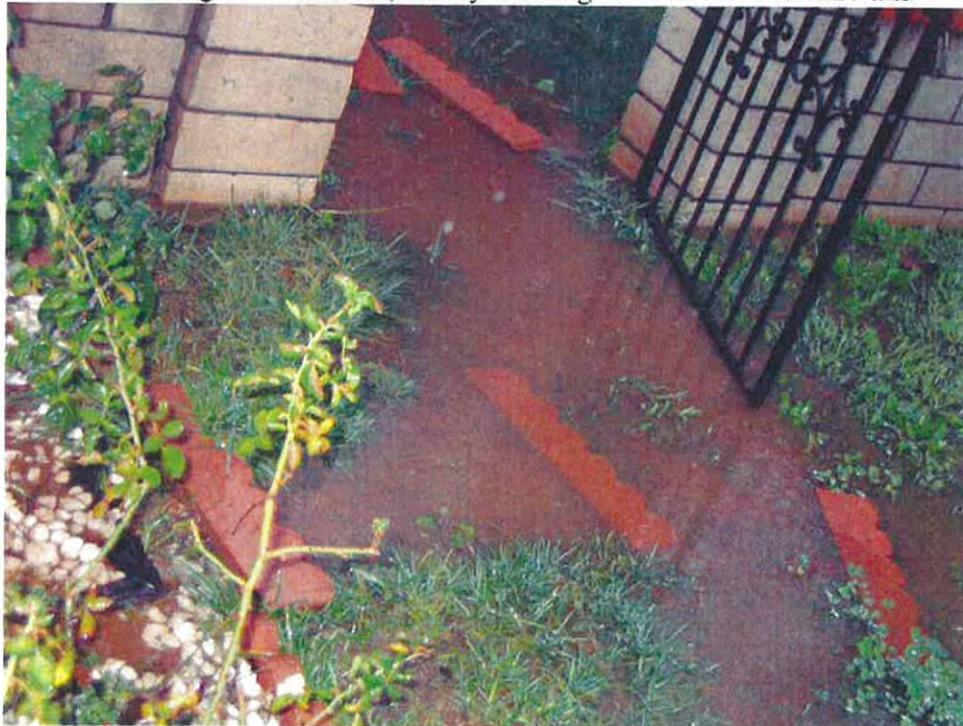
Water still standing in our backyard as it slowly drains past our house to Summerhill Lane.

Enclosure (2): 2005 Rain Event Experienced at 2461 Summerhill Lane

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



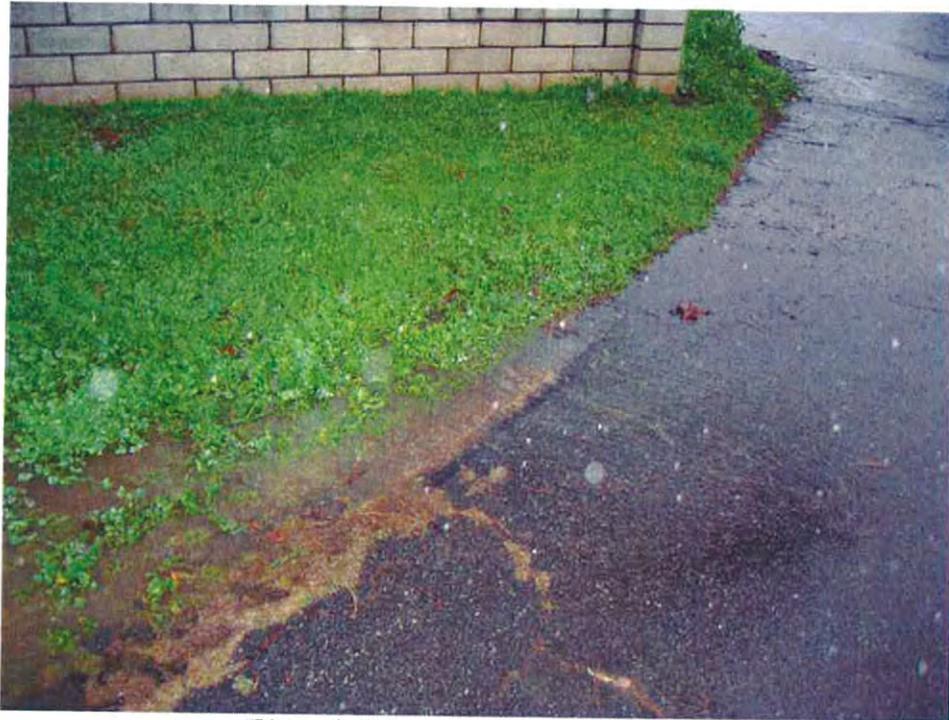
Water alongside our house, slowly draining towards Summerhill Lane



Water in front gate area, slowly draining towards Summerhill Lane

Enclosure (2): 2005 Rain Event Experienced at 2461 Summerhill Lane

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Water draining onto Summerhill Lane

Enclosure (2): 2005 Rain Event Experienced at 2461 Summerhill Lane

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

b. Portion of Retaining Wall/Privacy Fence facing Ostrich Farms Creek. These pictures show the side of our retaining wall/privacy fence that faces Ostrich Farms Creek. The cinder blocks are that portion that functions as the retaining wall and the white slump blocks are the portion visible in our yard. They comprise the bottom portion of our privacy fence.



View of our lot's Northwestern most corner, looking downstream towards Stagecoach Lane



Twenty feet down our retaining wall face, still looking towards Stagecoach Lane. Our neighbor had dug a trench to pour the footing of a similar wall to protect his property (and pool). The plywood was used to divert moving water from that area. His fence is now up.

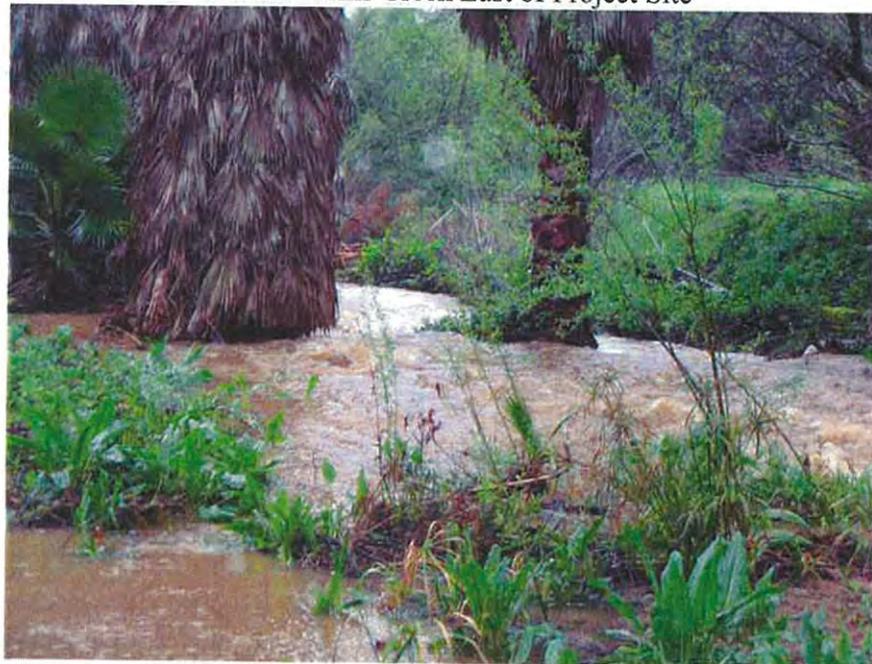
Enclosure (2): 2005 Rain Event Experienced at 2461 Summerhill Lane

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

c. Ostrich Farms Creek on the morning of 21 February, 2005. These pictures show how swollen Ostrich Farms Creek was around 10 in the morning. I should have taken this picture the afternoon of 22 February as the creek was even higher after an additional 1.3" of rain fell.



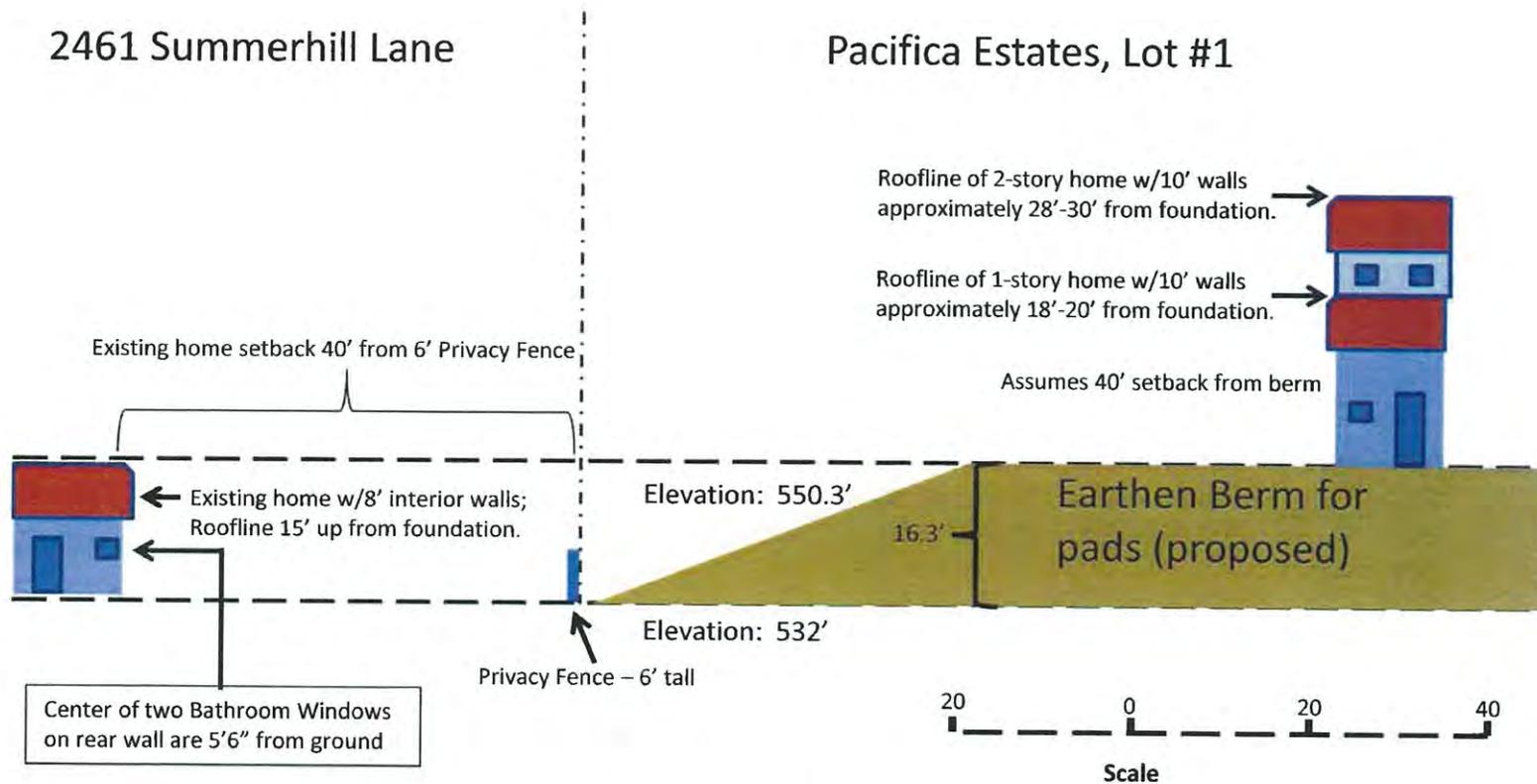
Ostrich Farms Creek East of Project Site



Ostrich Farms Creek East of Project Site

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

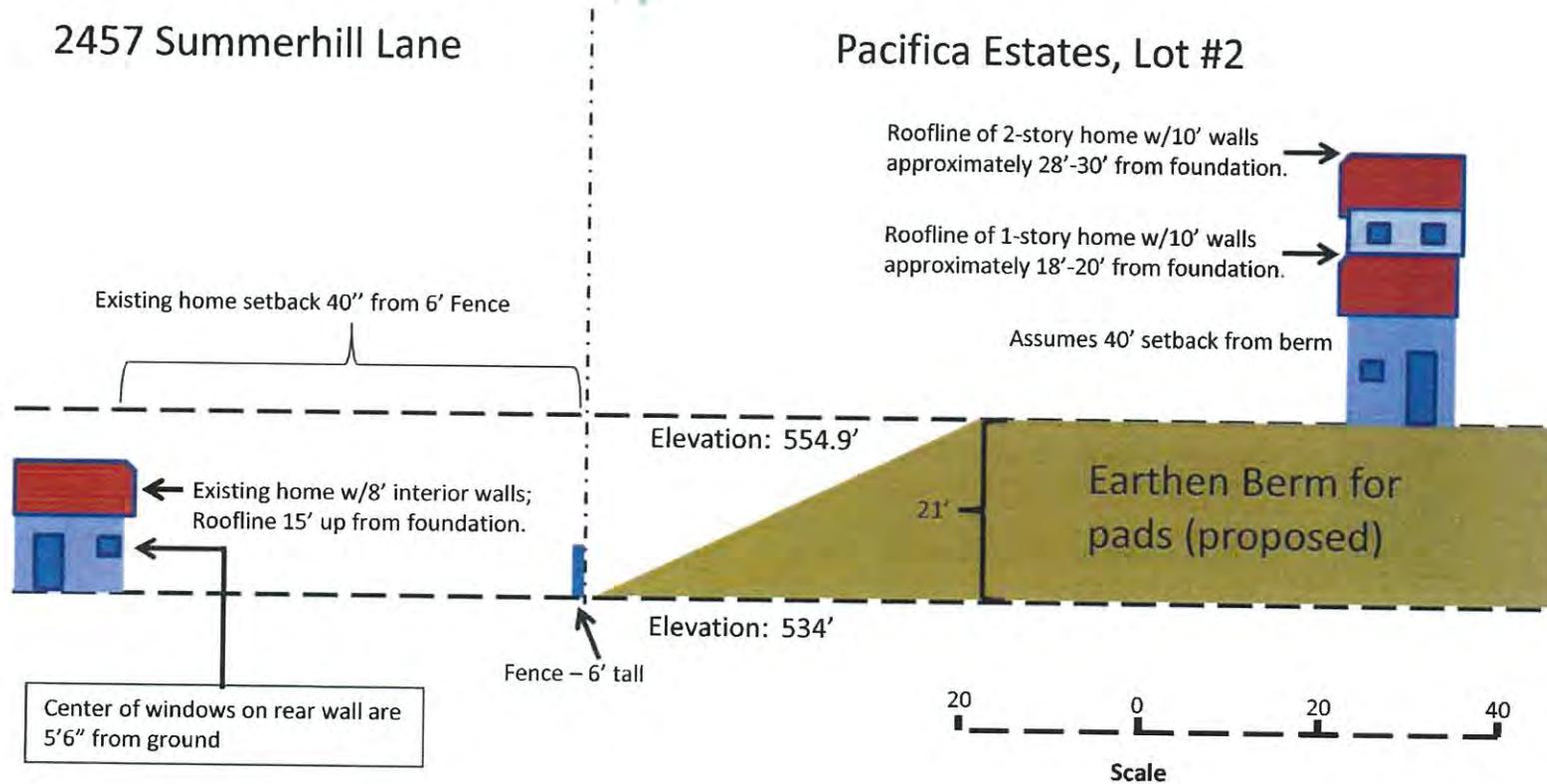
Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Profile of Elevation Differences between 2461 Summerhill Lane and Lot #1 of the proposed development

