

July 2015

JN: 134978

County of San Diego
San Diego County Fire Authority - Public Safety Group
c/o James Pine, County Fire Marshal
5510 Overland Ave. Ste. 310
San Diego, CA 92123

San Miguel Consolidated Fire Protection District
c/o Tony Morgan, District Fire Marshal
2850 Via Orange Way
Spring Valley, CA 91978

**SUBJECT: FIRE PROTECTION PLAN - LETTER REPORT
SAM - Sweetwater, LLC; Sweetwater Place Project
PDS2014-GPA-14-003; PDS2014-REZ-14-003; PDS2014-TM-5588 RPL-1; and,
PDS2014-STP-14-015 RPL-1; Env'n Log No. PDS 2014-ER-14-19-005
County Assessor Number (APN): 505-231-36**

Dear Mr. Pine:

This Fire Protection Plan (FPP) – Letter Report is being submitted pursuant to Chapter 49 of the County Fire Code as an evaluation of the adverse environmental effects that a proposed project may have from wildland fire and as mitigation of those impacts to ensure that the above-referenced Project does not unnecessarily expose people or structures to a significant risk of loss, injury or death involving wildland fires.

PROJECT DESCRIPTION

PROJECT BACKGROUND

The approximately 20-acre (gross) Project site is located at the corner of Sweetwater Springs Boulevard and Jamacha Boulevard in the community of Spring Valley in unincorporated San Diego County. The site address is 2657 Sweetwater Springs Boulevard; County Assessor Parcel Number (APN) 505-231-36. The site was originally designated as future right-of-way for the State Highway 54 (SR 54) extension. The California Department of Transportation (Caltrans) has since abandoned the SR 54 extension and sold the property at auction as excess right-of-way. The new (current) owner of the Project site is SAM - Sweetwater, LLC.

The Project site was previously utilized as a retail nursery (Evergreen Nursery). Evergreen Nursery has since ceased operation and vacated the site. The site is currently 100% disturbed due to the previous use.

PROPOSED PROJECT

The Project proposes a 122-unit residential condominium development with exclusive backyards, two-car garages, a 2.08-acre public park, private and group useable open space, a riding and hiking trail, pedestrian pathways, and a series of greenbelt open areas. The units will be accessed by a series of 24-foot wide access drives within the interior of the property. Conceptual architectural design for the Project has been prepared, offering various housing styles and sizes. Additionally, landscaping is proposed for the main entryway, common areas, and public park in order to enhance the visual appearance of the development and blend it into the existing setting within the community. Refer to Figure 3A, Site Plan; and, Figures 3B and 3C, Site Plan – Architectural Plans.

Open Space

Integrated into the development will be private useable open space areas [minimum 350 square feet (s.f.) per unit] adjoining each unit, along with group useable open space located within the public park (minimum of 150 s.f. per unit). Each residential unit will also have a fenced exclusive use backyard area.

Parking

Parking for the condominium units (attached two-car garage), guest parking (on private access drives), and parking for recreational open space (public park) will be provided at ratios consistent with or exceeding County parking requirements for each use type. Each condo unit will have a driveway 19 feet in length (minimum) to accommodate parked vehicles. Portions of several onsite private access drives will be constructed to accommodate limited on-street parking stalls. All onsite access drives proposed will be designed to maintain a 24-foot width at all times, including those roadways where on-street parking will be accommodated. The CC&R's to be adopted for the Project shall specify that the Homeowners Association (HOA) will have the authority to tow any cars that are parked in areas where on-street parking is not allowed.

All onsite roadways/access drives (public and private) shall be posted with signage indicating that cars parked in areas where on-street parking is prohibited shall be towed at the owner's expense without notice. Additionally, all street curbs shall be painted with a red line eight inches tall with "NO PARKING FIRE LANE" stenciled in white letters six inches tall. The stencil shall be placed every 50 feet.

Internal Drives

Private internal drives will be improved to 24 feet in width to support internal circulation and fire protection services. The maximum length of the dead-end drives will be 150 feet. No cul-de-sacs at these locations are proposed. The internal dead-end drives will be constructed of permeable pavement. A five-foot wide sidewalk will be provided along one side of the main

interior roadway, ultimately providing internal pedestrian linkage between Jamacha Boulevard and Sweetwater Springs Boulevard.

Parks and Trails

The Project proposes to dedicate, improve, and maintain a 2.08-acre public community park for use by both Sweetwater Place residents and the general public. The public park will be a major focal area for Community gathering. Access to the Public Park and 29- parking spaces is provided via a proposed public road extending easterly from Sweetwater Springs Boulevard. The public park will satisfy County Park Land Dedication Ordinance (PLDO) requirements of the project, plus the group useable open space acreage requirement per the site's zoning regulations. Private useable open space will also be provided within the exclusive back yard areas of the residents.

Consistent with the County Trails Network (and Spring Valley Community Plan), the Project proposes provision of an 8-foot wide public riding and hiking trail (within a 12-foot wide graded easement) along the northern side of Jamacha Boulevard to enhance the existing public pedestrian network. A series of pedestrian pathways are proposed within the Project boundaries to enhance connectivity and circulation throughout the site and provide linkage to the public park. Access from the Jamacha Road public trail to the residential portion of the Project and public park will also be provided. Additionally, a 10-foot wide (cleared) trail easement is located along the eastern Project boundary (for future construction of a public trail by others); no physical trail improvements are proposed with the Project along this easement.

Fire, Water, Sewer, Storm Drain

The site will be served by the San Miguel Fire Protection District for fire service. The site will be served by the Otay Water District for public water service; the San Diego County (Spring Valley) Sanitation District will provide public sewer service.

The Project proposes improvements to convey storm water flows from offsite properties that currently flow aboveground across the site within a proposed underground 54-inch pipe for outflow to an existing storm drain at the southwest corner of the site near Jamacha Boulevard. Additionally, onsite storm water flows will be captured and treated via proposed onsite bioretention basins. Onsite stormwater flows will discharge from the Project site in two locations. The majority of the site will discharge to the existing storm drain system within Jamacha Boulevard, consistent with pre-development conditions. The westerly portion of the site will discharge to Sweetwater Springs Boulevard, and flows will continue southwesterly via curb and gutter, consistent with pre-development conditions.

Street Improvements

Main access to the site will occur from Jamacha Boulevard at the intersection of Folex Way. The intersection will be signalized to ensure adequate public safety and circulation. The entrance drive will be constructed to extend into the site from the intersection with Jamacha Boulevard. An exclusive eastbound left-turn lane is proposed on Jamacha Boulevard, and the existing exclusive northbound left-turn lane will be restriped to a shared thru/left-turn lane.

Secondary access is proposed off of Sweetwater Springs Boulevard via extension of an onsite public roadway terminating in a cul-de-sac. This road will also provide access to the proposed public park and associated surface parking area (29 spaces total). The Project proposes right in and right out (northbound) movements along Sweetwater Springs Boulevard. Additionally, an exclusive southbound left-turn pocket will be constructed on Sweetwater Springs Boulevard. Outbound left-turn movements exiting the driveway from the site will be prohibited by construction of a median on Sweetwater Springs Boulevard. The intersection will be unsignalized and will be controlled by a stop sign.

The County of San Diego General Plan Mobility Element classifies Jamacha Boulevard and Sweetwater Springs Boulevard as Major Roads with a bike lane. The Project proposes to improve Jamacha Boulevard and Sweetwater Springs Boulevard to a 55-foot half-width with curb, gutter, and sidewalks and a bike lane.

Landscaping

Ornamental landscaping will be provided within the onsite common areas, along Project roadways, and at the Project entryways to visually enhance the proposed development and blend the site into the existing surrounding setting. A Conceptual Landscape Plan has been prepared to illustrate the anticipated planting arrangements and types of plants that will be used. The Conceptual Landscape Plan will be subject to review for consistency with the Spring Valley Design Review Guidelines. Maintenance of landscaping within the private common areas will be the responsibility of the HOA (back yard private open space for each unit is excluded).

