

VALLEY CENTER

FORM-BASED CODE STUDY

ADMIN DRAFT

JUNE 4, 2015

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VALLEY CENTER FORM-BASED CODE STUDY

PURPOSE

The purpose of this Code is to implement a compact mixed-use rural southern California farm village as the physical, service, social and cultural center of the larger Valley Center community based upon traditional standards and development patterns for community building. Key features of the desired village include a connected, safe, attractive, walkable and bikeable community with a balance of housing types attractive to households and families of all ages around a central mixed-use commercial core including a traditional Main Street and attractive public and semi-public outdoor civic spaces for a variety of social, cultural and recreational activities. The Code streamlines the approval process and provides more flexibility and freedom of uses.

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SOUTH VILLAGE CODE OVERVIEW

This chapter describes the context, background and construction of the South Village Code.

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1.1. Project Background

This purpose of the Valley Center South Village Form-Based Code (the Code) is to more efficiently guide and promote future development in the South Village to create a compact mixed-use village that reflects and blends with the rural character of Valley Center while creating a balanced automobile, bicycling, and pedestrian-friendly environment for residents, business owners and visitors and promotes the economic development of the Valley Center South Village. Importantly, the Code will streamline the development approval process and allow more choice, flexibility and freedom of uses within the South Village area.

In 2011, the County adopted a new General Plan that called for concentrating future commercial, civic and residential development in village centers based on the Community Development Model. This enables continued growth of the community in a compact and efficient manner while preserving much of the surrounding areas in their more rural character.

Within the 325-acre South Village study area, the 2011 General Plan calls for Village Core Mixed Use, General Commercial, Rural Commercial, Public/Semi-Public Facilities, Open Space, and residential development in densities ranging from rural (1du/20 acres) within the Moosa Creek floodplain to several Village Residential designations between 2 and 7.3 dwelling units per acre. The Village Core Mixed Use designation is the largest designation at 48 acres and allows residential densities up to 30 dwelling units per acre and a maximum floor-area ratio between 0.7 and 1.3 depending on the provision of adequate parking:

“This [Village Core Mixed Use] designation is intended for pedestrian-scaled town center development. A wide variety of commercial, civic, and residential uses are encouraged by this designation, and these uses may be mixed “vertically”—on separate floors of a building—or “horizontally”—in separate buildings on a single site or on adjacent parcels. To maintain a pedestrian scale and orientation, retail and other active uses are encouraged at street level. Structured parking may be

necessary to accommodate allowable densities, and shared parking arrangements may be allowed consistent with the nature of the mixed uses. Specific maximum FAR and residential density standards shall be developed through community-specific town center planning, though in no case, within either multiple- or single-use buildings, may nonresidential intensities exceed 1.3 FAR or residential densities exceed 30 units per acre. Permitted uses must be consistent with the town center plan, or in absence of a town center plan, shall not preclude the development and implementation of such a plan.” (County General Plan, Page 3-14)

Based on the General Plan designations, the maximum development potential in the South Village is approximately 2,000 dwelling units and over 1.5 million square feet of commercial space, which will vary due to market and environmental constraints. The South Village will be supported by the entire Valley Center community at an estimated population of 40,000 people. The commercial areas in the South Village will be competing for this market share with existing and planned commercial development in the North Village and elsewhere in the Valley Center area.

Between 2013 and 2014, the Valley Center community, property and business owners and developers were engaged to articulate how the South Village center growth would occur. The he 325-acre South Village area, centered on Valley Center Road between Lilac and Woods Valley Roads, is comprised of former agricultural uses, general commercial uses along Valley Center Road, a few civic uses and a small residential enclave. This area is now subject to significant development or redevelopment.

This Code applies to the South Village area shown on Figure 1.1. Intended to create a street network to facilitate growth and commerce, the Code outlines a palette of street types, lot and block subdivision standards to connect both new and existing places. The Code also guides building frontages, building location, and design standards that define the desired Village character.

1.2. Code Structure

The Code is divided into five districts, each with a range of land uses and development standards:

- Creekside (VC-V1)
- Village Edge (VC-V2)
- Village Neighborhood (VC-V3)
- Village Center (VC-V4)
- Village Core (VC-V5)
- Civic District (VC-CD)

Each District will allow one or more of the following specific Street Types:

- Main Street
- Boulevard Core
- Boulevard Transition
- Community Connector Core
- Community Connector Transition
- Parkway Couplet
- Village Connector
- Parkway
- Neighborhood Street
- Alley, Service Lanes

Each District will allow one or more of the following specific Civic Space Types:

- Plaza and Square
- Greens and Parkways

The Districts provide development standards and incentives for private property and lots to develop with land use flexibility to shift with market preferences. The Street Types and Civic Space Types establish the public development standards the County of San Diego will be responsible for implementing. Together, the Districts, Streets and Civic Spaces Types will guide new compact, mixed-use village development per the goals of the General Plan with the community character preferences of local residents.

1.3. Development Incentives

The Code identifies various entitlement and development incentives that should be used to encourage and facilitate new development and/or adaptive reuse of existing structures within districts:

■ Land Use Entitlement:

Projects that are consistent with and advance the vision, goals, and policies of the General Plan, Community Plan, and this Code will be permitted to process land use entitlements administratively. This ultimately allows development to proceed on an accelerated basis that saves property owners, business owners, developers, and builder's valuable time and money;

■ Parking Allowances:

The parking supply, configuration, placement, and access are essential to the function and vitality of the South Village area. Through the entitlement process, opportunities existing to consider flexible guidelines and design alternatives to ensure that parking demand is accounted for while minimizing cost and maximizing shared parking opportunities;

■ Village Core Density Transfer:

An integral component of this Code is the ability to incentivize mixed-use development in close proximity to the corner of Valley Center Road and Mirar de Valle Road. The General Plan certified Environmental Impact Report has set the maximum density and intensity that allows for Land Use Entitlements. With compliance with this South Village Code, permitted residential density may be transferred within lands under single ownership from a one-half-mile (0.50 /2,640 linear feet) radius from the intersection of Valley Center Road and Mirar de Valle Road to the VC-5 Village Core District.

The purpose of this provision is to encourage and increase the market viability of residential density and commercial development within the defined Village Core while maintaining the rural character of the development outside of the Core. Future development on Sending Sites is restricted by the amount of Density Transfer Credits removed from the Sending Site via restrictive covenant recorded at the time of transfer and noted on all recorded and approved plans and maps.

Figure 1.1: South Village District Plan



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AUTHORITY

This Chapter establishes the authority of this Form-based Code as a component of the County of San Diego Zoning Ordinance, and the method of application, enforcement and interpretation.

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2.1. General Authority

The South Village Code area is identified in the Valley Center Community Plan as shown in Figure 2.1, South Village Code Boundary.

The following General Provisions shall apply to the South Village:

- a. Where the provisions of a section of the San Diego County Zoning Ordinance are in conflict with the requirements of this section, the requirements of this section shall apply.
- b. The diagrams and illustrations within this Section, unless specifically noted as advisory, are considered regulatory in nature and are legally binding.
- c. The definition of a term in this Section shall take precedence over definitions of the same term elsewhere in the San Diego County Zoning Ordinance.
- d. The term “shall” denotes a specific requirement, while the term “should” is intended to be a primary consideration incorporated into plans or accompanied with a clear rationale as to why its standards or specifics were not followed.

2.2. Effect on existing development and land uses

Development and land uses that were lawfully established, and exist within the plan boundaries are affected by this Code as follows:

- a. Existing development and land uses that comply with all applicable requirements of this code shall continue to operate, and may be altered or replaced, only in compliance with this code.
- b. Development or a land use that was legal, non-conforming with respect to

the requirements of the County’s codes that applied before the adoption of this Code, and also does not comply with the requirements of this code, may continue to operate, and may be sold or otherwise transferred in compliance with the regulations for non-conformities in the Zoning Ordinance.

- c. An existing nonconforming building or structure may be modified in the following manner:
 - i. A building facade of an existing building may be remodeled or reconstructed subject to complying with this South Village Code and the Valley Center Community Design Guidelines to the greatest extent feasible.
 - ii. An existing building may be expanded by up to 35% of the building’s gross floor area subject to incorporating development standards this South Village Code and the Valley Center Community Design Guidelines to the greatest extent feasible.
 - iii. Buildings being expanded by more than 35% of the building’s gross floor area or developments involving the subdivision of land or the creation of new roads shall comply with all requirements of this South Village Code.

2.3. Site Plan Permit Approval Requirement

- a. Site Plan permit approval shall be required for all new development, construction and uses within the South Village.
- b. No building permit shall be issued, no new or changed use, no new thoroughfare or civic space shall be established or improved prior to

- obtaining a Site Plan permit pursuant to Section 7150 herein and in conformance with the regulations and requirements of this section.
- c. Site plan permit shall be required:
 - i. to determine conformance of new buildings, lots and thoroughfares with the requirements of these Valley Center South Village Zoning Regulations;
 - ii. for San Diego County Department of Public Works to construct, improve and maintain public thoroughfares; and
 - iii. for the Departments of General Services and Parks and Recreation to construct, improve and maintain Civic Spaces within the Valley Center South Village.
- d. [d]Permitted Uses for Lots and buildings are listed on Table(s) 4.1-4.5, Schedule of Permitted Uses. The schedules identify four types of approval for new or changed uses:
 - i. “By Right” uses are permitted without the requirement for administrative or discretionary approvals, but are subject to all other applicable regulations and ministerial permits.
 - ii. “Administrative Permits” are approved by the Director of Planning and Development Services (DPDS) and require the submission and approval of an Administrative Permit application subject to the regulations of §7050-7099 ADMINISTRATIVE PERMIT PROCEDURE of the San Diego County Zoning Ordinance (ZO).
 - iii. “Minor Use Permit” uses approved by DPDS and require the submission and approval of a Minor Use Permit application subject to the regulations of §7350-7399 USE PERMIT PROCEDURE of the San Diego County ZO.
- iv. “Major Use Permit” uses are approved by the Planning Commission and require the submission and approval of a Major Use Permit application subject to the regulations of §7350-7399 USE PERMIT PROCEDURE of the San Diego County ZO.
- e. Uses that are not listed or denoted by the applicable permit type are not permitted within the applicable Valley Center South Village zoning district.

	PHASE	AUTHORITY	ACTIONS	TIMETABLE	ITEM GRANTED
Pre-App Meeting	Initial Project Review with County Staff and Community Review Boards	1. Department of Planning and Development Services Zoning Intake Staff and Advanced Planning Staff 2. Valley Center Community Planning Group (VCCPG) for Entitlement Applications and Design Review Board (DRB) for building permit applications	<ul style="list-style-type: none"> The Planning Department (DPDS) provides guidance for application. VCCPG provides guidance for application §xx00-xx00 DRB provides guidance for application §xx00-xx00 	45 days of applicant making appointment with DPDS and VCCPG	Submit Site Plan Application
Step 1	Site Plan and Design Review Checklist Completeness Review	 Department of Planning and Development Services	<ul style="list-style-type: none"> The Planning Department (DPDS) reviews site plan application and checklist for completeness of If complete, DPDS forwards the site plan application and checklist to the RCPG for recommendations on §xx00, xx00-xx00 and RDRB for recommendations on §xx00-xx00 	10 working days after receipt of completed application and fees	DPDS forwards applications and checklists to VCCPG and DRB for Step 2 Review
Step 2	Community Planning Group and Design Review Board Review	 Valley Center Community Planning Group and Design Review Board	<ul style="list-style-type: none"> Review of site plan and checklist and recommendation for approval/denial or time extension forwarded to the Director 	<ul style="list-style-type: none"> 30 working days of receipt of the application from the Director's office If no recommendation is forwarded to the Director within 30 working days, the Director may proceed with Step 3 without the recommendation of the Community Board 	Recommendation for approval or denial
Step 3	Final Site Plan Review	 Planning Director's Office	<ul style="list-style-type: none"> The Director shall consider any report and recommendation from the VCCPG and DRB. Director shall consider site plan application subject to the regulations of §xx00-xx00 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance After review the Director may: <ol style="list-style-type: none"> Approve the site plan Require changes or modifications for approval Deny the site plan (see Step Four) 	30 working days Required changes or modifications shall be re-submitted to Planning Director within 30 working days	Grant or Deny an Administrative Review Site Plan, Use or Building Permit An Administrative approval cannot be appealed
Step 4 (if applicable)	Entitlement Approvals through a Discretionary Process	 San Diego County Planning Commission	See §7200-7249 ADMINISTRATIVE APPEAL PROCEDURE of the San Diego County Zoning Ordinance	See §7200-7249 ADMINISTRATIVE APPEAL PROCEDURE of the San Diego County Zoning Ordinance	See §7200-7249 ADMINISTRATIVE APPEAL PROCEDURE of the San Diego County Zoning Ordinance

2.4. Site Plan Permit Application Requirements

- a. A site plan submitted under this Section shall be prepared subject to the requirements of §7150-7199, SITE PLAN REVIEW PROCEDURES.
- b. In addition to the requirements of Section 2.4.a, Site Plan drawings shall be prepared by a licensed professional, drawn to scale, and shall show the following:
 - i. Existing and proposed Block perimeter in which the subject property is located.
 - ii. Existing and proposed Lots and properties under common or related ownership and control.
 - iii. Existing and proposed Building(s) footprints, setbacks, use and size.
 - iv. Existing and proposed Easements.
 - v. Existing and proposed Street types, alleys and pedestrian ways.
 - vi. Primary building frontages that illustrate primary building entrances for 300 feet.
 - vii. Existing and proposed Building elevations illustrating the primary and secondary building frontages and adjacent existing building frontages within 150 feet along all sides of the proposed building.
 - viii. Landscape Plans of the subject property with its adjacent existing building frontages for 150 feet along all sides of the proposed building and site.
 - ix. South Village Zoning Conformance Schedule demonstrating compliance with the applicable standards, requirements.

- x. A project description and narrative describing how the project meets the goals and guiding principles of the South Village Code.
- xi. All site plan permit application information is required and no Site Plan Permit application shall be deemed complete unless waived or modified by the Director of PDS upon written request.

2.5. Site Plan Permit Exemptions

The Director may grant an Exemption from the Site Plan Permit requirement of Section 2.4 under the following circumstances:

- a. Existing Permit Exemption. All of the purposes and requirements of the Site Plan permit process have been fulfilled by an existing approved discretionary permit.
- b. Concurrent Permit Exemption. All of the purposes and requirements of the Site Plan permit process will be fulfilled by a concurrent discretionary permit that will be reviewed by the Valley Center Community Planning Group (VCCPG).
- c. Minor Project Exemption. The Director determines that a proposed project is minor in nature, as defined in §7156(b), and that subjecting it to the Site Plan review process would not materially contribute to the attainment of the community design objectives and guidelines as set forth in this Section. In making a decision on such Site Plan permit exemption, due consideration shall be given to the recommendation of the VCCPG. Such recommendation shall be in writing, signed by the Chairperson or other member of the VCCPG or DRB who has been authorized by the VCCPG or DRB Chairperson to sign Site Plan permit exemption requests, and shall be accompanied by a copy of the project plans upon which the recommendation was based.

- d. Design Review Checklist (DRC) Exemption. The Director determines that the project complies with the standards set forth in the DRC. In making a decision on such Site Plan permit exemption, due consideration shall be given to the recommendation of the VCCPG or DRB. Such recommendation shall be in writing, signed by the Chairperson or other authorized member of the VCCPG or DRB and shall be accompanied by a copy of the Valley Center South Village Center DRC and stamped project plans upon which the recommendation was based.
- e. A Site Plan permit exemption request based on compliance with subsections 2.5.c and 2.5.d shall be transmitted by the Director to the VCCPG or DRB. If the Director does not receive a VCCPG or DRB recommendation within 45 working days for an approval, denial, or reasonable time extension request following the VCCPG or DRB’s receipt of the request submittal package, the Director may make a decision without the VCCPG or DRB’s recommendation.
- f. No building permit shall be issued for a project for which the Site Plan permit exemption has been granted except pursuant to plans bearing the Director’s stamp granting such exemption. No deviation from such approved plans, beyond the allowances of §7609, Minor Deviations (e.g. less than a 10% change in yards, open space, or number, size, lot coverage or height buildings), shall be permitted without prior recommendation of the appropriate VCCPG, Valley Center Design Review Board (VCDRB), and approval of the Director pursuant to Section 2.6 below.

2.6. Exceptions to South Village Standards Allowed by Site Plan Permit Only

An exception to the requirements of this Section may be granted in the following manner:

- a. An exception to the requirements of this section may only be processed in

- conjunction with a Site Plan permit subject to the regulations of §7150-7199 SITE PLAN REVIEW PROCEDURES herein.
- b. As part of the Site Plan permit application, the applicant shall provide the following:
 - i. A citation of the standard of this section for which a specific exception(s) is requested including and explanation as to why the exception is being sought and how the intent of the provision is still achieved.
 - ii. Maps, text, drawings, and/or statistical data related to the requested Exception(s).
 - iii. Site plan drawings as required pursuant to Section 2.4 Site Plan Permit Application Requirements above.
- c. No Exception shall be approved unless the DPDS finds the approval would be consistent with all of the following:
 - i. The intent of the South Village Regulations Sections 4.1-4.5.
 - ii. The Guiding Principles of Section 2.9.
 - iii. The intent and purposes of the District and Street Type descriptions, Sections 4 and 5.
 - iv. The goals, objectives, and policies of the San Diego County General Plan.
 - v. The goals, objectives and policies of the Valley Center Community Plan.
 - vi. The Valley Center Community Design Guidelines.
- d. The decision regarding an approval or denial of Exception shall state, in writing, the reason for the approval or denial.
- e. If the Planning Director denies any requested Exception, the applicant may appeal the decision to the Planning Commission and subject to the regulations of §7200-7249 ADMINISTRATIVE APPEAL PROCEDURE of the San Diego County Zoning Ordinance. Copies of all such appeals shall be sent to the Valley Center CPG and DRB.

2.7. User's Guide

2.7.1. How to Use the Regulating Code

The type of proposed use or development will determine the applicable regulations and review process.

1. **Change of Use.** Projects that only involve a change of use in an existing building will determine whether the proposed use is permitted in that District, and will proceed with the designated permit.
2. **New Buildings on Lots < 2 Acres.** Projects that propose new building construction on a site of 2 acres or less will determine whether the proposed use is permitted in the District, and design the site to meet the standards of the applicable District regulations.
3. **New Buildings, Streets or Lots > 2 Acres.** Projects that propose new building construction on lots greater than two (2) acres, the division of land or construction of new streets, will determine whether the proposed use is permitted in the applicable District, design to the applicable Block and Street Type standards, and design the site to meet the standards of the applicable District(s).
4. **Corners Lots.** Corner lots require that the standards of the higher Street Type based on the hierarchy in Section 5.3 be applied to both street frontages. Review Chapter 5 for provisions about the Street Type that corresponds to the lot.
5. **All new buildings, street and site utilities, amenities and signage** are subject to the provisions of Chapter 3, 4 and 5.

Interpretation

Interpretation of the standards in the Regulating Code shall be the responsibility of Planning and Development Services (PDS) staff. Where necessary, interpretation of the provisions of this code shall be based first upon the stated intent of individual

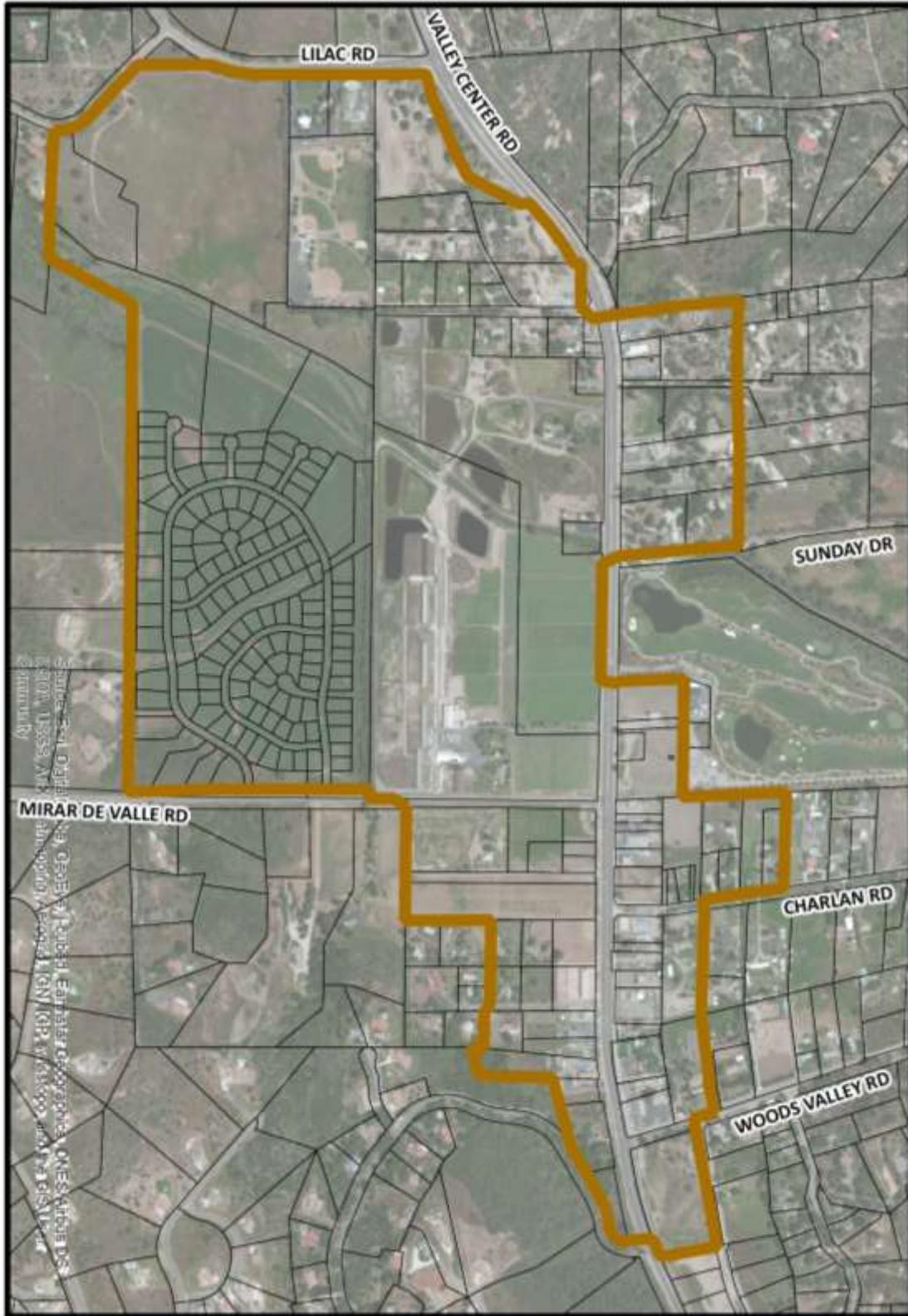
provisions, or where none exist, the guiding principles in Section 2.9 herein, then the goals and objectives of the Valley Center Community Design Guidelines.

Regulatory & Illustrative Graphics

This Code includes many illustrations and graphics to express the intent and application of the Code regulations. The diagrams and exhibits are regulatory unless otherwise specified.

Illustrative Drawings shown on these pages shall serve to guide the PDS staff with regard to the County's and Valley Center Community's intent for land development in the South Village area. The photograph and illustrations contained in this Code are meant to demonstrate the character intended for the South Village area, but are for illustrative purposes only.

Figure 2.1 South Village Code Boundary



2.8. Relationship to Existing County Plans and Policies

2.8.1. San Diego County General Plan

The permissible development intensity and density is established by the General Plan and the Valley Center Community Plan. (See Figure 2.2, General Plan Land Use & Density Designations)

2.8.2. Valley Center Design Guidelines

This Regulating Code establishes the requirements for the essential street design and building, parking and civic space locations, function and use critical to building a new community. It incorporates many of the essential community design elements and principles of, and is intended to work in concert with, the Valley Center Community Design Guidelines.

All development projects shall be reviewed for compliance with and implementation of the Valley Center Community Design Guidelines and the associated Design Guideline Checklist simultaneously with the application of this Code.

Where provisions of a section of the Valley Center Design Guidelines are in conflict with the requirements of this Code, the requirements of this Code shall apply.

The review process and design standards, goals and principles of the Design Guidelines shall apply where not regulated by this Code.

2.9. Guiding Principles

This Code is the result of input from Valley Center representatives and residents, property and business owners, developers and County staff. The Code's guiding principles are:

1. **Village Framework based on Districts and Traditional Street Types** – Establish zoning districts and a network of streets built off existing street and property line patterns to define new Greenfield development.
2. **Connectivity** – Maximize interconnectivity of new and existing streets to avoid and minimize vehicular trips on Valley Center Road, maximize sense of community and promote local trips on foot and bicycle.
3. **Use Existing Streets** – Optimize use of the existing Valley Center Road curbs and travel way to minimize costs. Add center median landscaping where possible for safety, flow, shade and beauty. Align new streets as extensions of existing side streets and existing curb cuts and access points:
 - a. Mirar de Valle – extend East of VC Road
 - b. Charlan Drive – Extend West of VC Road
 - c. Woods Valley STP/Liberty Bell Drive – Extend West of Valley Center Road.
 - d. Connect Rinehart Lane to a north-south Neighborhood Street west of Valley Center Road.
 - e. Extend, connect existing private roads parallel to Valley Center Road
 - f. Moosa Creek Crossing – Use the existing crossing to connect the north and south portions of the South Village without having to travel on Valley Center Road.
 - g. Old Mirar de Valle – integrate into Village Core Mixed Use development.
4. **Establish Block Pattern** – Define future road extensions and new road locations. Maximum dimensions for perimeter and between major and minor streets, paseos/pedestrian linkages for greater walkability.
5. **Buildings at Perimeter** – Building walls and façade create, define and enhance public spaces and places, sidewalks, plazas, courtyards.

6. **Buildings Face and Enter on Street** - The principal entrance of any primary building shall be oriented toward the public street frontage.
7. **Complete Streets** – All Village streets should be designed to balance all modes of travel for persons of all ages and abilities. Require pedestrian and bicycle oriented local streets where most streets have a combination of attractive, landscaped sidewalks and/or trails and bike lanes.
8. **Safety** – Design for 25 MPH or less to extent possible. Vehicle speed and physical separation dramatically affect pedestrian and bicyclist safety, comfort and use. Vehicle speed is the single most determinant factor in pedestrian and bicyclist injury and survival. Driver cone of visibility and awareness is inversely proportionate to vehicle speeds. Lower vehicle speeds reduce road and vehicle noise, making adjacent sidewalks, trails, businesses and neighborhoods more comfortable and attractive for outdoor activities.
9. **Design all Roads for 25 MPH** – The central portion of Valley Center Road is designed to transition from design and observed speeds of vs 55-65 MPH to speeds of approximately 25 MPH. Avoid direct parallel routes to Valley Center Road that encourage cut-through or bypass traffic through neighborhoods. Connect Lilac Road to Mirar de Valle Road via a street system of local streets instead of a Major Mobility Element Road.
10. **Controlled Access** – Reduce and control turning movements on Valley Center Road via landscaped medians, access to businesses and parking from side streets, combined driveways serving more than one property, and interconnected parking areas.
11. **Parking On-Street or Hidden** – Provide on-street parking to support and provide convenient direct access to all uses and to provide physical barrier and protection of pedestrian ways. Off-street/on-site parking shall be consolidated in the center of blocks, and on the sides and rear of existing buildings to the extent possible over time.
12. **Parking** – Locate to side and rear of buildings; access from side streets instead of directly off Valley Center Road for safety, reduced vehicular and pedestrian and bike points of conflict and improved traffic flow for all modes. Maximize on-street parking to provide physical buffers to bicyclists and pedestrians optimize access and convenience to street-side uses, minimize cost and area devoted to off-street parking. Allow on-street parking to count toward required parking. Incentivize reductions in required parking for improvements that facilitate walkability and or commuting by bicycle.
13. **Sidewalks/Trails** – Provide network of continuous sidewalks and/or trails, including both sides of Moosa Creek and integration of Heritage Trail.
14. **Parkways** – Use streets to provide visual and physical access to Moosa Creek, Heritage Oak and riparian areas and open space in form of parkways to:
 - a. Increase property values
 - b. Turn features into amenities
 - c. Provide street as buffer to adjacent uses to avoid backyard privacy issues and privatizing and closing off of natural features. Features become organizing element.
 - d. Use natural features to link trails and terminate street views.
 - e. Treat and convey stormwater runoff via adjacent green areas, trails.

These improvements should occur at:

 - Community Center/Ballfields
 - Moosa Creek – both sides
 - Garza/Belanich drainage
 - Belanich drainage
15. **Curbs** – Eliminate raised curbs where possible on new local streets to maintain a

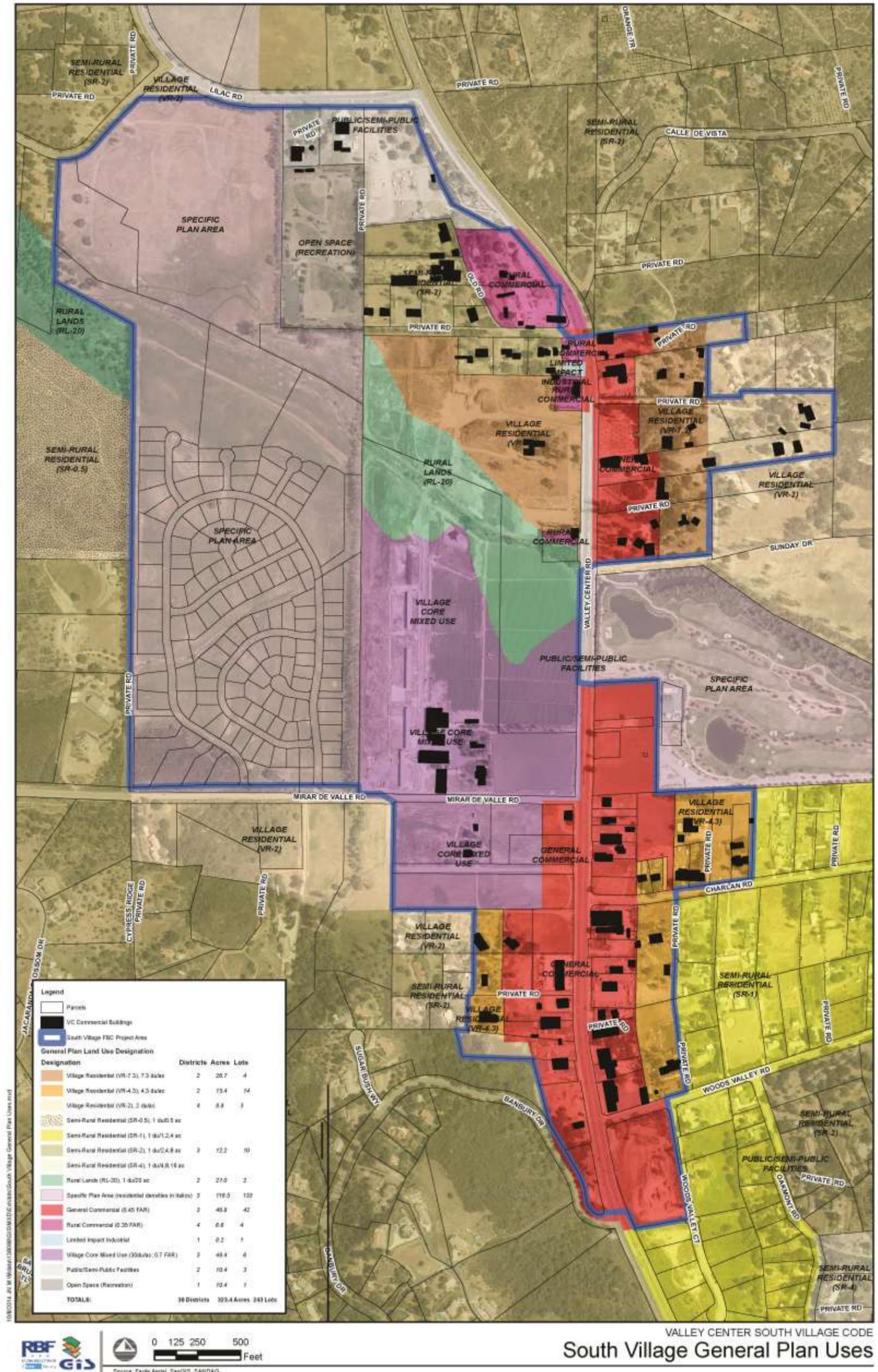
more rural appearance and to accommodate linear stormwater runoff treatment along the road edges and parkways.

16. **Moosa Creek Crossing** – Utilize the existing “Arizona”/farm crossing to provide the critical circulation link between the northern and southern portions of the South Village community and to provide a means of alternative access for emergency purposes. The crossing helps provide some of the objectives of the new Mobility Element Road 19. New construction will allow for restoration and enhancement of riparian area. Multiple pedestrian crossings should be provided to connect the communities on both sides of Moosa Creek.
17. **Street Lights** – Provide pedestrian-scaled street lights as necessary for active pedestrian commercial areas and Main Street. Avoid and minimize non-pedestrian area lighting to preserve dark-skies. All lighting shall be high cut off, no-glare fixtures that provide balanced lighting levels with minimum power.
18. **Main Street** – Provide for one or more suitable locations for a traditional Main Street as the focal point of community services and activity. Options include:
 - a. Central portion of Valley Center Road
 - b. Mirar de Valle; and/or
 - c. Parallel or perpendicular to Valley Center Road near the intersection of Valley Center Road and Mirar de Valle.
19. **Enhance and Strengthen Existing Valley Center Road Development** – New development should strengthen and enhance the existing commercial developments along Valley Center Road, or promote and encourage viable alternative uses over time to maintain and increase property values and community character.
20. **Traffic Controls** – Develop a comprehensive and coordinated scheme for traffic control, signalization and turning movements within the South Village corridor. New signal at

Mirar de Valle coordinated and synchronized with existing signals at Woods Valley and Lilac Roads. Pedestrian and vehicles sensor-activated. Consideration of a roundabout at Woods Valley Road to signal the gateway to Valley Center and slow and control vehicle speeds in the South Village while maintaining capacity and smooth operations.

21. **Design for Intended Use and Character & Function** – Plan and design for a certain and achievable desired character of area. Ensure emergency access and evacuation – side streets and routes help absorb and distribute trips; controlled turn movements reduce vehicle, bike and pedestrian conflict points and improve safety and flow.
22. **Road Design Standard Exceptions** – Street design is critical to the success, function and character of the South Village objectives. Many of the recommended street types may vary from the County Road Design Standards in effort to increase safety, comfort for all modes of travel for users of all ages. This Regulatory Code and the required and allowed Street Types defined herein shall be / have been approved as design exceptions.

Figure 2.2 General Plan Land Use & Density



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GENERAL REGULATIONS

This chapter describes the general regulations that are common to all development in the South Village Regulatory Code Area

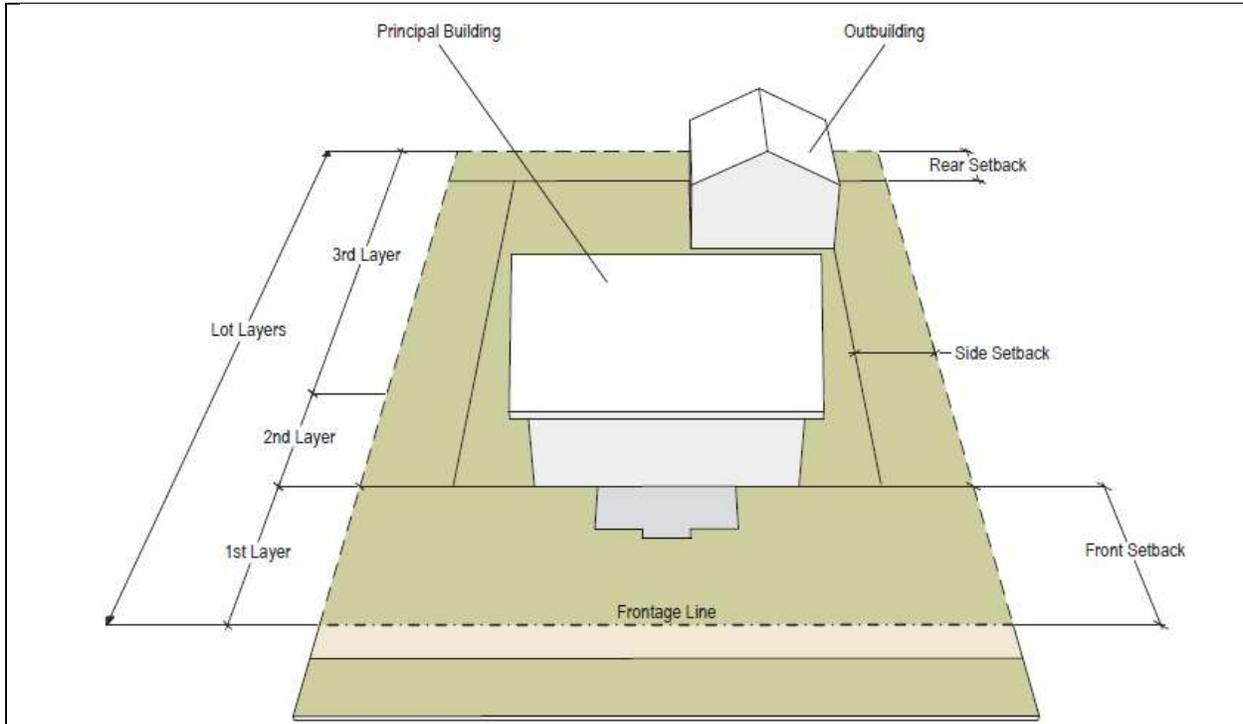
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3.1. General Standards

3.1.1. Lot Characteristics

- a. Lot Lines abutting a Thoroughfare shall be known as a Frontage Line as per Table 3.1.
- b. Frontage Setbacks are measured from Property Lines, and not measured from Public Right-of-Way Center line(s).
- c. Lots with multiple Lot Lines abutting a Thoroughfare shall designate one Frontage Line as a Primary Frontage Line, with all remaining Frontage Lines designated as Secondary Frontage Lines.
- d. Lot Width shall be calculated as the length of the Primary Frontage Line of a Lot, measured from side Lot Line to side Lot Line. (See Summary Tables for each VCV-Zone)
- e. Where multiple Lots are aggregated under single ownership, the side Setbacks between assembled Lots may be eliminated.
- f. Lots shall be regulated according to three horizontal Layers as shown on Table 3.1 and according to the following guidelines:
 - i. First Layer - The area of a Lot from any Frontage Line to the Facade of the Primary Building.
 - ii. Second Layer - The area of a Lot set behind the first Layer to a depth of 20 feet.
 - iii. Third Layer - The area of a Lot set behind the second Layer and extending to the rear Lot Line.