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

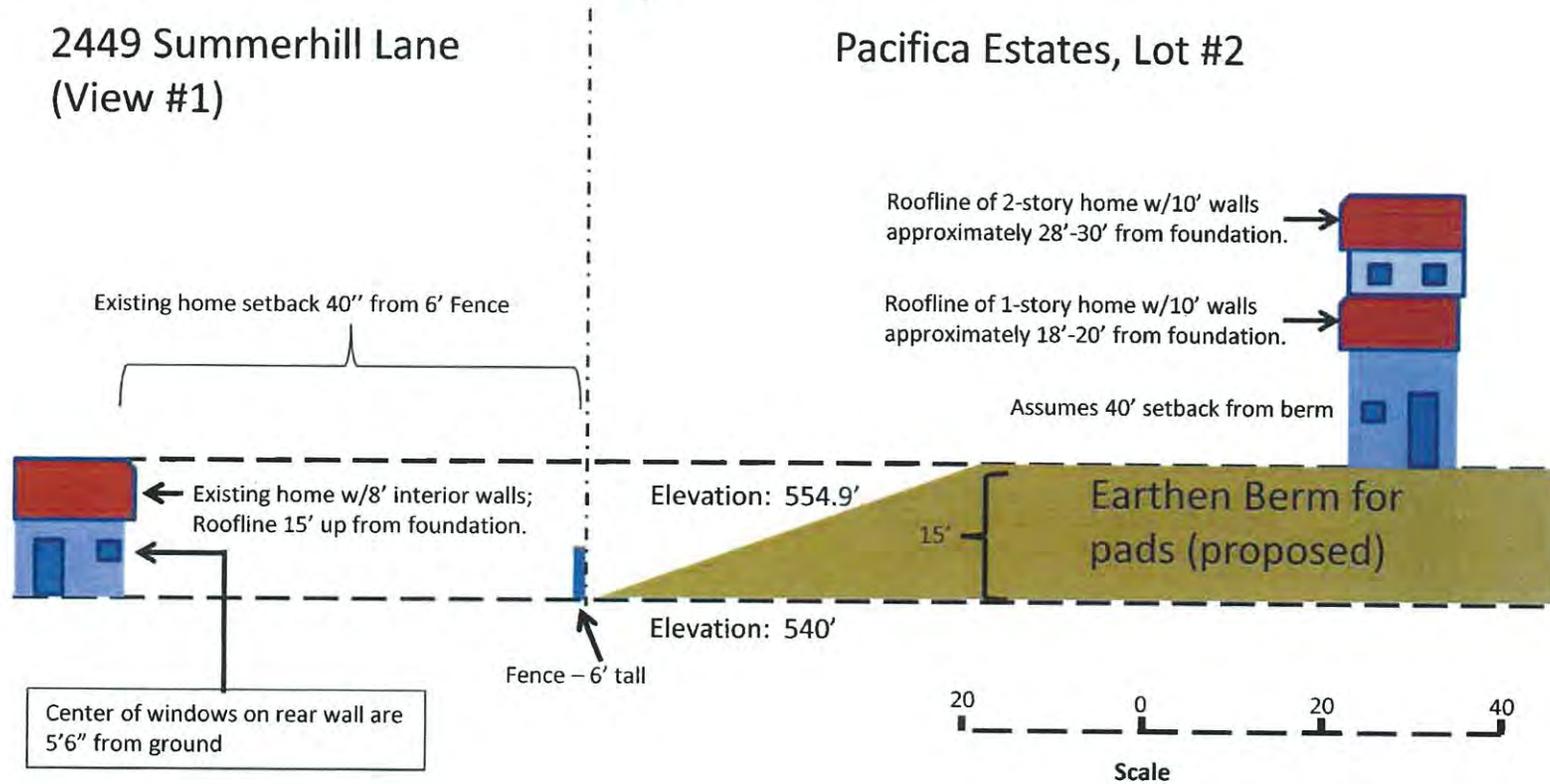
Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Profile of Elevation Differences between 2457 Summerhill Lane and Lot #2 of the proposed development

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

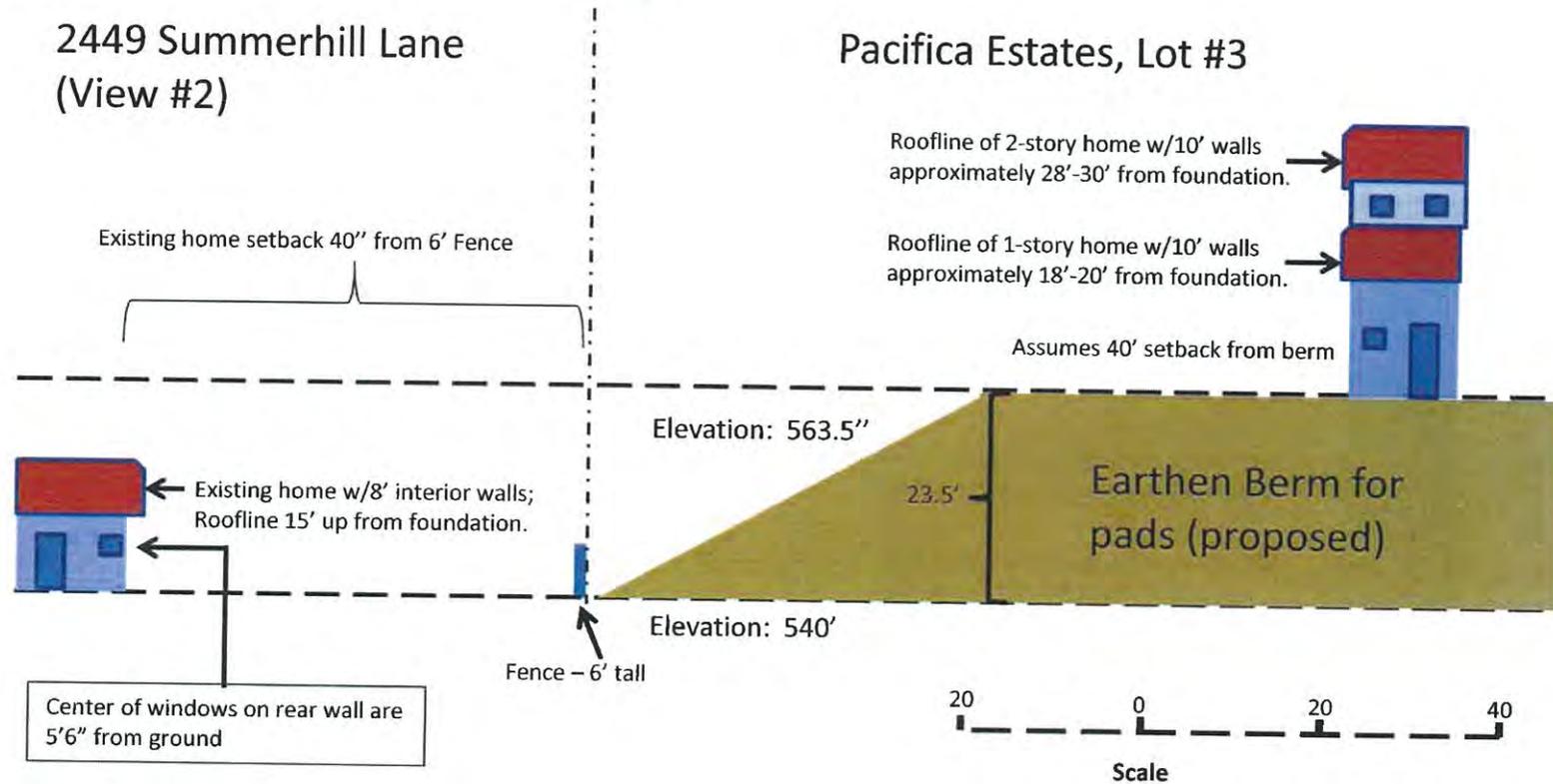
Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Profile of Elevation Differences between 2449 Summerhill Lane and Lot #2 of the proposed development

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

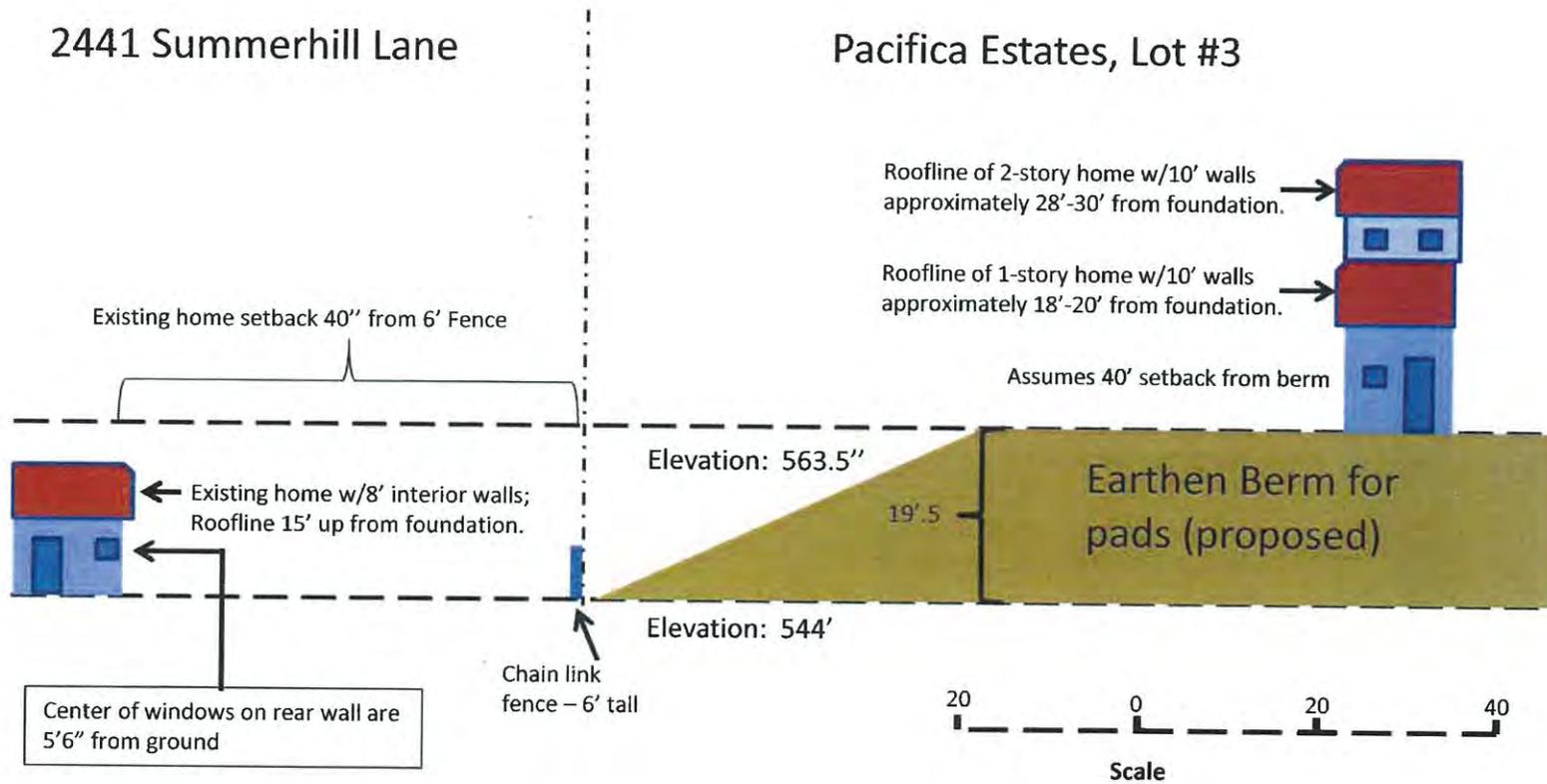
Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Profile of Elevation Differences between 2449 Summerhill Lane and Lot #3 of the proposed development