ENVIRONMENTAL SETTING

LOCATION

The Project site is located to the southeast of the community of Spring Valley, California, within southeastern unincorporated San Diego County. The approximately 20-acre (gross) Project site is located at the corner of Sweetwater Springs Boulevard and Jamacha Boulevard. The site address is 2657 Sweetwater Springs Boulevard; County APN 505-231-36. As stated above, the site was originally designated as future right-of-way for the SR 54 extension. The Caltrans has since abandoned the SR 54 extension and sold the property at auction as excess right-of-way. Refer to Figure 1, Regional / Local Vicinity Map, and Figure 2, Surrounding Land Uses..

TOPOGRAPHY

The property slopes upward from Sweetwater Springs Boulevard along its easterly boundary, with the majority of the site leveling off and being generally flat. Onsite elevations range from approximately 492 feet above mean sea level (amsl) near the northeast corner of the property to approximately 441 feet amsl near the southwest corner of the property. No steep slopes or areas subject to landslides are present onsite.

GEOLOGY

Regional Geologic Setting

The proposed residential development is located within the Peninsular Ranges Geomorphic Province (PRGP). The Peninsular Ranges is characterized by steep, elongated ranges and valleys that trend northwesterly. This province is typified by plutonic and metamorphic rocks (bedrock) which comprise the majority of the mountain masses, with relatively thin volcanic and sedimentary deposits discontinuously overlying the bedrock, and with Plio/Pleistocene-age (Quaternary-age) alluvial fan deposits filling in the valleys and younger alluvium infilling the incised drainages. The alluvial deposits are derived from the water-borne deposition of the products of weathering and erosion of the bedrock materials.

Local Geology and Subsurface Soil Conditions

More specifically, the subject site lies near the margin of the San Diego Embayment, which is a downdropped structural block, encompassing the western portion of San Diego County from south of Carlsbad, east to Rancho Bernardo and south into the northern portion of the Republic of Mexico. The site is mapped as being underlain by Cretaceous age medium-grained and dark-colored gabbro rock; however, based on recent subsurface field investigations, the site is underlain by Cretaceous age fine-grained and light-colored granodiorite rock. These granitic rocks are locally mantled by a relatively thin layer of undocumented artificial fill (believed to be associated with minor grading of the previous Evergreen Nursery) and near surface colluvium/topsoil materials. In general, the artificial fill, colluvial/topsoil, and granitic bedrock deposits were generally found to be dry to slightly moist, loose/soft near the surface, becoming moderately hard with depth.

Based on a site-specific Custom Soil Resource Report prepared for the site, onsite soils consist of Diablo clay (DaE), 15 to 30 percent slopes. This soil unit comprises approximately 15.5 acres (or 90.4 percent of the site). Additionally, Huerhuero loam (HrD2) is also present, 9 to 15 percent slopes, eroded, and comprises approximately 1.6 acres, or 9.6 percent of the site.

Based on a preliminary geotechnical review, the Project site is not located within an Earthquake Fault Zone, as defined by the State of California in the Alquist-Priolo Earthquake Fault Zoning

Act. There is no evidence of geological features that would pose any increased danger of wildfire potential or human safety issues.

FLAMMABLE VEGETATION

Vegetation on the Project site includes disturbed Encelia scrub, disturbed habitat, disturbed wetlands, and urban/developed lands. Given the type and extent of onsite vegetation, combined with the existing urban setting, fire hazard levels for the Project are considered to be low.

CLIMATE

The climate in Spring Valley is generally hot during summer months with average daily highs reaching the mid-80's (degrees Fahrenheit), with temperatures dropping to an average daily low of 45 (degrees Fahrenheit) in winter months during the nighttime hours. The warmest month of the year is generally August with an average temperature of approximately 75 degrees Fahrenheit, while the coldest month of the year is generally December with an average minimum temperature of approximately 55 degrees Fahrenheit.¹ Rainfall in the area largely occurs from October to April with the wettest month of the year being February with an average rainfall of 2.35 inches.

PROJECT EXPOSURE TO WILDLAND FIRES

The Project site is located in a developed, semi-urban area of the community of Spring Valley. Consistent with County requirements, a FPP – Letter Report is appropriate for projects that are located within the State Responsibility Areas and limited to infill projects with virtually no wildlands in the immediate vicinity.

The potential for damage to occur as the result of wildland fires would be greatest during "Santa Ana" wind conditions where warm weather combined with hot dry winds are present, particularly over several days. Wildfires occurring on adjacent properties, or elsewhere within the community itself, have the potential to spread onto the Project site via debris carried by high winds, igniting elements on the Project site; however, proper fuel modification on and adjacent to private onsite lots can greatly reduce the potential for vegetation or structures to catch on fire or for the spread of wildfire through the site or to spread from onsite to offsite lands. Other potential causes of wildfire onsite may occur in the form of careless pedestrians, arsonists, or other trespassers on or near the site; sparks from nearby vehicles; use of maintenance equipment; or, illegal use of off-road vehicles on the property.

¹ City Data. <http://www.city-data.com/city/Spring-Valley-California.html>. Accessed May 5, 2014.

WATER SUPPLY

Hydrants for fire suppression purposes are required to be located along fire access roadways as determined by the Fire Marshal to meet operational needs, at intersections, at cul-de-sacs, and at intervals pursuant to the County and Consolidated Fire Code. Water main(s) affected by the Project are required to have fireflows of 2,500 gallons per minute (gpm) or greater.

The Project site is located within the service boundaries of the Otay Water District (OWD), Division 3. The OWD has indicated that water supplies are adequate to serve the proposed development without the need for any utility or infrastructure improvements. As required by the County, a copy of the Water Service Project Availability Form signed by the OWD is attached to this FPP – Letter Report as Appendix A. Water for fire suppression services for the Project site will be provided via existing fire hydrants located along Sweetwater Springs Boulevard and/or Jamacha Boulevard, as well as onsite; refer to Figure 3A, Site Plan. The water main(s) affected by the Project have adequate fireflows of 2,500 gpm or greater.

The location, number and type of fire hydrant connected to a water supply capable of delivering the required fire flow shall be provided on the public street, on the site of the premises, or both, to be protected as required and approved by the Fire Chief. As applicable, fire hydrants shall be accessible to all fire department apparatus by roadways meeting the requirements of Section 503, Fire Apparatus Access Roads, of the County's Consolidated Fire Code.

As available, the Project would use recycled water for purposes of irrigation within the common open space areas; however, the Project site currently lies outside of the service area boundary for recycled water within the OWD.² The use of such recycled water supplies is intended to reduce overall demand on potable water supplies; however, the use of such water would also allow for additional local water supplies to remain for purposes of addressing fire suppression demands.

FIRE PROTECTION SERVICES

The Project site is located within the Sphere of Influence of the San Miguel Fire Protection District (SMCFPD) which serves the unincorporated communities in the southeastern portion of San Diego County. The closest Fire Station is the San Miguel Fire Station 15 which is located at 2850 Via Orange Way in Spring Valley, approximately 0.5 mile from the Project site. The anticipated emergency travel time to the Project site is 2.5 minutes from Station 15.³ The anticipated driving time complies with national response criteria to sprinklered residences. A copy of the Fire Service Project Facility Availability Form and the District's Additional Conditions are included as Appendix B of this FPP – Letter Report.

² Otay Water District: Recycled Water. <http://www.otaywater.gov/Otay/page.aspx?g=71>. Accessed May 5, 2014.

³ Project Facility Availability Form: Fire Service. Received from San Miguel Consolidated Fire Protection District on May 22, 2014.

FIRE ACCESS ROADS

Location

Construction Access

All materials for Project construction would be delivered to the site by truck. The majority of truck traffic would occur on designated truck routes and/or major streets (e.g. Jamacha Boulevard or Sweetwater Springs Boulevard). Access to the site during construction would be provided from Jamacha Boulevard.

