

Cielo del Norte Specific Plan General Plan Amendment Report



County of San Diego
June 2003

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CIELO DEL NORTE SPECIFIC PLAN
GENERAL PLAN AMENDMENT REPORT

SP 99 – 001
GPA 01-02

Prepared For:

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June 2003

CERTIFICATE OF ADOPTION

I hereby certify that this plan consisting of this text, exhibits, and appendices, is the Cielo del Norte Specific Plan (SP 99-001) and that it was adopted by the San Diego County Board of Supervisors on the 3rd day of December, 2003.

Attest: _____



Gary L. Pryor, Director, Department of Planning and Land Use

Chapter 1

Introduction

1.1 OVERVIEW

Cielo del Norte Specific Plan (SP 99-001) consists of goals, policies, and guidelines for preservation and development of the proposed 482-acre Specific Plan Area (SPA). The Specific Plan text and map sets forth a comprehensive planning framework for development of a residential community, which includes 154 dwelling units, and a 311-acre open space preserve. The intent of the Specific Plan is to allow compatible development of the SPA with the existing and planned land uses of the surrounding communities, while preserving significant environmental resources within and adjacent to the SPA.

The Specific Plan implements the goals and objectives of the *San Diego County General Plan*, *San Dieguito Community Plan*, and Natural Communities Conservation Program (NCCP). The Specific Plan Elements and associated policies contain detailed standards to balance the need for protection, conservation, and enhancement of existing environmental resources within the proposed open space area and, allow for compatible residential development, needed infrastructure and community support facilities. Cielo del Norte Specific Plan also provides for a detailed phasing strategy that requires all local and regional improvements, public and private facilities and services to be available concurrent with new development in the SPA.

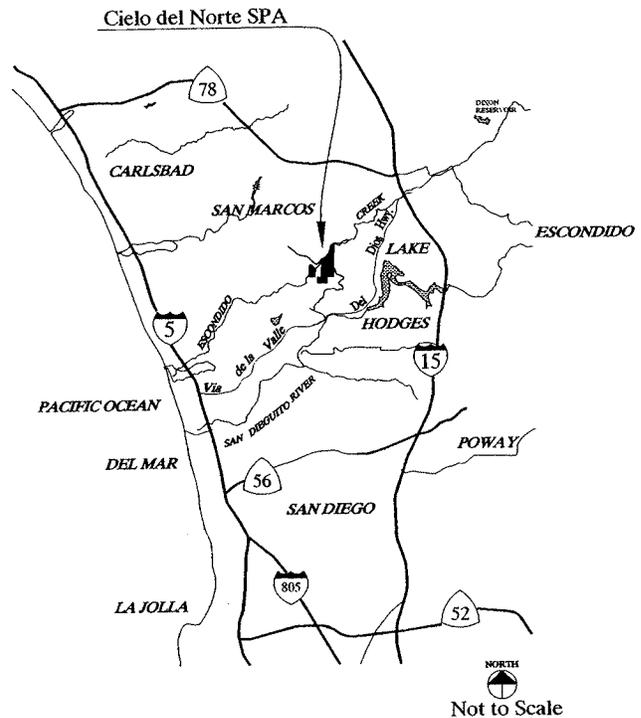


Figure 1-1: Regional Location Map

1.2 REGIONAL SETTING

The SPA is located in the northern San Diego County, approximately 6 miles west of Interstate 15, and 8 miles east of Interstate 5. This SPA is west of City of Escondido and south of City of San Marcos north of Del Dios Highway and San Dieguito river valley, within the Escondido Creek watershed (Figure 1-1, Regional Location Map).

1.3 PLANNING CONTEXT

The *San Diego County General Plan* and *San Dieguito Community Plan* designate the 447-acre project area with multiple General Plan Land Use Categories: (17) Estate Residential, (18) Multiple Rural Use, (21) Specific Planning Area, and (24)

Sensitive Impact. The *Rancho Cielo Specific Plan*, which was adopted by the County of San Diego Board of Supervisors in 1985, provides additional development standards for a portion of this area.

As part of this project, the San Dieguito Community Plan and Rancho Cielo Specific Plan are proposed to be amended (GPA 01-02 and SPA 00-003) to designate the entire project site as (21) Specific Planning Area consistent with the current level of planned residential land use density allocation. The intent of the Cielo del Norte (21) Specific Plan Area land use designation is to allow for land use planning flexibility in the context of a comprehensive Specific Plan text and map for this area. The Specific Plan provides for a coordinated development and preservation strategy to protect the existing significant natural and visual resources and allow for feasible development of a compatible residential community (Figure 1-2, Subregional Context Map).

1.4 POLICY FRAMEWORK

The San Diego County General Plan, Regional Land Use Element, San Dieguito Community Plan, and NCCP goals and objectives provide an overall policy framework for the Cielo del Norte SPA. The Specific Plan's Chapter 9, General Plan Conformance, provides detailed analysis regarding the consistency of the Cielo del Norte Specific Plan with the aforementioned goals and objectives. The following sections describe relevant County of San Diego plans, policies, programs, and Ordinances affecting the Cielo del Norte SPA, establishing the basis of the specific planning process for the development of the Cielo del Norte Specific Plan text and map.

Regional Land Use Element

The *Regional Land Use Element* of the County's General Plan defines a Specific Plan Area (SPA) as an area designated on the map of a Community Plan, which requires more detailed planning prior to development. Land within this designation typically has environmental constraints or unique land use concerns, which requires special land use and/or design controls. Community or Subregional Plans implement the SPA designation by identifying those areas that must have a Specific Plan adopted prior to further subdivision of any lands designated as (21) Specific Plan Area.

The Cielo Norte SPA is also designated as both Estate Development Area (EDA) and Environmental Constraint Area (ECA) on the Regional Land Use Element Map. Lands with the EDA regional category designation are intended for low-density residential and agricultural land uses. Lands with the ECA regional category designation include floodplains, lagoons, environmentally sensitive lands, and areas with agricultural preserves or natural resource deposits. These areas are generally planned for open space, very low density residential, and recreational land uses.

San Dieguito Community Plan

The San Dieguito Community Plan's overall residential goal calls for enhancing the living environment while accommodating gradual residential development that harmonizes with the natural environment. Consistent with this goal the Community Plan is proposed to be amended to allow for development of a comprehensive Specific Plan for

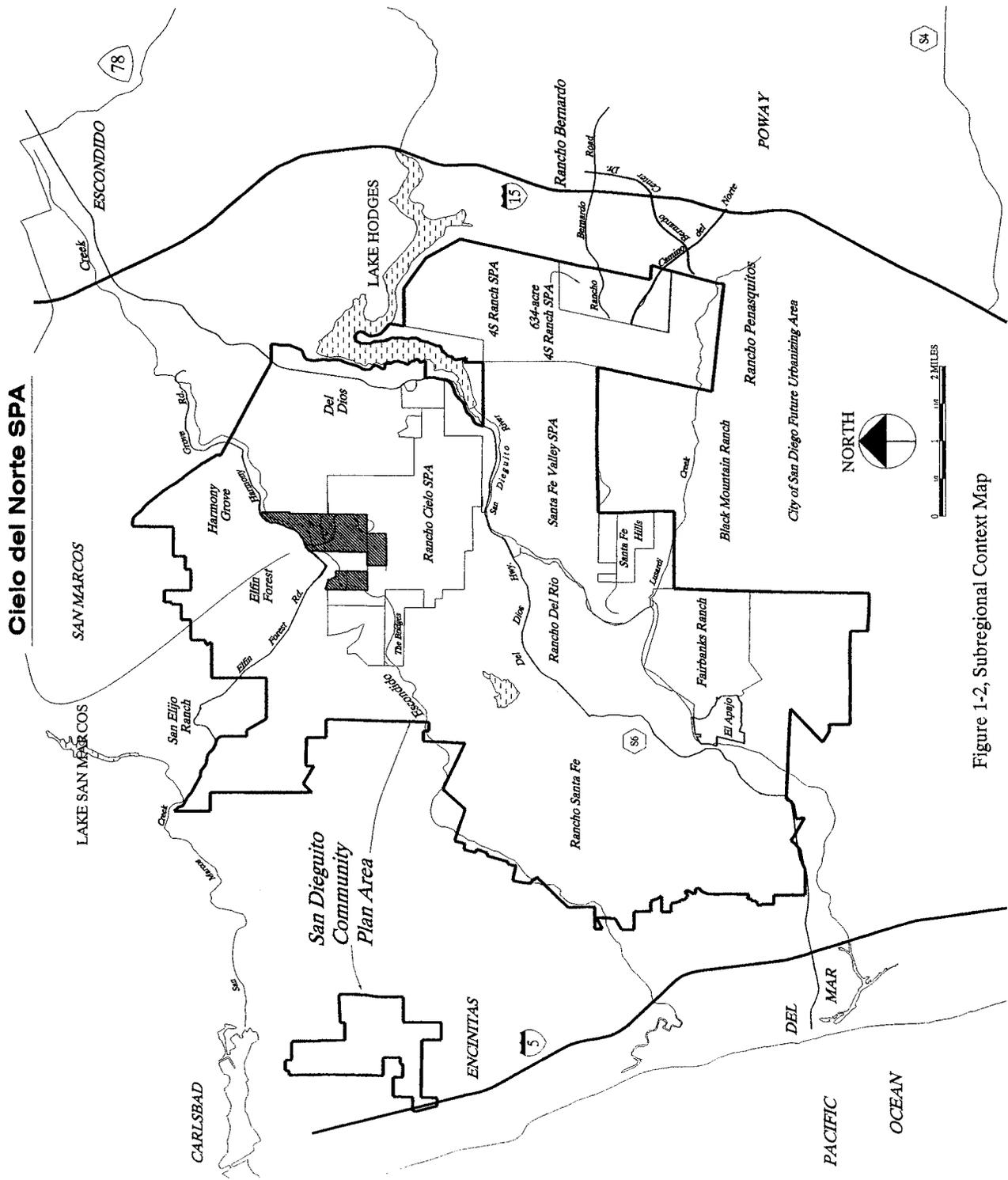


Figure 1-2, Subregional Context Map

Cielo del Norte by designating this area as (21) Specific Planning Area (Chapter 9, General Plan Conformance).

Specific objectives, policies, and recommendations relative to the development and conservation of land within the proposed SPA are an essential part of the proposed Community Plan amendment to establish the (21) SPA designation for Cielo del Norte. These policies and objectives are discussed in various chapters of the Specific Plan, guiding the overall development of this SPA consistent with various elements of San Diego County General Plan and the San Dieguito Community Plan.

Currently the San Dieguito Community Plan designates the majority of Cielo del Norte as (17) Estate Residential, with some (18) Multiple Rural Use, (21) Specific Planning Area (which is a portion of the approved Rancho Cielo Specific Plan), and (24) Impact Sensitive Area along Escondido Creek (Figure 1-3, Existing & Proposed General Plan Land Use Designations).

Other Relevant Ordinances & Policies

There are a number of other ongoing plans, land use policies, upcoming programs, and adopted ordinance that establish guidelines for the development and preservation of land within the SPA. These ordinances and policies include, but are not limited to the following:

Subdivision Ordinance: Pursuant to State of California's Subdivision Map Act, the County's Subdivision Ordinance regulates the subdivision of land. The ordinance addresses design, standards,

improvements, etc. of proposed subdivisions within the County.

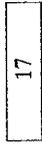
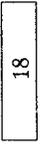
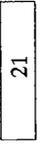
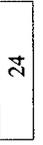
The Zoning Ordinance: The San Diego County Zoning Ordinance provides regulatory provisions. These provisions apply to all areas of the Cielo Norte SPA and regulate buildings or structures and the construction, reconstruction, alteration, expansion, or relocation of any building, structure or use in the SPA.

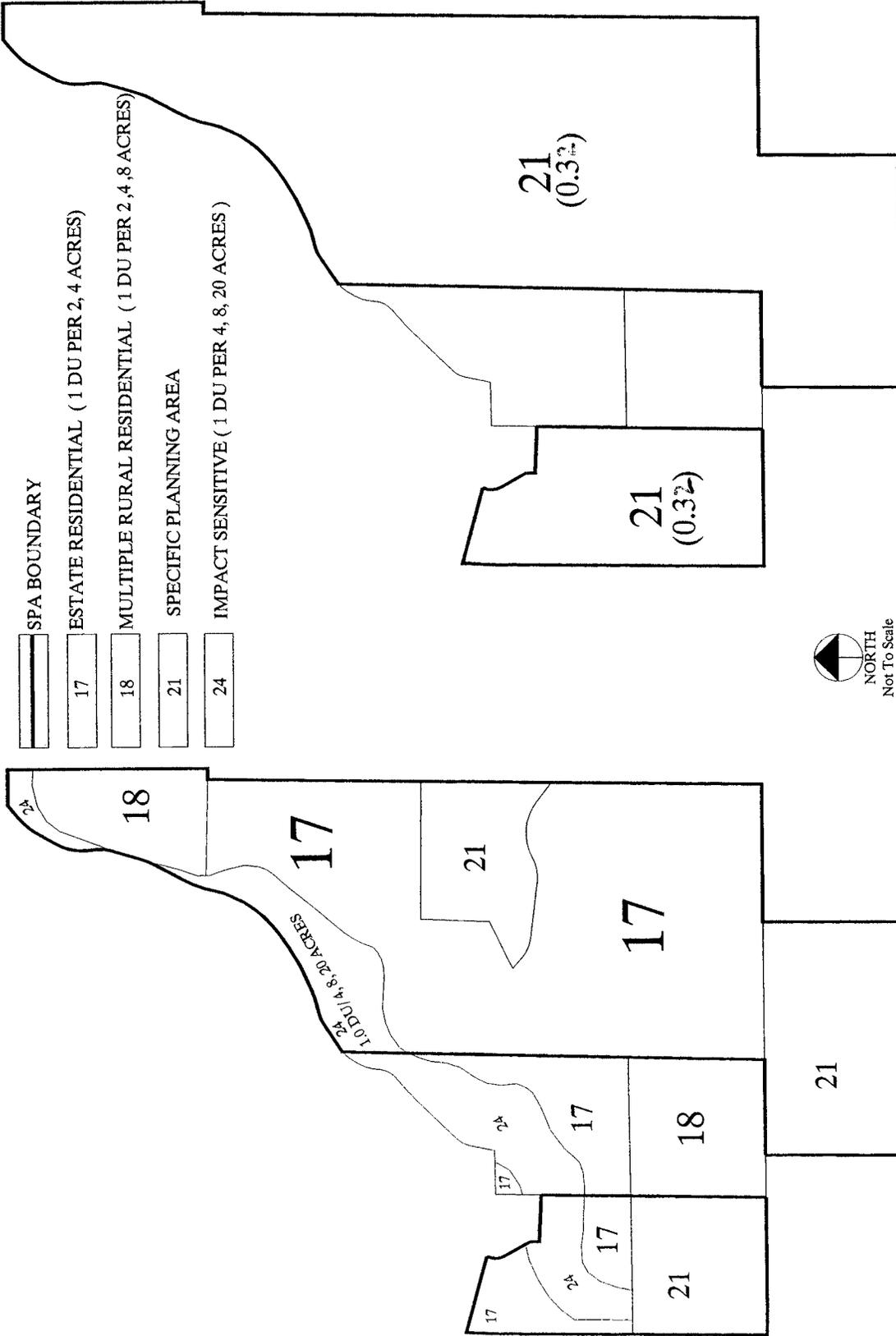
Resource Protection Ordinance (RPO): The RPO contains detailed development standards and thresholds for protection of sensitive environmental resources including floodplains, wetlands, and biologically/visually significant areas. The RPO requires certain discretionary projects to undergo a specific review to ensure protection of these resources through dedication of open space lands.

Hillside Development Policy: This Board of Supervisors policy (I-73) establishes hillside development standards to protect the visual qualities of significant hillsides and ridges.

Dark Skies Ordinance: This ordinance is intended to reduce the potential adverse effects on astronomical research at the Mt. Palomar and Mt. Laguna observatories. The Dark Skies Ordinance identified areas within 15 miles of either observatory as within Zone A and areas outside the 15-mile radius but within the unincorporated portion of the County of San Diego as within Zone B. The closest observatory to the SPA is the Mt. Palomar facility, which is approximately 30 miles from the site.

LEGEND

-  SPA BOUNDARY
-  ESTATE RESIDENTIAL (1 DU PER 2, 4 ACRES)
-  MULTIPLE RURAL RESIDENTIAL (1 DU PER 2, 4, 8 ACRES)
-  SPECIFIC PLANNING AREA
-  IMPACT SENSITIVE (1 DU PER 4, 8, 20 ACRES)



**CIELO DEL NORTE
EXISTING GENERAL PLAN LAND USE
DESIGNATIONS**

**CIELO DEL NORTE
PROPOSED GENERAL PLAN LAND
USE DESIGNATION**

Figure 1-3, Existing & Proposed General Plan Land Use Designations

Board of Supervisors Policy I-116: Establishes criteria and guidelines for acquisition, dedication, development, operation, and maintenance of non-motorized trails and pathways.

Natural Communities Conservation Planning Act: The State of California's NCCP pilot program is an unprecedented cooperative effort to protect habitats and species. The program, which began in 1991 under the State's Natural Communities Conservation Planning (NCCP) Act, is broader in its orientation and objectives than the California and the Federal Endangered Species Act. These laws are designed to identify and protect individual species that have already declined in number significantly. The primary objective of the NCCP program is to conserve natural communities and accommodate compatible land use. The program seeks to anticipate and prevent the controversies and gridlock caused by species' listings by focusing on the long-term stability of wildlife and plant communities and including key interests in the process.