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

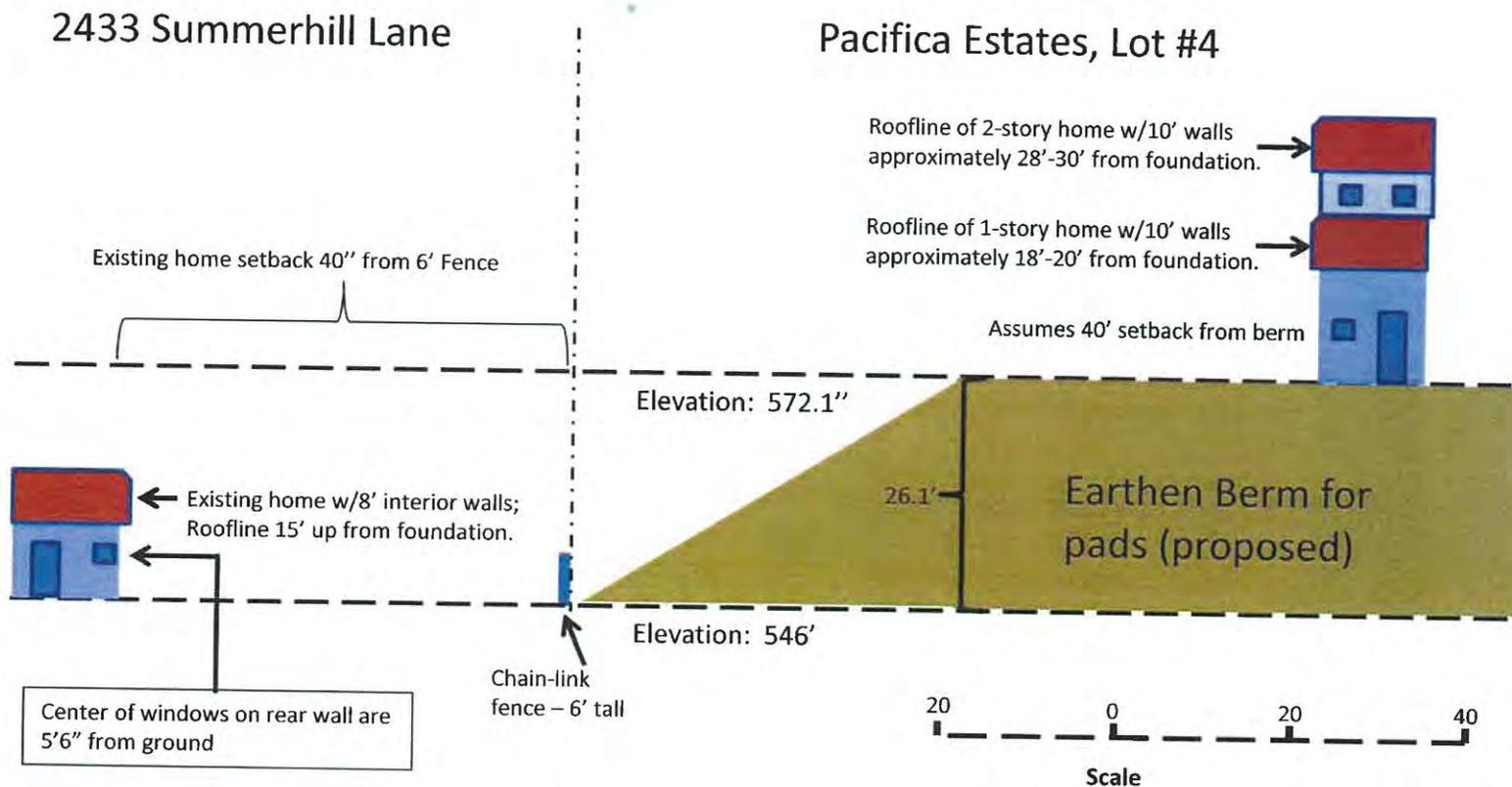
Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Profile of Elevation Differences between 2441 Summerhill Lane and Lot #3 of the proposed development

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

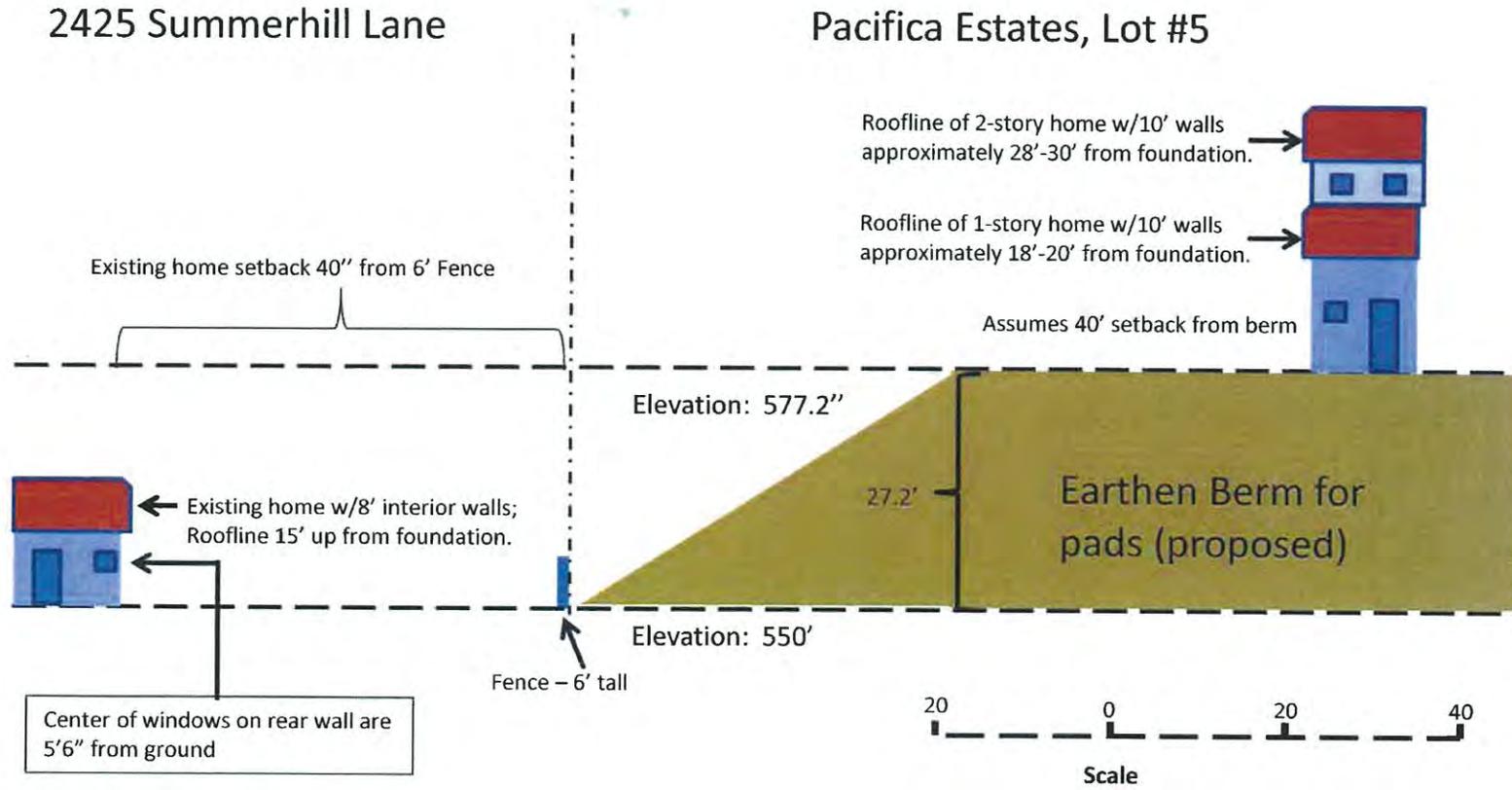


Profile of Elevation Differences between 2433 Summerhill Lane and Lot #4 of the proposed development

1 - 234

Enclosure (3): Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Profile of Elevation Differences between 2425 Summerhill Lane and Lot #5 of the proposed development

Enclosure (4): Impact of Pacifica Estates Development on the Aesthetics of the Existing,
Summerhill Lane Neighborhood

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates
Major Subdivision

1. Aesthetics are a major factor when choosing a home, and it was Fallbrook's aesthetics that caught my wife's and my attention when we were looking for a place to settle. After looking over several homes in the area, we were most drawn to our current home on Summerhill Lane because it was a semi-rural, open setting that was close enough to town for what a town offers but far enough removed so we could enjoy watching the stars at night (it gets very dark in our area when the sun goes down) and the area's wide variety of wildlife. The setting also gave us a sense of openness and privacy in our backyard. All of these attributes remain pretty much true today and they still appeal to us. The 'Community Vision' expressed in Fallbrook's Community Plan (reference (c))¹ says it best; "The small town atmosphere and rural, semi-rural natural environment are what residents most cherish and what ((we)) most wish to preserve for the future."

Aesthetics are formally recognized in several areas of the County of San Diego General Plan (reference (e)) and the Fallbrook Community Plan. It is even listed as the first topical area to be addressed in the "CEQA Guidelines 15183 Exemption Checklist" attached to the County of San Diego's Statement of Reasons for Exemption (reference (b)). I could not find where the County or the project's documentation mentions the significant aesthetic impact the project will have on the adjacent neighborhoods or their residents, so I tried to hit on the main aesthetic issues in my cover letter. This enclosure is to touch on some of the finer points and show those unfamiliar with our area some of the views we presently enjoy; a view and a sense tranquility that will be forever lost if the project goes forward.

2. The very first goal listed in the Fallbrook Community Plan, Goal LU 1.1, is to "Perpetuate the existing rural charm and village atmosphere while accommodating growth." As can be seen in the pictures at the end of this enclosure, our neighborhood personifies Fallbrook's rural charm and character. Allowing the proposed project to go forward may accommodate growth, but it would directly go against the spirit of LU 1.1 because it does so by destroying our neighborhood's semi-rural atmosphere. It also would eliminate the sense others get of returning to Fallbrook's agricultural roots as they leave town because that open field would be replaced with a sea of new homes.

3. Policy LU 9.8 of the San Diego County General Plan (reference (c)) requires "new development within Villages to include road networks, pedestrian routes, and amenities *that create or maintain connectivity; and site, building and landscape design that is compatible with surrounding areas.*" This proposed development does NOT "connect with its surrounding areas" nor is it "compatible with surrounding areas" for reasons provided in my cover letter as well as its design essentially creating a new neighborhood that will be isolated from the neighborhoods to the north, east, and south. The only thing to the west is a four-lane, major road.

4. Below are pictures showing our current views of the proposed development site.

¹ Page 11, last sentence of the second paragraph.

Enclosure (4): Impact of Pacifica Estates Development on the Aesthetics of the Existing, Summerhill Lane Neighborhood

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Figure (1). View from SW corner of backyard and looking NW. Open field is the proposed project site. Homes along ridgeline in the distance are part of the Peppertree development.



Figure (2). From NW corner of our property looking East across the proposed project site

Enclosure (4): Impact of Pacifica Estates Development on the Aesthetics of the Existing, Summerhill Lane Neighborhood

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision



Figure (3). View from SW Corner of our backyard looking North across proposed site development to trees lining Sterling Bridge Rd.



Figure (3). View from NW Corner of our backyard looking North across proposed site development to the trees lining Sterling Bridge Rd.

Enclosure (5): Traffic Impact after Construction Is Complete

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

1. **Background.** As stated in my cover letter, access to the 21 residences in the new development is planned to be accomplished by shoehorning a new, uncontrolled, right-turn-only intersection into the two northbound lanes of S. Mission Rd between two existing intersections (Stagecoach Ln and Sterling Bridge Rd). As shown in Figure 1, the two existing intersections are less than 1,000 feet apart and both are controlled by traffic and pedestrian signals. The new, uncontrolled intersection proposed by the project would be approximately 550 feet north of Stagecoach Ln, 380 feet north of a bus stop, and less than 400 feet south of where northbound motorists on S. Mission Rd stop when their traffic signal at Sterling Bridge Rd turns red. When completed, this intersection will be the sole access for residents, their guests, delivery vehicles, sanitation trucks, moving vans, etc.



Figure (1). S. Mission Rd from Stagecoach Ln to Sterling Bridge Rd. Like the TIS, the point depicting the proposed private road is setback to show a motorist's line-of-sight at the Stop sign.

In the broader picture, the stretch of S. Mission Rd where traffic could be impacted by the project is a little more than ½ a mile long, from Air Park Rd to the north and Winterhaven Rd to the south. Classified as a major, 4-lane road with a raised median between the northbound and southbound lanes, there are five intersections; four of which are controlled by traffic/pedestrian signals and one that is not controlled (Air Park Rd). The posted speed limit is 50mph. However, it should be noted that traffic usually travels significantly faster as they approach Olive Hill Ln and drivers see their next traffic signal is green (Stagecoach Ln for

Enclosure (5): Traffic Impact after Construction Is Complete

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

northbound traffic, Winterhaven Rd for southbound traffic). Figure 2 shows the relationship and distances between these intersections along S. Mission Rd.

