



The County of San Diego

Zoning Administrator Hearing Report

Date:	January 21, 2016	Case/File No.:	Verizon Downtown Julian Minor Use Permit Modification PDS2015-ZAP-00-044W2 PDS2015-ER-92-10-001B
Place:	County Conference Center 5520 Overland Avenue San Diego, CA 92123	Project:	Modification of a Minor Use Permit to an existing unmanned wireless facility
Time:	9:00 a.m.	Location:	2505 Washington Street, Julian
Agenda Item:	#1	General Plan:	Village Residential (VR 7.3)
Appeal Status:	Appealable to the Planning Commission	Zoning:	Residential-Commercial (RC)
Applicant/Owner:	TSJ Consulting Inc., on behalf of Verizon Wireless/Orchard Hill LLC	Subregion:	Julian Community Planning Area
Environmental:	CEQA § 15303 Exemption	APNs:	250-090-39

A. EXECUTIVE SUMMARY

1. Requested Actions

This is a request for the Zoning Administrator to evaluate the proposed project, which includes a modification to an existing cellular facility. The proposed Minor Use Permit Modification would allow an increase in the height of the existing facility from 35 feet to 37 feet to accommodate new antennas. The Zoning Administrator should determine if the required findings can be made, and if so, take the following actions:

- a. Adopt the Environmental Findings included in Attachment D.
- b. Grant Minor Use Permit Modification PDS2015-ZAP-00-044W2 that makes the findings, and impose the requirements and conditions as set forth in the Form of Decision in Attachment B.

2. Required Findings to Support Requested Actions

- a. Is the proposed project consistent with the vision, goals, and polices of the General Plan?
- b. Does the project comply with the policies set forth under the Community Plan?
- c. Is the proposed project consistent with the County's Zoning Ordinance?
- d. Is the proposed project consistent with the County's Wireless Ordinance?
- e. Does the project comply with the California Environmental Quality Act (CEQA)?

B. REPORT SUMMARY

The purpose of this staff report is to provide the Zoning Administrator with the information to consider the proposed ZAP Modification, conditions of approval and findings, and environmental findings prepared in accordance with the CEQA.

The proposed Minor Use Permit Modification is to modify the existing wireless facility by increasing the allowable height of the facility. There is one exception to the Zoning Ordinance being requested for this ZAP Modification: an exception to Section 4620(g) to allow the proposed facility to be 37 feet, where 35 feet is the maximum height allowed.

Based on staff's analysis, the required findings can be made, and recommends approval of the permit with the conditions noted in the attached Form of Decision (Attachment B).

C. DEVELOPMENT PROPOSAL

1. Project Description

The project is a ZAP Modification request to modify the existing wireless facility by increasing the height of the faux elevated water tank from 35 feet to 37 feet. The increase in height is required to fit the new antennas. Additionally, the project will also include the installation of one raycap surge suppressor near the new antennas and install three radio remote units behind the new antennas. The property is developed with a lodge and the existing wireless telecommunication facility, which consists of nine panel antennas, enclosed within a 35-foot faux water tower structure, an equipment enclosure and a 30 Kilowatt (kW) emergency back-up generator with an internal 150-gallon diesel fuel tank placed within a 10 foot high sound attenuated equipment enclosure. The site is 2.8 acres, and the leased area for the project is approximately 449 square feet.

All conditions as imposed by the previous approval would remain unchanged.

2. Subject Property and Surrounding Land Uses

The subject property is 2.8 acres, and the leased area for the project is approximately 449 square feet. The site is located within the Residential Commercial (RC) zone, north of State Routes (SR) 78/79 (Julian Rd/Washington Street). The property is developed with a lodge and a wireless telecommunication facility, consisting of nine panel antennas, enclosed within a 35-foot faux water tower structure, an equipment enclosure and a 30 Kilowatt (kW) emergency back-up generator with an internal 150-gallon diesel fuel tank within a 10-foot high sound attenuated equipment enclosure. Access is provided by an existing driveway connecting to Washington Street, a public road.

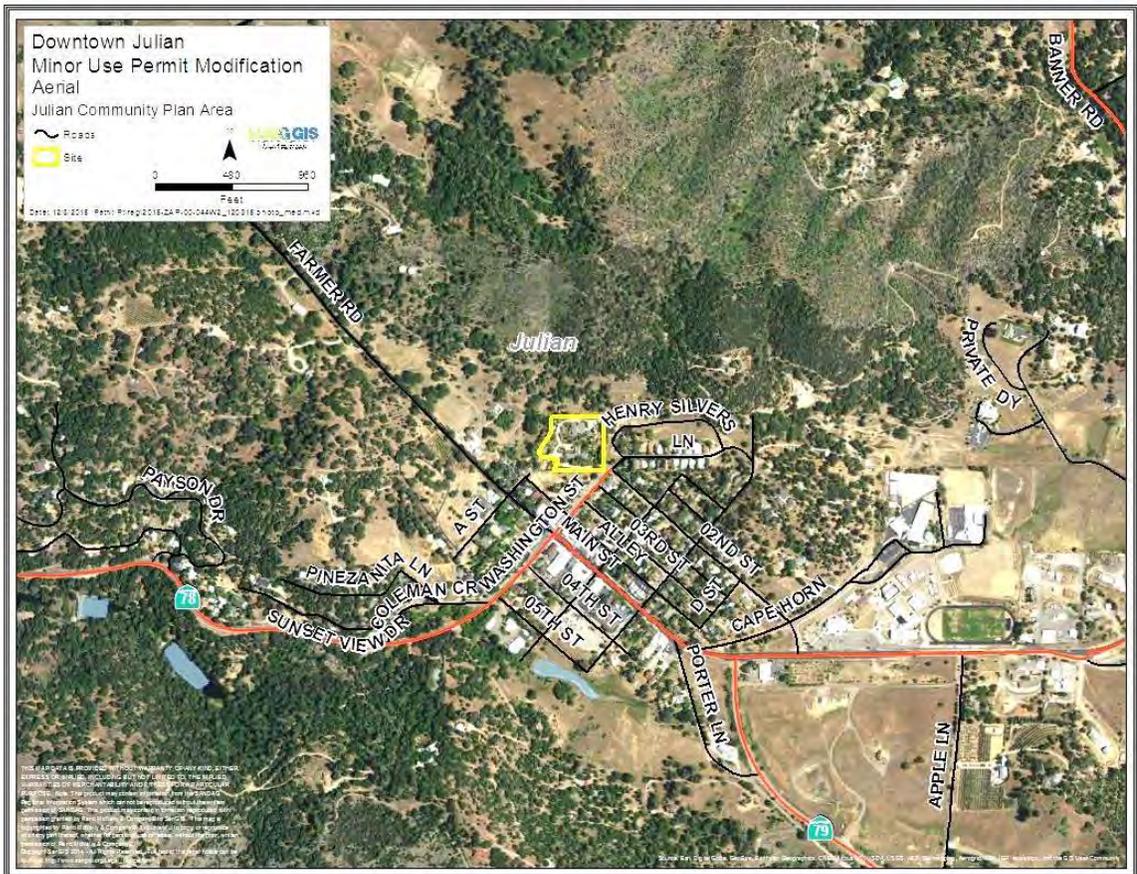


Figure 1: Aerial Photo

The area surrounding the site is characterized by residential use, agricultural use, commercial use and vacant lands, as shown in Figure 1. The properties immediately surrounding the site are vacant, residential and agricultural lands to the west; vacant lands to the north; vacant lands, residential and agricultural uses to the east; and Washington Street and residential and commercial lands to the south.

Table C-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Public/Semi-Public Facilities & Semi-Rural Residential (SR-10)	S80 and A70	N/A	Vacant Lands
East	Village Residential (VR-7.3) & Semi-Rural Residential (SR-4)	RMH7, RC, and A70	Washington St, Henry Silvers Ln	Single Family Residences, and Vacant Lands
South	Village Residential (VR-7.3) & General Commercial	RC, C34	Washington St, A St	Residential and Commercial Uses
West	Public/Semi-Public Facilities & Semi-Rural Residential (SR-10)	A70, S80	A St, Farmer Rd	Vacant Lands, Residential and Agricultural Use

D. ANALYSIS AND DISCUSSION

1. Project Site History

The following permit was processed by Planning & Development Services (PDS):

On August 8, 2000, the Zoning Administrator approved Minor Use Permit, ZAP00-044, for a wireless telecommunication facility. The facility consists of nine panel antennas enclosed within a faux water tower structure approximately 35 feet in height, and an associated equipment shelter.

On October 18, 2000, the Director of Planning and Land Use approved Minor Use Permit Minor Deviation, ZAP00-044m1, to allow the wireless telecommunication facility to re-locate the facility five feet closer to the east property line.

On April 4, 2013, the Zoning Administrator approved Minor Use Permit Modification, PDS2012-3401-00-044-02 to install a 30 Kilowatt (kW) emergency back-up generator with a 150-gallon diesel fuel tank mounted within a new sound attenuated equipment enclosure.

2. General Plan Consistency

The proposed project is consistent with the following relevant General Plan goals, policies, and actions as described in Table D-1.

Table D-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p>GOAL S-1 – Public Safety. Enhanced public safety and the protection of public and private property.</p>	<p>The proposed ZAP Modification would allow for continued coverage throughout the area, along with the expansion of service, which are essential in the event of an emergency.</p>
<p>GOAL S-2 – Emergency Response. Effective emergency response to natural or human-induced disasters that minimizes the loss of life and damage to property, while also reducing disruptions in the delivery of vital public and private services during and following a disaster.</p>	<p>The proposed ZAP Modification would continue to minimize telecommunication interruptions during the event of an emergency.</p>
<p>POLICY LU 15.1 –Telecommunication Facilities Compatibility with Setting. Require that wireless telecommunication facilities be sited and designed to minimize visual impacts, adverse impacts to the natural environment, and are compatible with existing development and community character.</p>	<p>The proposed project would continue to blend in with the visual setting in the vicinity because the changes to the faux elevated water tank would be minimal with an increase in height from 35 feet to 37 feet. As seen in Figure 2b and Attachment F, the proposed two-foot addition to the faux elevated water tank would have a weathered wood texture to appear rustic that matches the existing structure and will continue to match the existing lodge and buildings on the site. The existing viewsheds of the faux elevated water tank are already limited due to terrain, existing mature landscaping and existing buildings in the vicinity. Finally, it would not result in impacts to the natural environment, since the facility exists and the proposed replacement antennas would be located in the same area of the existing antennas and equipment. Furthermore, the Julian Community Planning Group (CPG) and Architectural Review Board (ARB) recommended approval of this Modification to the existing wireless facility.</p>
<p>POLICY LU 15.2 – Co-Location of Telecommunication Facilities. Encourage wireless telecommunication service providers to co-locate their facilities whenever appropriate, consistent with the Zoning Ordinance.</p>	<p>The proposed project will continue to allow for the co-location of an additional telecommunication project.</p>

General Plan Policy	Explanation of Project Conformance
<p>POLICY COS 11.1 and 11.3 – Protection of Scenic Resources. Require the protection of scenic highways, corridors, regionally significant scenic vistas, and natural features, including prominent ridgelines, dominant landforms, reservoirs, and scenic landscapes. Development Siting and Design. Require development within visually sensitive areas to minimize visual impacts and to preserve unique or special visual features, particularly in rural areas.</p>	<p>The project site is located north of SR-78 (Main St), which is designated as a County Scenic Highway. The existing faux elevated water tank is approximately 670 feet from SR-78; however, the view from SR-78 would be limited because it would be screened by the mature vegetation and the view of the faux elevated water tank would be blocked by existing buildings in the vicinity. Therefore, the proposed project is consistent with the General Plan.</p>

- a. Community Character: The proposed project is compatible with the existing natural and built environment. Surrounding land uses consist of residential uses to the east, commercial/residential uses to the south and west and vacant lands to the north. The proposed modification to the wireless facility will be increasing the height of the faux elevated water tank by two feet and it will be designed to be consistent with the Julian Historic District Design Guidelines. As seen in the photo-simulations the two-foot addition will match the lodge and existing buildings on the site. The faux elevated water tank is located adjacent to the top of slope that is vegetated with mature landscaping and would be unobtrusive to surrounding viewsheds. The proposed two-foot addition to the faux elevated water tank would continue to be compatible with adjacent land uses because the design is consistent with the other elements that make up the visual setting of the area as water tanks are common in rural residential areas like Julian. The project will not cause a harmful effect upon the desirable neighborhood character of the area. In addition, the addition to the faux elevated water tank would not be visible from Main Street or SR-78, a designated County Scenic Highway, similar to the existing condition.



Figure 2a: Photosimulation of existing 35-foot Faux Water Tank.



Figure 2b: Photosimulation of proposed 37-foot Faux Water Tank.

3. Community Plan Consistency

The proposed project is consistent with the following relevant Julian Community Plan goals, policies, and actions as described in Table D-2.

Table D-2: Community Plan Conformance

Community Plan Policy	Explanation of Project Conformance
Telephone Service Policy No. 2: Wireless carrier services are also available in the Community Plan Area.	Implementation of the proposed project would ensure the provision of services necessary to meet the service needs of those in the Julian Community Plan Area.
Julian Historic District (JHD)	The proposed project would not result in an adverse impact to the historic character of the Julian Historic District, as the proposed two-foot addition to the existing faux elevated water tank would be designed to match the existing structure, which was previously approved under ZAP00-004. Furthermore, the Julian Architectural Review Board and Julian Community Planning Group have reviewed and recommended approval of the project.

4. Zoning Ordinance Consistency

The proposed project complies with all applicable zoning requirements of the Residential-Commercial (RC) zone with the incorporation of conditions of approval. The Zoning Administrator should consider whether the included conditions of approval ensure compatibility of the proposed project with the surrounding properties and overall community character.

Table D-3: Zoning Ordinance Development Regulations

ZONING REGULATIONS		CONSISTENT?
Use Regulation:	RC	Yes
Animal Regulation:	J	Yes
Density:	4.5	Yes
Lot Size:	10,000	Yes
Building Type:	L	Yes
Maximum Floor Area:	N/A	N/A
Floor Area Ratio:	N/A	N/A
Height:	G (35')	Yes (If ZAP approved.)
Lot Coverage:	N/A	N/A
Setback:	T (0' from lot line)	Yes (15' from lot line)
Open Space:	A	Yes
Special Area Regulations:	J	Yes

Development Standard	Proposed/Provided	Complies?
Section 4600 of the Zoning Ordinance sets the maximum height requirements. This parcel has a designated height of 'G', which requires structures to be no more than 35 feet in height.	The applicant is proposing to modify the existing wireless facility by increasing the height of the facility from 35 feet to 37 feet. The purpose for the increase in height is to replace three existing antennas with new models and in order to complete this replacement; a two-foot increase in height will be required for the faux water tank structure as the new antennas do not fit within the existing faux water tank. The two foot increase to the antenna screen will match the existing structure.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If the Zoning Administrator grants an exception to the height requirement.

5. Wireless Ordinance Consistency

The proposed modification allows the applicant to provide continued service to the surrounding residential areas, businesses, emergency services, and drivers.

The existing project is located in a Residential Zone, General Agriculture (A72), which is a non-preferred zone per the Wireless Ordinance. Although the project is located within a non-preferred zone and location, the site was originally selected because no other preferred zones existed in the service area that met the coverage needs and objectives of the applicant.

The original Minor Use Permit (ZAP00-044) was approved by the Zoning Administrator on August 8, 2000. This permit was filed and approved prior to the adoption of the County Wireless Ordinance, which occurred on April 30, 2003. The County's current Wireless Ordinance would require this project to be filed as a Major Use Permit, under Tier 4 of the application process. However, the site is established and operational, and the proposed change requires that the applicant file a Minor Use Permit Modification.

Pursuant to Section 6985B of the Zoning Ordinance, a Minor Use Permit Modification is required because the proposed antennas and associated equipment would be added to an existing wireless telecommunication facility which had been subject to a Minor Use Permit, and the proposed project shall obtain approval through the modification of the approved Minor Use Permit (ZAP00-044) in accordance with Section 7378 of the Zoning Ordinance.

