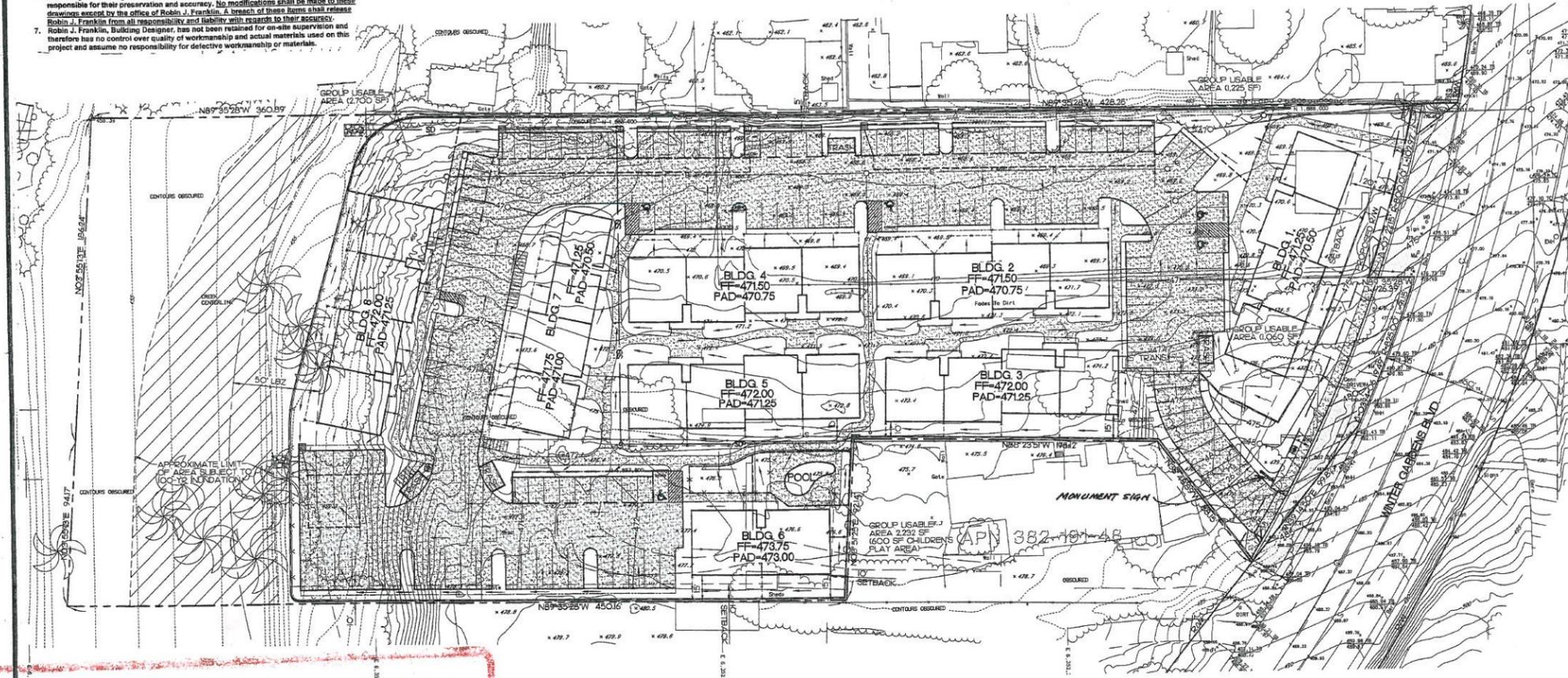


SPECIAL NOTES

- The contractor shall verify with the owner and designer the date of the most current drawings. (Refer to the last revision date on this sheet).
- The contractor and subcontractors shall carefully examine the site and drawings to obtain first hand knowledge of all conditions. Any discrepancies and/or conditions needing clarification shall be reported to the owner and designer prior to starting work and ordering materials. No allowance shall be given for failure to comply with the above and/or conditions, which can be determined by examining the site or drawings.
- The contractor and subcontractors' work shall conform to all applicable building codes and local jurisdictions, which regulate building procedures.
- Each subcontractor is considered a specialist in his respective field and shall, prior to the submittal of bid or performance of work, notify the general contractor, owner, and designer of any work called out on the drawings, with respect to his trade, which cannot be fully guaranteed for at least one year.
- Use of these drawings for other projects other than the one intended by the designer is a violation of common-law copyright and the Professional Code of the State of California.
- When original drawings are in the possession of the owner or contractor they are responsible for their preservation and accuracy. No modifications shall be made to these drawings except by the office of Robin J. Franklin, a breach of these terms shall release Robin J. Franklin from all responsibility and liability with regards to their accuracy.
- Robin J. Franklin, Building Designer, has not been retained for on-site supervision and therefore has no control over quality of workmanship and actual materials used on this project and assumes no responsibility for defective workmanship or materials.