The focus of the pilot program is the coastal sage scrub habitat of Southern California, home to the California gnatcatcher and approximately 100 other potentially threatened or endangered species. This much-fragmented habitat is scattered over more than 6,000 square miles and encompasses large parts of three counties of Orange, San Diego, and Riverside counties as well as smaller portions of Los Angeles and San Bernardino counties. Fifty-nine (59) local government jurisdictions, scores of landowners from across these counties, federal wildlife authorities, and the environmental community are actively participating in the program.

The southern coastal sage scrub NCCP region is organized into 11 planning "Subregions". For planning purposes, some of the Subregions are organized into "Subareas" that correspond to the geographic boundaries of participating jurisdictions or landowners. In each subregion and subarea, a local lead agency coordinates the collaborative planning process. Working with landowners, environmental organizations, and other interested parties, the local agency oversees the numerous activities that compose the development of a conservation plan. The Department of Fish and Game and the U.S. Fish and Wildlife Service provide the necessary support, direction, and guidance to NCCP participants in these functions.

1.5 PROJECT DESCRIPTION

Project Goal

The overall project goal for the Cielo del Norte Specific Plan is to provide a comprehensive Specific Plan text and map that includes policies and programs for development of 154 single family residential dwelling units, 3 private parks, 4 miles of public trails, associated community facilities and infrastructure, as well as permanent preservation of 311 acres of open space land within the 482-acre SPA. The specific plan also contains goals and policies to ensure that the proposed land uses are compatible with the character of adjacent existing, developing, and planned residential communities and in conformance with the adopted and ongoing regional open space preservation plans, programs and standards (Figure 1-4, Cielo del Norte Specific Plan Map).

Project Objectives

The project objectives are summarized as follows:

- Provide for preservation of significant environmental and visual resources by conserving sensitive habitats, 100-year floodways/floodplains, significant ridgelines, and regional and subregional wildlife corridors.
 - Allow for economically viable development consistent with the goals, policies and standards of the San Diego County General Plan and current level of land use density allocation as identified by the San Diego Community Plan.
 - Establish land use compatibility with the existing and planned residential communities through cohesive land use/open space planning, comprehensive site planning and design guidelines.
 - Require permanent preservation and maintenance of natural open space areas, while allowing public recreational opportunities.
 - Coordinate implementation of regional water improvement projects through planning and engineering coordination with County Water Authority.
 - Support public safety and services by providing necessary public and private facilities, services, and infrastructure.
- Require new development in the SPA to ensure availability of public and private facilities and services concurrent with need.

Chapter 2

Project Setting

2.1 LOCATION

Cielo del Norte SPA is in the vicinity of the intersection of Harmony Grove Road and Elfin Forest Road, North of Del Dios Highway. The Cielo del Norte SPA is immediately adjacent to Rancho Cielo SPA to the south and east, Escondido Creek and Harmony Grove Road to the north and west. Partially completed Via Ambiente road traverses through Rancho Cielo SPA and the project site over the Escondido Creek, connecting Harmony Grove Road and Del Dios Highway.

Several existing and planned residential communities surround Cielo del Norte SPA, these include the developing estate residential and semi-rural communities of Elfin Forest and Harmony Grove to the northwest; partially developed communities of Rancho Cielo and Santa Fe Valley to the south and southeast along the San Dieguito River Valley and Del Dios Highway. The historic community of Rancho Santa Fe is located further west of the SPA with a range of housing types including large estate lots of 2 and 4 acres as well as clustered smaller residences closer to the Rancho Santa Fe Village. These communities are within the unincorporated San Diego County and a part of the San Dieguito Community Plan Area. Further northwest of the SPA, San Elijo Ranch within the City of San Marcos, is currently under construction. (Figure 1-2, Subregional Context Map).

2.2 PHYSICAL FEATURES

Cielo del Norte SPA is characterized by diverse topography with elevation ranging 315' to 850' above mean sea level. The SPA contains a variety of vegetation types and habitats supporting a wide range of sensitive plants and animals. The SPA includes ridges, valleys, streams and floodplains associated with the Escondido Creek, which flows east to west from its source in City of Escondido to the Pacific Ocean. The southern portion of the SPA also contains a portion of Misha Creek, which flows east to west from Mount Israel to its confluence with Escondido Creek, southwest of Cielo del Norte (Figure 2-1 Physical Features Map).

2.3 SPECIFIC PLAN SUBAREAS

For specific planning purposes, the SPA is described through several planning districts or subareas. The specific plan subareas (I-VI) are utilized to provide specific criteria and standards for planned open space preservation, development of residential neighborhoods, and facilities improvement. These subareas define distinct residential neighborhoods, consistent with the diverse geography of the SPA and proposed residential density allocations. Chapter 8 (Development Program) provides detail development standards for individual subareas of the specific plan, where certain improvements must be completed prior to implementation of allocated land use. Figure 2-2, SPA Subareas and Existing Parcels Map, depicts the location of the subareas and existing parcels. The SPA is currently comprised of 8 existing parcels ranging in size from 9 to 241 acres.

2.4 EXISTING LAND USES

Specific Plan Area

Currently, almost the entire 482-acre Cielo del Norte SPA is undeveloped. Existing developments in the SPA consist of the recently constructed Via Ambiente road and bridge by Olivenhain Municipal Water District (OMWD) and ongoing dam and pipeline construction by San Diego County Water Authority. These improvements are related to regional Emergency Water Storage Project. The City of Escondido's Sewer Outfall pipeline also traverses the western portion of the SPA. This pipeline conveys reclaimed water from City of Escondido's Hale Avenue sewer treatment plant to the Pacific Ocean.

Surrounding Areas

The predominant land uses surrounding the SPA are characterized as planned and developed estate residential communities and open space. Existing land uses to the east and south of the SPA consist of open space preserves and clustered estate lots in the Rancho Cielo SPA. The initial phases of this project have been completed and future phases of this planned community are under construction. This SPA currently includes 690 estate residential dwelling units, 42 clustered single-family dwelling units, 38 planned development residential units and a 6.5-acre neighborhood commercial center. Residential land uses within the Elfin Forest and Harmony Grove communities west and north of the SPA include, semi-rural and estate residential development with an equestrian and private open space orientation. Further south of the SPA, south of Del Dios Highway, the Santa Fe Valley Specific Plan

allows for 1,200 single-family dwelling units with a range of densities from attached to estate residential lots, two golf courses, resort hotel, and a small commercial center. The Bridges project is also further southwest of the SPA. This developing project includes golf oriented residential land use.

Project Design

The Specific Plan is designed to accommodate a maximum of 154 dwelling units with an overall density of 0.32-dwelling units per acre. The Specific Plan designates 2 private play parks and a private memorial park with a total of 1.56 acres, and 2 sewage pump stations with a total of 0.12 acres. Approximately 311 acres within the SPA are designated as permanent open space to be a part of the regional open space preserve and corridor system. Access to the SPA is provided from two primary and two secondary locations. Both of the primary entrances are designated as gated entrances onto private roads; one from Del Dios Highway and Calle Ambiente, and the other from Harmony Grove Road (Figure 1-4, Specific Plan Map). Specific Plan Chapters 3-7: Conservation and Open Space; Land Use; Circulation; Public Facilities; and Community Design address policy issues. Each element contains a description of existing conditions, the intent and/or effect of the Specific Plan, and the goals, objectives, and policies that implement the element. Chapter 8: Development Program identifies required permits, and improvement phasing. Chapter 9: General Plan Conformance of the Specific Plan includes the required General Plan Amendment Report, describing the consistency of the Specific Plan with all elements of San Diego County General Plan including the San Dieguito Community Plan.

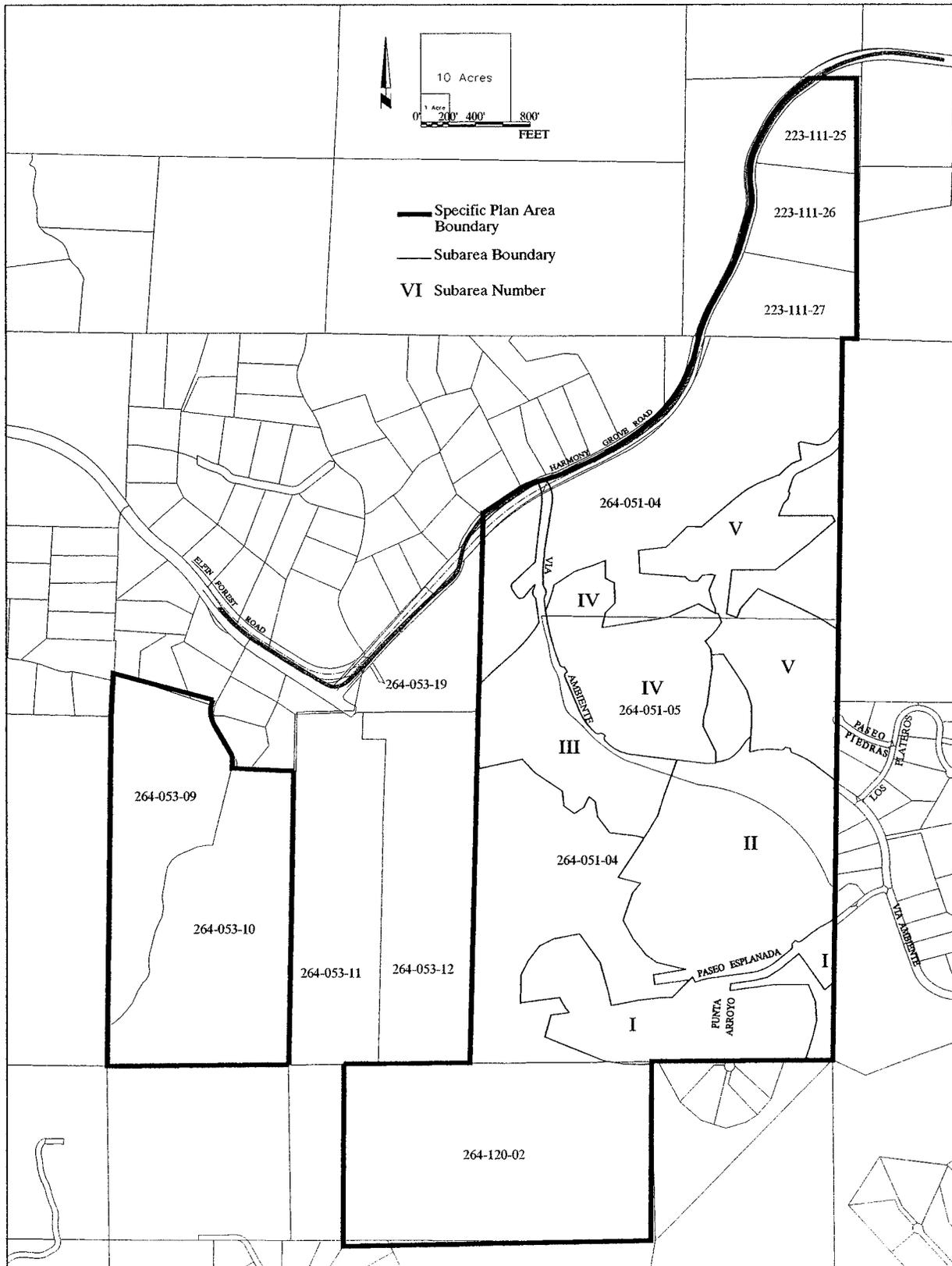


Figure 2-2: SPA Subareas & Existing Parcels Map

Chapter 3

Conservation & Open Space Element

3.1 EXISTING CONDITIONS

The Specific Plan has been formulated as a “resource based” plan, by developing a comprehensive environmental inventory of Cielo del Norte SPA at the initial stages of the specific planning effort. This inventory indicated the existence of significant biological and visual resources including sensitive habitats, endangered species, rare plants, flood prone areas and steep slopes within the SPA. The existing significant environmental resources in the SPA are summarized below:

Biological Resources

Cielo del Norte SPA contains eleven (11) habitat types predominantly coastal sage scrub and southern mixed chaparral, with smaller portions of eucalyptus woodland, coast live oak woodland, coast live oak riparian forest, meadow, southern willow scrub, valley needle grassland, disturbed wetland, open water, and an unvegetated channel. The detailed descriptions and distribution of these habitat types are presented in the Biological Resources Map of Biological Technical Report, an appendix to the Cielo del Norte Environmental Impact Report (EIR), available at the County of San Diego, Department of Planning and Land Use (DPLU).

Contiguous Open Space Resources

The sensitive lands in Cielo del Norte SPA are an integral component of several open space and wildlife corridors in the region. The State of California in cooperation with County of San Diego and incorporated cities, is attempting to protect critical habitats as part of the Natural Communities Conservation Planning (NCCP). This program intends to identify and protect a series of viable regional habitat preserves and connecting corridors to ensure long-term viability of endangered and threatened species and their habitat.

North of the San Dieguito River valley and along Escondido Creek watershed large undeveloped and relatively undisturbed wildlife corridors extend into the cities of Encinitas, Carlsbad and San Marcos. The SPA is located within this important habitat linkage. Regional wildlife corridors are necessary to maintain demographic and genetic exchange among wildlife populations residing in this region. The Escondido Creek and Misha Creek are significant wildlife corridors for species such as mule deer, mountain lion, bobcat, and California Gnatcatcher.

Since Cielo del Norte SPA is not currently within an adopted habitat protection program or plan, it is essential for the Specific Plan to protect key habitat areas within the SPA. This objective not only maintains future regional planning options, but also establishes the proposed open space preserve within the SPA as a critical building block for the preparation of upcoming regional habitat protection plans in the sub region. Therefore, during the specific planning process, Federal, State, and County

resources agencies were actively consulted to address regional habitat protection issues. Pursuant to several iterations of the Specific Plan agreements on location and extent of the proposed open space preserve within the SPA has been reached.

Cultural Resources

The entire Cielo del Norte SPA was surveyed for the presence of cultural (archeological) resources; a total of 10 sites have been identified within the SPA. According to the cultural and archeological report for this project none of the sites are significant and do not require additional testing or treatment. These sites include 6 previously recorded sites and 4 newly recorded sites. All of the newly recorded sites occur in areas where there are no soil accumulation or possibility of subsurface deposits. The two most likely sites to have subsurface components were previously tested and found not to be significant. The detailed finding of the survey is presented as one of the appendices to the Specific Plan EIR and is available for review in the County DPLU.

Visual Resources

The Escondido Creek valley is a unique visual resource that extends into the SPA. Also, the existing ridgelines within the SPA are visually significant, as viewed from the surrounding communities of Elfin Forest, Harmony Grove, and Rancho Cielo. Furthermore, the San Dieguito Community Plan includes a policy addressing scenic highways, such that land within the scenic viewshed of a Circulation Element road shall be subject to the standards and criteria of the “S” Scenic Area Regulation

Designator. The County has designated Del Dios Highway as Priority Two in the Scenic Highway Element of the General Plan to be designated as a scenic highway. However, this highway is not within the SPA and the SPA is not visible from this scenic highway. Although, Harmony Grove Road is not designated as a scenic highway, viewsheds from this road along Escondido Creek valley are considered visually significant.

As part of the preparation of the Specific Plan, a visual survey of the SPA was conducted and visually sensitive areas were identified as a significant resource. The visually significant areas were considered as part of the overall project design and the Community Design Element of the Specific Plan proposes additional review of development within these areas. One of the visually significant areas in the SPA is a prominent ridge that is located in the southern portions of the SPA. This ridge is proposed to be preserved as permanent open space, serving both biological and visual goals of the Specific Plan.

100-Year Floodplain

The County of San Diego Department of Public Works (DPW) Flood Control Division has delineated the 100-year floodplain and floodway for the Escondido Creek. The County has adopted two ordinances that address development/land use in floodplains. The Flood Damage Prevention Ordinance and the Resource Protection Ordinance. In addition, the Federal Emergency Management Agency (FEMA) has mapped a floodplain for Escondido Creek to which FEMA regulations apply. Moreover, as part of the recently constructed bridge

over the Escondido Creek by OMWD a comprehensive HEC-2 flood analysis has been conducted. To protect the public health, safety and welfare, the 100-year floodplain/floodway information has been closely reviewed and incorporated within the project design criteria. Although a Preliminary Drainage Study has been prepared as part of the proposed project, the Specific Plan requires additional drainage analysis to be conducted as part of the implementing permit review. The Flood Damage Prevention Ordinance and FEMA regulations will be used to regulate land use in flood prone areas. However, based on the Specific Plan Land Use Element residential development is not permitted within floodway or flood prone areas of the SPA.

Resource Conservation Areas

The Conservation Element of the County's General Plan identifies environmentally sensitive areas as Resource Conservation Areas (RCAs). A biological RCA designation is applied to an area, which supports sensitive biological resources such as sensitive habitats, plants, and animal species. A portion of RCAs No. 52 and 53 (Escondido Creek and Harmony Grove RCAs) exists within the SPA. According to the Conservation Element this area includes riparian and oak woodlands in a canyon bottom, surrounding mixed chaparral for wildlife habitat and unusually large populations of rare coast white lilac, any proposed development within or near a RCA is required to undergo additional review in consideration of the specific resources in the RCA. The RCAs within the SPA are proposed to be protected by including these areas within the proposed open space preserve.

Steep Slopes

Resource Protection Ordinance (RPO) defines Steep slopes as those areas with slopes 25% and greater, which have a minimum rise of 50 feet within the project area. These slopes are often associated with high quality biological and visual resources. These lands can also be subject to landslides and wildfire hazards and are difficult to serve with infrastructure and public services. As part of the initial resource inventory stage of the Specific Plan process a percentage slope map was prepared, identifying various slope categories in the SPA. The slope map was used extensively to determine suitable development locations, by minimizing development encroachment into the steep slopes and preserving significant slopes.