By federal law, the County is prohibited from regulating the placement, construction and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency (RF) emissions, if the facilities comply with the FCC's regulations concerning RF emissions. Therefore, County decision makers do not take comments or information concerning potential health effects or other environmental effects into consideration in determining whether to approve permits for cellular facilities. Also, staff does not require information from the applicant concerning such effects from RF emissions associated with the project. Information regarding potential health effects is available from the cellular providers upon request as it is also required from the Federal Communication Commission.

The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular telephone facilities. Therefore, the County cannot require information from the applicant on potential health effects from EMR associated with the project.

Table D-4: Wireless Ordinance Regulations

Development Standard	Proposed/Provided	Complies?
Section 6985.C.3 of the Telecommunication Ordinance regulates wireless facilities to only one facility on any parcel or site in a residential zone unless waived by the Director of Planning & Development Services if co-location of facilities is consistent with community character.	The project conforms to the regulation of one carrier per site because both poles are used by the same carrier.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.4. of the Telecommunication Ordinance requires a minimum 50-foot setback of the facility when adjacent to a residential use.	The wireless facility is already established and the current proposal would not result in any changes to the existing telecommunication tower. Therefore, this section of the telecommunication ordinance does not apply.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.5 of the Telecommunication Ordinance prohibits placement of telecommunication tower or equipment in the front, rear, or side yard setback.	The existing faux elevated water tank and equipment enclosure are located outside of required setbacks.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

6. California Environmental Quality Act (CEQA) Completion

The project has been reviewed in compliance with the CEQA and it has been determined that the project qualifies for a Categorical Exemption under CEQA Section 15303, construction or conversion of small structures. A Notice of Exemption dated January 21, 2016, was prepared for the project and is on file with PDS as Environmental Review Number PDS2015-ER-92-10-001B. Section 15303 involves the installation of small, new equipment and facilities in small structures. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway.

E. COMMUNITY PLANNING GROUP

On November 9, 2015, the Julian Community Planning Group recommended approval of the project without conditions with a vote of 9-0-0-0 (Ayes – 9, Noes – 0, Abstain – 0, Absent/Vacant – 0).

On December 2, 2015, the Julian Architectural Review Board recommended approval of the project without conditions.

See Attachment E for the Community Planning Group and Architectural Review Board Project Recommendations.

F. PUBLIC INPUT

No comments were received as a result of the public notices sent at the time of the proposed Minor Use Permit Modification application submittal, during processing of the permit, or at the Community Planning Group and Architectural Review Board Meetings.

G. RECOMMENDATIONS

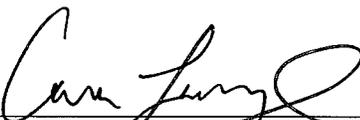
Staff recommends that the Zoning Administrator:

1. Adopt the Environmental Findings included in Attachment D.
2. Grant the attached Form of Decision approving Minor Use Permit Modification, PDS2015-ZAP-00-044W2 that makes the appropriate findings and includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with the Zoning Ordinance, Noise Ordinance, and State Law included in Attachment B.

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Report Approved By:
Mark Wardlaw, Director
858-694-2962
Mark.Wardlaw@sdcounty.ca.gov

AUTHORIZED REPRESENTATIVE:

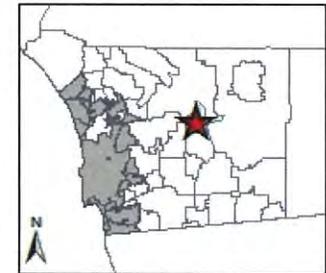


MARK WARDLAW, DIRECTOR

Attachment A – Planning Documentation

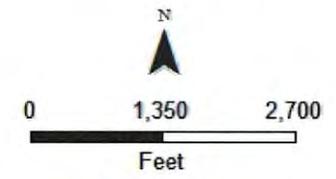
Downtown Julian Minor Use Permit Modification

Julian
Community Plan Area

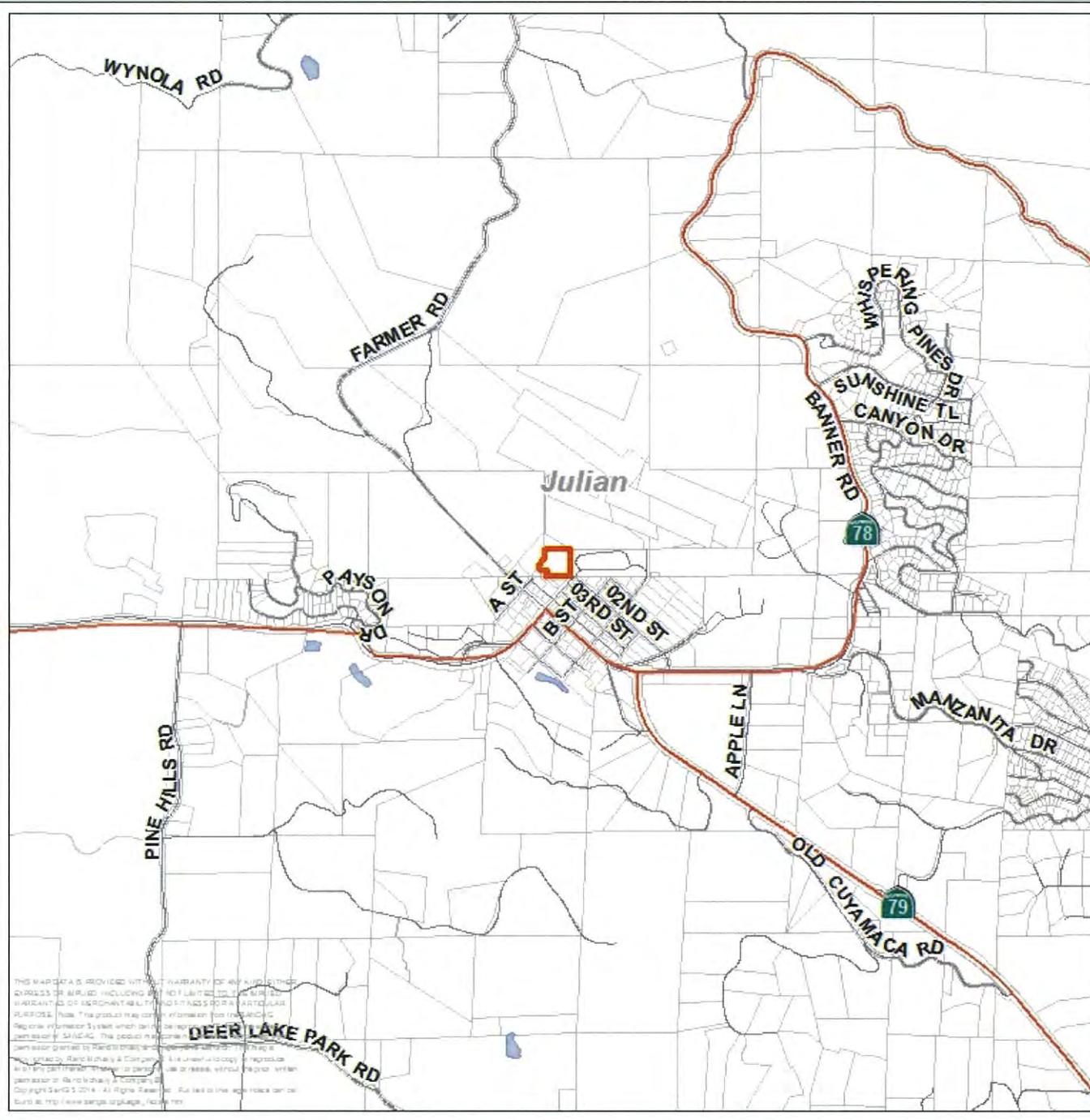


1:3,500,000

-  Roads
-  Site
-  Parcels



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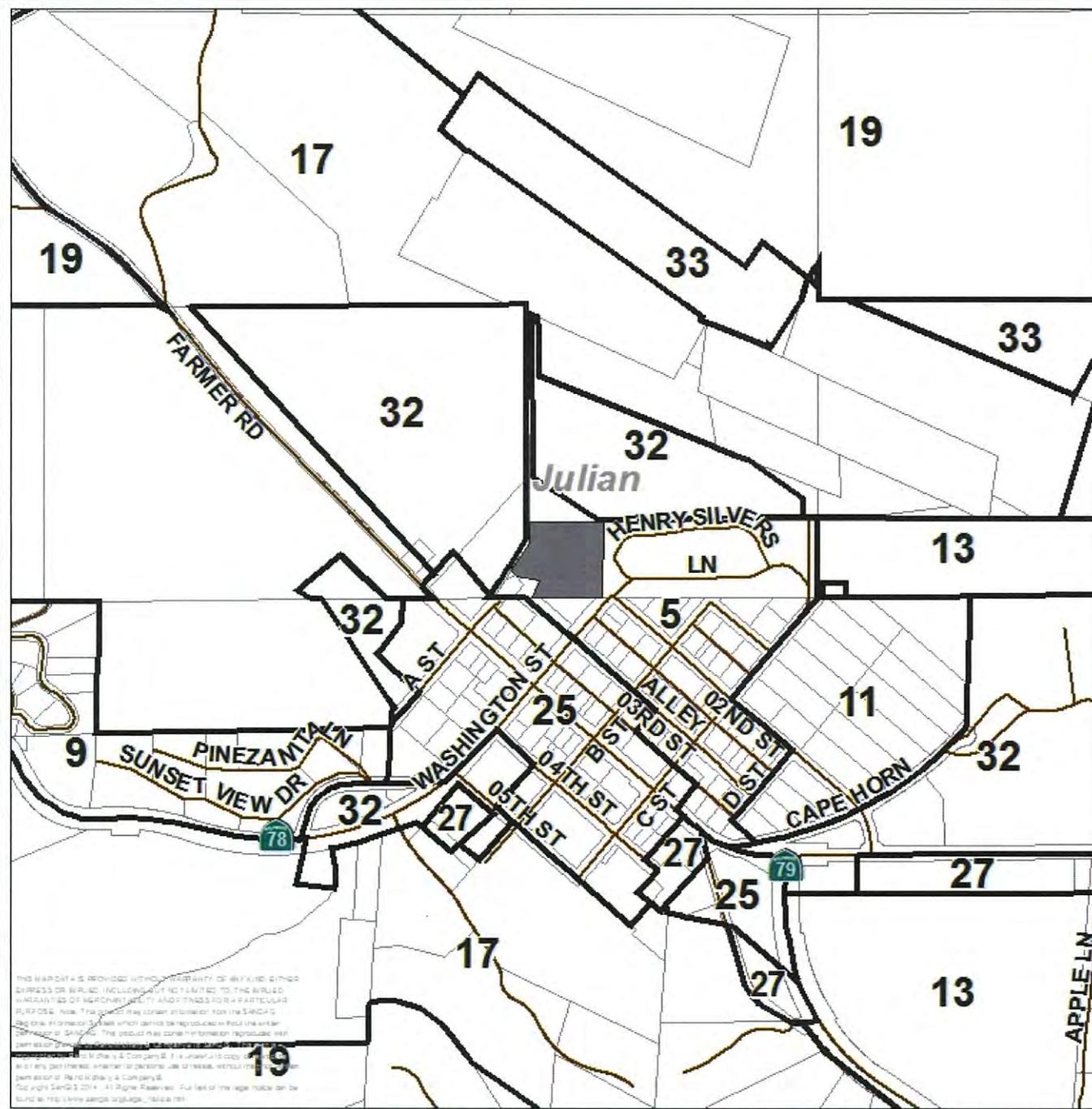


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Downtown Julian Minor Use Permit Classification Map

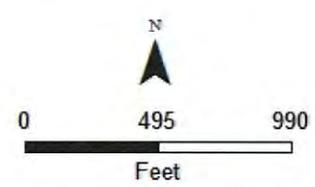
Julian
Community Plan Area

- (5) Village Residential (VR-7.3)
- (9) Semi-Rural Residential (SR-1)
- (11) Semi-Rural Residential (SR-2)
- (13) Semi-Rural Residential (SR-4)
- (17) Semi-Rural Residential (SR-10)
- (19) Rural Lands (RL-40)
- (25) General Commercial
- (27) Rural Commercial
- (32) Public/Semi-Public Facilities
- (33) Public Agency Lands



Legend:

- Roads
- Site
- Parcels
- Planning



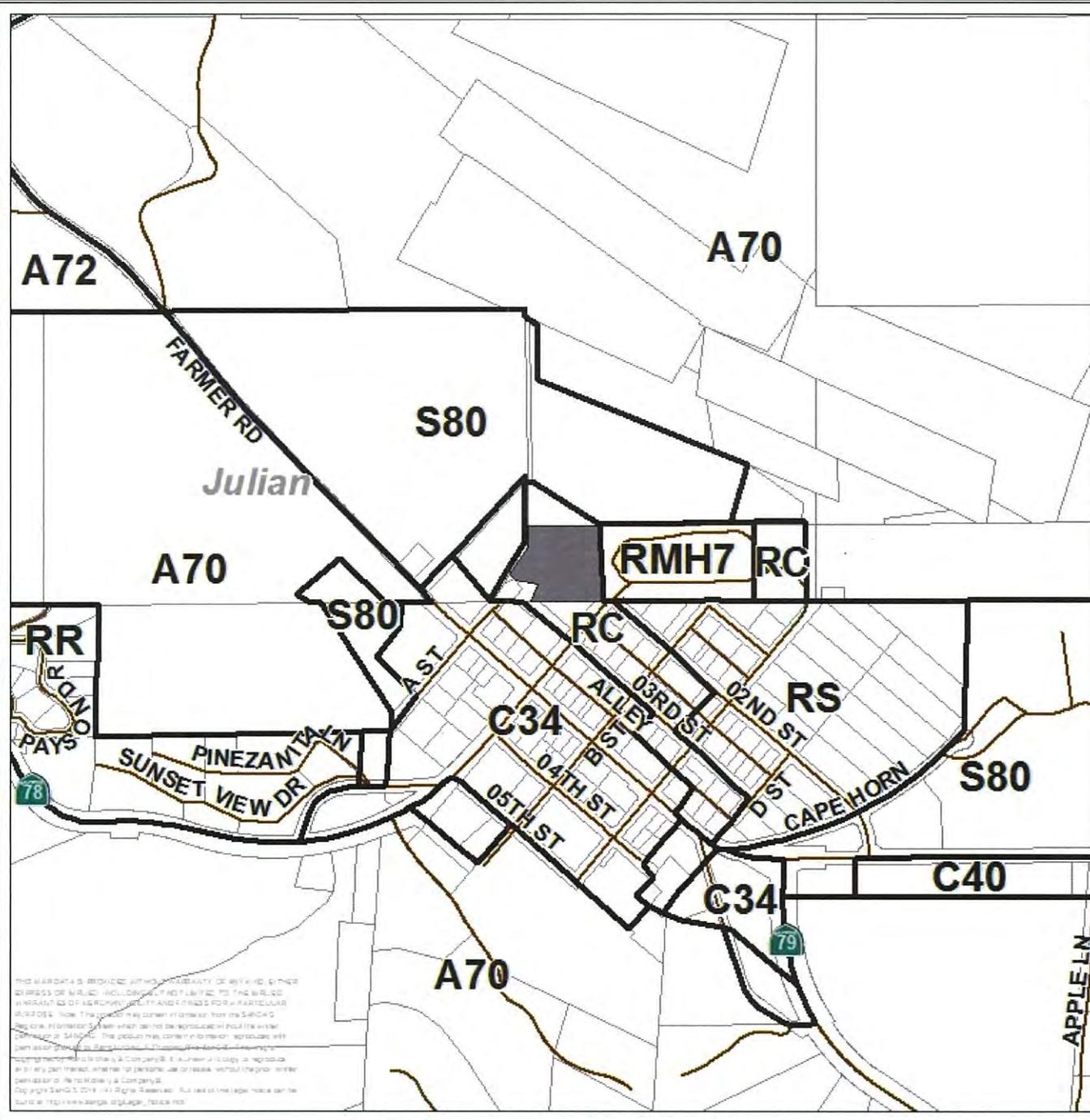
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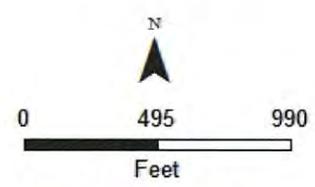
Downtown Julian Minor Use Permit Location