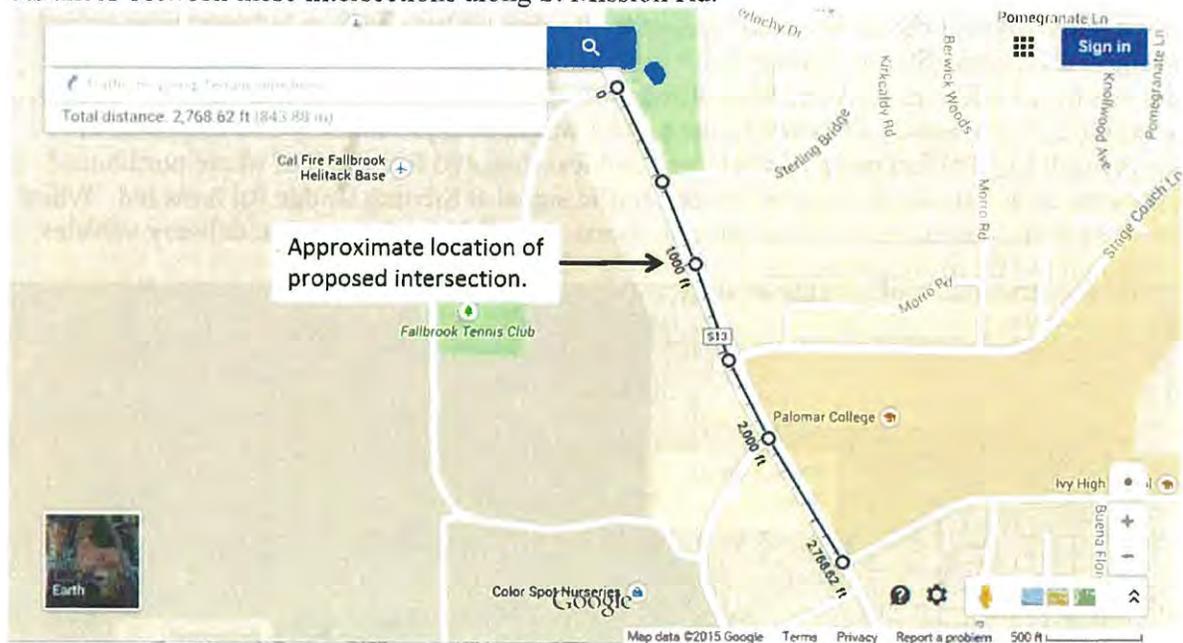


Figure (2). Overhead view of S. Mission Rd from Air Park Rd to Winterhaven Rd (approximately 2,770 feet)

2. Safety Concerns. The project's Traffic Impact Study (TIS) (reference (g)) does touch on safety but its emphasis is traffic flow using data I consider out-of-date. It also talks about rush-hour but it doesn't delve into the short-burst of chaos and congestion that happens when Fallbrook High School lets students go for the day. Having lived in this area for a number of years, my experience likely makes me more aware of the area's current 'danger' times and spots as a driver and pedestrian. Those experiences form the basis for my opinion that the proposed access solution will exacerbate the dangers along the stretch of S. Mission Rd from Air Park Rd to Winterhaven Rd.

a. Pedestrian Traffic. The study states the proposed project would not hinder existing pedestrian and bicycle facilities along Mission Road nor create hazards to pedestrians and/or bicyclists where such facilities exist in the project study area. I disagree. All entering the proposed development will have to turn right to enter and those departing are expected to stop before turning right and accelerating up a minor grade (approximately 2.5%). No signals regulate pedestrian or vehicular traffic.

Residents departing and intending to go north only have to merge with the flow of traffic whereas those intending to go south have a relatively short distance to cross two lanes of high-speed traffic to maneuver into the proposed U-turn lane at Sterling Bridge Rd¹. Hazards to

¹ The short distance for this maneuver is also recognized by reference (g) to be a disadvantage. See page 28.

Enclosure (5): Traffic Impact after Construction Is Complete

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

motorists and pedestrian traffic (including skateboarders and bicyclists) vary depending upon the time of day.

(1) In the morning, most of the pedestrian traffic is comprised of students walking, skateboarding, or bicycling to Fallbrook High School.

- Heading south on the sidewalk, they would be approaching from the right of vehicles exiting the project's private road. Many of the students walking to school are paying more attention to their smart phones than their surroundings and the skateboarders/bicyclists are generally taking advantage of the downhill slope in this area.

- Residents leaving the project will likely be more focused on trying to merge with (or cross) oncoming traffic from the left than the pedestrians, skateboarders, and bicyclists coming from town. Pressured to beat or merge with oncoming traffic, the residents may roll through the Stop sign to help gain speed in order to accelerate uphill on northbound S. Mission Rd.

- In this situation, residents may clip one of the pedestrians approaching from the right or pull in front of a fast moving, low-profile vehicle in the right-most lane of S. Mission Road².

(2) In the afternoon when the high school lets out, chaos reigns. Motorists jockeying for position to pick students or depart will pull on the dirt shoulder, run red lights, and in general make unpredictable maneuvers. Pedestrians add to the mix as they dodge cars. Once on S. Mission Rd, most of the pedestrian traffic is comprised of students walking, skateboarding, or bicycling back to town.

- Heading north on the sidewalk or in the bike lane, their backs will be to northbound traffic. Again, many of the students walking home from school are paying more attention to their smart phones than their surroundings.

- Residents returning to the project can only make right-turns on to the project's private road from S. Mission Rd.

- In this situation, there will be times when pedestrians are in the uncontrolled intersection when Pacifica Estate residents want to turn in. They will have to slow or stop to wait for pedestrians to clear the intersection. Cars leaving the High School are generally accelerating quickly and coming up to speed at this point. They will be forced to either stop, slow, or swerve to avoid rear-ending the Pacifica Estate's resident. Stopping or slowing will also impact the remainder of northbound traffic, potentially all the way back to Winterhaven.

b. Vehicular Traffic – Southbound Traffic.

(1) Vehicles traveling south on S. Mission Rd that intend to enter Pacifica Estates must drive past the entrance to the private road and position themselves in the left-most turn lane at the Stagecoach Ln traffic light. Smaller vehicles can make a U-turn. However, full-size pickups, delivery trucks, and other larger vehicles cannot execute a U-turn in the available space.

² I have doubts about site distance being sufficient to see motorcycles or other low profile vehicles in the right-most lane of S. Mission Rd, especially if the vegetation alongside the sidewalk isn't kept trimmed.

Enclosure (5): Traffic Impact after Construction Is Complete

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

Instead, they must turn east onto Stagecoach, turn north onto Summerhill Ln and then turn around to make their way back to the private road's entrance.

Summerhill Lane is a privately owned and maintained road. Residents pay for its upkeep and it is already starting to show signs of people making the maneuver described above. In fact, we recently had an estimate to repave the street. The estimated cost was greater than \$30,000. Adding additional traffic will only accelerate destruction of our street.

(2) The plan for residents departing Pacifica Estates and intending to travel south is add a U-turn lane at the Sterling Bridge Rd intersection. 100 feet of median on S. Mission Rd would be removed and an additional signal light would be added to control traffic. Already mentioned is the short distance available for vehicles to cross both lanes to position themselves in the U-turn lane. Not mentioned is there isn't space for full-size pick-ups, delivery vehicles or other large vehicles to execute a U-turn. Either they execute a three-point turn or find some other place to turn around. Some may try to turn around on Air Park Rd, but that is even more hazardous as the vehicle not only must contend with S. Mission Rd's southbound traffic but also contend with vehicles leaving the Air Park or Tennis Club. Terrain limits sight distance for all vehicles. The bottom line is this plan sets the stage for even more accidents along this stretch of S. Mission Rd.

c. Vehicular Traffic – Northbound. Issues associated with vehicles leaving Pacifica Estates and intending to go north towards Fallbrook have been discussed elsewhere. They include the limited site distance to check for fast moving traffic and the uphill slope impeding acceleration as they try to merge.

Enclosure (6): Impacts of Drainage and Stormwater Management on Existing Summerhill Residences

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

1. After analyzing the project's documentation and skimming many of the references, I have come to the conclusion that the project's design puts my property at risk; a place my family has called home for more than 25 years. It was easy to see how the project would negatively impact the aesthetics that drew us to move here and the added hazards the project would bring to all that regularly commute through this area (motorists and pedestrians alike), but it was through my quick study of soils, erosion, earthquakes, drainage, etc. over the past few weeks that have led me to believe the project's design is a long-term hazard to me and my neighbors' properties.

2. Discussion. The site of the Pacifica Estates project is presently an open field used to grow flowers. A natural watershed, the southeasterly runoff flows towards Morro Street and the southwesterly runoff flows either into Ostrich Farms Creek or through the yards of the homes along the northern side of Summerhill Lane. Looking at Section A-A of reference (d), the natural slope of the ridgeline looks to be around 13.9% (elevation drop of 65 feet over 467 feet) where Lot 15 and Lot 5 will eventually be located. Some runoff from the existing slope runs through our yards runs down Summerhill Lane out to Stagecoach Lane.

The project proposes to cut 80,000 cubic yards of dirt from the northern edge of the site. Cuts will be at a slope of 2:1 (50%) and begin between 5-10 feet from the site's northern boundary¹, which is the southern boundary of some of the Peppertree Park residents' property. Over time, erosion and the shrink/swell properties of the Fallbrook Sandy Loam (9-15% slopes) will likely impact those Peppertree Park residents sometime in the future.

Soils in this area have an erodibility rating of severe and an expansion rating that varies from moderate-to-high². These same soils will be used to construct the berm along the southern boundary of the project site, upon which pads will be prepared for homes. The berm will run uphill from west to east for several hundred feet, be approximately 150 feet wide and the depth of the compacted soil along its southern edge will vary from 10-25 feet. The slope of the berm's southern edge is also 2:1 or 50%. The overall slope will change dramatically from a southwesterly orientation to an east-west orientation.

The project proposes to build two detention ponds north of my property (see Figure (1)). The southern-most of these two basins will be directly north of the northwest corner of my lot (elevation 530 feet). That basin's bottom is also at elevation 530 feet and will rise ten feet to an elevation of 540 feet. There is an equalization pipe between the two detention basins so that runoff in the northern-most basin is transferred to the basin directly behind my property where a discharge pipe will direct it towards Ostrich Farms Creek. The main channel of the creek is a good 20 feet from the western edge of my property and where the mouth of the discharge pipe will be located (reference (d) has the mouth of the discharge pipe ending right next to the northwest corner of my lot). The discharge is supposed to be mitigated with a "rip-rap energy dissipater"³.

¹ Reference (d), page 3, Section A-A

² Reference (k), Tables 1 and 11 for FaD2 and PeC

³ Reference (h), Table 2, paragraph 7

Enclosure (6): Impacts of Drainage and Stormwater Management on Existing Summerhill Residences

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

According to the project's Drainage Study, the plan is to add 3.6 acres of impervious surfaces to the existing 0.2 acres of impervious surfaces and redirect a "substantial portion" of runoff that presently flows towards Morro Road into the two detention ponds described above⁵. Looking at the "Preliminary Basin Sizing; Pre- vs Post-Development Hydrographs"⁶ shown in Figure (2), it looks like it will almost triple the current amount of runoff going into Ostrich Farms Creek.

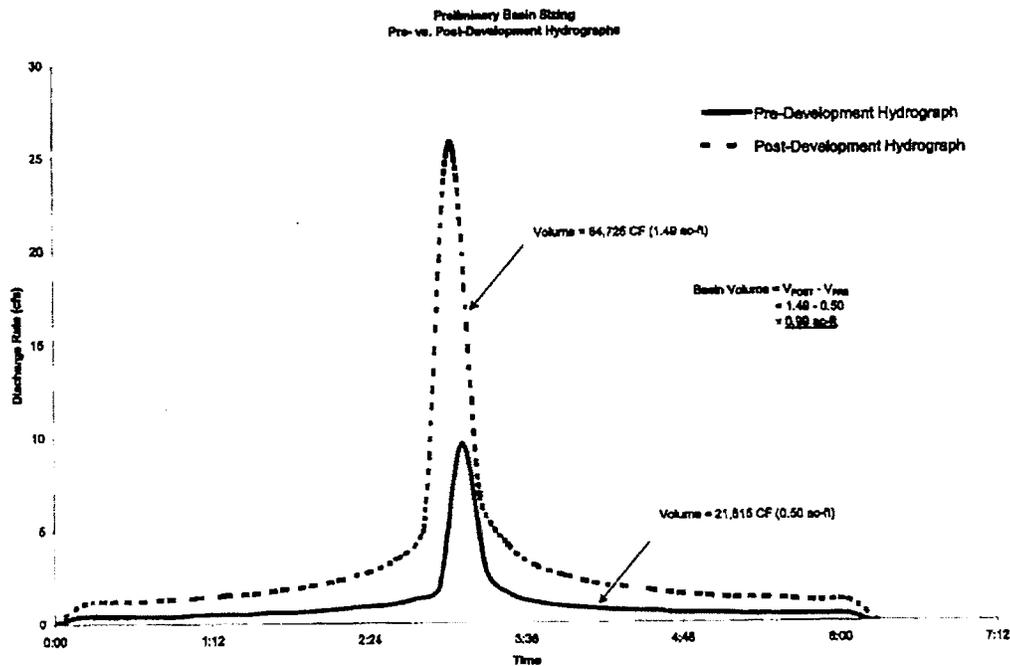


Figure 2: Preliminary Basin Sizing; Pre-vs. Post-Development Hydrographs.

3. Design issues I have with the project revolve around the runoff and long-term stability of the huge dirt wall that is poised to one-day spill into my backyard, be it by erosion, creep, landslide, liquefaction, or some combination of these four. The project's Drainage Study models six hours of heavy rains, but I don't see where the project's documentation considers the effects of measurable rain falling every day for two or more weeks like happened in January 1993⁷. And if the tail end of such a rain event is a "Pincapple Express"⁸, that is when we will see the rains equivalent to those modeled in the project's Drainage Study. The ground will be saturated and every inch of that rain that falls on that project site will be result in more than one acre foot of runoff...the basins' capacity is just 1.2 acre feet of water. Liquefaction is another possibility if

⁵ Paragraph 2.1, sub-paragraph 3 of reference (f).