Approximately, 95% of all steep slopes (as defined by RPO) within the SPA are within the open space land use category to be preserved. However, based on the significance of certain biological corridors in the SPA, the proposed development area encroaches on approximately 5% of RPO defined, steep slope lands within the SPA. As part of the Community Design Element of the Specific Plan, any development in visually significant areas and/or steep slope lands as identified by the Resource Protection Ordinance of San Diego County are proposed to be further reviewed. This is to be accomplished through a Site Plan submittal and permitting process prior to development in these areas. The location and content of the Site Plan review process is further discussed in the Community Design Element (Chapter 7) and Development Program (Chapter 8) of the Specific Plan.

3.2 CONSERVATION & OPEN SPACE PLAN

In order to create an environmentally viable Specific Plan, the initial stages of the Specific Plan development involved an intensive and comprehensive environmental survey. As discussed above the various environmental resources such as biological, wildlife corridors, visual, floodplains and steep slopes were mapped and incorporated in the project design. As part of the implementation of the Specific Plan, permanent protection of a large portion of significant environmental resources, approximately 311.7 acres or 65% of the SPA will be preserved. The proposed open space area within Cielo del Norte SPA consists of approximately 65 acres of planned open space, which is currently part of the adopted Rancho Cielo Specific Plan.

The Specific Plan identifies an open space network within Cielo del Norte to be established through dedication of open space easements and/or dedication of land to the County or a conservator agency through the discretionary permit process. The provision of the open space network is consistent with the goals and objectives of the General Plan, including the Regional Land Use Element, the Open Space Element, the Recreation Element, the Conservation Element, and the San Dieguito Community Plan. The location and extent of the open space areas is also based on the goals and objectives of the regional open space planning efforts as well as the Escondido Creek Conservancy goals and objectives for permanent protection of Escondido Creek.

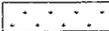
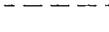
Figure 3-1, Conservation and Open Space Plan, identifies the proposed open space preserve within the SPA. The Open Space category identifies environmentally sensitive lands designated for permanent open space protection. Open space easements are required by the Specific Plan to preserve these areas permanently as part of a regional open space corridor and habitat preserve system. The ownership of the proposed open space preserve is also required to be transferred to a habitat management agency, with the exception of privately owned lands that contain conservation easements. The private open space conservation easements are to be dedicated to the County of San Diego and California Department of Fish and Game.

The preserved open space area is consistent with the goals and objectives of the NCCP, qualifying the Specific Plan for permitting authority under the 4(d) rule under the NCCP. The Open Space areas are not to be disturbed by any uses except as identified on the Specific Plan such as a vehicular river crossing, trails and essential public facilities. All fire protection related brush management zones are excluded from the open space calculations.

Habitat Management

The Specific Plan policies require dedication of all planned open space to a habitat management agency acceptable to the County, State, and Federal wildlife agencies. These policies require the preparation of a Habitat Management Plan to address ongoing management and maintenance of the preserved open space consistent with County requirements.

Legend:

-  Open Space = ± 311.7 acres
-  Recreational Open Space
Private park for passive and active recreational uses; three areas:
P1=0.48 Ac., P2=0.48 Ac., P3=0.60 Ac.,
Total Acreage: 1.56.
-  Specific Plan Area Boundary
-  Subarea Boundary
-  River and Streams
-  Trail
-  Emergency Access

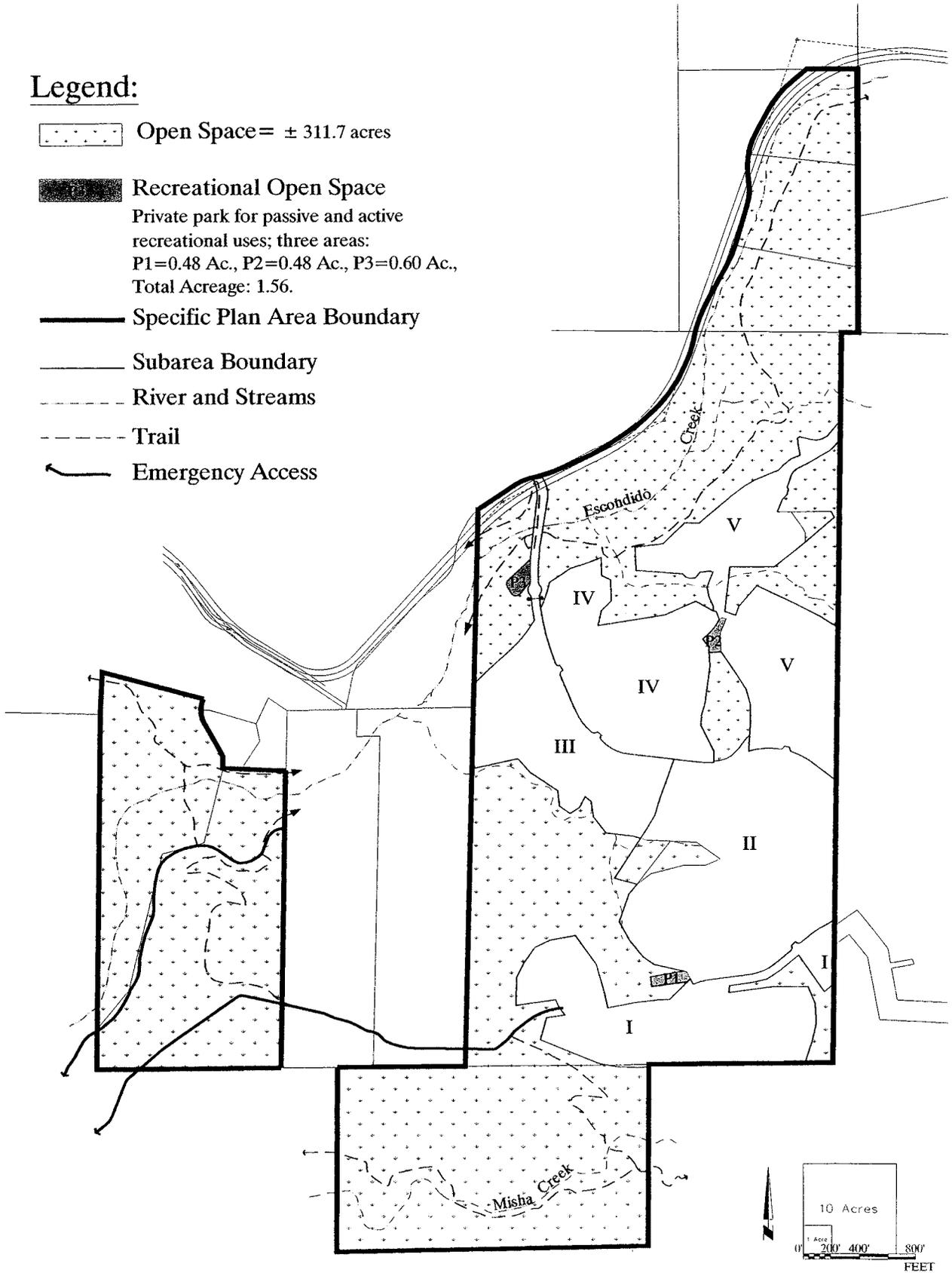


Figure 3-1: Conservation and Open Space Plan

3.3 CONSERVATION & OPEN SPACE GOAL, OBJECTIVES, AND POLICIES

Goal

Conserve significant environmental resources including but not limited to wetlands, coastal sage scrub, wildlife corridors, visual resources, floodplains, steep slopes, and significant headwaters.

Objective CO-1: Protect Open Space (see Figure 3-3, Conservation and Open Space Plan) areas in their natural state while permitting limited compatible use of the open space areas.

Policies

CO-1.1 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any other discretionary permit, a Habitat Management Plan (HMP) shall be prepared for the proposed project to the satisfaction of the Director of DPLU. The HMP shall be prepared by a qualified biologist and shall specify the terms and conditions of the open space easements in conjunction with the wording addressed in the FEIR related to open space easements. The HMP should be consistent with the Federal Fish and Wildlife Service and the Multiple Species Conservation Program goals and objectives.

CO-1.2 Prior to approval of or concurrently with Final or Parcel Maps, issuance of grading permits and improvement plans in lieu of grading permits, or prior

to vesting any other discretionary permit, within the subject property, Open Space areas shall be granted as permanent open space easements. The land designated as open space by Specific Plan shall be dedicated in fee title to the County or to a habitat management agency acceptable to the Director of DPLU, with the exception of the required conservation easements within residential subareas.

CO-1.3 Open Space areas shall be zoned with the S88 Open Space Use Regulation; building type, lot size and density designators that permit no residential development.

Objective CO-2: Conserve the scenic qualities of the Escondido Creek as viewed from trails in the creek and from adjacent communities.

Policy

CO-2.1 All residential development areas on prominent slopes and ridgelines shall be zoned with the "D" Special Area Regulations Designator.

Objective CO-3: Conserve the resources in the Escondido Creek & Harmony Grove Resource Conservation Area Nos. 52 & 53.

Policy

CO-3.1 Preserve the riparian, oak woodland, and mixed chaparral habitats within the Escondido Creek by preserving the existing wildlife corridors.

Objective CO-4: Minimize encroachment into steep slope lands, while protecting significant

*regional open space corridors and optimizing
preserve design*

Policy

CO-4.1 Implementing discretionary projects shall conform to the Resource Protection Ordinance and Board of Supervisors Policy I-73, Hillside Development Policy, as applicable.

Chapter 4

Land Use Element

4.1 EXISTING CONDITIONS

Regional Land Use Element

The *Regional Land Use Element* of the County's General Plan designates the proposed project site as Estate Development Area (EDA) and Environmentally Constraint Area (ECA) Lands with the EDA designation are intended for low-density residential and agricultural land uses with parcel sizes of two to twenty acres. The EDA designation does however permit clustering of dwelling units. Clustering is intended to locate smaller lots on the more level areas in compensation for larger lots on the steep slopes. Clustering is also used for protection of sensitive environmental and scenic resources. ECAs include floodplains, lagoons, areas with construction quality sand deposits, rock quarries, agricultural preserves, areas containing rare and endangered plant and animal species, etc. Development in these areas, while guided by County General Plan, should be preceded by environmental review and implementation of appropriate measures to mitigate adverse impacts.

The County's General Plan defines a Specific Plan Area (SPA) as an area designated on the map of a Community Plan, which requires more detailed planning prior to development. Land within this

designation typically has environmental constraints or unique land use concerns that require special land use and/or design controls. Community or Subregional Plans implement the SPA designation by identifying those areas that must have a Specific Plan adopted prior to further subdivision of any lands designated as (21) Specific Plan Area.

San Dieguito Community Plan

As part of the Cielo del Norte project, the San Dieguito Community Plan map is proposed to be amended to designate the entire 447-acre site as (21) Specific Plan Area (0.37). The residential land use allocation of the proposed Specific Plan is based on the current (24) Impact Sensitive (1 du/4, 8, 20 ac); (21) Specific Plan Area (Rancho Cielo with 46 dwelling units in Cielo del Norte); (18) Multiple Rural Use (1 du/4, 8, 20 ac.); and (17) Estate Residential (1 du/2, 4 ac.) General Plan land use designations. The theoretical maximum dwelling unit allocation for the project site is 154 dwelling units (Appendix C, Dwelling Unit Allocation Calculation & Map).

The San Dieguito Community Plan text is also proposed to be amended to provide policies and standards for the development of the Cielo del Norte Specific Plan, consistent with the Community Plan goals and objectives (General Plan Conformance, Chapter 9). The residential goal of the Community Plan calls for enhancing the living environment while accommodating gradual residential development that harmonizes with the natural environment. The Community Plan encourages estate type development, emphasizing that development should be clustered to

improve upon the amount and character of open space by preserving larger blocks of connected habitats.

A majority of land in the Community Plan area is either currently developed or planned for estate residential land use, with limited support commercial and industrial land uses. The Community Plan's land use policies reflect a generally low-intensity rural residential development supported by convenience commercial, some mixed uses, and office and general commercial land uses.

Existing Land Use in Cielo del Norte

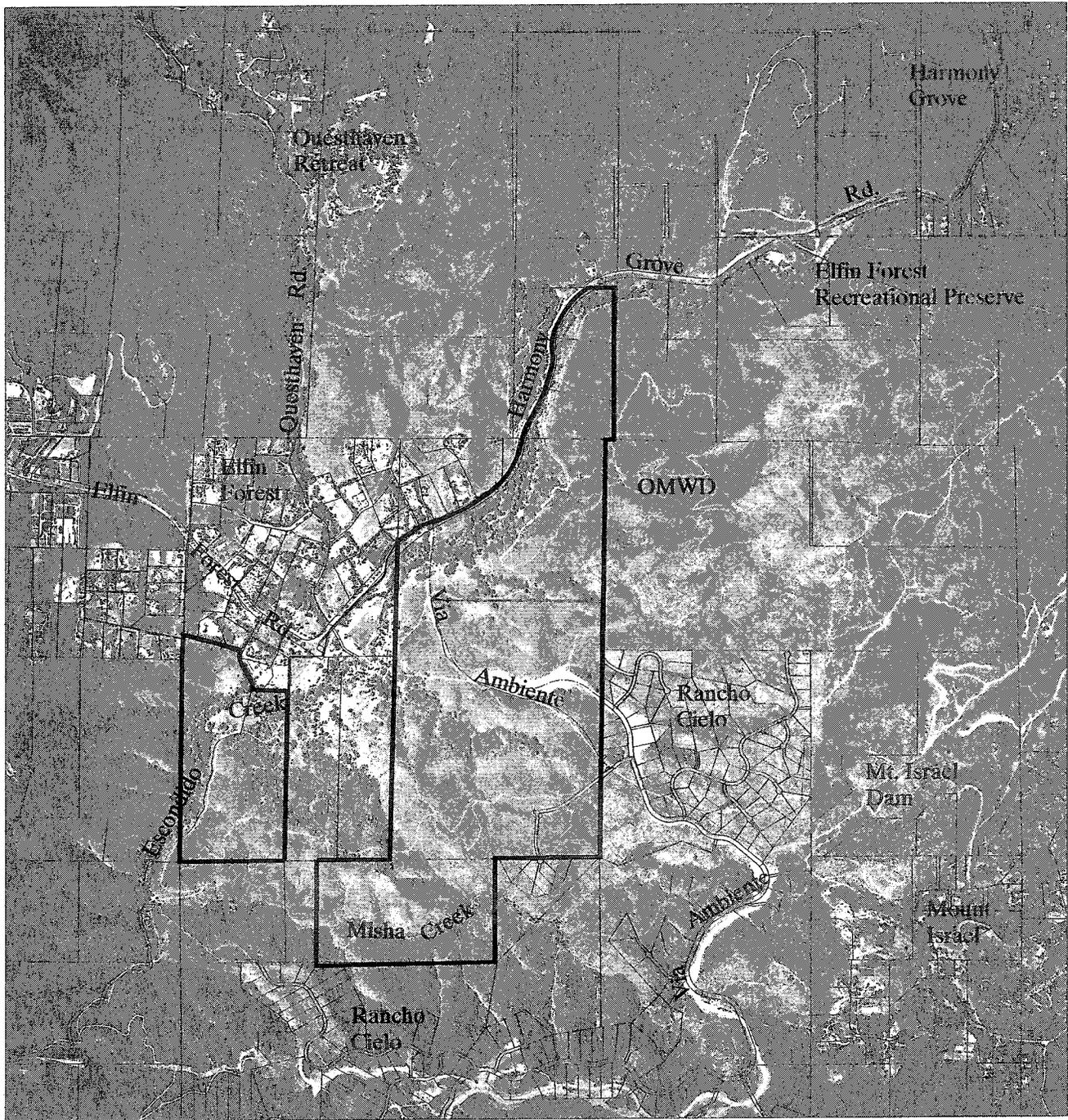
Currently, the majority of land in Cielo del Norte is generally undeveloped; approximately 16-acre parcel within the SPA was developed as a mobilehome park including a small store and a sewage treatment facility. This park has been closed and the residents were relocated. A Relocation Impact Report was prepared and approved by the Board of Supervisors in 1999.

The Olivenhain Municipal Water District in cooperation with the County Water Authority has constructed a vehicular bridge across the Escondido Creek and constructed Via Ambiente as a temporary access road to the planned Mount Israel Dam, which is part of the San Diego County Water Authorities Emergency Water Storage Project. City of Escondido's Sewer Outfall also traverses the western portion of the SPA near Escondido Creek's Floodplain. This pipeline conveys the reclaimed water from the City's Hale Avenue sewer treatment plant to the Pacific Ocean outfall, (Figure 4-1, Aerial photograph of SPA and surrounding Areas).

Surrounding Land Use

Planned development projects adjacent to Cielo del Norte within the unincorporated area of the County include the 2,815 acre Rancho Cielo SPA project, a hillside residential community to the south and east; and the 3,120 acre Santa Fe Valley SPA further south of the SPA. The Santa Fe Valley project is being developed as a residential community with limited commercial uses. The planned residential land uses in Santa Fe Valley range from attached multiple family dwelling units to estate single-family dwelling units. Planned and developed estate residential communities within Rancho Cielo and Santa Fe Valley Specific Plan Areas characterize development to the south and east of Cielo del Norte.