Julian
Community Plan Area

- A70 - Limited Agricultural
- A72 - General Agricultural
- C34 - General Commercial/Residential
- C40 - Rural Commercial
- RC - Residential/Commercial
- RMH7 - Mobilehome Residential
- RR - Rural Residential
- RS - Single Family Residential
- S80 - Open Space



Roads
 Site
 Parcels
 Zoning



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Downtown Julian
Minor Use Permit Modification
Aerial
Julian Community Plan Area



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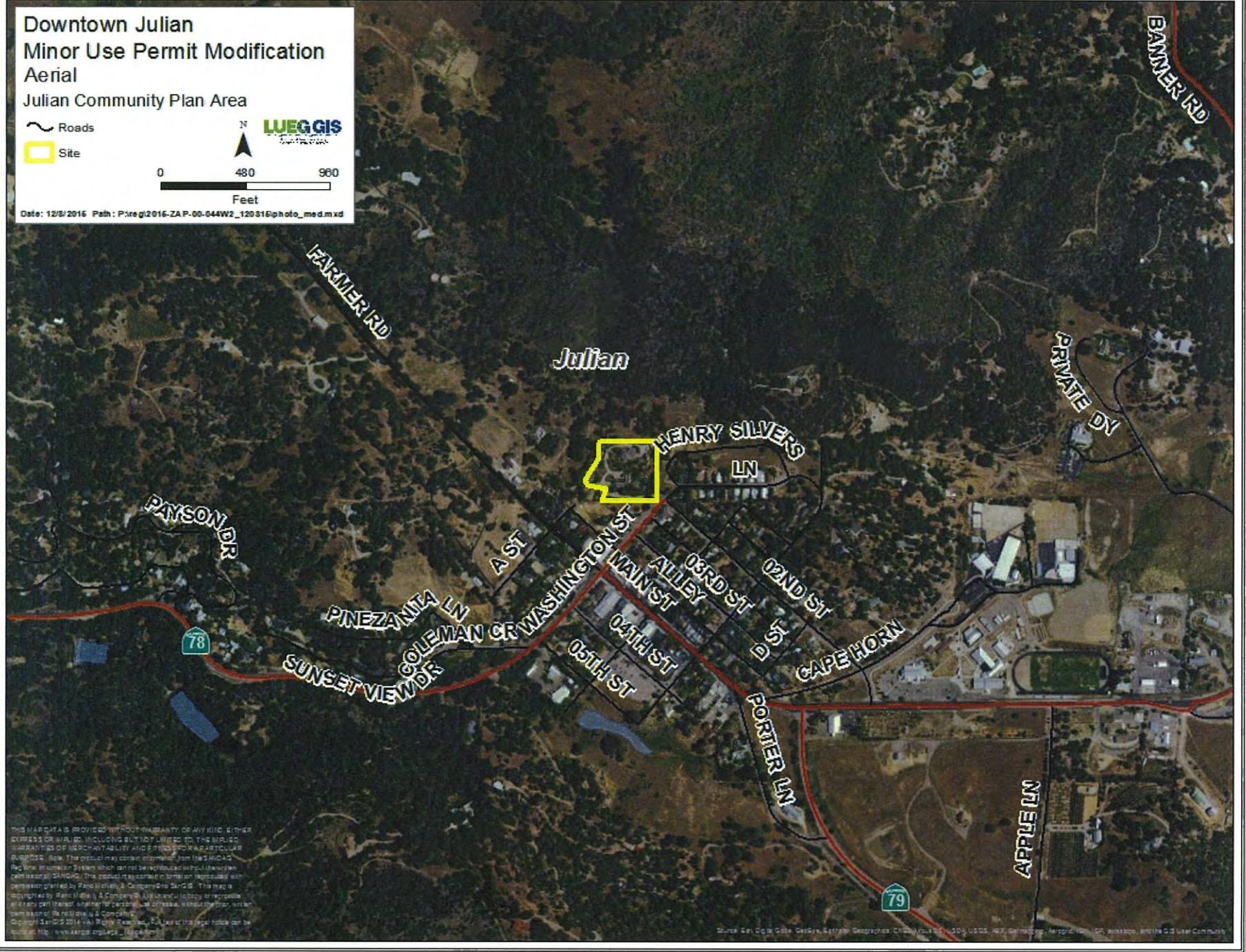
**Downtown Julian
Minor Use Permit Modification
Aerial**
Julian Community Plan Area

~ Roads
 Site



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verizon wireless

DOWNTOWN JULIAN (PCS)
2502 WASHINGTON STREET
JULIAN, CALIFORNIA 91945

SPECIAL INSPECTIONS

1. CONCRETE	13.1 VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT
2. BOLTS INSTALLED IN CONCRETE	13.2 VERIFY THAT FOUNDATION ELEVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA
3. CONCRETE MOMENT-RESISTING SPACE FRAME	13.3 PROVIDE SOIL EXPANSION TEST RESULTS, DEPTH OF FULL RELATIVE DENSITY, BEARING VALUES
4. REINFORCING STEEL AND PRESTRESSING STEEL	13.4 PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE
5. ALL STRUCTURAL WELDING	14. SIGNAL CONTROL SYSTEM
5.1 WELD TESTING DOCKLE MOMENT-RESISTING STEEL FRAME	15. SPECIAL CASES (DESCRIBE)
6. WELD TESTING DOCKLE MOMENT-RESISTING STEEL	16. OFF-SITE FABRICATION OF BUILDING COMPONENTS
7. HIGH-STRENGTH BOLTING	17. OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER
8. STRUCTURAL WELDING	
9. REINFORCED CIP/SW CONCRETE	
10. INSULATING CONCRETE TIL	
11. SPRAY-APPLIED FIREPROOFING	
12. DEEP FOUNDATIONS (PILING, DRILLED & CASINGS)	
12. SHORETIE	

NO.	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS
	THERE IS NO WORK THAT REQUIRES SPECIAL INSPECTION FOR THIS PROJECT

VICINITY MAP



CONSULTANT TEAM

ARCHITECT
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IRVINE, CALIFORNIA 92612
PHONE: (949) 785-3727
CONTACT: TOM JOHNSON

LEASING:
TECTONIC
2081 BUSINESS CENTER DRIVE, SUITE 219
IRVINE, CALIFORNIA 92612
PHONE: (949) 785-3727
CONTACT: TOM JOHNSON

STRUCTURAL ENGINEER
X
X
X
PHONE: X
FAX: X
CONTACT: X

LEGAL DESCRIPTION

NOT PROVIDED

DEVELOPMENT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618
PHONE: (949) 286-7000

PROPERTY OWNER: ORCHARD HILL, LLC
2502 WASHINGTON STREET
JULIAN, CALIFORNIA 91945
CONTACT: NOT PROVIDED
PHONE: NOT PROVIDED

ASSESSOR'S PARCEL NUMBER: 250-090-39

EXISTING PROJECT AREA: 449 SQ. FT.

EXISTING TYPE OF CONSTRUCTION: V-B (NON-SPRINKLERED)

EXISTING OCCUPANCY: B

JURISDICTION: COUNTY OF SAN DIEGO

EXISTING PERMIT: NOT PROVIDED

PROJECT DESCRIPTION

VERIZON WIRELESS PROPOSES TO MODIFY AN UNOCCUPIED TELECOMMUNICATIONS FACILITY:

- INSTALL (N) (3) ANTENNAS TO REPLACE (E) (3) ANTENNAS
- INSTALL (N) (1) SURGE SUPPRESSOR NEAR (N) ANTENNAS
- INSTALL (N) (3) RISER UNITS BEHIND (N) ANTENNAS
- ADD (N) 2'-0" HIGH EXTENSION TO (E) ANTENNA SCREEN

AT THE COMPLETION OF THIS MODIFICATION, VERIZON WIRELESS WILL HAVE THE FOLLOWING EQUIPMENT AT THIS TELECOMMUNICATIONS FACILITY:

- (3) PANEL ANTENNAS
- (3) RISER UNITS

SHEET INDEX

T-1	TITLE SHEET
T-2	SPECIFICATIONS AND NOTES
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	ANTENNA PLANS
A-3	ELEVATIONS
A-4	DETAILS
A-5	GROUNDING SCHEMATIC AND GROUNDING DETAILS
S-1	PENDING
S-2	PENDING

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CALIFORNIA FIRE CODE, 2013 EDITION
CALIFORNIA BUILDING CODE, 2013 EDITION
CALIFORNIA PLUMBING CODE, 2013 EDITION
CALIFORNIA MECHANICAL CODE, 2013 EDITION
CALIFORNIA ELECTRICAL CODE, 2013 EDITION
CALIFORNIA GREEN BUILDING CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

NOTES

THE PROPOSED WIRELESS FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCIES IN ACCORDANCE WITH THE TELECOMMUNICATIONS ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY THE STATE OR FEDERAL REGULATORY AGENCIES.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"x36" FORMAT IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE.



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TEL: 949.786.3928 | FAX: 949.766.3311

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR



APPROVALS

R.F. ENGINEER	DATE
PLANNING	DATE
CONSTRUCTION MANAGER	DATE
SITE ACQUISITION	DATE
VERIZON PROJECT MANAGER	DATE

SITE NAME

DOWNTOWN JULIAN (PCS)

2502 WASHINGTON STREET
JULIAN, CALIFORNIA 91945
SAN DIEGO COUNTY

DRAWING DATES
09/01/15 CONSTRUCTION REVIEW (B1)
09/15/15 100% CONSTRUCTION (B2)

SHEET TITLE

TITLE SHEET

T-1

JRA NO. 152408

1 - 20

GENERAL SPECIFICATIONS

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE INCORPORATED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
- THIS FACILITY IS AN UNKNOCKED PDS TELECOMMUNICATIONS SITE AND IS DESIGNED TO ACCOMMODATE ADDITIONAL EQUIPMENT AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN ANNOYED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY. ONE SET OF UNKNOCKED PDS SHALL BE PROVIDED TO THE AT&T MOBILITY CONSTRUCTION MANAGER.
- THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLY BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, EXCEPT FOR THAT SPECIFIED AS REMAINING THE PROPERTY OF THE BUILDING OR PROPERTY OWNER AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANUP THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A CLEAN, CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM CLEAN CONDITION, FREE FROM PAINT SPOTS, DUST OR SURDINGS OF ANY NATURE AT COMPLETION OF WORK.
- THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
- ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED FIRE RESISTANT APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-ATIOR WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
- ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 251.
- ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS WALL AND ROOF PENETRATIONS SHALL BE CALKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE UPON COMPLETION OF CONSTRUCTION. AT&T MOBILITY CONSTRUCTION MANAGER SHALL CONDUCT A WALK-THRU WITH PROPERTY OWNER OR REPRESENTATIVE OF PROPERTY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEM EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY AT&T MOBILITY.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
 - NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION COMMERCIAL CENTER 1025 W. HODGINS ROAD, SUITE 100 ROSAMOND, CA 90278
 - SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION 4201 KAYVILLE CENTER DRIVE CHARLEVILLE VA 22021-1709
 - IFP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER 820 TRAFER ROAD ST. PAUL, MN 55114-1406
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BRACING, HANGERS OR OTHER SUPPORTS FOR ALL NEWS REQUIRING THE SAME.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL OBEY ALL ORDERS AND INSTRUCTIONS FROM LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATION AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT THE PROPERTY, FINISHES, AND AT&T MOBILITY PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION AND FROM NEW AND EXISTING FINISHES. CONSTRUCTION STRENGTH, LANGUAGING, CURBS, STAKES, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF AT&T MOBILITY PROJECT MANAGER. SINGLE MEMBERS, ROOFERS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2-A ABOVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REPAIR ANY FINISHES, SURFACES OR INTERIOR MATERIALS OF WORKMANSHIP OR OR DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY AT&T MOBILITY UNDER THIS CONTRACT.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES OR CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES, WHETHER KNOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR THE REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONNECTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE THROUGHOUT CONSTRUCTION AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY AT&T MOBILITY.

- THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER, AT&T MOBILITY, AND THE CITY OF GOVERNING AGENCY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING THE CONSTRUCTION ACCESS TO THE FACILITY AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN ANNOYED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY. ONE SET OF UNKNOCKED PDS SHALL BE PROVIDED TO THE AT&T MOBILITY CONSTRUCTION MANAGER.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE THROUGHOUT CONSTRUCTION AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY AT&T MOBILITY.

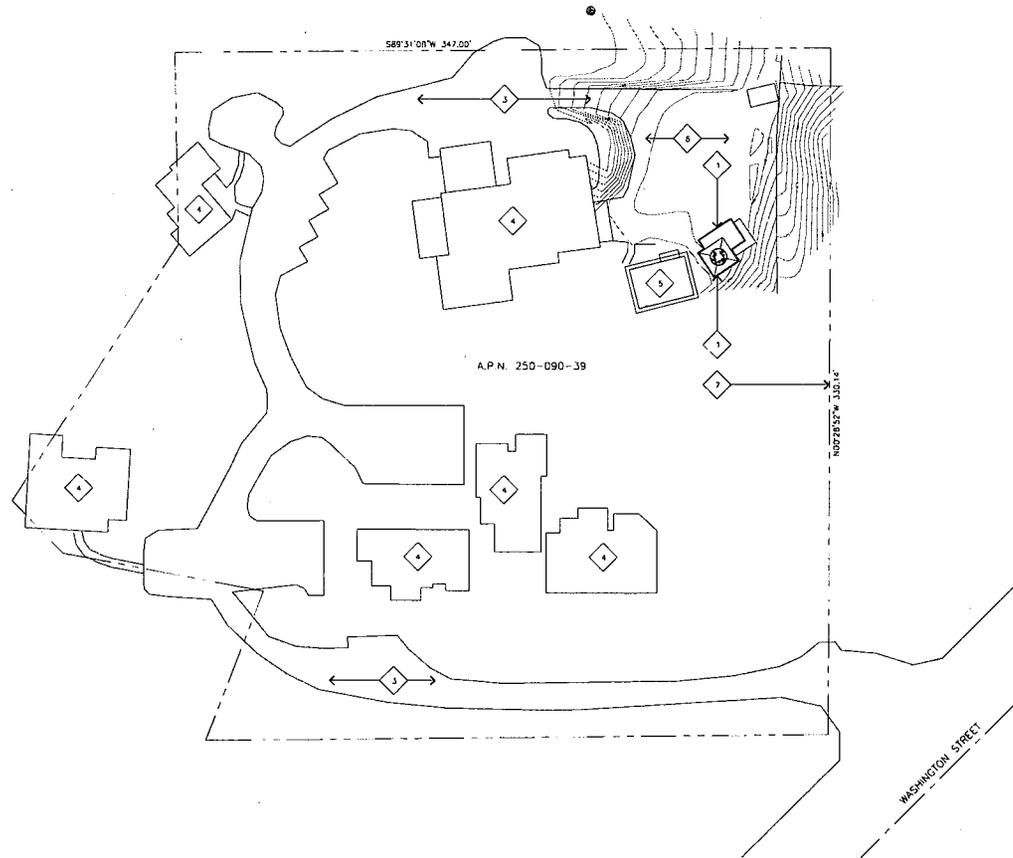
PAINTING NOTES & SPECIFICATIONS

- GENERAL
- ALL PAINT PRODUCT USES SHALL BE SHERWIN WILLIAMS UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
- COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PRODUCTIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
- FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
- ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE AT&T MOBILITY CONSTRUCTION MANAGER.
- PREPARE PREVIOUSLY PAINTED SURFACES WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.
- FURNISH DROP CLOTHES, SHIELDS, MASKING AND PROTECTIVE METHODS TO PREVENT SPRAY OR DROPPINGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
- APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING SMEAL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
- APPLY BLOCK FILLER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
- CONTRACTOR SHALL CORRECT RUNS, SACS, MISSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE AT&T MOBILITY CONSTRUCTION MANAGER. REPAIR AS NECESSARY TO ACHIEVE SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.
- PAINTING SCOPE
- PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOW WITH THE COATING SYSTEM INDICATED.