⁶ Source: Reference (f), Appendix B, "Preliminary Basin Sizing; Pre-vs Post-Development Hydrographs".

⁷Source: Project Clean Water's website using the data from the Fallbrook ALERT Station. Link is: http://www.projectcleanwater.org/index.php?option=com_content&view=article&id=167%3Arainfall-data&catid=29&Itemid=188.

⁸ See http://en.wikipedia.org/wiki/Pineapple_Express for information on Pineapple Express

Enclosure (6): Impacts of Drainage and Stormwater Management on Existing Summerhill Residences

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

the ground is saturated and we either feel the effects of an earthquake outside of San Diego County or are hit with one in our area⁹.

Until that happens, other issues I have with the project's Drainage and SWMP follow.

a. Drainage Study, Paragraph 6.2.3 says the project does not place any people or structures at significant risk of loss, injury or death due to flooding.

(1) No mention is made in the brief, supporting statements about whether the project endangers three Summerhill Lane homes facing Ostrich Farms Creek. Presently, the creek only rises enough to approach my retaining wall when our area experiences a significant rain event spread over several days. The design described in the project's Drainage Study and SWMP will result in runoff from all rain events that produce runoff being channeled towards the detention ponds and out the discharge pipe beside my retaining wall. Depending upon the amount of rain, the discharged water may be at a relatively high velocity and will merge with the runoff coming off the southern wall. This looks like it could eventually undercut the foundation of my retaining wall and the northwestern portion of my property.

(2) Paragraph 4.3 of the Drainage Study says "...the proposed project will affect minor changes to water surface elevations in Ostrich Farms Creek *in the reach immediately adjacent to the project site.*" **If the creek exceeds levels seen in 1993, it won't take much vertical difference to potentially flood out us and our neighbors to the south. The study needs to consider the long-term impact of placing the discharge pipe adjacent to my property.**

(3) Water seeks its own level. The Drainage Study may look at what rate rainfall produces more runoff than is being discharged, but it needs to also look at whether runoff in the southern basin will create enough head pressure to raise water in the immediate vicinity of our wall if the creek has already risen to the level that is overflowing Stagecoach Lane and the basin fills up. We survived such a circumstance in 1993, but we had very little margin of safety left.

(4) Being next to a riparian zone, debris can collect in the basin that may block or partially block the discharge pipe. If the southern pond overflows, mitigation steps are needed to ensure it won't fail if runoff exceeds capacity and runs over the sides.

b. Several places in the Drainage Study say that the project will not alter or divert drainage or the drainage pattern as compared to predevelopment conditions.

(1) This conflicts with paragraph 2.1 where it states a substantial portion of runoff presently directed towards Morro Road will be diverted to flow towards the detention ponds.

⁹ <http://www.utsandiego.com/news/2009/dec/30/timeline-san-diego-earthquakes/3/?#article-copy> lists earthquakes felt in San Diego County.

Enclosure (6): Impacts of Drainage and Stormwater Management on Existing Summerhill Residences

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

(2) It also conflicts with the proposed project's Preliminary Grading Plan, which says 80,000 cubic feet will be cut and filled such that the natural, southwesterly lay of the land will change to an east-west orientation. The cut on the northern edge of the property will remove as much as 20+ feet of elevation from the hill to accommodate the northern pads. Fill will be used to reshape the southern border with a berm approximately 150 feet wide and the southern edge of pads atop the berm will be built by 20 feet or more above the natural slope.

c. Concur with the observation in Paragraph 4.1 and Section 5, 4th bullet of the Drainage Study that the Stagecoach Lane culvert is undersized. Water did backup behind it and wash over Stagecoach Lane in January, 1993.

- d. There may be issues. Who, in writing, will be responsible and held accountable for:
- (1) Complying with the checklists in the SWMP to keep the detention ponds free of debris that could block the discharge pipe and liable if they become blocked and our property is flooded?
 - (2) Preventing the detention ponds from becoming breeding grounds for mosquitos?
 - (3) Repairing our retaining wall if the water expelled from H.O.A. Lot "D" via its discharge pipe damages the foundation of our retaining wall or undercuts our property?
 - (4) Cleaning and removing contaminants that will collect at the bottom of these ponds?
 - (5) Trimming the vegetation in the "vegetated swales along the project's perimeter"¹⁰ so it does not become a fire hazard.
 - (6) Keep the swale located along the southern edge of the planned development site from filling up with eroded soils from the berm.

¹⁰ SWMP, Table 2, item 7 says part of its mitigation strategy is to vegetate swales along the project's perimeter.

EXHIBIT A

From: David E. and Hsiu J. Green
2461 Summerhill Lane
Fallbrook, CA 92028

Subj: Response to Public Disclosure of Intent to Adopt Findings Pertaining to Pacifica Estates Major Subdivision

- Encl: (1) County of San Diego, Planning & Development Services letter dated March 26, 2015;
Subj: Public Disclosure Notice, Intent to Adopt Findings Pursuant to Section 15183 of the California Environmental Quality Act
- (2) Profile Views Depicting Elevation Differences between existing Summerhill Lane Homes and those that will be constructed on Lots #1 through #5 of the Proposed Development
- (3) Figure depicting water being directed by detention ponds sole discharge pipe along retaining walls.
- (4) Overhead view of only access to site during construction (Morro Rd)

1. We received notice that the County of San Diego, Planning & Development Services (PDS) intended to adopt findings for the "Pacifica Estates Major Subdivision, PDS2006-3100-5510 TM; Log No. PDS2006-3910-06-02-023 (ER)" project. It stated that while public review is not required as part of this process, comments would be accepted and taken into consideration. Our perception of this project is it has several major flaws and we firmly believe that permission to go forward should be denied.

2. Background. My wife and I bought our Summerhill home in February 1989. Things that appealed to us then, and still appeal to us now, were the aesthetics of its semi-rural, open setting and the sense of privacy we enjoyed in our backyard. These same qualities are stated in the Fallbrook Community Plan, which states under its 'Community Vision' "The small town atmosphere and rural, semi-rural natural environment are what residents most cherish and what ((we)) most wish to preserve for the future."

We also enjoy the wildlife that treat our property as their very own as well as sitting in our backyard on a warm summer night to view the stars. We have many concerns with this project; however, with only three minutes to speak, I will only briefly touch upon five areas that I don't believe have been previously considered by the County or project and are significant enough that:

- a. The County should rescind their intent to adopt the findings to exempt the proposed project from additional environmental review.
- b. The County should return this project back to the full, normal review process that includes review by this forum ((Fallbrook Community Planning Group)).

3. The five areas are:

a. No County or project documentation has addressed the aesthetic impact on current residents by collocating the equivalent of McMansions atop a 15-28 foot berm towering over the older homes and residents of Summerhill Lane. Whereas the proposed development site provides an aesthetically pleasing buffer between homes built in 1970s and the much larger homes of today, the development will put those new, larger homes almost literally in our backyards, leaving them to loom over the existing homes along Summerhill Lane. Impacts sense of semi-rural openness, and privacy. Semi-rural ambience is destroyed and values of the Summerhill Lanes will likely drop as a result. (enclosure (2))

b. The only discussion of the effects of light pollution on the Summerhill residents is given from the perspective that all homes are on a level plane and it can be mitigated. The proposed project's homes will be significantly higher than the Summerhill Lane homes and the existing residents will have to look up through the lights of the proposed project's homes to see the night sky. (Enclosure (2))

c. Every inch of rain on the proposed development site is more than 1 acre foot of water. Currently an open field, the project will change 3.8 acres of that land into impervious surfaces. The detention ponds will likely hold less than 1 acre-foot of water. Not addressed in any County or project documentation is the effect that having the sole discharge pipe for the proposed project's two detention basins directing runoff from any runoff-producing rain event along the footings of retaining walls protecting two homes on Summerhill Lane from when Ostrich Farms Creek rises. (Enclosure (3))

d. Only access to the proposed development site during the earth moving and construction phase is directly across from the high school parking lots via Morro Rd. Not addressed is the impact the movement of heavy equipment and materials will have on the already very congested area in front of Fallbrook High School or measures to safely mitigate this issue. (Enclosure (4))

e. Information refuting the project's Traffic Impact Study's claim that congestion along S. Mission Rd is comparable to when traffic data was collected in 2007 and 2010. At the very least, the data the Pacifica Estates Traffic Impact Study is based upon needs to be updated. It is eight years old, and the traffic counts were before SR 76 was turned into a four-lane road to Mission Road and construction begun on the segment continuing east to Interstate 15. The data was also collected when some or all of the major Marine units at Camp Pendleton were rotating in and out of the Middle East (2007 and 2010). We can't say how by how much that affected the count, but there are several tens of thousands of Marines, Sailors, and their families stationed at Camp Pendleton when all major Marine units are 'home'. And, as everyone in Fallbrook knows, traffic congestion goes up or down on all roads based upon how many military members and their families are in the area. Right now, all major units have returned to Camp Pendleton. The data needs to be validated before it can be considered authoritative enough to produce a Traffic Impact Study that all can be confident that it reflects the current situation.

4. All of these new issues should, by themselves, result in an exemption being denied and the project directed to return to the normal process after taking these new issues into consideration and synchronizing the information across their project documentation. This documentation is



County of San Diego

MARK WARDLAW
DIRECTOR
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FAX (858) 694-2555

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
www.sdcounty.ca.gov/pds

DARREN GRETLER
ASSISTANT DIRECTOR
PHONE (858) 694-2962
FAX (858) 694-2555

PUBLIC DISCLOSURE NOTICE INTENT TO ADOPT FINDINGS PURSUANT TO SECTION 15183 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

March 26, 2015

NOTICE IS HEREBY GIVEN that the County of San Diego intends to adopt findings in accordance with the California Environmental Quality Act Section 15183 for the following projects. The proposed findings and the associated analysis can be reviewed at http://www.sdcounty.ca.gov/pds/ceqa_public_review.html and at Planning & Development Services (PDS), Project Processing Counter and 5510 Overland Avenue, Suite 110, San Diego, California 92123. Under this process, public review is not required; however, any comments received will be accepted and taken into consideration.

A FAQ sheet on the 15183 CEQA exemption process can be located at <http://www.sdcounty.ca.gov/pds/zoning/formfields/PDS-202.pdf>. Comments on these findings must be sent to the PDS address listed above and should reference the project number and name.

PACIFICA ESTATES MAJOR SUBDIVISION, PDS2006-3100-5510 (TM); LOG NO. PDS2006-3910-06-02-023 (ER). The project is a major subdivision to divide a 17.3-acre property into 25 lots, including 21 residential lots, two open space lots to preserve wetlands, and two homeowner association (HOA) common area lots for detention basins. The proposed residential lots would be 0.5-acre gross and net. Access to all lots would be provided by a proposed private road connecting to Mission Road, and the traffic design only allows for right-in, right-out. A U-Turn lane would be proposed at the intersection of South Mission and Sterling Bridge Road, which is north of the project. Approximately 100 feet of the existing median would be removed to allow for the addition of the U-Turn. A U-Turn already exists at the intersection of South Mission and Stage Coach Lane. The existing residential home, accessory structures and agricultural operation would be removed. The project is conditioned to improve South Mission Road by adding a left turn lane and signal, as well as add curb returns and sidewalk along the proposed private access road. Stage Coach Lane is conditioned to widen Stage Coach Lane along the project frontage. Water and Sewer would be provided by Fallbrook Public Utilities District. Approximately 1,600 feet extension of sewer and/or water utilities will be required for the project. Earthwork will consist of 80,000 cubic yards of balanced cut and fill. The project site is subject to the Village Residential General Plan Regional Category, Land Use Designation Village. Zoning for the site is Rural Residential, (RR). The site is located east of South Mission Road and north of Stage Coach Lane, in the Fallbrook Community Plan Area, within the unincorporated area of San Diego County.

Comments on the proposed findings and associated analysis must be received no later than **Friday, April 24, 2015 at 4:00 p.m.** (a 30 day public disclosure notice period). For additional information, please contact Marisa Smith at (858) 694-2621 or by e-mail at marisa.smith@sdcounty.ca.gov.