Existing land uses to the North and west of the SPA include larger estate and semi-rural residential communities of Elfin Forest and Harmony Grove. The existing homes are located on the flatter portions of the area with the remainder of 2, 4, & 8 acre lots utilized as passive and active open space, providing a quiet rural setting. The minimum lot sizes in this area are 2 acres, with private road easements and semi-rural development standards, such as horse trails, no streetlights, ranch style homes, barns, corrals and stables. The 640-acre Questhaven Religious Retreat is located further north of the SPA on Questhaven Road. Further northwest of the SPA, within the City of San Marcos, San Elijo Ranch project is developing with higher density residential land use. The first phase of this project, with approximately 1,000 dwelling units, is currently under construction. This project is ultimately planned to accommodate 3,000 dwelling units, (Figure 2-1, Regional Context Map).



— Specific Plan Boundary



Scale: 1" = 2,000'

Figure 4-1: Aerial Photograph of SPA and Surrounding Areas

Land Use Suitability

Based on the findings of various studies and analysis including, steep slopes, biology, floodplain and drainage, visual sensitivity, major wildlife corridors, and existing infrastructure and facilities, a land use suitability map was prepared. The land use suitability map was used to guide the development of the Specific Plan land use plan. The proposed land use designations and density allocations were developed in consideration of this suitability analysis to ensure consistent and compatible development and preservation in the SPA.

4.2 LAND USE PLAN

It is intended that new development in Cielo del Norte to be compatible with surrounding land uses and preserve sensitive lands, biological resources, and scenic areas. The extent and density of proposed land uses within the Cielo del Norte SPA are shown on the Specific Plan Map, Figure 1-3 (a larger scale version is included as part of this document). To facilitate planning for the geographically diverse Cielo del Norte, the SPA was divided into five Subareas; I-V (Figure 2-3, SPA Subareas Map).

Specific Plan land use designations for Cielo del Norte include: Open Space, Recreational Open Space, Estate Residential, and Sewer Pump Stations. The planned land uses are intended to be implemented through various discretionary permits as described in the Development Program of the Specific Plan (Chapter 8). The Specific Plan land use designations are described as follows:

Open Space

As described earlier in Chapter 3, the Open Space land use designation is identified by the Specific Plan for those lands suitable for conservation and permanent protection of environmental resources with no development allowed except for a vehicular river crossing, essential infrastructure and public facilities, and trails. Approximately 311 acres or 65% of the SPA is designated as Open Space category. The ownership of these lands is to be transferred to Escondido Creek Conservancy or other acceptable habitat management agencies. The proposed open space is intended to connect with the existing open space land in Rancho Cielo SPA to form a contiguous wildlife corridor. The Specific Plan's Open Space Plan land use designation does not allow any development within this area, with the exception of essential public facilities, river crossing, roads, utilities, and recreational trails. The Specific Plan designates approximately 4 miles of public trails within the proposed open space area with a significant majority of the proposed trails on existing dirt roads and previously disturbed habitats.

Recreational Open Space

Recreational Open Space areas are those lands suitable for passive and active recreational uses. The Specific Plan identifies three (3) proposed private play parks within the SPA with a total acreage of 1.56 acres. These private play parks are to be owned and maintained by the proposed Cielo del Norte Homeowners Association. Additionally, the payment of in-lieu fees will satisfy the requirements of the County of San Diego parkland dedication requirement.

Estate Residential

The Specific Plan provides for a maximum of 154 dwelling units with a minimum of 0.5-acre lot size and a Density Designator of 0.32 dwelling units per acre over the entire SPA. The overall residential density over the 447-acre SPA is approximately 1 dwelling unit per 3 acres with an average lot size of 0.78 acres. Cielo del Norte Specific Plan does not propose an increase of the existing level of allocated residential land use as identified by the San Dieguito Community Plan. Consistent with the General Plan Land Use Designations, the Specific Plan's dwelling unit allocation has been derived from calculating the theoretical maximum number of dwelling units that the site yielded under the pre-(21) SPA Land Use Designation (Appendix C). The 154 dwelling units permitted within the SPA are allocated to the various Subareas within SPA. The allocated number of dwelling units within each subarea reflects the intent of the Specific Plan by stating the maximum number of dwelling units that are permitted within each Subarea (Table 4-1, Specific Plan Land Use Distribution).

Pursuant to the San Dieguito Community Plan policies, planned development has been clustered away from sensitive lands creating large contiguous open space areas and establishing critical wildlife linkages varying in width from 700'-100'. In consideration of the existing estate and semi-rural land uses within the Elfin Forest community, the Specific Plan requires larger lot sizes to be located in the western portion of the SPA along with an open space buffer between this community and potential development areas within the SPA. This is accomplished by allocating a maximum number of

dwelling units that can be located within Subareas III and V, resulting in less residential density than other Subareas within the SPA. Consistent with the approved land use densities in Rancho Cielo SPA, the Cielo del Norte Specific Plan designates higher density residential land use to be located in the Subareas I, II, and IV of Cielo del Norte (Table 4-1).

Sewer Pump Stations

Two sewer pump stations are proposed to serve the Cielo del Norte SPA and a portion of Rancho Cielo SPA. The location and size of the sewer pump stations are consistent with the recommendations of the Olivenhain Municipal Water District Sewer Master Plan that has been prepared by the District's Engineer (Boyle Engineering Company). These sites are intended to allow for construction of two wastewater pump stations and appurtenances on two separate sites, which are proposed to be dedicated to the Olivenhain Municipal Water District in fee title. The Master Plan includes a comprehensive analysis of the current and future sanitation demands of Rancho Cielo Specific Plan and Cielo del Norte Specific Plan Areas.

The Master Plan has evaluated the previously planned location of the sewer pump stations within Cielo del Norte, as recommended by the Rancho Cielo Specific Plan and concluded that relocating the sewer pumps will provide for a more efficient sewer system. In addition to these pump stations, all needed facilities including, pipelines and pump stations have been fully detailed in the Master Plan. The Master Plan is available for review at the District's offices as well as the County of San Diego Department of Planning and Land Use.

Subarea	Dwelling Units (DU)	Acreage	Density DU per Acres
I	32	30.55	1.04
II	45	49.48	0.91
III	21	25.79	0.81
IV	29	27.83	1.04
V	27	34.12	0.79
Open Space Easement	0	*3.90	0
Open Space	0	307.8	0
Recreational Open Space	0	* 1.56	0
Pump Station	0	* 0.055	0
I.O.D. for Public Road (Harmony Grove Rd)	0	6.77	0
TOTAL:	154	482.37	0.31

** The acreage for the private parks, Pump Stations & Open Space Easement has been included within the subarea acreage calculations

Table 4-1 Specific Plan Land Use Distribution Table

4.3 LAND USE GOAL, OBJECTIVES AND POLICIES

GOAL

Provide for the orderly development of the Cielo del Norte Specific Plan Area compatible with the existing and planned character of adjacent communities and consistent with community and resource agency open space planning goals and objectives.

Objective LU-1 *Conserve significant environmental resources as an essential component of the regional open space planning efforts consistent with the goals of the San Dieguito Community Plan.*

Policies

LU-1.1 Contiguous significant environmental resources shall be designated Open Space, such that a minimum of 65% of the SPA is designated for permanent protection. The Specific Plan Open Space land use shall be zoned with "S88" Use Regulation. The only uses permitted within the Open Space land use are recreational trails, open space enhancement activities, road and utility crossing, fencing, and brush management for purposes of fire prevention.

LU-1.2 Prior to or concurrently with approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any other discretionary permit, open space easements shall be granted to the County of San Diego over Open Space areas within the SPA.

Objective LU-2 *Provide for residential development at a density consistent with the San Dieguito Community Plan, that is considerate of environmental constraints, and that is compatible with adjacent existing and planned communities.*

Policies

LU-2.1 Residential development within the Specific Plan shall be limited to 154 dwelling units within 5 Subareas.

LU-2.2 The Specific Plan Residential land uses within Subareas (I-V) shall be zoned for residential use as specified in the Development Program of the Specific Plan. These areas shall be zoned with the “S88” Use Regulations. The uses permitted within the Residential land use are Residential Use Types and Family Residential.

LU-2.3 An Administrative Permit shall be filed to require ongoing Homeowner Association ownership and maintenance of common owned lots within subdivisions.

LU-2.4 Residential development projects shall comply with the Community Design Element (Chapter 7) as applicable to ensure land use compatibility with existing and planned land uses in the vicinity.

LU-2.5 Development in certain areas of the SPA as identified in the Community Design Element of the Specific Plan (Chapter 7) shall be subject to “D1” and “D2” Special Area Designators to address existence of steep slopes and visually sensitive areas within the proposed development areas of the SPA.

LU-2.6 Encourage siting of planned trails within Open Space area on existing trails and disturbed areas to minimize potential impacts on these lands.

Objective LU-3 *Provide sites for public services and facilities to address the infrastructure needs of the future residents of Cielo del Norte.*

Policies

LU-3.1 Three (3) private play parks with a total acreage of 1.56 acres shall be provided in the SPA within the proximity of each residential neighborhood for the benefit of the Cielo del Norte residents. These private parks shall be owned and maintained by the Home Owners Association. The Private Park land use within the SPA shall be zoned with “S88” Use Regulations. The uses permitted within the Private Park Land use are usable open space intended for common use, privately owned and maintained, including open landscaped areas, pedestrian walkways and recreational patios.

LU-3.2 Two (2) Pump Station site shall be provided (within Subareas III and IV) for sewage pumping in accordance to the development standards of the Ranch Cielo Sanitation District Sewer Master Plan. The Pump Station site shall be zoned with the “S88” Use Regulations allowing only sewer pump stations and related facilities, buildings, and equipment.

LU-3.3 Contribute in-lieu parkland fees in accordance with the requirements of the Park Land Dedication Ordinance.

Chapter 5

Circulation Element

5.1 EXISTING CONDITIONS

The Circulation Element of County General Plan depicts transportation corridors for public access, planned to meet the needs of the existing and anticipated population of San Diego County. The San Dieguito Community Plan Circulation Element establishes detailed policies and recommendations for providing a transportation system that is balanced and designed to accommodate a diversity of circulation modes. Some of the relevant Community Plan policies and recommendations include:

- Minimize private driveway access onto both major and residential collector roads by strictly adhering to the County access policy as outlined in the Public Road Standards.
- Road alignment shall minimize the necessity of altering the landscape by following the contours of the existing topography, thus enhancing scenic areas.
- Establish a separate system of hiking trails, bicycle paths and equestrian trails from which motorized vehicles will be banned.
- Retain the narrow rural character of the San Dieguito roads.

- Urban-type street improvements such as gutters, curbs, and sidewalks and extensive street lighting should not be installed because they would detract from the existing, highly desired rural appearance of San Dieguito.
- Mandate that the adopted Circulation System be in balance with the adopted land use plan.

Existing Vehicular Facilities

Regional access to Cielo del Norte from the west is via the I-5 freeway and Del Dios Highway, and from the east via the I-15 freeway, Del Dios Highway and Harmony Grove Road. The following summary describes the existing and planned local and Circulation Element roads that access the SPA:

Questhaven Road within the City of San Marcos, between Rancho Santa Fe Road and the intersection of Elfin Forest Road, currently is not constructed to any Circulation Element standard. The estimated capacity of this segment is equivalent to that of a Collector road classification on the City's standard street classifications, with a capacity of 15,000 average daily trips (ADT) at level of service (LOS) E, the current volume (as of August of 2000) is 4,733 ADT operating at LOS A (under the City of San Marcos standards). In the near future this segment is scheduled to be widened in conjunction with the development of the first phase of the San Elijo Ranch Project. The widening will increase the total number of lanes to four (4). The capacity of this segment will be increased to 30,000 ADT at LOS E. The City's General Plan shows Questhaven Road extended north to meet Twin Oaks Valley Road near the State

University, and is classified as a Major Road. The extension is planned to be implemented with the development of the final phases of San Elijo Ranch. As a Major Road the Capacity at LOS E would be 40,000 ADT. One mile east of its intersection with Elfin Forest Road; Questhaven is within the County of San Diego. This segment is currently unpaved and not regularly maintained. The capacity of this segment of the road would be about a public residential street with approximately 1,500 ADT. This portion of the road is not a part of the County Circulation Element and would be considered a local road serving the adjacent properties.

Elfin Forest Road (SC 1380) This road is designated as a 2 lane Collector Road on the City of San Marcos General Plan, from the intersection of Questhaven Road to the boundary of the old County landfill. East of that point the road lies within the jurisdictions of County of San Diego. Elfin Forest Road has as cross-section equivalent to a two-lane Collector Road with a capacity of 15,000 ADT LOS E. The volumes counted in August 2000 on Elfin Forest Road west of Harmony Grove Road were 2,771 ADT. Using the County of San Diego Standards, this segment of Elfin Forest Road operates at LOS B. Using the City of San Marcos standards, Elfin Forest Road operates at LOS A. City estimates the capacity of this segment is approximately 12,000 ADT at LOS C, while the County has an estimate of 7,500 ADT at LOS C. County of San Diego General Plan designates this road as a 4-lane collector from the City of San Marcos to the east. As a 4-lane Collector the capacity of the segment is 27,400 ADT at LOS C, the current volume is 3,100 ADT and LOS A in City of San Marcos and 2,600 ADT and LOS B

in County of San Diego. There is no current plan by the County to improve Elfin Forest to the 4-lane Collector classification.

Harmony Grove Road (SC 1370) joins with Elfin Forest Road just west of the SPA entrance to form a continuous route north and east to Escondido. The County's Circulation Element designates this road from Elfin Forest Road east to Hale Avenue in City of Escondido as a 4 lane Collector Road with a capacity of 34,200 ADT at LOS E, existing volume of this road east of the SPA entrance is estimated at 2,728 (August 2000) ADT and LOS B. The estimated capacity of Harmony Grove Road at this location is 16,200 ADT, which is equivalent to a County Light Collector Road at LOS E. As with Elfin Forest Road, the County of San Diego has no near term plan to improve Harmony Grove Road to its Circulation Element classification.

Rancho Santa Fe Road (SF 1412) provides regional access to the SPA from the west. This north/south facility connects with Alga Road to the west, San Marcos Boulevard to the north, and La Costa Avenue to the south. In the vicinity of Questhaven Road, this facility is a 3 lane Collector Road. The additional lane provides an uphill truck-climbing lane south of the intersection at Questhaven Road. North of the Questhaven intersection the additional lane is a turn lane associated with the industrial park on the east side of the road. The latest available daily traffic counts on these segment of Rancho Santa Fe Road is 25,100 to 26,200. Rancho Santa Fe Road south of Questhaven is within the City of Carlsbad, which designates this segment as a 6 lane Prime Arterial. The capacity of this road is 55,560

ADT at LOS C. The current volume is 22,400 ADT with LOS F in City of San Marcos and LOS C in City of Carlsbad.

Del Dios Highway (S6) is currently a two-lane road from Valley Parkway in Escondido south and west along the San Dieguito River Valley to Paseo Delicias in the community of Rancho Santa Fe. The Circulation Element of the General Plan shows Del Dios as a future four-lane Collector road east of Calle Ambiente and a two-lane Light Collector road west of Calle Ambiente. The SPA is linked to Del Dios Highway and Paseo Delicias through the Rancho Cielo Specific Plan Area. The connection is made via Calle Ambiente, a public road and Via Ambiente, a private road. The Del Dios segment has little adjacent development and runs through the steep San Dieguito River canyon, the Paseo Delicias segment traverses the community of Rancho Santa Fe with adjacent residential estate homes. As a regional connection, Paseo Delicias and Del Dios Highway carry relatively high daily volumes considering the 2-lane cross section. Daily volumes counted in year 2000 show 15,280 ADT west of El Montevideo and 20,386 ADT to the east of Calle Ambiente. Daily volumes in this range are equivalent to LOS E and F using County LOS standards. Since 1988, on several segments of Del Dios Highway, daily volumes have exceeded the top of LOS (16,200 ADT). Over the last ten years the daily volume on Del Dios Highway has averaged 18,100 ADT. Since 1987, the daily volumes on Paseo Delicias, west of El Montevideo, have exceeded the top of LOS D (10,900). Over the last twelve years daily volume have averaged 15,600 trips with LOS of E.

Non-Vehicular Access

The San Dieguito Community Plan Recreation Element also establishes policies and recommendations regarding riding and hiking trails. Some of the relevant Community Plan policies and recommendations include:

- Trail corridors indicate where, within an approximate ½ mile swath, the ultimate alignment may be established.
- Align trails to link with trails systems established for adjacent jurisdictions.
- Trail alignments should emphasize public lands, dedicated open space, or floodplains.
- Required trail dedications shall reasonably respect the rights of private property owners and the need for privacy.
- Maintain land adjacent to the trails in its natural state.
- Develop trails that may be safely used by hikers and riders of all ages and skills.
- Prohibit the use of motorized vehicles on riding and hiking trails.

Furthermore, the Circulation Element of County's General Plan requires dedication of bicycle lanes as shown on the Countywide Bicycle Network Map. There are a number of existing and planned trails in the vicinity of the SPA. The existing trails include riding and hiking trails in Rancho Cielo SPA, Elfin

Forest and Harmony Grove communities, and Olivenhain Municipal Water District's recreational preserve. There are also planned trails in the City of San Marcos's San Elijo Ranch project as well as the Santa Fe Valley and 4S Ranch SPAs.

Existing Transit Service

The North County Transit System operates the present bus service on Del Dios Highway. Bus Route No. 308 runs along Del Dios Highway and Villa de la Valle between the Escondido and Solana Beach transit centers. The existing bus stop on Del Dios Highway at Calle Ambiente, is the SPA's access to the bus service.

Road Improvement Standards

The County of San Diego establishes improvement standards for public and private roadways and planned residential developments, which include right-of-way width, local access, intersection spacing and alignment, driveway width, and locations. The County Department of Public Works administers and implements these standards. All on-site roads within the Cielo del Norte Specific Plan Area are proposed to be private roads, consistent with the County's Private Road Standards.

