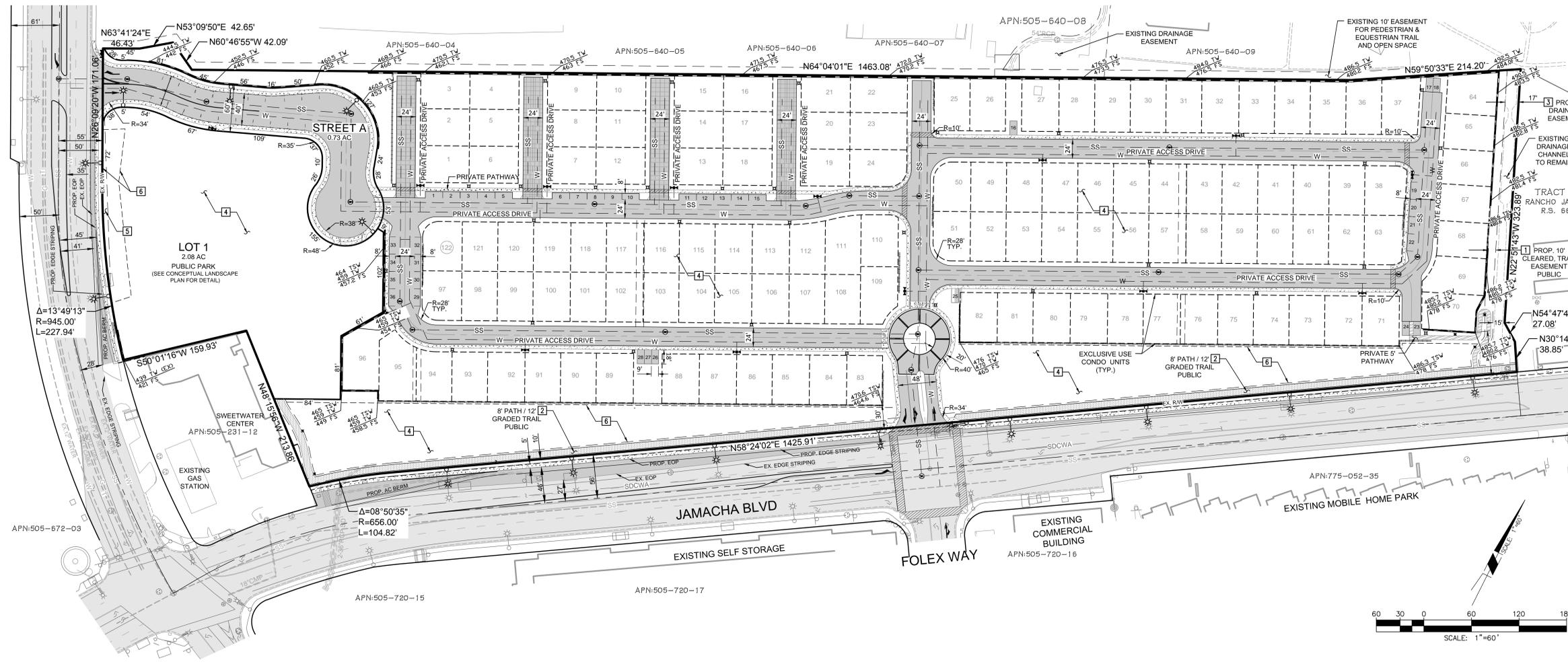
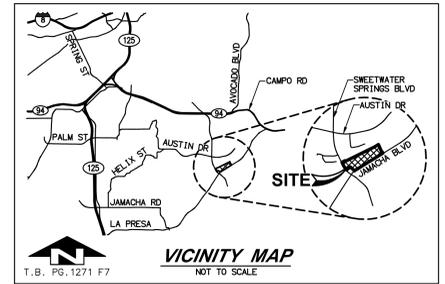


# COUNTY OF SAN DIEGO TRACT 5588 RPL-1 TENTATIVE MAP - CONDOMINIUM



**CONDOMINIUM MAP STATEMENT:**  
THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 OF THE GOVERNMENT CODE PURSUANT TO THE SUBDIVISION MAP ACT. THE MAXIMUM NUMBER OF DWELLING UNITS IS 122.

**LEGAL DESCRIPTION:**  
PORTION OF LOTS 24-31 IN SWEETWATER SPRINGS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP NO. 576, RECORDED JANUARY 11, 1989.