Table 3.1 Lot Layer Summary



Primary Frontage Line	A Lot line bordering the primary access from the Public Frontage along a thoroughfare.
Secondary Frontage Line	Corner Lots have more than one Frontage Line. One Frontage Line is designated the Primary Frontage Line and all remaining Frontage Lines are designated as Secondary Frontage Lines.
Lot Width	The length of the Primary Frontage Line of a Lot
First Layer	The area of a Lot from the Frontage Line to the Façade of the Principal Building.
Second Layer	The area of a Lot set behind the 1 st Layer to a depth of 20 feet in all V-Zones.
Third Layer	The area of a Lot set behind the 2 nd Layer and extending to the rear Lot Line.
Primary Front Setback	The area of a Lot measured from the Primary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Secondary Front Setback	The area of a Lot measured from the Secondary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Side Setback	The area of a Lot measured from any side Lot Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Rear Setback	The area of a Lot measured from a rear Lot Line to the nearest permissible location of a Principal Building or Outbuilding, excluding Encroachments.
Primary Building	The main building on a Lot.
Outbuilding	A building located toward the rear of a Lot, such as a garage, carport, or workshop and may include an Accessory Unit.

3.1.2. Building Placement

- a. Front, Side and Rear Setbacks control the spatial enclosure of Thoroughfares and Civic Spaces, and are coordinated by district.
- b. Buildings shall be positioned within the designated setbacks of their Lots to create Freestanding Rural Building(s) or Attached Compact Building(s) as indicated for each district as generally illustrated on Tables 4.2.2, 4.3.2, 4.4.2, and 4.5.2.
- c. Primary Building Facades shall be built parallel to the Frontage Line of a Lot.
- d. Lot coverage by buildings and impermeable surfaces shall be regulated as a percentage of each Lots area.
- e. Primary Building Facades shall be built out along a minimum percentage of a Lot’s Width, as specified for each Zoning District as Facade Build-out abutting the minimum front yard setback on the Primary Frontage thoroughfare.
- f. The front or side of every building must face the street. Rear facing buildings, loading docks, overhead doors and service entries are prohibited on street facades.

Table 3.2 Building Placement on the Lot

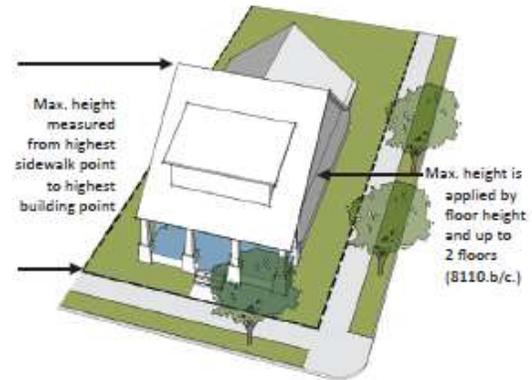
<p>A. FREESTANDING RURAL BUILDINGS (DETACHED) Defined by their open space (yard) with Porches, Common Yards, and Terrace frontages (see Section 3.4). All of VC-V1, VC-V2, VC-V3 and a majority of VC-V4 with less in VC-V5 will include detached buildings. Residential, commercial and horizontal mixed use buildings use this building and yard type.</p>		
<p>i. Edgeyard: The placement of a Primary Building within the boundaries of its Lot to create an Edgeyard around the building, with Setbacks on all sides. The Primary Frontage Line is along the Thoroughfare.</p>		V1 V2 V3 V4
<p>ii. Sideyard: The placement of a Primary Building within the boundaries of its Lot to create a private Sideyard, with a Setback to one side.</p>		V3 V4 V5
<p>B. COMPACT BUILDINGS (ATTACHED) Defined by their various shop front, entry planter, and stoop frontages with the yard in the rear or mid Lot. The V4 and V5 Districts exemplify this pattern. Rowhouses, stacked flats, commercial buildings and vertical mixed use building use this building type. The majority of Valley Center is limited to 2 floors and 35 height with 3 floor buildings allowed in V-4 and V-5 Districts.</p>		
<p>i. Rearyard: The placement of a Primary Building within the boundaries of its Lot to create a Rearyard, leaving the rear of the Lot as private space or available for dedicated parking in its commercial form.</p>		V4 V5
<p>ii. Courtyard: The placement of a Primary Building within the boundaries of its Lot to create a private Courtyard, while internally defining one or more private patios.</p>		V4 V5

3.1.3. Building Height

- a. Permitted building heights shall be measured in number of Floors and maximum height.
- b. Floors may not exceed 16 feet in maximum height from ground floor to upper floor.
- c. Floors may not exceed 14 feet in maximum height on upper floor to floor max.
- d. Maximum height limit is 2-story and 35 feet except in the V-2 and V-3 Districts and 3-story and 45 feet in the V-4 and V-5 Districts.
- e. Height is measured by the vertical distance from the adjoining sidewalk average to the highest point of a flat roof or the mid-point between the eave and the highest gable of a pitched or hipped roof. Mechanical equipment shall be screened.
- f. Purposely-built steeples, masts, belfries, clock towers, water tanks and windmills only shall not exceed a maximum 45 feet height limit, and/or not to exceed 35% of the maximum building height. Mechanical equipment shall be screened.

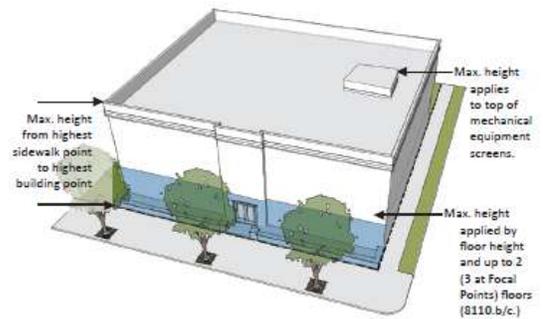
Table 3.3 Building Height Definition Illustrated

A. FREESTANDING RURAL BUILDINGS (DETACHED)



Height: Maximum height shall be 35 feet and 2 floors without exception. The max. height includes all roof ridges, parapets, and rooftop mechanical equipment screens.

B. COMPACT BUILDINGS (ATTACHED)



Height: The maximum height shall be 35 feet and 2 floors (Exception: V-5 lots shall be 45 feet and 3 floors) The max. height(s) include all roof ridges, parapets and rooftop mechanical equipment screens.

3.1.4. Private Frontages

- a. Building Encroachments are permitted to extend into the First Layer of any Lot by a specific percentage as indicated for each Zoning District as per each Zoning District’s Public Encroachment Tables.

Table 3.4 Public Encroachments & Private Frontages

	LOT LINE PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
a. Gallery: an attached cantilevered shed or a lightweight colonnade extending from a building facade to overlap the Sidewalk. Accessible to Attached Buildings				
b. Awning: a window covering attached to an exterior wall of a building to shade a shopfront display window. Accessible to Attached Buildings.				
c. Entry Planter: a raised or at grade vegetative planter at one or both sides of a Principal Entrance of a building. Accessible to both Attached and Freestanding Buildings.				
d. Stoop: an exterior stair and landing leading to an elevated first Story of a building and primarily to access Attached Residential Uses. Accessible to Attached Buildings.				
e. Terrace: an elevated, paved patio, porch or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.				
f. Porch: a roof covered raised platform at the entrance to a building with a common yard buffering it from pedestrian activity of the Sidewalk. Accessible to Freestanding Bldgs.				
g. Common Yard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk. Accessible to Freestanding Buildings.				



3.2. Lots in Multiple Districts

Where a legal lot has split zoning, the regulations for each separate district shall apply. Where an individual building is bisected by a split zone line within a legal lot, the more restrictive regulations shall apply.

3.3. Parking

Table 3.5 Required Vehicular Parking Space Incentives

DISTRICT:	V2	V3	V4	V5
RESIDENTIAL	2.0/dwelling ¹	2.0/dwelling	1.5/dwelling	1.0/dwelling
COMMERCIAL ²			4.0/1,000 sq. ft.	3.0/1,000 sq. ft.
CIVIC	1.0/4 total occupancy	1.0/4 total occupancy	1.0/4 total occupancy	1.0/5 users total occupancy
OFFICE (CLASS A)		Not applicable	3.5/1,000 sq. ft.	3.0/1000 sq. ft.
INDUSTRIAL, AGRICULTURAL		1.0/3,000 sq. ft.	1/3,000 sq. ft.	Not applicable
EXTRACTIVE		1.0/3,000 sq. ft.	1/3,000 sq. ft.	Not applicable

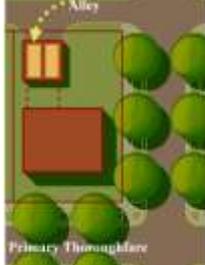
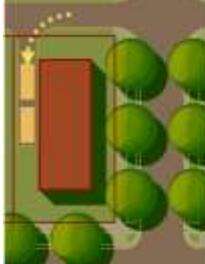
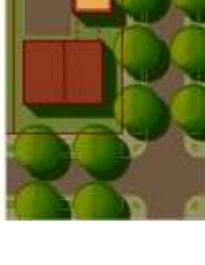
1. Where on-street parking exists, one required parking space per dwelling may be satisfied by on-street parking along the lot frontage.
2. Square footage shall be calculated as Gross Floor Space
3. Auditoriums part of educational institutions in the Major Impact Services and Utilities use category shall provide parking spaces according to the regulations for Spectator Sport and Recreation uses in addition to the parking requirement for employees, students, visitors and square footage when required.

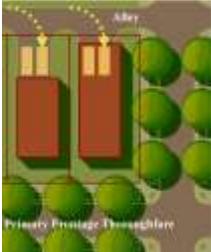
Table 3.7 Parking and Storage Placement Standards

Parking Standards Diagrams

These on-site parking standards represent methods that do not allow driveways and garages to dominate the faces of buildings. Alleys or rear lanes shall be used for vehicular access. Street frontage may be used for access only at lots where alleys or lanes do not exist.

PARKING PLACEMENT	DISTRICT			
	V2	V3	V4	V5
a. Front/First Lot Layer				
	✓	✓	✓	✓
b. Front/Third Lot Layer				
	✓	✓		
c. Front/Second Lot Layer				
	✓	✓		

PARKING PLACEMENT	DISTRICT			
	V2	V3	V4	V5
d. Side Loaded/Second and Third Lot Layer				
	✓	✓	✓	
e. Alley/Outbuilding				
	✓	✓	✓	✓
f. Alley/Park Beside				
	✓	✓	✓	✓
g. Front and Side/Second and Third Lot Layer				
		✓	✓	✓
h. Alley Parking with Mixed Use				
	✓	✓	✓	✓

PARKING PLACEMENT	DISTRICT			
	V2	V3	V4	V5
i. Alley/Carport and Within Building				
	✓	✓	✓	✓

3.3.1. V-1 Creekside

- a. Parking and storage is not allowed within the V1 – Creekside Districts except for small public trailhead parking areas not to exceed six (6) spaces where approved as part of a trail system plan.
- b. On-street parking may be provided along the adjacent Parkway Couplet (1-way) or Parkway (2-way) street types permitted in the adjacent Village Edge Districts.

3.3.2. V-2 Village Edge

- a. The required number of parking spaces per general Land Use are as specified on Table 3.5.
- b. Street frontage may be used for vehicular access only at lots where:
 - i. alleys or lanes do not exist; or
 - ii. where the single driveway will provide sole access to three or more principle dwellings.
- c. Driveways shall be no wider than 12 feet in the first Lot Layer.
- d. Open parking areas shall be located in the second and third Lot Layers.
- e. Alleys or rear lanes shall be used for vehicular access.
- f. Garages shall be located in the second and third Lot Layer except that side or rear entry types may be allowed in the second Lot Layer.

g. .

- h. Outdoor Storage shall be located in the second and third Lot Layers on Table 5.3 Parking and Storage Diagram.
- i. Outdoor Storage shall be enclosed by a minimum six (6) feet and maximum eight (8) feet opaque fence.

3.3.3. V-3 Village Neighborhood

- a. The required number of parking spaces per general Land Use is as specified on Table 3.5.
- b. Driveways shall be no wider than 18 feet in the first Lot Layer.
- c. Open parking areas shall be located in the second and third Lot Layers, except that driveways, drop-offs and unpaved parking areas may be located in the first Lot Layer.
- d. Garages shall be located in the third Lot Layer except that side or rear entry types may be allowed in the second Lot Layer by Exception.
- e. Outdoor Storage shall be located in the second and third Lot Layers on Table 3.1 Parking and Storage Diagram.
- f. Outdoor Storage shall be enclosed by a minimum six (6) feet and maximum eight (8) feet opacity fence.

3.3.4. V-4 Village Center

- a. All parking areas and garages shall be located in the second and third Lot Layer as illustrated on Table 3.1.
- b. Driveways shall be no wider than 12 feet in the first Lot Layer.
- c. The minimum number of parking spaces required for each Use is specified on Table 3.5. Parking requirements shall only be adjusted as specifically indicated in this Section.

- d. The minimum number of parking spaces required for each Use shall be calculated as the sum of the actual parking provided (1) within the Lot, on-site.
- e. Outdoor Storage, Loading, and Service Areas shall be located in the second and third Lot Layers on Table 3.1 Parking and Storage Diagram.
- f. Outdoor Storage shall be completely enclosed by a minimum six (6) to maximum eight (8) feet fence covered by solid or opaque material, with the exclusion of Agricultural Equipment Storage Uses.

3.3.5. V-5 Village Core

- a. All open parking lots, covered garages and Parking Structures shall be located in the third Lot Layer as illustrated on Table 3.1.
- b. Open parking areas shall be masked from view at the Public Frontage by a Building, Fence, Landscape or Streetscreen, excluding vehicular entrances. For Streetscreen characteristics see Table 4.5.5 Fencing.
- c. Pedestrian exits from all parking lots, covered garages, and Parking Structures shall be exited directly to a Frontage Line.
- d. The minimum number of parking spaces required for each Use is specified on Table 3.5 Parking requirements shall only be adjusted as specifically indicated in this Section.
- e. The minimum number of parking spaces required for each Use shall be calculated as the sum of the actual parking provided (1) within the Lot, on-site. Off-site parking along the Thoroughfare should be used for guests and visitors.

- f. Outdoor Storage, Loading and Service Areas shall be located in the third Lot Layer on Table 2.4.D.
- g. Outdoor Storage shall be completely enclosed by a maximum six (6) feet and covered by solid or opaque material, with the exclusion of Agricultural Equipment Storage Uses.

3.3.6. CD Civic District

- a. One (1) parking space per 2,000 sq ft of Civic Space.

3.3.7. Bicycle Parking

- a. Bicycle parking areas are required for all new developments.
- b. Within residential units, these areas may be accommodated within enclosed garages or in the form of racks and/or lockers within common areas and in parking areas at a ratio accommodating one bicycle per residential unit.
- c. All other development shall provide racks or lockers at a ratio accommodating one bicycle per 4,000 square feet of non-residential space. Such parking shall be provided in parking areas or common areas and shall be located near building entrances.
- d. Bicycle parking shall be located at least as close and accessible as the nearest motor vehicle parking (other than ADA accessible spaces).

3.3.8. Satisfaction of Parking Requirements

- a. On-street parking spaces within 50 feet of a business entrance may be counted toward the parking requirements.
- b. All parking needs shall be deemed satisfied through participation in a Parking District with a common parking

area(s) improved pursuant to a parking district plan approved by County DPS.

- c. Parking requirements may be fulfilled on-site or on any other property within 900 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director of Planning and Land Use.

3.3.9. Parking Lots

Parking is accommodated on-street, and may also be in structures with liner buildings, underground, and in block centers in surface lots not visible from streets.

On residential streets, long rows of on-street parking on public or private streets will be interrupted with planted islands at least 15 feet long shall be required between adjacent rows of on-street spaces parking every six (6) parking spaces or every 125 feet.

Parking areas that are behind or to the side of buildings create activity on the street and move vehicular circulation off the major streets while reducing conflicts with the pedestrian realm. Larger parking areas shall be broken up and dispersed throughout the site to break up large expanses of parking areas and landscaping shall be incorporated into the design and separation.

- a. Parking areas are located to the rear and side of street-fronting buildings and are setback at least 20 feet from front and street side property lines.
- b. Parking areas are screened from street view.
- c. Parking areas are set back at least 10 feet from exterior side and rear property lines.

- d. Align and connect public streets and sidewalks of new development with those of adjacent developments
- e. Parking lots shall be screened from streets with berms, landscaping, walls (48 inches in height maximum), and/or other features compatible with the overall design concept, where feasible.
- f. Trees shall be planted within parking areas and shall be spaced a maximum of every 10 parking spaces. Trees with larger canopies provide shade to parked vehicles and reduce the heat island effect. Tree species selected with minimal impacts to adjacent paved surfaces decreases concerns with safety and maintenance.
- g. Measures to manage and appropriately maintain stormwater shall be incorporated into the design of parking lots through use of bioswales, permeable surfaces, landscaping, and other best practices. Stormwater is generally managed on a project-wide basis, so localized treatment features may not be necessary.
- h. As a means of providing a source of energy production and to shade parked vehicles, parking lots may include carport-style solar panel covering.
- i. Parking stall size and the amount of parking required shall be regulated by County Standards. Parking space reductions may be allowed for compact spaces consistent with County standards.
- j. On Street spaces as designated (8'x21' if marked, otherwise open curb parking)
- k. Off-street spaces shall be 9'x18' with a minimum 24 foot aisle.

3.4. Stormwater Management

- a. Pervious Paving techniques shall be allowed in the first, second and third Lot Layers (see Table 3.1).
- b. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- c. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- d. Channeling facilities shall be allowed in the first, second and third Lot Layer.
- e. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- f. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- g. Storage facilities shall be allowed in the second and third Lot Layers.
- h. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to Moosa Creek drainages.
- i. Storage facilities shall be limited to subsurface storage beneath parking areas, irrigation Ponds and/or Retention Basins.
- j. Filtration facilities shall be allowed in the second and third Lot Layers.
- k. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- l. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden and Green Roof(s).
- m. The landscaped shoulders and medians of the streets are encouraged for use

for stormwater runoff treatment and conveyance. Where part of an approved maintenance district, the area of such features in the ROW shall count toward the gross lot area and permissible development density.

- n. Zero, flush mounted curbs along new streets are encouraged to allow for sheet flow and immediate water quality treatment of stormwater runoff via landscaped areas, parkways and bio-swales adjacent to the street.

3.5. Utilities

All public utilities shall be located underground and within public streets or rear alleys. Utilities along private streets will require an easement with the appropriate agency to maintain access.

3.6. Civic Buildings

Civic buildings are of special importance to a community. To better provide flexibility and to create a more distinct architectural statement, civic buildings are not subject to the building and use standards of the District. Instead, civic building design shall go through the Design Review Board and Director of PDS. Civic buildings typically include churches, libraries, schools, recreational facilities, and places of assembly. Civic buildings and uses are allowed in V-3 to V-5 Districts.

3.7. Drive-through Facilities

Drive-through service windows are allowed behind buildings, where not visible from the street. Such facilities may be visible from and include connections to alleys. Drive-through facilities require an Administrative Permit and Design Review Board approval. Screening treatments such as berms, landscaping, and walls may be required to reduce the visual impact from the street. Such facilities shall only be accessed from an alley, approved parking lot, or not more than one existing single driveway off the primary frontage. No new curb cuts shall be allowed.

3.8. Accessory Structures/Uses

Accessory structures are allowed and may include parking, accessory dwellings, home occupations, and on-site storage, loading, service, and refuse areas. Accessory structures shall not exceed 2 floors or 25 feet in height, and shall be a maximum of 800 square feet. Live-work space does not count as an accessory structure or use. Accessory structures and uses are otherwise regulated by the zoning ordinance.

3.9. Large Format Buildings

Buildings with a footprint greater than 20,000 square feet are prohibited along all street types except Valley Center Road Boulevard Core and Boulevard Transition. Large format buildings along Boulevard Core, and Boulevard Transition street types require the addition of liner buildings with shop front windows and doors to reduce the visual dominance of the large format building. All loading, service, and refuse areas shall not be oriented toward the street and shall be screened with landscaping and walls from adjacent uses.

Buildings greater than 125- feet in width should be divided into separately-articulated volumes in order to give the appearance that the building is comprised of multiple buildings. Volumetric variation can be expressed by horizontal and/or vertical offsets. Roofs are generally flat.

Facades along frontage lines that exceed 125 feet shall incorporate a massing break in the form of a forecourt from grade through the roof for the purpose of expressing at least two primary volumes. The massing break shall be 35 feet in depth from R.O.W. and 25 feet in width as measured parallel to R.O.W.

A two or three-story commercial block building shall use differences in height and setback to break down the overall scale of the building. The front facade should be divided up into repeating bays that are delineated with ground floor storefronts and upper floor windows that align with the storefronts. The central block should be symmetrical in its composition and gives access to upper floors through a front door, lobby, elevator, and interior corridors.

3.10. Wireless Telecommunication Facilities

Wireless telecommunication facilities and towers are categorized as Minor Impact Utilities and are regulated by the County of San Diego Zoning §6980 excepting §6985 and §6986 and shall not exceed a height of 35 feet.

3.11. Energy Efficiency Standards

Preparation of this code was made possible by a Partnership Grant through SDG&E to promote the design of energy efficient communities. The following design standards are intended to facilitate the development of energy efficient projects in the South Village. All new buildings will be very energy efficient through compliance with Title 24 of the California Building Code. The following design features are intended to enhance the energy efficiency exterior building and site design to further reduce the need and demand for heating and cooling loads.

The whole-building design approach integrates building design and siting, including the use of components that feature the latest in energy-efficient technologies and practices. Identified below are energy efficient design practices for new development in the South Village.

3.11.1. Building Orientation & Design

The solar orientation of buildings and the design of exterior features including shade structures, paving materials, landscaping and roofing can effectively manage heat gain and loss, and resulting cooling and heating demand and energy use.

- Orient long building axes generally east-west to optimize passive and active solar management and energy efficiency.
- Maximize the number and size of north-facing and south-facing windows.
- Use smaller and fewer windows on the east and west sides of the building to

prevent solar heat gain during low sun position, sun rise and sunset hours.

- Protect windows, walls and roof from direct sunlight by incorporating strategically placed overhangs, louvers, landscaping, green/cool roofs or similar shade-producing features.
- Exterior wall surfaces and windows are protected from direct sun exposure via protected courtyards, porches, arcades, loggias, verandas, or overhangs.
- Roof overhangs on south-facing walls protect window areas from summer sun while admitting lower winter sun rays for daylighting and thermal storage.
- South-facing courtyards are used to create protected outdoor spaces, giving the site a more favorable microclimate for year-round activities.

3.11.2. Ventilation and Daylighting

Daylighting – Daylighting techniques involve the incorporation of natural daylight into the mix of a building’s interior illumination. When properly designed and integrated with electric lighting, daylighting can offer significant energy savings by offsetting a portion of the electric lighting needed. A side benefit of daylighting is that it also reduces the internal heat gain from electric lighting, thereby reducing required cooling capacity. Other sources of daylight include skylights and skydomes that spread daylight more evenly in occupied interior spaces.

- 75% of all regularly occupied interior spaces shall achieve a minimum daylight illumination of 25 footcandles under clear sky conditions.
- 75% of all building occupants shall have direct line of sight views to the outdoor environment.
- Locate open, low-wall building spaces around the perimeter of interior building spaces to maximize the amount of daylight into interior spaces. Enclosed

space and full height walls (rest rooms, mechanical rooms, offices and break or common rooms and kitchens) should be located in the center of building cores.

- Use operable windows, and skylight to use available resources and minimize energy demand for mechanical systems.
- Locate openings and the use of ventilating devices that take advantage of natural air flow (particularly cool evening breezes).
- Awnings, light shelves and clearstory windows and landscaping to south facing protect walls and windows from direct summer, but admitting winter, sun rays.
- Large north facing windows to maximize daylighting with minimal heat gain.
- Design building interiors to take advantage of natural ventilation by orienting rooms so that breezes can blow through them

3.11.3. Urban Heat Island Effect

The average ambient temperature is increased as a result of the absorption of heat by day and the release of that heat by night, resulting in increased energy use for cooling purposes. New developments shall use the one of the two methods for surface and roof-top urban heat island reduction.

Surface Techniques:

- Provide any combination of the following strategies for 50% of the site hardscape (including roads, sidewalks, courtyards and parking lots):
- Shaded within 5 years of occupancy
 - Paving materials with a Solar Reflectance Index (SRI) of 29 or greater
 - Open grid pavement system; or
 - Alternatively, place 50% of the parking spaces under cover (underground, deck, roof or building) provided any roof used

to shade or cover parking has a SRI of 20 or greater.

Roof-top Techniques:

- Use roofing materials with a SRI equal to or greater than 78 for a low-sloped or flat roof ($\leq 2:12$), or an SRI of 29 or greater for steep-sloped roofs $> 2:12$; or
- Install a vegetated roof for at least 50% of the roof area.

3.11.4. Landscaping

Selection of local climate appropriate landscaping can minimize energy use through shading, respiration, minimization of heat gain and urban heat island effects, and water conservation.

- Minimize hardscape surfaces where possible in favor of landscaped materials.
- Use native and climate appropriate drought tolerant species and minimize use of turf grasses to minimize irrigation demand and the imbedded energy to treat and deliver water.

3.11.5. Renewable Energy

- New buildings and planned developments shall provide rooftop, parking or other solar systems to generate and or reduce the demand for a minimum of 50% of the average expected daily electrical demand. Such systems or renewable energy purchase agreements can be provided for each individual building, or in aggregate.
- Commercial developments greater than 10,000 square feet of gross floor area shall provide at least one electric vehicle charging station.

3.11.6. Lighting

A top priority of maintaining the rural character of Valley Center is to maintain visibility of the night skies. It is important to minimize exterior lighting in order to prevent glare and minimize

reflected, ambient light so as to maintain visibility of the night skies. Illuminate only areas necessary for safety, security and to compliment architectural character. Low-power, even and balanced lighting shall be utilized to avoid high contrast between more and less brightly lighted or unlighted areas which create dark pockets or over saturate one area with a “fish bowl” effect.

a. Light fixtures shall be full cutoff and fully shielded to prevent direct view of the light source. Flood lights are prohibited.

b. Non-essential site lighting shall be controlled by timers to turn off after 10:00 pm or immediately after closing of non-residential uses.

c. Light Zone 1 – Dark (Park & Rural Settings): VC-V1 Creekside District

Exterior lighting shall produce a maximum initial illuminance of no greater than 0.01 horizontal and vertical footcandles at the site boundary and beyond. Document that 0% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).

d. Light Zone 2 – Low (Residential Areas) : VC-V2 Village Edge District

Exterior lighting shall produce a maximum initial illuminance of no greater than 0.10 horizontal and vertical footcandles at the site boundary and beyond, and no greater than 0.01 footcandles 10 feet beyond the site boundary. Document that no more than 2% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).

e. Light Zone 3 – Medium (Commercial & High Density Residential Areas) : VC-V3, V4 and V5 Village Neighborhood, Center and Core Districts

Exterior lighting shall produce a maximum initial illuminance of no greater than 0.20 horizontal and vertical footcandles at the site boundary and beyond, and no greater than 0.01 footcandles 15 feet beyond the site boundary. Document that no more than 5% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).

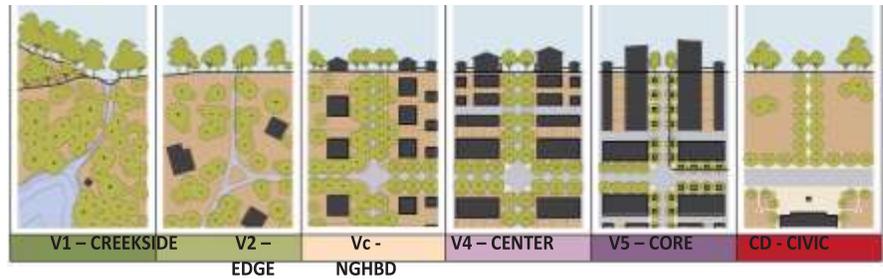
4

DISTRICT REGULATIONS

This chapter identifies standards for creating blocks and streets that create a walkable village and include provisions for all users.

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Table 4.1 Zoning Districts (from Creekside to Village Core)



The following Districts are established under the provisions of this Section:

4.1 Creekside District (VC-V1) Lands within and adjacent to the riparian areas adjacent to Mousa Creek and the two primary tributaries within the South Village Code area. Intended to be a primary focal point and organizing feature for the surrounding neighborhood development. It will function as a publicly accessible natural and passive park space with pedestrian trails and creek crossings, a primary component of the Valley Center trail system, and a link of the northern and southern parts of the South Village Code area.

4.2 Parkway Edge District (VC-V2) Primarily detached single-family homes on small to moderate sized lots that face the Creekside District park and natural features and transition to the lower density residential lands adjacent to the South Village Code area. This district is typified by streets with “front porch” style homes, small front yards and sidewalks on one side that face linear parks with multi-purpose path trails and natural restored creek features on the other. Vehicular access is from side or rear access lanes or driveways. Narrow private driveways directly off of the street are limited to relatively few larger lots where slopes limit smaller lots and residential lanes.

4.3 Village Neighborhood District (VC-V3) Links the Parkway Edge and the mixed-use Village Center districts. It is intended to consist of a wide mix of residential housing from detached and attached homes (e.g. single family, accessory dwellings/carriage houses, duplex, triplex and quadplex, courtyard homes, row homes and flats). Buildings are set close to the street with attractive landscaped sidewalks/trails, on-street parking, bike lanes with very few curb cuts and driveways. Vehicular access and parking is from side or rear access lanes or driveways that serve five or more residences. Off-street parking is in common or linked lots behind or to the side of buildings.

4.4 Village Center District (VC-V4) Includes existing commercial buildings along Valley Center Road and areas adjacent to the Village Core District along Mirar de Valle. Located between and adjacent to the Village Neighborhood and the Village Core Districts, it is intended for a mix of residential, commercial and mixed-use buildings from both. Buildings are taller and closer to the street and each other, sidewalks/multi-purpose trails are wide, and on-street parking and bike lanes is typical of this district. Off-street parking is in common or linked lots behind buildings.

4.5 Village Core District (VC-V5) Centered on the crossroads at Valley Center Road and Mirar de Valle. It is the commercial, service, social and cultural focal point and most intensely developed portion of the South Village. It has a fairly continuous street wall of building facades that border largely uninterrupted wide sidewalks with street trees and on-street parking. This district includes a Main Street with well-defined public and semi-public spaces bordered by shop fronts on wide sidewalks with small courtyards and plazas in shallow setbacks suitable for outdoor seating, dining and small events. This district is typified by a consistent street wall of adjacent buildings, high lot coverage, multi-level buildings, on-street parking, wide sidewalks, street trees and lamps that creates a strong spatial definition of outdoor spaces. Valley Center Road also has a traditional 4-lane Main Street pattern with street trees that shade travel lanes, on-street parking and sidewalks, and landscaped medians that naturally promote slow vehicle speeds (25 MPH), pedestrian and bicycle activity, window shopping and outdoor activity. Off-street parking is in common or linked lots behind buildings.

4.6 Civic District (VC-CD) Consists primarily of open spaces such as a Village Green, parks, plazas and public buildings dedicated to arts, culture, education, recreation, local government, and/or municipal uses that serve as necessary components of any community.

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4.1. VC-V1 Creekside District

Land within the VC-V1 – Creekside District shall be subject to the requirements of this section and the Resource Protection Ordinance (RPO) as these areas include sections of the Moosa Creek Floodway and Floodplain. Lots located within the VC-V1 should also be subject to the Valley Center Community Trails Plans to provide trail easements for the Moosa Creek equestrian trail.

Permit subject to the principles and standards of this South Village Code.

- d. Pedestrian and bicycle trail crossings shall be provided not more than every 1,000 feet.

4.1.1. Lot Creation

- a. Subdivisions of existing Lots and new combination of Lots shall be reserved for creek habitat restoration and open space and adjacent parallel linear public parks and trails.
- b. Creekside lots generally shall provide at least 100 feet from the creek channel for both habitat restoration and public parks and trails. Greater distances can be provided where necessary for flood management and otherwise available.
- c. Parkway Couplet streets will abut and define the limits of the Creekside Districts.

4.1.2. Building and Land Use

- a. Buildings are not allowed other than small civic facilities in support of the parks and trails such as gazebos, shelters and educational activities.
- b. Permitted uses are as noted in Table 4.1.1, Use Schedule, but are generally limited to public parks and trails, creek habitat restoration and educational activities, and similar public and civic uses.
- c. At least one road crossing of each the three creeks in the Creekside Districts shall be provided to provide road and community connectivity on both sides of each creek. The precise locations and design of each crossing shall be determined as part of the Site Plan

Table 4.1.1 Permitted Uses

RESIDENTIAL	
Accessory Apartment	
Family Residential	
Farm Labor Camps	
Group Residential	
Mobile Home Residential	
OFFICE	
Professional Office Space	
COMMERCIAL	
Administrative & Professional Service	
Agricultural & Horticultural Sales	
Agricultural Sales	
Horticultural Sales	
Agricultural Services	
Animal Sales and Services	
Auctioning	
Grooming	
Stockyards	
Veterinary (Large Animals)	
Veterinary (Small Animals)	
Automotive and Equipment	
Cleaning	
Fleet Storage	
Parking	
Repairs (Heavy Equipment)	
Repairs (Light Equipment)	
Sales/Rentals (Heavy Equipment)	
Sales/Rentals (Farm Equipment)	
Sales/Rentals (Light Equipment)	
Building Maintenance Services	

Business Equipment and Sales Services	
Business Support Services	
Communication Services	
Construction Sales and Personal Service	
Convenience Sales and Service	
Cottage Industries	
Eating & Drinking Establishment	
Outdoor Dining (encroaching into ROW)	
Food and Beverage Retail Sales	
Financial, Insurance and Real Estate	
Funeral and Internment Services	
Cremating / Interning	
Undertaking	
Gasoline Sales	
Laundry Services	
Medical Services	
Participant Sports & Recreation	
Indoor	
Outdoor	
Personal Services, General	
Recycling Collection / Processing Facility	
Repair Services, Consumer	
Research Services (Cottage Industry)	
Retail Sales	
General	
Specialty	
Scrap Operations	
Spectator Sport & Entertainment	
Limited	
General (Private Gymnasium)	
Swap Meets (not to exceed 5,000 sf)	
Transient Habitation	
Campground	
Lodging	
Resort	
Wholesale Storage and Distribution	
Mini Warehouse	
Light	
Heavy	

INDUSTRIAL	
Custom Manufacturing	
General Industrial	
AGRICULTURAL	
Horticulture	
Cultivation	R
Storage	R
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	
General	
Support	
Winery	
Small Winery	
Boutique Winery	
Wholesale Limited Winery	
Agricultural Equipment Storage	
EXTRACTIVE	
Mining and Processing	
Site Preparation	
CIVIC	
Administrative Services	
Ambulance Services	
Emergency Shelter	
Clinic Services	
Community Recreation	M
Cultural Exhibits & Library Services	M
Child Care Center	
Essential Services	
Fire Protection Services	
Group Care	
Law Enforcement Services	
Lodge, Fraternal & Civic Assembly	
Major Impact Services & Utilities	
Minor Impact Utilities	m
Parking Services	
Postal Services	
Religious Services and Assembly	

4.1.6. Fencing

- a. No fencing shall be permitted in the Creekside District.