Traffic resulting from Project construction activities would be temporary and may occur along area roadways as workers and materials are transported to and from the Project area. If directed by the County, the Project applicant would prepare a Traffic Construction Mitigation Plan to ensure that circulation on local roadways utilized during construction is not adversely affected and that public safety is maintained.

Long-Term Access and Onsite Circulation

Main access to the site will occur from Jamacha Boulevard at the intersection of Folex Way. The intersection will be signalized to ensure adequate public safety and circulation. The entrance drive will be constructed to extend into the site from its intersection with Jamacha Boulevard. The public road will include a turnaround (minimum turning radius of 28 feet) that will provide connection to the proposed onsite private roadway system. The proposed public entry drive will be 48 feet in width with two 14-foot wide travel lanes and a raised median. An exclusive eastbound left-turn lane is also proposed on Jamacha Boulevard, and the existing exclusive northbound left-turn lane will be restriped to a shared thru/left-turn lane.

A secondary access is proposed off of Sweetwater Springs Boulevard via extension of an onsite public roadway terminating in a cul-de-sac (minimum 38-foot turning radius). This road will provide access to the proposed public community park and associated surface parking area (29 spaces total) and will be improved to 40 feet in width within a 60-foot wide right-of-way; refer to Figure 3A, Site Plan. The Project proposes right in and right out (northbound) movements along Sweetwater Springs Boulevard. Additionally, an exclusive southbound left-turn pocket will be constructed on Sweetwater Springs Boulevard. Outbound left-turn movements exiting the driveway from the site will be prohibited by construction of a median on Sweetwater Springs Boulevard. The intersection will be unsignalized and will be controlled by a stop sign.

The County of San Diego General Plan Mobility Element classifies Jamacha Boulevard and Sweetwater Springs Boulevard as Major Roads with a bike lane. The Project proposes to improve Jamacha Boulevard and Sweetwater Springs Boulevard to a 55-foot half-width with curb, gutter, and sidewalks and a bike lane.

Interior access would be provided by a series of 24-foot wide private access drives. Private internal drives will be improved to 24 feet in width to support internal circulation and fire protection services. The maximum length of the dead-end drives will be 150 feet. No cul-de-sacs or turnarounds are proposed (or required) at these locations. The internal dead-end drives will be constructed of permeable pavement. A five-foot wide sidewalk will be provided along one side of the main interior roadway, ultimately providing internal pedestrian linkage between Jamacha Boulevard and Sweetwater Springs Boulevard.

All onsite private access drives proposed will be designed to maintain a 24-foot width at all times (to accommodate emergency vehicles), including those roadways where on-street parking will be accommodated. The CC&R's to be adopted for the Project shall specify that the Homeowners Association (HOA) will have the authority to tow any cars that are parked in areas where on-street parking is not allowed. Additionally, all onsite roadways/access drives (public and private) shall be posted with signage indicating that cars parked in areas where on-street parking is prohibited shall be towed at the owner's expense without notice.

All onsite fire access roads would be designed and constructed in accordance with County of San Diego Fire Standards. All interior fire access roads would be designed and maintained to support the imposed loads of fire service apparatus (not less than 75,000 lbs) and would be constructed with an approved paved surface so as to provide all-weather driving capabilities. Street signage would be installed at each intersection to identify the name of all private access drives within the subdivision, in accordance with County Design Standard No. DS-13. Additionally, address numbers will be placed on all buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Street numbers shall be in accordance with SMCFPD Ordinance No. 2013-1.

Access to Multiple Evacuation Routes

Interior access would be provided by 24-foot wide fire access roads that would allow for a “looped” circulation system with limited north-south dead-end drives extending from portions of the main private access drives; refer to Figure 3A, Site Plan. Evacuation from the property would be enabled via proposed access onto Sweetwater Springs Boulevard and Jamacha Boulevard.

Dead Ends

A number of dead-end roadways are proposed to allow for adequate emergency access to all onsite structures; however, all onsite roads have been designed consistent with requirements of the San Diego County Fire Code for access and circulation. As designed, onsite roadways will be capable of accommodating required turnaround and/or back-up movements by emergency vehicles, while ensuring that all structures can be accessed for the provision of emergency fire protection services. Private internal drives will be improved to 24 feet in width to support

internal circulation and fire protection services. The maximum length of the dead-end drives will be 150 feet. No cul-de-sacs at these locations are being provided. The internal dead-end drives will be constructed of permeable pavement.

Width

As stated above, all onsite public roadways and private internal drives will be a minimum of 24 feet in (improved) width. Segments of several onsite private access drives will exceed this minimum width in order to accommodate the proposed on-street parking.

Vertical Clearance

A minimum vertical clearance of 13'-6" shall be maintained at all times along the entire required width of all onsite fire access roads (including brush/tree maintenance), in conjunction with the San Diego County Fire Code.

Maximum Grade

According to the San Diego County Fire Code, a maximum 20% grade shall be maintained along all access roads; however, the Project site is generally flat. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Additionally, the angle of departure and angle of approach of a fire access roadway shall not exceed 7 degrees or 12%, or as otherwise approved by the County Fire Chief.

Surface

Surface improvements for all onsite roadways shall consist of an all-weather material (asphalt) and shall be constructed and approved by the SDCFA. All roadway surfacing material shall be provided per County standards and be suitable for travel by 75,000 lb. fire protection service apparatus.

Gates

The Project does not propose any gated access drives. The proposed access roads from Sweetwater Springs Boulevard and/or Jamacha Boulevard will not be gated, and traffic will be free-flowing at these points of ingress/egress to and from the site.

SETBACK FROM PROPERTY LINES

Refer to Sheet 2 of the Site Plan prepared for the Project for the proposed setbacks. The Project proposes variable setbacks from external property lines ranging from 10 feet to 20 feet in width. Minimum setback requirements from property lines abutting national forests, open space preserves, or designated riparian areas is 100 feet; however, no forest, preserve, or riparian areas are located adjacent to or in the immediate vicinity of the Project site.

The minimum setbacks as regulated by the County of San Diego Zoning Ordinance Section 4800 will be maintained. A schedule summarizing the specific zoning designation for the affected parcel is as follows:

Existing Zone		
APN:	505-231-36	
Use Regulations	S90 - Holding Zone	
Neighborhood/Animal Regulations	S	
Development Regulations	Density	--
	Lot Size	6,000 SF
	Building Type	W
	Maximum Floor Area	--
	Floor Area Ratio	--
	Height	G
	Lot Coverage	--
	Setback	E
Open Space	--	
Special Area Regulations	B	

Proposed Zone		
APN:	505-231-36	
Use Regulations	RV - Variable Family	
Neighborhood/Animal Regulations	--	
Development Regulations	Density	--
	Lot Size	6,000 SF
	Building Type	K
	Maximum Floor Area	--
	Floor Area Ratio	--
	Height	G
	Lot Coverage	--
	Setback	V
Open Space	J	
Special Area Regulations	B	

BUILDING CONSTRUCTION

Project-related structures would consist of single-family residential units with attached garages within the proposed development footprint. Common open space, recreational amenities (public community park) and supporting facilities (restrooms), infrastructure improvements, and noise-attenuating sound walls will also be constructed.

Residential construction would utilize common building materials such as wood, stone, and other natural building materials. All structures constructed onsite shall comply with the ignition-resistive construction requirements of the Wildland-Urban Interface areas of Chapter 7A of the County Building Code to ensure that the potential for wildfire is minimized to the extent feasible; however, as the Project site is located within a urbanized area of the community of Spring Valley, the potential for wildfire to occur or spread is considered to be low.