PAINTING SCOPE		FINISH DEPTH	TYPE OF PAINT	NO.
1	Interior Walls	1/8" (1.5 mil)	White	1
2	Interior Ceilings	1/8" (1.5 mil)	White	1
3	Interior Columns	1/8" (1.5 mil)	White	1
4	Interior Doors	1/8" (1.5 mil)	White	1
5	Interior Trim	1/8" (1.5 mil)	White	1
6	Interior Windows	1/8" (1.5 mil)	White	1
7	Interior Stairs	1/8" (1.5 mil)	White	1
8	Interior Floors	1/8" (1.5 mil)	White	1
9	Interior Walls	1/8" (1.5 mil)	White	1
10	Interior Ceilings	1/8" (1.5 mil)	White	1
11	Interior Columns	1/8" (1.5 mil)	White	1
12	Interior Doors	1/8" (1.5 mil)	White	1
13	Interior Trim	1/8" (1.5 mil)	White	1
14	Interior Windows	1/8" (1.5 mil)	White	1
15	Interior Stairs	1/8" (1.5 mil)	White	1
16	Interior Floors	1/8" (1.5 mil)	White	1
17	Interior Walls	1/8" (1.5 mil)	White	1
18	Interior Ceilings	1/8" (1.5 mil)	White	1
19	Interior Columns	1/8" (1.5 mil)	White	1
20	Interior Doors	1/8" (1.5 mil)	White	1
21	Interior Trim	1/8" (1.5 mil)	White	1
22	Interior Windows	1/8" (1.5 mil)	White	1
23	Interior Stairs	1/8" (1.5 mil)	White	1
24	Interior Floors	1/8" (1.5 mil)	White	1
25	Interior Walls	1/8" (1.5 mil)	White	1
26	Interior Ceilings	1/8" (1.5 mil)	White	1
27	Interior Columns	1/8" (1.5 mil)	White	1
28	Interior Doors	1/8" (1.5 mil)	White	1
29	Interior Trim	1/8" (1.5 mil)	White	1
30	Interior Windows	1/8" (1.5 mil)	White	1
31	Interior Stairs	1/8" (1.5 mil)	White	1
32	Interior Floors	1/8" (1.5 mil)	White	1
33	Interior Walls	1/8" (1.5 mil)	White	1
34	Interior Ceilings	1/8" (1.5 mil)	White	1
35	Interior Columns	1/8" (1.5 mil)	White	1
36	Interior Doors	1/8" (1.5 mil)	White	1
37	Interior Trim	1/8" (1.5 mil)	White	1
38	Interior Windows	1/8" (1.5 mil)	White	1
39	Interior Stairs	1/8" (1.5 mil)	White	1
40	Interior Floors	1/8" (1.5 mil)	White	1
41	Interior Walls	1/8" (1.5 mil)	White	1
42	Interior Ceilings	1/8" (1.5 mil)	White	1
43	Interior Columns	1/8" (1.5 mil)	White	1
44	Interior Doors	1/8" (1.5 mil)	White	1
45	Interior Trim	1/8" (1.5 mil)	White	1
46	Interior Windows	1/8" (1.5 mil)	White	1
47	Interior Stairs	1/8" (1.5 mil)	White	1
48	Interior Floors	1/8" (1.5 mil)	White	1
49	Interior Walls	1/8" (1.5 mil)	White	1
50	Interior Ceilings	1/8" (1.5 mil)	White	1
51	Interior Columns	1/8" (1.5 mil)	White	1
52	Interior Doors	1/8" (1.5 mil)	White	1
53	Interior Trim	1/8" (1.5 mil)	White	1
54	Interior Windows	1/8" (1.5 mil)	White	1
55	Interior Stairs	1/8" (1.5 mil)	White	1
56	Interior Floors	1/8" (1.5 mil)	White	1
57	Interior Walls	1/8" (1.5 mil)	White	1
58	Interior Ceilings	1/8" (1.5 mil)	White	1
59	Interior Columns	1/8" (1.5 mil)	White	1
60	Interior Doors	1/8" (1.5 mil)	White	1
61	Interior Trim	1/8" (1.5 mil)	White	1
62	Interior Windows	1/8" (1.5 mil)	White	1
63	Interior Stairs	1/8" (1.5 mil)	White	1
64	Interior Floors	1/8" (1.5 mil)	White	1
65	Interior Walls	1/8" (1.5 mil)	White	1
66	Interior Ceilings	1/8" (1.5 mil)	White	1
67	Interior Columns	1/8" (1.5 mil)	White	1
68	Interior Doors	1/8" (1.5 mil)	White	1
69	Interior Trim	1/8" (1.5 mil)	White	1
70	Interior Windows	1/8" (1.5 mil)	White	1
71	Interior Stairs	1/8" (1.5 mil)	White	1
72	Interior Floors	1/8" (1.5 mil)	White	1
73	Interior Walls	1/8" (1.5 mil)	White	1
74	Interior Ceilings	1/8" (1.5 mil)	White	1
75	Interior Columns	1/8" (1.5 mil)	White	1
76	Interior Doors	1/8" (1.5 mil)	White	1
77	Interior Trim	1/8" (1.5 mil)	White	1
78	Interior Windows	1/8" (1.5 mil)	White	1
79	Interior Stairs	1/8" (1.5 mil)	White	1
80	Interior Floors	1/8" (1.5 mil)	White	1
81	Interior Walls	1/8" (1.5 mil)	White	1
82	Interior Ceilings	1/8" (1.5 mil)	White	1
83	Interior Columns	1/8" (1.5 mil)	White	1
84	Interior Doors	1/8" (1.5 mil)	White	1
85	Interior Trim	1/8" (1.5 mil)	White	1
86	Interior Windows	1/8" (1.5 mil)	White	1
87	Interior Stairs	1/8" (1.5 mil)	White	1
88	Interior Floors	1/8" (1.5 mil)	White	1
89	Interior Walls	1/8" (1.5 mil)	White	1
90	Interior Ceilings	1/8" (1.5 mil)	White	1
91	Interior Columns	1/8" (1.5 mil)	White	1
92	Interior Doors	1/8" (1.5 mil)	White	1
93	Interior Trim	1/8" (1.5 mil)	White	1
94	Interior Windows	1/8" (1.5 mil)	White	1
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101	Interior Trim	1/8" (1.5 mil)	White	1
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103	Interior Stairs	1/8" (1.5 mil)	White	1
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110	Interior Windows	1/8" (1.5 mil)	White	1
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114	Interior Ceilings	1/8" (1.5 mil)	White	1
115	Interior Columns	1/8" (1.5 mil)	White	1
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117	Interior Trim	1/8" (1.5 mil)	White	1
118	Interior Windows	1/8" (1.5 mil)	White	1
119	Interior Stairs	1/8" (1.5 mil)	White	1
120	Interior Floors	1/8" (1.5 mil)	White	1
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122	Interior Ceilings	1/8" (1.5 mil)	White	1
123	Interior Columns	1/8" (1.5 mil)	White	1
124	Interior Doors	1/8" (1.5 mil)	White	1
125	Interior Trim	1/8" (1.5 mil)	White	1
126	Interior Windows	1/8" (1.5 mil)	White	1
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145	Interior Walls	1/8" (1.5 mil)	White	1
146	Interior Ceilings	1/8" (1.5 mil)	White	1
147	Interior Columns	1/8" (1.5 mil)	White	1
148	Interior Doors	1/8" (1.5 mil)	White	1
149	Interior Trim	1/8" (1.5 mil)	White	1
150	Interior Windows	1/8" (1.5 mil)	White	1
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153	Interior Walls	1/8" (1.5 mil)	White	1
154	Interior Ceilings	1/8" (1.5 mil)	White	1
155	Interior Columns	1/8" (1.5 mil)	White	1
156	Interior Doors	1/8" (1.5 mil)	White	1
157	Interior Trim	1/8" (1.5 mil)	White	1
158	Interior Windows	1/8" (1.5 mil)	White	1
159	Interior Stairs	1/8" (1.5 mil)	White	1
160	Interior Floors	1/8" (1.5 mil)	White	1
161	Interior Walls	1/8" (1.5 mil)	White	1
162	Interior Ceilings	1/8" (1.5 mil)	White	1
163	Interior Columns	1/8" (1.5 mil)	White	1
164	Interior Doors	1/8" (1.5 mil)	White	1
165	Interior Trim	1/8" (1.5 mil)	White	1

SITE PLAN KEYNOTES

- 1 (E) VZW EQUIPMENT SUPPORT STRUCTURE, SEE SHEET A-1.
- 2 (E) VZW ANTENNAS MOUNTED BEHIND (E) FAUX WATER TANK ANTENNA SCREEN WITH NEW 2'-0" HIGH EXTENSION, SEE SHEET A-1
- 3 (E) ACCESS DRIVEWAY.
- 4 (E) RESIDENCE
- 5 (E) STORAGE BUILDING
- 6 (E) PARKING AREA
- 7 (E) PROPERTY LINE, E.V.P.



SITE PLAN

SCALE: 1"=30'



1



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PREPARED FOR



APPROVALS

R.F. ENGINEER	DATE
PLANNING	DATE
CONSTRUCTION MANAGER	DATE
SITE ACQUISITION	DATE
VERIZON PROJECT MANAGER	DATE

SITE NAME

DOWNTOWN JULIAN (PCS)

2502 WASHINGTON STREET
 JULIAN, CALIFORNIA 91945
 SAN DIEGO COUNTY

DRAWING DATES

09/01/15	CONSTRUCTION REVIEW (B1)
09/15/15	100% CONSTRUCTION (B2)

SHEET TITLE

SITE PLAN

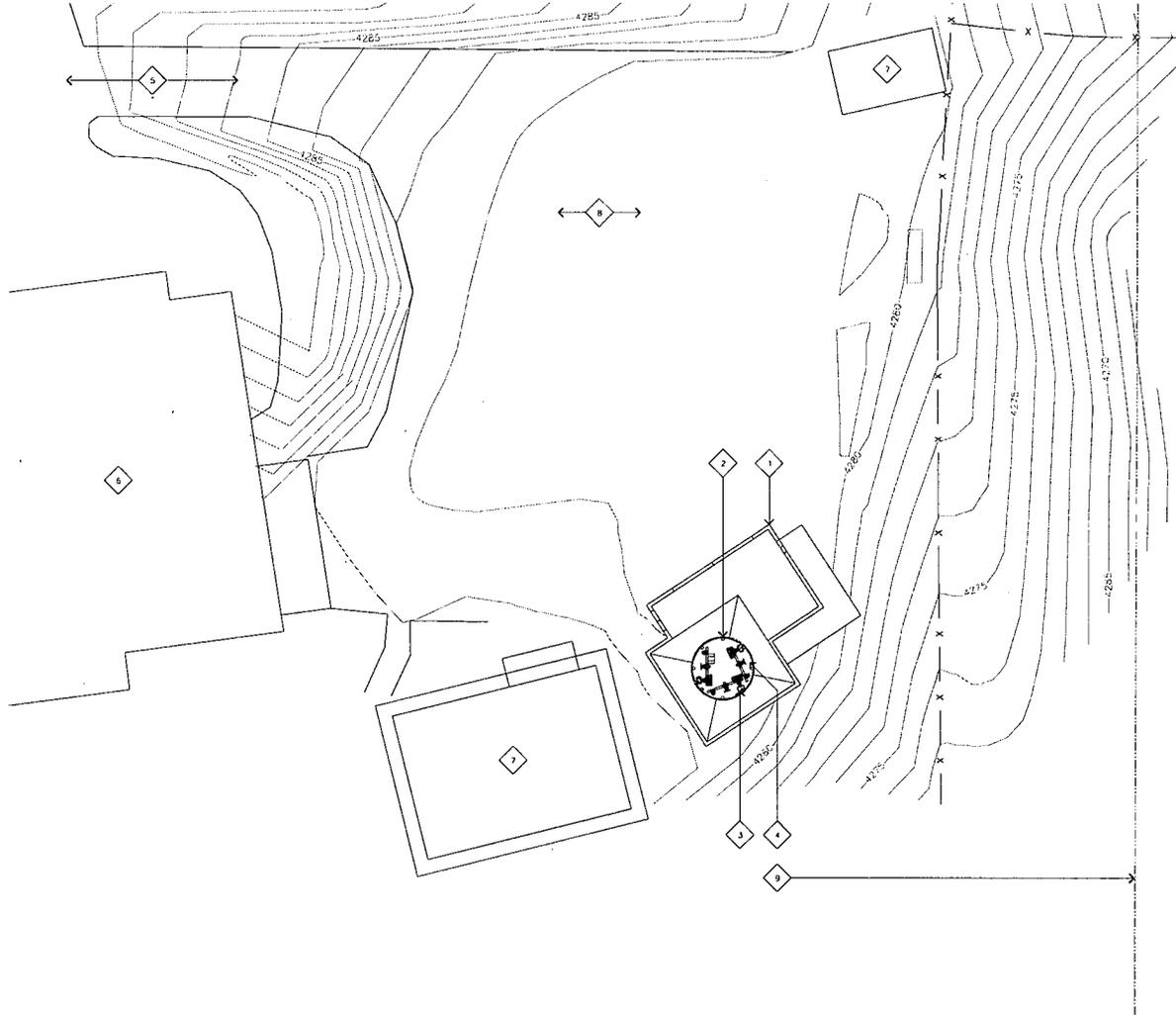
A-0

JRA NO. 152408

1-22

ENLARGED SITE PLAN KEYNOTES

- 1 (E) VZW EQUIPMENT SUPPORT STRUCTURE
- 2 (N) 2'-0" HIGH EXTENSION ON (E) FAUX WATER TANK ANTENNA SCREEN
- 3 (N) VZW ANTENNAS TO REPLACE (E) VZW ANTENNAS (1" PER SECTOR, 3 TOTAL)
- 4 (E) VZW ANTENNAS MOUNTED BEHIND ANTENNA SCREEN
- 5 (E) ACCESS DRIVEWAY
- 6 (E) RESIDENCE
- 7 (E) STORAGE BUILDING
- 8 (E) PARKING AREA
- 9 (E) PROPERTY LINE, TYP.



ENLARGED SITE PLAN

SCALE: 1/8"=1'-0" 0 4' 8' 1



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PREPARED FOR
verizon wireless
 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

R.F. ENGINEER	DATE
PLANNING	DATE
CONSTRUCTION MANAGER	DATE
SITE ACQUISITION	DATE
VERIZON PROJECT MANAGER	DATE

SITE NAME
DOWNTOWN JULIAN (PCS)
 2502 WASHINGTON STREET
 JULIAN, CALIFORNIA 91945
 SAN DIEGO COUNTY

DRAWING DATES
 09/01/15 CONSTRUCTION REVIEW (B1)
 09/15/15 100% CONSTRUCTION (B2)

SHEET TITLE
ENLARGED SITE PLAN

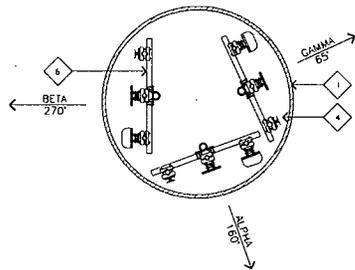
A-1

JRA NO. 152408

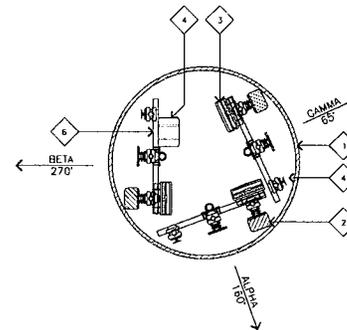
1-23

ANTENNA PLAN KEYNOTES

- 1 (E) FAUX WATER TANK ANTENNA SCREEN WITH (N) 2'-0" HIGH EXTENSION
- 2 (H) ANTENNA TO REPLACE (E) ANTENNA MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL)
- 3 (N) RRUS UNIT MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL)
- 4 (N) RAYCAP UNIT MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN
- 5 (E) ANTENNA MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN, TYPICAL
- 6 (E) ANTENNA SUPPORT FRAME INSIDE FAUX WATER TANK ANTENNA SCREEN, TYPICAL



EXISTING ANTENNA PLAN



PROPOSED ANTENNA PLAN

NOTES

- 1. ANTENNA PLANS BASED ON DRAWINGS PROVIDED BY VERIZON CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- 2. ANTENNA SCHEDULES BASED ON RFDS DATED 12-22-14 PROVIDED BY VERIZON CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