4.2. VC-V2 Village Edge District

Lots located within the VC-V2 – Rural District shall be subject to the requirements of this section.

4.2.1. Lot Width

- a. Lots shall have a minimum width of 60 feet and a maximum width of 80 feet measured at the primary thoroughfare Frontage Line.

4.2.2. Building and Land Use

- a. Primary and accessory buildings shall be comply with the required setbacks in see Table 4.2.2)
- b. Lots designated as VC-V2 on the District Plan shall be restricted to the following requirements:
 - i. Lots and buildings shall be restricted to two (2) Permitted Use categories on Table 4.2.1.
 - ii. The number of dwellings on each Lot is restricted to a Single Dwelling Unit within the Primary Building and an Accessory Dwelling Unit either within the Primary Building or in an Outbuilding.

Table 4.2.1 Permitted Uses

RESIDENTIAL	
Accessory Apartment	R
Family Residential	R
Farm Labor Camps	
Group Residential	M
Mobile Home Residential	M
OFFICE	
Professional Office Space	
COMMERCIAL	
Administrative & Professional Service	
Agricultural & Horticultural Sales	
Agricultural Sales	
Horticultural Sales	

Agricultural Services	
Animal Sales and Services	
Auctioning	
Grooming	
Stockyards	
Veterinary (Large Animals)	
Veterinary (Small Animals)	
Automotive and Equipment	
Cleaning	
Fleet Storage	
Parking	
Repairs (Heavy Equipment)	
Repairs (Light Equipment)	
Sales/Rentals (Heavy Equipment)	
Sales/Rentals (Farm Equipment)	
Sales/Rentals (Light Equipment)	
Building Maintenance Services	
Business Equipment and Sales Services	
Business Support Services	
Communication Services	
Construction Sales and Personal Service	
Convenience Sales and Service	
Cottage Industries	
Eating & Drinking Establishment	
Outdoor Dining (encroaching into ROW)	
Food and Beverage Retail Sales	
Financial, Insurance and Real Estate	
Funeral and Internment Services	
Cremating / Interning	
Undertaking	
Gasoline Sales	
Laundry Services	
Medical Services	
Participant Sports & Recreation	
Indoor	
Outdoor	

4.2.3. Building Placement

- a. Lot coverage by buildings and impermeable surfaces shall be a maximum of 50% of the Lot area.
- b. Buildings shall be Setback in relation to the boundaries of their Lot as specified on Table 3.1.
- c. Primary Buildings shall be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building. (see Table 3.2).
- d. The Principal Entrance of any Primary Building shall be oriented toward a Frontage Line

wide. Refer to County Regulatory Ordinance §86.701 and Landscape Design Manual.

- e. Shrubs should be of medium sized, low creeping variety and shall include Ceanothus, Juniperus, Mahonia, Ornamental grasses, Pittosposum, Pyracantha, and Ribes species.

4.2.4. Building Height

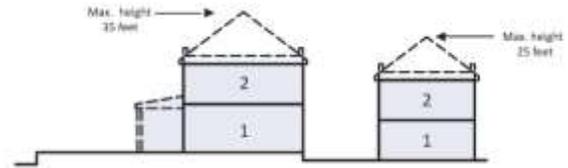
- a. The maximum height of a Primary Building shall be two (2) floors and 35-feet, and of all Outbuildings shall be two (2) floors and 25 feet as specified on Table 3.3.

4.2.5. Landscape

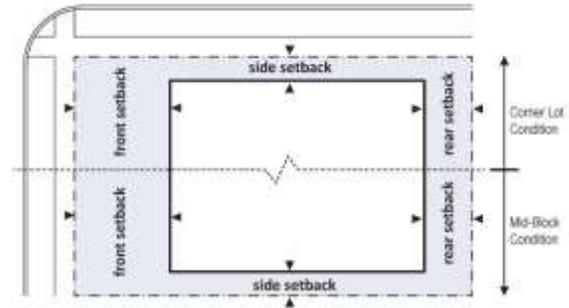
- a. The first Lot Layer shall not be paved, with the exclusion of Driveways and walkways leading to Principal Entrances. Driveway pavers shall be pervious material.
- b. Privately owned but publicly accessible spaces provided internal to any Lot shall be designed as a landscaped in relationship to the natural character of nearby Moosa Creek.
- c. Parking and landscaped areas shall utilize Section 3.4 stormwater paving, channeling, storage, and filtration techniques.
- d. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet

Table 4.2.2 VC-V2 Summary

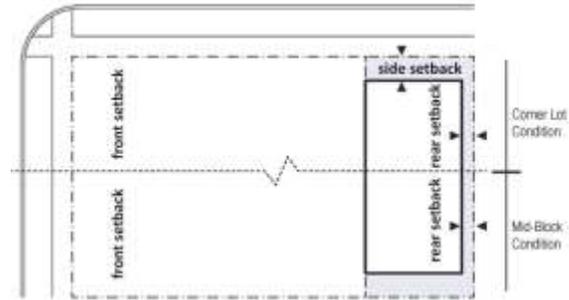
BUILDING PLACEMENT	
Freestanding Rural Building	Permitted
Attached Compact Building	Not permitted
LOT OCCUPATION	
Lot Coverage	50%
Façade Buildout at Minimum Primary Front Setback	Not applicable
PRINCIPAL BUILDING SETBACKS	
Primary Front Setback	10 ft. min.; 25 ft. max.
Secondary Front Setback	12 ft. min.
Side Setback	12 ft. min.
Rear Setback	40 ft. min.
OUTBUILDING SETBACKS	
Front Setback	24 ft. min.
Side Setback	12 ft. min.
Rear Setback	12 ft. min.
BUILDING HEIGHT (FLOORS/FEET)	
Principal Building	2 max., 35 ft. max.
Outbuilding	2 max., 25 ft. max.
ENCROACHMENTS	
i. Within Setback Encroachments	
Open Porch	Not permitted
Balcony and/or Bay Window	Not permitted
Stoop or Terrace	Not permitted
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	Not permitted
iii. Encroachment Depths	
Porch	8 ft. min.
Gallery	Not permitted
Arcade	Not permitted
PARKING LOCATION	
2 nd Layer	Permitted
3 rd Layer	Permitted
STORAGE LOCATION	
1 st Layer	Not permitted
2 nd Layer	Permitted
3 rd Layer	Permitted



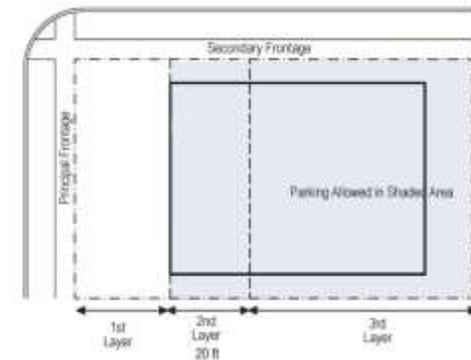
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

4.2.6. Private Frontages

- a. Porch, Common yards, balconies, bay windows, and roof overhangs may encroach within the first Lot Layer as specified on Table 3.1.

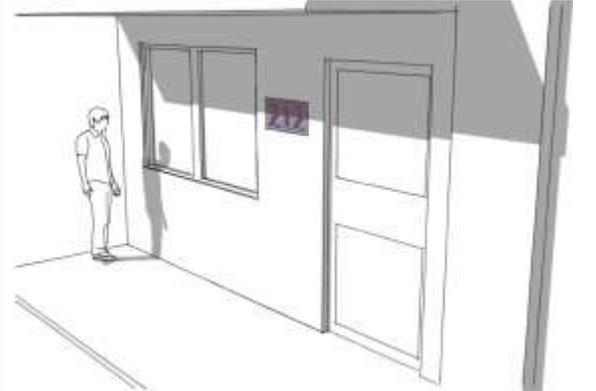
Table 4.2.3 VC-V2 Encroachment Specifications

A. Porch: a roof-covered, raised platform at the front entrance.	
PRIVATE LOT LINE > <PUBLIC R.O.W. <ROW LOT LINE>	
	
Within Setback Encroachment (1 st Layer)	50% max.
Public Sidewalk Encroachment	Not permitted
Height/Depth	8 ft. depth min
B. Common Yard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.	
PRIVATE LOT LINE > <PUBLIC R.O.W. <ROW LOT LINE>	
	
Within Setback Encroachment (1 st Layer)	80% max.
Public Sidewalk Encroachment	Not permitted
Height/Depth	Not applicable

applied to a building wall, may be attached to the Facade within ten (10) feet of a Principal Entrance of any building with a Mixed Use and shall not be internally illuminated.

- e. One single or double-post sign for each Commercial Use shall be permitted, provided that the sign is set back at least six (6) feet from the Frontage Line, does not exceed six (6) square feet excluding posts, and does not exceed six (6) feet in height, including posts, measured from the yard at the signs location.

Table 4.2.4 VC-V2 Sign Standards

ADDRESS SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Clearance	4.5 ft. min.
Apex	Not applicable
Letter Height	12 in. max.

4.2.7. Sign

- a. Address Signs shall be permitted for all Uses. Nameplate Signs and Post Signs shall be permitted for all non-Residential Uses and limited to two (2) sign types per each Lot along the Primary Frontage in the first Lot Layer (Table 3.1).
- b. Signage shall be designed according to Table 4.2.4.
- c. Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of the unit they identify. Address signs may be attached to a mailbox.
- d. One (1) Nameplate per address limited to three (3) square feet and consisting of either a panel or individual letters

NAMEPLATE SIGN



Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Clearance	4 ft. min.
Apex	7 ft. max.
Letter Height	12 in. max.

4.2.8. Lighting

- a. Where provided, lighting shall comply with the requirements of Section 3.11.6 for Light Zone 2 – Low (Residential Areas) Settings.
- b. Exterior lighting shall produce a maximum initial illuminance of no greater than 0.1 horizontal and vertical footcandles at the site boundary and beyond. Document that 2% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).
- c. Lighting shall be oriented on the Lot to maintain the natural Dark Sky character of rural Valley Center.
- d. All lighting shall use full cutoff - fully shielded - luminaries.
- e. No light source shall be directly visible beyond the property. Flood lights and spot lights are prohibited.
- f. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas, and 12 feet elsewhere

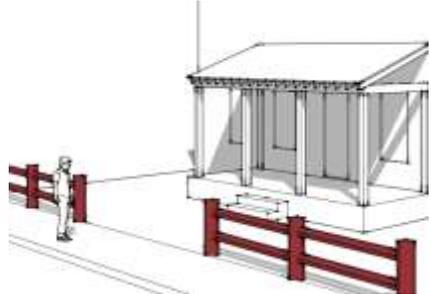
- g. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on human-scaled posts.
- h. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322.

4.2.9. Fence

- a. All proposed, fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 4.2.5 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or landscaped with post hedges shall be setback 18” from property line.
 - ii. Split Rail, Post, stone and brick may be painted or have a natural finish.
 - iii. Picket, metal and stucco fencing materials should have a painted finish.
 - iv. No fencing shall exceed four (4) feet in height in the front layer or six (6) feet in the second or third layers.
 - v. Combined Fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.
 - vii. Razor or barbed wire is prohibited.

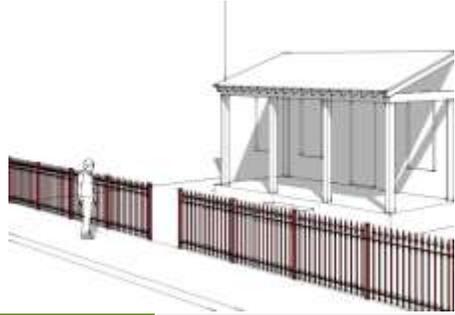
Table 4.2.5 VC-V2 Fencing Standards

SPLIT RAIL



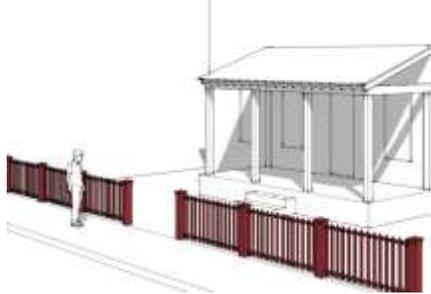
Materials	Wood or concrete
Finish	Paint, stain or natural
Setback	0" or 18" for landscape
Height	3 ft. max.
Location	Primary and secondary front setbacks

METAL



Materials	Aluminum or wrought iron
Finish	Powder coat or paint
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	All setbacks

POST AND PICKET



Materials	Wood or concrete
Finish	Paint, stain or natural
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Primary and secondary front setbacks
Picket Spacing	<2.5 times width of picket

HEDGE AND POST



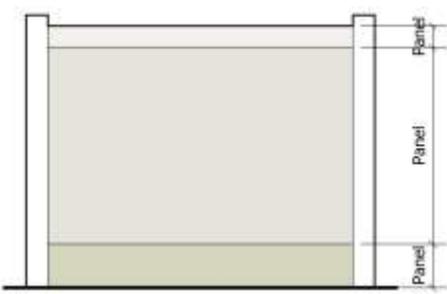
Materials	Landscape and wood
Finish	Paint, stain or natural
Setback	18" from edge of curb
Height	3 ft. min. and 4 ft. max.
Location	All setbacks
Plant Type	Evergreen

HEDGE



Materials	Landscape
Finish	Natural
Setback	18" from edge of curb
Height	3 ft. min. to 4 ft. max.
Location	All setbacks
Plant Type	Evergreen

PANEL

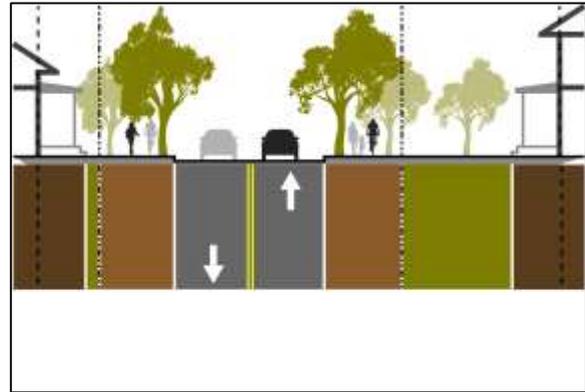


Materials	Wood or vinyl
Finish	Paint or stain
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Side and rear setbacks

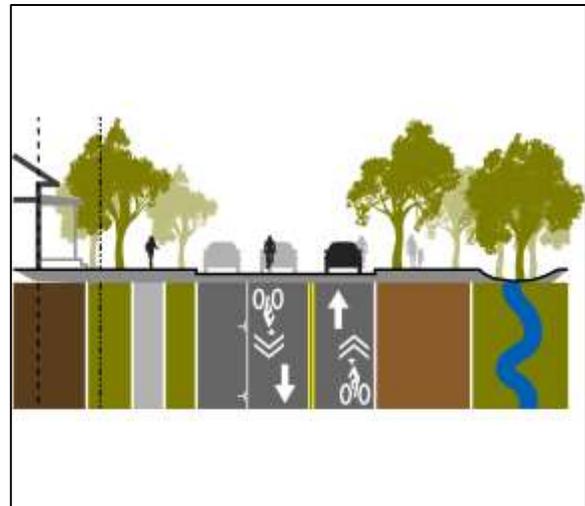
4.2.10. Street Types

Each District is required to provide access to development via the street types and street standards detailed in Chapter 5 and summarized below. The precise location of new streets will be determined by meeting the locational requirements for each street type, the maximum block perimeter distance, and application of the guiding principles in Chapter 2.

Community Transition



Parkway 2-Way



4.3. VC-V3 Village Neighborhood District

Lots located within the VC-V3 – Village Neighborhood District shall be subject to the requirements of this section.

4.3.1. Lot Width

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 40 feet and a maximum width of 60 feet measured at along the Primary Thoroughfare Frontage Line.

4.3.2. Building and Land Use

- a. Primary Buildings may be positioned within the required Setbacks of a Lot to create a Freestanding Rural and Attached Compact Buildings. (see Table 3.3)
- b. Lots designated as VC-V3 on the Valley Center Village South District Plan shall be restricted to the following requirements:
 - i. Lots and buildings shall be restricted to the Residential, Civic, and Agricultural Use categories on Table 4.3.1 only.
 - ii. The number of dwellings on each Lot is restricted to a Single Dwelling Unit within the Primary Building and an Accessory Dwelling Unit either within the Primary Building or in an Outbuilding.

Table 4.3.1 Permitted Uses

RESIDENTIAL	
Accessory Apartment	A
Family Residential	R
Farm Labor Camps	
Group Residential	m
Mobile Home Residential	

OFFICE	
Professional Office Space	
COMMERCIAL	
Administrative & Professional Service	
Agricultural & Horticultural Sales	
Agricultural Sales	
Horticultural Sales	
Agricultural Services	
Animal Sales and Services	
Auctioning	
Grooming	
Stockyards	
Veterinary (Large Animals)	
Veterinary (Small Animals)	
Automotive and Equipment	
Cleaning	
Fleet Storage	
Parking	
Repairs (Heavy Equipment)	
Repairs (Light Equipment)	
Sales/Rentals (Heavy Equipment)	
Sales/Rentals (Farm Equipment)	
Sales/Rentals (Light Equipment)	
Building Maintenance Services	
Business Equipment and Sales Services	
Business Support Services	
Communication Services	
Construction Sales and Personal Service	
Convenience Sales and Service	
Cottage Industries	
Eating & Drinking Establishment	
Outdoor Dining (encroaching into ROW)	
Food and Beverage Retail Sales	
Financial, Insurance and Real Estate	
Funeral and Internment Services	
Cremating / Interning	

Undertaking	
Gasoline Sales	
Laundry Services	
Medical Services	
Participant Sports & Recreation	
Indoor	
Outdoor	
Personal Services, General	M
Recycling Collection / Processing Facility	
Repair Services, Consumer	
Research Services (Cottage Industry)	M
Retail Sales	
General	
Specialty	
Scrap Operations	
Spectator Sport & Entertainment	
Limited	
General (Private Gymnasium)	
Swap Meets (not to exceed 5,000 sf)	
Transient Habitation	
Campground	
Lodging	
Resort	
Wholesale Storage and Distribution	
Mini Warehouse	
Light	
Heavy	
INDUSTRIAL	
Custom Manufacturing	
General Industrial	
AGRICULTURAL	
Horticulture	
Cultivation	
Storage	
Tree Crops	
Row and Field Crops	
Packaging and Processing	
Limited	
General	

Support	m
Winery	M
Small Winery	
Boutique Winery	
Wholesale Limited Winery	
Agricultural Equipment Storage	M
EXTRACTIVE	
Mining and Processing	
Site Preparation	M
CIVIC	
Administrative Services	M
Ambulance Services	M
Emergency Shelter	R
Clinic Services	M
Community Recreation	M
Cultural Exhibits & Library Services	M
Child Care Center	M
Essential Services	R
Fire Protection Services	R
Group Care	M
Law Enforcement Services	m
Lodge, Fraternal & Civic Assembly	M
Major Impact Services & Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities	m
Gymnasium Facilities (non-commercial)	
Small Schools (50 or fewer students)	M
Green	R
Square	
Plaza	
Commercial Plaza	
Playground	R
Pocket Park	R
Outdoor Auditorium	
Library	
Community Center and Facilities	

COMMUNITY SUPPORT	
Fire Station	
Police Station	
Post Office	
Cemetery	

R by RIGHT
 A by ADMINISTRATIVE PERMIT
 m by MINOR USE PERMIT
 M by MAJOR USE PERMIT

4.3.3. Building Placement

- a. One (1) Primary Building and one (1) Outbuilding may be built on each Lot.
- b. Buildings shall be Setback in relation to the boundaries of the Lot as specified on Table 3.1.
- c. Primary Buildings may be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building and Attached Compact Buildings. (see Table 4.3.2)
- d. Lot coverage by Buildings and impermeable surfaces shall be a maximum of 60% of the Lot area.
- e. Facade Build-out of Primary Building Facades shall be a minimum of 60% of the Lot’s width at the minimum front yard Setback.
- f. The Principal Entrance of any Primary Building shall be oriented toward the primary lot Frontage Line.

4.3.4. Building Height

- a. The maximum height of a Primary Building shall be two (2) floors and 35 feet maximum as specified on Table 4.3.2.A.
- b. The maximum height of an Outbuilding shall be two (2) floors and 25 feet maximum as specified on Table 4.3.2.A.

4.3.5. Building Design Standards

- a. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building.
- b. All Facades shall be glazed with clear glass no less than 30% of the first Story, and follow these general patterns:
 - i. Buildings with a ground floor Commercial Use shall be glazed with clear glass no less than 70% of the first Story.
 - ii. Openings above the first Story shall not exceed 50% of the total building wall area, with each Façade being calculated independently.
- c. Where solar panels are attached to buildings, they shall be integrated into the architectural design of the building.

4.3.6. Landscape

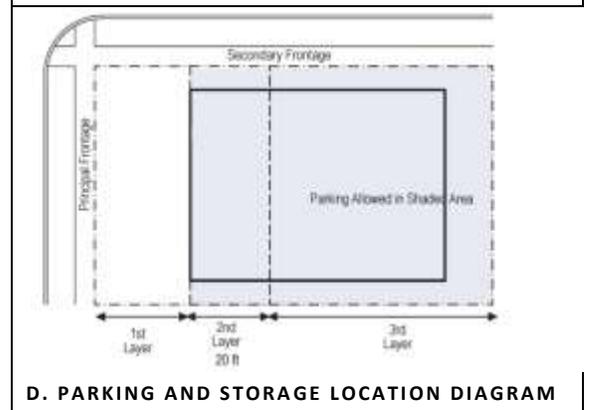
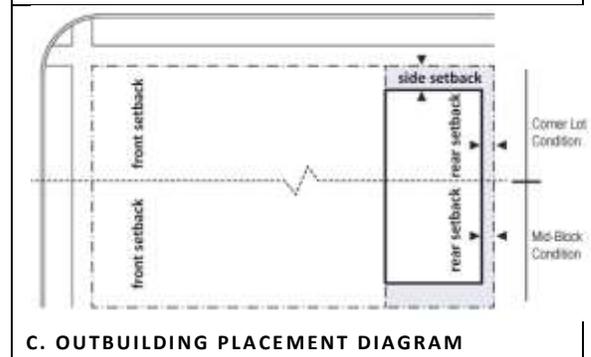
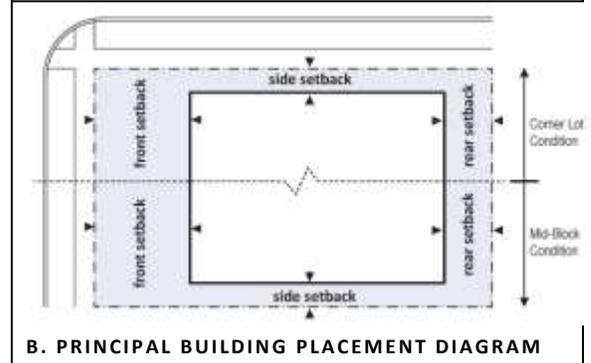
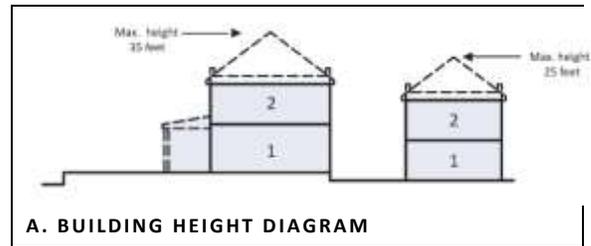
- a. The first Lot Layer should not be paved, with the exclusion of Driveways as specified in §8705(a) and walkways leading to Principal Entrances.
- b. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of not less than one (1) tree for every five (5) parking spaces. See Appendix for Canopy Tree species and characteristics.
- c. Parking and landscaped areas shall utilize Section 3.4 stormwater paving, channeling, storage, and filtration techniques.
- d. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide. Refer to County Regulatory

Ordinance §86.701 and Landscape Design Manual.

- e. Shrubs should be of medium sized, low creeping variety and shall include Ceanothus, Juniperus, Mahonia, Ornamental grasses, Pittosposum, Pyracantha, and Ribes species.

Table 4.3.2 VC-V3 Summary

BUILDING PLACEMENT	
Freestanding Rural Building	Permitted
Attached Compact Building	Permitted
LOT OCCUPATION	
Lot Coverage	60% max.
Façade Buildout at Minimum Primary Front Setback	60% min.
PRINCIPAL BUILDING SETBACKS	
Primary Front Setback	10 ft. min; 25 ft. max.
Secondary Front Setback	12 ft. min.
Side Setback	12 ft. min.
Rear Setback	3 ft. min.
OUTBUILDING SETBACKS	
Front Setback	40 ft. max from rear
Side Setback	0 ft or 3 ft at corner
Rear Setback	3 ft. min.
BUILDING HEIGHT (FLOORS/FEET)	
Principal Building	2 max., 35 ft. max.
Outbuilding	2 max., 35 ft. max.
ENCROACHMENTS	
i. Within Setback Encroachments	
Open Porch	50% max
Balcony and/or Bay Window	25% max
Stoop or Terrace	Not permitted
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	Not permitted
iii. Encroachment Depths	
Porch	8 ft. min.
Gallery	Not permitted
Arcade	Not permitted
PARKING LOCATION	
2 nd Layer	Permitted
3 rd Layer	Permitted
STORAGE LOCATION	
1 st Layer	Permitted
2 nd Layer	Permitted
3 rd Layer	Permitted



4.3.7. Private Frontages

- a. Open Porches may Encroach the within first Lot Layer 50% of its depth as specified on Table 4.3.3.
- b. Balconies and bay windows may encroach within the first Lot Layer 25% of its depth except that balconies on porch roofs shall encroach the same depth as the Porch.

Table 4.3.3 VC-V3 Encroachment Specifications

A. Porch: a roof-covered, raised platform at the entrance to a building.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
Within Setback Encroachment (1 st Layer)	50% min.
Public Sidewalk Encroachment	Not permitted
Height/Depth	8 ft. depth min

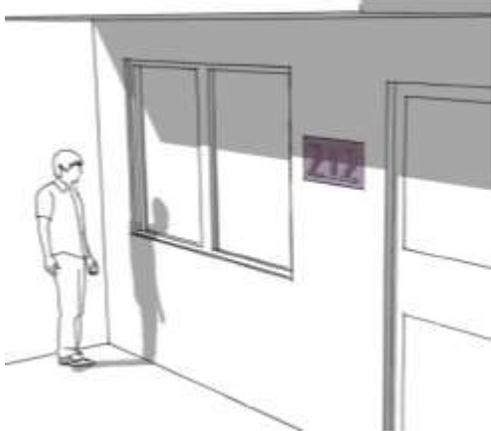
B. Stoop and Dooryard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk; or an exterior stair and landing leading to an elevated first Story of a building.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
Within Setback Encroachment (1 st Layer)	80% max.
Public Sidewalk Encroachment	Not permitted
Height/Depth	Not applicable

C. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
Within Setback Encroachment (1 st Layer)	80% max.
Public Sidewalk Encroachment	Not permitted
Height/Depth	Not applicable

4.3.8. Sign

- a. Address Signs shall be permitted for all Uses. Nameplate Signs and Outdoor Display Cases shall be permitted for Commercial (Retail, Lodging, & Office), Civic, and Education Uses and limited to two (2) sign types per each Lot along the Primary Frontage in the first Lot Layer.
- b. Signage shall be designed according to Table 4.3.4.
- c. Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of the unit they identify. Address signs may be attached to an off-site mailbox by Exception in order to preserve the historic bucket mailbox character of the Colonnade.
- d. One (1) Nameplate per address limited to three (3) square feet and consisting of either a panel or individual letters applied to a building wall, may be attached to the Facade within ten (10) feet of a Principal Entrance of any building with a Commercial Use.
- e. Outdoor Display Cases shall not exceed six (6) square feet and shall not be internally illuminated.

Table 4.3.4 VC-V3 Sign Standards

ADDRESS SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Clearance	4.5 ft. min.
Apex	Not applicable
Letter Height	12 in. max.

NAMEPLATE SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Clearance	4 ft. min.
Apex	7 ft. max.
Letter Height	12 in. max.

OUTDOOR DISPLAY CASE	
	
Quantity	1 per address
Area	6 sf max.
Width	3.5 ft. max.
Height	3.5 ft. max.
Depth/ Projection	5 in. max.
Clearance	4 ft. max.
Apex	42 in. max.
Letter Height	12 in. max.

4.3.9. Lighting

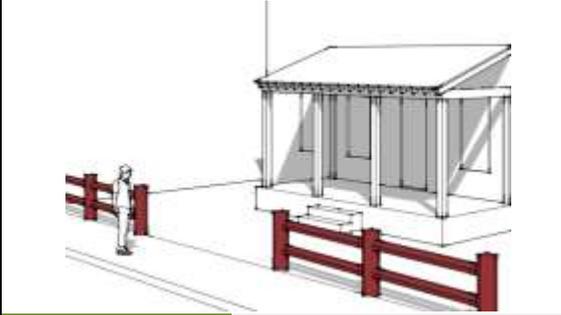
- a. Where provided, lighting shall comply with the requirements of section 3.11.6 for Light Zone 3 – Medium (Commercial & High Density Residential Settings).
- b. Exterior lighting shall produce a maximum initial illuminance of no greater than 0.20 horizontal and vertical footcandles at the site boundary and 0.01 15 feet beyond the site boundary. Document that 5% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).
- c. Lighting shall be oriented on the Lot to maintain the natural Dark Sky character of rural Valley Center.
- d. All lighting shall use full cutoff - fully shielded - luminaries.

- e. No light source shall be directly visible beyond the property. Flood lights and spot lights are prohibited.
- f. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas, and 12 feet elsewhere.
- g. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on human-scaled posts.
- h. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322.

4.3.10. Fence

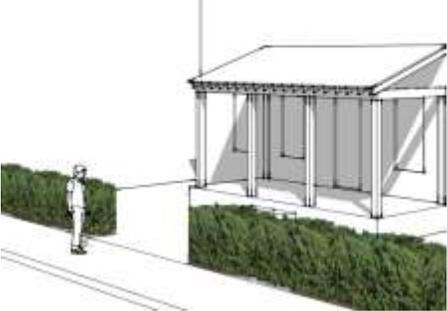
- a. All proposed fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 4.3.5 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or landscaped with post hedges shall be setback 18” from property line.
 - ii. Split Rail, Post, stone and brick may be painted or have a natural finish.
 - iii. Picket, metal and stucco fencing materials should have a painted finish.
 - iv. No fencing shall exceed four (4) feet in height in the front layer or six (6) feet in the second or third layers.
 - v. Combined Fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.
 - vii. Razor or barbed wire is prohibited.

Table 4.3.5 VC-V3 Fencing Standards

SPLIT RAIL	
	
Materials	Wood or concrete
Finish	Paint, stain or natural
Setback	0” or 18” for landscape
Height	3 ft. max.
Location	Primary and secondary front setbacks

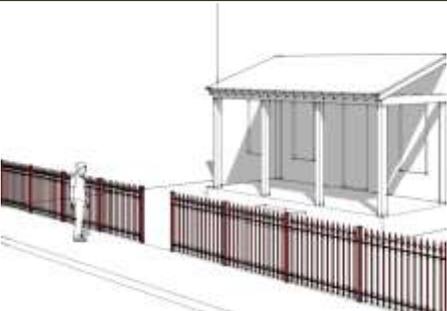
POST AND PICKET	
	
Materials	Wood or concrete
Finish	Paint, stain or natural
Setback	0” or 18” for landscape
Height	3 ft. min. to 4 ft. max.
Location	Primary and secondary front setbacks
Picket Spacing	<2.5 times width of picket

HEDGE



Materials	Landscape
Finish	Natural
Setback	18" from edge of curb
Height	3 ft. min. to 4 ft. max.
Location	All setbacks
Plant Type	Evergreen

METAL



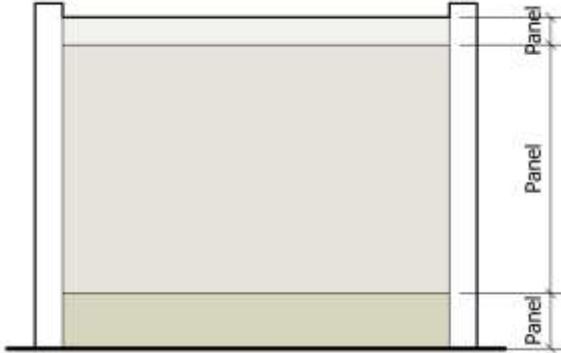
Materials	Aluminum or wrought iron
Finish	Powder coat or paint
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	All setbacks

HEDGE AND POST



Materials	Landscape and wood
Finish	Paint, stain or natural
Setback	18" from edge of curb
Height	3 ft. min. and 4 ft. max.
Location	All setbacks
Plant Type	Evergreen

PANEL

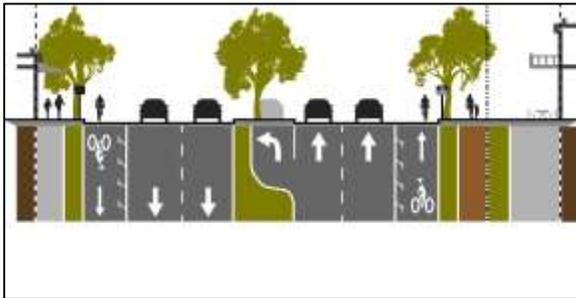


Materials	Wood or vinyl
Finish	Paint or stain
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Side and rear setbacks

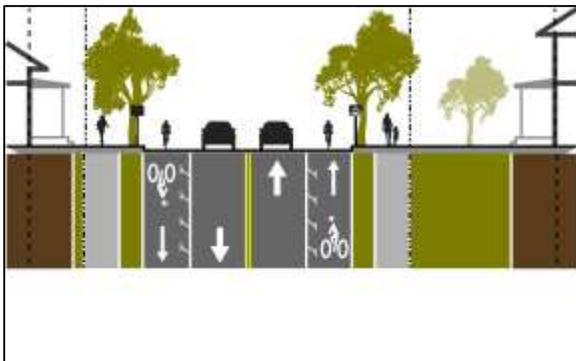
4.3.11. Street Types

Each District is required to provide access to development via the street types and street standards detailed in Chapter 5 and summarized below. The precise location of new streets will be determined by meeting the locational requirements for each street type, the maximum block perimeter distance, and application of the guiding principles in Chapter 2.

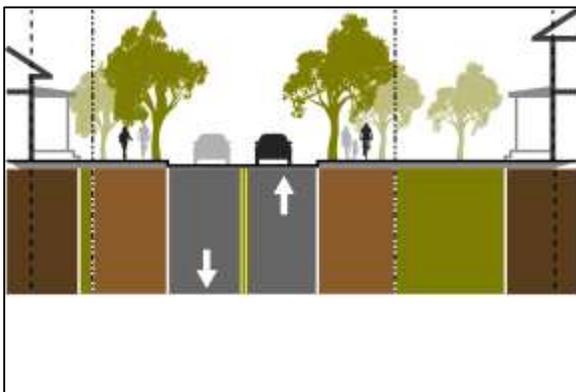
Boulevard Transition



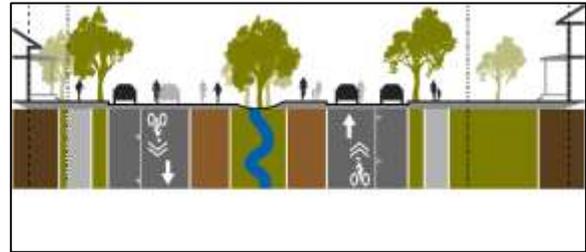
Community Core



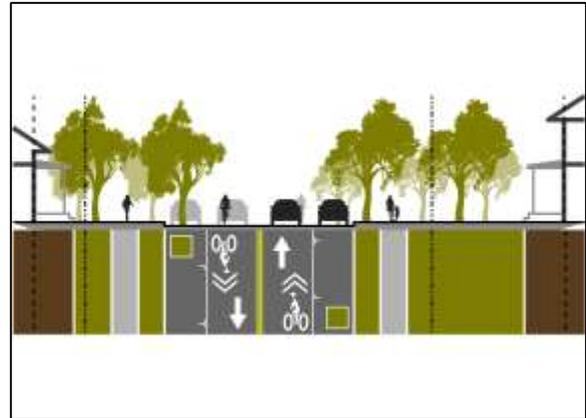
Community Transition



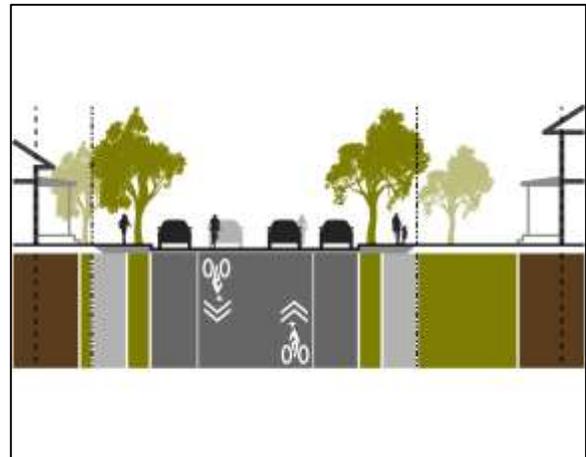
Parkway 1-Way



Village Connector



Neighborhood



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4.4. VC-V4 Village Center District

Lots located within the VC-V4 –Village Center District shall be subject to the requirements of this section.