FIRE PROTECTION SYSTEMS

All proposed habitable structures and attached garages shall include installation of an interior fire suppression system (residential fire sprinkler system) per County Code or County Consolidated Code requirements. Installation would occur consistent with applicable National Fire Protection Association (NFPA) Code No. 13-D standards (Standard for the Installation of Sprinkler Systems) and SMCFPD standards. Fire sprinkler plans shall be submitted and approved by the SMCFPD prior to framing inspection.

DEFENSIBLE SPACE

Clearance of brush or vegetative growth from structures, roadways, and improved property lines shall meet SMCFPD Ordinance No. 94-3. The Project site is surrounded by urban development on all sides. No offsite clearing is required or authorized, and no Fuel Management Zones (FMZs) are proposed.

VEGETATION MANAGEMENT

All onsite vegetation will be maintained on an as-needed basis, unless otherwise requested by the SMCFPD. For vegetation on private lots, the homeowner will be responsible for the upkeep and maintenance of vegetation, consistent with the requirements of this FPP - Letter Report and SMCFPD regulations.

All prescribed Defensible Space (FMZs) are required to be maintained by the property owners at least annually or more often as needed. Any boundaries of FMZs are required to be clearly and permanently marked. The Project does not propose FMZs. Plants used in Defensible Space are required to be from an approved fire-resistant planting materials list that is maintained by County of San Diego, Department of Planning and Development Services.

FIRE BEHAVIOR COMPUTER MODELING

Based on preliminary evaluation by the San Diego County Fire Marshal, Computer Fire Behavior Modeling is not required for this FPP - Letter Report.

SIGNATURES:


Prepared by (Signature)

1/21/2015
Date

Nicole Marotz, Senior Env. Planner
Printed Name, Title


Property Owner or Agent
(Signature)

1/21/2015
Date

SAM-Sweetwater, LLC
Steve Wragg, RBF VP, Agent
Printed Name, Title

Fire Marshal (Signature)

Date

James Pine, County Fire Marshal
Printed Name, Title

Captain (Signature)

Date

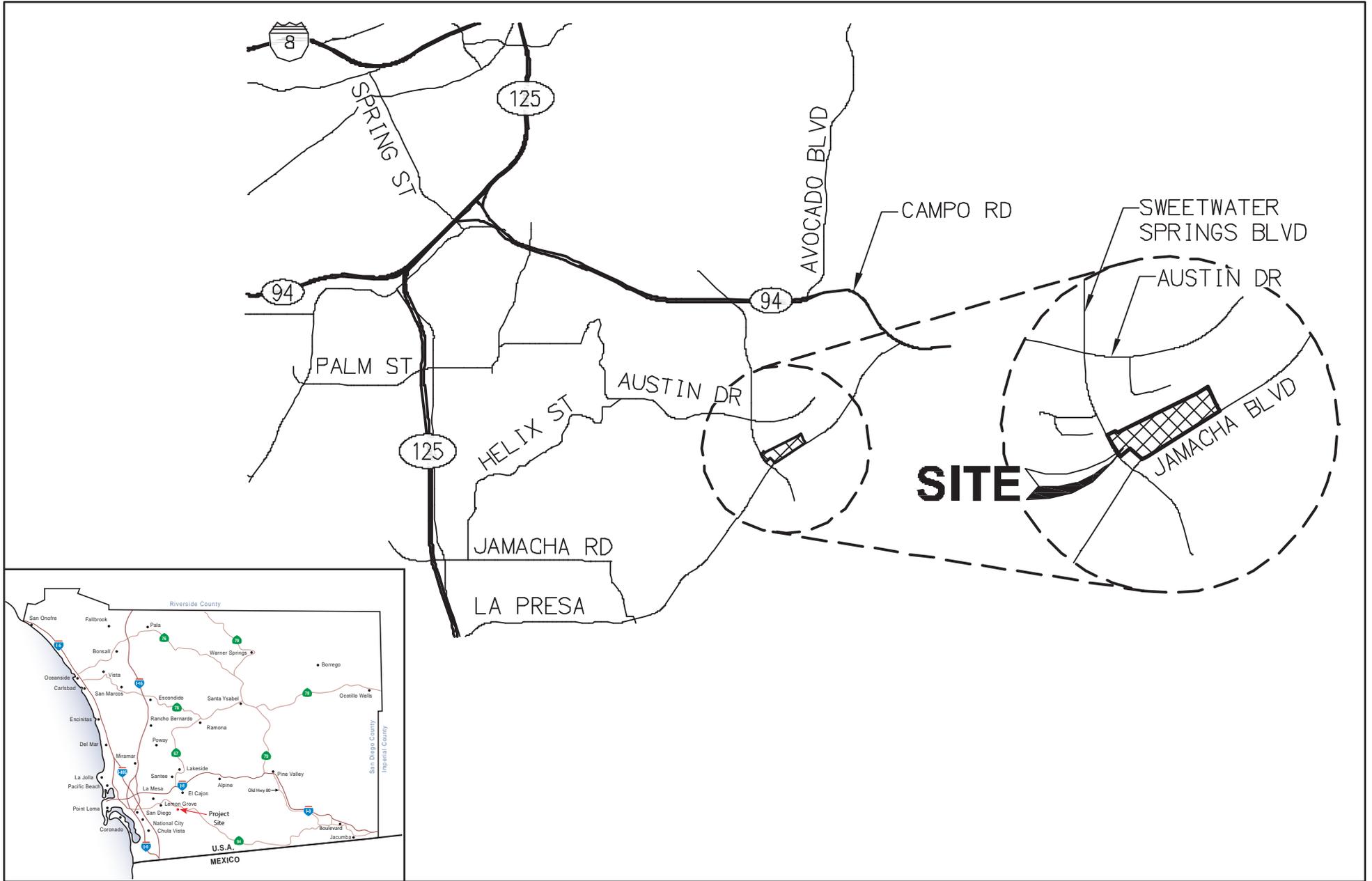
Tony Morgan, District Fire Marshal
Printed Name, Title

Attachments: Figures 1, 2, 3A-3C

Appendix A: Water Service Project Facility Availability Form

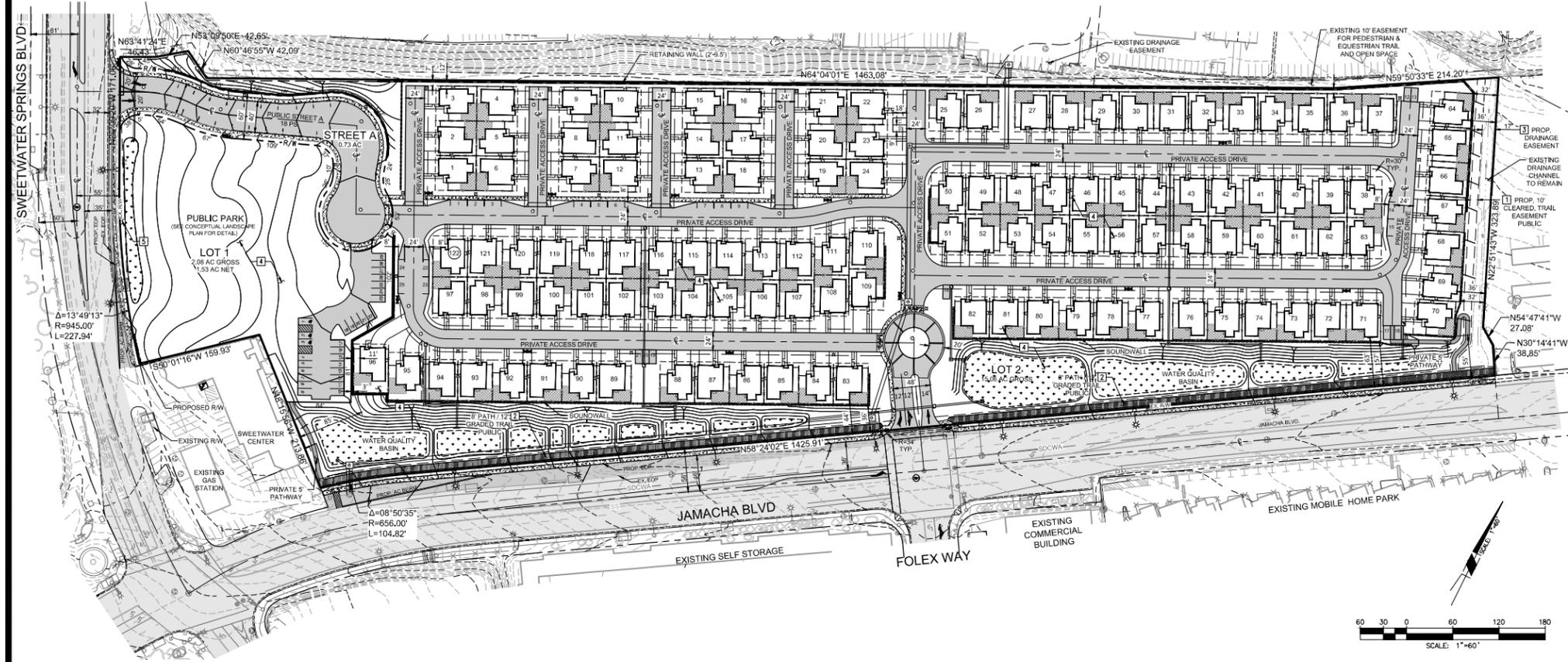
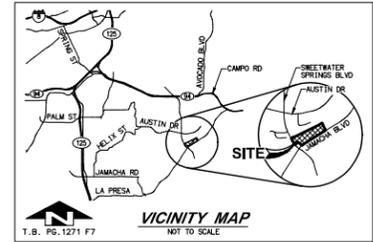
Appendix B: Fire Service Project Facility Availability Form and List of District Conditions