WINTER GARDENS APARTMENTS

WINTER OAKS APARTMENT HOMES FLO-GROVE LLC



SITE NOTES

- PLANS FOR THIS PROJECT SHALL COMPLY WITH THE:
 - A. 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC)
 - B. 2013 EDITION OF THE CALIFORNIA RESIDENTIAL CODE (CRC)
 - C. 2013 EDITION OF THE CALIFORNIA MECHANICAL CODE (CMC)
 - D. 2013 EDITION OF THE CALIFORNIA PLUMBING CODE (CPC)
 - E. 2013 EDITION OF THE CALIFORNIA ELECTRICAL CODE (CEC)
 - F. 2013 EDITION OF THE CALIFORNIA FIRE CODE (CFC)
 - G. 2013 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS
 - H. 2013 EDITION OF THE CALIFORNIA ENERGY CODE (CEC)
 - I. 2000 EDITION OF THE URBAN-WILDLAND INTERFACE CODE
- ON SITE UTILITIES SHALL BE UNDERGROUND.
- OWNER SHALL CONSULT APPROPRIATE UTILITY PROVIDERS FOR EXACT SERVICE LOCATIONS.
- SITE DRAINAGE SHALL BE AWAY FROM STRUCTURES.
- ANY PLUMBING FIXTURES BELOW ELEVATION OF UPSTREAM MANHOLE SHALL BE DRAIN BY GRAVITY AND BE PROTECTED BY AN APPROVED BACKWATER PREVENTION DEVICE.
- ALL WATER PIPING TO BE SIZED IN ACCORDANCE WITH APPENDIX "A" OF THE CURRENT U.P.C.
- HOSE BIBBS AND LAWN HYDRANTS TO BE PROTECTED BY AN APPROVED NON-REMOVABLE BACKWATER PREVENTION DEVICE.
- ELECTRICAL SERVICES TO BE GROUNDED TO EXTERIOR HOSE BIBB AND TO AN APPROVED UFER GROUND.
- ADDRESSES SHALL BE EASILY SEEN FROM THE STREET OR ALLEY. NUMBERS SHALL BE 6" HIGH WITH 1/2" STROKE ON CONTRASTING COLORED BACKGROUND.
- A SEPARATE PERMIT IS REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY.
- IF THE BUILDING INSPECTOR SUSPECTS UNCOMPACTED FILL, EXPANSIVE SOIL, OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS, OR GEOLOGICAL REPORT AND RESUBMITTAL OF PLANS SHALL BE PRODUCED TO VERIFY THAT THE RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.
- ALL KNOWN PROPERTY LINES (REAL OR ASSUMED), EASEMENTS, AND BUILDINGS (BOTH EXISTING & PROPOSED), ARE SHOWN ON THIS PLAN.
- THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CODE AS AMENDED AND CONTROLLED BY THE COUNTY OF SAN DIEGO.

REVISIONS	BY
9/15/15	R

Robin J. Franklin
Professional Building Designer
6151 FAIRMOUNT AVE. SUITE 205
SAN DIEGO, CA. 92120
(619) 624-0789

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 REC
AS NO
Chair

STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S

This project shall comply with all requirements of the Municipal Permit issued by San Diego Regional Water Quality Control (SDRWQCB) and Municipal Storm Water National Pollution Discharge Elimination System (NPDES) Permit on January 24, 2007. (<http://www.sandiego.gov/municipal/PlanCode/Chapter34/Ch34/C34444070/StormWaterManual>)

Notes below represent key minimum requirements for construction BMP's.

- The contractor shall be responsible for cleanup of all silt & mud on adjacent streets, due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street (s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or dirt onto the street.
- All stockpiles of soil &/or building materials that are intended to be left for a period greater than 3 calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when 5 day rain probability forecast exceeds 40%.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

Updated 10/04/2013

Attachment A Summary of Special Inspection

No.	Description of Type of Inspection Required, Location, Remarks, etc.	Design Strength
1	Concrete	13.1
2	Soils (included in concrete)	13.2
3	Foundation and retaining concrete base	13.3
4	Foundation and retaining concrete base	13.4
5	Foundation and retaining concrete base	13.5
6	Foundation and retaining concrete base	13.6
7	Foundation and retaining concrete base	13.7
8	Foundation and retaining concrete base	13.8
9	Foundation and retaining concrete base	13.9
10	Foundation and retaining concrete base	13.10
11	Foundation and retaining concrete base	13.11
12	Foundation and retaining concrete base	13.12
13	Foundation and retaining concrete base	13.13
14	Foundation and retaining concrete base	13.14
15	Foundation and retaining concrete base	13.15
16	Foundation and retaining concrete base	13.16
17	Foundation and retaining concrete base	13.17
18	Foundation and retaining concrete base	13.18
19	Foundation and retaining concrete base	13.19
20	Foundation and retaining concrete base	13.20

PARKING TABULATION TABLE

DWELLING UNITS (S-BEROOM)	REQUIRED PARKING SPACES	REQUIRED GUEST SPACES	TOTAL PROPOSED SPACES	ACCESSIBLE SPACES	BICYCLE SPACES
60	120 (60 X 0.2)	12 (60 X 0.2)	140*	5	30
TOTAL	132 (20 + 12)				

* INCLUDES 8 TANDUM SPOTS (10 SPACES) THAT WILL BE ASSIGNED TO SPECIFIC UNITS AND WILL NOT BE GUEST SPACES.