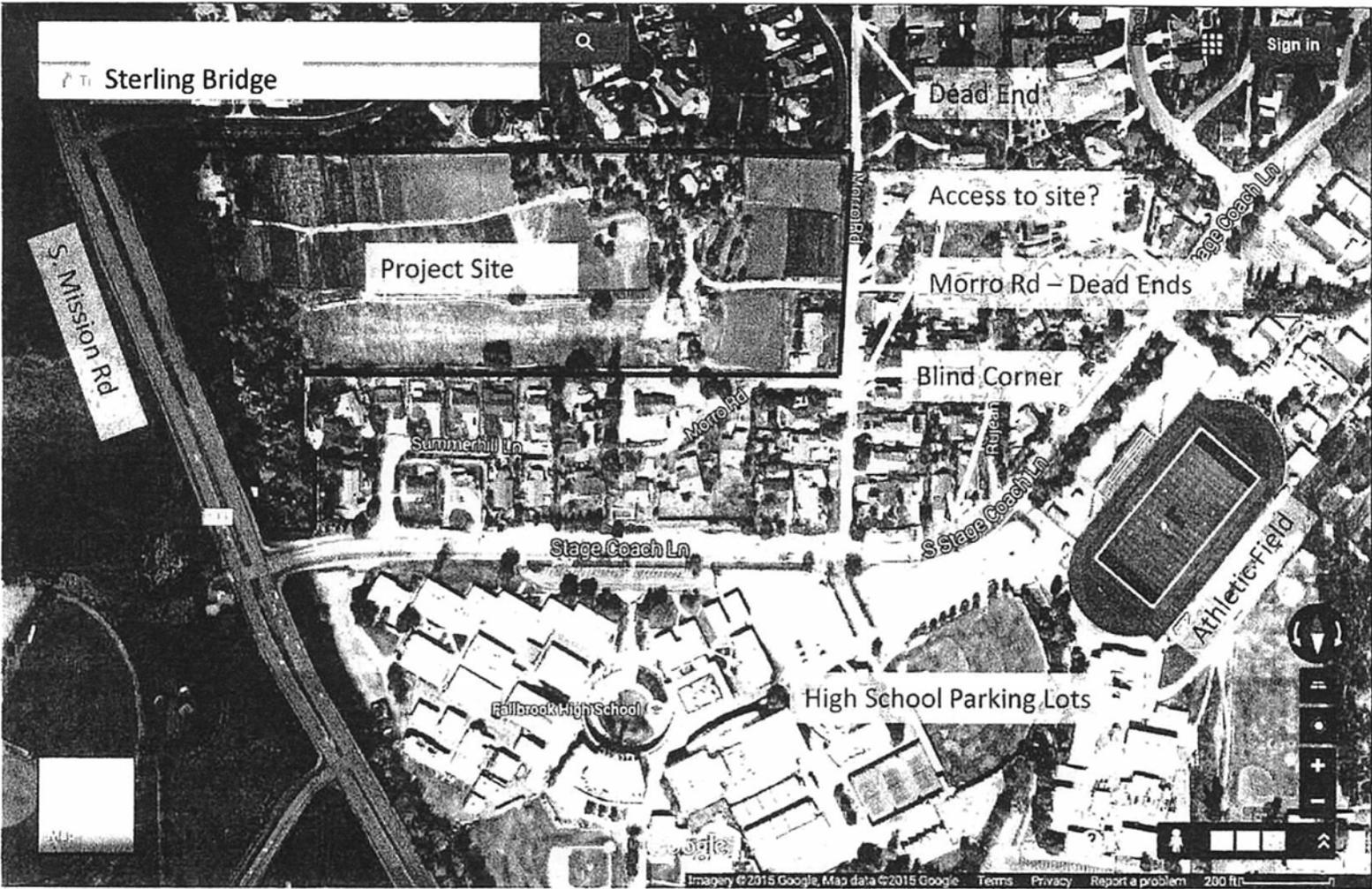


EXHIBIT B



County of San Diego, Planning & Development Services
RETAINING WALLS WITH SLOPING BACKFILL
BUILDING DIVISION

Construction of retaining walls, except those less than 3 feet in height and not supporting surcharge, requires a permit and is regulated by the 2013 *California Building Code* (CBC) as amended and adopted by the County of San Diego. This form outlines the County's minimum requirements. The companion form PDS #084 provides information on retaining walls with level backfill. For site retaining walls proposed to be constructed in a public way or associated with Department of Public Works grading, County of San Diego Regional Standards shall be used.

I. INSPECTIONS

Please call for inspections at the following times:

1. When the footing excavations have been completed, the reinforcing steel has been securely tied into final position, and before the placement of concrete.
2. When the block has been laid and the reinforcing steel is in position, but before any grout has been placed. Steel is to be securely fastened in place to prevent movement during grouting. Lifts are not to exceed 6 feet high and blocks are not to be laid higher than the grout pour.
3. After grouting is completed and after rock or rubble wall drains are in place, but before backfill is placed.
4. When all work has been completed.

II. WALL HEIGHT

Wall height is measured from the top of the footing to the top of the wall. Walls that are not specifically shown in this form must be designed by a California licensed architect, civil or structural engineer. No building foundation, driveway, parking or other loading on the upper level is allowed within a distance equal to the height of the wall. Walls with such loading must be designed by a California licensed architect, civil or structural engineer.

III. BLOCK

All concrete masonry unit blocks must be type "N" grouted solid with $f'_m = 1,500$ psi.

IV. CONCRETE MIX DESIGN

The concrete mix for footings must meet a minimum compressive strength of $f'_c = 2,500$ psi.

V. MORTAR MIX DESIGN

The mortar mix for block placement must meet a minimum compressive strength of 1,800 psi. Mortar shall conform to ASTM C 270 and articles 2.1 and 2.6 A of TMS 602 / ACI 530.1 / ASCE 6
NOTE: The use of plastic cement is not permitted for mortar.

VI. GROUT MIX DESIGN

Grout used for filling block cells must meet a minimum compressive strength of 2,000 psi and shall conform to CBC 2013 section 2103.13. Rod or vibrate grout immediately. Re-rod or re-vibrate grout about 10 minutes after pouring to ensure solid consolidation. Stop grout 2" from top of masonry units when an additional grout lift is required.

NOTE: The use of plastic cement is not permitted for grout.



PACIFICA ESTATES MAJOR SUDIVISION COMMENTS 4/11/15

4/11/15, 11:11 AM

Hi Mercedes Smith, County of San Diego Planning & Development services

Subject: Pacifica Estate Subdivision.

Hi Mercedes,

I requested comments on the above subdivision-This looks like the same the information they have processed in 2006, 2008, 2009, 2010, 2011, this subdivision was rejected every time they tried to be used thru the FCGP because there are so many things bad about it. Again! They are trying out on Fallbrook CPG, in the hope it will pass without the community of Fallbrook, having any input before they vote.

So please, AGAIN! for taking the time to talk with me and hear all the problems with this subdivision. The City should not be approve again.

Thank you
Carm-2425 Summerhill Lane, Fallbrook, Ca. 92028 (760-728-0624)

4/11/15

4/11/15

The State of California has been in drought conditions for 2 years, and just recently (4/11/15) the State of California has reduced our water yet another 24%!!!!. With that said, we are again being asked to cut back even more on our water use. Our yards are all gone (at least mine is, just dirt now.) we are cut back on our water used in the homes, and they still ask for more cut backs from the residents. Our water rates are one of the highest in the county, then you add all the additional charges from FPCD and the City of Fallbrook. It's a very hard pill to swallow. This new subdivision will mean more families, lawns, and more water usage. Who will pay for this increase- all of us in Fallbrook will be ask for more to be cut back on our water not used, so a new subdivision can go in.

Mercedes, as you stated when we spoke on 4/7/15, you said water for this project was already limited when this project was first started back in 2006, that was 9 years ago, a lot has changed since then. The water situation was not as critical then compared to the present situation (and as it is now).

...the way the development of this project will have a very negative on all of us in Falibrook, where is ... water- on this topic alone- it should be reason enough for this subdivision not to be ...

...

...THE...

...might as been the same proposed subdivision that they have submitted since 2006, with the ... and which was reject by the FCGP for safety reasons, and are presently still the same ... concern is the way into and out of this subdivision- as it stands now there is only a right hand ... of the property. Mission road, is the main road into/out of Falibrook, then you add ... school traffic which is already a nightmare to get thru, plus people going to/coming home ... every day traffic that travels Mission, Stagecoach Lane. There are presently 4 intersection ... short distance, from Winterhaven Rd. to Olive Hill, to Stage Coach to happen ... the speed limit on Mission is posted @50MPH but people usually drive 65 mph ... enough time to accelerate before you have to de-accelerate before the next light ... (FCGP) then they want to add a left turn lane to all of this and you have a accident ... by FCGP committee rejected this because there were too many intersection lights in such ... with such a large volume to traffic to drive safely, at all times of the day.

... stated, the property owner does have legal access to the property but ... that would put safety in question or put the burden on others streets in the ... areas. They want to get this passed, to make their money at the expense of the traffic ... and all who drive on Mission and Stage Coach Lane every day. As before all of it was ... FCGP everytime it was presented.

...

...

... several problems have to do with the large amount of earth to be moved to make the ...

... issue has also been the same and was also rejected every time because too much ... The grading for the home in this subdivision will require 80,000 cubic yards of dirt ...

and for the homes would be 22 to 28 ft. high. Stability of such a high fill area would disturb the natural slope of the land, which already has a major slope to it and flooding and drainage are a concern for some on the back of this project, which are the residents of Summerhill Lane. With the height of the homes at this height they will be towering over the existing homes Summerhill Lane. There will be any type of a view of anything rural-the only view we would have is the back of someone's house.

100 Year Flood Plan

They have planned to build in the 100 year flood plan.....which could be next year or a few years from now, no one knows.....let's say the subdivision is built and the next year we have the 100 year flood and the homes on Summerhill Lane are flooded like they have been in the past who will be responsible for the damage since the 100 year plan was ignored for the sake of profit.....

There is something wrong with each aspect of this subdivision, the people behind this project are trying to get around the Fallbrook Community to get this passed, make their money and leave us with a mess to live in every day. That is why all of this has always been rejected. It's just a bad idea.

The people who live on Summerhill Lane, are very concerned and hope again that this subdivision is rejected. All of us have lived on this quite little street in Fallbrook for a long time, a lot of us are old families, and new families who moved here because it is so nice. Not a lot of houses are being built on the street. There have been many changes to our little town, we just hope that this subdivision is rejected.

If anyone know something about the people who are trying to get this approved.

This property has 3 existing homes, 1-off of Mission Rd (which can be seen from the road) and 2 are off of Morro. All 3 homes have been condemned but there are people living in them. The partners to this property before leaving for Texas fixed these homes without any permits. They put the frame work on the house off mission rd. Then one of the houses off of Morro had a fire that went into the cleritic box of the other house. Sometimes they are all board up and other times people

ing them. The Fire Dept, Police Dept, County permit Dept (Tom Causey) have all been called but I have not heard from any one. If nothing else this is a major fire issue, fire equipment (truck) should be at the residents house on mission if there is a fire.

They have not been good neighbors- At one point 2007, someone called me and ask if this was a good time to buy a home on Summerhill, I stated no, he then ask if I would sell my house, again I stated no. He then ask what I would have to have if I did sell my house, I told him 20/million. He then ask me if I had any other houses, he is the last house on the left the only 2/story house on the street, which is also right next to the sewage/main water hook ups under ground. I think what they were planning was to buy the house, tear it down and use it as a point of entry and cut cost on connecting to utilities for the adjacent property. My house have given them a new entry point. At any rate that will never happen.

They have grow flowers (before water got so expensive the property is all weeds now.) and the noise from the flood lights high above the flowers and kept the light on 24 hrs, a day. We complained several times to the people who were working the fields, but got no response. The quality of the light at the time of the complaint was never dark just blaring flood lights. We contacted the area police and they came out and turned the lights down, and told not to put them back up again.

They use the nighttime they ride (and have friends over to ride) their quads and dirt bikes on the property. We complain, starting around five and ending sometimes well after dark. There have been times where there have been up to 5-7 people riding up and down the length of the property gunning engines and making a lot of noise as they go by our houses. We have called the police several times and each time they come out and they are told the same thing by the people who live on the property which is "this is private property we can do what we want-and if they don't like it they can move" the police, but to file a formal complaint, but we would have to sign our name and address. Because of this we chose not to file a complaint, and they continue to ride their bikes.

My division hopefully will be denied again, Thank you for your time

Sincerely

Debbie McCain

2425 Summerhill Lane

Fallbrook, Ca. 92028

760-728-0624

T

Rex Welch
1069 Highland Park
Fallbrook, CA 92028
Rdwf55@aol.com
760-723-8692

Date

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
5510 Overland Ave, Suite 310
San Diego, CA 92123

RE: Pacifica Estates – PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER) Comments due by April 25, 2015

<mailto:Marisa.Smith@sdcounty.ca.gov> T. [858-694-2621](tel:858-694-2621)

Dear Ms Smith:

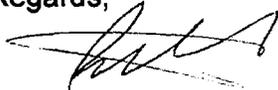
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- Missing check list items – The 15183 Exemption Checklist has most items unchecked. These items are discussed but the net impact is unclear.

I would request additional study on these issues prior to this project going forward.

Thank you for your consideration.