5.2 CIRCULATION PLAN

The Circulation Element of the County's General Plan and the San Dieguito Community Plan's goals and objectives establish the regional and subregional transportation policies for the San Dieguito Community Plan Area. The Cielo del Norte

Circulation Element has also been developed in conjunction with the other elements of the Specific Plan and other relevant factors. The primary factors determining the size and location of transportation facilities within the SPA are the:

- General Plan Circulation Element
- San Dieguito Community Plan
- County Private Road Standards
- Rancho Cielo Specific Plan
- Specific Plan's Land Use Element
- Existing and planned transportation facilities
- Location of environmental resources
- Topography and other natural features
- Noise and visibility
- Specific requests by adjoining residents

Consistent with the Circulation Element of the San Diego County General Plan and the San Dieguito Community Plan, the intent of the Cielo del Norte Specific Plan's Circulation Element is to implement a safe and convenient circulation system based on the land use plan. The Specific Plan's Circulation Element requires development of a multi-modal transportation system capable of supporting the anticipated growth in the SPA and adjoining existing and planned communities. The transportation system will consist of a hierarchy of public and private roads; bicycle, pedestrian and equestrian trails; and access to transit to serve local and subregional transportation needs (Figure 5-1, Circulation Plan)

Vehicular Circulation

The Cielo del Norte Specific Plan Circulation Element designates classifications of the circulation

Legend:

- Private Roads
- ↔ Access Point
- ⊕ Private Gate
- Emergency Access
- - - Public Trail
- ▬ Specific Plan Area Boundary
- ▬ Subarea Boundary
- River and Streams

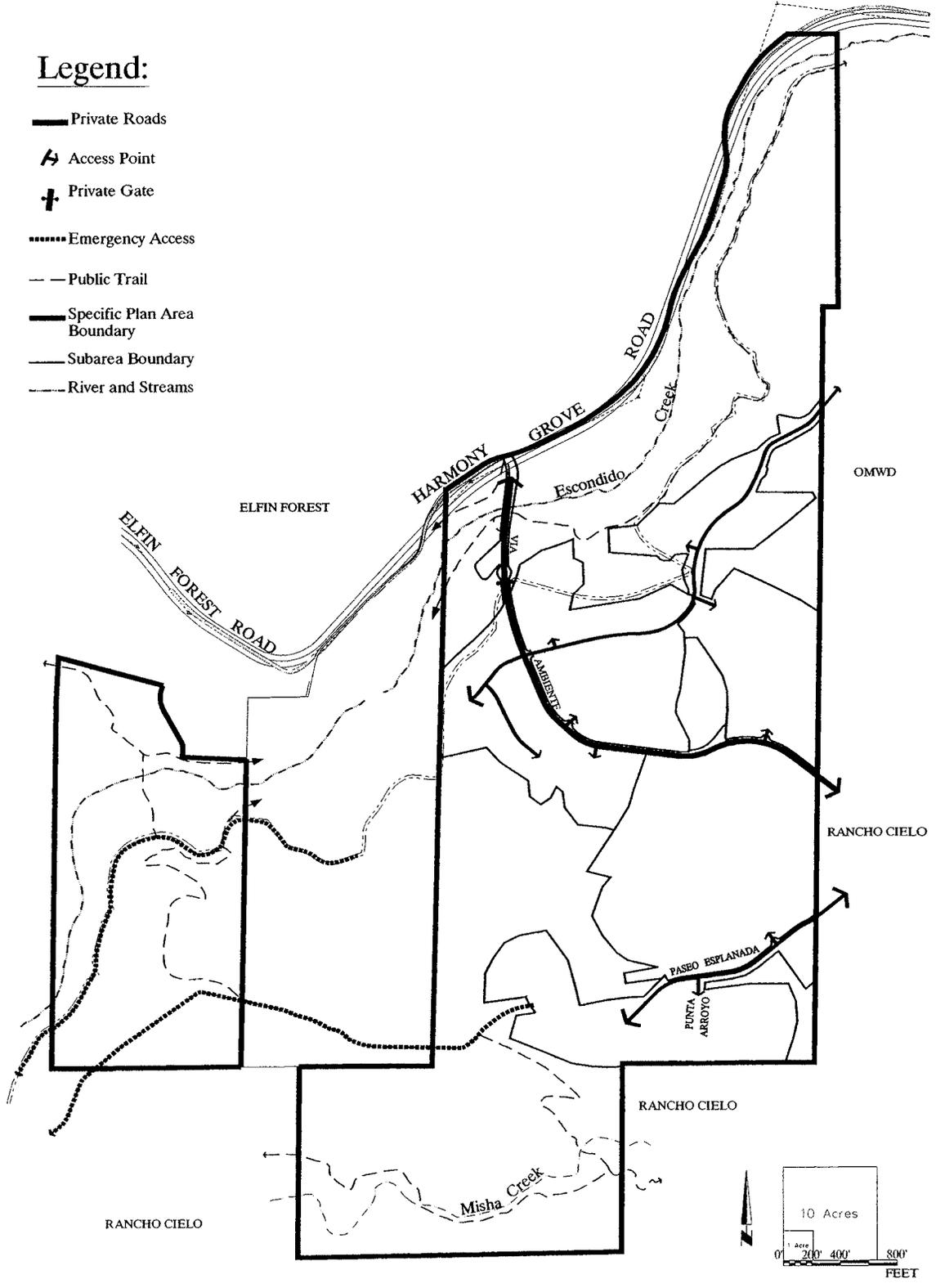


Figure 5-1: Circulation Plan

system (Figure 5-1, Circulation Plan). The following roads are the existing and proposed access routes to Cielo del Norte SPA. These access roads include both public and private roads, there are no significant improvements proposed for any public road segments. The private road improvements are entirely within the SPA, including widening of existing Via Ambiente and extension of Paseo Esplanada. The following roads are within and/or adjacent to the Cielo del Norte SPA as shown on Figure 5-1 include:

Circulation Element Collector Road:

Del Dios Highway (east of Calle Ambiente)

Circulation Element Light Collector Road:

Del Dios Highway (west of Calle Ambiente)

Non-Circulation Element Public Roads:

Calle Ambiente

Private Roads:

Via Ambiente

Paseo Esplanada

The above private roads, internal to the SPA are required to be common owned street lots maintained by homeowners associations.

Emergency Access

A number of extensions to the proposed circulation network are designated as emergency access roads. In some cases the emergency access road and public trails are combined. When properties within the SPA are proposed to be developed improvement of the emergency access roads will be required to maintain accessibility

Road Improvement Requirements

As discussed above, only the private roads within the SPA are required to be constructed and improved in conformance with the County's Private Road Standards, the San Dieguito Community Plan, and the Harmony Grove Fire Protection District as applicable. All roads must also conform to the Community Design Element, Chapter 7, of the Specific Plan. Off-site Intersection improvements are to be implemented consistent with the mitigation measures of the Specific Plan EIR and County of San Diego Department of Public Works development standards.

Non-Vehicular Circulation

The Specific Plan proposes a 4-mile public trail network as shown on the Circulation Plan, Figure 5-1. This exhibit identifies the trail type and the location of trail "corridors" within the SPA. The trail corridors indicate where, within an approximate 50-foot swath, the ultimate trail alignment must be established, typically as part of implementing projects. Generally, the hiking and equestrian trails are unpaved, narrower, and have steeper slopes than the trails around Escondido Creek floodway. These trails are generally described as half paved for bicycle use, half unpaved for hiking and equestrian use. However, paving of these trails is voluntary within the trail tread and easement width. The Escondido Creek trails provide bicycle access to the development areas in the Specific Plan. The use of bikes can help to reduce the number of automobile miles traveled, thereby reducing congestion as well as air quality and noise impacts. Bike trails may be combined with either or both pedestrian and

equestrian trails, as they are proposed in the Escondido Creek trails within the SPA. The Cielo del Norte Community character is oriented toward an estate and semi-rural residential lifestyle that may include horse ownership and equestrian activities. The Escondido Creek trail segment with the remaining Circulation Plan trails constitutes a trail system to serve the San Dieguito Planning Area as well as the future residents of the SPA. In all cases, the equestrian trails are combined with the hiking trails. The San Diego County General Plan Recreation Element requires major subdivisions to

dedicate and improve the trails shown on the Circulation Plan that are also shown on the San Dieguito Community Plan Trails Map. Any additional dedication of trails is voluntary. Trail improvement standards are shown in Table 5-1, Trail Standards. Trail design is also addressed in the County of San Diego Trail Design and Construction Guidelines. In general, trails shall be continuous throughout the subdivision and intersect roads at approximately ninety degree angles. All portions of trail tread shall have a minimum of 10' clearance above with adequate drainage, signage, and markers.

Table 5-1: Trail Standards

Trail Type	Tread Width		Easement Width		Construction Standards	
	Max.	Min.	Max.	Min.	Maximum	Minimum
Paved Trails						
Escondido Creek Trails, that may include both paved and unpaved trails	16'	8'	20'	N/A	Graded, 2" A.C. with ½" aggregate with approved base material	Surface material shall consist of at least 4" of D.G. compacted to 90%. Native soil may be used in lieu of D.G. if it can be demonstrated that the native soils have equivalent or better characteristics for such application.
Bicycle Trails	8'	4'	20'	N/A	Same as above	Same as above
Unpaved Trails						
Hiking Trails	8'	N/A	20'	N/A	Graded, 4" decomposed granite per County Stds.	Brush and clear tread to conform with terrain
Hiking and Equestrian Trails	8'	N/A	20'	N/A	Same as above	Same as above

Notes:

1. Tread Gradient is 0-5% optimum and 10% maximum. Switchbacks should be provided to avoid excessive slopes.
2. Fencing shall be required in situations of incompatible trail use, for protection of sensitive habitat and safety hazards. Slopes with a slope gradient of 1.5 to 1.0 or greater and there is a vertical differential of at least 5' for a distance of 30' shall be fenced on the downhill side.
3. Where paved and unpaved trails are parallel and adjacent, they shall be within a single 20' easement.
4. Trail uses may be limited based on local conditions.
5. Trail improvements for paved trails shall be constructed in compliance with applicable provisions of the American Disabilities Act

5.3 CIRCULATION GOAL, OBJECTIVES AND POLICIES

Goal

Develop a comprehensive transportation system providing safe and efficient movement of people and goods within Cielo del Norte, the San Dieguito Community Plan Area, and the regional circulation network, while protecting sensitive environmental resources and community character.

Objective CE-1: Integrate road development in Cielo del Norte with the existing and planned land uses and regional roadway network.

Policies

CE-1.1 The private roads internal to the SPA shall be common owned street lots and shall be maintained by a Homeowners Association. Either the Homeowners Association shall maintain the controlled access gate or another entity that will assure continued operation and maintenance. Portions of Paseo Esplanada and Punta Arroyo are off-site streets that will be maintained by the Rancho Cielo Homeowners Association. Access through Punta Arroyo within Cielo del Norte Specific Plan Area shall be maintained per existing private road easement agreement between Rancho Cielo and Cielo del Norte property owners.

CE-1.2 Roads shall be designed consistent with the County's adopted standards for private roads for common owned street lots, the San Dieguito

Community Plan, Cielo del Norte Circulation Plan, and the Community Design Guidelines. Exceptions to the standards are subject to the review and approval of the Director of Department of Public Works (DPW).

CE-1.3 Direct residential driveway access is prohibited on Via Ambiente Road. Direct driveway access is permitted on other private roads.

CE-1.4 Road construction(s) shall be consistent with the Specific Plan phasing plan contained in the Development Program, Chapter 8, of the Specific Plan, and to the satisfaction of the Director of DPW.

CE-1.5 Privately owned and maintained controlled access gates and entry monuments may be placed across private and/or common owned roads upon assurance of continued maintenance through the approval of an Administrative Permit, that will allow for establishment of Homeowner Association(s). Gates must conform to County Design Standards, (DS-17, DS-18 and DS-19)

Objective CE-2: Provide for emergency access to all areas of Cielo del Norte consistent with the standards of the Harmony Grove Fire Protection District.

Policies

CE-2.1 Provision for emergency access, including secondary means of egress, shall be required consistent with the Circulation Plan of the Specific Plan and as a condition of discretionary permits to the satisfaction of the Director of DPW.

CE-2.2 Designation as an emergency access road does not preclude property owners private road access rights when such access already exists.

Objective CE-3: Provide for adequate and convenient non-vehicular circulation within the SPA that is sensitive to environmental resources.

Policies

CE-3.1 Hiking and equestrian trails shown on the Circulation Plan of the Specific Plan that are in conformance with trails shown on the San Dieguito Community Plan and/or Regional Trails Map shall be required to be offered for public trail purposes.

CE-3.2 When trails are offered for dedication, voluntarily or not, trail alignments shall be located on existing paths, trails, roads, utility easements, and other disturbed habitat areas to the extent feasible to avoid and/or minimize environmental impacts.

CE-3.3 When trails are to be dedicated, voluntarily or not, trail design shall be in conformance with Table 5-1, Trail Standards.

CE-3.4 All dedicated public trails shall be maintained through a funding mechanism that is established by the Cielo del Norte property owners. Prior to the acceptance of new trail easements into the County maintained system, there shall be established a local agency (such as homeowners association, or other private organization) that is willing and able to accept responsibility for improvement and long-term financing of the maintenance and operation of new community or subregional trails.

CE-3.5 Trail construction in the Open Space land use designation or other permanent open space areas shall be compatible with the breeding season limitations for Gnatcatchers and other sensitive species.

Chapter 6

Public Facilities Element

6.1 EXISTING CONDITIONS

Educational Facilities

The Cielo del Norte SPA is within the Escondido Union School District (K-8) and Escondido Union High School District (9-12). These districts offer a variety of educational facilities serving the SPA including LR Green Elementary School (K-8), Rock Springs Elementary School (K-5), Rincon Middle School (6-8), and San Pasqual High School (9-12). Based on discussions with the school districts and evaluation of current school enrollment and capacities the Rincon Middle School and San Pasqual High School enrollments currently exceed their capacities. The additional student generation from the SPA will have a significant impact on both school districts and mitigation will be required.

Recreational Facilities

Standards for local parks and recreation facilities to serve the existing and future residents of Cielo del Norte Specific Plan Area are set forth in the General Plan Recreation Element, Recreational goal and policies of the San Dieguito Community Plan, and County of San Diego's *Park Lands Dedication Ordinance* (PLDO). The County of San Diego Department of Parks and Recreation administers the PLDO.

General Plan Recreation Element

One of the most important factors in determining the ability of parks to accommodate Cielo del Norte's recreational demands is the amount, type, and location of parks and other recreational facilities in the area. The Recreation Element includes physical and locational standards for parks including acreage per 1,000 population, effective service radii in time and distance, and population within the service area. The Recreation Element standards include providing thirty acres per 1,000 population, one-half of which may be devoted to regional parkland. All types of public and private usable open space count towards this requirement. The Recreation Element defines local parks as those providing for recreational uses in proximity to the homes of County residents, in contrast to regional facilities, which serve the entire County. The service radius standards for neighborhood and community parks are one-quarter mile and three miles, respectively.

San Dieguito Community Plan

The recreation goal of the San Dieguito Community Plan promotes the establishment of a system of recreational facilities and services for all residents of the area. The Community Plan recommends a minimum of 15 acres of local recreational area for each 1,000 population in the entire community to be distributed into the following park facilities:

- 1/3 devoted to neighborhood parks;
- 1/3 for community parks;
- The remainder is for community-serving facilities, such as trails or nature preserves.

Additionally, the Community Plan recommends the provision of a regional network of horseback riding and hiking trails within an open space preserve to serve the community.

Park Lands Dedication Ordinance (PLDO)

The PLDO provides policies and standards for the provision of parklands in compliance with the State's Quimby Act. This ordinance sets forth park dedication and in-lieu fee requirements. The PLDO is intended to provide land for local active parks only. No operational or maintenance funding requirements are covered by the PLDO. The PLDO divides the County into Local Park Planning Areas (LPPAs) to facilitate park planning by communities. The PLDO allows the option of dedicating parkland, or paying in-lieu fees (which the County would use to acquire and/or improve parkland), or some combination thereof. Dedicated parkland must be usable for active recreational uses. It must be level or gently sloping land (maximum slope of ten percent), designed for facilities such as sports fields, court games, swimming pools, children's play areas, picnic areas, etc.

Active recreational areas do not include natural open space, buffer areas, steep slopes, golf courses, riding and hiking trails, or water bodies. Homeowner Association provided and maintained facilities; such as swimming pools and meeting rooms may receive up to fifty percent credit on the in-lieu fee requirements. Such facilities count towards the credit only when they are used exclusively for the use of residents living in the development. Granting of credit is subject to approval of the Director of the Department of Parks and Recreation. In the San Dieguito LPPA, the nearest local park facility to

Cielo del Norte SPA is San Dieguito Park, which is located approximately four miles to the southwest of the SPA. Currently, the park in-lieu fees are \$1,000 per dwelling unit.

County Park Maintenance

Parks in the County must be maintained either by a homeowners association, private group, or through a County Service Area (CSA). A CSA was established for local park maintenance within the San Dieguito Community Plan area in 1976. Funds in that CSA are currently used only to maintain one park - the lower section of San Dieguito Park. (While that park is technically a regional park, the lower section contains local recreational facilities.) However, if other local parks are developed within the CSA, then CSA funds could be used to maintain the new park(s).