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COUNTY OF SAN DIEGO TRACT TM-5588 RPL-1



LEGAL DESCRIPTION:
 PORTION OF LOTS 24-31 IN SWEETWATER SPRINGS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP NO. 576, RECORDED JANUARY 11, 1988.

PROJECT ADDRESS: 2657 SWEETWATER SPRINGS BLVD, SPRING VALLEY, CA.
ASSESSOR PARCEL NUMBER: 505-231-36

SITE AREA:
 GROSS: 17.87 AC
 NET: 17.14 AC (PUBLIC STREET A 0.73 AC.)

TOTAL NUMBER OF LOTS PROPOSED: 2
TOTAL NUMBER OF CONDOMINIUM UNITS PROPOSED: 122
EXCLUSIVE USE AREA: 2,380 S.F. MINIMUM

PARKING SUMMARY:
RESIDENTIAL:
 REQUIRED: 280 (122x2+244 + GUEST 1 PARKING PER 5 DU+25)
 PROVIDED: 513 (244 GARAGE, 244 DRIVEWAY & 25 PRIVATE ACCESS DRIVE)

PUBLIC PARK:
 PASSIVE REQUIRED: 7 PARKING SPACES (6 STANDARD + 1 ACCESSIBLE PARKING)
 AMBATEATER REQUIRED: 22 PARKING SPACES (20 STANDARD + 2 ACCESSIBLE PARKING)
 TOTAL PROVIDED: 29 PARKING SPACES (26 STANDARD + 3 ACCESSIBLE PARKING)

GROUP USABLE OPEN SPACE:
 REQUIRED: 18,300 SF (122 LOTS x 150 SF)
 PROVIDED: 18,300 SF

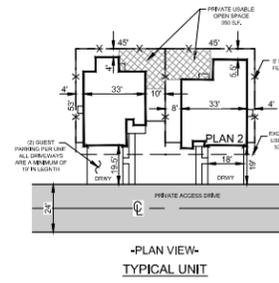
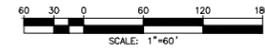
PRIVATE USABLE OPEN SPACE:
 REQUIRED: 42,700 SF (122 LOTS x 350 SF)
 PROVIDED: 42,700 SF

GENERAL NOTES:
 1. STREET LIGHTS: LOCATION OF ALL PRIVATE STREET LIGHTS PROPOSED TO BE INSTALLED WITHIN THE SUBDIVISION, OR A STATEMENT INDICATING THE INTENT OF THE DEVELOPER TO COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE COUNTY.
 2. ASSOCIATED PERMITS - SEE GENERAL PLAN AMENDMENT GPA-14-003, REZONE REC-14-003 AND TENTATIVE MAP CONDOMINIUM TM-5588.
 3. SEE CONCEPTUAL LANDSCAPE SHEETS FOR PUBLIC PARK DESIGN.
 4. SEE PRELIMINARY GRADING PLAN FOR RETAINING WALL LOCATIONS.

THE SITE PLAN SATISFIES THE REQUIREMENTS AS SET FORTH IN THE

- "B" SPRING VALLEY COMMUNITY DESIGNATOR GUIDELINES
- "V" VARIABLE SETBACK REGULATIONS

ALL STREET LIGHTS (S), TRAFFIC SIGNAL (T), ROAD SIGNS AND APPURTENANCES ALONG JAMACHA BLVD AND SWEETWATER SPRINGS BLVD TO BE RELOCATED AS NEEDED TO ACCOMMODATE PROPOSED ROAD WIDENING.



PROPOSED EASEMENTS

DESCRIPTION
1 10' TRAIL EASEMENT
2 12' TRAIL EASEMENT
3 PRIVATE DRAINAGE EASEMENT
4 NOISE RESTRICTION EASEMENT
5 CLEAR SPACE EASEMENT

LEGEND

PROJECT BOUNDARY	WATER QUALITY BASIN
PROP. R.W.	PRIVATE USABLE OPEN SPACE
LOT LINE	PARKING SPACE (8'x22')
EXCLUSIVE USE AREA	PARKING SPACE (9'x18')
CONDO UNIT NUMBER	RETAINING WALL
PROP. FIRE HYDRANT	PROP. STREET LIGHT (PUBLIC)
PROP. SEWER MANHOLE	PROP. STREET LAMP (PRIVATE)
PROP. SEWER CLEAN OUT	EXIST. MANHOLE
PROP. STORM DRAIN CLEANOUT	EXIST. SIGN
PROP. STANDPIPE	EXIST. FLAG POLE
PROP. INLET	EXIST. TRAFFIC LIGHT
PROP. HEADWALL	EXIST. LIGHT POLE
EXIST. FIRE HYDRANT	EXIST. BUILDING
EXIST. FENCE	PROP. BUILDING
PROP. S' PRIVACY FENCE	EXIST. CONTOUR
PROP. S' SOUNDWALL	PROP. CONTOUR
PROP. SIDEWALK	EXIST. 18" SDCWA PIPELINE
PRIVATE TRAIL	EXIST. AIR VENT
PUBLIC TRAIL	PROP. AIR VENT
EXIST. PAVEMENT	
PROP. PAVEMENT	

SHEET INDEX

SHEET 1 - TITLE SHEET/PLOT PLAN
SHEET 2 - DETAILS
SHEET 3 - CONCEPTUAL LANDSCAPE PLAN
SHEET 4 - CONCEPTUAL LANDSCAPE PLAN
SHEET 5 - BUILDING PLAN #1
SHEET 6 - BUILDING PLAN #2

PROPERTY OWNER AND SUBDIVIDER
 SAM - SWEETWATER, LLC
 20201 SW BIRCH ST., SUITE 100
 NEWPORT BEACH, CA 92660
 PHONE: (949) 252-1122 EXT. 132