4.4.1. Lot Width

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 20 feet and maximum 120 feet measured at the Primary Thoroughfare Frontage Line.

4.4.2. Building and Land Use

- a. Permitted Uses for Lots designated as VC-V4 are listed on Table 4.4.1.
- b. Buildings may combine up to three (3) Uses.
- c. The first Lot Layer’s ground floor shall be restricted to Commercial.
- d. Lodging Uses shall be owner occupied.

Table 4.4.1 Permitted Uses

RESIDENTIAL	
Accessory Apartment	R
Family Residential	R
Farm Labor Camps	
Group Residential	m
Mobile Home Residential	
OFFICE	
Professional Office Space	R
COMMERCIAL	
Administrative & Professional Service	R
Agricultural & Horticultural Sales	R
Agricultural Sales	R
Horticultural Sales	R
Agricultural Services	R
Animal Sales and Services	
Auctioning	
Grooming	R

Stockyards	
Veterinary (Large Animals)	R
Veterinary (Small Animals)	R
Automotive and Equipment	
Cleaning	m
Fleet Storage	m
Parking	R
Repairs (Heavy Equipment)	m
Repairs (Light Equipment)	R
Sales/Rentals (Heavy Equipment)	R
Sales/Rentals (Farm Equipment)	R
Sales/Rentals (Light Equipment)	R
Building Maintenance Services	m
Business Equipment and Sales Services	R
Business Support Services	R
Communication Services	R
Construction Sales and Personal Service	R
Convenience Sales and Service	R
Cottage Industries	R
Eating & Drinking Establishment	R
Outdoor Dining (encroaching into ROW)	R
Food and Beverage Retail Sales	m
Financial, Insurance and Real Estate	R
Funeral and Internment Services	R
Cremating / Interning	
Undertaking	M
Gasoline Sales	A
Laundry Services	R
Medical Services	R
Participant Sports & Recreation	R
Indoor	
Outdoor	R
Personal Services, General	m
Recycling Collection / Processing Facility	R
Repair Services, Consumer	A
Research Services (Cottage Industry)	R

Retail Sales	A
General	R
Specialty	R
Scrap Operations	
Spectator Sport & Entertainment	
Limited	R
General (Private Gymnasium)	M
Swap Meets (not to exceed 5,000 sf)	M
Transient Habitation	
Campground	
Lodging	R
Resort	m
Wholesale Storage and Distribution	
Mini Warehouse	A
Light	A
Heavy	M
INDUSTRIAL	
Custom Manufacturing	m
General Industrial	m
AGRICULTURAL	
Horticulture	
Cultivation	R
Storage	R
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	
General	
Support	
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	
EXTRACTIVE	
Mining and Processing	
Site Preparation	M
CIVIC	
Administrative Services	R

Ambulance Services	R
Emergency Shelter	R
Clinic Services	R
Community Recreation	m
Cultural Exhibits & Library Services	R
Child Care Center	R
Essential Services	R
Fire Protection Services	R
Group Care	R
Law Enforcement Services	R
Lodge, Fraternal & Civic Assembly	R
Major Impact Services & Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities	
Gymnasium Facilities (non-commercial)	R
Small Schools (50 or fewer students)	R
Green	R
Square	R
Plaza	
Commercial Plaza	R
Playground	R
Pocket Park	R
Outdoor Auditorium	
Library	R
Community Center and Facilities	R
COMMUNITY SUPPORT	
Fire Station	R
Police Station	R
Post Office	R
Cemetery	

R by RIGHT
A by ADMINISTRATIVE PERMIT
m by MINOR USE PERMIT
M by MAJOR USE PERMIT

4.4.3. Building Placement

- a. One (1) Primary Building and one (1) Outbuilding may be built on each Lot.
- b. Buildings shall be Setback in relation to the boundaries of the Lot as specified on Table 3.1.
- c. Primary Buildings may be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building and/or an Attached Compact Building. (see Table 3.2)
- d. Lot coverage by Buildings and impermeable surfaces shall be a maximum of 70% of the Lot area.
- e. Façade Buildout of Primary Building Façades shall be a minimum of 70% of the Lot's width at the minimum front yard Setback.
- f. The Principal Entrance of any Primary Building shall be oriented toward a Frontage Line.

4.4.4. Building Height

- a. The maximum height of a Primary Building shall be two (2) floors as specified on Table 4.4.2.
- b. The maximum height of an Outbuilding shall be two (2) floors as specified on Table 4.4.2.

4.4.5. Building Design Standards

- a. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building.
- b. Doorways and windows without exterior shading shall be recessed from the plane of the Façade or Elevation of a building two (2) inches in depth for every one (1) foot in height.

- c. All Facades shall be glazed with clear glass no less than 30% of the first Story, and follow these general patterns:
 - i. Buildings with a ground floor Commercial Use shall be glazed with clear glass no less than 70% of the first Story.
 - ii. Openings above the first Story shall not exceed 50% of the total building wall area, with each Façade being calculated independently.
- d. Streetscreens should be used to clearly define a Lot's un-built space (parking or civic space) fronting onto a Primary Thoroughfare, and follow this general pattern:
 - i. Streetscreens shall be of a similar design to the Façade of buildings they abut.
 - ii. Streetscreens shall be between three and a half (3.5) and six (6) feet in height. The Streetscreen should be of similar design as adjacent hedge or fencing, see Table 4.4.5.
- e. Upper floor shall be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias.
 - i. Roof mounted equipment shall be setback and screened from view adjacent thoroughfares Primary Frontage.
 - ii. Where solar panels are attached to buildings, they shall be integrated into the architectural design of the building.

4.4.6. Landscape

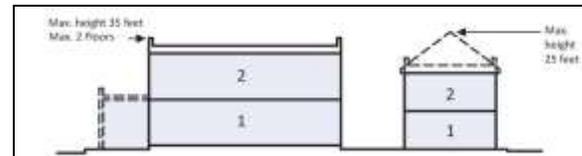
- a. The first Lot Layer shall have a Hardscape surface treatment with a uniform material, color and pattern.
- b. Parking areas with ten (10) or more parking spaces shall be shaded by

Canopy Trees at a rate of one (1) tree for every five (5) parking spaces. See Appendix for Canopy Tree species and characteristics.

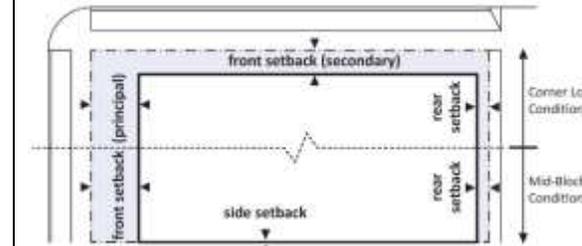
- c. Parking and landscaped areas shall utilize Section 3.4 stormwater paving, channeling, storage, and filtration techniques.
- d. Privately owned but publicly accessible spaces (i.e.: Shared Civic Space) provided internal to any private Lot shall be designed per the Civic Space type characteristics outlined in Table 4.4.6.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide. Refer to County Regulatory Ordinance §86.701 and Landscape Design Manual.
- f. Shrubs should be of medium sized, low creeping variety and shall include Calliandra, Ceanothus, Grevillea species, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Ribes, and Rhus species.

Table 4.4.2 VC-V4 Summary

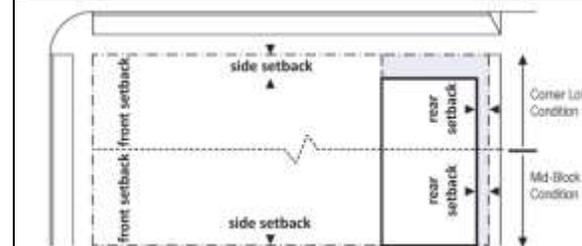
BUILDING PLACEMENT	
Freestanding Rural Building	Permitted
Attached Compact Building	Permitted
LOT OCCUPATION	
Lot Coverage	70%
Façade Buildout at Minimum Primary Front Setback	70% min.
PRINCIPAL BUILDING SETBACKS	
Primary Front Setback	2 ft. min. 15 ft. max.
Secondary Front Setback	2 ft. min. 15 ft. max.
Side Setback	0 ft. min. 24 ft. max.
Rear Setback	3 ft. min.
OUTBUILDING SETBACKS	
Front Setback	40 ft. max from rear
Side Setback	0 ft or 3 ft at corner
Rear Setback	3 ft. min.
BUILDING HEIGHT (FLOORS/FEET)	
Principal Building	2 max., 35 ft. max.
Outbuilding	2 max., 25 ft. max.
ENCROACHMENTS	
i. Within Setback Encroachments	
Open Porch	Not permitted
Balcony and/or Bay Window	100% max.
Stoop or Terrace	100% max.
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	100% max.
iii. Encroachment Depths	
Porch	Not permitted
Gallery	10 ft. min.
Arcade	12 ft. min.
PARKING LOCATION	
2 nd Layer	Permitted
3 rd Layer	Permitted
STORAGE LOCATION	
2 nd Layer	Permitted
3 rd Layer	Permitted



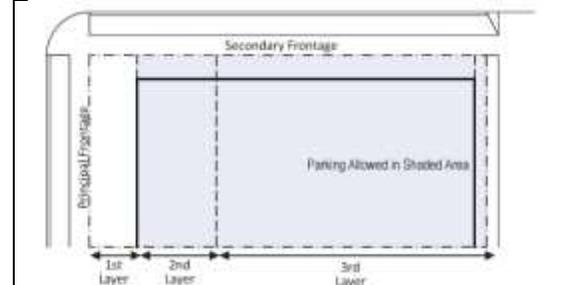
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

4.4.7. Private Frontages

- a. Open Porches, Common Yards, Stoops, Terraces, balconies, and bay windows may encroach within the first Lot Layer 50% of its depth.
- b. Awnings may encroach within the Public Sidewalk. All Frontages shall be in conformance with Table 4.4.3.

Table 4.4.3 VC-V4 Encroachment Specifications

<p>A. Forecourt: a facade is aligned close to the frontage line with a portion of it set back. The forecourt created is suitable for gardens, vehicular drop offs, and utility off-loading.</p>	
Within Setback Encroachment (1 st Layer)	80% max.
Public Sidewalk Encroachment	Not permitted
Height/Depth	3 ft. height max. / 8 ft. depth min.
<p>B. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.</p>	
Within Setback Encroachment (1 st Layer)	80% min.
Public Sidewalk Encroachment	Not permitted
Height/Depth	Not applicable
<p>C. Stoop: an exterior stair and landing leading to an elevated first Story of a building.</p>	
Within Setback Encroachment (1 st Layer)	80% min.
Public Sidewalk Encroachment	Not permitted
Height/Depth	3 ft. height max. / 5 ft. depth min.

<p>D. Awning: a window covering attached to an exterior wall of a building.</p>	
Within Setback Encroachment (1 st Layer)	80% min.
Public Sidewalk Encroachment	To within 2 ft. of the curb
Height/Depth	8 ft. clearance; 0 ft. height max. / 8 ft. depth

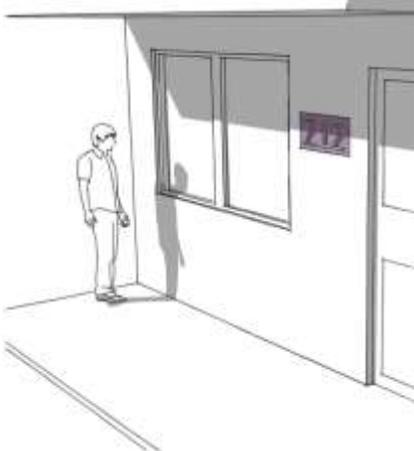
4.4.8. Sign

- a. Permitted signage types shall conform to the specifications of Table 4.4.4 and limited to three (3) sign types per each Lot along the Primary Frontage in the first Lot Layer (See Table 3.1). In addition, one (1) of the three (3) allowed signs must be either an Address Sign (Table 4.4.4.a) or Nameplate Sign (Table 4.4.4.b) for location purposes.
- b. The only additional signage area allowed within the third Lot Layer and/or on Outbuildings are either Address (Table 4.4.4.a) or Nameplate Sign (Table 4.4.4.b).
- c. Awning and Sidewalk Signs shall only be permitted on ground floor Commercial Uses.
- d. Signage shall be externally illuminated, Window Signs may be neon lit, and in conformance with Table 4.4.4.
- e. No signs are allowed above the highest portion of the building wall and no digital signs are allowed.
- f. Signage that is painted, and/or routed and/or sandblasted on metal and/or wood on the building facade shall be allowed a letter height of 24 inches max. All other letter heights shall conform with Table 4.4.4 letter heights.
- g. One (1) Nameplate per address limited to three (3) square feet and consisting

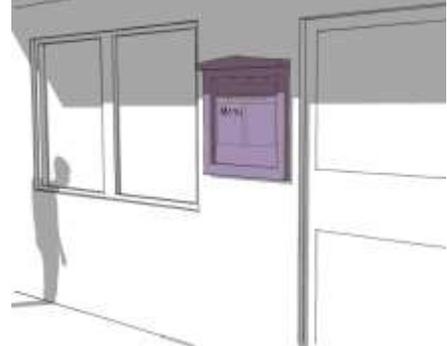
of either a panel or individual letters applied to a building wall, may be attached to a building wall within ten (10) feet of a Principal Entrance.

- h. One (1) freestanding, double-sided, temporary Sidewalk Sign may be placed within the Parking Strip of the Public Frontage for each business. Sidewalk Signs shall be removed at the close of business each day.

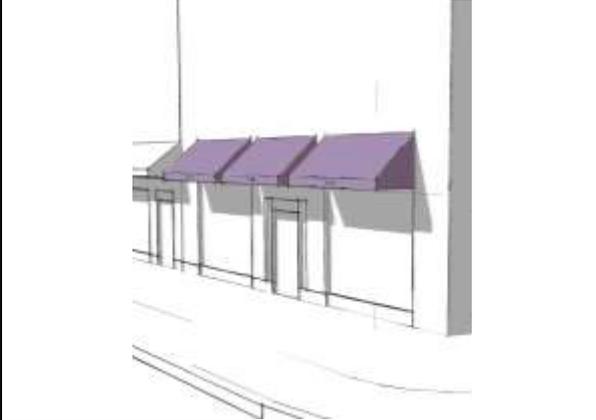
Table 4.4.4 VC-V4 Sign Standards

ADDRESS SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Sidewalk Clearance	4.5 ft. min.
Apex	Not applicable
Letter Height	8 in. max.
Other	Allowed on upper floor(s)

NAMEPLATE SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Sidewalk Clearance	4 ft. min.
Apex	7 ft. max.
Letter Height	8 in. max.
Other	Allowed on upper floor(s)

OUTDOOR DISPLAY CASE	
	
Quantity	1 per address
Area	6 sf max.
Width	3.5 ft. max.
Height	3.5 ft. max.
Depth/ Projection	5 in. max.
Sidewalk Clearance	4 ft. max.
Apex	42 in. max.
Letter Height	12 in. max.
Other	Allowed on upper floor(s)

AWNING AND SIGN



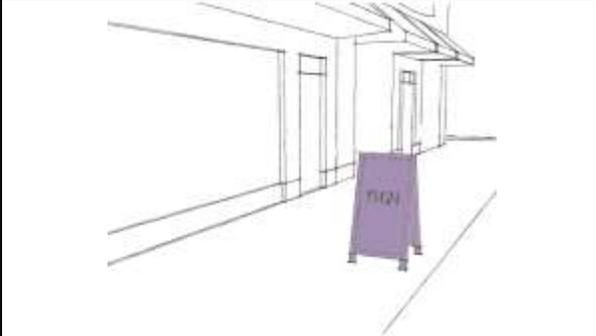
Quantity	1 per window
Area	Only on valance
Width	Width of Awning
Height	Upper storefront beam max.
Depth/ Projection	4 ft. min.
Sidewalk Clearance	8 ft. max.
Apex	Bottom of upper floor windows
Letter Height	8 in. min., 10 in. max.
Other	Business name and logo allowed on valance only. Not allowed on upper floors.

WINDOW SIGN



Quantity	1 per window every 12.5 lineal feet max.
Area	25% of glass max.
Width	Varies
Height	Varies
Depth/ Projection	On or behind glass
Sidewalk Clearance	4 ft.
Apex	Not applicable
Letter Height	10 in. max
Other	Allowed on upper floor(s)

SIDEWALK SIGN



Quantity	1 per business
Area	8 sf max.
Width	26 in. max.
Height	42 in. max.
Depth/ Projection	Not applicable
Sidewalk Clearance	Not applicable
Apex	42 in. max.
Letter Height	10 in. max.
Other	Not allowed on upper floors

4.4.9. Lighting

- a. Where provided, lighting shall comply with the requirements of section 3.11.6 for Light Zone 3 – Medium (Commercial & High Density Residential Settings).
- b. Exterior lighting shall produce a maximum initial illuminance of no greater than 0.20 horizontal and vertical footcandles at the site boundary and 0.01 15 feet beyond the site boundary. Document that 5% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).
- c. Privately owned but publicly accessible spaces provided internal to any private Lot shall be designed to maintain the natural Dark Sky character of Valley Center.
- d. All lighting shall use full cutoff - fully shielded - luminaries and overhead lighting shall be a maximum height of

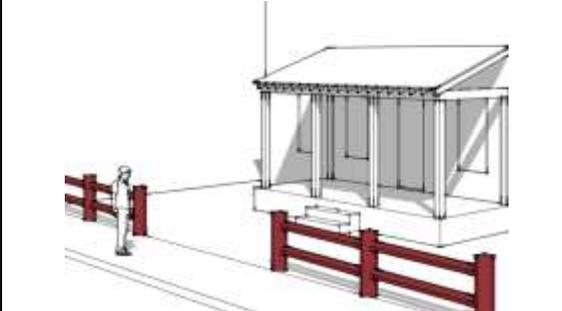
- 12 feet above the surface in parking areas.
- e. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on human-scaled posts.
- f. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322.

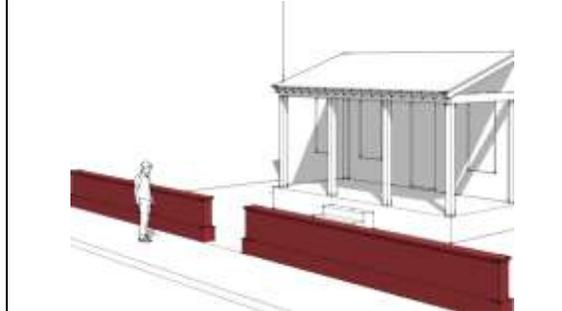
4.4.10. Fence

- a. All proposed fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 4.4.5 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:

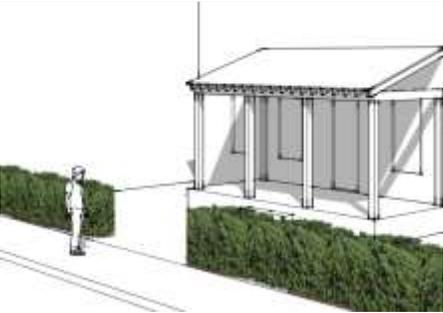
- i. Landscaped or landscaped with post hedges shall be setback 18” from property line.
- ii. Split Rail, Post, stone and brick may be painted or have a natural finish.
- iii. Picket, metal and stucco fencing materials should have a painted finish.
- iv. No fencing shall exceed four (4) feet in height in the front layer or six (6) feet in the second or third layers.
- v. Combined Fencing materials shall have heavier materials below the upper lighter materials.
- vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.
- vii. Razor or barbed wire is prohibited.

Table 4.4.5 VC-V4 Fencing Standards

SPLIT RAIL	
	
Materials	Wood or concrete
Finish	Paint, stain or natural
Setback	0” or 18” for landscape
Height	3 ft. min. – 4 ft. max.
Location	Primary and secondary front setbacks

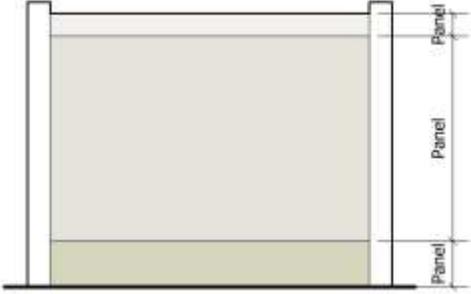
WALL	
	
Materials	Stone, brick, stucco, block
Finish	Paint or none
Setback	0” or 18” for landscape
Height	3 ft. min. to 4 ft. max.
Location	Primary and secondary front setbacks

HEDGE



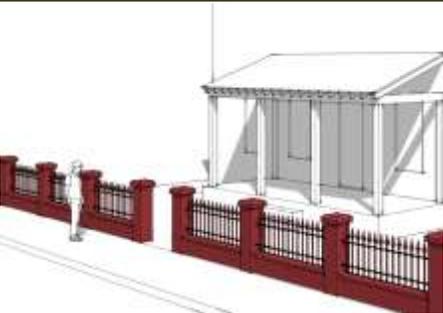
Materials	Landscape
Finish	Natural
Setback	18" from edge of curb
Height	3 ft. min. to 4 ft. max.
Location	All setbacks

PANEL



Materials	Wood or vinyl
Finish	Paint or stain
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Side and rear setbacks

COMBINATION



Materials	Stone, brick, stucco, block
Finish	With metal panels, paint or none/powder
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	All setbacks

POST AND PICKET



Materials	Wood or vinyl
Finish	Paint, stain or natural
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Primary and secondary front setbacks
Picket Spacing	<2.5 times width of picket

POST AND HEDGE



Materials	Landscape and wood
Finish	Paint, stain or natural
Setback	18" from edge of curb
Height	3 ft. min. and 4 ft. max.
Location	All setbacks

METAL



Materials	Aluminum or wrought iron
Finish	Powder coat or paint
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Primary and secondary front setbacks
Picket Spacing	<2.5 times width of picket

4.4.11. Shared Civic Space

- a. Measured from Primary Thoroughfare Frontage Line, all new development exceeding 300 feet in length shall include at least one (1) Shared Civic Space Type as generally described on Table 4.4.6.
- b. Privately owned but publicly accessible Shared Civic Space shall be located in the first and second Lot Layer.
- c. Shared Civic Space types diagrammed and are provided for illustrative purposes only, specific designs shall be prepared in accordance to the descriptions for each type.
- d. Shared Civic Space Plazas shall have a minimum of 25% of its perimeter fronting onto a Thoroughfare.
- e. These spaces may be combined with Storm Water Management facilities, such as Retention Basin, Pool/Fountain, Cisterns, Landscaped and Grated Tree Wells.
- f. Allow for individual building owners to install Civic or Public art, such as murals, sculpture, building ornament, and curiosity items on their buildings and within their property that may be viewed by the public.
- g. Civic Space areas shall be more than 2,000 sq ft minimum and shall be shaded by Canopy Trees at a rate of three (3) trees for every 1000 sf ft. See Appendix for Canopy Tree species and characteristics.
- h. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide. Refer to County Regulatory Ordinance §86.701, Landscape Design

Manual and Stormwater facilities §8760.

- i. Shrubs should be of medium sized, low creeping variety and shall include Calliandra, Ceanothus, Grevillea noellii, Lantana, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Ribes, and Rhus species.

Table 4.4.6 VC-V4 Civic Space Types (Advisory)

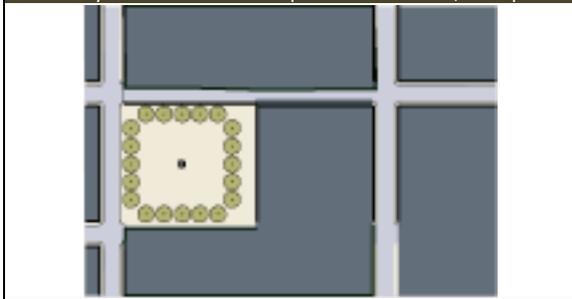
A. **Green:** An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. Sections of a Green may be designed specifically for the recreation of children. Minimum 1-acres



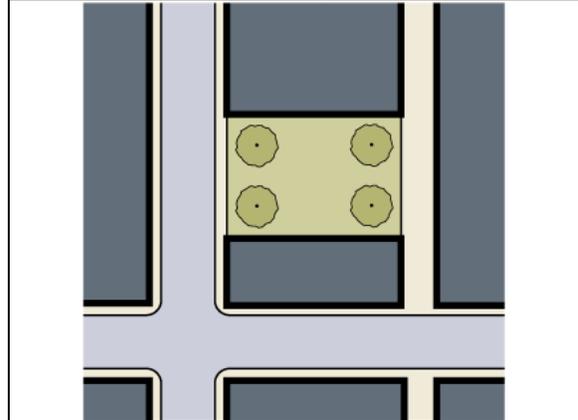
B. **Playground:** An Open Space available for unstructured recreation. A Playground provides play space for children and may be designed as stand-alone spaces or a part of another Civic Space. Minimum 1,000 sq. ft.



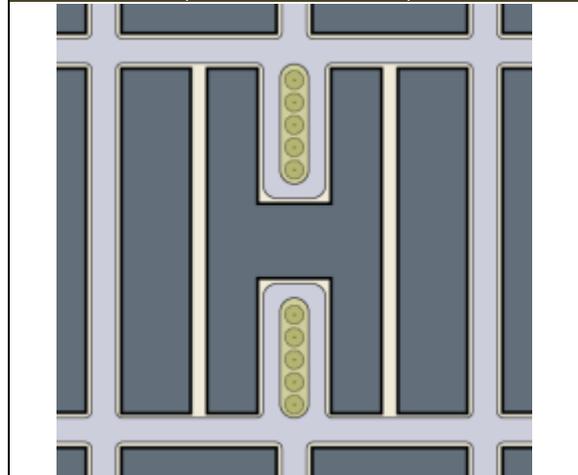
C. **Court:** A semi-public Open Space available for unstructured recreation by those occupying the adjacent buildings. Access to abutting residential Lots is from a sidewalk that circumnavigates a central landscaped area. Landscape consists of lawn and trees, formally disposed. May include ornamental species. Minimum 1,000 sq. ft.



D. **Pocket Park:** An Open Space available for unstructured recreation. A pocket park provides greenery and a place to sit outdoors for adults and is typically located within a Block/Lot. Minimum 1,000 sq. ft.



E. **Close:** A semi-public Open Space available for unstructured recreation by those occupying the adjacent buildings. A Close is circumnavigated by a one-way Thoroughfare with parking on one side. Landscape includes lawn and trees, formally disposed. May include ornamental species. Minimum 1,000 sq. ft.



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4.5. VC-V5 Village Core District

Lots located within the VC-V5 – Village Core District shall be subject to the requirements of this section.

4.5.1. Lot Width

- a. Subdivisions of new combinations of Lots shall have a minimum width of 20 feet to a maximum width of 150 feet measured along the Primary Thoroughfare Frontage Line.

4.5.2. Building and Land Use

- a. Permitted Uses for Lots designated as VC-V5 are listed on Table 4.5.1.
- b. Buildings may combine up to three (3) or less Uses.

Table 4.5.1 Permitted Uses

RESIDENTIAL	
Accessory Apartment	
Family Residential	R
Farm Labor Camps	
Group Residential	M
Mobile Home Residential	
OFFICE	
Professional Office Space	R
COMMERCIAL	
Administrative & Professional Service	R
Agricultural & Horticultural Sales	
Agricultural Sales	R
Horticultural Sales	R
Agricultural Services	
Animal Sales and Services	
Auctioning	
Grooming	R
Stockyards	
Veterinary (Large Animals)	m
Veterinary (Small Animals)	m

Automotive and Equipment	
Cleaning	m
Fleet Storage	
Parking	R
Repairs (Heavy Equipment)	m
Repairs (Light Equipment)	m
Sales/Rentals (Heavy Equipment)	m
Sales/Rentals (Farm Equipment)	R
Sales/Rentals (Light Equipment)	R
Building Maintenance Services	R
Business Equipment and Sales Services	R
Business Support Services	R
Communication Services	R
Construction Sales and Personal Service	R
Convenience Sales and Service	R
Cottage Industries	R
Eating & Drinking Establishment	R
Outdoor Dining (encroaching into ROW)	R
Food and Beverage Retail Sales	R
Financial, Insurance and Real Estate	R
Funeral and Internment Services	
Cremating / Interning	M
Undertaking	A
Gasoline Sales	R
Laundry Services	R
Medical Services	R
Participant Sports & Recreation	
Indoor	R
Outdoor	
Personal Services, General	R
Recycling Collection / Processing Facility	
Repair Services, Consumer	R
Research Services (Cottage Industry)	R
Retail Sales	
General	R
Specialty	R

Scrap Operations	
Spectator Sport & Entertainment	
Limited	
General (Private Gymnasium)	
Swap Meets (not to exceed 5,000 sf)	
Transient Habitation	
Campground	
Lodging	R
Resort	
Wholesale Storage and Distribution	
Mini Warehouse	
Light	
Heavy	
INDUSTRIAL	
Custom Manufacturing	
General Industrial	
AGRICULTURAL	
Horticulture	
Cultivation	
Storage	
Tree Crops	
Row and Field Crops	
Packaging and Processing	
Limited	
General	
Support	
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	
EXTRACTIVE	
Mining and Processing	
Site Preparation	M
CIVIC	
Administrative Services	R
Ambulance Services	R
Emergency Shelter	R
Clinic Services	R

Community Recreation	R
Cultural Exhibits & Library Services	R
Child Care Center	R
Essential Services	R
Fire Protection Services	R
Group Care	
Law Enforcement Services	R
Lodge, Fraternal & Civic Assembly	R
Major Impact Services & Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities	
Gymnasium Facilities (non-commercial)	R
Small Schools (50 or fewer students)	R
Green	
Square	R
Plaza	R
Commercial Plaza	R
Playground	R
Pocket Park	R
Outdoor Auditorium	R
Library	R
Community Center and Facilities	R
COMMUNITY SUPPORT	
Fire Station	R
Police Station	R
Post Office	R
Cemetery	

R by RIGHT
A by ADMINISTRATIVE PERMIT
m by MINOR USE PERMIT
M by MAJOR USE PERMIT

4.5.3. Building Placement

- a. Lot coverage by buildings shall be a maximum of 90% of the Lot area.
- b. The Façade of a Primary Building shall be built parallel to the Frontage Line of a Lot (See Table 3.1).
- c. Façade Buildout of the Primary building Facades shall be a minimum of 80% at the minimum front yard Setback.

4.5.4. Building Height

- a. The maximum height of a Primary Building shall be up to three (3) floors and 45 feet as specified on Table 4.5.2.
- b. The maximum height of an Outbuilding shall be two (2) floors and 25 feet as specified on Table 4.5.2.

4.5.5. Building Design Standards

- a. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building, and follow this general pattern:
 - i. Doorways without exterior shading shall be recessed from the plane of the Façade or Elevation of a building two (2) inches in depth for every one (1) foot in height.
- b. All window openings, including Porches, Galleries, and Arcades, shall be square or vertical in proportion, excluding Shop Front windows for Commercial Uses and follow these general patterns:
 - i. All ground floor Facades shall be glazed with clear glass no less than 30% of the first Story,
 - ii. Buildings with a ground floor Commercial Use shall be glazed with clear glass no less than 70% of the first Story.

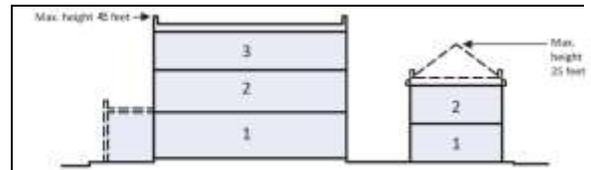
- iii. Openings above the first Story shall not exceed 50% of the total building wall area, with each Façade being calculated independently.
- iv. Windows without exterior shading shall be recessed from the plane of the Façade or Elevation of a building two (2) inches in depth for every one (1) foot in height.
- v. The open window transom area on a Store Front is not included in the front Window Fenestration calculation.
- c. Streetscreens should be used to clearly define a Lot's un-built space (parking area or civic space) fronting onto a Primary Thoroughfare, and follow these general patterns (see Table 4.5.5.h):
 - i. Streetscreens shall be of a similar design to the Façade of buildings they abut.
 - ii. In the absence of a building Façade along any part of a Frontage Line, Streetscreens shall be built along the same vertical plane as the Façade. Streetscreens should maintain the Building Frontage bay rhythm and pattern.
 - iii. Streetscreens shall be between three and a half (3.5) and six (6) feet in height. Streetscreens should be of similar design as adjacent hedge or fencing (see Table 4.5.5).
- d. Upper floors shall be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias and shall be constructed of wood or metal and be visibly supported by brackets.
- e. Principal Entrances for Buildings with no Front yard Setback shall be recessed 24-inches minimum.

4.5.6. Landscape

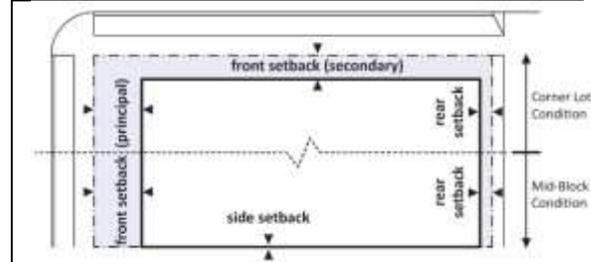
- a. The first Lot Layer shall have a Hardscape surface treatment with a uniform material, color and pattern.
- b. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree for every five (5) parking spaces. See Appendix for Canopy Tree species and characteristics.
- c. Parking and landscaped areas shall utilize §8207 stormwater paving, channeling, storage, and filtration techniques.
- d. Privately owned but publicly accessible spaces (i.e.: Shared Civic Space) provided internal to any private Lot shall be designed per the Civic Space type characteristics outlined in Table 2.9.a-e.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide. Refer to County Zoning Ordinance §86.700 Landscape Design Manual.
- f. Shrubs should be of medium sized, low creeping variety and shall include Calliandra, Ceanothus, Grevillea species, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Ribes, and Rhus species.

Table 4.5.2 VC-V5 Summary

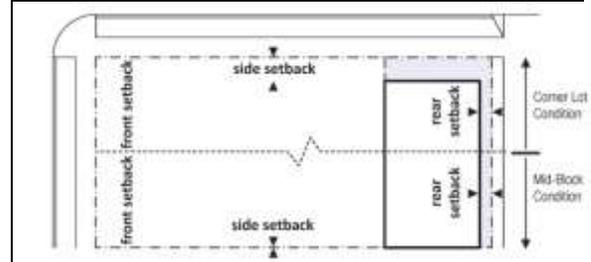
BUILDING PLACEMENT	
Freestanding Rural Building	Permitted
Attached Compact Building	Permitted
LOT OCCUPATION	
Lot Coverage	90% max.
Façade Buildout at Minimum Primary Front Setback	80% min.
PRINCIPAL BUILDING SETBACKS	
Primary Front Setback	0 ft. min. 10 ft. max.
Secondary Front Setback	0 ft. min. 10 ft. max.
Side Setback	0 ft. min. 24 ft. max.
Rear Setback	3 ft. min.
OUTBUILDING SETBACKS	
Front Setback	40 ft. max from rear
Side Setback	0 ft or 3 ft at corner
Rear Setback	3 ft. min.
BUILDING HEIGHT (FLOORS/FEET)	
Principal Building	3 max., 45 ft. max.
Outbuilding	2 max., 25 ft.
ENCROACHMENTS	
i. Within Setback Encroachments	
Open Porch	Not permitted
Balcony and/or Bay Window	100% max.
Stoop or Terrace	100% max.
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	100% max.
iii. Encroachment Depths	
Porch	Not permitted
Gallery	10 ft. min.
Arcade	12 ft. min.
PARKING LOCATION	
2 nd Layer	Not permitted
3 rd Layer	Permitted
STORAGE LOCATION	
2 nd Layer	Not permitted
3 rd Layer	Permitted



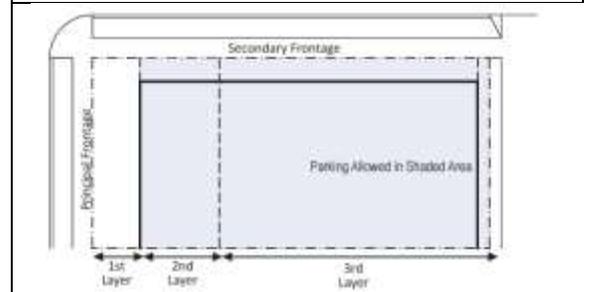
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM

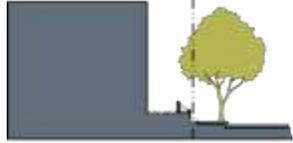


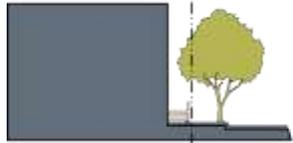
D. PARKING AND STORAGE LOCATION DIAGRAM

4.5.8. Private Frontages

- a. Buildings shall be setback in relation to the boundaries of their Lots as specified on Table 3.1.
- b. Porches, Common Yards, Stoops, Terraces, Entry Planters, balconies, bay windows, and roof overhangs may encroach within the first Lot Layer 100% of its depth as specified on Table 4.5.3.
- c. Awnings, Arcades, and Galleries may encroach the Public Sidewalk Frontage 100% of its depth but must clear the Sidewalk vertically by at least eight (8) feet as specified on Table 4.5.3.
- d. A first Story Lodging Use shall be raised a minimum of three (3) feet from the average grade of the Sidewalk.
- e. Buildings with a first Story Commercial Use shall have a zero-step Principal Entrance.
- f. The habitable living area of an Accessory Unit within an Outbuilding shall not exceed 576 square feet.
- g. Loading docks and service areas shall be permitted on Secondary Frontages by Exception Section 2.6.
- h. Existing Buildings with a Commercial Use and Hardscape surface first Lot Layer may use the first Lot Layer for outdoor seating.
- i. Any building located on the north side of any primary thoroughfare shall have a window covering, such as Gallery, Awning or window hood attached to the south facing exterior wall of its Primary Frontage (Table 3.1) within the first Lot Layer.