Fire Protection Facilities

Cielo del Norte SPA is within the service boundaries of California Department of Forestry & Fire Protection (CDFFP) and Elfin Forest/Harmony Grove Fire Department Inc. (CSA 107). The CDFFP does not operate year round, generally CDFFP operates with full staffing and open fire stations each year from May to September and reduced staffing and closed fire stations in November or early December of each year depending on weather conditions. The CDFFP are primarily responsible for protection of forest, however subject to availability of resources, they may respond to structural, vehicle, and other fires. Similar to other fire fighting agencies the CDFFP also responds to a variety of non-fire emergencies. The Elfin Forest Fire/Harmony Grove Fire Department operates year round and provides protection for structural, vehicle, brush and other fires

and medical emergencies within state responsibility areas. The emergency medical services are provided through the County Service Area (CSA 17), as well as the Automatic Aid Agreement with the Rancho Santa Fe Fire Protection District.

The Elfin Forest/Harmony Grove Fire Department will have the primary fire protection responsibility for the Cielo del Norte SPA. The fire department currently protects approximately 350 homes in this area from their headquarters located on Elfin Forest Road approximately one mile east of the SPA. According to the fire chief, an additional 154 homes will necessitate the upgrading of the Elfin Forest/Harmony Grove Fire Department station and staffing to increase response time.

Law Enforcement

The County's Sheriff Department provides law enforcement services to the unincorporated areas of the County including the SPA. The Sheriff Department provides service to Cielo del Norte from their Encinitas substation, approximately 4 miles west of the SPA. The County's *General Plan Public Facility Element* notes that the Sheriff's Department has a goal of providing facilities to support a service level of four patrol shifts per day per 10,000 population. The response time objective in urbanized areas for a priority call is eight minutes or less. These are calls involving life-threatening situations or felonies in progress. For all other calls the target is sixteen minutes or less. According to the County Sheriff the average response times serving Cielo del Norte area is currently 5 minutes for priority calls and 10 minutes for non-priority calls.

Water Facilities

The Olivenhain Municipal Water District (OMWD) provides potable water service to the Specific Plan Area. Currently, the water district conveys water to Cielo del Norte via an 8" watermain along Elfin Forest Road and Harmony Grove Road and a 10" watermain within the SPA to the project area. However, based on *OMWD's Water System Analysis for Cielo del Norte, 2000*, the existing water facilities will not be adequate to serve the proposed land use water demand. The report has identified the need for significant potable water system improvements to serve the SPA.

Wastewater Facilities

The Local Agency Formation Commission (LAFCO) approved the formation of the Cielo Sanitation District in 1983. This district was formed to provide wastewater treatment for sewage disposal from the Rancho Cielo SPA. The County of San Diego administered this sanitation district until 1998, at which time the OMWD, through application with LAFCO activated its latent sewer service powers and assumed administrative responsibilities of the Cielo Sanitation District service area. The existing district boundaries encompass much of the proposed Rancho Cielo Phase I development. Since the initial approval of the Rancho Cielo Specific Plan in 1981, the development of Rancho Cielo has undergone several changes, including ownerships, boundary modifications, and potential deletion of the Rancho Cielo Water Reclamation Facility (WRF). These changes have required a reevaluation of the proposed sewer system, which was designed at the inception of the Rancho Cielo Specific Plan. OMWD has

prepared a Comprehensive Sewer Master Plan to address the wastewater needs associated with the development of Rancho Cielo and Cielo del Norte.

6.2 PUBLIC FACILITIES PLAN

As discussed above, prior to implementation of proposed land uses in the SPA, the public safety and service providers will require major public facility and service improvements. These improvements include water, sewer, and fire station improvement and upgrades. Accordingly, the Public Facilities Element of the Specific Plan provides policies and objectives that are intended to ensure adequate provision of essential public facilities and services to support proposed land uses. The proposed public and private facilities are shown on Figure 6-1, Public Facilities Plan. Furthermore, Chapter 8 of the Specific Plan identifies a detailed phasing of these facilities and services consistent with the development of various Specific Plan Subareas as described in Table 8-1.

Educational Facilities

As discussed above, the Rincon Middle School and San Pasqual High School are currently impacted and the Escondido Union School District and Escondido Union High School District have indicated that additional enrollment from the SPA will further impact these facilities. Therefore, fees will be required in accordance with Government Code Section 53080 or Section 65970 prior to issuance of building permits within the Cielo del Norte SPA (Appendix B, School Availability Letters).

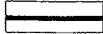
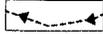
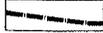
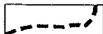
Recreational Facilities

Based on the proposed 154 dwelling units for this SPA, certain park land dedication and/or in-lieu fees will be required by the San Diego County Department of Parks and Recreation. In addition to 4 miles of public trails and a 311-acre preserve proposed by the Specific Plan, 3 private parks with a total acreage of 1.56 acres are to be located within the proposed development subareas. These private parks are intended to provide convenient recreational opportunities to the future residents of Cielo del Norte; conceptual designs for these private parks are depicted in Figures 6-2 and 6-3. The proposed trails are intentionally planned on the existing dirt roads and disturbed habitats to minimize environmental impacts. A portion of the proposed trails also includes an all season crossing over Escondido Creek to connect with the regional trail along Escondido Creek (Figure 5-1 Circulation Plan).

Fire Protection Facilities

The Elfin Forest/Harmony Grove Fire Department will be serving Cielo del Norte SPA primarily from the existing Elfin Forest Fire Station, located on Elfin Forest road approximately ½ mile west of the SPA. According to the Elfin Forest/Harmony Grove Fire Department, additional fire protection facilities are needed to serve Cielo del Norte SPA. As a part of the Specific Plan formulation, an agreement has been executed with the Elfin Forest/Harmony Grove Fire Department to address interim and permanent funding, phasing and improvement of the existing fire station. The agreement will provide for permanent living quarters and upgrade of fire fighting equipment

Legend:

-  Specific Plan Area Boundary
-  Recreational Open Space
Private park for passive and active recreational uses; three areas:
P1=0.48 Ac., P2=0.48 Ac., P3=0.60 Ac.,
Total Acreage: 1.56.
-  Proposed Gravity Sewer Pipe
-  Proposed Forced Main Sewer Pipe
-  PS Sewer Pump Station
-  Proposed Water Pipe
-  PRS #4 Proposed Pressure Reducing Station
-  Proposed 8' wide Public Trail on 20' wide Easement
-  B-1 Proposed Bridge

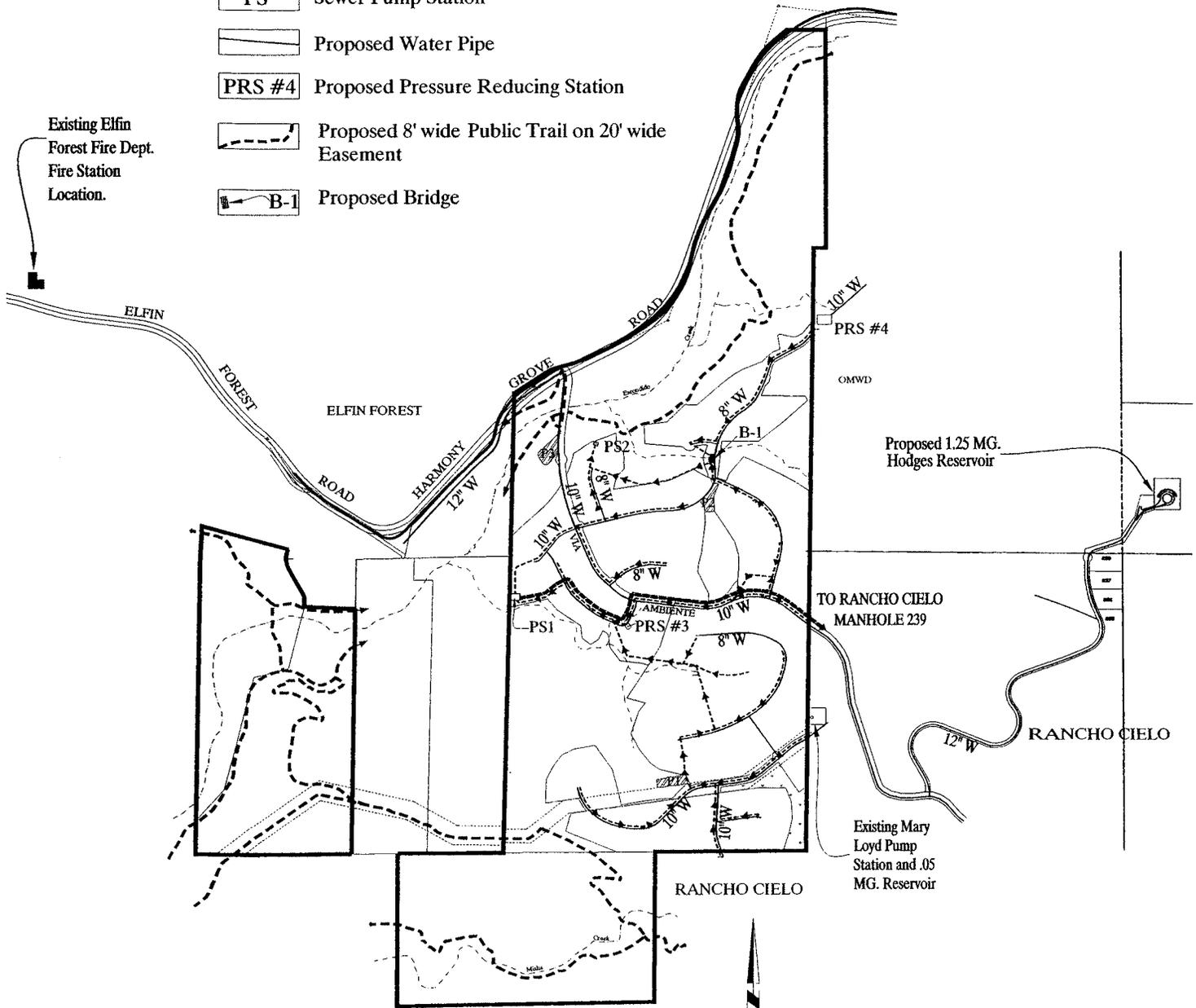


Figure 6-1: Public Facilities Plan

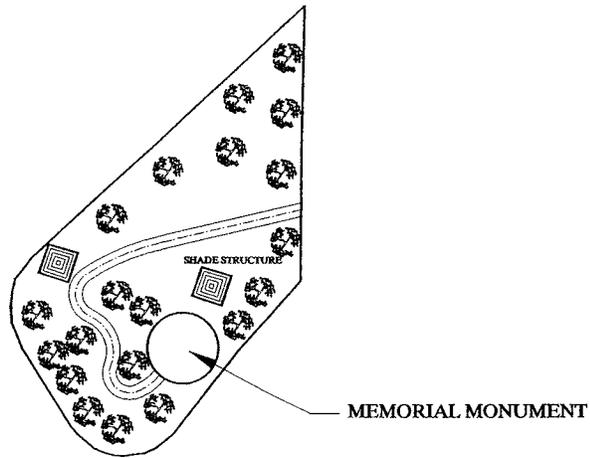


Figure 6-3, Conceptual Site Plan for Memorial Park P3

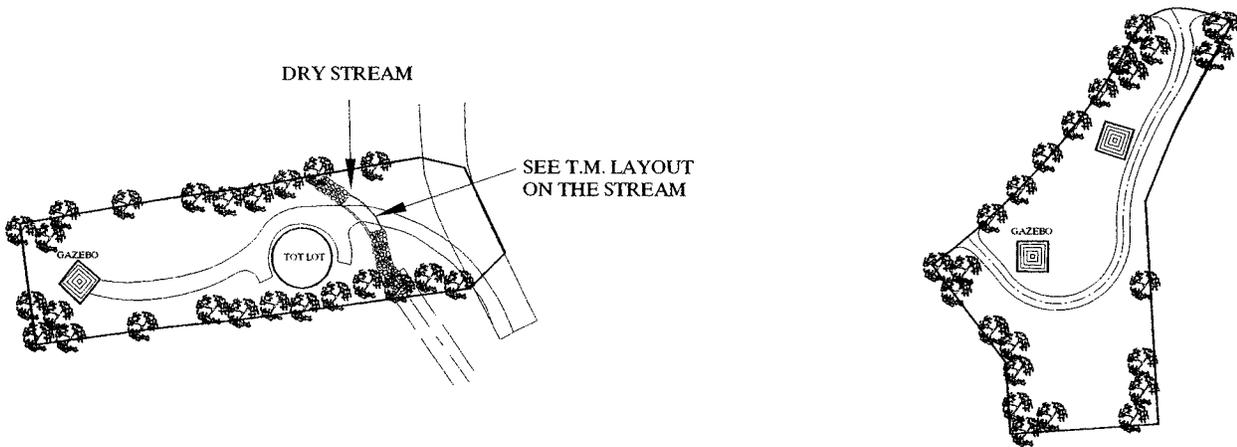


Figure 6-2, Conceptual Site Plan for Private Park P1 & P2

at the existing fire station, allowing for 24-hour, onsite fire protection staff.

During the Specific Plan development, The EFHGFD and County of San Diego's Fire Code Specialist provided detailed fire protection development standards concerning roadway width, secondary access, fuel modification zones, water supply, and fire hydrant spacing. These standards are incorporated in the project design and will be required as part of implementing project permits conditions. The Specific Plan Community Design Element (Chapter 7) includes detailed standards for brush management as required by the County's Fire Code.

These standards require brush clearing and thinning within a 100' fire management zone from the edge of proposed structure to the proposed open space preserves. Upon completion of the proposed fire equipment upgrade and necessary fire station improvements, construction of on-site facilities, and implementation of brush management plan, EFHGFD will be able to serve the proposed land uses within Cielo del Norte SPA (Appendix B, Fire Availability Letter and).

Law Enforcement

According to County's Sheriff's Department, ultimate development of the proposed land uses in the SPA would not significantly alter the law enforcement response times in this area. Therefore, no additional law enforcement facilities are proposed as part of this project.

Water Facilities

The existing water facilities within the Cielo del Norte SPA are inadequate to support the Specific Plan's planned land uses. OMWD has prepared a *Water System Analysis* for Cielo del Norte, which has analyzed the Specific Plan's proposed land uses for peak hour and maximum day plus fire flow demand conditions. The SPA is located within Pressure Zones No. 7 (Gaty Zone) and No. 8 (Berk Zone). Residential development areas southeast of the SPA are above elevation 630' and will be served from Pressure Zone No. 8 via proposed pressure reducing station (PRS No. 1) near the intersection of Paseo Espanada and Via Ambiente. Other development areas will be served directly from Pressure Zone No. 7 via two (2) proposed pressure-reducing stations (PRS No. 2 and PRS No. 3).

According to this report, the minimum required pressure during a maximum day plus fire flow condition is 20 pounds per square inch (psi) in the vicinity of the fire. During the peak hour condition, the minimum desirable pressure is 50 psi; the desirable static pressure range is 80 to 120 psi. Operating pressures during a fire condition have been estimated on the basis of a fire flow demand of 2,500 gallons per minute for developed areas as required by the County of San Diego. Based on the results of the above-mentioned water analysis report, OMWD has determined that with the installation of the required water facilities the SPA can be served during peak hour water demand conditions as well during the maximum water demand day and required fire flow.

As identified by the Water System Analysis report for the SPA, the following water facility improvements

will be required to serve the project. The major facilities include:

- In order to meet the fire flow requirements, Cielo del Norte must construct a 1.25 Million Gallon (MG) off-site reservoir (Hodges Reservoir).
- Cielo del Norte is also required to replace approximately 5,000' of existing 10" steel watermain, which bisects the SPA with a new 10" watermain within the Via Ambiente R-O-W.
- The existing 8" watermain in Harmony Grove road from Elfin Forest Road to Via Ambiente must be replaced with a new 12" water main. This watermain will be reduced to 10" in diameter to connect with the proposed 10" waterline, mentioned above to the existing Maryloyd Reservoir.
- Several Water Pressure Reduction Stations as determined by OMWD.

The proposed Hodges reservoir project is east of the SPA on land owned by OMWD. The potential environmental impacts associated with the construction of the reservoir, access road, site development, and other conveyance facilities have been evaluated as part of the Specific Plan's Environmental Impact Report. With the construction of these major facilities as well as provision of on-site water service facilities as required by OMWD, the SPA can be served by OMWD (Appendix B Water Service Availability Letter).

Wastewater Facilities

According to the OMWD's *Sewer Master Plan (1999)*, the district intends to expand the Sphere of Influence of the Cielo Sanitation District service area to encompass a portion of Cielo del Norte SPA within its existing sanitation district. The western portions of the SPA north of Escondido Creek will be excluded from the district's Sphere of Influence, including a portion of Subarea I of the Specific Plan, which will be served by private sewage disposal service. The district further proposes to abandon previously proposed Rancho Cielo WRF and to treat the sewage at the 4S Ranch Wastewater Treatment Plant (WWTP), which is a facility that OMWD also manages. OMWD is proposing to collect the generated sewage within the sanitation district at the Rancho Cielo Pump Station No. 1 for delivery to the 4S Ranch WWTP.

The master plan has conducted a comprehensive analysis of the wastewater demand for Cielo del Norte; it estimates the sewer generation of the SPA to be approximately 55,800 gallons per day (gpd) of average daily flow. According to the hydraulic analysis by the master plan for the Specific Plan, two sewer pump stations will be required. Pump Station 1 and Pump Station 2 (PS1 & PS2) will be required to serve the sewer demand of the SPA. PS1 estimated capacity is approximately 308,100 gpd peak flow and will discharge to Manhole 239 in the Rancho Cielo SPA. PS2 is a smaller pump station with an estimated capacity of approximately 96,500 gpd peak flow. This pump station will discharge to a sewer manhole within the Cielo del Norte SPA. PS1 will include

sewer flows from approximately 40 dwelling units in Rancho Cielo SPA.