PREPARED BY:
 RBF CONSULTING
 9755 CLAREMONT MESA BLVD, SUITE 100
 SAN DIEGO, CA 92124
 (858) 614-5000

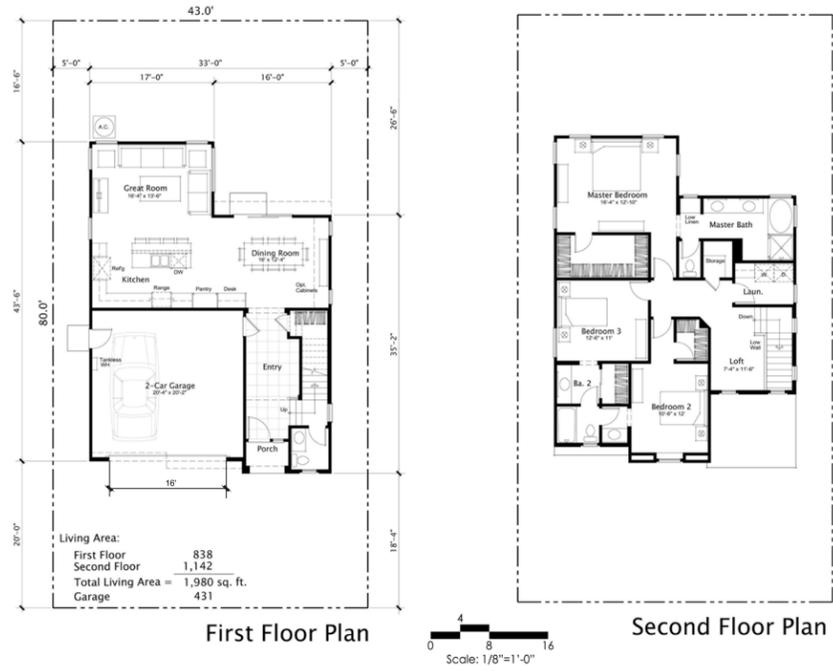


SWEETWATER VILLAGE
 COUNTY OF SAN DIEGO, CA

TITLE SHEET/PLOT PLAN
 JANUARY 20, 2015
 SHEET 1 OF 6

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COUNTY OF SAN DIEGO TRACT TM-5588 RPL-1

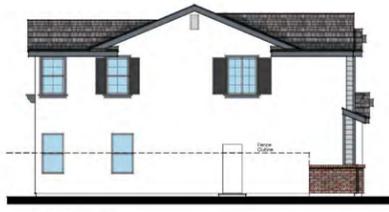


Front Elevation
Scheme 8

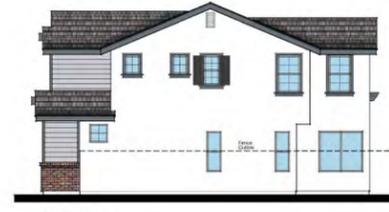
MATERIAL NOTES
 Roof: Concrete "Flat" Tile
 Roof Pitch: 8 : 12
 Rakes: 12" Wood Barge
 Eaves: 18" Wood Fascia
 Building Height: 28'-2"
 Stucco, Siding, Brick Exterior



Rear Elevation



Left Elevation



Right Elevation

Traditional
Scale: 1/8" = 1'-0"

MATERIAL AND COLOR SCHEDULE
 ROOF TILE: EAGLE ROOF TILE
 PAINT: SHERWIN WILLIAMS
 STUCCO: OMEGA (15/20 FINISH)
 STONE: CORONADO
 BRICK: CORONADO
 NOTE: GUTTERS TO MATCH FASCIA COLOR & DOWNSPOUTS TO MATCH STUCCO COLOR-TYP.

ELEVATION A - SPANISH
 SCHEME 1
 ROOF TILE: S' TILE PROFILE: 3680 LOS PADRES BLEND
 STUCCO: OMEGA 20 - IVORY
 FASCIA/EAVES/GARAGE/WOOD: SW6103 TEA CHEST
 WINDOW & DOOR TRIM: SW6149 RELAXED KHAKI
 ENTRY DOOR / SHUTTERS: SW620 TEMPE STAR
 CLAY PIPES: SW6061 TAN BARK

SCHEME 2
 ROOF TILE: S' TILE PROFILE: 3636 PIEDMONT BLEND
 STUCCO: OMEGA 14 - CREAM
 FASCIA/EAVES/GARAGE/WOOD: SW0038 LIBRARY PEWTER
 WINDOW & DOOR TRIM: SW7530 BARCELONA BEIGE
 ENTRY DOOR / SHUTTERS: SW620 MAROONED
 CLAY PIPES: SW6061 TAN BARK

SCHEME 3
 ROOF TILE: S' TILE PROFILE: 3645 SUNRISE BLEND
 STUCCO: OMEGA 406 - PLANTATION BEIGE
 FASCIA/EAVES/GARAGE/WOOD: SW7027 WELL - BRED BROWN
 WINDOW & DOOR TRIM: SW6157 FAVORITE TAN
 ENTRY DOOR / SHUTTERS: SW6167 GARDEN GATE
 CLAY PIPES: SW6061 TAN BARK

ELEVATION B - COTTAGE
 SCHEME 4
 ROOF TILE: FLAT TILE PROFILE: 4671 VILLAGE BLEND
 STUCCO: OMEGA 236 - ANTIQUE GREEN
 GABLE INSET: SW7025 BACKDROP
 FASCIA/EAVES/GARAGE/WINDOW & DOOR TRIM: SW6154 NACRE
 ENTRY DOOR / SHUTTERS: SW6006 BLACK BEAN
 STONE: TUSCAN VILLA - PRAIRIE MOSS

SCHEME 5
 ROOF TILE: FLAT TILE PROFILE: 4697 SLATE RANGE
 STUCCO: OMEGA 221 HARVEST GOLD
 GABLE INSET: SW6153 PROTEGE BRONZE
 FASCIA/EAVES/GARAGE/WINDOW & DOOR TRIM: SW6151 OLIVER TAN
 ENTRY DOOR / SHUTTERS: SW6328 FIREWEED
 STONE: TUSCAN VILLA - CANDLE GLOW

SCHEME 6
 ROOF TILE: FLAT TILE PROFILE: 4687 BROWN GRAY RANGE
 STUCCO: OMEGA 400 - TAVERN TAUPE
 GABLE INSET: SW7033 BRAINSTORM BRONZE
 FASCIA/EAVES/GARAGE/WINDOW & DOOR TRIM: SW7568 NEUTRAL GROUND
 ENTRY DOOR / SHUTTERS: SW608 PEWTER GREEN
 STONE: TUSCAN VILLA - PRAIRIE MOSS

ELEVATION C - TRADITIONAL
 SCHEME 7
 ROOF TILE: FLAT TILE PROFILE: 4503 SIERRA MADRE
 STUCCO: OMEGA 10 - OMEGA WHITE
 HORIZONTAL SIDING: SW7005 PURE WHITE
 FASCIA/CORBEL/WOOD/GARAGE/WINDOW & DOOR TRIM: SW7005 PURE WHITE
 ENTRY DOOR / SHUTTERS: SW628 TRICORN BLACK
 BRICK: WIRE CUT BRICK LA JOLLA BLEND

SCHEME 8
 ROOF TILE: FLAT TILE PROFILE: 4697 SLATE RANGE
 STUCCO: OMEGA 10 - OMEGA WHITE
 HORIZONTAL SIDING: SW7663 MONORAIL
 FASCIA/CORBEL/WOOD/GARAGE/WINDOW & DOOR TRIM: SW7665 WALL STREET
 ENTRY DOOR / SHUTTERS: SW7069 IRON OKE
 BRICK: WIRE CUT BRICK LA JOLLA BLEND

SCHEME 9
 ROOF TILE: FLAT TILE PROFILE: 4689 BROWN RANGE
 STUCCO: OMEGA 12 - CHENILLE
 HORIZONTAL SIDING: SW7733 CARGO PANTS
 FASCIA/CORBEL/WOOD/GARAGE/WINDOW & DOOR TRIM: SW7005 PURE WHITE
 ENTRY DOOR / SHUTTERS: SW740 MESSENGER BAG
 BRICK: SPECIAL USED BRICK: EAGLE BUFF