**PROJECT ADDRESS:** 2657 SWEETWATER SPRINGS BLVD, SPRING VALLEY, CA.  
**ASSESSOR PARCEL NUMBER:** 505-231-36  
**GENERAL PLAN DESIGNATION:** EXISTING: RURAL LANDS 80  
PROPOSED: VR 7.3

**COMMUNITY PLAN:** SPRING VALLEY COMMUNITY PLANNING AREA  
**GENERAL PLAN REGIONAL CATEGORY:** EXISTING: VILLAGE (NO CHANGE)

**TAX RATE AREA:** 83207  
**SITE AREA:** GROSS: 17.87 AC  
NET: 17.14 AC (0.73 AC. PUBLIC STREET A)  
**LOT AREA:** LOT 1: 2.08 AC (PUBLIC PARK)  
LOT 2: 15.06 AC (RESIDENTIAL)

**DENSITY CALCULATION:** 7.12 DU PER AC. (122 LOTS / 17.14 AC)  
**TOTAL NUMBER OF LOTS PROPOSED:** 2  
**TOTAL NUMBER OF CONDOMINIUM RESIDENTIAL UNITS PROPOSED:** 122

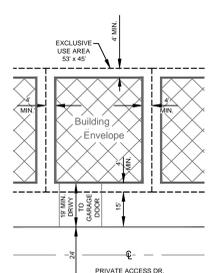
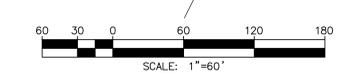
**SERVICE PROVIDERS:**  
SEWER: SPRING VALLEY SANITATION DISTRICT  
WATER: OTAY WATER DISTRICT  
FIRE: SAN MIGUEL FIRE DISTRICT  
STREET LIGHTS: COUNTY OF SAN DIEGO  
ELEMENTARY SCHOOL: LA MESA-SPRING VALLEY DISTRICT  
MIDDLE SCHOOL: LA MESA-SPRING VALLEY DISTRICT  
HIGH SCHOOL: GROSSMONT UNION HIGH SCHOOL DISTRICT

**PARK LAND DEDICATION STATEMENT:**  
A 2.08 AC. PUBLIC PARK WITH PARKING SHALL BE DEDICATED TO THE COUNTY OF SAN DIEGO. SEE SITE PLAN SHEET 2 OF 6 FOR AREA AND USE BREAKDOWN.

**SOLAR ACCESS STATEMENT:**  
ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH DWELLING UNIT ALLOWED BY THIS SUBDIVISION.

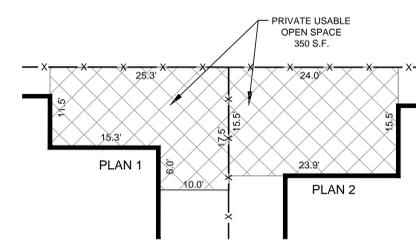
**SPECIAL ASSESSMENT ACT STATEMENT:**  
A STATEMENT BY THE SUBDIVIDER AS TO WHETHER A REQUEST WILL BE MADE TO THE BOARD OF SUPERVISORS FOR PERMISSION TO INITIATE PROCEEDINGS UNDER A SPECIAL ASSESSMENT ACT FOR CONSTRUCTION OF ANY OF THE SUBDIVISION IMPROVEMENTS. IF SUCH A REQUEST WILL BE MADE, DESIGNATE THE IMPROVEMENTS PROPOSED FOR CONSTRUCTION.

**GENERAL NOTES:**  
1. STREET LIGHTS: LOCATION OF ALL STREET LIGHTS PROPOSED TO BE INSTALLED WITHIN THE SUBDIVISION, OR A STATEMENT INDICATING THE INTENT OF THE DEVELOPER TO COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE COUNTY STANDARDS.  
2. PARKING: EACH UNIT PROPOSES A 2 CAR GARAGE. ADDITIONAL GUEST PARKING SPACES ARE PROVIDED.  
3. SOURCE OF TOPOGRAPHY: ROBERT J. LUNG & ASSOC, DATED: FEB. 15, 2013  
4. SEE SITE PLAN FOR BUILDING LOCATION AND SETBACKS.  
5. ASSOCIATED PERMITS - SEE GENERAL PLAN AMENDMENT GPA-14-003, REZONE REZ-14-003 AND SITE PLAN STP-14-015.