Regards,



Name

Peppertree Park home owner

Discussion

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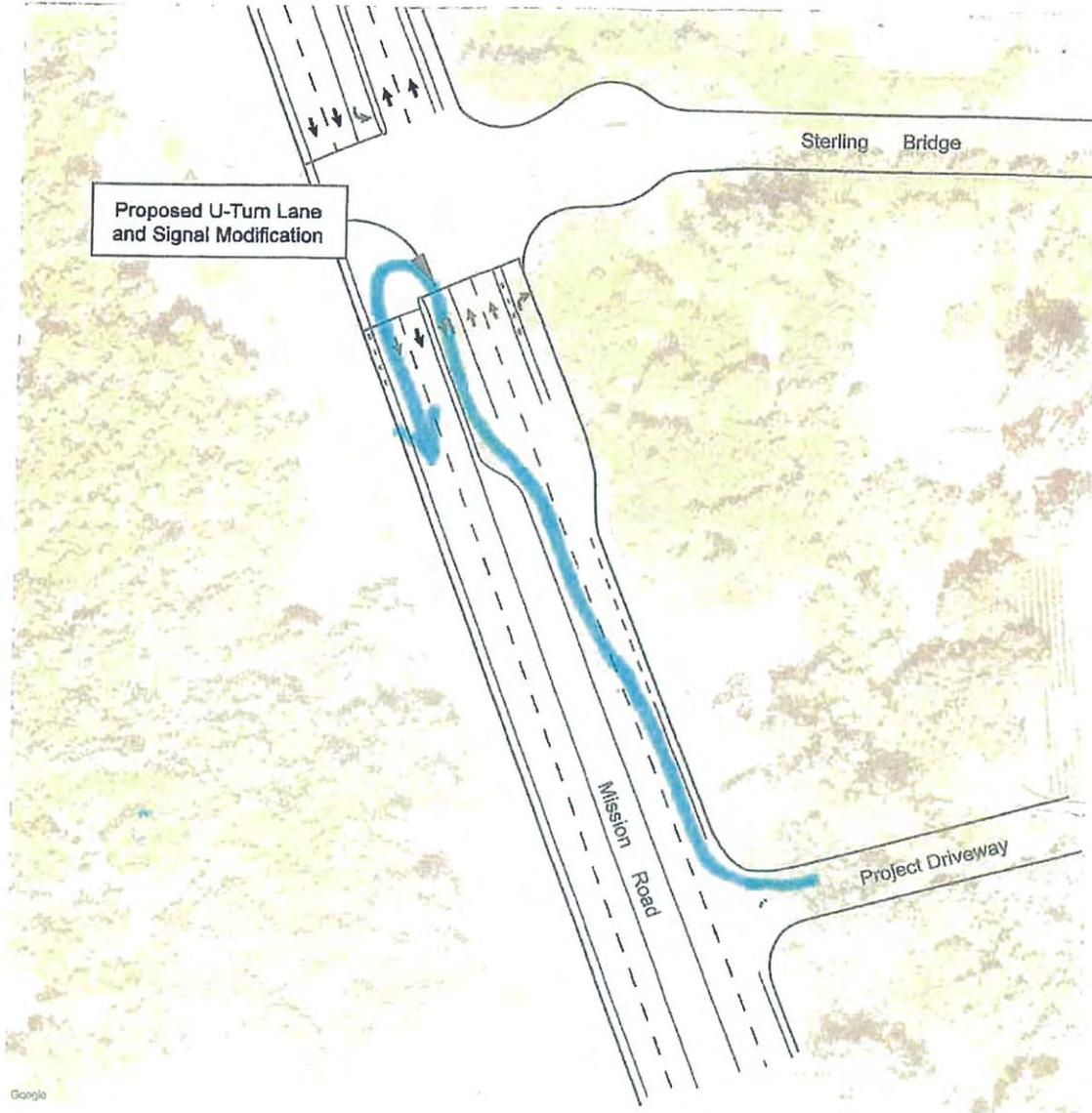
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Exhibit A



Google



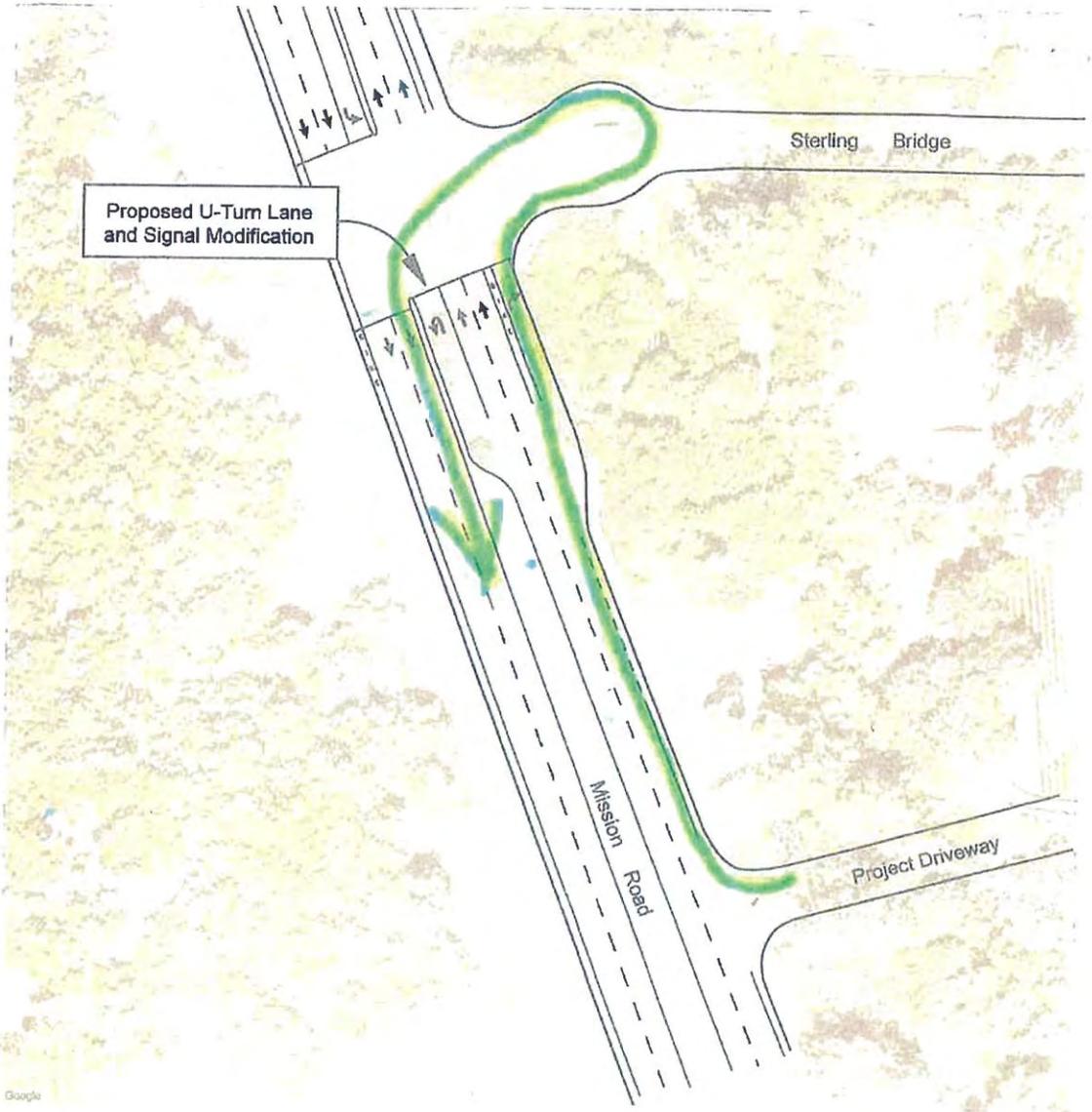
NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

Exhibit B



Google



NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

(4)

Name
 Address
 City, State Zip
 Email
 Phone

Date

Marisa Smith, Project Manager
 Land Use and Environmental Planner
 County of San Diego
 Planning & Development Services
 5510 Overland Ave, Suite 310
 San Diego, CA 92123

RE: Pacifica Estates – PDS2006-3100-5510 (TM), LOG NO. PDS2006-3910-06-02-023 (ER) Comments due by April 25, 2015

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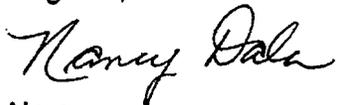
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Thank you for your consideration.

Regards,



Name

Peppertree Park home owner

933 Highland Park Dr.

(760) 728-4470



Scott Nunan
2158 Berwick Woods
Fallbrook, CA 92028
scnunan@gmail.com

4/20/15

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
5510 Overland Ave, Suite 310
San Diego, CA 92123

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Scott Nunan 

Peppertree Park home owner

W

Michael Porretta
847 Inverloch Drive
Fallbrook, CA 92028
mikeporretta@me.com
760/214-2430

Date: April 17, 2014

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
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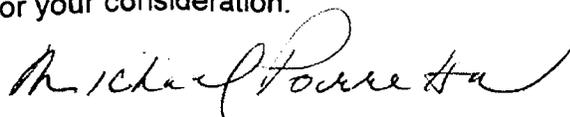
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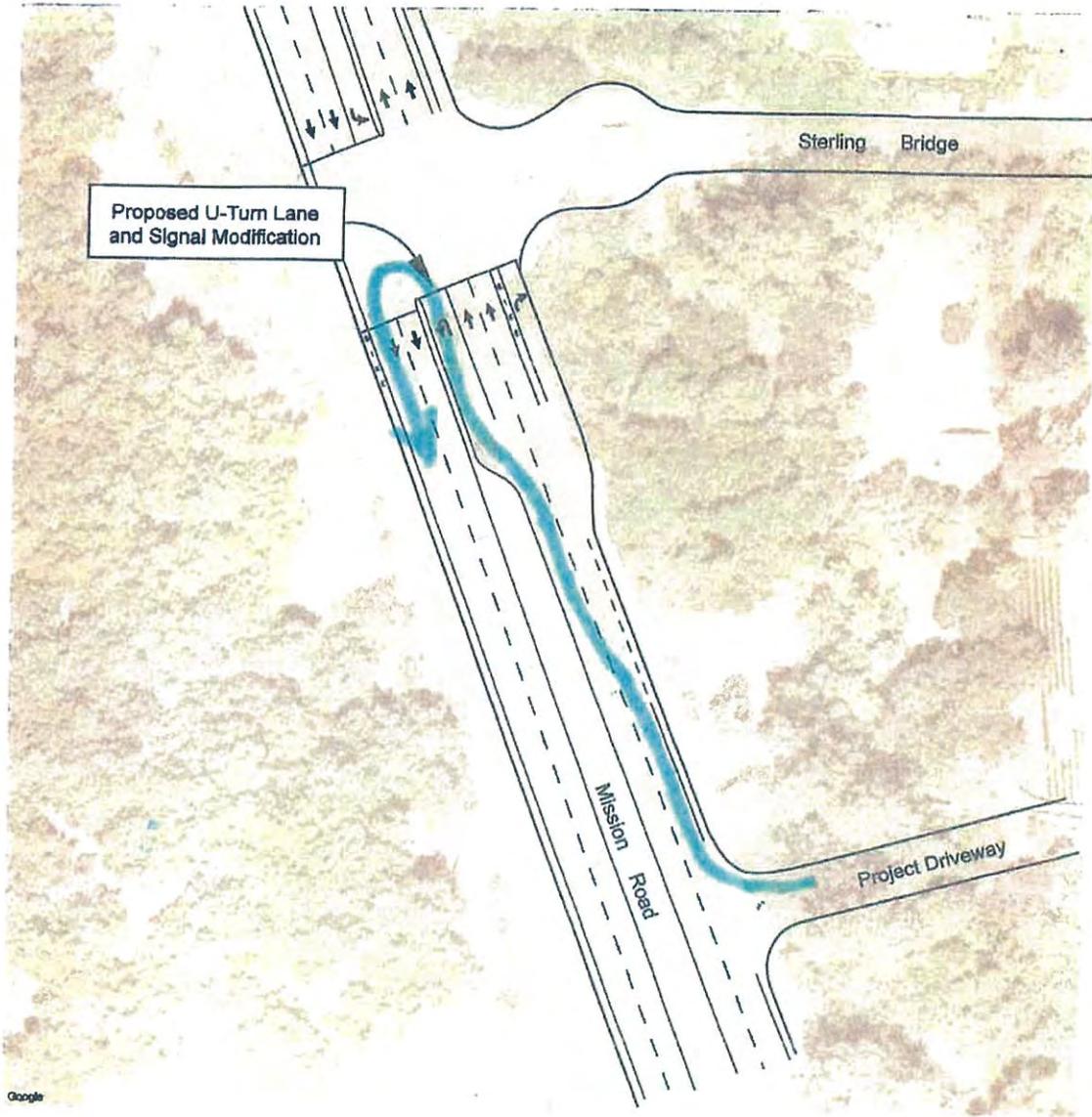
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Exhibit A



Google



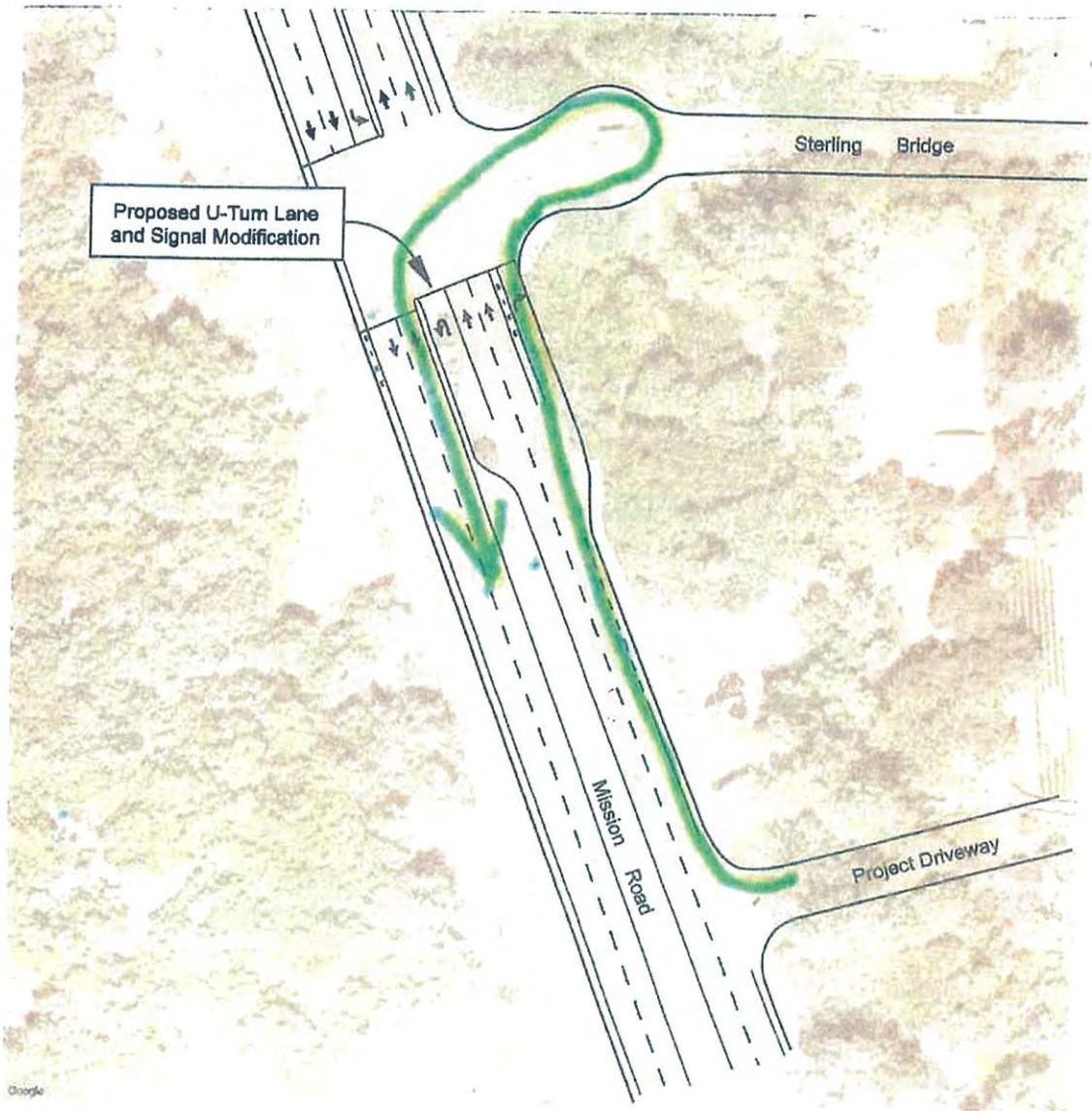
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JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**