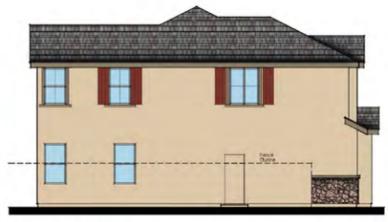


Front Elevation
Scheme 5

MATERIAL NOTES
 Roof: Concrete "Flat" Tile
 Roof Pitch: 8 : 12
 Rakes: 12" Wood Barge
 Eaves: 18" Wood Fascia
 Building Height: 27'-4"
 Stucco, Siding, Stone Exterior



Rear Elevation



Left Elevation



Right Elevation

Cottage
Scale: 1/8" = 1'-0"

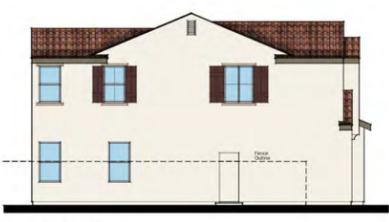


Front Elevation
Scheme 2

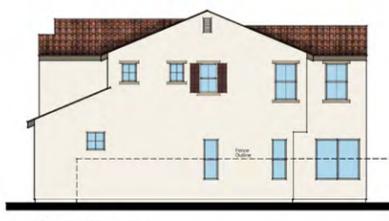
MATERIAL NOTES
 Roof: Concrete "Flat" Tile
 Roof Pitch: 8 : 12
 Rakes: Flush
 Eaves: 12" Wood Fascia
 Building Height: 28'-2"
 Stucco Exterior



Rear Elevation



Left Elevation

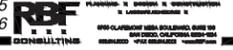


Right Elevation

Spanish
Scale: 1/8" = 1'-0"

SWEETWATER VILLAGE
 COUNTY OF SAN DIEGO, CA
 BUILDING PLAN #1

JANUARY 20, 2015
 SHEET 5 OF 6



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**Appendix A:
Water Service Project Facility Availability Form**



County of San Diego, Planning & Development
PROJECT FACILITY AVAILABILITY
ZONING DIVISION

Otay Water District
 www.otaywater.gov

1 Customer Service
 1415401-2 06/03/2014 BR1 T40
 Tue Jun03,2014 12:57PM Trans#53-53
 53 \$75.00 Avail - Availability
 (Permit)
 1 ITEM(S): TOTAL: \$75.00
 Check (004714) PAID \$75.00

Please type or use pen

SAM-Sweetwater LLC (949) 252-1122

Owner's Name _____ Phone _____

20201 SW Birch Street, Ste. #100

Owner's Mailing Address _____ Street _____

Newport Beach, CA 92660

City _____ State _____ Zip _____

ORG _____

ACCT _____

ACT _____

TASK _____

DATE _____

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. Major Subdivision (TM) Specific Plan or Specific Plan Amendment
 Minor Subdivision (TPM) Certificate of Compliance: _____
 Boundary Adjustment
 Rezone (Reclassification) from S90 to RV zone.
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other General Plan Amendment and Site Plan
- B. Residential Total number of dwelling units 126
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____
- C. Total Project acreage 17.88 Total number of lots 3
- D. Is the project proposing the use of groundwater? Yes No
 Is the project proposing the use of reclaimed water? Yes No

Assessor's Parcel Number(s)
 (Add extra if necessary)

505-231-36	

Thomas Guide Page 1291 Grid F1
 Northside of Jamacha Blvd. at Folex Court
 Project address _____ Street _____
Spring Valley, 91977
 Community Planning Area/Subregion _____ Zip _____

Owner/Applicant agrees to pay all necessary construction costs, dedicate all district required easements to extend service to the project and
 COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: _____ Date: May 14, 2014
 Address: 9755 Clairemont Mesa Blvd. Ste. #100, San Diego CA 92124 Phone: (858) 614-5059

(On completion of above, present to the district that provides water protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District Name: OTAY WATER DISTRICT Service area WATER I.D. 20

A. Project is in the district.
 Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the district and is not within its Sphere of Influence boundary.
 The project is not located entirely within the district and a potential boundary issue exists with the _____ District.

B. Facilities to serve the project ARE ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached _____. (Number of sheets) _____
 Project will not be served for the following reason(s): _____

C. District conditions are attached. Number of sheets attached: 2
 District has specific water reclamation conditions which are attached. Number of sheets attached: _____
 District will submit conditions at a later date.

D. How far will the pipeline(s) have to be extended to serve the project? Project Fronts MAIN

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized Signature: _____ Print Name VU TRAN
 Print Title PERMIT TECHNICIAN Phone 619-670-2241 Date 6/3/14

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT
 On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services - Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123





...Dedicated to Community Service

2554 SWEETWATER SPRINGS BOULEVARD, SPRING VALLEY, CALIFORNIA 91978-2004
TELEPHONE: 670-2222, AREA CODE 619 www.otaywater.gov

June 3, 2014

Project: P1438-010000

Activity: 3111

Nicole Marotz, AICP, LEED AP
Senior Environmental Planner
Michael Baker International
9755 Clairemont Mesa Boulevard, Suite 100
San Diego, CA 92124-1324

Subject: Sweetwater Village;
APN: 505-231-36-00 (2657 Sweetwater Springs Blvd)

Dear Ms. Marotz:

As per Section 62.01 of the Otay Water District's (District) Code of Ordinances (enclosed), "To provide for future line extensions, pipelines installed within public streets must be constructed to the subdivision boundary and pipelines not installed within a public right-of-way must be installed in a District easement or right-of-way and must extend across the frontage of the parcel or parcels to be served."

The District has the water storage capacity to serve the Sweetwater Village (Project). As provided to the District, the Project consists of 126 multi-family units. The District anticipates the ability to supply water to meet this proposed development. The developer should meet with the District early in the entitlement process to discuss the schedule, report submittal requirements, and to set up a deposit account to cover staff time. The developer will also be required to submit a Sub-Area Master Plan and a calculation of water demands prior to the commencement of the Project. The District prefers the Project to be served through master meters and thereafter, individual dwelling units will need to be sub-metered.

The Project can be served by an existing 12-inch potable water main located on Sweetwater Springs Boulevard and an existing 14-inch potable water main located on Jamacha Boulevard. The developer is required to submit improvement plans for District approval and pay all fees, including plan review, inspection, water meter installation, and capacity fees prior to any work.

Prior to the purchase of any potable water master metered service for multiple residential households, plans must be: (1) designed to District water agency standards for standards/specifications and (2) submitted to the District for plan check and approval. The developer must contact the District for further requirements.

Ms. Nicole Marotz
Sweetwater Village; APN: 505-231-36-00 (2657 Sweetwater Springs Blvd.)
June 3, 2014
Page 2 of 2.

Each service must have an approved R/P Backflow Device purchased and installed by the owner. The fire service line will not be allowed to be connected to any buildings; the line will be intended for fire services purposes only. Failure to comply with this request will result in violation of the District's Code of Ordinances and will be subject to penalties determined by the District. The applicant should contact the Project's fire agency for any fire protection requirements.

Water availability is subject to all the District requirements in effect at this time and you are strongly encouraged to adopt water conservation measures throughout the development.

The District's Engineering Public Services Division can be contacted at (619) 670-2241, or visit the website at www.otaywater.gov, for further requirements regarding inspection services, water main extensions, service laterals, backflow devices, and/or meter costs, and any other conditions that may have arisen since this letter was written for this Project.