The proposed sewer pump stations within the Cielo del Norte SPA are intended to replace planned pump stations, which were identified as part of the Rancho Cielo Specific Plan. Upon construction of these facilities and other on-site conveyance and collection systems, OMWD will be able to serve the sewer needs of the SPA (Appendix B, Sewer Service Availability Letter).

Storm Water Facilities

The *Clean Water Act* regulates non-point source storm water pollution of the waters of the United States. In California, the State Water Resources Control Board, which issues Construction and Industrial Permits for the discharge of storm water, administers this Act. The State Water Resources Control Board has identified the County as the agency to be responsible for storm water quality in the urbanized areas of the unincorporated areas of the County. The County Department of Public Works will ensure the implementation of the required storm water discharge improvements through the review of implementing permits for the proposed project.

6.3 PUBLIC FACILITIES GOAL, OBJECTIVES AND POLICIES

GOAL

Provide for adequate public services and facilities to accommodate the permitted Specific Plan land uses.

Objective PF-1 *Ensure that educational needs of the future Cielo del Norte residents are met pursuant to the serving school districts requirements.*

Policy

PF-1.1 Prior to approval of building permits, appropriate school fees shall be submitted to Escondido Union and High School Districts for mitigation of school facilities impacts.

Objective PF-2: *Provide private parkland to serve the recreational needs of Cielo del Norte.*

Policy

PF-2.1 Prior to issuance of building permits within various Specific Plan Subareas, the designated private park site within that Subarea shall be granted in fee-title, free of encumbrances, to Cielo del Norte Home Owners Association

Objective PF-3 *Contribute to the overall recreational opportunities in the region through payment of the required parkland in-lieu fees.*

Policy

PF-3.1 Prior to issuance of building permits within the Specific Plan, the required Parkland fee shall be paid to the satisfaction of the Director of Department of Parks and Recreation.

Objective PF-4: *Ensure that adequate fire protection services and facilities are provided concurrent with need.*

Policies

PF-4.1 A funding agreement to improve the existing fire protection facilities shall be required prior to issuance of building permits within the SPA to ensure adequate fire protection to the satisfaction of Elfin Forest/Harmony Grove Fire Department.

PF-4.2 Prior to approval of any Final or Parcel Map, issuance of grading permits or improvement plans in lieu of grading permit or prior to vesting any discretionary permits in the SPA, a Fire Management Plan for the SPA shall be approved by Elfin Forest/Harmony Grove Fire Department and the Director of DPLU. The Fire Management Plan should contain, at a minimum, a fuel management program, and building construction standards for fire protection.

PF-4.3 Sensitive fire suppression (fuel modification) landscape designs should provide necessary protection while striving to maintain the visual and biological integrity of the native plant communities. Buffer areas should be 100' in width from the edge of the natural open space or the minimum width determined by the fire protection agency and the Specific Plan Fire Management Plan, as required by PF-4.2.

Objective PF-5: *Ensure that potable water is available to Cielo del Norte concurrent with need.*

Policies

PF-5.1 Subdivision projects in the SPA shall undergo a hydraulic analysis and pay appropriate capacity fees prior to receiving a potable service

availability letter from OMWD. Payment of all capacity fees, is to be in accordance with District Ordinance 231, or as specifically waived by the District. Potable water will only be furnished by OMWD in accordance with the hydraulic analysis to the satisfaction of OMWD.

PF-5.2 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits within the SPA, potable water service letter commitment shall be obtained from OMWD to ensure adequate provision of water service by the District.

PF-5.3 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits within the SPA, discretionary permit applicants shall be required to provide all fee and easement right-of-way as required for construction of the on-site and off-site facilities pursuant to the Public Facilities Plan and OMWD.

Objective PF-6: *Ensure that wastewater treatment and disposal facilities are provided to serve the planned land uses in the SPA concurrent with need.*

Policies

PF-6.1 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits and any other implementing permit in the SPA, Cielo del Norte SPA shall be annexed to the Rancho Cielo Sanitation District, subject to the approval of LAFCO and OMWD.

PF-6.2 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, subdivision applicants shall obtain sewer service commitment from the OMWD.

Objective PF-7: Ensure that storm water runoff protection measures in the Cielo del Norte Specific Plan Area are incorporated in the design of development projects and constructed concurrent with need.

Policies

PF-7.1 All Discretionary permit projects shall be reviewed by Department of Public Works for conformance with all applicable policies, ordinances and improvement standards for storm water runoff including the County Hydrology Manual Design and Procedures Manual and current floodplain maps.

PF-7.2 Construction and maintenance of all drainage facilities will be responsibility of the property owner or Home Owners Association.

PF-7.3 To minimize erosion and siltation, areas of disturbance during construction should be stabilized as rapidly as possible with non-invasive vegetation. Temporary and permanent erosion and siltation control measures should be installed as necessary to minimize construction and development erosion.

Chapter 7

Community Design Element

7.1 *EXISTING CONDITIONS*

The Cielo del Norte area is characterized by diverse topography featuring rugged, undulating terrain associated with the Escondido Creek valley. However, gently rolling hills and intervening areas of more level terrain characterize the central and southern portions of Cielo del Norte. Dominant landforms include the Escondido/Misha Creek valleys and the Cielo/Del Dios Ridges. The SPA is located on the U.S. Geological Survey 7.5 minute series, Rancho Santa Fe Quadrangle, mainly in Section 12, with portions extending north to Section 36 and south to Section 11. Elevations range from a low of approximately 315 feet above mean sea level (MSL) at Escondido Creek in the southwest to a high of approximately 850 feet above MSL on the ridge above Misha Creek area in the southwestern portion of the site. The steep slope areas are primarily located in the southwestern portion of the SPA at the confluence of Misha Creek and Escondido Creek.

Cielo del Norte has a variety of natural vegetation communities and habitats, including coastal sage scrub, chaparral, wetland habitat associations, and both native and non-native grasslands. The Escondido Creek watershed and Cielo Gorge is the dominant topographic/geomorphic feature of the site. The creek flows through Cielo del Norte on the northern and the western boundary of the SPA to its confluence with Misha Creek in the southwestern portion of the SPA.

San Dieguito Community Plan

There are a number of community design policies that are contained within the San Dieguito Community Plan. These policies address a wide range of design issues such as design/construction quality, signs, existing physical features, landscaping, roads, open space areas, grading, and lighting.

Adjoining Communities

Rancho Cielo SPA surrounds the Cielo del Norte SPA on three sides. The existing development in Rancho Cielo consists of estate and clustered residential lots as well as a small commercial area. The communities of Elfin Forest and Harmony Grove are located to the north and west of the SPA. These communities are largely subdivided and developing with low-density estate and semi-rural residential development. The predominant architectural style in Elfin Forest/Harmony Grove is ranch style and in Rancho Cielo the intended architecture style reflects the Tuscan region of northern Italian countryside.

7.2 *COMMUNITY DESIGN PLAN*

The Community Design Element contains policies that protect existing scenic resources, ensure continued visual compatibility, and promote a cohesive community design theme for all common areas, including streets, parks, entries, and open space areas. This element of the Cielo del Norte Specific Plan promotes the creation of a visually unified and attractive community that preserves and enhances the natural resources, and maintains the unique visual features of this area. The Community Design Element addresses the following objectives:

- Preservation of the scenic qualities of the Escondido Creek viewsheds;
- Preservation of the scenic qualities of the adjoining communities of Rancho Cielo, Elfin Forest and Harmony Grove viewsheds through application of “D” Special Area designator, related to potential visual impacts of the SPA (Figure 7-1, Special Area Designator Map);
- Design parameters for all common areas to establish project design consistency among the various subareas (neighborhoods) of the SPA, including streetscapes, entries, and landscaping;
- Design policies addressing a wide range of community design issues such as trails, roads, open space areas, signage, and lighting;
- Design standards to minimize encroachment of development on steep slope lands within development areas through implementation of “D1” Special Area Designator, related to steep slope encroachment criteria as part of the Resource Protection Ordinance (Figure 7-1).

The Community Design Element includes Community Design Guidelines, which address visual quality aspects of the proposed common areas, including streetscapes, entry treatments, pedestrian circulation, lighting, signs, and landscaping. The guidelines are to be considered in the review of discretionary permits for development projects within the SPA, specifically subdivisions. Additionally, as stated above Site Plan review will be required for development areas within steep slopes and sensitive viewsheds as described herein and Chapter 8, Development Program.

7.3 COMMUNITY DESIGN GUIDELINES

The Community Design Guidelines are intended to promote the creation of a visually unified and attractive community that protects, preserves, maintains, and enhances the natural resources, intrinsic natural beauty, quality of life, and community character of the Cielo del Norte SPA.

Streetscape Plan

As indicated on Figure 7-2, Streetscape Plan all private roads shall conform to an overall design theme in the Cielo del Norte SPA. Representative plans and sections of community and neighborhood entries are conceptually depicted in Figures 7-3 and 7-4. Private streets shall include landscaping, decomposed granite walks, and bike lanes and/or trails consistent with the road standards as specified in the Circulation Plan (Chapter 5) and the existing natural character of the Cielo del Norte SPA.

The Via Ambiente bridge crossing of the Escondido Creek is a major design concern for this area. The bridge design and lighting must be carefully considered for its visual sensitivity to the surrounding environment and communities. Road improvements including landscaping shall be designed and located to complement the existing natural topography, to lessen any necessary grading alterations, and to protect and enhance existing view opportunities. Primary Theme Roads shall incorporate continuous design and landscaping elements that accommodate all modes of circulation comfortably.

Legend:

-  25' Contours
-  Specific Plan Area Boundary
-  Subarea Boundary
-  Site Plan Review Required for Steep Slope and Visual Sensitive Development Areas

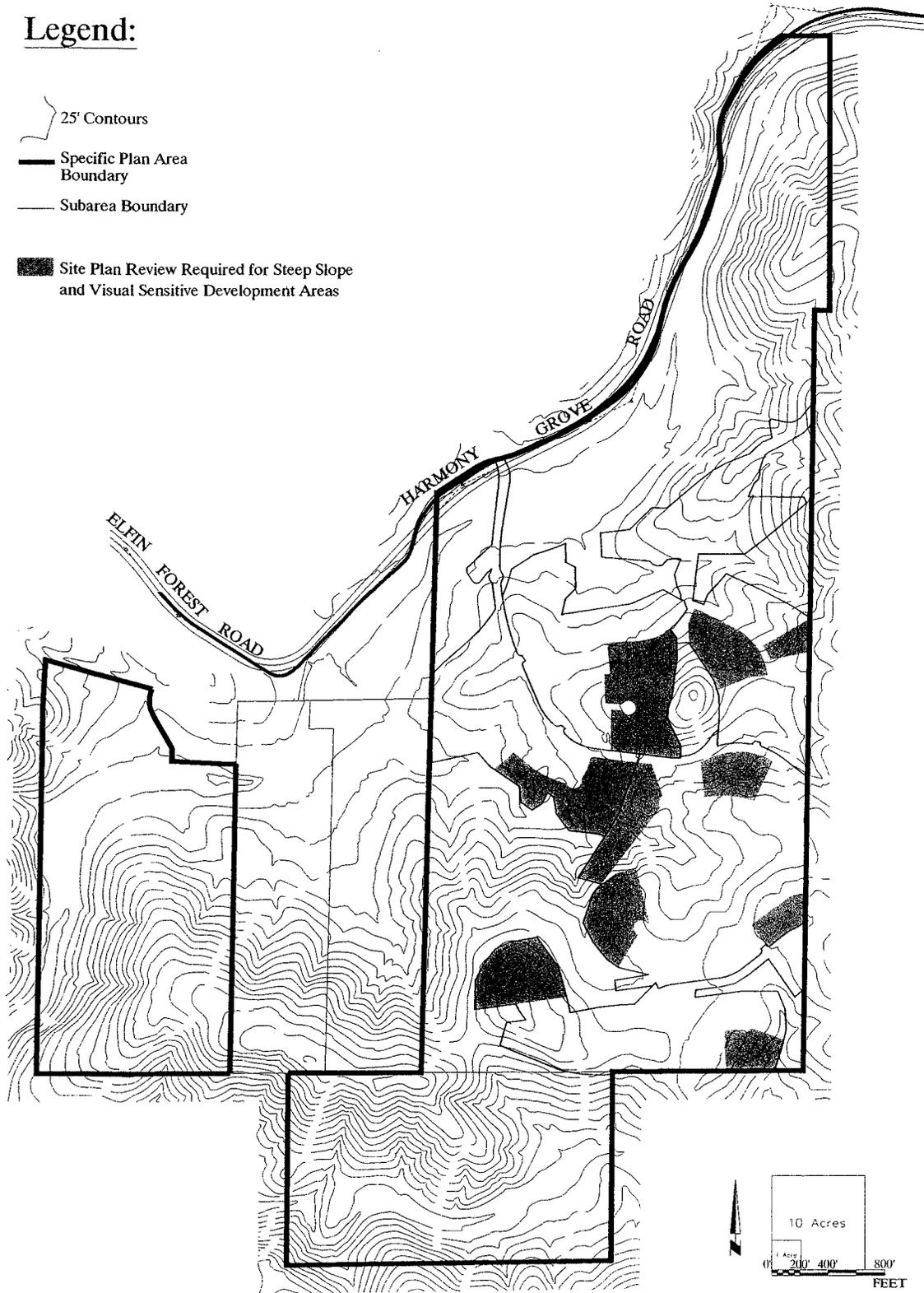


Figure 7-1: Special area Designator Map

Legend:

- Private Gate
- Specific Plan Area Boundary
- Subarea Boundary
- - - River and Streams
- Community Entry
- Neighborhood Entry
- ▭ Primary Theme Roads (Via Ambiente)
- ▭ Secondary Theme Roads