EXISTING ANTENNA SCHEDULE						
ANTENNA NUMBER	ANTENNA MODEL	RAD CENTER	AZIMUTH	DISTANCE FOR COAX/FIBER (± 5')	RRU TYPE	TOTAL RRUS
A1	EXISTING ANTENNA				-	-
A2	ERICSSON AIR 21 B4A-B2P	33'-0"	160°	50'	-	-
A3	ANITEL BXA-80063/4CF				-	-
B1	EXISTING ANTENNA				-	-
B2	ERICSSON AIR 21 B4A-B2P	33'-0"	270°	50'	-	-
B3	ANITEL BXA-80063/4CF				-	-
C1	EXISTING ANTENNA				-	-
C2	ERICSSON AIR 21 B4A-B2P	33'-0"	65°	50'	-	-
C3	ANITEL BXA-80063/4CF				-	-

PROPOSED ANTENNA SCHEDULE						
ANTENNA NUMBER	ANTENNA MODEL	RAD CENTER	AZIMUTH	DISTANCE FOR COAX/FIBER (± 5')	RRU TYPE	TOTAL RRUS
A1	COMMSCOPE 5BNHH-1D65B	34'-0"	160°	50'	(N) RRUS-12+A2	1
A2	ERICSSON AIR 21 B4A-B2P	33'-0"			-	-
A3	ANITEL BXA-80063/4CF	33'-0"			-	-
B1	COMMSCOPE 5BNHH-1D65B	34'-0"	270°	50'	(N) RRUS-12+A2	1
B2	ERICSSON AIR 21 B4A-B2P	33'-0"			-	-
B3	ANITEL BXA-80063/4CF	33'-0"			-	-
C1	COMMSCOPE 5BNHH-1D65B	34'-0"	65°	50'	(N) RRUS-12+A2	1
C2	ERICSSON AIR 21 B4A-B2P	33'-0"			-	-
C3	ANITEL BXA-80063/4CF	33'-0"			-	-



ANTENNA PLANS

SCALE: 3/8"=40'-0" 0 120'±40' 1



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PREPARED FOR



APPROVALS

R.F. ENGINEER	DATE
PLANNING	DATE
CONSTRUCTION MANAGER	DATE
SITE ACQUISITION	DATE
VERIZON PROJECT MANAGER	DATE

SITE NAME

DOWNTOWN JULIAN (PCS)

2502 WASHINGTON STREET
 JULIAN, CALIFORNIA 91845
 SAN DIEGO COUNTY

DRAWING DATES CONSTRUCTION REVIEW (B1)
 09/15/15 100% CONSTRUCTION (B2)

SHEET TITLE

ANTENNA PLANS

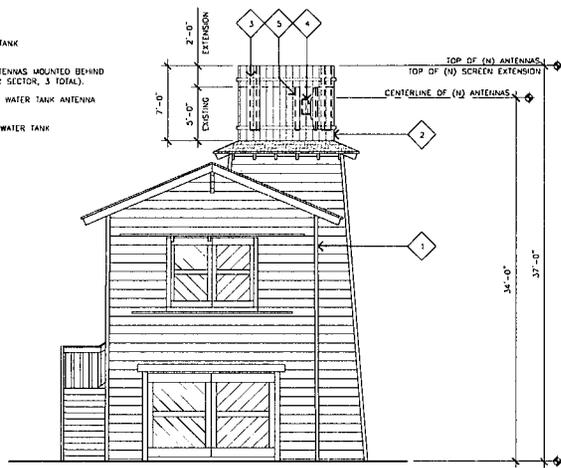
A-2

JRA NO. 152408

1-24

ELEVATION KEYNOTES

- 1 (E) V2W EQUIPMENT SUPPORT STRUCTURE.
- 2 (N) 2'-0" EXTENSION ON (E) FAUX WATER TANK ANTENNA SCREEN.
- 3 (N) V2W ANTENNA TO REPLACE (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 4 (N) V2W RRUS UNIT MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 5 (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN.

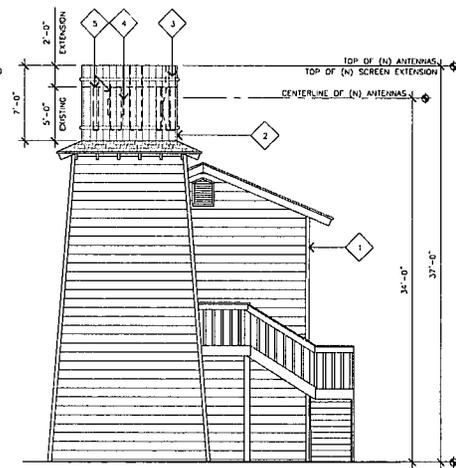


NORTHWEST ELEVATION

SCALE: 3/16"=1'-0" 4

ELEVATION KEYNOTES

- 1 (E) V2W EQUIPMENT SUPPORT STRUCTURE.
- 2 (N) 2'-0" EXTENSION ON (E) FAUX WATER TANK ANTENNA SCREEN.
- 3 (N) V2W ANTENNA TO REPLACE (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 4 (N) V2W RRUS UNIT MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 5 (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN.

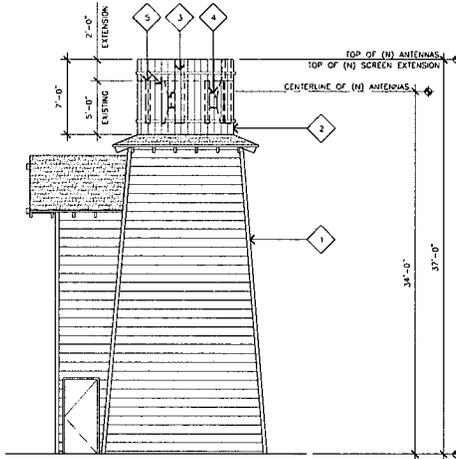


SOUTHEAST ELEVATION

SCALE: 3/16"=1'-0" 2

ELEVATION KEYNOTES

- 1 (E) V2W EQUIPMENT SUPPORT STRUCTURE.
- 2 (N) 2'-0" EXTENSION ON (E) FAUX WATER TANK ANTENNA SCREEN.
- 3 (N) V2W ANTENNA TO REPLACE (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 4 (N) V2W RRUS UNIT MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 5 (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN.

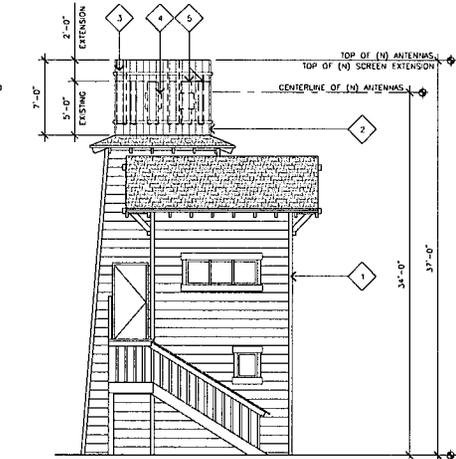


SOUTHWEST ELEVATION

SCALE: 3/16"=1'-0" 3

ELEVATION KEYNOTES

- 1 (E) V2W EQUIPMENT SUPPORT STRUCTURE.
- 2 (N) 2'-0" EXTENSION ON (E) FAUX WATER TANK ANTENNA SCREEN.
- 3 (N) V2W ANTENNA TO REPLACE (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 4 (N) V2W RRUS UNIT MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN (1 PER SECTOR, 3 TOTAL).
- 5 (E) V2W ANTENNAS MOUNTED BEHIND FAUX WATER TANK ANTENNA SCREEN.



NORTHEAST ELEVATION

SCALE: 3/16"=1'-0" 1



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PROPRIETARY INFORMATION
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PREPARED FOR



APPROVALS

R.F. ENGINEER _____ DATE _____

PLANNING _____ DATE _____

CONSTRUCTION MANAGER _____ DATE _____

SITE ACQUISITION _____ DATE _____

VERIZON PROJECT MANAGER _____ DATE _____

SITE NAME

DOWNTOWN JULIAN (PCS)

2502 WASHINGTON STREET
 JULIAN, CALIFORNIA, 91945
 SAN DIEGO COUNTY

DRAWING DATES
 09/01/15 CONSTRUCTION REVIEW (B1)
 09/15/15 100% CONSTRUCTION (B2)

SHEET TITLE

EXTERIOR ELEVATIONS

A-3

JBA RD 152408

1 - 25

RAYCAP RCMD C 33150PF-48

COLOR: GRAY
 DIMENSIONS, HxWxD: 26.7"x16.4"x11.7"
 WEIGHT: 32.0 lbs

FRONT SIDE TOP

NOT USED

SCALE: NONE 6

RAYCAP SPECIFICATIONS

SCALE: NONE 4

COMMSCOPE SBNHH-1065B

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: (72.0"x11.0"x7.1")
 WEIGHT: 40.6 lbs
 WIND LOAD: 617.7 N @ 150 km/h
 138.9 lbf @ 150 km/h

FRONT SIDE BOTTOM

(N) ANTENNA SPECIFICATIONS

SCALE: NONE 2

FAUX WATER TANK EXTENSION

SCALE: NONE 5

RRUS A2 REMOTE RADIO
 RRUS-12 B4 (2T2R 2x60W)

COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 18.5"x20.4"x7.5"
 WEIGHT: 58.0 LBS.

4-WAY DIVERSITY MODULE
 RRUS+A2 B4 (+2R)

COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 16.4"x15.1"x3.3"
 WEIGHT: 22.0 LBS.

BACK FRONT SIDE TOP

RRUS-12+A2 SPECIFICATIONS

SCALE: NONE 3

ANTENNA / RRU MOUNTING DETAIL

SCALE: NONE 1

NOTES:
 1. SEE SHEET S-1 FOR ADDITIONAL MOUNTING INFORMATION.
 2. SEE ANTENNA MANUFACTURER SPECS FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.
 3. ALL (N) ANTENNA MOUNTING PIPES SHALL BE GALVANIZED STEEL.

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PREPARED FOR
verizon wireless
 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618

APPROVALS

R.F. ENGINEER DATE
 PLANNING DATE
 CONSTRUCTION MANAGER DATE
 SITE ACQUISITION DATE
 VERIZON PROJECT MANAGER DATE

SITE NAME
DOWNTOWN JULIAN (PCS)

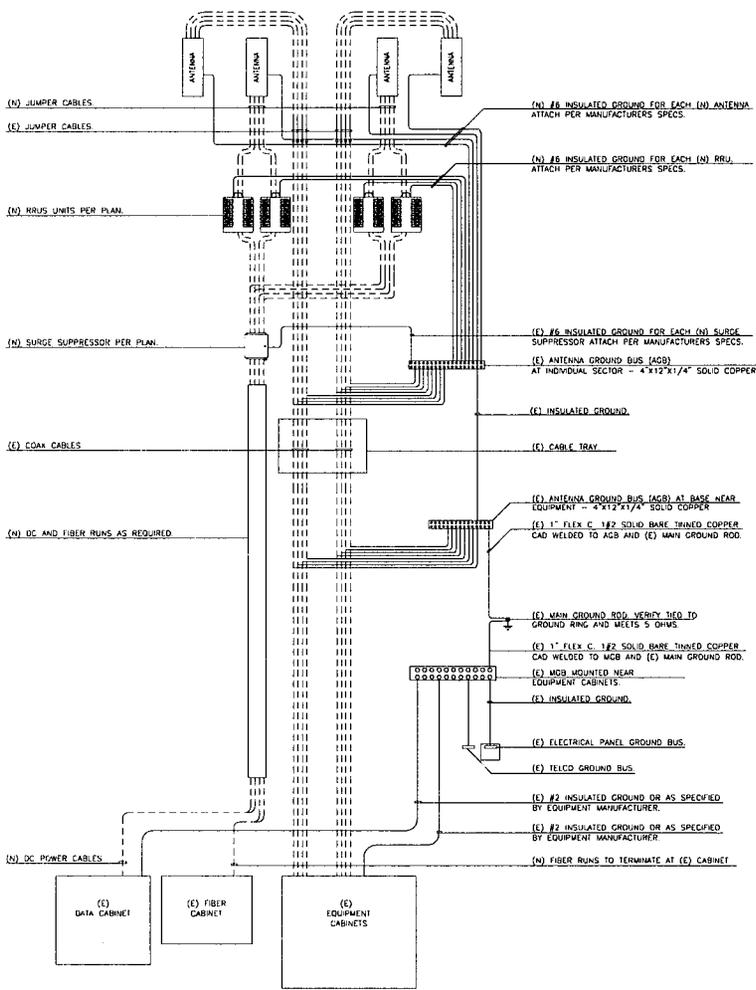
2502 WASHINGTON STREET
 JULIAN, CALIFORNIA 91945
 SAN DIEGO COUNTY

DRAWING DATES
 09/01/15 CONSTRUCTION REVIEW (B1)
 09/15/15 100% CONSTRUCTION (02)

SHEET TITLE
DETAILS

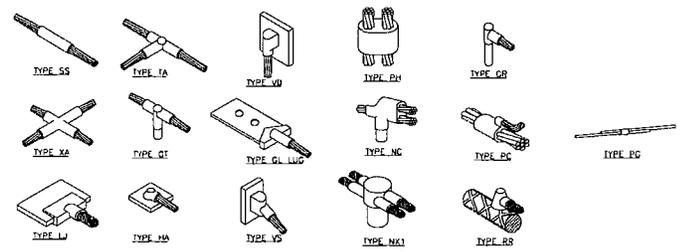
A-4

JRA NO. 152408

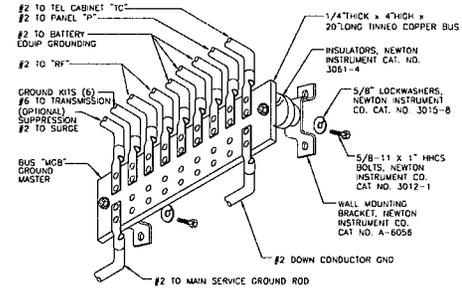


- GENERAL NOTES:**
1. SPlice GROUND CONNECTIONS
 2. FOLLOW CABLE MANUFACTURERS RECOMMENDATIONS (TYPICAL)
 3. ALL INSULATED GROUND WIRES TO BE STRANDED, AWG WIRE UNLESS NOTED OTHERWISE.
 4. THIS IS TYPICAL FOR ONE SECTOR OF ANTENNAS SEE PLANS FOR NUMBER OF SECTORS
 5. THIS IS A DIAGRAMMATIC REPRESENTATION OF THE GROUNDING & CABLING SYSTEM.

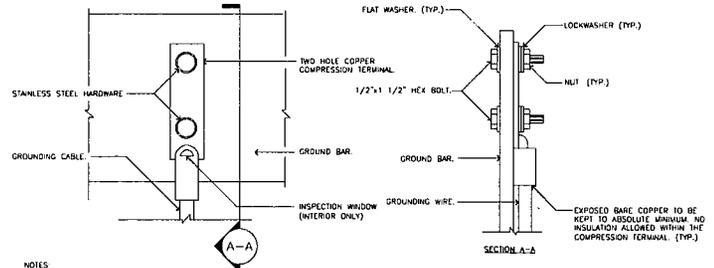
GROUNDING & CABLING SYSTEM SCHEMATIC SCALE: NONE 4



TYPICAL CADWELD TYPES SCALE: NONE 3



MASTER GROUND BUS SCALE: NONE 2



- NOTES:**
1. "DOUBLING UP" OR "BACKING" OF CONNECTIONS IS NOT PERMITTED.
 2. SODIUM INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS AND TO BE APPLIED PRIOR TO ADDING HARDWARE.

TYPICAL GROUND BAR CONNECTION SCALE: NONE 1

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PREPARED FOR
verizon wireless
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F. ENGINEER DATE
PLANNING DATE
CONSTRUCTION MANAGER DATE
SITE ACQUISITION DATE
VERIZON PROJECT MANAGER DATE

SITE NAME
DOWNTOWN JULIAN (PCS)
2502 WASHINGTON STREET
JULIAN, CALIFORNIA 91945
SAN DIEGO COUNTY

DRAWING DATES
09/01/15 CONSTRUCTION REVIEW (B1)
09/15/15 100% CONSTRUCTION (B2)

SHEET TITLE
GROUNDING SCHEMATIC AND GROUNDING DETAILS

A-5

JRA No. 152408

1-27

**Attachment B – Form of Decision
Approving PDS2015-ZAP-00-004W2**

Recording requested by and for the benefit)
of the County of San Diego, Planning &)
Development Services)
)
Return to: County of San Diego)
Planning & Development Services)
Mail Station O650)
5510 Overland Avenue, Suite 110)
San Diego, CA 92123)
Attention: Bronwyn Brown)
)

(No Transfer Tax Due)

(Above Space For Recorder's Use)

Minor Use Permit Modification PDS2015-ZAP-00-044W2
ISSUED BY COUNTY OF SAN DIEGO

The Zoning Administrator of the County of San Diego on January 21, 2016 hereby grants Minor Use Permit Modification PDS2015-ZAP-00-044W2 subject to the terms and conditions listed below, relating to that real property located in the County of San Diego, California, more particularly described as follows:

“See Exhibit A”

The Zoning Ordinance of the County of San Diego requires that this Minor Use Permit Modification be recorded with the San Diego County Recorder, and provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this Minor Use Permit Modification. (Zon. Ord. § 7019.)