Sincerely,
OTAY WATER DISTRICT



Dan Martin, P.E.
Engineering Manager

DM:jf

Enclosures: GIS Location Map
Code of Ordinances (Sections 23, 38, 39, 60, 62)

**Appendix B:
Fire Service Project Facility Availability Form
and List of District Conditions**



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - FIRE
ZONING DIVISION

Please type or use pen

SAM-Sweetwater LLC (949) 252-1122
 Owner's Name Phone
 20201 SW Birch Street Ste. #100
 Owner's Mailing Address Street
 Newport Beach, CA 92660
 City State Zip

ORG _____
 ACCT _____
 ACT _____
 TASK _____
 DATE _____ AMT \$ _____

F

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. Major Subdivision (TM) Specific Plan or Specific Plan Amendment
 Minor Subdivision (TPM) Certificate of Compliance: _____
 Boundary Adjustment
 Rezone (Reclassification) from S90 to RV zone.
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other General Plan Amendment and Site Plan
- B. Residential Total number of dwelling units 126
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____
- C. Total Project acreage 17.8 Total lots 3 Smallest proposed lot 1.32

Assessor's Parcel Number(s)
 (Add extra if necessary)

505-231-36	

Thomas Guide. Page 1291 Grid F1
 Northside of Jamacha Blvd. at Folex Court
 Project address Street
 Spring Valley, 91977
 Community Planning Area/Subregion Zip

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: [Signature] Date: May 14, 2014
 Address: 9755 Clairemont Mesa Blvd. Ste #100, San Diego, CA 92124 Phone: (858) 614-5059
 (On completion of above, present to the district that provides fire protection to complete Section 2 and 3 below.)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District Name: San Miguel Consolidated Fire Protection District
 Indicate the location and distance of the primary fire station that will serve the proposed project:
2850 Via Orange Way, Spring Valley, CA 91978, 1/2 mile to Station 15

A. Project is in the District and eligible for service.
 Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the District and not within its Sphere of Influence boundary.
 Project is not located entirely within the District and a potential boundary issue exists with the _____ District.

B. Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is 2.5 minutes.
 Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.

C. District conditions are attached. Number of sheets attached: 3
 District will submit conditions at a later date.

SECTION 3. FUELBREAK REQUIREMENTS

Note: The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by Planning & Development Services.

- Within the proposed project 100 feet of clearing will be required around all structures.
 The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Tom Morgan Tom Morgan, DFM 619-610-5356 5/22/14
 Authorized Signature Print Name and Title Phone Date

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services - Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123



San Miguel Consolidated Fire Protection District

Serving the communities of Bostonia, Casa de Oro, Crest, Grossmont/Mt. Helix, La Presa, Rancho San Diego, Spring Valley, and unincorporated areas of El Cajon and La Mesa

May 22, 2014

San Diego County
Department of Planning and Land Use
5510 Overland Avenue, Suite 110
San Diego, CA 92123

Re: Sweetwater Village APN 505-231-36

Project Service Availability Letter Additional Conditions Attachment

As applicable the following is a list of conditions of approval for the attached Project Service Availability Letter:

- ***Fire Sprinklers:*** Structures shall have an automatic fire sprinkler system installed per NFPA 13-D standards and San Miguel Consolidated Fire Protection District standards. Fire sprinkler plans shall be submitted and approved by the San Miguel Consolidated Fire Protection District prior to framing inspection.
- ***Site Inspections:*** At any time until project has received final approval, a site inspection may reveal conditions that have changed since service availability letter or plan review. When such discrepancies arise, field inspections shall take precedence.
- ***Street Numbers/Premises Identification:*** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Street numbers shall be in accordance with San Miguel Consolidated Fire Protection District Ordinance No. 2013-1.
- ***Fire Apparatus Access:*** Plans for fire apparatus access roads or for their modification shall be submitted to the fire department for review and approval prior to construction or modification.
- ***Fire Apparatus Access Roads,*** including private residential driveways, shall be required for every building hereafter constructed when any portion of an exterior wall of the first story is located more than 150 feet from the closest point of fire department vehicle access.

- **Marking Fire Apparatus Access Roads:** Approved signs or other approved notices shall be provided and maintained for fire apparatus access roads to identify such roads and prohibit the obstruction thereof or both.
- **Dead Ends:** Fire apparatus roads, including private driveways, more than 150 feet in length shall be provided with an approved means for turning the fire apparatus around. Turnaround requirements shall be in accordance with San Miguel Consolidated Fire Protection District Ordinance No. 2013-1. Clearly show the turnaround on the plot plan when submitting plans.
- **Dimensions:** Fire apparatus access roads shall have an unobstructed improved width of not less than twenty-four feet except for single-family residential driveways serving no more than one single-family dwelling shall have a minimum of sixteen feet of unobstructed improved width. All fire apparatus access roads shall have an unobstructed vertical clearance of not less than thirteen feet, six inches.
- **Surface:** Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (not less than 75,000 lbs.) and shall be provided with an approved paved surface so as to provide all-weather driving capabilities.
- **Fire Access Road Name:** All private roads within major subdivisions and private roads serving four or more parcels shall be named. The developers shall install one road name sign at each intersection as a part of the improvements. Installation shall be in accordance with San Diego County Design Standard Number DS-13.
- **Turning Radius:** The turning radius of a fire apparatus access road shall be 28 feet or as approved by the Chief.
- **Grade:** The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be the installation of a surface of Portland cement concrete with a heavy-broom finish, perpendicular to the direction of travel to enhance traction. The angle of departure and angle of approach of a fire access roadway shall not exceed 7 degrees or 12% or as approved by the Chief.
- **Roadway Design Features:** Roadway design features (speed bumps, speed humps, speed control dips, etc.) that may interfere with emergency apparatus responses shall not be installed on fire access roadways, unless they meet design criteria approved by the Chief.
- **Gates:** All gates or other structures or devices that could obstruct fire access roadways or otherwise hinder emergency operations are prohibited unless they meet standards approved by the Chief and receive Specific Plan Approval.

- **Response Map Updates:** Any new developments that necessitate updating of emergency response maps by virtue of new structures, hydrants, roadways or similar features, shall be required to provide map updates in a format compatible with current department mapping services, and shall be charged a reasonable fee for updating the response maps.
- **Fire Hydrants:** The location, number and type of fire hydrant connected to a water supply capable of delivering the required fire flow shall be provided on the public street or on the site of the premises or both to be protected as required and approved by the Chief. Fire hydrants shall be accessible to the fire department apparatus by roads meeting the requirements of Section 503.1.
- **Clearance of Brush or Vegetative Growth From Structures:** Clearance of brush or vegetative growth from structures, roadways, and improved property lines shall meet San Miguel Consolidated Fire Protection District Ordinance No. 94-3.
- **Additional Requirements:** There may be further conditions applied to this project at a later date.

If you have any questions, please contact me at 619-670-0500.

Sincerely,

A handwritten signature in blue ink that reads "Tony Morgan". The signature is written in a cursive, flowing style.

Tony Morgan
Deputy Fire Marshal



San Miguel Consolidated Fire Protection District

Serving the communities of Bostonia, Casa de Oro, Crest, Grossmont/Mt. Helix, La Presa, Rancho San Diego, Spring Valley, and unincorporated areas of El Cajon and La Mesa.

March 26, 2015

San Diego County
Department of Planning and Land Use
5510 Overland Avenue, Suite 110
San Diego, CA 92123

Subject: Fire Protection Plan Letter Report
SAM – Sweetwater, LLC; Sweetwater Village Project
APN 505-231-36, PDS2014-TM-5588

The San Miguel Consolidated Fire Protection District has reviewed the revised Fire Protection Plan – Letter Report as submitted by Michael Baker International, and dated January 21, 2015.

The District has no adverse comments regarding this draft of the Fire Protection Plan as submitted, and will accept the final version when complete.

Please call or e-mail me if you have any questions. I may be reached at tmorgan@sanmiguelfire.org, or 619-660-5356.

Sincerely,

Tony Morgan
Deputy Fire Marshal

RECEIVED

MAR 30 2015

RBF CONSULTING

2850 Via Orange Way, Spring Valley, California 91978-1746
(619) 670-0500 • (619) 670-5331 Fax • www.smgfire.org