PRIVATE USABLE AREA

PROPOSED PRIVATE USABLE AREAS	TOTAL	REQUIRED PRIVATE USABLE AREAS (100 SF/UNIT)
GROUND LEVEL UNITS (30)	260 SF/UNIT (8' X 33')	7,800 SF. 3,000 SF. - SATISFIED
UPPER LEVEL UNITS (30)	60 SF/UNIT (5' X 12')	1,800 SF. 3,000 SF. - 1200 SF. SHORT

GROUP USABLE AREA

PROPOSED	REQUIRED (100 SF/UNIT) 6,000 SF.
7,235 SF. (600 SF PLAYGROUND AREA)	MITIGATION FOR PRIVATE USABLE AREA 1,200 SF. MINIMUM 7,200 SF.

MEETS REQUIREMENT FOR PRIVATE AND GROUP USABLE AREAS

SITE PLAN

OWNER / APPLICANT
ERIC WILSON, FLO-GROVE LLC
3739 ROSECROFT LANE
SAN DIEGO, CA 92106
PHONE: (619) 992-8305

PROJECT INFORMATION
ASSESSOR'S PARCEL NUMBER: 382-19-40,44,49
SITE ADDRESS: 9208-9224 WINTER GARDENS BLVD, LAKESIDE, CA
TOPOGRAPHY: AERIAL TOPO BY SAN-LO SURVEY, PREPARED JULY 2007.

LEGAL DESCRIPTION
A PORTION OF LOT 118 OF RIVERVIEW FARMS IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1663 FILED IN THE OFFICE OF THE COUNTY RECORDER FOR SAN DIEGO COUNTY, FEBRUARY 25, 1916.

THE CITY OF SAN DIEGO DESIGN REVIEW BOARD

RECOMMENDS DENIAL OF SITE PLAN

RECOMMENDS APPROVAL OF SITE PLAN

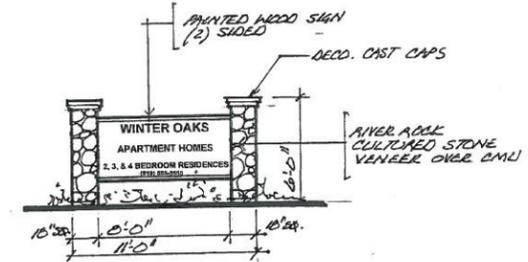
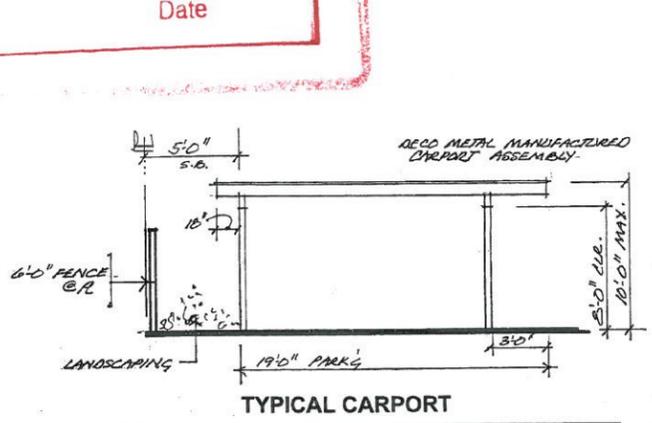
RECOMMENDS APPROVAL WITH CONDITIONS AS SHOWN ON DRAWINGS

[Signature]
Chair

12-7-15
Date

Blackwall Earth tone
Trash Enclosures Double
All units Designated spaces numbered
Childrens area included plug Equipment
6 ft Fence on top of north retaining wall
Bathrooms in pool area
up stairs 5x12 balcony

See
Munkis



PROPOSED SIGN
SIGN TO BE 2-SIDED, UPLIT



VICINITY

FLO-GROVE LLC
3739 ROSECROFT LANE
SAN DIEGO, CA. 92106

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
					1

TITLE 24
Building site is located in Climate Zone 10 using energy conservation design method ENERGY STAR per calculations (by others). See sht. CF-R for mandatory design features and energy certification forms.