Table 4.5.3 VC-V5 Encroachment Specifications

A. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for outdoor seating space.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
	
Within Setback Encroachment	100%
Public Sidewalk Encroachment	Not permitted
Minimum Height/Depth	Not applicable

B. Stoop: an exterior stair and landing leading to an elevated first Story of a building.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
	
Within Setback Encroachment	100%
Public Sidewalk Encroachment	Not permitted
Minimum Height/Depth	Not applicable

C. Entry Planter: a raised or at grade vegetative planter at one or both sides of the Principal Entrance of a building.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
	
Within Setback Encroachment	100%
Public Sidewalk Encroachment	To within 6 ft. of the curb
Minimum Height/Depth	3 ft height max. 2 ft depth min.

D. Awning: a window covering attached to an exterior wall of a building.	
PRIVATE LOT LINE > <PUBLIC R.O.W.	LOT LINE > <ROW
	
Within Setback Encroachment	100%
Public Sidewalk Encroachment	To within 2 ft. of the curb
Minimum Height/Depth	8 ft. clearance / 8 ft. depth

E. **Gallery:** an attached cantilevered shed or a lightweight colonnade extending from a building Façade to overlap the Sidewalk.

Within Setback Encroachment	100%
Public Sidewalk Encroachment	To within 2 ft. of the curb
Minimum Height/Depth	8 ft. clearance / 8 ft. depth

4.5.9. Sign

- a. Permitted signage types shall conform to the specifications of Table 4.5.4 and limited to four (4) sign types per each Lot along the Primary Frontage in the first Lot Layer (See Table 3.1). In addition, one (1) of the four (4) allowed signs must be either an Address Sign (Table 4.5.4.a) or Nameplate Sign (Table 4.5.4.b) for location purposes.
- b. The only additional signage area allowed within the third Lot Layer and/or on Outbuildings are either Address (Table 4.5.4.a) or Nameplate Sign (Table 4.5.4.b).
- c. Address Signs shall be limited to two (2) square feet and made easily visible through colors or materials that contrast with their background attached to the Principal Entrance of each unit they identify.
- d. Awning Signage shall be limited to no more than seventy percent (70%) of the Valance of the awning or the vertical portion of a dome awning. The height of the Valance shall not exceed fifteen (15) inches. Awning Signs shall contain only the business name, logo, and/or street address. Awning Signs may encroach into the Public Sidewalk Frontage.
- e. One (1) Band Sign limited to 70% of the width of the Building Façade shall be

permitted for each building with a Commercial Use. Information shall consist of the name and/or logo of the business and allowed on Streetscreens.

- f. Blade Signs shall be permitted only for Commercial Uses that have a Principal Entrance on the first Story.
- g. One (1) Blade Sign shall be permitted for each business if the Façade is no more than five (5) feet setback from the Principal Frontage Line. Blade Signs may encroach into the Public Sidewalk Frontage up to four (4) feet, shall clear the Sidewalk by at least eight (8) feet, and shall not encroach above the bottom of any second Story windows. Blade Signs shall be limited to the name and/or logo of the business.
- h. Marquees shall be located only above the Principal Entrance of a building, shall provide a minimum clearance of ten (10) feet, and may encroach the Public Sidewalk Frontage to within two (2) feet of the Curb.
- i. One (1) Nameplate per address limited to two (2) square feet and consisting of either a panel or individual letters applied to a building wall, may be attached to a building wall within ten (10) feet of a Principal Entrance.
- j. Outdoor Display Cases shall not exceed six (6) square feet and shall not be internally illuminated.
- k. One (1) freestanding, double-sided, temporary Sidewalk Sign may be placed within the Parking Strip of the Public Frontage for each business. Sidewalk Signs shall be removed at the close of business each day.
- l. One (1) Window sign every 25 feet shall neither exceed 25% of the glass nor § 8210.b. Window signs shall not interfere with the ability of pedestrians and public safety personnel to see

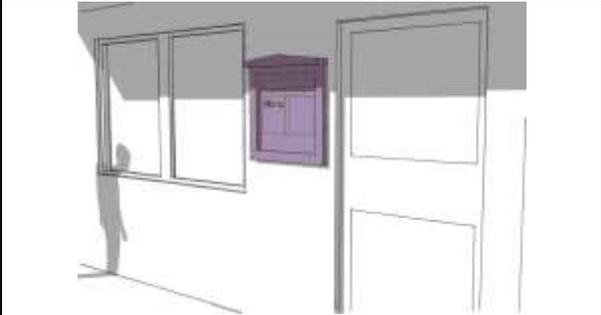
through windows into premises and view product displays.

- m. Window signs shall not list services and/or products sold on the premises, or provide phone numbers, operating hours or other messages.
- n. Signage advertising a Commercial Use(s) shall be externally illuminated (if illuminated).
- o. Only Window Signs are allowed to be neon lit (See Table 4.5.4.f).
- p. Signage that is painted on the building facade and/or routed or sandblasted into metal and/or wood shall be allowed a letter height of 18 inches max. All other letter heights shall conform to Table 4.5.4 letter height standards.
- q. No signs are allowed above the highest portion of the building and no digital signs are allowed.
- r. Monument Signs (Table 4.5.4.j), including Outdoor Menu board for Drive-Thru service and Gas Station pricing, design guidelines are located in the Valley Center Design Guidelines.
- s. Murals are considered Public Art are exempt from signage requirements.

Table 4.5.4 VC-V5 Sign Standards

A. ADDRESS SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	24 in. max.
Height	12 in. max.
Depth/ Projection	3 in. max.
Sidewalk Clearance	4.5 ft. min. up from Sidewalk
Apex	Not applicable
Letter Height	8 in. max.
Other	Allowed on upper floor(s)
B. NAMEPLATE SIGN	
	
Quantity	1 per address
Area	2 sf max.
Width	18 in. max.
Height	18 in. max.
Depth/ Projection	3 in. max.
Sidewalk Clearance	4 ft. max. up from Sidewalk
Apex	7 ft. max.
Letter Height	8 in. max.
Other	Allowed on upper floor(s)

C. OUTDOOR DISPLAY CASE



Quantity	1 per address
Area	6 sf max.
Width	3.5 ft. max.
Height	3.5 ft. max.
Depth/ Projection	5 in. max.
Sidewalk Clearance	4 ft. max. up from Sidewalk
Apex	42 in. max.
Letter Height	6 in. min., 10 in. max.
Other	Allows on upper floors. Allowed on streetscreen (see Table 2.8)

D. BLADE SIGN



Quantity	1 per Façade, 2 max.
Area	6 sq. ft.
Width	4 ft. max.
Height	4 ft. max.
Depth/ Projection	4 ft. max.
Sidewalk Clearance	8 ft. min., 15 ft. max high
Apex	Upper storefront beam and/or bottom of upper floor windows
Letter Height	10 in. max.
Other	Business name and logo only. Not allowed on upper floors.

E. BAND SIGN



Quantity	1, 2 for corner building
Area	1 sq ft max for every linear ft of Building Façade
Width	Between upper storefront beam max to upper transom or display window (see Table 2.6)
Height	3 ft. max. sign height
Depth/ Projection	Not applicable
Sidewalk Clearance	10 ft. min. up from Sidewalk
Apex	Upper storefront beam
Letter Height	6 in. min., 10 in .max.
Other	Business name and logo only. Allowed on streetscreens (see Table 2.8)

F. WINDOW SIGN



Quantity	1 per window every 12.5 linear feet max.
Area	25% of glass max.
Width	Varies
Height	Above storefront base (see Table 2.6)
Depth/ Projection	On or behind glass
Sidewalk Clearance	4 ft. min up from sidewalk
Apex	Bottom of transom or beam
Letter Height	10 in .max
Other	Allowed on upper floor(s).

G. AWNING SIGN



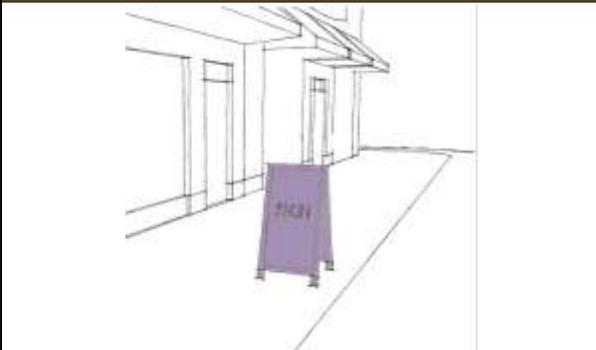
Quantity	1 per window
Area	Only on valance
Width	Width of Awning
Height	Not applicable
Depth/ Projection	4 ft. min.
Sidewalk Clearance	8 ft. min. up from Sidewalk
Apex	Bottom of upper floor windows
Letter Height	6 in. min., 10 in. max.
Other	15 in. max.

I. MARQUEE



Quantity	1 per business
Area	Not applicable
Width	Entrance width plus 4' o.c.
Height	50% Story height max.
Depth/ Projection	4 ft. min., 10 ft. max.
Sidewalk Clearance	10 ft. min. up from sidewalk
Apex	Bottom of upper floor windows.
Letter Height	12 in. min., 18 in. max.
Other	Only allowed by exception in Old Town. Not allowed on upper floor(s).

H. SIDEWALK SIGN



Quantity	1 per business
Area	8 sf max.
Width	26 in. max.
Height	42 in. max.
Depth/ Projection	Not applicable
Sidewalk Clearance	Not applicable
Apex	42 in. max.
Letter Height	10 in. max.
Other	Not allowed on upper floors

J. MONUMENT (BY EXCEPTION ONLY)



Quantity	1 per business
Area	24 sq ft max
Width	72 in. max.
Height	48 in. max.
Depth/ Projection	Not applicable
Sidewalk Clearance	Not applicable
Apex	48 in. max.
Letter Height	10 in. max.
Other	Only allowed by exception only in Paseo and Colonnade Sub-District(s). No allowed on upper floor (SO).

4.5.10. Lighting (On-Site Private Lot Lighting)

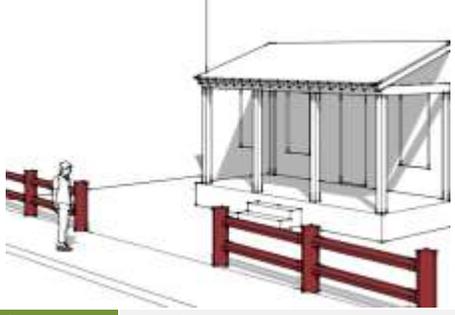
- a. Where provided, lighting shall comply with the requirements of section 3.11.6 for Light Zone 3 – Medium (Commercial & High Density Residential Settings).
- b. Exterior lighting shall produce a maximum initial illuminance of no greater than 0.20 horizontal and vertical footcandles at the site boundary and 0.01 15 feet beyond the site boundary. Document that 5% of the total initial design fixture lumens are emitted at an angle of 90 degrees or higher from nadir (straight down).
- c. All lighting within and internal to a Lot shall be designed to maintain the natural Dark Sky character of Valley Center.
- d. All lighting shall use full cutoff - fully shielded - luminaries.
- e. The Storefront Beam is the ideal location for awnings, signage and lighting elements.
- f. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas, and 12 feet elsewhere.
- g. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on human-scaled posts.
- h. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322.

4.5.11. Fence

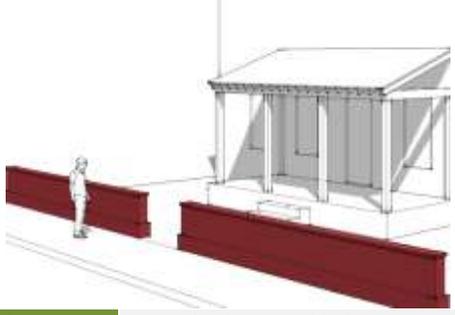
- a. All proposed Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 4.5.5 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.

- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or landscaped with post hedges shall be setback 18" from property line.
 - ii. Split Rail, Post, stone and brick may be painted or have a natural finish.
 - iii. Picket, metal and stucco fencing materials should have a painted finish.
 - iv. No fencing shall exceed six (6) feet in height.
 - v. Combined Fencing materials shall have heavier materials below the upper lighter materials.
 - vi. No chain link, barbed wire or razor wire fencing is allowed in V5.
- d. Streetscreens are required for screening parking areas from thoroughfares. Specific designs shall be incorporated along the Primary Frontage Line and should follow the general pattern diagrammed on Table 4.5.5.h:
 - i. Streetscreens shall be located along the Primary and Secondary frontage line of the second Lot Layer.
 - ii. Streetscreens should be of a similar design to the adjacent Building Facade or Landscape material and pattern.
 - iii. Streetscreen should continue the vertical plane of the adjacent Building Facade.
 - iv. Streetscreens shall be between three and a half (3.5) and eight (8) feet in height. The Streetscreen should consist of walls, hedges or fencing.
 - v. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.

Table 4.5.5 VC-V5 Fencing Standards

A. SPLIT RAIL	
	
Materials	Wood or concrete
Finish	Paint, stain or natural
Setback	0" or 18" for landscape
Height	3 ft. max. on Main Street and 3 ft. min. – 4 ft. max.
Location	Primary and secondary front setbacks

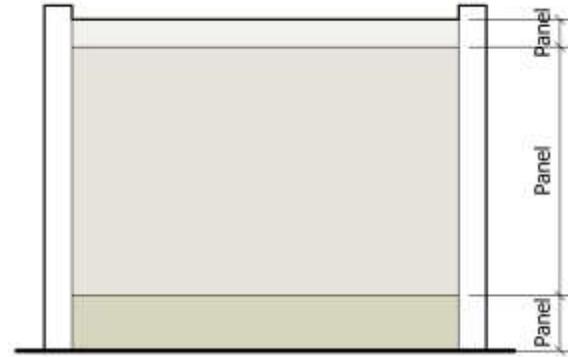
D. COMBINATION (STREETSCREEN)	
	
Materials	Stone, brick, stucco, block with metal panels
Finish	paint or none/powder
Setback	0" or 18" for landscape
Height	3 ft. max. on Main Street, and 3 ft. min. or 4 ft. max.
Location	All setbacks

B. WALL (STREETSCREEN)	
	
Materials	Stone, brick, stucco, block
Finish	Paint or none
Setback	0" or 18" for landscape
Height	3 ft. max. on Main Street, and 3 ft. min. or 4 ft. max.
Location	Primary and secondary front setbacks

E. POST AND HEDGE (STREETSCREEN)	
	
Materials	Landscape and wood
Finish	Paint, stain or natural
Setback	18" from edge of curb
Height	3 ft. max. on Main Street, and 3 ft. min. or 4 ft. max.
Location	All setbacks

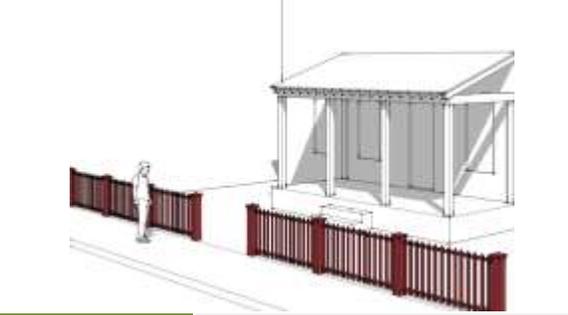
C. HEDGE (STREETSCREEN)	
	
Materials	Landscape
Finish	Natural
Setback	18" from edge of curb
Height	3 ft. max. on Main Street, and 3 ft. min. or 4 ft. max.
Location	All setbacks

F. PANEL



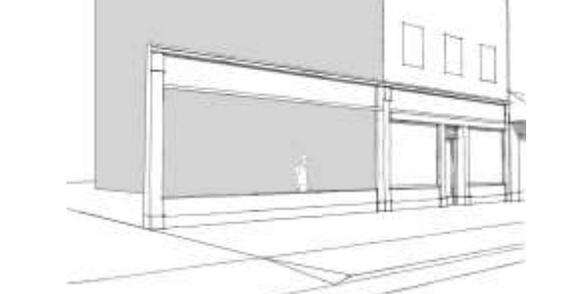
Materials	Wood or vinyl
Finish	Paint or stain
Setback	0" or 18" for landscape
Height	3 ft. min. to 4 ft. max.
Location	Side and rear setbacks

G. POST AND PICKET (STREETSCREEN)



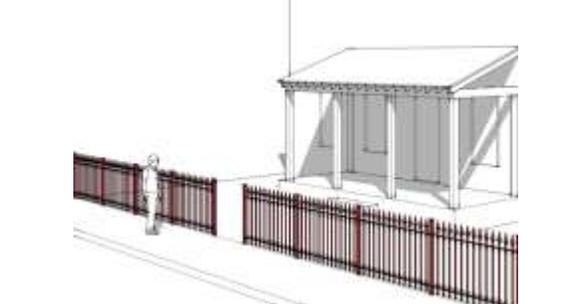
Materials	Wood
Finish	Paint, stain or natural
Setback	0" or 18" for landscape
Height	3 ft. max. on Main Street, and 3 ft. min. or 4 ft. max.
Location	Primary and secondary front setbacks
Picket Spacing	<2.5 times width of picket

H. STREETSCREEN



Materials	Stone, brick, stucco, block, wood, and/or metal
Finish	Natural, paint or stain
Setback	0" or 18" for landscape
Base Height	3.5 ft. min., and 4 ft. max. only w/out upper cornice line.
Upper Cornice Line Height	16 ft. max. with a 12 ft. max. open between matching building Cornice Line and Base.
Location	First lot layer along building frontage

I. METAL



Materials	Aluminum or wrought iron
Finish	Powder coat or paint
Setback	0" or 18" for landscape
Height	3 ft. max. on Main street, and 3 ft. min. - 4 ft. max.
Location	Primary and secondary front setbacks
Picket Spacing	<2.5 times width of picket

4.5.12. Shared Civic Space

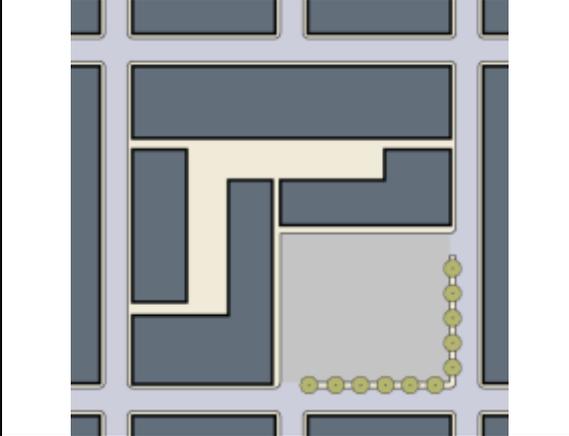
- a. Measured from the primary Frontage Line, all new development exceeding 150 feet in linear length shall include at least one Shared Civic Space Type as generally described on Table 4.5.6 and shall be at least 2,000 sq ft minimum area.
- b. Privately owned but publicly accessible Shared Civic Space shall be located in the first and second Lot Layer.
- c. Privately owned, but publicly accessible, Shared Civic Space shall be designed as generally described on Table 4.5.6. Shared Civic Space types diagrammed on Table 4.5.6 are provided for illustrative purposes only, specific designs shall be prepared in accordance to the descriptions for each type.
- d. Shared Civic Space designed as a Plaza shall have a minimum of 25% of its perimeter fronting onto a Thoroughfare.
- e. These spaces may be combined with Storm Water Management facilities, such as Retention Basin, Pool/Fountain, Cisterns, Landscaped and Grated Tree Wells.
- f. Allow for individual building owners to install Civic or Public art, such as murals, sculpture, building ornament and curiosity items on their buildings and within their property that may be viewed by the public.
- g. Civic Space areas shall be more than 2000 sq ft minimum and shall be shaded by Canopy Trees at a rate of three (3) trees for every 1000 sf ft. See Appendix for Canopy Tree species and characteristics.
- h. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and

Drip irrigation must be installed for ground cover area less than 8-feet wide. Refer to County Zoning Ordinance §86.700 Landscape Design Manual and Stormwater facilities Section 3.4.

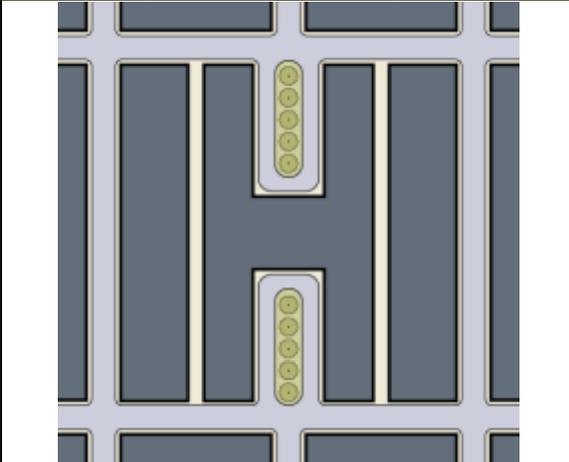
- i. Shrubs should be of medium sized, low creeping variety and shall include Calliandra, Ceanothus, Grevillea noellii, Lantana, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Ribes, and Rhus species.

Table 4.5.6 VC-V5 Civic Space Types

A. **Commercial Plaza** A multi-purpose Open Space available for Civic purposes, Commercial activities and as flex parking space. The parking area is designed as a Plaza using permeable paving materials. A Commercial Plaza should be separated from adjacent Thoroughfares and spatially defined by a landscaped buffer including Street Trees. A Minimum of 2000 sq ft in area.



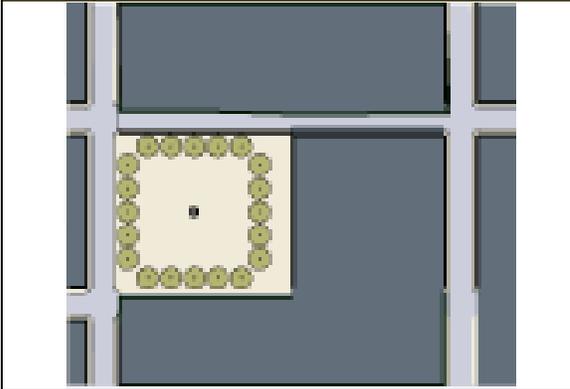
B. **Close:** A semi-public Open Space available for unstructured recreation by those occupying the adjacent buildings. A one-way private Thoroughfare circumnavigates a Close with parking on one side. Landscape includes lawn and trees, formally disposed. May include ornamental species. This space may be combined with the Storm Water Storage Retention Basin Facility. Space is a Minimum of 1000 sq ft.



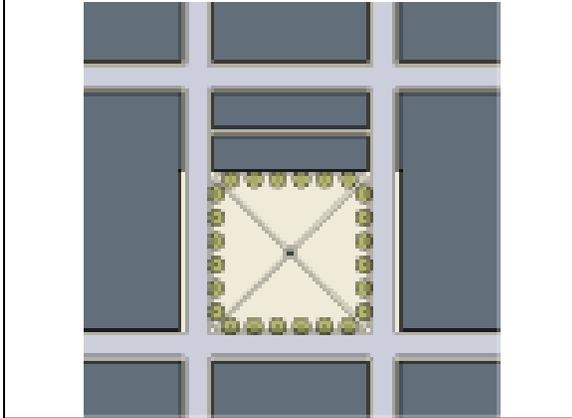
C. **Playground:** An Open Space available for recreation. A Playground provides play space for children and may be designed as stand alone spaces or a part of another Civic Space. 1000 sf ft minimum space may be combined with the Storm Water Storage Retention Basin Facility. Importantly, this type of Playground is open to the public and access is not limited to entry via the Building Frontage.



D. **Court:** An Open Space available for unstructured recreation. A Court provides greenery and a place to sit outdoors for adults and is typically located within a Block/ Lot. A minimum of 100 sf ft in total area along secondary frontages. These spaces work well for adults in conjunction with a Playground for children in the same project area.



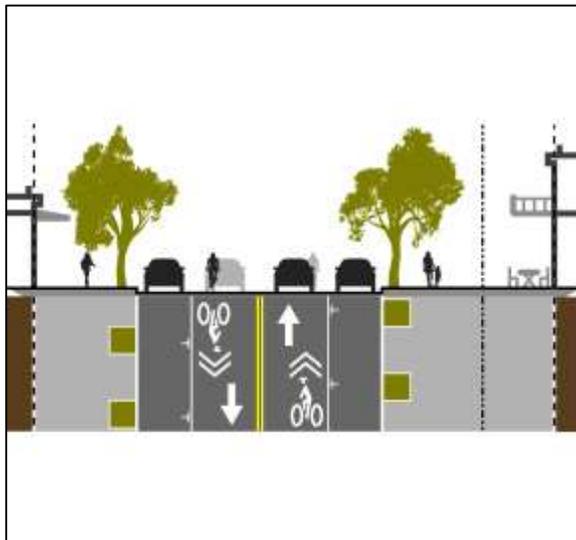
E. **Plaza:** An Open Space available for unstructured recreation and Civic purposes. Plazas are designed as part of a Block/ Lot or located internal to a Block/Lot and spatially defined by surrounding buildings and Primary Thoroughfares. Landscape consists primarily of Hardscape and is a minimum of 2000 sq ft area.



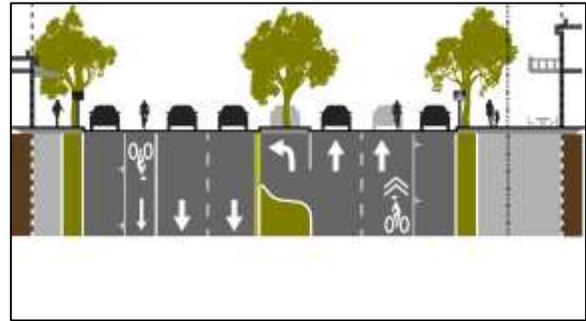
4.5.13. Street Types

Each District is required to provide access to development via the street types and street standards detailed in Chapter 5 and summarized below. The precise location of new streets will be determined by meeting the locational requirements for each street type, the maximum block perimeter distance, and application of the guiding principles in Chapter 2.

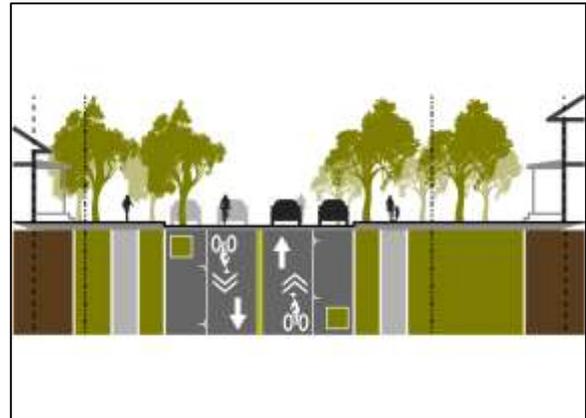
Main Street



Boulevard Core



Village Connector



4.6. VC-CD – Civic District

Lands designated VC-CD are intended to be developed in one or more of the Civic Space Types for public use. The precise locations of the districts shall be determined through the Site Plan Permit process, Specific Plan, or similar discretionary approval. This Code had identified four primary civic spaces on the District Plan map:

1. Existing Valley Center Community Center and ballfields and Fire house facilities
2. The “Heritage Trail Canyon” area on the West side of Valley Center Road south of Lilac Road
3. “Heritage Oak Park” located around the estimated 150-year old Oak tree on the west side of Valley Center road;
4. Village Green or Town Square to be located on, near or in Main Street in the VC-4 and VC-5 Districts.

Other public and semi-public Civic spaces are expected and required.

4.6.1. Civic Space

- a. Civic Spaces designated on the District Plan map shall be designed as generally described on Table 4.6.2 and are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- b. Not less than ten percent (10%) of developments involving the subdivision of land in excess of 4 acres shall provide a combination of active and passive civic spaces from Table 4.6.2.

4.6.2. Building and Land Use

- a. Permitted Uses for Lots designated as CD are listed on Table 4.6.1.

4.6.3. Signage

- a. Signage that is painted on the façade and/or routed or sandblasted into metal and/or wood shall be allowed.

4.6.4. Landscape

- a. Pervious Paving materials should be used where possible for Civic Spaces, Driveways, and Parking Lots.
- b. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree for every five (5) parking spaces. See Appendix for Canopy Tree species and characteristics.
- c. Parking and landscaped areas shall utilize §8847 stormwater paving, channelling, storage, and filtration techniques.
- d. Privately owned but publicly accessible spaces (i.e.: Shared Civic Space) provided internal to any private Lot shall be designed per the Civic Space type characteristics outlined in Table 4.6.2.a-f.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide. Refer to County Zoning Ordinance §86.701 and Landscape Design Manual.
- f. Shrubs should be of medium sized, low creeping variety and shall include Calliandra, Ceanothus, Grevillea noellii, Lantana, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Ribes, and Rhus species.

4.6.5. Lighting

- a. Privately owned but publicly accessible spaces provided internal to any private Lot shall be designed to maintain the natural Dark Sky character of Valley Center.
- b. Where provided, lighting shall be consistent with Section 3.11.6 for Light Zone 3: Medium.

Table 4.6.1 Civic District Permitted Uses

CIVIC	
Green	R
Square	R
Plaza	R
Commercial Plaza	R
Playground	R
Pocket Park	R
Outdoor Auditorium	R
Library	A
Community Center and Facilities	R
COMMUNITY SUPPORT	
Fire Station	R
Police Station	R
Post Office	R
Cemetery	A

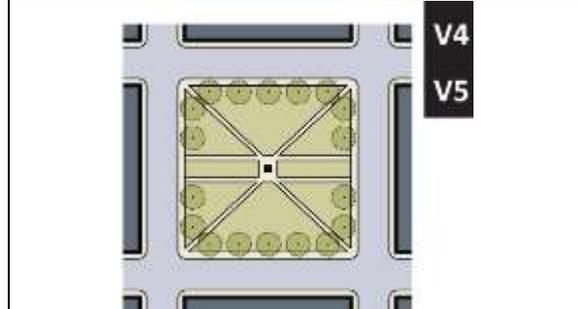
R by RIGHT
A by EXCEPTION

Table 4.6.2 Civic Space Types

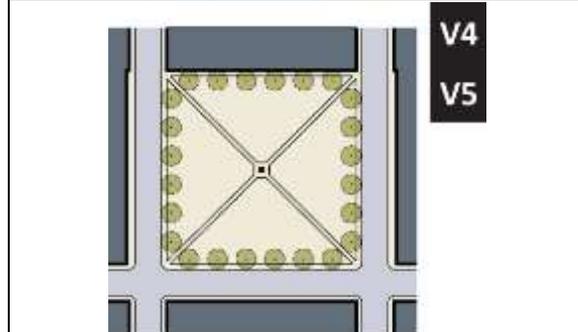
A. **Green** An Open Space, available for unstructured recreation. Landscaping rather than building Frontages may spatially define a Green. Its landscape shall consist of lawn and trees and its irregular disposition. Sections of a Green may be designed specifically for the recreation of children.



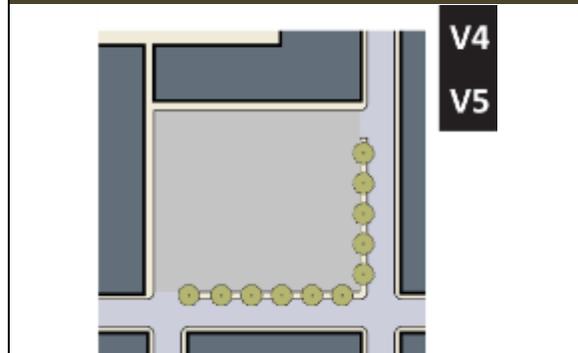
B. **Square** An Open Space available for unstructured recreation and Civic purposes. A Square is free standing in the block pattern of a community, with Thoroughfares on all sides, and can have Civic, Commercial, and Residential design characteristics in response to surrounding context. Landscape consists of formally disposed lawns, paths, and trees.



C. **Plaza** An Open Space available for Unstructured recreation and Civic purposes. Plazas are designed as part of a Block/Lot or located internal to a Block/Lot and spatially defined by surrounding buildings. Landscape consists primarily of hardscape and trees.



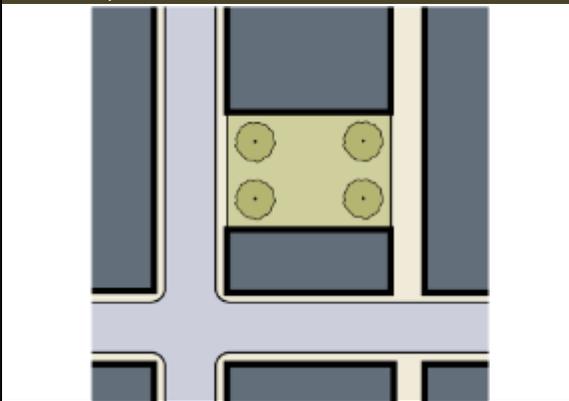
D. **Commercial Plaza** A multi-purpose Open Space available for Civic purposes, Commercial activities and as flex parking space. The parking area is designed as a Plaza using permeable paving materials. A Commercial Plaza should be separated from adjacent Thoroughfares and spatially defined by a landscaped buffer including Street Trees.



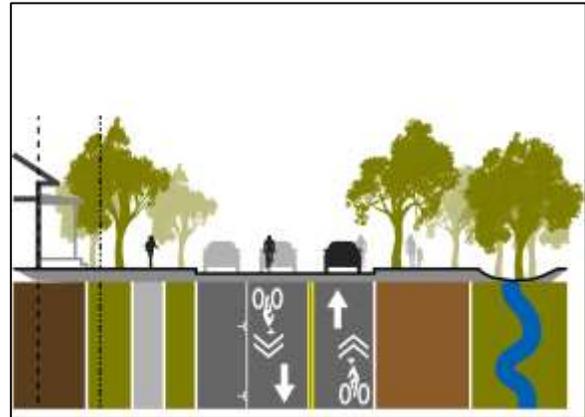
E. **Playground** An Open Space available for unstructured recreation. A Playground provides play space For children and may be designed as stand alone spaces or a part of another Civic Space.



F. **Pocket Park** An Open Space available for unstructured recreation. A pocket park provides greenery and a place to sit outdoors for adults and is typically located within a Block/Lot.



Parkway 2-Way



4.6.6. Street Types

Each District is required to provide access to development via the street types and street standards detailed in Chapter 5 and summarized below. The precise location of new streets will be determined by meeting the locational requirements for each street type, the maximum block perimeter distance, and application of the guiding principles in Chapter 2.

Parkway 1-Way



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PUBLIC STREETS

This chapter describes the requirements and standards for required and permitted Street Types, connectivity, circulation for multiple modes and vehicular parking.

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The following road sections are intended to illustrate a vision for an enhanced community by creating a rural village atmosphere. By modifying the existing road conditions and proposing new configurations, safe conditions for all road users will be maintained with any development proposal. With concurrence from the Valley Center Community Planning Group and the Valley Center Design Review Board, the Director of Public Works may authorize these road designs as exceptions to the VCCRDS through the exception process described in Chapter 4 of the VCCRDS, the Flexibility in County Road Design and Section 9 of the Public Road Standards. It is intended that the following road designs will supersede all previously adopted standards for the areas governed by the Valley Center South Village Form Based Code. The proposed road designs do not specify the precise locations of new roads. Improvements to General Plan Mobility Element roads will be evaluated at the time of project approval. Subsequent amendments to the Mobility Element may be required to implement the road designs contained within this plan.

To implement the vision for Valley Center South Village, new streets, realignment of existing streets, and connections along and across waterways will be required. New blocks will be created as a result. Some existing and new blocks will be subdivided into multiple development sites. All development sites shall have access to at least one street. Development sites that only have access to an alley are prohibited.

The following terms are used in the following sections:

- **Block:** An area that is completely surrounded by a combination of street types.
- **Development Site:** A portion of a block where an individual building type and related site features are allowed.
- **Alley:** A privately owned and maintained roadway providing access from streets to

the rear of development sites within a block.