Exhibit B



NOT TO SCALE



JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE**



Name **CAMPO**
Address **1045 HIGHLAND PARK**
City, State Zip **FALLBROOK, CA**
Email **ljcamp0@voadrunner.com**
Phone **760-723-2317**

Date **4/22/15**

Marisa Smith, Project Manager
Land Use and Environmental Planner
County of San Diego
Planning & Development Services
5510 Overland Ave, Suite 310
San Diego, CA 92123

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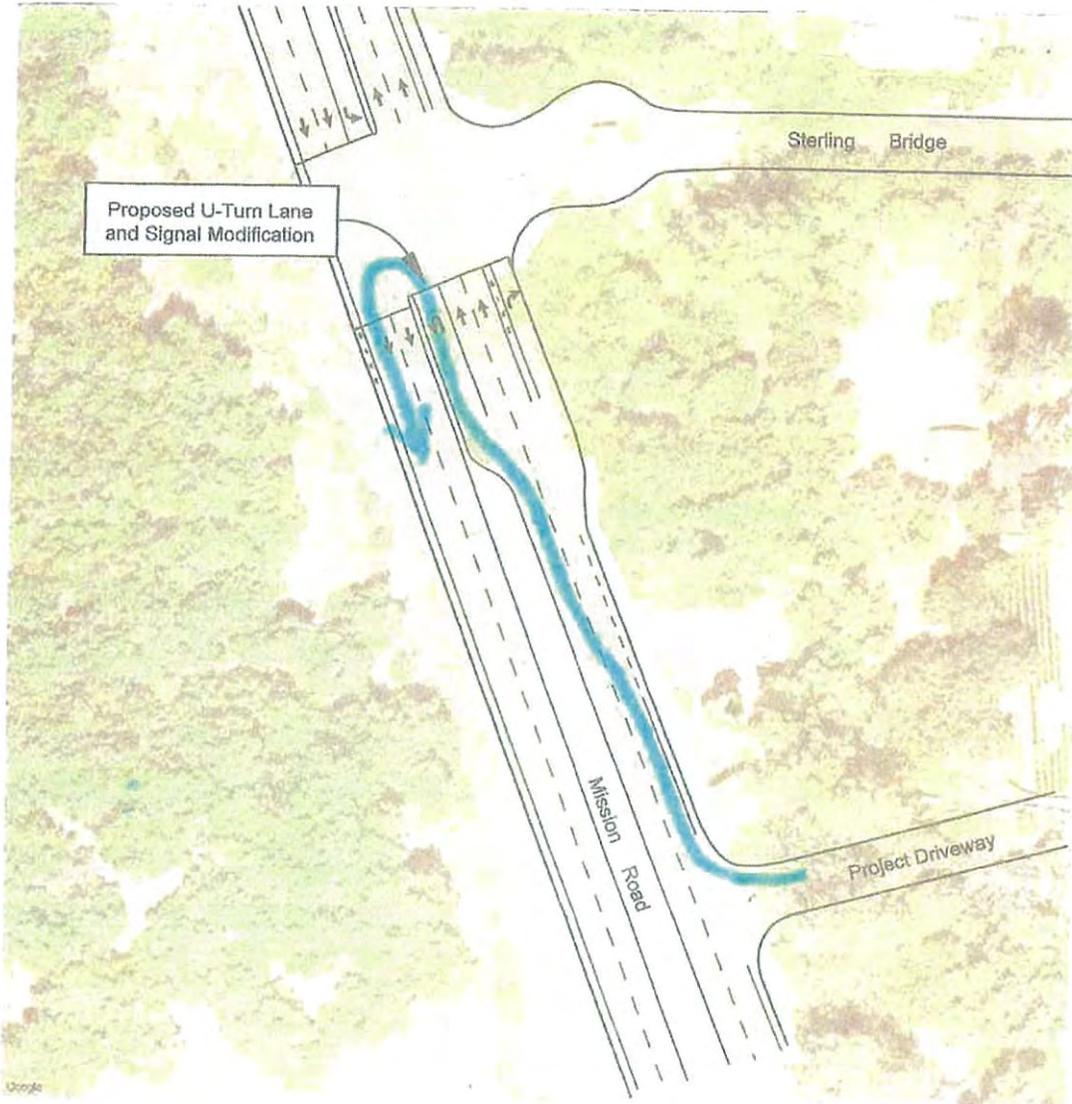
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Exhibit A



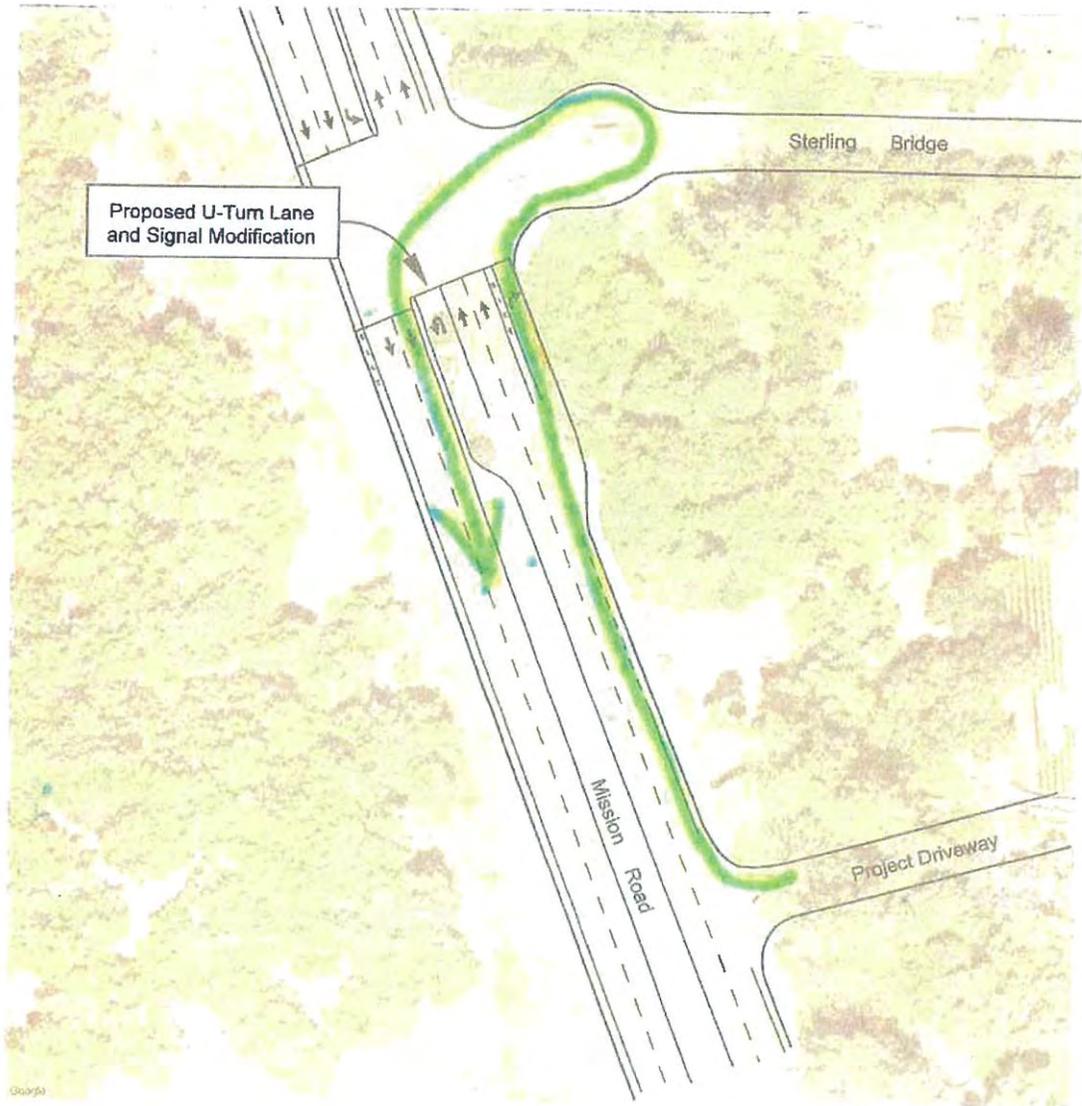
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JN 141257 FEBRUARY 2015

**PROPOSED U-TURN LANE CONFIGURATION
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Exhibit B



NOT TO SCALE



JN 141257 FEBRUARY 2015

PROPOSED U-TURN LANE CONFIGURATION
MISSION ROAD / STERLING BRIDGE

Y

Angel Guadarrama
2457 Summer Hill Lane
Fallbrook, Ca 92028
760-477-7573
oursummerplace@gmail.com

April 23, 2015

Ms. Marissa Smith
Planning & Development Services

Dear Marissa Smith:

My name is Angel Guadarrama, currently residing at the above mentioned address.

I arrived to Fallbrook in 1982. When I arrived to Fallbrook in 1982, one of the things that attracted me the most was the country setting and the abundance of wildlife. To mention a few: coyotes, rabbits, road runners, hawks, storks, snakes, bob cats etc. and occasionally deer. Los Jilgueros preserve, which is about 1/3 of a mile north of us, was well known for a natural habitat for most of these animals. My wife, being a Fallbrook resident since 1973, can certainly testify of the great natural habitat Fallbrook experienced during the 1970s and 1980s. Throughout the years, Fallbrook has increased the number of houses built without trying to preserve natural habitat for the animals mentioned. We have preserves that are surrounded by homes which make it difficult for wildlife to get there. There is a great number of road kill, due to widening of roads caused by the expansion and increase of homes built in small lots. This does not help wild life, traffic, noise, pollution nor water table and I am sure there is more that is unforeseen. Wildlife has decreased significantly to a point that people never hear about deer sightings. The building plans presented by Pacifica Estates certainly do not consider wildlife into consideration. The current land is used by most of the mentioned animals (except deer and bob cats as they are no longer seen). The plan will ruin the value of our homes as we will no longer have the natural views we enjoy now. This will bring additional traffic to the area (more road kill too). Having 2 story homes that sit on a 8-10 feet embankment behind your home, certainly will not add value to our property. I encourage you to really consider this petition and not allow the Pacifica Estates to proceed with the building plan.

Sincerely,

Angel Guadarrama
2457 Summer Hill Lane
oursummerplace@gmail.com

**Smith, Marisa**

From: Patrick Z <pondo_92028@yahoo.com>
Sent: Sunday, April 05, 2015 11:07 AM
To: Smith, Marisa
Cc: Harvey Zimmerle
Subject: Comments pertaining to Project in Fallbrook Ca, PDS-202.pdf
Attachments: Screenshot Taken On 4 05 2015 at 1006 AM.png

Categories: Pacifica Estates

Miss Smith,

My name is Patrick Zimmerle and I reside at 2441 Summer Hill Lane, Fallbrook, CA. 92028. I received a letter from the county of San Diego telling us of a project that is trying to be implemented on property that is directly behind my property in the Fallbrook area. While I have several questions that will hopefully be answered concerning said project there are two that I would like answered, by you, well before the rumored public Q and A on April 20, 2015 and before the close of comments on April 24, 2015.

1) The address for the CEQA act section 15183 was not available on this date when I typed it up. The address in the letter was as follows. http://www.sdcounty.ca.gov/pds/ceqa_public_review.html. When that address was typed in and when I even did not add spaces to the last part your county address told me there was an error. Either the address had been changed or removed or the other excuse was that your website was or is being updated and that may be the problem. How am I supposed to view the necessary information if it is unavailable at this time or within the less than 30 day viewing opportunity afforded to the public? I have included a screenshot of the website to back up my claim and would ask that you advise me on this matter immediately.

2) The FAQ sheet on the 15183 CEQA exemption site is simply a site to view and or download a pdf concerning the legal language of the project being granted a pass on a recent EIR to better streamline the builders process. There is no process or prompt to submit comments on this project. If I am in error would you please advise me as to how I can leave a comment.

In closing, I have major concerns about this project. Not just concerning the hit to my property value but also noise and traffic safety for the entire area including Stagecoach Lane and Mission Road. I appreciate your immediate attention on this matter. You may contact me at the above email address which is pondo_92028@yahoo.com. My personal cell number is 760-689-5481.

Sincerely,

Patrick Zimmerle

Attachment F – Ownership Disclosure