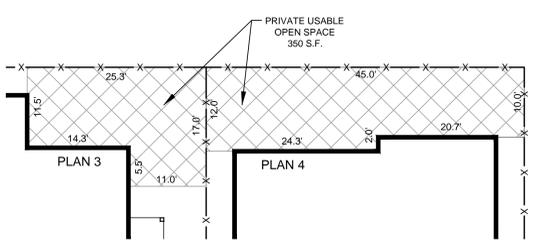


**NOTE:**  
• DISTANCES BETWEEN BUILDINGS WILL VARY 8 FT. MIN. BASED ON FINAL ARCHITECTURAL PLANS AND LOCATION OF THE 300 SF PRIVATE USABLE OPEN SPACE REQUIRED FOR EACH CONDOMINIUM UNIT PER ZONING ORD. SEC. 4800.  
• 12' ARCHITECTURAL PROJECTION PERMITTED WITHIN SETBACK.

-PLAN VIEW-  
BUILDING SETBACKS (MIN.)  
N.T.S.



-PLAN VIEW-  
PRIVATE USABLE OPEN SPACE  
N.T.S.



-PLAN VIEW-  
PRIVATE USABLE OPEN SPACE  
N.T.S.

ZONE	EXISTING	PROPOSED
USE REGULATIONS	S90	RV
NEIGHBORHOOD / ANIMAL REGULATIONS	S	--
DEVELOPMENT REGULATIONS		
DENSITY	--	--
LOT SIZE	6000	6000
BUILDING TYPE	W	K
MAXIMUM FLOOR AREA	--	--
FLOOR AREA RATIO	G	G
HEIGHT	--	--
LOT COVERAGE	--	--
SETBACK	E	V
OPEN SPACE	--	J
SPECIAL AREA REGULATIONS	B	B

PROPOSED EASEMENTS	DESCRIPTION
1	10' TRAIL EASEMENT
2	12' PUBLIC TRAIL EASEMENT
3	PRIVATE DRAINAGE EASEMENT
4	NOISE RESTRICTION EASEMENT
5	CLEAR SPACE EASEMENT
6	STORM WATER MAINTENANCE EASEMENT

LEGEND	DESCRIPTION
---	PROJECT BOUNDARY
---	EXIST. EASEMENT
---	PROP. EASEMENT
---	PROP. LOT LINE
---	EXCLUSIVE USE AREA
1	CONDO UNIT NUMBER
-W-	PROP. 8" MIN. WATER LINE PUBLIC
-SS-	PROP. 8" MIN. SEWER LINE PUBLIC
SS	PROP. FIRE HYDRANT
⊙	PROP. SEWER MANHOLE
⊙	PROP. STREET LIGHT (PUBLIC)
⊙	PROP. STREET LAMP (PRIVATE)
⊙	PROP. TRAFFIC SIGNAL
-W-	EXIST. WATER LINE
-SS-	EXIST. SEWER LINE
---	EXIST. STORM DRAIN
---	EXIST. TELEPHONE
---	EXIST. GAS LINE
⊙	EXIST. FIRE HYDRANT
⊙	EXIST. STREET LIGHT
⊙	EXIST. TRAFFIC SIGNAL
---	PROP. SIDEWALK
---	PRIVATE TRAIL
---	PUBLIC TRAIL
---	EXIST. PAVEMENT
---	PROP. PAVEMENT
---	EXIST. 18" SDCWA PIPELINE
AV	EXIST. AIR VENT (TO BE RELOCATED)
AV	PROP. AIR VENT
---	PROP. 6' SOUNDWALL
---	PROP. RETAINING WALL
---	TOP OF SOUNDWALL
---	TOP OF WALL
---	FINISH SURFACE

**PROPERTY OWNER AND SUBDIVIDER**  
SAM - SWEETWATER, LLC  
20201 SW BIRCH ST., SUITE 100  
NEWPORT BEACH, CA 92660  
PHONE (949) 252-1122 EXT. 132

SIGNATURE: DAN THOMPSON DATE

**PREPARED BY:**  
MICHAEL BAKER INTERNATIONAL  
9755 CLAREMONT MESA BLVD, SUITE 100  
SAN DIEGO, CA 92124  
(858) 614-5000

**ENGINEER OF WORK**  
RICHARD S. TOMLINSON, R.C.E. 59276  
DATE: 7/9/2015  
EXP. 6-30-2015



**SWEETWATER PLACE**  
COUNTY OF SAN DIEGO, CA  
**TENTATIVE MAP-CONDOMINIUM**  
TM-5588 RPL-1, STP-14-015, GPA-14-003  
REZ-14-003, ER-14-19-005