5.1. Blocks

Blocks are areas that are completely surrounded by streets. Exceptions include Moosa Creek and the project boundary.

5.1.1. Maximum Block Size

The maximum perimeter of any block shall be no more than 1,800 feet in the V4 and V5 Districts, 2,000 feet in the V3 districts, and 2,400 feet in the V2 Districts. The maximum dimension of each block face shall be no more than 550 feet. Additional pedestrian paseos may be provided within blocks.

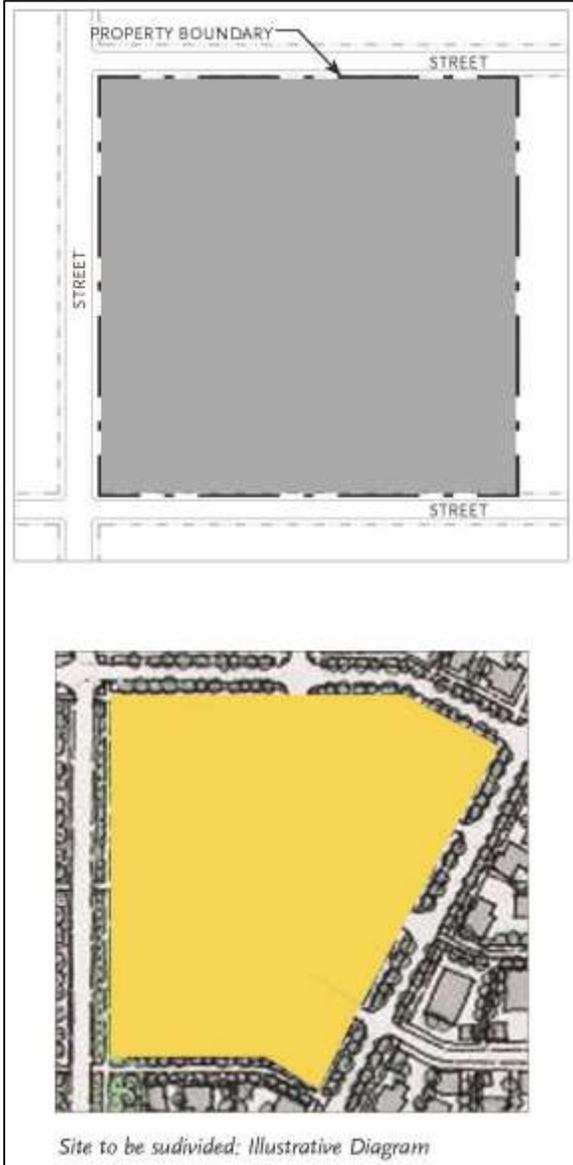
Pedestrian passages leading from the street to the middle of the block shall be provided at intervals no greater than 150 feet.

Exceptions to these dimensions may be allowed pursuant to Section 2.6 to accommodate environmental constraints such as the preservation of steep slopes, riparian areas, and to best align with existing roadways and property boundaries.

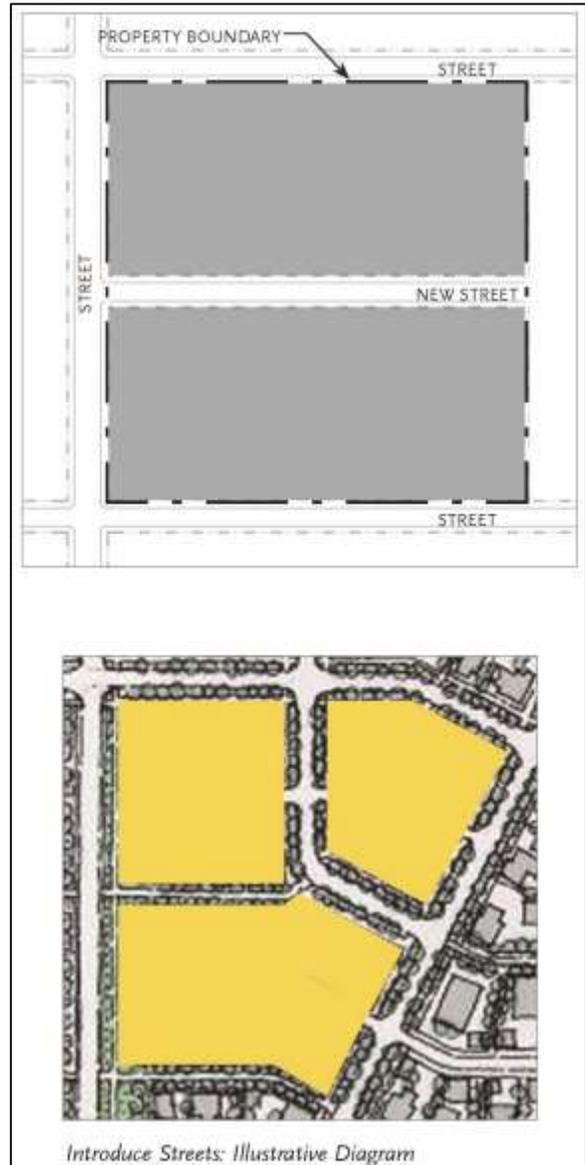
5.2. Procedure for Subdividing Land

5.2.1. Site

Sites larger than 4 acres shall be subdivided further to create additional blocks.



and allowable street types and comply with the block-size requirements in Section 5.1.1.

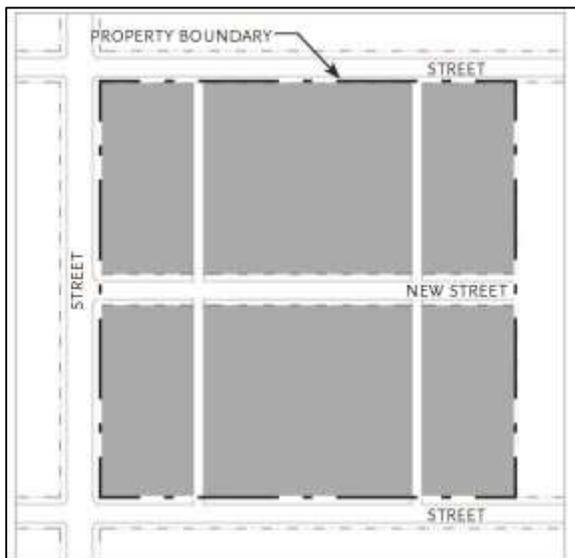


5.2.2. Introduce Street Types

Sites being subdivided into additional blocks shall introduce streets from the list of existing

5.2.3. Introduce Alleys

Access to blocks and their individual parcels is allowed only by alley/lane, side-street or, in the case of residential development, via small side drives accessing multiple dwellings. The intent is to maintain the integrity and continuity of the streetscape without interruptions such as driveway access. Therefore, although residential development allows minor interruptions along the primary frontage, the introduction of rear service thoroughfares such as alleys and lanes is required.



Introduce Alleys: Illustrative Diagram

5.2.4. Introduce Lots

Based on the type(s) of blocks created and the thoroughfare(s) that they front, lots (parcels) are introduced on each block to correspond with the desired building types.

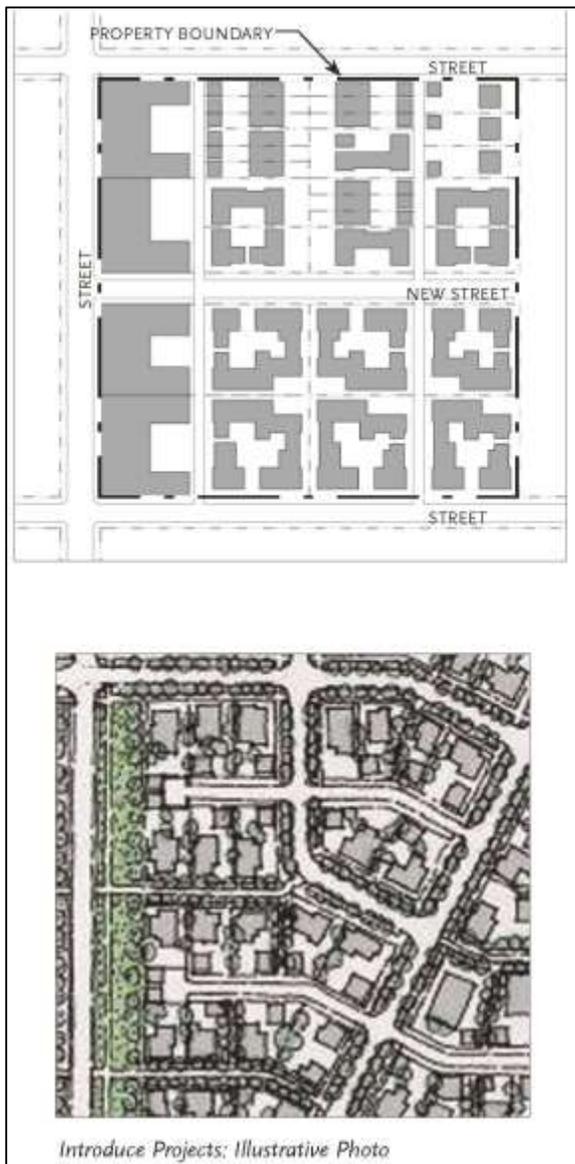


Introduce Lots: Illustrative Diagram

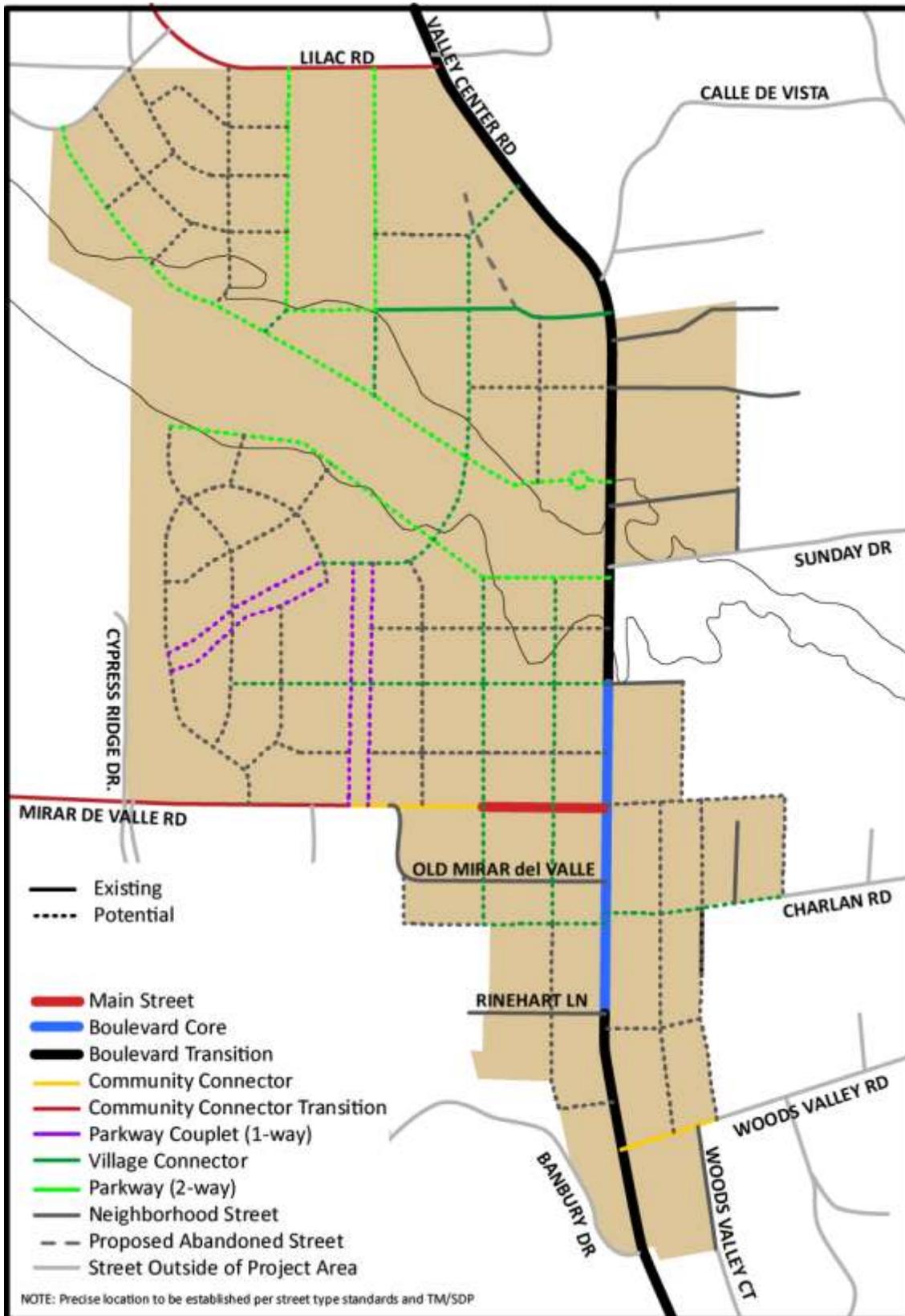
5.2.5. Introduce Projects

Each lot is designed to receive a building per the allowable building types and arranged to suit the particular organization of buildings desired for each particular block.

The desired building types then are combined with the allowable Frontage Types and encroachments in per the Zone in Section 4 in which the lot is located, in order to generate a particular form and character.



**Figure 5:
Existing and Potential Streets**



5.3. Street Network

Figure 5 identifies a potential street network within the Valley Center South Village plan area. The potential new road locations have been proposed based upon consideration of the following principles:

- Extend and align new roads with existing roads.
- Provide maximum connectivity throughout the South Village plan area including a second route across Moosa Creek, and integration of the unbuilt Orchard Run subdivision.
- Align with existing property and major developed land boundaries and natural features.
- Create parkways along Moosa Creek and other significant drainages, parks and open space features.
- Create a new Main Street at or within 300 feet of the intersection of Valley Center Road and Mirar de Valle.
- Establish major blocks sizes (roughly 4 acres in size or less) that allow for planned and phased development with a variety of uses while limiting the block perimeter to support and promote convenient bike and pedestrian use.

Future development shall follow the procedures for subdividing land specified in Section 5.2. Figure 5 identifies potential road locations and street types. Final road locations and street types will be determined based upon application of the above principles. Deviations may be allowed through the procedures identified in Section 5.5.1. Future development shall follow the recommended street network to the extent practicable. The recommended road locations and street types are suggested and the precise locations will be established based upon application of the above principles as expressed in Figure 5 and each street type designation and the South Village Guiding Principles in Section 2.9. Deviations may be

allowed where modifications are determined to be consistent and further the principles of the South Village Code. Several alternative street sections are shown.

5.4. Street Hierarchy

Development within the project area boundary is regulated by street type. The street types allowed in this area are related to each other in a hierarchical manner. When these streets intersect, the primary street frontage is determined by whichever street is higher in order to the other. The front of the building and its main entry shall face the primary street frontage and/or at the corner of the intersection.

The following list identifies the street hierarchy. Streets higher on the list are higher in the street hierarchy.

- Main Street
- Boulevard Core
- Boulevard
- Community Connector Core
- Community Connector Transition
- Parkway Couplet (1-way)
- Village Connector Core
- Parkway (2-way)
- Neighborhood

Alleys are not included in this hierarchy as they are located to the rear of structures and generally only have garages fronting on them. Private streets may be constructed as one of the above street types and would fit in to the appropriate type(s) above.

5.5. Street Types

All new roads and streets shall conform to the street types and designs permitted in each District. Each street type has specific regulations for the dimensions of the street and the

adjacent development, including height, building orientation and relationship to the sidewalk, and use.

Figure 5 Street Types identifies the existing and recommended street network and designated Street Types. The precise location of new streets will be established through the Site Development Plan or entitlement process identified in Chapter 4. Not every new street and alley is shown as the major blocks shown on this Figure will be further subdivided and developed to create additional lots and streets and alleys.

5.5.1. Exceptions, Modifications and Deviations

All efforts shall be made to provide and maintain each of the functional elements shown in the Street Type sections and Tables.

The dimensions were set for the minimum existing curb to curb distance for existing roads. Widening of the existing curb-to curb dimension and or right-of-way may be allowed with development of adjacent properties as part of a Site Plan Permit or entitlement process provided the intent and integrity and functional elements of the Street Type is maintained. The widths of new medians may be narrower than existing medians. Adjustments to individual street section elements will be necessary to blend and transition between different street sections and existing features such as medians.

Several of the Street Type Designs include alternatives. A preferred option shall be selected by the Valley Center Community Planning Group, Design Review Board in consultation with the County DPW and PDS and as part of a coordinated traffic and complete street management plan.

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5.5.2. Main Street Road Design

Location

Main Street will be located on the Mirar de Valle Road and will lead from Valley Center Road to a civic space, such as a Village Green, Town Square, plaza or community park.

Function

Main Street will be the center of activity and a primary walking street with shops, restaurants, and street furnishings along the sidewalk to encourage pedestrian activity. Driveway curb cuts are prohibited to maintain a more attractive pedestrian experience.

Access

The primary pedestrian access to all buildings and uses will be directly from Main Street. Parking and vehicular access will be from side streets or a rear alley. Driveways from Main Street are prohibited to create a continuous building wall and a better pedestrian experience.



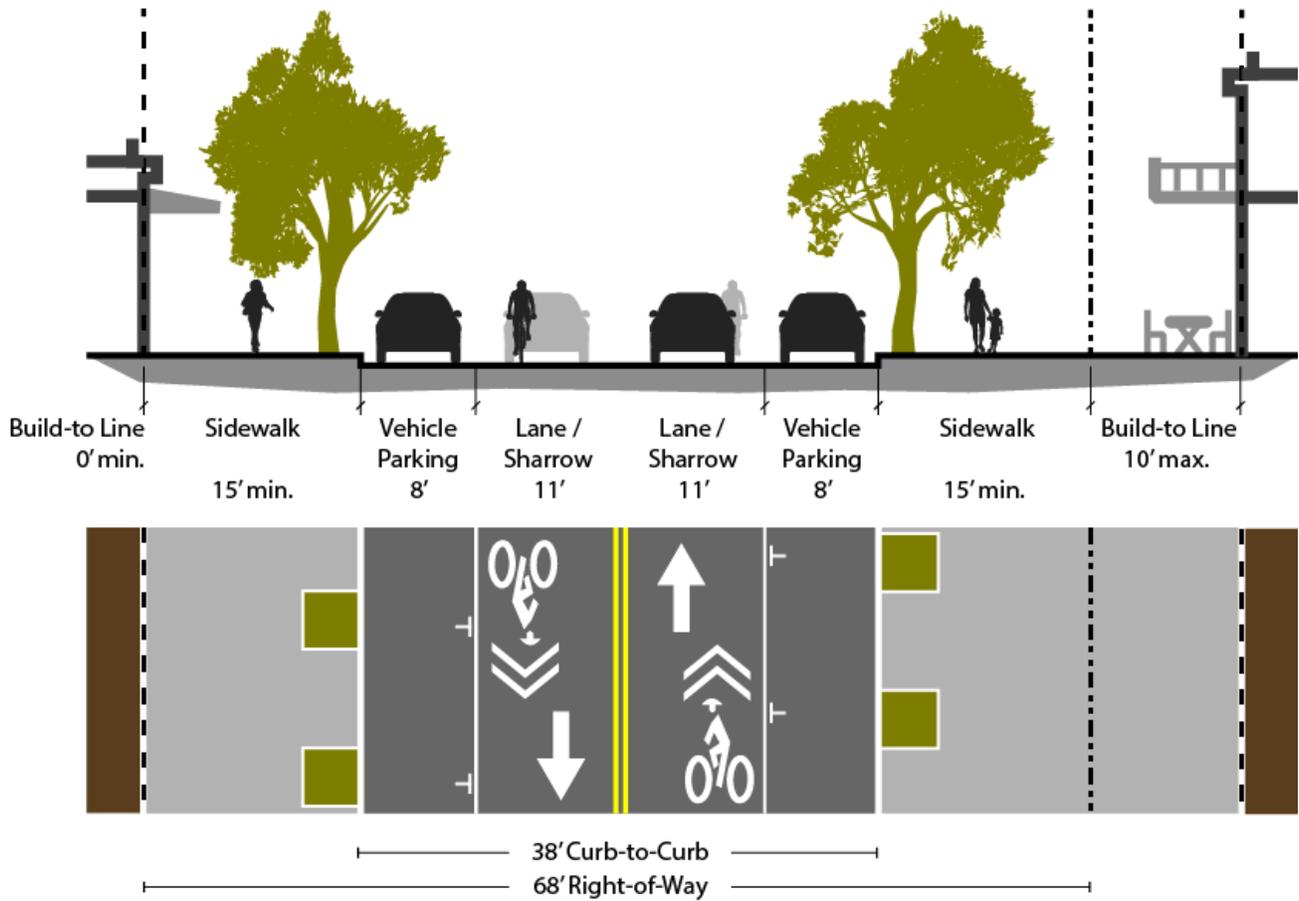
Table 5-1: Main Street

Main Street	
Zoning Districts	VC-V5 Core
Description	2-lane Main Street
Design Speed	30 MPH
Pedestrian Zone	15 feet minimum Paved Sidewalk
Bikeway	11 feet minimum Sharrow
Vehicle Parking ¹	8 feet Parallel
Vehicle Lane	11 feet 1 in each direction
Street Division	Centerline Striping
Build-to Line (BTL)	0 to 10 feet
Percent at BTL	75 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	3 floors maximum 45 feet maximum
Allowed Use Types	Civic Live-work Lodging Office Retail Residential (upper floors only)
Planting Technique	5 ft. Tree well
Tree Sequence	Single species
Permitted Tree Species	See Appendix
Tree Spacing	30 foot on center, avg.
Lighting Spacing	40 foot staggered, adjust per 5.11.1

Notes:

1. Parking lanes may be replaced with turn lanes at intersections.

Figure 5.1: Main Street/Mirar de Valle = Modified 2.1D Community Collector



*Mirar de Valle is a 2.1D with up to 84' ROW

5.5.3. Boulevard Core

Location

Boulevard Core is located along Valley Center Road between the service road south of golf course to Rinehart Lane.

Function

Boulevard Core will serve as an extension of and a transition between Main Street and Boulevard Transition. More sidewalk-oriented buildings will be provided to encourage walking; however, the larger street width will still accommodate larger volumes of vehicles moving through the area.

This 3/8 mile central portion of Valley Center Road is the heart of the South Village. It maintains its 4-lane capacity, but has a slow 25 MPH design speed to promote business, visibility, and a walkable and bike – friendly development pattern. Key features include on-street parking, landscaped medians, parking islands and narrowed pedestrian crossings, wide sidewalks with street trees and street lights with new and expanded buildings that are access from the sidewalk.

Access

The primary pedestrian access to all buildings and uses will be directly from Main Street. Parking and vehicular access will be from side or rear streets or rear alley. Existing driveways will be consolidated where and when possible to minimize the number and size of curb cuts and the number of pedestrian, bicycle and vehicular conflict points.

Table 5-2: Boulevard Core

Boulevard Core	
Zoning Districts	VC-5 Core,
Description	4 Lane, Median, On-Street Parking
Design Speed	30 MPH
Pedestrian Zone	10 feet minimum Paved Sidewalk/Parkway or Trail
Bikeway	11' minimum Sharrow
Vehicle Parking ¹	8 feet minimum Parallel
Vehicle Lane	11 feet minimum 2 in each direction
Street Division ¹	Landscaped Median 8 feet minimum
Build-to Line (BTL)	0 to 10 feet
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	3 floors maximum 45 feet maximum
Percent at BTL	75 minimum
Allowed Use Types	Civic Live-work Lodging Office Retail Residential (upper floors only)
Planting Technique	5 ft. Tree well
Tree Sequence	Single species
Primary Tree Species	See Appendix
Tree Spacing	30 foot on center, avg.
Lighting Spacing	40 foot staggered, adjust per 5.11.1

Notes:

1. Parking lanes and medians may be replaced with turn lanes at intersections.

Figure 5-2: Boulevard Core/Valley Center Road = Modified 4.2A Boulevard

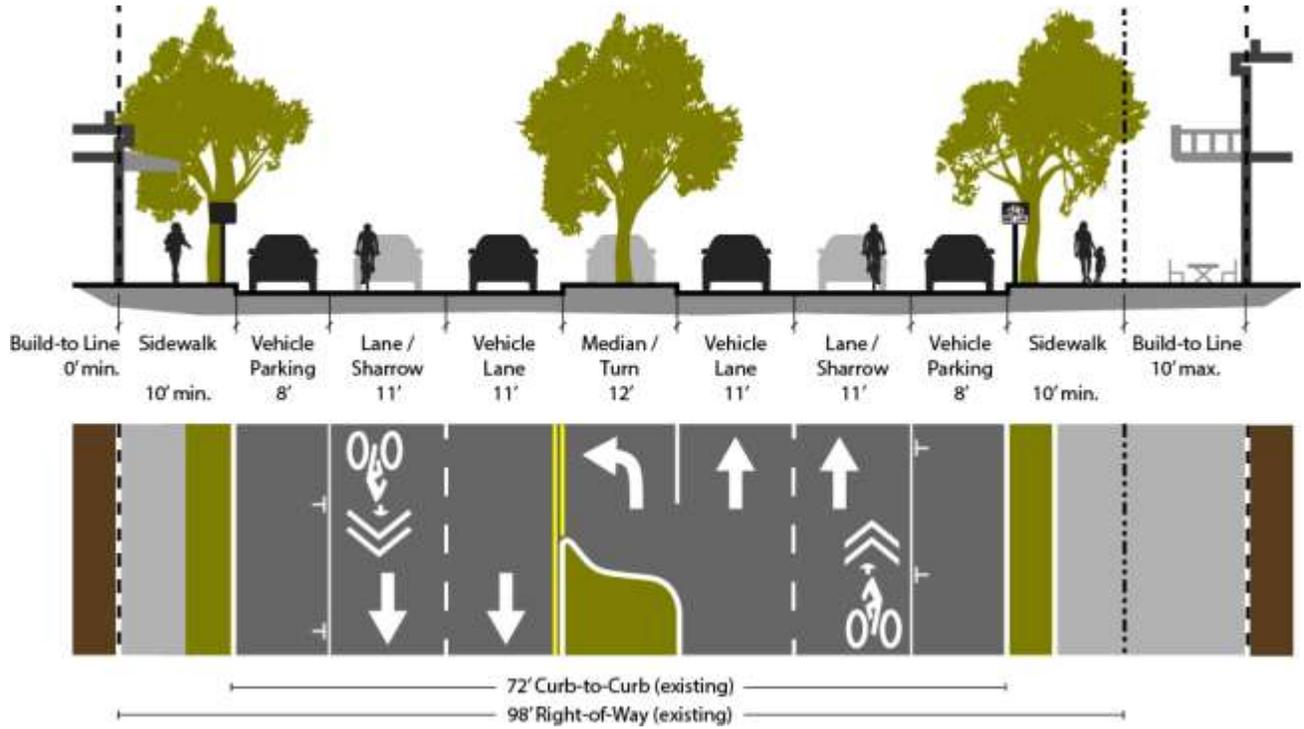


Figure 5-2 Alt A: Single Vehicle Lane, Diagonal Parking & Cycle Track

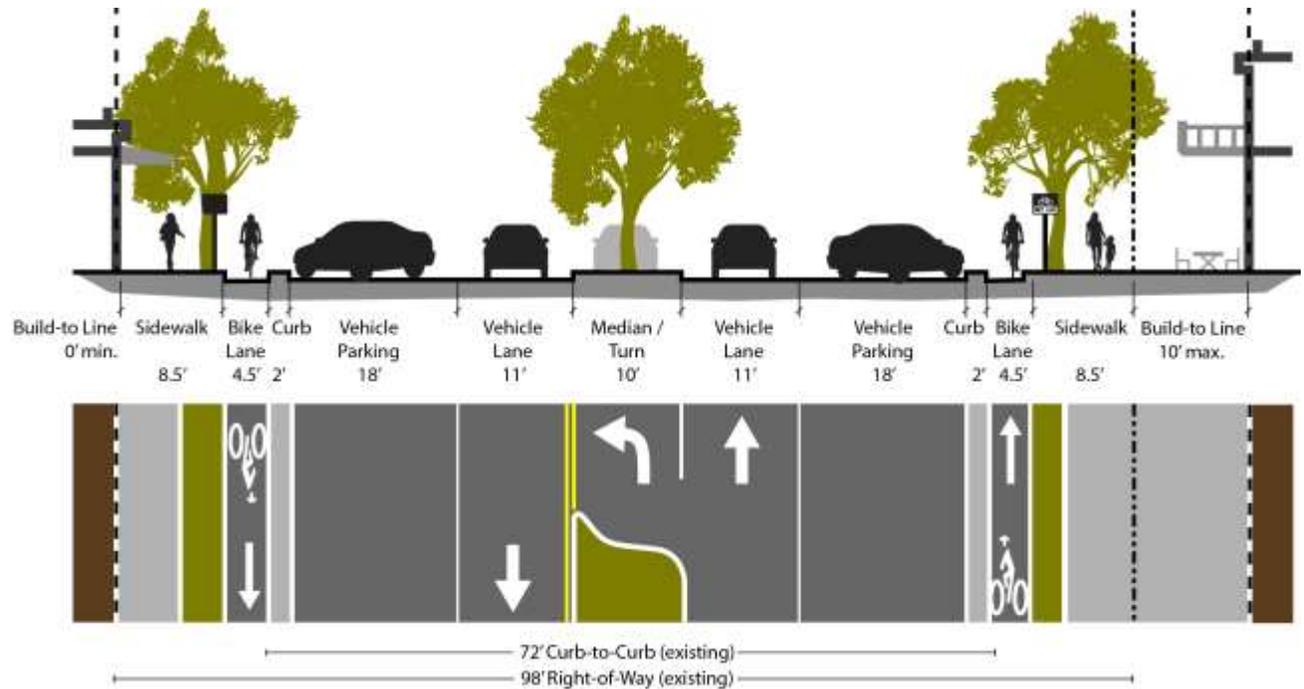
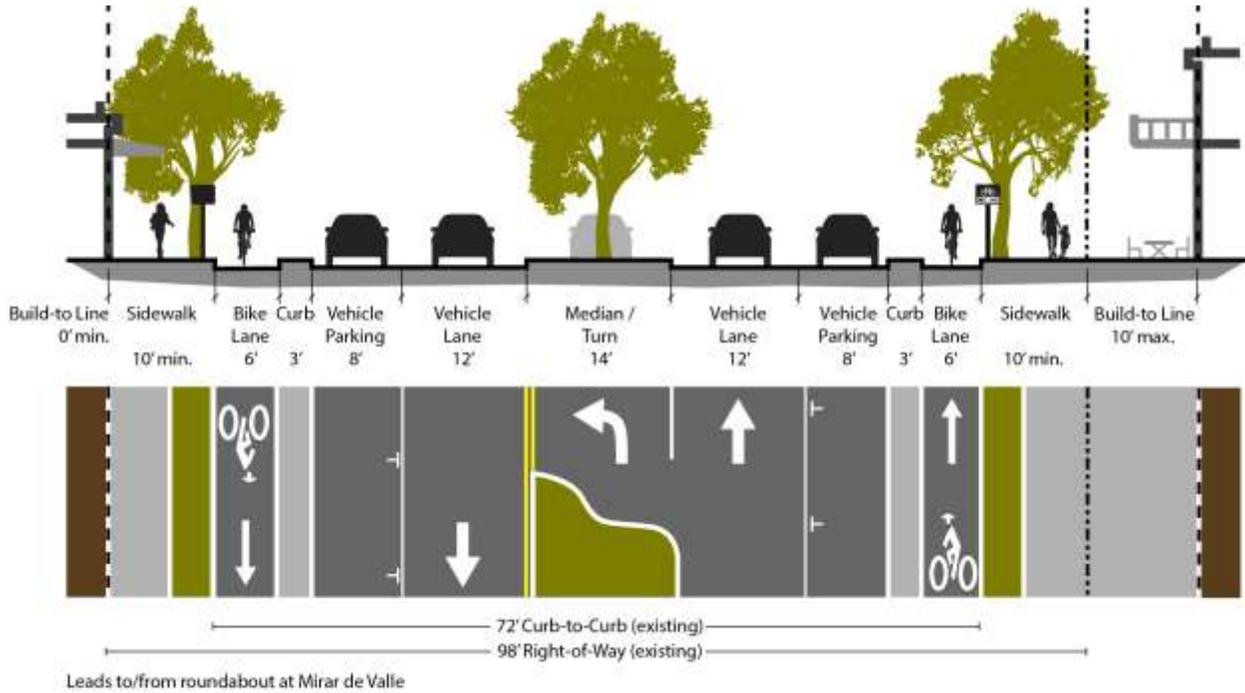


Figure 5-2 Alt B: Single Vehicle Lane, Parallel Parking & Cycle Track



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5.5.4. Boulevard Transition

The following designs apply to streets identified as Boulevard Transition and the adjacent development along these streets.

Location

Boulevard Transition is located along the northern and southern portions of Valley Center Road where the Boulevard Core does not apply (between Banbury and Rinehart Lane, and between the Woods Valley Golf Course service road and Lilac Road).

Function

The combined 0.8 miles of Valley Center Road designated Boulevard Transition have a 35 MPH design speed to transition between the 25 MPH Boulevard Core and the faster portions of Valley Center Road outside of the South Village area. Similar to the Core area, but without on-street parking, these portions feature landscaped medians to control turning movements and maintain smooth vehicular flow, buffered bike lanes, and wide sidewalks or multi-purpose trail with street trees. New buildings are required to build close to the street, sidewalks and trail with parking to the side and rear to encourage pedestrian activity.

Access

The primary pedestrian access to all buildings and uses will be directly from the street. Parking and vehicular access will be from side or rear streets or rear alley. Existing driveways will be consolidated where and when possible to minimize the number and size of curb cuts and the number of pedestrian, bicycle and vehicular conflict points.