The undersigned Owners of the property subject to this Minor Use Permit Modification hereby agree, for themselves and their successors, to perform and at all times comply with all terms and conditions specified herein.

OWNERS

Darrell Straube

Date:

Patrica Straube

Date:

(Attach California All Purpose Acknowledgements)



County of San Diego

MARK WARDLAW
DIRECTOR
PHONE (858) 694-2962
FAX (858) 694-2555

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
www.sdcounty.ca.gov/pds

DARREN GRETLER
ASSISTANT DIRECTOR
PHONE (858) 694-2962
FAX (858) 694-2555

August 8, 2000
~~April 4, 2013~~
January 21, 2016

PERMITEE: VERIZON WIRELESS
MINOR USE PERMIT: PDS2015-ZAP-00-044W2
E.R. NUMBER: PDS2015-ER-92-10-001B
PROPERTY: 2502 WASHINGTON STREET, JULIAN
APN: 250-090-39

DECISION OF THE ZONING ADMINISTRATOR

ZAP00-044:

GRANT, in substantial conformance with the approved plot plan and elevations, dated May 5, 2000, consisting of 3 sheets, a Minor Use Permit to authorize the location and use of a wireless communication facility consisting of nine (9) panel antennas, enclosed within a faux water tower structure approximately 35 feet in height, pursuant to Sections 1355, 2264, 5749 and 7350 et seq. of the Zoning Ordinance.

ZAP00-044W¹:

GRANT, this Minor Use Permit Modification for the installation of a 30 Kilowatt (kW) emergency back-up generator with a 150-gallon diesel fuel tank, within a sound attenuation enclosure pursuant to Sections 6985, 6986, and 7352 of the Zoning Ordinance.

Waive the Site Plan requirements pursuant to Section 5749 of the Zoning Ordinance, as all the purposes and requirements of the Site Plan has been fulfilled by this Minor Use Permit Modification and the proposed project has been reviewed and approved by the Julian Architectural Review Board and Julian Community Planning Group.

MINOR USE PERMIT MODIFICATION EXPIRATION: This Minor Use Permit Modification shall expire on **April 4, 2015**, at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Minor Use Permit Modification has commenced prior to said expiration date.

ZAP00-044W²:

This Minor Use Permit Modification to modify the existing wireless facility consists of eight sheets including plot plan, equipment plans and elevates dated October 29, 2015. This permit authorizes the increase in height of the facility from 35 feet to 37 feet and will also include the

installation of one raycap surge suppressor and three radio remote units pursuant to Sections 6985, 6986, and 7352 of the Zoning Ordinance. The project

GRANT an exception to Section 4620(g) of the Zoning Ordinance to allow the modification to the existing facility to be 37-feet in height, where 35-feet is the maximum height allowed.

Waive the Site Plan requirements pursuant to Section 5749 of the Zoning Ordinance, as all the purposes and requirements of the Site Plan has been fulfilled by this Minor Use Permit Modification and the proposed project has been reviewed and approved by the Julian Architectural Review Board and Julian Community Planning Group.

MINOR USE PERMIT MODIFICATION EXPIRATION: This Minor Use Permit Modification shall expire on **January 21, 2018**, at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Minor Use Permit Modification has commenced prior to said expiration date.

.....
SPECIFIC CONDITIONS FOR ZAP00-044:

The following conditions are imposed by the granting of this Minor Use Permit:

- A. Building permit plans must conform in detail to this approved design. Failure to conform can cause delay to or denial of building permits and required formal amendment of this approved design. No waiver of the Uniform Building Code standards or any other code is intended or implied.
- B. Prior to obtaining any building permit pursuant to this Minor Use Permit, and prior to commencement of construction or use of the property in reliance on this Minor Use permit, the applicant shall:
 - 1. Pay off all existing deficit accounts associated with the processing of this application to the satisfaction of the Department of Planning and Land Use. [CONDITION SATISFIED]
- C. Upon certification by the Director of Planning and Land Use for occupancy or establishment of use allowed by this Minor Use Permit, the following conditions shall apply:
 - 1. Facilities shall be removed when no longer in use.

SPECIFIC CONDITIONS FOR PDS2012-3401-00-044-02(ZAP00-044W¹): Compliance with the following Specific Conditions shall be established before the property can be used in reliance upon this Minor Use Permit Modification. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: (Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).

1. **COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO]**
INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid. [CONDITION SATISFIED]

2. **RECORDATION OF DECISION: [PDS], [GP, CP, BP, UO]**
INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an 'all purpose acknowledgement' and return the original Recordation Form to PDS. **DOCUMENTATION:** Signed and notarized original Recordation Form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS. [CONDITION SATISFIED]

BUILDING PERMIT: (Prior to approval of any building plan and the issuance of any building permit).

3. **NOISE REQUIREMENT: [PDS, BPPR] [BP] [PDS, FEE X1]. INTENT:** In order to reduce the impacts of the exterior sound levels from the project site on the adjacent parcels and to comply with the County of San Diego Noise Ordinance 36.404 as evaluated in the County of San Diego Noise Guidelines for Determining Significance, the following design measures shall be implemented on the building plans and in the site design. **DESCRIPTION OF REQUIREMENT:** The following design elements and noise attenuation measures shall be implemented and indicated on the building plans and made conditions of its issuance:
 - a. The proposed generator unit shall be located within a roofed generator equipment enclosure as shown on the approved plot plans and as specified within the Noise Impact Analysis prepared by Eilar Associates, dated August 2, 2012.

- b. The proposed metal door providing access to the roofed generator equipment enclosure shall be equipped with acoustical seals as specified within the Noise Impact Analysis prepared by Eilar Associates, dated August 2, 2012.

DOCUMENTATION: The applicant shall place the design elements, or notes on the building plans and submit the plans to *[PDS, Building Division Plan Pre-review (BPPR)]* for review and approval. **TIMING:** Prior to issuance of any building permit, the design elements and noise attenuation measures shall be incorporated into the building plans. **MONITORING:** The *[PDS, BPPR]* shall verify that the specific note(s), and design elements, and noise attenuation measures have been placed on all sets of the building plans and made conditions of its issuance. [CONDITION SATISFIED]

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

4. SITE PLAN IMPLEMENTATION: [PDS, BI] [UO] [DPR, TC, PP].

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes, but is not limited to: installing all required design features and landscaping, painting all structures with the approved colors, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The *[PDS, Building Inspector]* and DPR [TC, PP] shall inspect the site for compliance with the approved Building Plans. [CONDITION SATISFIED]

5. PHOTO SIMULATION: [PDS, PCC] [UO, FG] [PDS, FEE]

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photo-simulations. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved photo-simulations to ensure that the site was built to be screened from public view. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the *[PDS, PCC]* for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The *[PDS, PCC]* shall review the provided photos for compliance with this condition and compliance with the photo-simulations. [CONDITION SATISFIED]

6. NOISE CONTROL DESIGN MEASURES: [PDS, BPPR] [PDS, PCC [BP] [PDS FEE X1]

INTENT: In order to reduce the impacts of the exterior sound levels from the project site on the adjacent parcels and to comply with the County of San Diego Noise Ordinance 36.404 as evaluated in the County of San Diego Noise Guidelines for Determining Significance, the following design measures shall be verified that they are

constructed. **DESCRIPTION OF REQUIREMENT:** The following noise control design measure(s) shall be constructed pursuant to the approved building plans:

- a. The proposed generator unit shall be located within a roofed generator enclosure as shown on the approved plot plans and as specified within the Noise Impact Analysis prepared by Eilar Associates, dated August 2, 2012.
- b. The proposed metal door providing access to the roofed generator equipment enclosure shall be equipped with acoustical seals as specified within the Noise Impact Analysis prepared by Eilar Associates, dated August 2, 2012.

TIMING: Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the noise control measure shall be installed and operational.

MONITORING: The [PDS, BI] shall verify that the noise control measures above have been constructed pursuant to the approved building plans and this permit's conditions. [CONDITION SATISFIED]

7. ACOUSTICAL CERTIFICATION: [PDS, BPPR] [PDS, PCC] [BP] [PDS FEE X 1]:

INTENT: In order to verify the impact of noise generated from the generator unit on the project site on the adjacent parcels and to comply with the County of San Diego Noise Ordinance 36.404 as evaluated in the County of San Diego Noise Guidelines for Determining Significance. **DESCRIPTION OF REQUIREMENT:** A noise certification test shall be prepared by a County-Approved Acoustical Consultant that evaluates the compliance of the generator unit within the sound house enclosure. The generator sound house design shall demonstrate compliance with County property line noise limits at the project property line (or worst-case location). **DOCUMENTATION:** The applicant shall provide the noise certification test to the [PDS, PCC] for review and approval. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit for the generator sound house design. **MONITORING:** The [PDS, PCC] shall review the noise study for adequacy. Upon approval of the noise study by [PDS, PCC], the [PDS, BPPR], shall review the building plans to ensure that the design elements approved in the acoustical study are incorporated. [CONDITION SATISFIED]

8. HEALTH AND SAFETY PLAN: [DEH, HMD] [UO, FG]

INTENT: In order to protect workers from hazardous chemicals and to notify the public of potential hazardous chemicals and substances and to comply with the California Health and Safety Code, Chapter 6.95, a hazardous materials Business plan shall be prepared and implemented. **DESCRIPTION OF REQUIREMENT:** A Health and Safety Plan, and Hazardous Materials Business Plan that outlines worker safety and personal protection equipment appropriate for the chemicals of concern (i.e., TPH, VOCs, arsenic and lead) and the construction activities planned for the site regarding all on-site storage, handling, and disposal of potentially hazardous substances, such as ground fuel storage and contaminated soil storage. The plan shall be approved by [DEH, HMD]. **DOCUMENTATION:** The applicant shall provide copies of the Health and Safety Plan, and Hazardous Materials Business Plan to [DEH, HMD] for review and approval. Evidence shall be in the form of a letter from the county of San Diego, Department of Environmental Health, Hazardous Materials Division, stating that the appropriate Department of Environmental Health, State and/or Federal permits are

being pursued or have been obtained or that no further permits are required. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Health and Safety Plan, and Hazardous Materials Business Plan shall be prepared, approved and implemented. **MONITORING:** [DEH, HMD] shall verify and approve the Health and Safety Plan, and Hazardous Materials Business Plan for compliance with this condition. [CONDITION SATISFIED]

ONGOING: (Upon establishment of use the following conditions shall apply during the term of this permit).

9. SITE CONFORMANCE: [PDS, PCO] [OG] [DPR, TC, PP].

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes, but is not limited to maintaining the following: watering all landscaping at all times and painting all necessary aesthetics design features. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

10. SITE CONFORMANCE: [PDS, PCO] [OG].

INTENT: In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility, landscaping, and associated equipment shelter, as depicted in the approved photo simulations.
- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the

final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

DOCUMENTATION: The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

SPECIFIC CONDITIONS FOR PDS2015-ZAP-00-044W2: Compliance with the following Specific Conditions shall be established before the property can be used in reliance upon this Minor Use Permit Modification. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

SUMMARY OF CONDITIONS		
Any Permit		
Item #	Condition Title	Decision Page #
1	General#1 – Cost Recovery	7
2	General#2 – Recordation of Decision	8
Occupancy		
3	Roads#1 – Sight Distance	8
4	General#3 – Inspection Fee	9
5	Hazards#1 –Health and Safety Plan	9
6	Planning #1 – Photo Simulation	9
7	Planning#2 – Site Plan Implementation	9
Ongoing		
8	Planning#3 – Site Conformance	10
9	Planning#4 –Site Conformance (Cellular Facilities)	10

ANY PERMIT: (Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).

1. GEN#1–COST RECOVERY

INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide evidence to Planning & Development Services, Zoning Counter, which shows that all fees and trust account deficits have been paid. No permit can be issued if there are deficit trust accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in

reliance of this permit, all fees and trust account deficits shall be paid. **MONITORING:** The PDS Zoning Counter shall verify that all fees and trust account deficits have been paid.

2. GEN#2-RECORDATION OF DECISION

INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an 'all purpose acknowledgement' and return the original recordation form to PDS. **DOCUMENTATION:** Signed and notarized original recordation form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

OCCUPANCY: (Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).

3. ROADS#1-SIGHT DISTANCE: [PDS LD, LDR] [UO]

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Table 5, Section 6.1 of the County of San Diego Public Road Standards, an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor shall provide a certified signed statement that: "There is _____ feet of unobstructed intersectional sight distance in both directions along Washington Street and Second Street from the project driveway opening in accordance with the methodology described in Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of _____ as described in Table 5 based on a speed of _____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."
- b. If the lines of sight fall within the existing public road right-of-way, the engineer or surveyor shall further certify: "Said lines of sight fall within the existing right-of-way and a clear space easement is not required."

DOCUMENTATION: The applicant shall complete the certifications and submit them to the [PDS, LDR] for review. **TIMING:** Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight

distance certifications.

4. **GEN#3-INSPECTION FEE**

Intent: In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the [PDS, ZC] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [PDS, PCC]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, ZC] shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

5. **HAZ#1-HEALTH AND SAFETY PLAN**

INTENT: In order to protect workers from hazardous chemicals and to notify the public of potential hazardous chemicals and substances and to comply with the California Health and Safety Code, Chapter 6.95, the applicant shall receive approval from the Department of Environmental Health. **DESCRIPTION OF REQUIREMENT:** The applicant of the facility shall obtain all necessary permits for the storage, handling, and disposal of the hazardous materials as required by the Department of Environmental Health-Hazardous materials Division. The plan shall be approved by [DEH, HMD]. The Hazardous Materials Division, Plan Check section, contact is Joan Swanson, (619) 726-5770 or by email at joan.swanson@sdcounty.ca.gov. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Health and Safety Plan, and Hazardous Materials Business Plan shall be prepared, approved and implemented. **MONITORING:** [DEH, HMD] shall verify and approve all compliance with this condition.

6. **PLN#1-PHOTO-SIMULATION [PDS, FEE]**

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photo-simulations. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved plot plans and photo-simulations received dated October 29 2015 to ensure that the site was built to be screened from public view. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the photos and photo-simulations for compliance with this condition.

7. **PLN#2-SITE PLAN IMPLEMENTATION**

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes, but is not limited to: installing all required design features, protecting existing water fountain structure, painting all

structures with the approved colors, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. Any interior changes to approved telecommunication equipment that are located entirely within the approved enclosed equipment building and cannot be seen by an adjacent residence, parcel or roadway, shall not require modification or deviation of the permit. Expansion of the existing approved equipment building and/or addition of noise generating equipment would require either Modification or Deviation. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, BI] shall inspect the site for compliance with the approved Building Plans

ONGOING: (Upon establishment of use the following conditions shall apply during the term of this permit).

8. **PLN#3–SITE CONFORMANCE**

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved building plans, and plot plans. This includes, but is not limited to maintaining the following: painting all necessary aesthetics design features, and all lighting wall/fencing. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **Documentation:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a deviation or a modification pursuant to the County of San Diego Zoning Ordinance. Any interior changes to approved telecommunications equipment that are located entirely within the approved enclosed equipment building that cannot be seen by an adjacent residence, parcel or roadway, shall not require modification or deviation of the permit. Expansion of the existing approved equipment building and/or addition of noise generating equipment would require a modification or deviation. **Timing:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **Monitoring:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

11. **PLN#4–SITE CONFORMANCE**

INTENT: In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility and associated equipment enclosure, as depicted in the approved photo-simulations dated October 29, 2015. Any interior changes to approved telecommunications equipment that are located entirely within the approved enclosed equipment building, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of PDS (expansion of

the existing approved equipment building and/or addition of noise generating equipment would require either Modification or Deviation of the permit).

- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator’s contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. The facility shall not interfere with the Regional Communication System. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

DOCUMENTATION: The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

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ZAP00-044 MINOR USE PERMIT FINDINGS

a. That the location, size, design, and operating characteristics of the proposed use would be compatible with adjacent uses, residents, buildings, or structures, with consideration given to:

- 1. Harmony in scale, bulk, coverage, and density

Scale and Bulk: The cellular facility will consist of nine panel antennas, approximately one foot wide by four feet long enclosed within a faux water tower. The supporting facility equipment will also be within the water tower structure. The tower footprint is approximately 300 square feet in size with a height of 35 feet. The tower will be designed to be consistent with the Julian Historic District guidelines and will match the existing approved buildings on the site. The area immediately surrounding the project consist of residential land uses to the east, a mix of residential and commercial to the south and west and open area to the north. The subject property includes the existing Orchard Hill County Inn lodge-resort. Approximately 13,500 square feet of building area exists on the site

consisting of seven individual buildings ranging in size from 1,000 to 6,500 square feet. When compared to the existing structures on the site as well as structures located off-site on surrounding properties the proposed cellular facility is consistent with adjacent uses in terms of scale and bulk.

Coverage: An existing lodge-resort on the property consists of individual buildings totaling 13,500 square feet in size on a 2.79 acre lot. The subject site is located north of Main Street and within the Julian Historic District that consists primarily of properties with buildings on small lots. The cellular facility will be housed within a 300 square foot faux water tower structure. The addition of the water tower structure will add less than one percent coverage to the site. Considering the size of the subject lot the size of the existing structures on the property, and the coverage characteristics of surrounding properties, the addition of the communication facility will be consistent in terms of coverage and compatible with adjacent uses.

Density: The project will not result in any additional residential density on site because the proposed use is non-residential in scope. Therefore, since the existing density will not be altered by the proposed use, the adjacent residential density will not be materially altered.

2. The availability of public facilities, services, and utilities;

The site has existing facilities for access and utility services. The County Department of Planning and Land Use has adopted Policy FP 2, the County of San Diego Cellular Facilities Standards for Fire Protection. These standards establish standard criteria for cellular providers for requirements such as site access and fire clearing. DPLU review of the standards has shown that the project does comply with Policy FP-2. Therefore, the project will not have an adverse impact on public facilities, services or utilities and will be compatible with adjacent uses.

3. The harmful effect, if any, upon desirable neighborhood character;

Surrounding land uses consist of residential uses to the east, commercial/residential uses to the south and west and vacant park land to the north. The proposed cellular facility will be enclosed within a faux water tower structure that will be designed consistent with the Julian Historic District Design Guidelines and will match the existing lodge and transient habitation buildings on the site. The tower is located adjacent to the top of slope that is vegetated with mature landscaping. Since the communication facility will be hidden within a structure that will be consistent with the surrounding community character and since the structure is located in an area that is screened from most surrounding properties, the project will not cause a harmful effect upon the desirable neighborhood character of the area.

4. The generation of traffic and the capacity and physical character of surrounding streets;

Access to the site is provided by a paved road that serves the subject property and lodge use. It is anticipated that the periodic maintenance of the facility would require no more than one site visit a month. The proposed minor use permit is the area because the number of maintenance trips will not substantially alter the expected traffic or physical character of the surrounding streets and will be compatible with adjacent uses.

5. The suitability of the site for the type and intensity of use or development which is proposed; and to

The proposed facility is located on a parcel 2.79 acres in size that has been developed with access and utility services, which are adequate to serve the proposed use. The cellular facility site is located on flat disturbed ground. The installation of new structures will not require any significant alteration of the existing landform. For reasons stated above, the proposed project will be compatible with adjacent uses.

6. Any other relevant impact of the proposed use; and

None.

- b. That the impacts, as described in Paragraph "a" of this section and the location of the proposed use will be consistent with the San Diego County General Plan.

A review of the San Diego County General Plan determined that the proposed project is consistent with the applicable policies because the Regional Land Use Element (7) Residential Use Designation allows and anticipates commercial uses supporting residential uses and the Public Safety Element policies encourage the continual improvement of a County-wide telephone communications system. The proposed facility improves the service capability for a consumer-oriented communications company.

- c. That the requirements of the California Environmental Quality Act have been complied with.

The project has been found to be exempt from environmental review under Section 15303 of the State of California Environmental Quality Act Guidelines, because the project consists of the installation of small new equipment and facilities in structures. The project is not visible from a Scenic Highway and will not result in any impact to sensitive environmental resources, including historical and cultural resources.

PDS2012-3401-00-044-02 (ZAP00-044W¹) MINOR USE PERMIT MODIFICATION FINDINGS

Pursuant to Section 7358 of The Zoning Ordinance, the following findings in support of the granting of the Minor Use Permit Modification are made:

(a) *The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to*

1. *Harmony in scale, bulk, coverage, and density*

The project is a Minor Use Permit Modification to allow the installation of an emergency back-up generator and diesel fuel tank to an existing unmanned wireless telecommunication facility. The existing facility consists of nine panel antennas enclosed within a faux water tower structure approximately 35 feet in height, and an associated equipment shelter. The proposed modification would include a 30 Kilowatt (kW) emergency back-up generator with a 150-gallon diesel fuel tank. The generator would be placed inside a new sound attenuation enclosure, to be designed to match the surrounding structures. Existing mature landscaping would provide additional buffering and screening. Also, a five foot wide utility easement, including minimal trenching, is to connect the proposed emergency back-up generator to the existing Verizon lease area for telco and power supply.

Scale and Bulk:

Photo-simulations on file with Minor Use Permit Modification PDS2012-3401-00-044-02(ZAP00-044W¹) (Attachment F) illustrate that the proposed project would be unobtrusive to the surrounding viewshed. The proposed sound attenuation enclosure would include wood siding, shingle pitched roof, and painted to match the adjacent buildings. In addition, it would have limited view from the surrounding roadways because it would be screened by existing mature vegetation. The proposed structure would be designed to be architecturally consistent with the surrounding structures. The project is compatible with adjacent uses in terms of scale and bulk because of its low profile, and the existence of other accessory structures in the vicinity.

Coverage:

The subject parcel is 2.8 acres in size. Surrounding land uses consist of single family residences, commercial uses and vacant lands. The project is located on a parcel that is developed with a single family residence and a wireless telecommunication facility. The lease area for the generator enclosure would total approximately 130 square feet (less than 1% lot coverage). Due to the small scale of the facility, the addition of a structure to house an emergency back-up generator would maintain similar coverage with surrounding parcels.

Density:

The project is a Minor Use Permit Modification to authorize the installation of an emergency back-up generator and diesel fuel tank to an existing wireless

telecommunication facility and does not have any residential component subject to density.

2. *The availability of public facilities, services, and utilities*

The project is located within the Julian-Cuyamaca Fire Protection District. The project site meets fire code requirements with paved access, a water supply and vegetation modification plan in place; therefore policy FP-2 does not need to be applied. The project would not require sewer service. Electrical and telephone services are available on-site. All required utilities are therefore available for the project.

3. *The harmful effect, if any, upon desirable neighborhood character:*

The project is a Minor Use Permit Modification to allow the installation of an emergency back-up generator and diesel fuel tank for an existing wireless telecommunication facility. The proposed generator would be placed within a 10-foot tall sound attenuation enclosure. The sound attenuation enclosure would be decorated with wood sidings, shingle pitched roof, and painted to match the existing buildings in the surroundings. The project would not adversely affect the desirable neighborhood character because of its low profile, and the existence of other accessory structures in the vicinity. Photo-simulations on file with Minor Use Permit Modification PDS2012-3401-00-044-02(ZAP00-044W¹) illustrate that the line, form, and color of the facility would be largely consistent with other elements that make up the visual setting of the area, and is visually unobtrusive to the surrounding viewshed. Additionally, existing mature landscaping would provide screening for the proposed structure. Furthermore, the project was reviewed for potential noise impacts and is conditioned to be consistent with the County Noise Ordinance. The project, as designed, would not cause any substantial, demonstrable negative aesthetic effect to views from the surrounding area and roadways. Therefore, the project would not have a harmful effect on the neighborhood character.

4. *The generation of traffic and the capacity and physical character of surrounding streets:*

The traffic generated from the project is expected to remain as one to two maintenance trips per month as identified in ZAP00-044, and would utilize Second Street and Washington Street, public roads, for access. Existing parking is available on the property.

5. *The suitability of the site for the type and intensity of use or development, which is proposed:*

The project is a Minor Use Permit Modification to allow the installation of an emergency back-up generator and diesel fuel tank for an existing wireless telecommunication facility. The subject property is 2.8 acres in size and is developed with access and utility services adequate to serve the proposed use.

The installation of an emergency back-up generator and diesel fuel tank would not require significant alteration to the land form. The project, as designed, would be unobtrusive and would not change the characteristics of the area and is suitable for this site and the type and intensity of uses and development. For reasons stated above, the project would be compatible with adjacent uses.

6. *Any other relevant impact of the proposed use:*

None identified.

(b) *The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan:*

The project is subject to the Village Residential (VR-7.3) General Plan Land Use Designation, and Julian Community Plan. The project complies with the General Plan because the proposed project is designed to minimize impacts to visual resources and the natural environment, and is compatible with the existing development and community character.

(c) *That the requirements of the California Environmental Quality Act have been complied with:*

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA). A Notice of Exemption dated September 12, 2012, was prepared and is on file with Planning & Development Services as Environmental Review Number PDS2012-3910-9210001C.

PDS2015-ZAP-00-044W2 MINOR USE PERMIT MODIFICATION FINDINGS

Pursuant to Section 7358 of The Zoning Ordinance, the following findings in support of the granting of the Minor Use Permit Modification are made:

(a) *The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to*

1. *Harmony in scale, bulk, coverage, and density*

The project is a Minor Use Permit Modification request to modify the existing wireless facility by increasing the height of the faux elevated water tank from 35 feet to 37 feet. The increase in height is required to fit the new antennas. The two foot increase to the antenna screen will match the existing structure. Additionally, the project will also include the installation of one raycap surge suppressor near the new antennas and install three radio remote units behind the new antennas. The property is developed with a lodge and the existing wireless telecommunication facility, which consists of nine panel antennas, enclosed within a 35-foot faux water tower structure, an equipment enclosure and a 30 Kilowatt (kW) emergency back-up generator with an internal 150-gallon diesel fuel tank placed within a 10 foot high

sound attenuated equipment enclosure. The site is 2.8 acres, and the leased area for the project is approximately 449 square feet.

Scale and Bulk:

Photo-simulations on file with Minor Use Permit Modification PDS2015-ZAP-00-044W2) (Attachment F) illustrate that the proposed project would continue to blend in with the visual setting in the vicinity because the changes to the faux elevated water tank would be minimal with an increase in height from 35 feet to 37 feet and would not be unobtrusive to the surrounding viewshed. The proposed height increase of the faux elevated water tank is two feet and will match the existing faux elevated water tank design that is consistent with the Julian Historic District Design Guidelines. As seen in the photo-simulations the two-foot addition will match the existing lodge and transient habitation buildings on the site. The faux elevated water tank is located adjacent to the top of slope that is vegetated with mature landscaping. The project would be compatible with adjacent land uses because of the stealth design that will be consistent with the surrounding community character and since the structure is located in an area that is screened from most surrounding properties, the project will not cause a harmful effect upon the desirable neighborhood character of the area. In addition, the proposed equipment enclosure would not be visible from Main Street or SR-78, a designated County Scenic Highway.

Coverage:

Surrounding land uses consist of residential uses to the east, commercial/residential uses to the south and west and vacant park land to the north. The project is located on a parcel that is developed with a single family residence and a wireless telecommunication facility. An existing lodge on the property consists of individual buildings totaling 13, 500 square feet on a 2.79-acre lot. The subject site is located north of Main Street and within the Julian Historic District that consists primary of properties with buildings on small lots. The existing wireless facility is housed within a 300-square foot faux water tank structure and the lease area for the generator enclosure would total approximately 130 square feet which is less than one percent coverage to the site. Considering the size of the subject lot the size of the existing structures on the property, and the coverage characteristics of surrounding properties, the additional height of the faux elevated water tank from 35 feet to 37 feet will not increase the coverage area for the wireless facility and will be consistent in terms of coverage and compatible with adjacent uses.

Density:

The project is a Minor Use Permit Modification to modify the existing wireless facility by increasing the height of the faux elevated water tank from 35 feet to 37 feet and does not have any residential component subject to density.

2. *The availability of public facilities, services, and utilities*

The project is located within the Julian-Cuyamaca Fire Protection District. The project site meets fire code requirements with paved access, a water supply and vegetation modification plan in place; therefore policy FP-2 does not need to be applied. The project would not require sewer service. Electrical and telephone services are available on-site. All required utilities are therefore available for the project.

3. *The harmful effect, if any, upon desirable neighborhood character:*

The project is a Minor Use Permit Modification request to modify the existing wireless facility by increasing the height of the faux elevated water tank from 35 feet to 37 feet. The increase in height is required to fit the new antennas. Additionally, the project will also include the installation of one raycap surge suppressor near the new antennas and install three radio remote units behind the new antennas.

The increase in height of the faux elevated water tank is proposed to be two feet and it has been designed to be consistent with the Julian Historic District Design Guidelines. The two-foot addition to the faux elevated water tank will match the existing lodge and transient habitation buildings on the site. The existing faux elevated water tank is located adjacent to the top of slope that is vegetated with mature landscaping. Photosimulations on file with this Minor Use Permit Modification illustrate that As seen in the photosimulations, the proposed two-foot addition to the faux elevated water tank would have a weathered wood texture to appear rustic that matches the existing structure. The line, form, and color of the two-foot addition to the facility would be consistent with the other elements that make up the visual setting of the area as water tanks are common in rural residential areas like Julian. The existing faux elevated water tank is approximately 670 feet from SR-78; however, the view from SR-78 would be limited because it would be screened by the mature vegetation and the view of the faux elevated water tank would be blocked by existing buildings in the vicinity. The project, as designed, would not cause any substantial, demonstrable negative aesthetic effect to views from the surrounding area and roadways. Therefore, the project would not have a harmful effect on the neighborhood character.

4. *The generation of traffic and the capacity and physical character of surrounding streets:*

The traffic generated from the project is expected to remain as one to two maintenance trips per month as identified in ZAP00-044, and would utilize Second Street and Washington Street, public roads, for access. Existing parking is available on the property.

5. The suitability of the site for the type and intensity of use or development, which is proposed:

The project is a Minor Use Permit Modification to modify the existing wireless facility by increasing the height of the faux elevated water tank from 35 feet to 37 feet. The subject property is 2.8 acres and is developed with access and utility services adequate to serve the proposed use. The purpose of the two-foot addition to the faux elevated tank is to replace three existing antennas with new models that are taller. This modification would not require significant alteration to the land form. The project, as designed, would be unobtrusive and would not change the characteristics of the area and is suitable for this site and the type and intensity of uses and development. For reasons stated above, the project would be compatible with adjacent uses.

6. Any other relevant impact of the proposed use:

None identified.

(b) The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan:

The project is subject to the Village Residential (VR-7.3) General Plan Land Use Designation, and Julian Community Plan. The project complies with the General Plan because the proposed project is designed to minimize impacts to visual resources and the natural environment, and is compatible with the existing development and community character.

(c) That the requirements of the California Environmental Quality Act have been complied with:

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA). A Notice of Exemption dated January 21, 2016, was prepared and is on file with Planning & Development Services as Environmental Review Number PDS2015-ER-92-10-001B.