Table 5-3: Boulevard Transition

Boulevard Transition	
Zoning Districts	VC-4 Village Center; VC-3 Village Neighborhood
Description	Valley Center Road
Design Speed	30 MPH minimum
Pedestrian Zone	10 feet minimum Paved Sidewalk/Parkway or Trail
Bikeway	8 feet minimum Buffered Bike Lane
Vehicle Parking	Prohibited
Vehicle Lane	11 feet 2 in each direction
Street Division ¹	Landscaped Median 10 feet
Build-to Line (BTL)	0 to 15 feet
Percent at BTL	50 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	3 floors maximum 45 feet maximum
Allowed Uses	Civic Live-work Lodging Office Retail Residential – 2’ min. FFE above sidewalk Auto Service / Sales / Gas Station Outdoor Display (special restrictions)
Planting Technique	5 ft. Tree well
Tree Sequence	Single species
Primary Tree Species	See Appendix
Tree Spacing	30 foot on center, avg.
Lighting Spacing	40 foot, staggered, see 5.11.1

Figure 5-3: Boulevard Transition/Valley Center Road = Modified 4.2A Boulevard

Figure 5-3 Alt A: 8-foot Buffered Bike Lanes with 12-foot Median

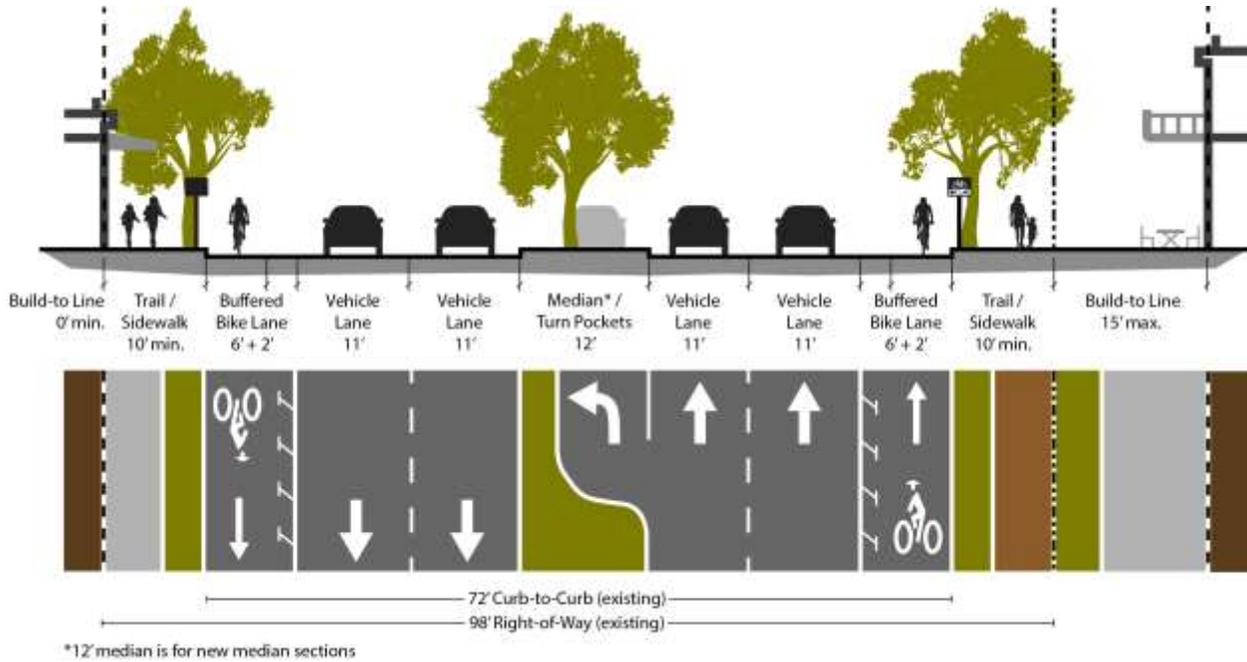
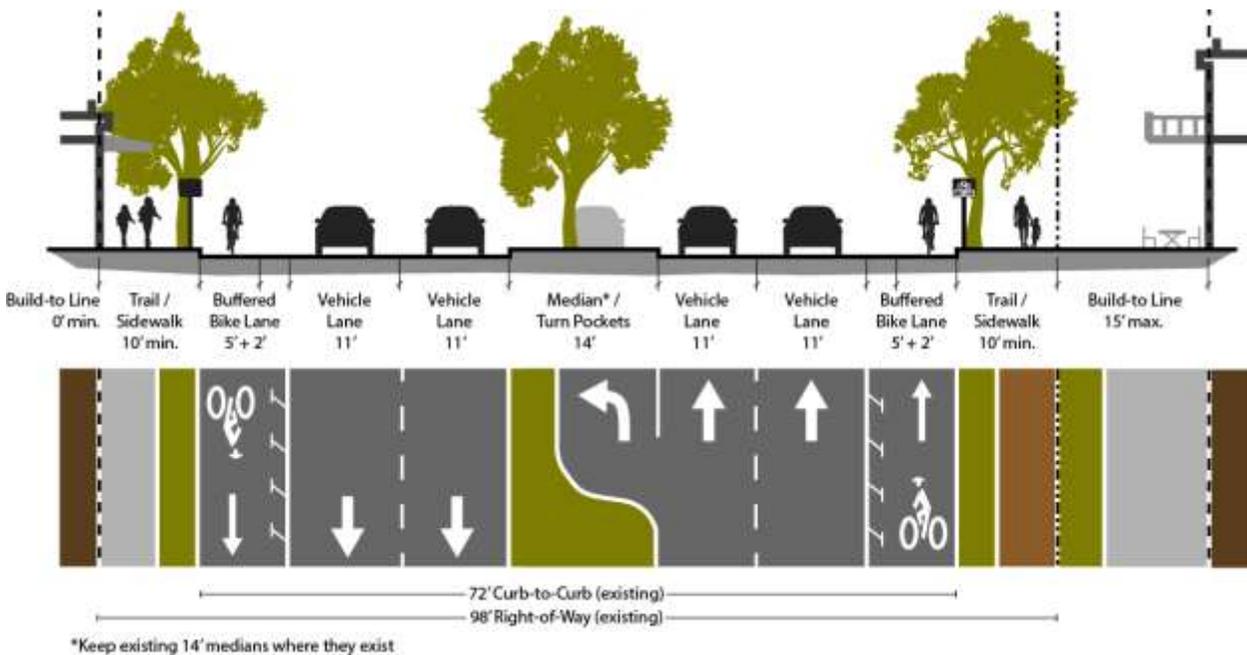


Figure 5-3 Alt B: 14-foot Median with 7-foot Buffered Bike Lanes



5.5.5. Community Connector Core

The following designs apply to streets identified as Community Connector Core and the adjacent development along these streets.

Location

Community Connector Core is located along the western portions of Mirar de Valle Road and the western end of Woods Valley Road.

Function

Community Connector Core will serve as a transition between Valley Center Road and the Main Street section of Mirar de Valle and developments to the east and west. Development patterns will generally reflect those along Boulevard Core and buildings will be designed near sidewalks to encourage pedestrian activity.

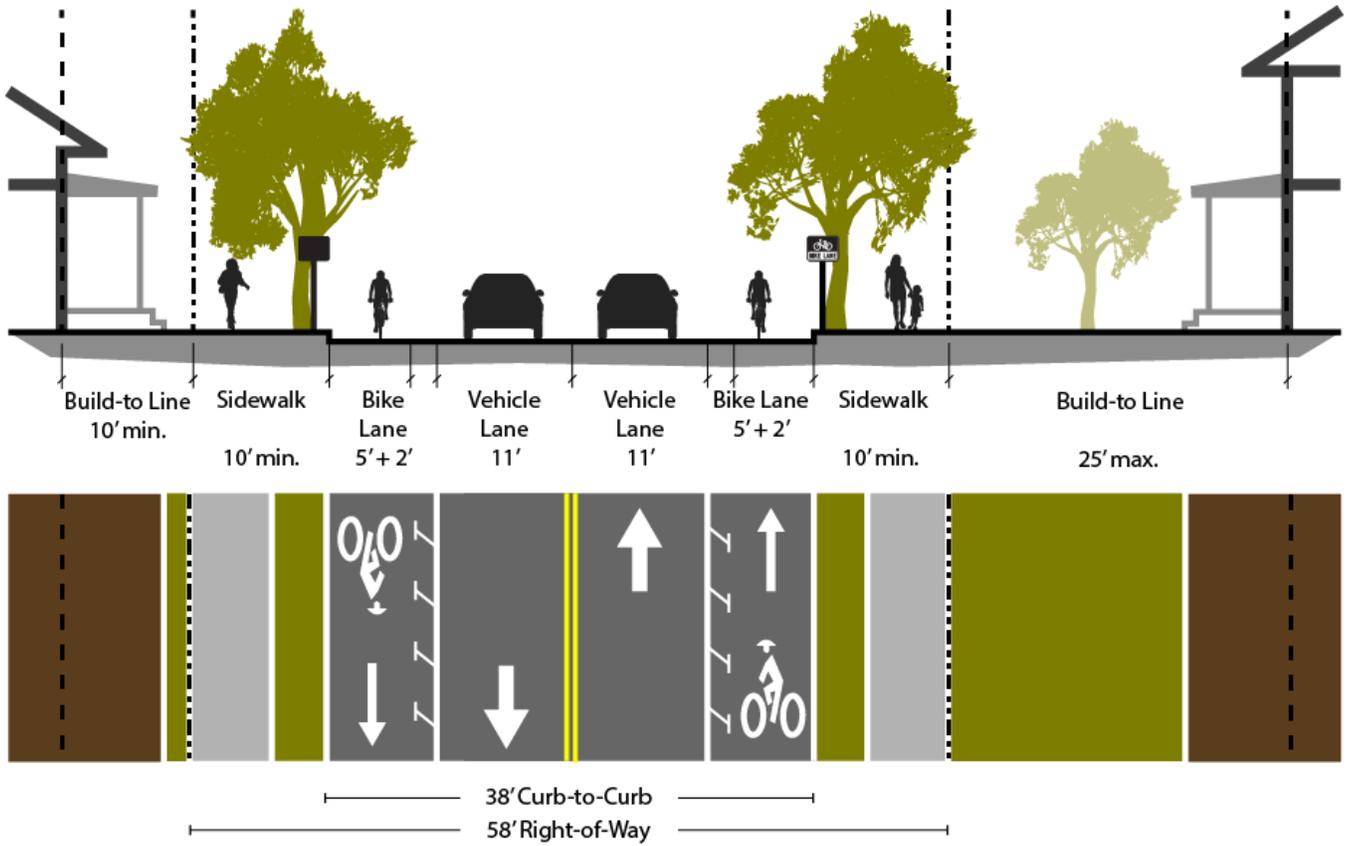
Access

The primary pedestrian access to all buildings and uses will be directly from Community Connector Core. Vehicular access and parking is from side or rear access lanes or driveways that serve five or more residences. Off-street parking is in common or linked lots behind or to the side of buildings.

Table 5-4: Community Connector Core

Community Connector Core	
Zoning Districts	VC-4 Village Center; VC-3 Village Neighborhood
Description	
Design Speed	30 MPH
Pedestrian Zone	10 feet minimum Paved Sidewalk/Parkway
Bikeway	7 feet minimum Buffered Bike Lane
Vehicle Parking	Prohibited
Vehicle Lane	11 feet minimum 1 in each direction
Street Division	Centerline Striping
Build-to Line (BTL)	10 to 25 feet
Percent at BTL	65 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	3 floors maximum 45 feet maximum
Allowed Uses	Civic Live-work Lodging Office Retail Residential (upper floors only)
Planting Technique	5 ft. Tree well
Tree Sequence	Multiple species
Primary Tree Species	See Appendix
Tree Spacing	30 foot on center, avg.
Lighting Spacing	40 foot, staggered

Figure 5-4: Community Connector Core = Modified Residential Collector Road



5.5.6. Community Connector Transition

The following designs apply to streets identified as Community Connector Transition and the adjacent development along these streets.

Location

Community Connector Transition is located on the western end of Mirar de Valle Road and Lilac Road.

Function

Community Connector Transition will serve as a transition between more pedestrian-oriented, village style development and the more rural style of development further east and west of Valley Center Road.

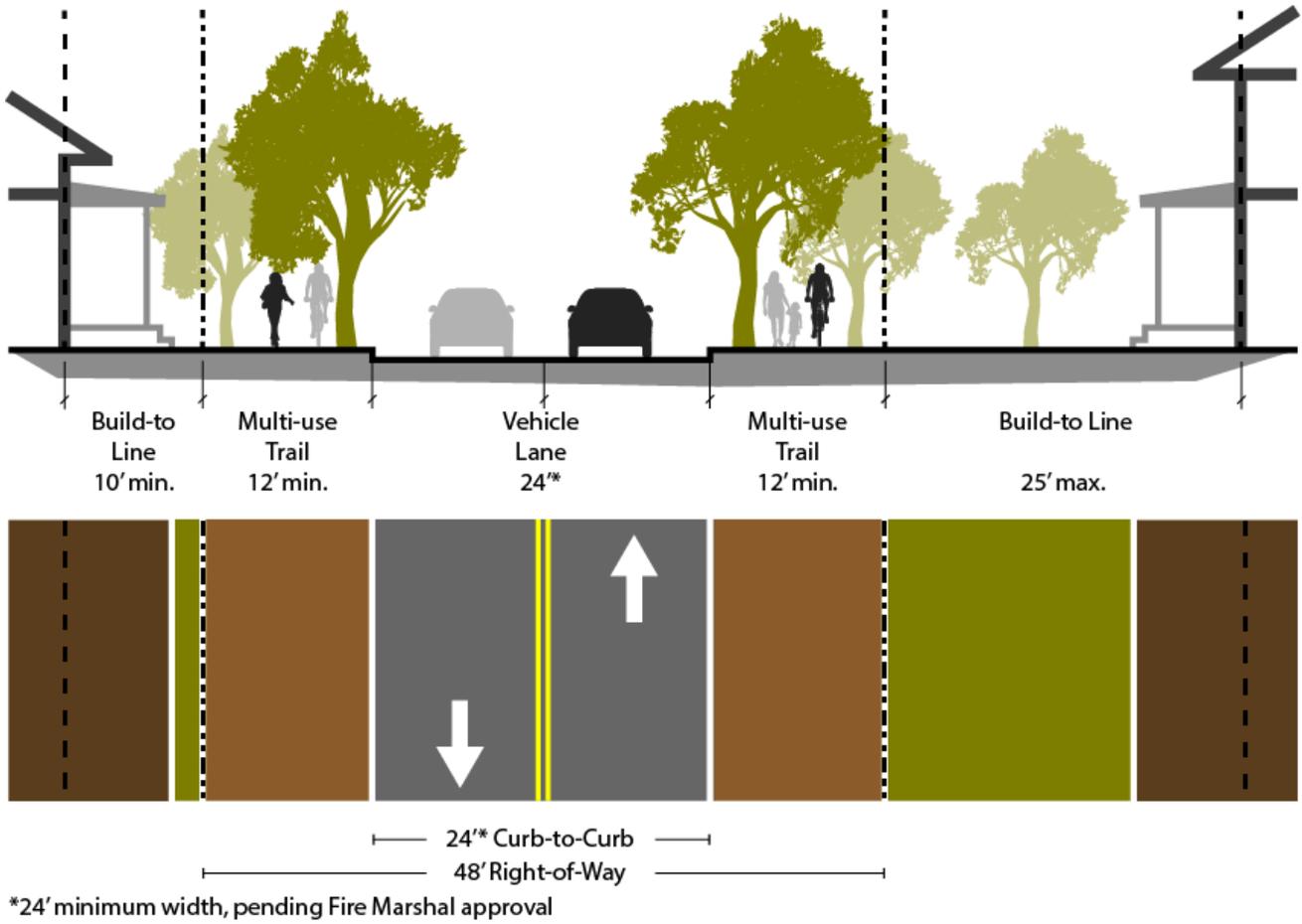
Access

Access from Community Connector Transition to individual properties will be provided by rear alley (preferred) or common driveways from Community Connector Transition serving 3 or more primary dwelling units.

Table 5-5: Community Connector Transition

Community Connector Transition	
Zoning Districts	V3-Village Neighborhood; V2-Village Edge
Description	2-lanes; Multi-purpose Trail
Design Speed	30 MPH
Pedestrian Zone	12 feet minimum Trail
Bikeway	Trail
Vehicle Parking	Prohibited
Vehicle Lane	11 feet minimum 1 in each direction
Street Division	Centerline Striping
Build-to Line (BTL)	10 to 25 feet
Percent at BTL	50 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	2 floors maximum 35 feet maximum
Allowed Uses	Civic Residential
Planting Technique	5 ft. Tree well
Tree Sequence	Multiple species
Primary Tree Species	See Appendix
Tree Spacing	30 foot on center, avg.
Lighting Spacing	40 foot, staggered

Figure 5-5: Community Connector Transition = Modified Residential Road



5.5.7. Parkway Couplet (1-way)

The following designs apply to streets identified as Parkway Couplet and the adjacent development along these streets.

Location

The Parkway Couplet (1-way) is located along the waterways (excluding Moosa Creek) and the primary drainages and tributaries on the west side of Valley Center Road.

Function

The Parkway Couplet (1-way) is designed as a one way couplet to further enhance the waterways and by providing additional multi-use trails.

Access

Access from The Parkway Couplet (1-way) to individual properties will be provided by rear alley. Driveways from Parkway Couplet are prohibited to create a better pedestrian experience and to highlight the importance of the waterways. Zero, flush mounted curbs are encouraged to allow for sheet flow and immediate water quality treatment of stormwater runoff via landscaped areas, parkways and bioswales adjacent to the street.

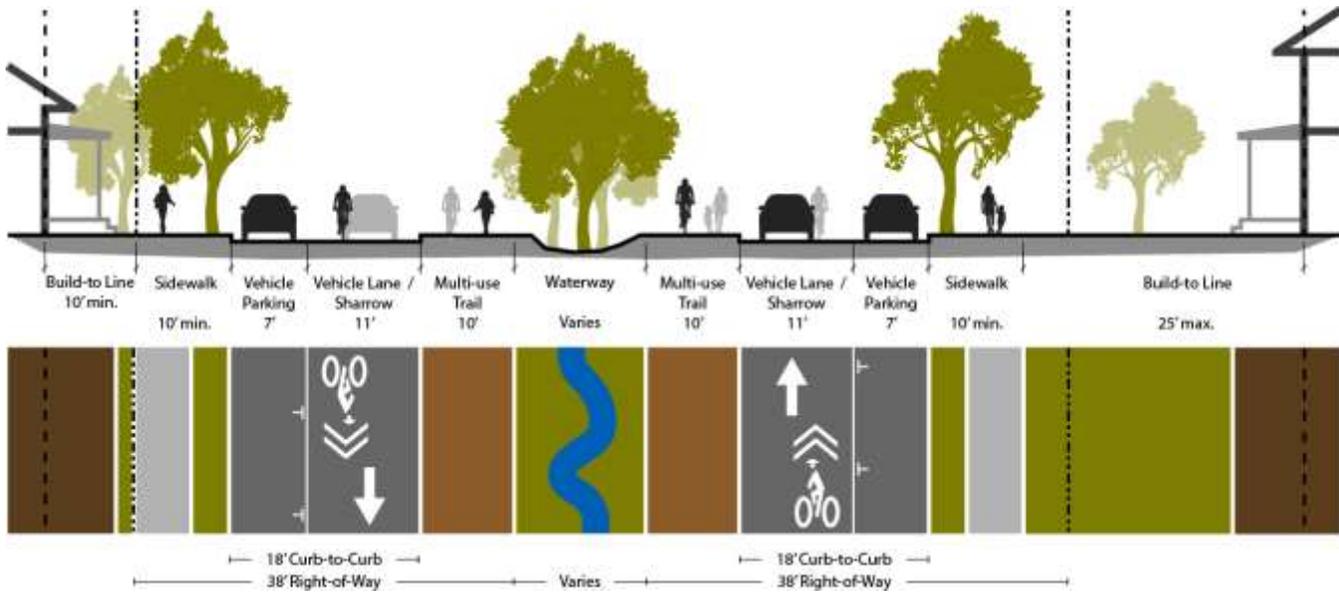
Table 5-6: Parkway Couplet (1-way)

Avenue	
Zoning Districts	VC-3 Village Neighborhood; VC-2 Village Edge; VC-CD Civic
Description	1-way couplet & Parkway
Design Speed	30 MPH
Pedestrian Zone	10 feet minimum Paved Sidewalk/Parkway
Bikeway	10 feet minimum Sharrow
Vehicle Parking ¹	7 feet minimum Parallel
Vehicle Lane	11 feet Sharrow
Street Division	Waterway: width varies Trail: 10 feet minimum on each side
Build-to Line (BTL)	10 to 25 feet
Percent at BTL	65 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	3 floors maximum 45 feet maximum
Allowed Uses	Live-work Lodging Office Residential – 2’ min. FFE above sidewalk
Planting Technique	5-7 ft. Parkway
Tree Sequence	Multiple species, informal
Primary Tree Species	See Appendix
Tree Spacing	30’, avg. varied
Lighting Spacing	None

Notes:

1. Parking lanes and medians may be replaced with turn lanes at intersections.

Figure 5-6: Parkway Couplet = Modified Residential Loop



5.5.8. Village Connector

The following designs apply to streets identified as Village Connector and the adjacent development along these streets.

Location

Village Connector is located along streets that provide access through the South Village area between individual neighborhoods. At least one crossing of Moosa Creek will be provided. At least one connection across Mirar de Valle will be provided. Village Connector will also connect Main Street with Parkway Couplet (1-way) and to Valley Center Road.

Function

Village Connector will serve as the primary connection through the various neighborhoods within the south village area and will connect to Valley Center Road, Main Street, and each of the individual neighborhoods.

Access

Access from Village Connector to individual properties will be provided by rear alley. Driveways from Village Connector are prohibited to create a better pedestrian experience.

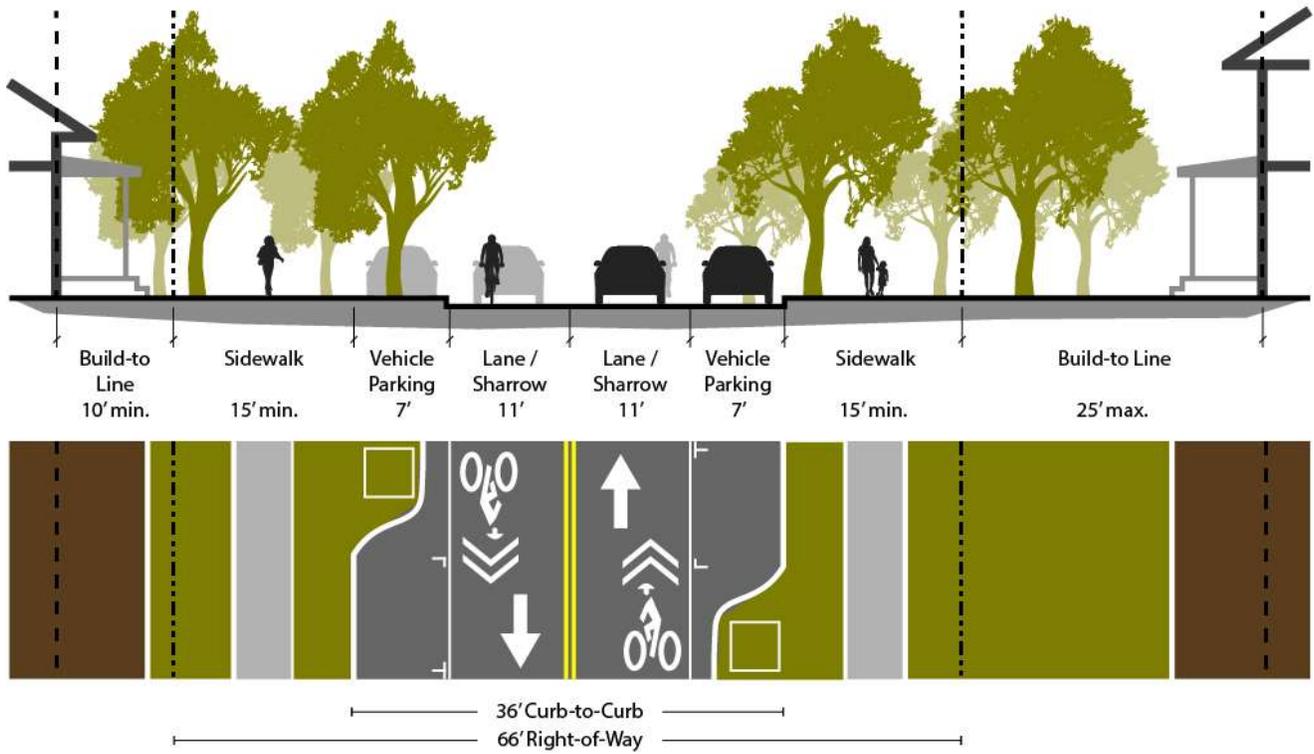
Table 5-7: Village Connector

Village Connector	
Zoning Districts	VC-5 Village Core; VC-3 Village Neighborhood
Description	
Design Speed	30 mph
Pedestrian Zone	15 feet minimum Paved Sidewalk/Parkways
Bikeway	10 feet minimum Sharrow
Vehicle Parking ^{1 2}	7 feet minimum Parallel
Vehicle Lane	11 feet minimum Sharrow
Street Division	Centerline Striping
Build-to Line (BTL)	10 to 25 feet
Percent at BTL	50 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	2 floors maximum 35 feet maximum
Allowed Uses	Civic Residential
Planting Technique	5 -7 ft. continuous parkway
Tree Sequence	Multiple species
Primary Tree Species	See Appendix
Tree Spacing	30' avg Varied; Parking Islands 80' avg. gap
Lighting Spacing	None

Notes:

1. Parking lanes and medians may be replaced with turn lanes at intersections.
2. Interspersed tree wells may be provided between parking spaces.

Figure 5-7: Village Connector = Modified Residential Collector



5.5.9. Parkway (2-way)

The following designs apply to streets identified as Parkway (2-way) and the adjacent development along these streets.

Location

Parkway (2-way) is located along both sides of Moosa Creek and around the perimeter of the Community Center, ball fields and Fire Station properties.

Function

Village Connector Creekside will serve as the primary east-west connection along Moosa Creek and will provide connections to Valley Center Road, Village Connector, and Neighborhood Streets.

Access

Access from Parkway (2-way) to individual properties will be provided by rear alley. Driveways from Parkway (2-way) are prohibited to create a better pedestrian experience and to highlight the importance of Moosa Creek and the Valley Center Community Center and Fire District properties. Zero, flush mounted curbs are encouraged to allow for sheet flow and immediate water quality treatment of stormwater runoff via landscaped areas, parkways and bioswales adjacent to the street.

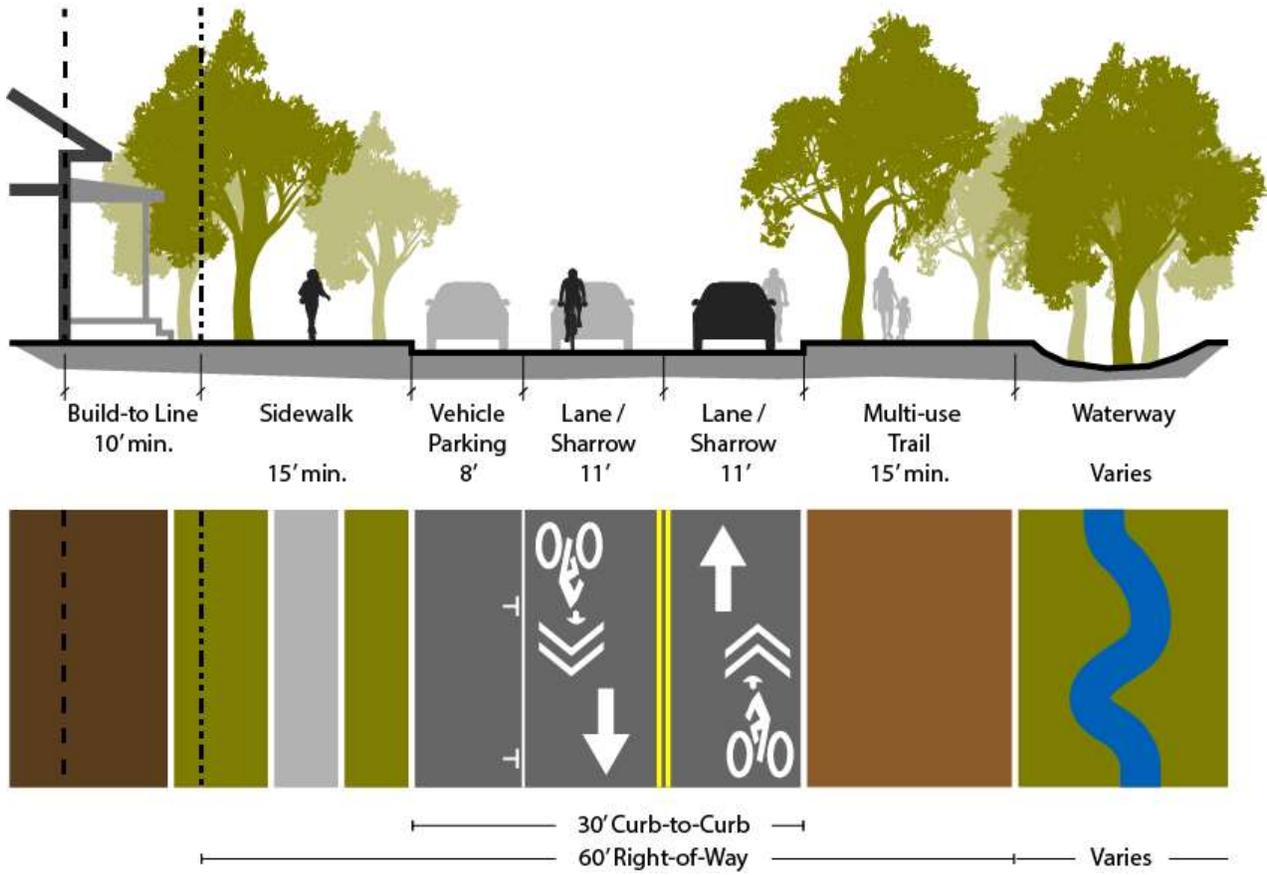
Table 5-8: Parkway (2-way)

Village Connector Creekside	
Zoning Districts	V2-Village Edge; VC-CD Civic
Description	
Design Speed	30 MPH
Pedestrian Zone	15 feet minimum Paved Sidewalk/Parkways and Trail
Bikeway	11 feet minimum Sharrow
Vehicle Parking ^{1 2}	8 feet minimum Parallel
Vehicle Lane	11 feet minimum Sharrow
Street Division	Centerline Striping
Build-to Line (BTL)	10 to 25 feet
Percent at BTL	50 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	2 floors maximum 35 feet maximum
Allowed Uses	Civic Residential
Planting Technique	5 -7 ft. continuous parkway
Tree Sequence	Multiple species
Primary Tree Species	See Appendix
Tree Spacing	Varied; Parking Islands
Lighting Spacing	None

Notes:

1. Parking lanes and medians may be replaced with turn lanes at intersections.
2. Interspersed tree wells may be provided between parking spaces.

Figure 5-8: Parkway (2-way) = Modified Residential Collector



5.5.10. Neighborhood Street

The following designs apply to streets identified as Neighborhood Street and the adjacent development along these streets.

Location

All other streets (excluding alleys) will be considered Neighborhood Street.

Function

Neighborhood Street provides access within a neighborhood and is intended for lower volumes of traffic and activity.

Access

Access from Neighborhood Street to individual properties will be provided by rear alley (preferred) or common driveways from Neighborhood Street serving 3 or more primary dwelling units.

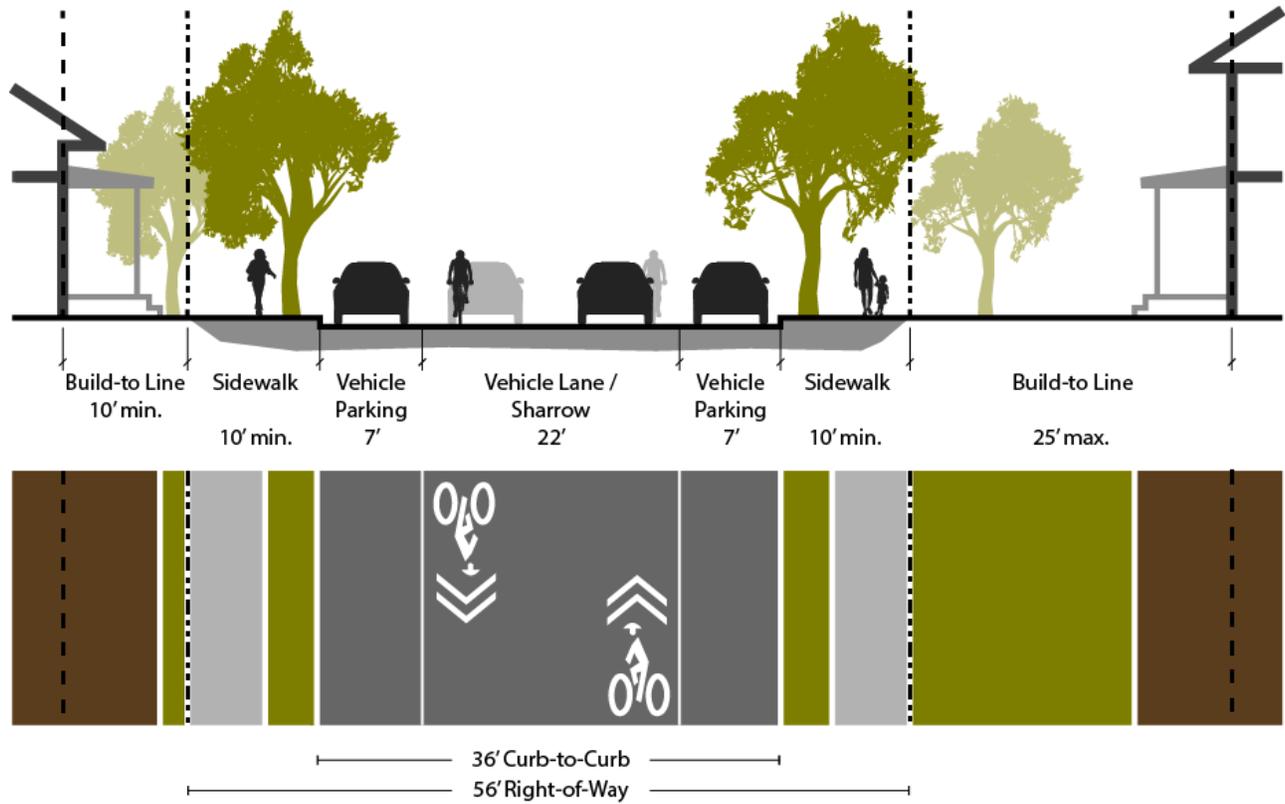
Table 5-9: Neighborhood Street

Neighborhood Street	
Zoning Districts	V4-Village Center; V3-Village Neighborhood
Description	
Design Speed	30 MPH
Pedestrian Zone	10 feet minimum Paved Sidewalk/Parkway
Bikeway	10 feet minimum Sharrow
Vehicle Parking ^{1 2}	8 feet minimum Parallel
Vehicle Lane	11 feet minimum Sharrow
Street Division	Centerline Striping (optional)
Build-to Line (BTL)	10 to 25 feet
Percent at BTL	50 minimum
Space Between Buildings	0 feet if attached (15 feet minimum if not)
Building Height	2 floors maximum 35 feet maximum
Allowed Uses	Civic Live-work Lodging Residential
Planting Technique	5 -7 ft. continuous parkway
Tree Sequence	Multiple species
Primary Tree Species	See Appendix
Tree Spacing	Varied; Parking Islands
Lighting Spacing	None

Notes:

1. Parking lanes and medians may be replaced with turn lanes at intersections.
2. Interspersed tree wells may be provided between parking spaces.

Figure 5-9: Neighborhood Street = Residential Road



5.6. Intersection Controls

Intersection controls within the South Village may include traditional traffic signals, roundabouts, and median-restricted turning movements. Figure 5 shows existing and recommended intersection locations that reflect a hierarchy of intersections along Valley Center Road. The hierarchy includes:

- Signalized or roundabout-controlled 4-way intersections with full turning movements;
- Un-signalized 4-way intersections with full turning movements; and
- Un-signalized intersections with limited turning movements (e.g. right-turn in and right-turn out only).

Existing and new landscaped median-protected turn lanes will allow for left-turns and U-turns along Valley Center Road at and between intersections.

The precise location, type of design of the intersection controls should be coordinated and determined pursuant to a master traffic plan for the corridor designed to meet the guiding principles of this Code and of each Street Type.

5.7. Alleys

Alleys are required in the South Village area to minimize curb cuts along public street frontages and to provide access to parking and service areas behind buildings. Alley locations and dimensions are not fixed but shall be designed to accommodate the alley's purpose. Additional curb cuts shall be added only with the permission of the PDS staff. Alleys may be incorporated into parking lots as drive aisles and fire lanes.

Alleys reduce the need for curb cuts and maximize on-street parking space. Alley locations are not established in this code, but shall be designed to accommodate the alley's purpose and emergency vehicles. Alleys shall be

a minimum of 20 feet wide and maintain a 10-foot curb radius at alley intersections.

Alleys are encouraged to be designed with porous paver systems to improve appearance and use as informal courtyards and plazas and to infiltrate and treat stormwater runoff. Surface runoff should be directed to nearby bio-swales, subsurface detention and treatment or storm drain system.

5.8. Private Streets

Private streets are not maintained by the County of San Diego, but are rather maintained by another source such as a homeowner's association. Private streets shall be designed with the specifications of other streets described in this section. All private streets shall be approved by the County of San Diego Department of Public Works.

5.9. Vehicle Access

Vehicular access to properties shall occur in accordance with the standards prescribed in Section 5.5. Additionally, vehicle access points shall be consistent with the intent of the zoning districts as described in the beginning of Chapter 4 and not conflict with the principles described in the Transportation Research Board of the National Academies Access Management Manual. Curb cuts are breaks or openings in the curb for the purpose of allowing vehicular access between streets and developed areas. An efficient, walkable, and enjoyable pedestrian environment is enhanced by minimizing curb cuts, which damage walkability.

The number of driveways shall be limited and use of alleys shall be utilized to minimize driveways and curb cuts. Shared use driveways provide sufficient vehicular access while minimizing impacts to the pedestrian and bicycle realms. Access from one property to another minimizes trips onto adjacent streets. Where two parking lots are located adjacent to

each other, vehicular access between the two shall be provided.

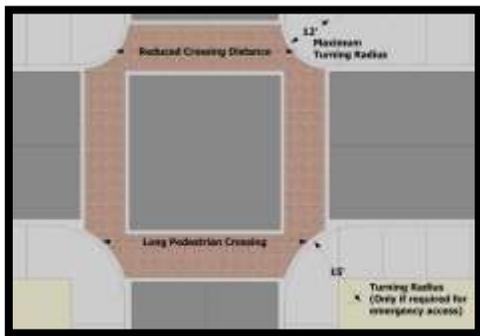
Vehicular access to blocks and their individual parcels is allowed only by alley/lane, side street or, in the case of residential development, via small side drives accessing multiple dwellings.

5.10. Intersections and Crosswalks

To reduce the length of pedestrian crosswalks and the speed of turning vehicles at intersections, the curb radius at street intersections shall not exceed 12 feet (unless necessary for emergency vehicle access which shall not exceed 15 feet) and shall maintain a 25 foot clear zone which is free of vertical obstructions such as street lights or fire hydrants.

Crosswalks are required at all street intersections. Mid-block crosswalks may be provided to allow for additional pedestrian connectivity. Crosswalks shall consist of painted stripes or may be designed with decorative striping and/or paving materials.

Bulbouts (extensions of the sidewalk into the area otherwise used for on-street parking) may be provided at crosswalks. Bulbouts shall be constructed with paving materials that are consistent with the adjacent sidewalk. Bulbouts shall be provided at every intersection where on-street parking is provided; adjacent to entrances to parks, and civic spaces; and at mid-block crossings, and as deemed necessary.



5.11. Neighborhood Circulation

Circulation patterns, lot layouts, open space and common area locations, building placement and orientation, paving materials, and landscaping shall be used to provide a hierarchy of physical and visual neighborhood organizational elements while establishing continuity.

Meaningful, walkable destinations and pedestrian nodes shall be created within neighborhoods to redefine the role of the street as a pedestrian social space. Direct pedestrian connections should be provided to minimize walking distances to key locations.





5.11.1. Sidewalk Amenities

Sidewalk amenities, public art, outdoor dining facilities (see “Sidewalk Dining”), planters, and other items that may block the path of pedestrians shall only be permitted within the paved zone of the sidewalk. These items shall only be permitted in the paved zone if an unobstructed flat walking surface (sidewalk and/or tree grate) is maintained along the sidewalk. The unobstructed flat walking surface shall be at least 5 feet wide. See Figures 5-10 through 5-14.

Items placed within the paved area shall not block a building entrance or path leading to a building entrance. Items placed within the paved area shall not be permanently attached to the building or the sidewalk. Items placed within the paved area shall not block views into adjacent storefronts.

An encroachment permit for private improvements within the public ROW shall be obtained from the Department of Public Works. The Business Owner shall maintain any enhanced or improved area of the public ROW in a safe and sanitary condition at the sole cost, risk, and responsibility of the Business Owner.

Street trees shall be provided along all sidewalks to provide a canopy of shade over the sidewalk. Street trees along sidewalks shall be provided at intervals not to exceed 40 feet. This interval may only be modified for driveway curb cuts, street intersections, alleys, and to avoid conflicts with public utilities and areas within sight distance arcs. See Chapter 7, Appendix for recommended tree list.

Pedestrian-scaled street lights (typically 12’-14’ tall decorative lamp posts) shall be provided along sidewalks to provide levels of nighttime lighting for safety. Street lights shall be located within 3 feet of the curb and shall be spaced according to the street type.

- Pedestrian street lights along Main Street and Boulevard Core, and Community Connector Core shall be provided at intervals not to exceed 60 feet. For all

other street types (excluding alleys), pedestrian street lights shall be provided at intervals not to exceed 100 feet where provided.

- These intervals may be modified for driveway curb cuts, street intersections, and alleys.
- Additional lighting may be provided through illuminated bollards and/or building-mounted lighting.

5.11.2. Sidewalk Dining

Outdoor dining is allowed anywhere within the first layer. Sidewalk dining areas shall only be permitted within the paved zone of the sidewalk. Sidewalk dining is only allowed directly in front of the business serving the food and within civic spaces. An unobstructed clear path of a minimum of 5 feet shall be maintained along sidewalk dining.

If a sidewalk dining area occupies an area that extends more than 3 feet from the building face, a dining area barrier shall be used to define the edges of the dining area. Dining area barriers shall be 36 to 42 inches tall. The dining area barrier may be a sectional freestanding metal or wood fence, freestanding posts connected by a rope or chain with a maximum diameter of 1 inch, or a group of planted pots or planter boxes that surround the dining area. Chain link fences and fences with fabric inserts are prohibited. See Figures 5-10 through 5-14.

Tables, chairs, umbrellas, trash/recycle receptacles, and outdoor heating devices (if approved by the Fire Department) may be located in sidewalk dining areas. Service stations, bars, counters, shelves, racks, and sofas are prohibited in outdoor dining areas. Umbrellas, outdoor heating devices, and other elevated/raised items shall maintain a vertical clearance of at least 7 feet.

An encroachment permit for private improvements within the public ROW shall be obtained from the Department of Public Works. The Business Owner shall maintain any enhanced or improved area of the public ROW in a safe and sanitary condition at the sole cost, risk, and responsibility of the Business Owner.

Figure 5-10: Sidewalk Amenity and Paved Zones



Figure 5-11: Street Amenities

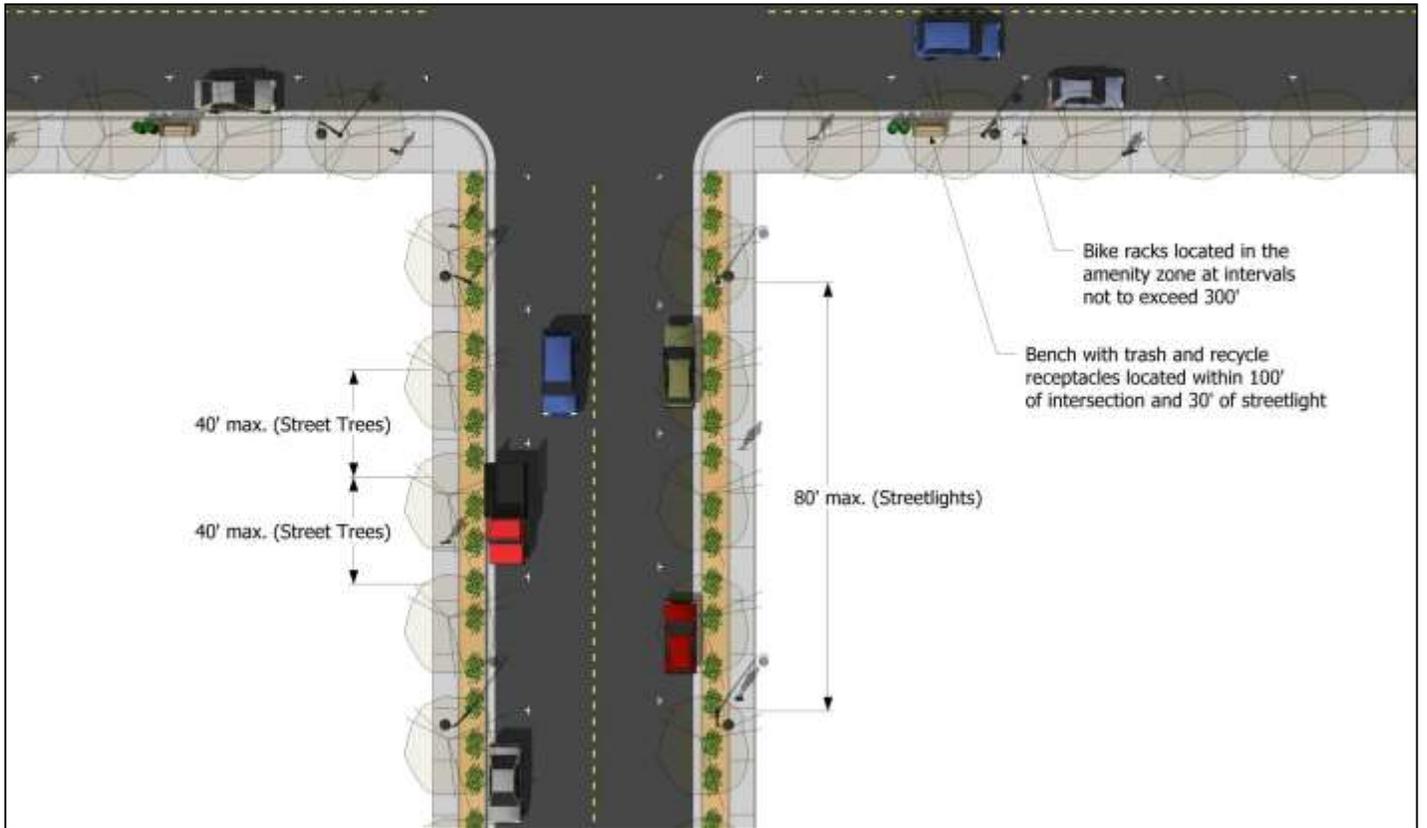


Figure 5-12: Sidewalk without Dining



Figure 5-13: Sidewalk Dining without Barrier



Figure 5-14: Sidewalk Dining with Barrier



5.11.3. Pedestrian Circulation

- a. Pedestrian access, public spaces, and buildings shall be designed to accommodate people of all ages and abilities through consultation with appropriate County staff and the Americans with Disabilities Act (ADA).
- b. All pedestrian activity areas shall have adequate lighting. Well designed and human-scaled pedestrian corridors and spaces create meaningful gathering spaces and allow for increased connectivity.
- c. Clear, direct, and efficient pedestrian connections between adjacent buildings, streets, and civic spaces shall be provided.
- d. Walkways provided along natural paths of travel better connect buildings, sidewalks, parking areas, and common areas and reduce maintenance issues with users cutting across circuitous paths.
- e. Trellises, landscaping, sitting areas, and building orientation enhance the pedestrian experience and encourage pedestrian activity. Pedestrian walkways shall be provided within parking lots to provide a clear path for pedestrians.
- f. Pedestrian crossing areas shall be enhanced with striping, paving, bollards, bulb-outs, or other design features that notify motorists of potential pedestrian activities. When parking is provided behind buildings, pedestrian plazas or walkways shall connect to rear parking areas.

5.11.4. Local Use Vehicle Circulation

Accommodations for local use vehicle circulation may be made within parking lots. Designated parking spaces shall include charging stations for local use vehicles and electric cars.

5.11.5. Transit Circulation

Direct pedestrian connections between the bus stops and adjacent uses shall be created. This may be accomplished through the adjacent sidewalk and additional walkways. There are six (6) existing bus stops along Valley Center Road in the South Village Code area. Four are on the southbound/west side near Lilac Road, the real estate office building south of Old Road, at Old Mirar de Valle, and at Woods Valley Road. Two are on the northbound side opposite Mirar de Valle and opposite Old Road.



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6

DEFINITIONS

This chapter provides definitions or terms and phrases used within this code.

The following definitions are provided for terms used within this code. If a word or phrase is not defined herein, then the word or phrase shall be defined as set forth in the County of San Diego Zoning Ordinance, or any recognized treatise or authority on zoning, planning, or architecture. A dictionary shall be used to define common words or phrases.

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A

Accessory Structure: Secondary or ancillary structures for dwellings, home occupations, and on-site storage, loading, service, and refuse areas.

Address Sign: A sign, generally applied to a building wall that displays a buildings address.

Allee: A regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Alley: A privately owned and maintained roadway that provides access from streets to the rear of each development sites within a block.

Allowed Use: A use that may occur in a specific building at a designated location.

Apex: The highest point of a sign as measured from the point on the ground where its structure is located, or, if no sign structure is present, from the point on the ground directly below the sign itself.

Arcade: A Private Frontage conventional for Retail use wherein the Façade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Façade of the First Story remains at the Frontage Line.

Auto Service / Sales / Gas Station (Use): Any establishment that generates income from repairing, servicing, and/or sales of vehicles. Auto service businesses may also generate secondary income from retail sales that are related to the auto service. Such uses include auto repair and body shops, service centers, auto dealerships, auto rentals, car washes, and gas stations. Vehicle manufacturing, tow yards, and junk yards are prohibited.

Avenue: A Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between places within a Town Center, and usually equipped with a landscaped median.

Awning Sign: A covered architectural projection that extends from the exterior wall of a building for the purpose of providing shade or shelter.

B

Balcony: A platform that projects from an upper floor of a building.

Band Sign: A sign that is attached flat on the exterior front, rear or side wall of any building or other structure. (Syn: wall-mounted sign, fascia sign).

Bay Window: A window and related structure that extends outward from an exterior building wall and thereby forms an alcove in the adjoining interior space.

Bicycle Lane: A dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.

Bicycle Route: A Thoroughfare suitable for the shared use of bicycles and automobiles moving at slow speeds.

Bio-retention Swale: Mimics the filtration properties of natural vegetation, planted tracks located adjacent to paved roads or other impervious areas that produce storm water.

Blade Sign: A sign mounted on the building façade, projecting at a 90-degree angle. (Syn: projecting sign).

Block: Blocks are areas that are completely surrounded by streets. Exceptions include Moosa Creek and the South Village Code boundary.

Block Face: The aggregate of all Primary Frontage Lines, or alternatively the building facades, on one side of the Block.

Build-to Line (BTL): A line parallel to a property line along which a defined percentage of the front facade must be built.

Building Face: A wall or series of walls that together make up a side of a building.

Building Frontage: The side of the building along the front of the parcel.

Building Height: The height of the building as measured by the number of allowed floors and physical height in feet to the highest point of a flat roof, or to the mid-point between the eave and ridge of a peaked roof.

Bulbout: An extension of the sidewalk into the parking lane at intersection and mid-block crosswalks. Bulbouts reduce the length of pedestrian crossings and help to slow vehicle traffic.

By-Right: Characterizing an entitlement that complies with the regulations of this Section and is permitted and processed administratively, without public hearing.

C

Civic Art: See Public Art.

Civic Buildings: Buildings designed for public or civic purposes, such as a community center, bus depot, library, museum, public market, or aquatic center.

Civic Space: An outdoor gathering area that is available for use to the public.

Civic Sub-District: Designation for public sites dedicated for the Civic Buildings and/or Civic Space.

Clearance: The height above the walkway, or other surface if specified, of the bottom edge of an element.

Clear Zone: A zone at alley intersections that has development restrictions to maintain visibility from one alley to another.

Commercial Use: Retail, service, office uses and recreational uses.

Common Yard: A planted Private Frontage wherein the Façade is set back from the Frontage Line. The yard is visually continuous with adjacent yards.

Conditionally Permitted Use: A use that requires a conditional use permit (CUP) to be permitted within a specific building type. Such use permits may be Major or Minor, as set forth in the County of San Diego Zoning Ordinance.

Cornice: A horizontal molded projection that crowns or completes a building facade. It is the uppermost section of moldings along the top of the wall or just below a roof.

County: County of San Diego.

Courtyard: A common area that is bounded on three or four sides by buildings.

Crosswalk: A path across the vehicular lands of a Thoroughfare distinctly indicated for the pedestrian crossing by lines or other surface markings or by change in the surface material.

Curb: The raised edge of the vehicular pavement used to channel storm water to incorporated drainage. Recessed or zero-curbs establish the edge of pavement, but are flush with the adjacent surfaces.

D

Detention Basin: Commonly known as a dry pond to store storm water after a rainfall, but remain dry all other times.

Development Site: A portion of a block where an individual building type and related site features are allowed.

Dining / Outdoor Dining: Any dining establishment, including those with seating for dining that occurs in outdoor areas (including private outdoor spaces and sidewalks) that are adjacent to a dining establishment and those that serve alcohol. Such uses include restaurants, coffee shops, cafes, and bakeries.

Driveway: A vehicular lane within a Lot, often leading to a garage.

Duplex: A building with two (2) side by side units on a Lot.

Dwelling: Any building or portion thereof that is designated for residential use.

E

Effective Turning Radius: The measurement of the turning radius at a corner taking parked cars into account.

Elevation: An exterior wall of a building not along a Frontage Line. (see Facade)

Encroach: To break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Entertainment (Use): Any establishment that provides live entertainment, cultural arts, or cinema, including those that also sell concessions or alcohol. Such uses include movie theaters, art galleries, and performance halls.

F

Facade: The exterior wall of any building oriented toward or set along a Frontage Line. (see Elevation)

Fenestration: The design and placement of windows on a building.

Fenestration Calculation: Required Fenestration shall be calculated as the total combined area of window glazing (lights or panes within each window's casing) divided by the total area of the Facade for the story of a building under calculation.

Floor / Floors: Enclosed building space (building levels) that is bounded by walls, floors, and ceilings.

Form-Based Code: A type of zoning code that emphasizes the form and location of buildings over the use of buildings, unlike conventional "Euclidean" zoning codes, which emphasize land use over other site and building design.

Frontage: The area between a building Facade and the vehicular lanes of a Thoroughfare, inclusive of its built and planted components. Frontage is divided into Public Frontage and Private Frontage.

Front Porch: An area connected to the ground floor of a building that is covered by a roof, but does not contain glass windows, walls, or fences (except railings and support posts).

Focal Point: The visual termination of a long stretch of Main Street. The point of termination

should be an architecturally significant building reflecting Valley Center's community character.

G

Gallery: An attached cantilevered shed or a lightweight colonnade extending from a building Facade to overlap the Sidewalk.

Grated Tree Well: Incorporating street trees into sidewalks to collect and store stormwater runoff and assist with infiltration.

Ground Floor: The first (closest to the finished site grade) habitable building floor of a building.

H

Home Occupation: An operation conducted in a residential unit by a resident of that unit as a secondary use. Advertising signs, displays, stock or commodities sold on the premises, employees, and large or noisy mechanical equipment are prohibited.

J

Joint Use Agreement: An agreement between two parties regarding the shared use of facilities (i.e. a parking area that serves multiple buildings or uses may require a joint use agreement to satisfy the parking requirement for all buildings or uses).

L

Landscaped Tree Well: Trees have exposed soil to receive water to collect and store runoff and assist in infiltration of stormwater in parking lots and on sidewalks.

Large-Format Uses: Retail, commercial warehouse, storage or industrial, or other single use buildings typically 20,000 square feet or larger that require large, rectilinear, single story buildings with large walls without doors or windows at the street level.

Liner Building: A building specifically designed to mask a Parking Structure from a Frontage.

Live-Work (Use): A combination of living space and working space for personal and professional service and office uses that the owner of the unit operates the business.

Lodging (Use): Any establishment that rents rooms for transient occupancy to overnight guests. Such uses include hotels, motels, bed and breakfasts, and hostels. Lodging uses may include ancillary retail uses and dining businesses that provide convenience to the traveling public.

Lot: A subdivision of a development site that is also known as a parcel. Lots and parcels are legal boundaries of land on which development may occur. Generally, buildings are not permitted to be constructed across lot or parcel lines.

Lot Line: The boundary that legally and geometrically demarcates a Lot.

Lot Width: The length of the Primary Frontage Line of a Lot.

M

Marquee: A permanent roof-like structure that projects from the building wall to provide shade and shelter. Marquees may have signs.

Message Board: A sign with changeable text. Non-electronic Message Boards typically consist of letters attached to a surface within a transparent display case. Electronic Message Boards typically have a fixed or changing message composed of a series of lights.

O

Office (Use): Any establishment in which the primary activity is the provision of a service to a client or customer who does not necessarily need to go to the business to be served. Such uses include lawyers, architects, graphic designers, health services, insurance agents, real estate offices, and financial institutions.

Outbuilding: A building usually located toward the rear of the same Lot as a Primary Building

such as a garage, carport, or workshop and may include an Accessory Unit.

Outdoor Display Case: A sign consisting of a lockable metal or wood framed cabinet with a transparent window or windows, mounted onto a building wall or freestanding support. It allows the contents, such as menus or maps, to be maintained and kept current.

P

Parapet: A low wall projecting from the edge of a roof. Parapets may be designed with details and cornices.

Parking District: An area generally covering on-street and off-street parking areas on several properties and developments that are maintained and managed by a common group, agency or organization as a means to provide more efficient and attractive parking for the benefit of the public and district members.

Parking Structure: A building containing one or more Stories of parking above grade.

Parkway: The landscaped area between the edge of the vehicular travel way and the sidewalk, trail or pedestrian zone.

Paseo: A pedestrian-only corridor that is lined on either side with buildings that generally have shops, restaurants and cafes, or entertainment uses on the ground floor.

Pedestrian Passage: A pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear-parking areas to Frontages.

Paved Zone: The area of a sidewalk adjacent to a building. This area shall be paved and is generally free of items that may impede pedestrian circulation, except as allowed for amenities.

Planter: A three (3) feet deep recessed soiled bed provided for the planting of Street Trees and kept open to air and water flow through landscaping or permeable Pavers.

Playground: An Open Space designed and equipped for the recreation of children.

Plaque/Nameplate: A sign consisting of either a panel or individual letters applied to a building, listing the names of businesses or building tenants.

Plaza: A Civic space type designed for Civic purposes and Commercial activities in the more urban Sub- Districts, generally paved, spatially defined by buildings, and internal to or part of a Block.

Pocket Park: A Civic Space type of limited size available for unstructured recreation and may be designed as a playground; normally located internal to a Block.

Podium Parking: Parking spaces that are covered by the ground floor of a building and are completely enclosed by walls. Podium parking may occur at or below the grade of the adjacent sidewalk.

Porch: See “Front Porch”.

Primary Building: The main building on a Lot.

Primary Frontage: The Private Frontage designed to bear the address and Principal Entrance(s) of a building.

Principal Entrance: The main point(s) of access for pedestrians into a building or unit within a building.

Private Frontage: The area of a private Lot between the Facade of a building and the Public Frontage (see First Layer). To be measured from the Property Line.

Public Art: Works of art in any media that have been planned and executed with a specific intention of being sited or staged in the physical public realm usually outside and accessible to all, such as a Mural program.

Public Frontage: The area between the edge of the vehicular lanes of a Thoroughfare and the Frontage Line of private Lots and Civic Spaces.

Public Furniture: Equipment in the public right of way or publicly owned and provided for the comfort or convenience of pedestrians.

Public Infrastructure: Installations needed for the functioning of human settlements, including but not limited to transportation and communications systems, and water and power lines.

Public Lighting: A type of public infrastructure necessary for the illumination of Public Frontages and Thoroughfare intersections.

Public / Private Partnership: A development agreement entered into by the County of San Diego and the property owner or developer, in which both parties participate in the planning, financing, and construction of a development project.

Public Plaza: A type of public space that includes hardscape (paving) and is open to the public. Plazas often have buildings along at least one edge and are usually accessed from sidewalks.

R

Rain Garden: man-made or natural depression that temporarily retains stormwater that is planted with specific vegetation to filter water before it percolates back into the ground.

Rearyard: The placement of a building within the boundaries of its Lot to create a Rearyard, leaving the rear of the Lot as private space or available for dedicating parking.

Residential (Use): A use that primarily accommodates living space, and may include home occupations.

Retail (Use): Any retail business that is 20,000 square feet or less and generally serves local residents and employees. Such uses include retail stores, neighborhood retail, dining establishments, cafes, and bakeries.

Rowhouse: A single or multi-unit building that shares a party wall with another of the same

type and a Facade along 100% of the Frontage Line.

S

Senior Housing: Residential units (often apartments or condominium) that are designed for senior citizens. These units are sometimes smaller than equivalent units and parking requirements may be reduced since the demand may be lower.

Setback: An area in which buildings or other structures shall not occur.

Shared Parking: An accounting for parking spaces which are available to more than one Function.

Shared Use: Multiple Uses within the same building, consolidated vertically and/or horizontally into a single structure.

Sharrows: A symbol painted on the Travel Lane to demarcate routes to guide both cyclist and automobiles to ‘share’ the lane.

Sidewalk: A type of Walkway paved with concrete or Pavers.

Sidewalk Amenities: Items placed along the sidewalk for the use of pedestrians and to create a safer, more attractive streetscape.

Sidewalk Sign: A movable freestanding sign that is typically double-sided, placed at the entrance to a business to attract pedestrians. (Var: sandwich board, A-frame sign.)

Signage: Any commercial or public display sign that has a business or product name, logo or trademark.

Solar Reflective Index (SRI): A measure of a material’s ability to reject solar heat.

Square: A Civic Space designed for unstructured recreation and Civic purposes, circumscribed by Thoroughfares, spatially defined by building Frontages, and consisting of Paths and/or Sidewalks, lawn and trees, formally disposed.

Stoop: A platform in front of a building entrance, which may or may not be covered by a roof.

Stormwater Facility: Any facility, improvement, development, or property made for controlling storm water quantity and quality.

Story: A habitable level within a building, excluding an Attic or raised basement.

Street Tree: A canopy tree planted within the furnishing zone of the public frontage as an element of a thoroughfare assembly.

Substantial Modification: Alteration to a building, excluding the interior, that is valued at more than 50% of the market value of the entire building.

Surface Parking: Parking spaces that are not covered by a building and are not enclosed by walls. Surface parking is also known as a “parking lot”.

T

Terminated Vista: A location at the axial conclusion of a Thoroughfare. A building located at a visual termination point.

Thoroughfare: A way for use by pedestrian and vehicular traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and Public Frontage.

Townhouse: Two story residential units that are placed side-by-side to form a row of houses that face a street or Rail Trail Connection. The garage is accessed from a rear alley.

Traffic Calming: Main Street intersections should emphasize slow speeds and the management of conflicts through appropriate traffic controls and improved visibility. Such strategies include lane narrowing, on-street parking, sidewalk bulb-outs, and surface variation and textures.

Trail: A multi-purpose pathway traversing the countryside or along a corridor/thoroughfare. Trails should connect directly with the sidewalk network linking Main Street to the region.

Classifications include Class I through Class III per County Standards.

Trellis: A structure, usually made from interwoven wood or metal pieces that is attached to the roof or building wall used for shade or to support climbing plants.

Tuck-Under Parking: Parking spaces that are covered by the upper floor of a building, but are otherwise open.

V

Valance: The portion of an awning that hangs perpendicular to the Sidewalk.

Variance: A grant of relief from the requirements of this Section in deviation from the regulations and standards prescribed to permit construction that would otherwise be prohibited.

Vegetative Swale: Open and very shallow man-made depressions that filter and collect runoff to treat small quantities of stormwater.

U

Upper Floor: A floor that is above the ground floor.

W

Walkway: A pedestrian path that is similar to a sidewalk, but may not be located adjacent to a street. Walkways are often provided on private development and within public spaces.

Window Sign: A sign placed or painted on the interior of a Shopfront window or the window of a business door.

Z

Zoning Ordinance: County of San Diego Zoning Ordinance which is included within the County Municipal Code, and all subsequent chapters, articles, and sections.

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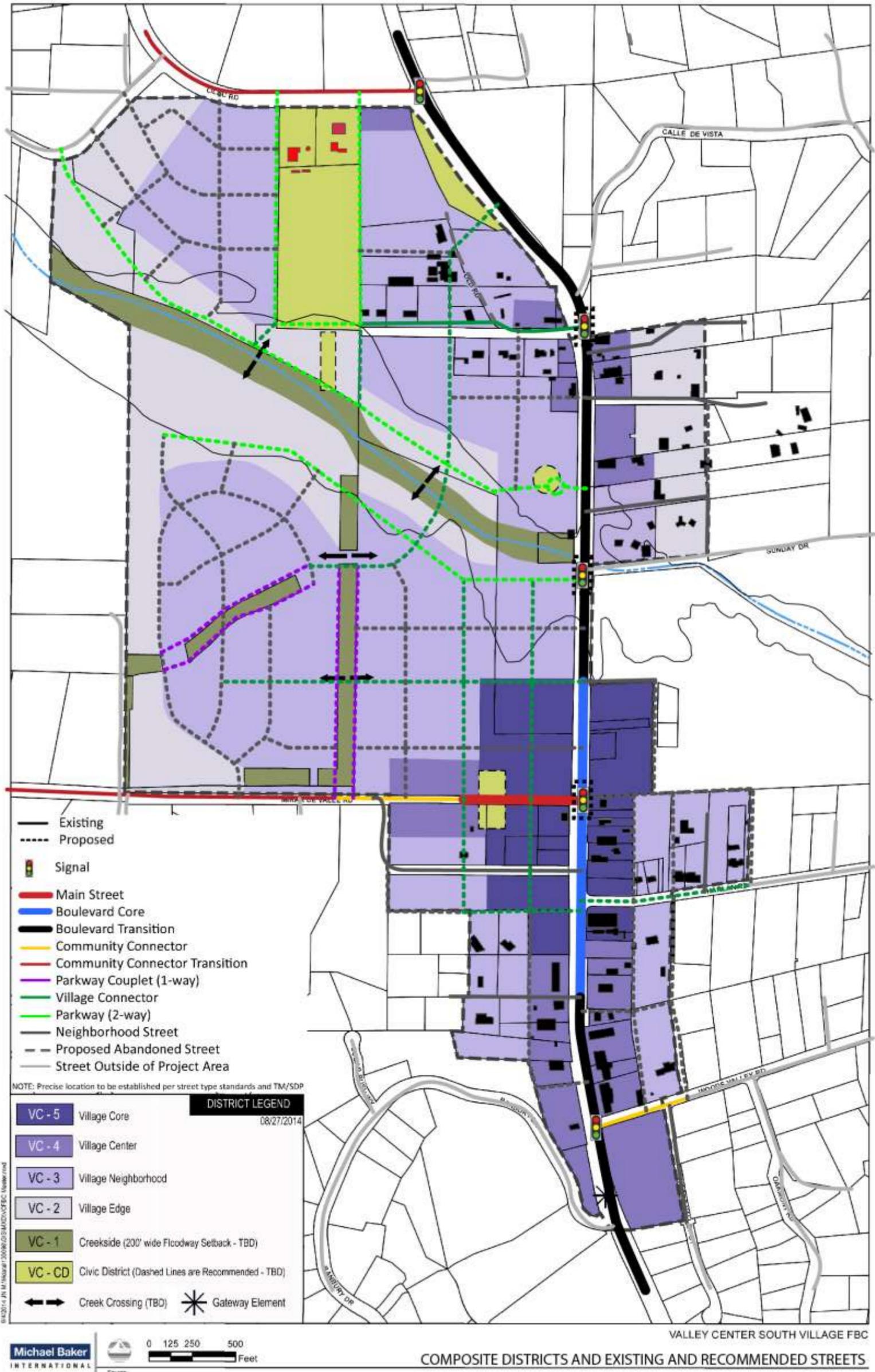
APPENDIX

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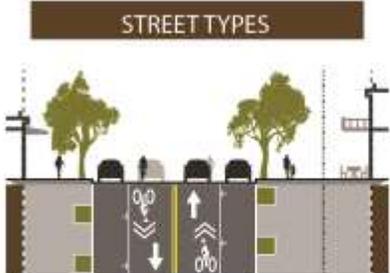
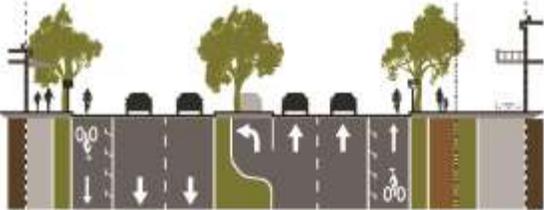
Master District Table

VILLAGE DISTRICTS	V2 - Village Edge	V3 - Village Neighborhood	V4 - Village Center	V5 – Village Core
CIVIC SPACES				
Playground	▪	▪	▪	▪
Pocket Park	▪	▪	▪	▪
Green		▪	▪	▪
Square			▪	▪
Plaza			▪	▪
Commercial Plaza			▪	▪
THOROUGHFARES				
Neighborhood	▪	▪	▪	▪
Parkway (2-way)	▪	▪		
Village Connector	▪	▪	▪	▪
Parkway Couplet (1-way)		▪		
Community Connector	▪	▪	▪	
Bldv Transition			▪	
Boulevard Core			▪	▪
Main Street				▪
BLOCK SIZE				
Block Perimeter	2,400 linear ft max	2,000 linear ft max	1,800 linear ft max	1,800 linear ft max
LOT OCCUPATION (Subdivision)				
Façade Buildout at Primary Frontage	NA	60%	70%	80% min
Lot Coverage	50% max	60% max	70% max	90% max
Width / Depth	40' min – 60' max / 100' min	35' min – 50' max / 100' min	25' min – 100' max / 100' min	25' min – 150' max / 100 min
Density Range	2 – 8 du/ac	8 – 20 du/ac	15 – 25 du/ac	15 – 35 du/ac
BUILDING TYPES (Recommended)				
Accessory Unit	▪	▪	▪	▪
Single House	▪	▪		
Duplex - Quadplex		▪	▪	
Bungalow Court		▪	▪	
Townhouse		▪	▪	▪
Live/Work			▪	▪
Stacked Flats			▪	▪
Mixed Commercial			▪	▪

PRIMARY LAND USE (General)				
Open Space	▪		▪	
Civic Space			▪	▪
Agriculture	▪			
Commercial			▪	▪
Office			▪	▪
Residential	▪	▪	▪	▪
PRINCIPLE BUILDING SETBACKS				
Primary Front	10 ft min – 25 ft max	10 ft min – 25 ft max	2 ft min - 15 ft max	0 ft min – 10 ft max
Secondary Front	12 ft min	10 ft min	2 ft min – 15 ft max	0 ft min – 10 ft max
Side	12 ft min	12 ft min	0 ft min – 24 ft max	0 ft min – 24 ft max
Rear	24 ft min	3 ft min	3 ft min	3 ft min
OUTBUILDING SETBACKS				
Front	24 ft min	40 ft max from rear	40 ft max from rear	40 ft max from rear
Side	12 ft min	0 ft of 3 ft at rear	0 ft or 3 ft at corner	0 ft or 3 ft at corner
Rear	12 ft min	3 ft min	3 ft min	3 ft min
BUILDING HEIGHT (Floors/Feet)				
Principal Building	2 max / 35 ft max	2 max / 35 ft max	2 max / 35 ft max	3 max / 45 ft max
Outbuilding	2 max / 25 ft max	2 max / 25 ft max	2 max / 25 ft max	2 max / 25 ft max
ENCROACHMENTS				
In Front Setback				
Open Porch	not permitted	50% max	not permitted	not permitted
Balcony	not permitted	25% max	100% max	100% max
Stoop / Terrace	not permitted	not permitted	100% max	100% max
In Public Sidewalk				
Awning / Gallery	not permitted	not permitted	80% max	100% max
Depths / Heights				
Porch	8 ft min	8 ft min	not permitted	not permitted
Awning	not permitted	not permitted	10 ft min	10 ft min
Gallery	not permitted	not permitted	not permitted	12 ft min
PARKING/STORAGE LOCATION				
2 nd Layer	▪			
3 rd Layer	▪	▪	▪	▪



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STREET TYPES	DISTRICTS					
	VC-5 Village Core	VC-4 Village Center	VC-3 Village Neighborhood	VC-2 Village Edge	VC-1 Creekside	CD Civic District
 <p>Main Street</p>	✓					
 <p>Boulevard Core (Valley Center Road only)</p>	✓					
 <p>Boulevard Transition (Valley Center Road only)</p>		✓	✓			
 <p>Community Core</p>		✓	✓			
 <p>Community Transition</p>			✓	✓		

DISTRICTS						STREET TYPES	
VC-5 Village Core	VC-4 Village Center	VC-3 Village Neighborhood	VC-2 Village Edge	VC-1 Creekside	CD Civic District		
		✓			✓	<p>Parkway 1-Way</p>	
✓		✓				<p>Village Connector</p>	
			✓		✓	<p>Parkway 2-Way</p>	
	✓	✓				<p>Neighborhood</p>	

Conceptual Plant Palette — Trees

Trees		Deciduous	Evergreen	Street Tree	Canopy Tree	Accent Tree	CA Native	Water Use*	Notes
<i>Aesculus californica</i>	California Buckeye	*			*	*	*	L	Low-branching or multi-trunk form, Dense shady foliage, White clustered flowers
<i>Callistemon viminalis</i>	Weeping Bottlebrush		*	*		*		L	Medium loose canopy form, Weeping branchlets and foliage, Deep Red brush-like flowers
<i>Caiodendrum capense</i>	Cape Chestnut	*		*	*	*		M	Medium to large canopy form, Briefly deciduous foliage, Showy Lavender/Rose flowers
<i>Ceratonia siliqua</i>	Carob		*	*	*			L	Medium canopy form, Dense shady foliage, Flowers inconspicuous, may be absent
<i>Cercis occidentalis</i>	Western Redbud	*				*	*	L	Small stature, low-branching form, Early blooming, Pink flowers.
<i>Chilopsis linearis</i>	Desert Willow	*		*		*	*	L	Medium canopy form, Showy Lavender/Rose/White flowers
<i>Chorisia speciosa</i>	Floss Silk Tree	*			*	*		L	Large, distinctive form, showy pink flowers
<i>Erythrina cristo-galli</i>	Cockspur Coral Tree	*		*	*	*		L	Medium stature, Long-blooming, Fiery Red clustered flowers
<i>Gleditsia triacanthos</i>	Honey Locust	*		*	*			L	Medium canopy form, Lacy looking foliage, Flowers inconspicuous, may be absent
<i>Laurus nobilis</i>	Sweet Bay		*				*	L	Compact, erect, low-branching or multi-trunk form, Dense, deep green leathery foliage, Flowers green/white/yellow and inconspicuous
<i>Olea europea</i>	Olive		*		*			L	Rounded, low-branching or multi-trunk form Grey-green foliage, Flowers inconspicuous, Non-fruiting varieties available
<i>Pinus halepensis</i>	Aleppo Pine		*		*			L	Large, rounded form, Grey-green needles, cones can create litter
<i>Platanus acerifolia</i>	London Plane Tree	*		*	*			L	Large, canopy, Dense shade cover, dry fruits can create litter
<i>Prosopis glandulosa var.</i>	Mesquite	*		*	*	*	*	L	Medium stature canopy or multi-trunk form, Lacy-looking foliage, Yellow flowers
<i>Quercus ilex</i>	Holly Oak		*		*		*	L	Rounded canopy form, Dense shady foliage, Dry fruit can create litter
<i>Ulmus pumila</i>	Siberian Elm	*			*			L	Large, loose canopy form, Flowers inconspicuous
<i>X Chitalpa tashkentensis</i>	Chitalpa	*		*	*	*		L	Intergenicetic cross, Medium canopy form, Showy pink/Lavender flowers. Flowers and wet fruit can create litter

* Water Use per WUCOLS III, 2000

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