.....
ORDINANCE COMPLIANCE AND NOTICES: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

NOISE ORDINANCE COMPLIANCE: In order to comply with the County Noise Ordinance 36.401 et seq. and the Noise Standards pursuant to the General Plan Noise Element (Policy 4.b), the property and all of its uses shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. No loudspeaker or sound amplification system shall be used to produce sounds in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to

change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and County Watershed Protection Ordinance (WPO) No.10385 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification requirements, materials and wastes control, erosion control, and sediment control on the project site. Projects require that the property owner keep additional and updated information onsite concerning stormwater runoff. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

[http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED PROTECTION PROGRAM/susmppdf/lid_handbook_2014sm.pdf](http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf)

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below

<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

CONSTRUCTION/IMPROVEMENT PERMIT: A Construction Permit is required for any and all work within the County road right-of-way. Contact DPW Construction/Road right-of-way Permits Services Section, (858) 694-3284, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to County TIF Ordinance number 77.201 – 77.223. The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or

it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, Land Development Counter] and provide a copy of the receipt to the [PDS, Building Division Technician] at time of permit issuance.

COMPLIANCE INSPECTION: In order to comply with Zoning Ordinance Section 7362.e the County shall inspect the Use Permit property for compliance with the terms of this Use Permit. The County Permit Compliance Officer will perform a site inspection and review the on-going conditions associated with this permit. The inspection shall be scheduled no later than the six months subsequent to establishing the intended use of the permit. If the County determines the applicant is not complying with the Minor Use Permit terms and conditions the applicant shall allow the County to conduct follow up inspections more frequently than once every twelve months until the County determines the applicant is in compliance. The Property Owner/Permitee shall allow the County to inspect the property for which the Minor Use Permit has been granted, at least once every twelve months, to determine if the Property Owner/Permitee is complying with all terms and conditions of the Use Permit. This requirement shall apply during the term of this permit.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		

Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Zoning Administrator, this decision may be appealed to the County Planning Commission in accordance with Section 7366 of the County Zoning Ordinance. An appeal shall be filed with the Director of Planning & Development Services or by mail with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Zoning Administrator until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

PLANNING & DEVELOPMENT SERVICES
 MARK WARDLAW, DIRECTOR

By:
 Joe Farace
 Zoning Administrator

cc: Orchard Hill LLC, P.O. Box 1243, Julian, CA 92036
 Jeffrey Rome & Associates, 131 Innovation Drive, #100, Irvine, CA. 92617

email cc:
 Ken Brazell, Land Development, Team Leader, Planning & Development Services
 Mark Slovick, Planning Manager, Planning & Development Services
tom@tsiconsultinginc.com
 Julian Community Planning Group
 Julian Architectural Review Board

Attachment C –Environmental Documentation

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
Attn: Jennifer Samuela
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. O650
Attn: Project Planning Division Section Secretary

SUBJECT: **FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152**

Project Name: Verizon Downtown Julian Wireless Minor Use Permit Modification; PDS2015-ZAP00-044W2

Project Location: 2502 Washington Street, Julian, CA 92036 (APN: 250-090-39-00)

Project Applicant: Tom Johnson, TSJ Consulting for Verizon Wireless, 31870 Del Obispo St. #118-454, San Juan Capistrano, CA 92675, Telephone Number: (925) 785-3727

Project Description: The applicant proposes a Minor Use Permit Modification to modify the existing wireless facility by increasing the height of the faux elevated water tank from 35 feet to 37 feet. The purpose for the increase in height is to replace three existing antennas with new models and in order to complete this replacement; a two foot increase in height will be required for the faux water tank structure as the new antennas do not fit within the existing faux water tank. Additionally, the project will also include the installation of one raycap surge suppressor near the new antennas and install three radio remote units behind the new antennas. The project is subject to the Rural-Village General Plan Land Use Designation (VR-7.3), and is zoned Residential Commercial (RC) which permits Wireless Telecommunication Facilities under the Tier 3 Classification with the approval of a ZAP pursuant to Section 6985.A of the Zoning Ordinance.

Agency Approving Project: County of San Diego

County Contact Person: Bronwyn Brown Telephone: 858.495.5516

Date Form Completed: January 21, 2016

This is to advise that the County of San Diego Zoning Administrator has approved the above described project on January 21, 2016, and found the project to be exempt from the CEQA under the following criteria:

Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)

- Declared Emergency [C 21080(b)(3); G 15269(a)]
- Emergency Project [C 21080(b)(4); G 15269(b)(c)]
- Statutory Exemption. C Section:
- Categorical Exemption. G Section: 15303
- G 15182 – Residential Projects Pursuant to a Specific Plan
- Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
- G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.

Statement of reasons why project is exempt: Pursuant to Section 15303 of the State California Environmental Quality Act Guidelines, the project is exempt from CEQA because it is an unmanned wireless telecommunications facility that involves the installation of Small, New Equipment and Facilities in Small Structures. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: _____ Telephone: (858) 495-5516

Name (Print): Bronwyn Brown Title: Land Use & Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.

**REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH
ORDINANCES/POLICIES**

**FOR PURPOSES OF CONSIDERATION OF
PDS2015-ZAP00-044W2 VERIZON DOWNTOWN JULIAN MINOR USE PERMIT
MODIFICATION**

January 21, 2016

I. HABITAT LOSS PERMIT ORDINANCE – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES NO NOT APPLICABLE/EXEMPT

While the proposed project and off-site improvements are located outside of the boundaries of the Multiple Species Conservation Program, the project site and locations of any off-site improvements do not contain habitats subject to the Habitat Loss Permit/Coastal Sage Scrub Ordinance. Therefore, conformance to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings is not required.

II. MSCP/BMO - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES NO NOT APPLICABLE/EXEMPT

The proposed project and any off-site improvements related to the proposed project are located outside of the boundaries of the Multiple Species Conservation Program. Therefore, conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance is not required.

III. GROUNDWATER ORDINANCE - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES NO NOT APPLICABLE/EXEMPT

The project is for an unmanned wireless telecommunications facility and will not use any groundwater for any purpose, including irrigation or domestic supply.

IV. RESOURCE PROTECTION ORDINANCE - Does the project comply with:

The wetland and wetland buffer regulations YES NO NOT APPLICABLE/EXEMPT

(Section 86.604(a) and (b)) of the Resource Protection Ordinance?

The Floodways and Floodplain Fringe section (Section 86.604(c) and (d)) of the Resource Protection Ordinance?

YES NO NOT APPLICABLE/EXEMPT

The Steep Slope section (Section 86.604(e)(2)(iii))?

YES NO NOT APPLICABLE/EXEMPT

The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?

YES NO NOT APPLICABLE/EXEMPT

The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?

YES NO NOT APPLICABLE/EXEMPT

Pursuant to Section 86.603 (a) of the Resource Protection Ordinance (RPO), Minor Use Permits and Minor Use Permit Modifications are not subject to the RPO. Therefore, the RPO is not applicable to this project.

V. STORMWATER ORDINANCE (WPO) - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES NO NOT APPLICABLE

The project SWMP is in compliance with Ordinance No. 10385 for the requirements of the WPO and the SUSMP.

VI. NOISE ORDINANCE – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES NO NOT APPLICABLE

The proposal would not expose people to nor generate potentially significant noise levels which exceed the allowable limits of the County of San Diego Noise Element of the General Plan, County of San Diego Noise Ordinance, and other applicable local, State, and Federal noise control regulations.

Attachment D – Environmental Findings

**VERIZON DOWNTOWN JULIAN MINOR USE
PERMIT MODIFICATION
PDS2015-ZAP-00-044W2
ENVIRONMENTAL LOG NO: PDS2015-ZAP-00-044W2**

ENVIRONMENTAL FINDINGS

January 21, 2016

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines section 15303 for the reasons stated in the Notice of Exemption.
2. Find that the proposed project is consistent with the Resource Protection Ordinance (County Code, section 86.601 et seq.).
3. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).

Attachment E – Photo-Simulations



TECTONIC

Practical Solutions, Exceptional Service

Downtown Julian
2502 Washington Street
Julian, California 91945

PHOTO
LOG
7450.29



1 - 60

TECTONIC

Practical Solutions, Exceptional Service

Looking southeast from the parking lot of 2502 Washington Street.
Proposed upgrade will be concealed inside the faux water tank.

NOT TO SCALE – RENDERINGS ARE FOR DISCUSSION PURPOSES ONLY

P-1

7450.29



1 - 61

TECTONIC

Practical Solutions, Exceptional Service

Looking southeast from the parking lot of 2502 Washington Street.
Proposed upgrade is concealed inside the faux water tank.

NOT TO SCALE – RENDERINGS ARE FOR DISCUSSION PURPOSES ONLY

S-1

7450.29



1 - 62

TECTONIC

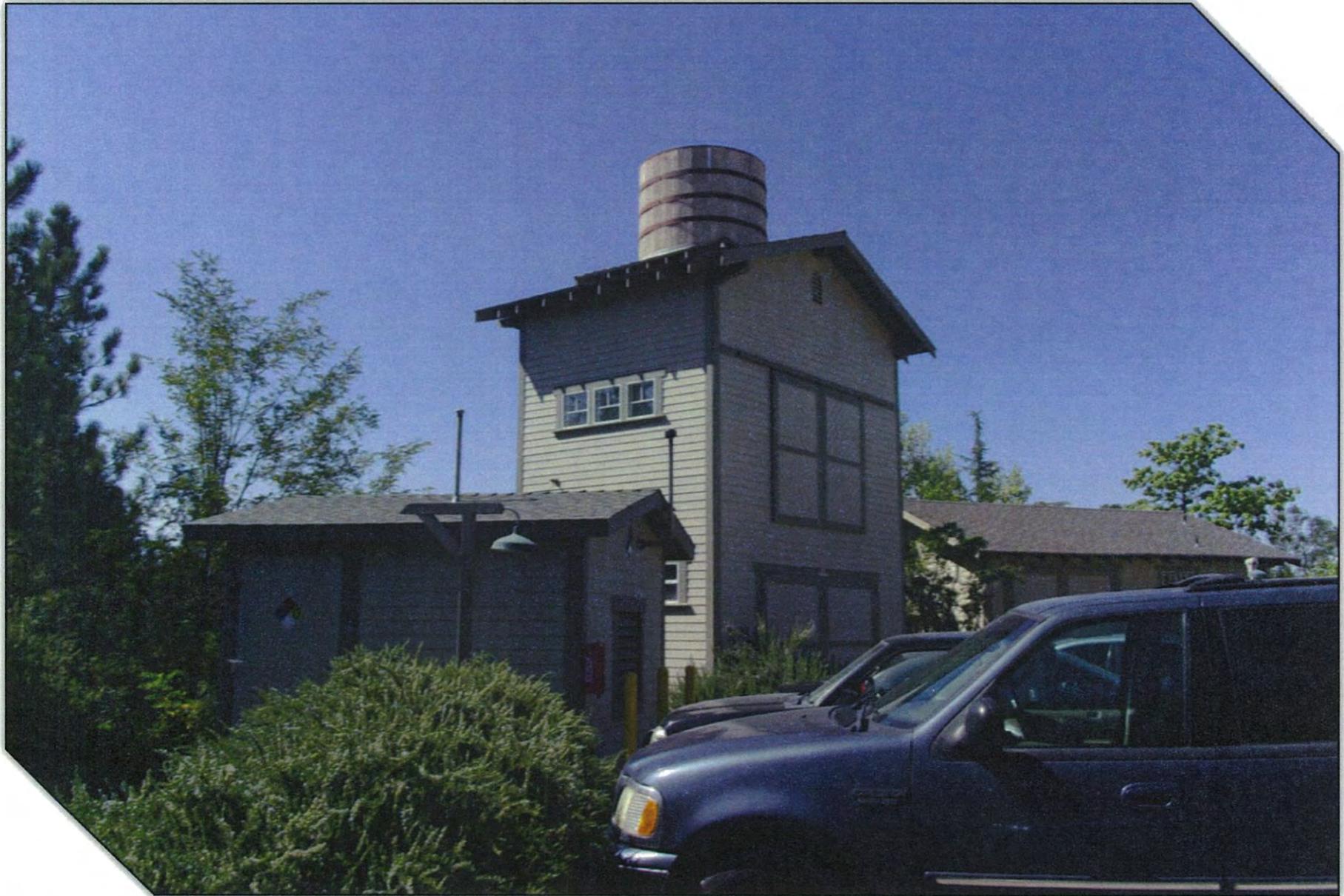
Practical Solutions, Exceptional Service

Looking south from the parking lot of 2502 Washington Street.
Proposed upgrade will be concealed inside the faux water tank.

NOT TO SCALE - RENDERINGS ARE FOR DISCUSSION PURPOSES ONLY

P-2

7450.29



1 - 63

TECTONIC

Practical Solutions, Exceptional Service

Looking south from the parking lot of 2502 Washington Street.
Proposed upgrade is concealed inside the faux water tank.

NOT TO SCALE – RENDERINGS ARE FOR DISCUSSION PURPOSES ONLY

S-2

7450.29

Attachment F – Public Documentation



**Julian Community
Planning Group**

P.O. Box 249, Julian, CA 92036

November 24, 2015

Ms. Bronwyn Brown
Land Use Environmental Planner
Planning & Development Services
5510 Overland Avenue
San Diego, California 92123

**SUBJECT: PDS2015-ZAP-00-044W2
2502 Washington Street, Julian, California 92036
Minor Use Permit Modification**

Dear Ms. Brown:

The above subject Minor Use Modification was unanimously approved by the Julian Community Planning Group at the November 9th meeting.

Regards,

Patrick L. Brown
Chair

PLB/ld

Enclosure

8/25: Architectural Review Board
Of the
Julian Historic District
PO Box 1600, Julian, CA 92036
760-765-1224

FINAL AGENDA
December 2, 2015
Romano's Restaurant

FINAL AGENDA

Moved to Romano's. Came to order 7:30 p.m.

- I. Roll Call: Present: Brown, Romano, Zane, Arter. Absent Zerbe (excused), Dackermann, Steutel
Guests: Tom Johnson
- II. Approval of agenda: M/Arter, S/Romano, approved unanimously
- III. Approval of minutes of previous meeting: M/Arter, S/Romano, approved unanimously
- IV. Public comment for items not on the agenda. No public comment.
- V. Old Business: Action Items
 - a. Stonewall Stores, 2033 Main St.: Sign compliance, weight room window modification. Received a letter from Marta; she will be at 1/16 meeting. Letter says she will proceed with compliance.
 - b. Eagle Mine: Off premises sign. Send letter #1 and remove off premise sign, give them a month to remove sign, in order to avoid referral to code enforcement. M/Arter, S/Zane, approved unanimously
 - c. Apple Lane Orchard, 2627 Apple Lane
Sign compliance. Brown will look at site plan.
 - d. SDG&E Construction Yard: Multiple non-compliance issues. Table.
 - e. Pancho Villa Restaurant: Sign compliance. Send Letter #2.
 - f. Rongbranch: Front and side sign compliance. Romano will send letter #2 regarding specific signs. M/Brown, S/Arter, send letter in response to Marta's letter to the ARB.
 - g. Linda Parson, 2603 C. St., Sign. Absent, table.
 - h. Bailey's Barbecue: Exterior light compliance. Table to next meeting.
 - i. Apple Alley Bakery: Door compliance. Table to next meeting
 - j. K.O. Corral, Buffalo Bill's, and Miners Mine Diner: Sandwich signs. Brown to work on these.
 - k. Julian Grille: Light compliance. Table
- VI. New Business
 - a. Downtown Julian Wireless Facility: Tom Johnson, CEO, TSJ Consulting, Inc. Motion to approve plans as presented. M/Arter, S/Romano, Approved unanimously
 - b. American Legion. Solar panels: Steve (Tiger) Goddard. Nobody appeared. Table.
 - C. Discussion of use solar panels. No action.

VII. Sub-committee Assignments

VIII. Adjournment 8:30 p.m.

Note: The ARB will move it's meetings to Town Hall, starting January.

Submitted by

Bobbi Zane, Secretary

Attachment G – Ownership Disclosure



County of San Diego, Planning & Development Services
APPLICANT'S DISCLOSURE OF OWNERSHIP INTERESTS ON APPLICATION FOR ZONING PERMITS/ APPROVALS
ZONING DIVISION

Record ID(s) PDS2015 - ZAP - 00 - 044W2

Assessor's Parcel Number(s) 250-090-39

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. NOTE: Attach additional pages if necessary.

A. List the names of all persons having any ownership interest in the property involved.

Pat Straube
Darrell Straube

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

[Blank lines for response B]

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

[Blank lines for response C]

NOTE: Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

Signature of Applicant
Tom Johnson
Print Name
10-25-15
Date

OFFICIAL USE ONLY
SDC PDS RCVD 10-29-15
ZAP00-044W2