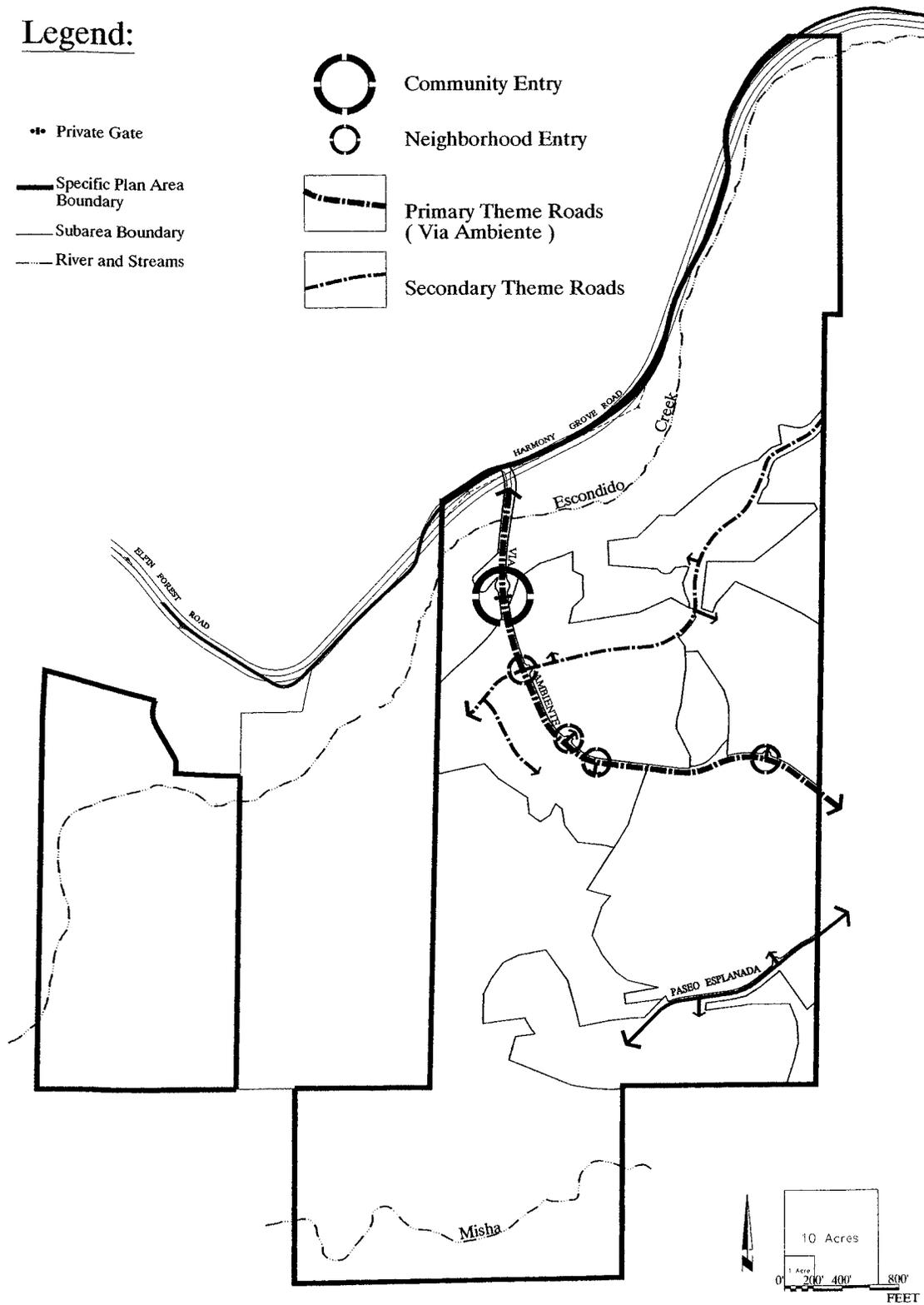


Figure 7-2: Streetscape Plan

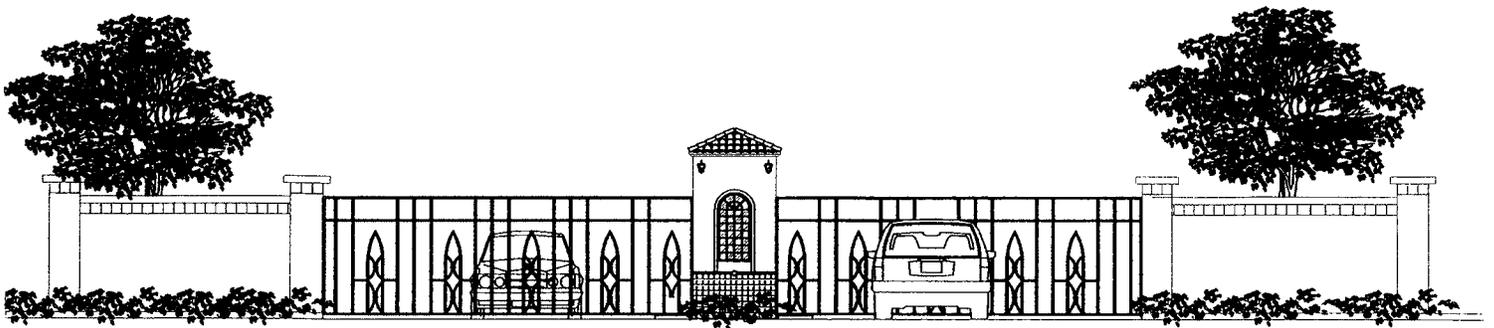
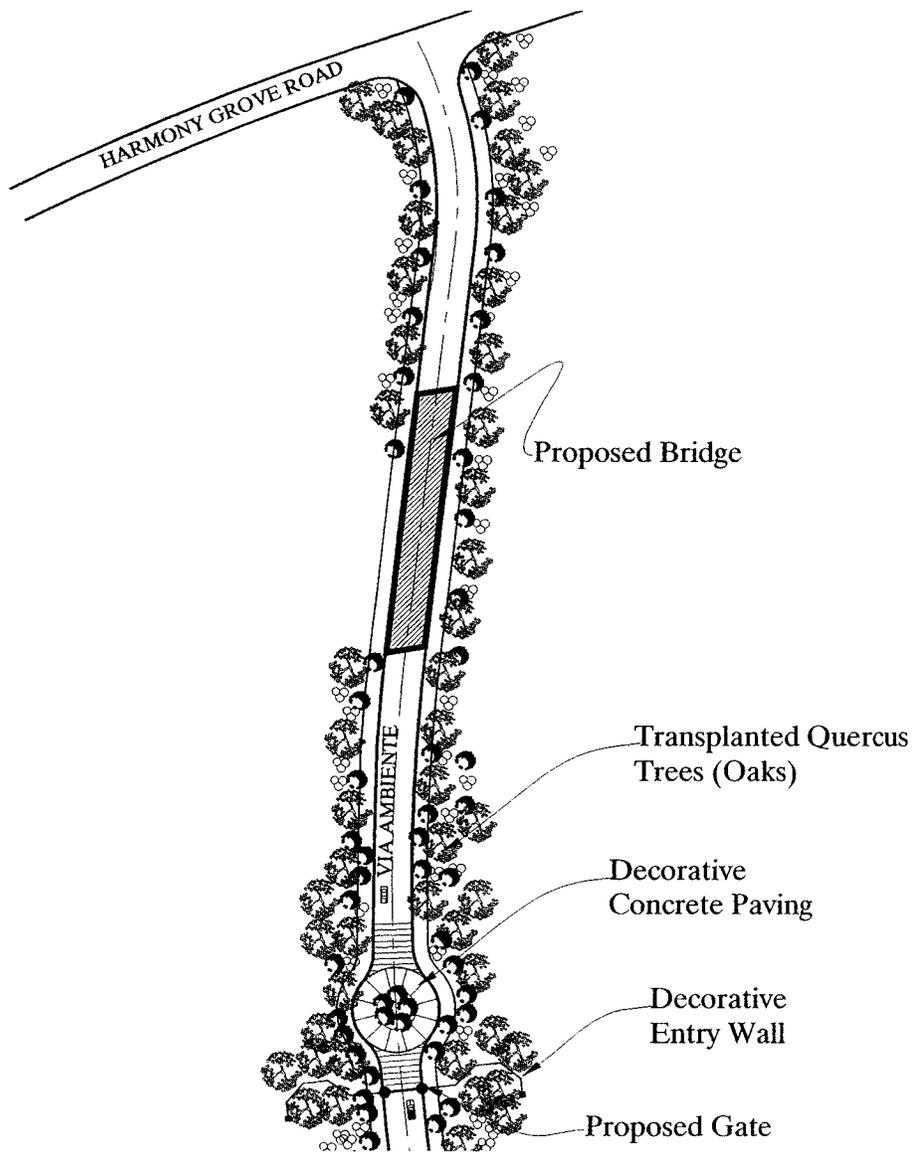


Figure 7-3: Community Entry Plan & Section.

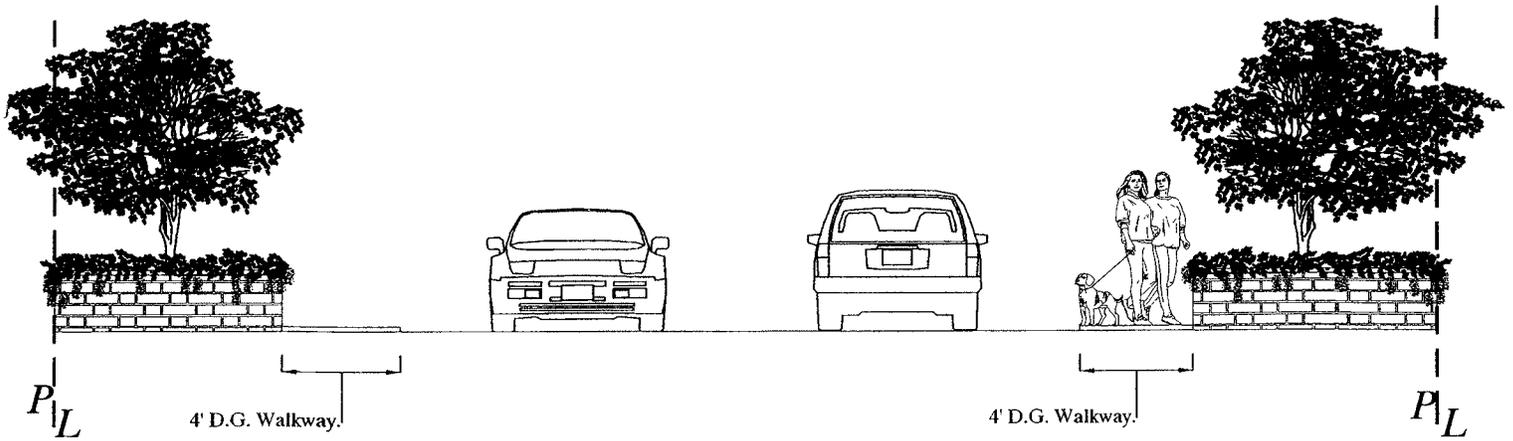
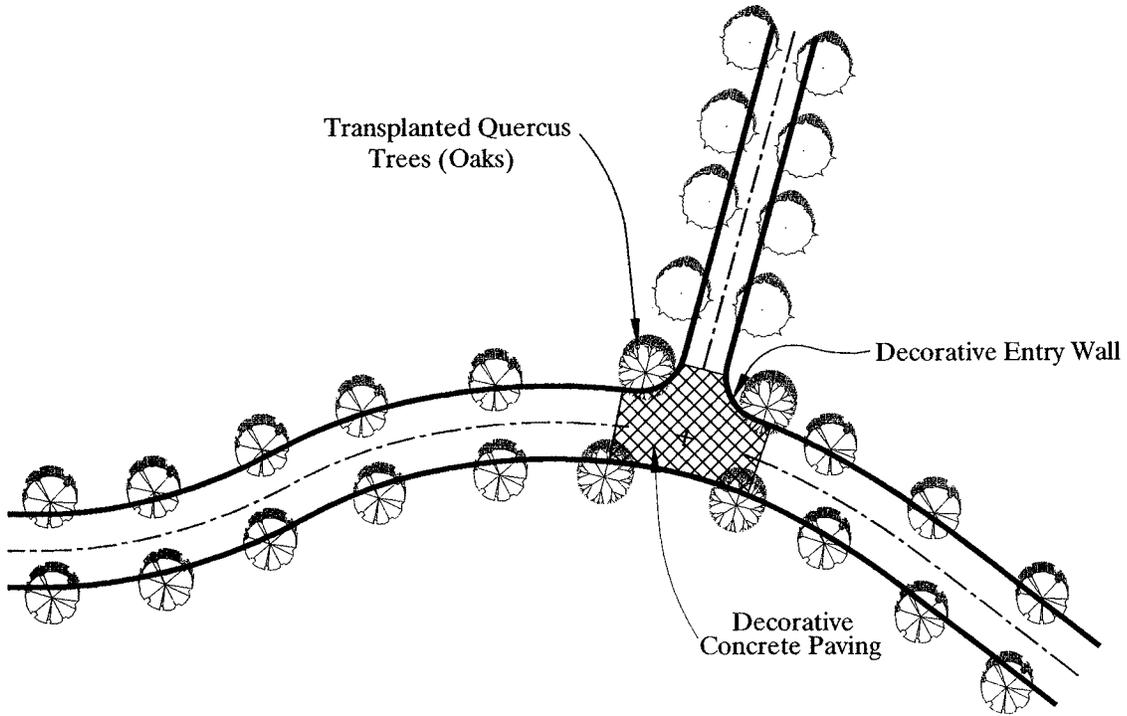


Figure 7-4: Neighborhood Entry Plan & Section.

All of the following streetscape elements shall be designed in Primary Theme Roads:

- Vehicular circulation lanes;
- Bike lanes;
- Pedestrian walkways;
- Parkway plantings;
- Traffic control devices;
- Street safety lighting;
- Entry treatments where applicable.

Pedestrian comfort is to be emphasized by providing shade tree canopies and appropriate street furnishings. Placement of monotonous and impersonal walls along Specific Plan Theme Roads shall be avoided. Where walls are unavoidable, particular attention must be given to a comfortable pedestrian scale, and to the provision of pilasters, plan offsets and landscaping to relieve visual monotony. Landscape palettes for Primary Theme Roads are included in the Landscaping Guidelines

Entry Treatments

If proposed, entry treatments shall be placed where shown on Figure 7-2, Streetscape Plan. Entries shall generally be understated, consisting of low walls, pilasters, enhanced paving, indirect lighting, landscaping, and street furniture.

Community Entry

Gated entrance shall incorporate monument signage and landscaping that is compatible with the open, natural landscape character. Typical gateway entry elevations are shown in Figure 7-3.

Low profile pilasters with stone cladding are recommended. The pilasters shall be interwoven with low profile walls unifying the entry into a cohesive design statement. Plaques naming the project shall be constructed of bronze or similar materials. A grove of specimen trees with a distinctive form shall spatially define the entries, with Coast Live Oaks and Fruitless Olive trees as a backdrop planting. The entry median shall be provided with additional planting of a specimen tree with a distinctive form. The scale of these entries shall complement the prominence of the main entry.

Neighborhood Entries

Development projects that include neighborhood entries shall include refined landscape treatment, monuments, and signage to establish neighborhood character and identity, while maintaining a consistent community design theme for transition from collector to residential streets and walkways. Typical neighborhood entry plan are shown in Figure 7-4. Low profile pilasters with stone cladding shall mark these entries. Plaques of bronze or similar materials shall identify the individual neighborhoods. Groves of specimen trees with a distinctive form shall be framed with Coast Live Oak trees as a theme backdrop planting.

Non- Vehicular Circulation

The planned pedestrian circulation network, as shown in the Circulation Element of the Specific Plan (Chapter 5) shall provide the space and alignment for adequate walkways necessary to encourage pedestrian movement and connect planned neighborhoods in the SPA.

Site Lighting

Heights, materials, colors, and configuration of lighting fixtures/standards shall be selected to blend with the natural backdrop to the extent practical. Outdoor lighting shall be energy-efficient, shielded and screened to prevent direct rays from reaching adjacent properties. Minimum exterior lighting shall be provided only to enhance the safety and security of motorists, pedestrians and cyclists, consistent with County standards.

At the Community and Neighborhood Entrees lighting fixtures shall complement entry design. Unique accent lighting may be used to feature architectural elements, landscaping, entrances and pedestrian areas. However, if proposed in the visually sensitive areas, such treatments shall be minimized and carefully controlled.

Landscaping

The Specific Plan landscape theme is meant to create a unified community reminiscent of both native and recent historical landscape traditions. This ornamental landscape theme will be created by the use of consistent introduced drought tolerant planting and landscape elements within the overall native landscape setting of the SPA. An informal Coast Live Oak and California Pepper tree theme shall be supported by informal shrub massing (see Planting Palette). Stands of riparian tree species shall be emphasized within the natural riparian areas. Approximately 15 existing Coast Live Oak trees within the development area shall be boxed and maintained for use at entry areas and selected project sites. Development projects shall include consideration of the following:

Native Vegetation: Existing mature, native trees and shrubs, natural rock outcroppings, and riparian areas shall be preserved. Indigenous vegetation shall be emphasized in the landscape concept. Ornamental drought-tolerant plantings, which fit well with these vegetation types, may also be utilized but shall be limited to transition areas.

Vegetation Removal: Structures and improvements shall be located so as to minimize the removal of existing trees and vegetation.

Revegetation: Vegetation disturbed as a result of grading shall be replanted and irrigated. Revegetation programs shall try to use native species for reseeded as a first choice. Only if this is unavailable shall revegetation programs use "non-reseeding" species to hold soil until native vegetation can be established to allow the biological community to naturally reclaim slopes and protect the slopes from erosion.

Invasive Species: Invasive species *Cortaderia* spp. (Pampas grass) and *Arundo donax* (Giant reed) shall not be used in any landscaping or revegetation in the SPA.

Planting on Slopes: Planting along the slope side of development shall be designed to allow controlled views out, yet partially screen and soften architecture. Tree species type and placement shall be chosen such that the tree(s) is capable of exceeding the height of the top of the slope.

Transition Areas: Landscaping shall make a gradual transition from ornamental to native vegetation. Planting plans shall be visually sensitive to the use of plant materials in the transition zone, which

complement and harmonize in color and massing with the plant materials in both the irrigated ornamental and non-irrigated natural areas.

Fire Suppression Zones: Sensitive fire suppression (fuel modification) landscape designs shall provide necessary protection while striving to maintain the visual and biological integrity of the native plant communities. Buffer areas shall be limited to the minimum determined by the fire protection agency and the Specific Plan Fire Management Plan.

Irrigation: Irrigation systems shall be water-efficient and emphasize the use of drip emitters, bubblers, and low-precipitation spray heads. An automatic controller shall be installed with all irrigation systems. All planting except for existing native vegetation shall be adequately irrigated and maintained to ensure viability. Lawn and shrub irrigation systems shall be separate. Avoid the use of sprinkler heads to cover both shrubs/ground cover and lawns simultaneously. All street trees shall be automatically irrigated.

Street Tree Planting: Street trees shall be related to the classification of the street (see Figure 7-2, Streetscape Plan):

- a. *Primary Theme Roads:* Large informal shade trees provide the best continuity and interest along longer collector streets. These streets shall have a single species of street tree, such as *Schinus molle* (California Pepper)
- b. *Secondary Theme Roads:* Each residential streetscape shall have an identifiable street tree planting giving each neighborhood a distinctive look.

c. *Landscape Edge Zones:* Landscape edge zones are defined as the parkway and setback from any Theme Roads and shall include all visible slopes from these roads. Design of these areas shall consider the following:

- The landscape theme and palette at edge zones shall be compatible with the community-wide theme while allowing variety to be expressed for individual project landscape palettes;
- The overriding landscape concept is to create an informal, attractive landscape buffer along roads and trails. Consideration must be given at all times to the presentation and enhancement of views, and landscape softening of residential areas;
- Monumentation, textured paving, flowering accents, shrubs and specimen trees shall be used to generate interest at entry points;
- Vegetation indigenous to the area shall be emphasized in the landscape concept; ornamental drought-tolerant plantings that fit well with these vegetative types shall also be utilized;
- Utility fixtures shall be located and screened with landscaping in order to reduce their visual impact in the community;
- The planting along the Theme Roads shall have a feeling of continuity from start to finish.

All landscaping shall be planted in informal groupings with an emphasis upon reflecting the natural character. Landscaping shall reinforce the form of the land,

employing mounding and rounded plant forms when appropriate. Vegetation of varying heights and textures shall be placed along perimeter walls and fences to soften hard planes by creating interest and variety.

Planting Palette

Drought tolerant, deer tolerant, and native species shall be used wherever possible to minimize water usage and maintain the natural shape and rural character of the environment. The following is a general representation of the type and range of plantings, which are defined in the landscape concept. While not inclusive or exclusive, the plants represented define the intent of planting within the community of Cielo del Norte:

Entry Treatment Areas

- Olea Europaea “Swan Hill” (Fruitless Olive)
- Pinus Species (Pine)
- Platanus Acerifolia (London Plane Tree)
- Quercus agrifolia (Coast Live Oak)
- Rhus Lancea (African Sumac)

Primary Theme Roads

- Cinnamomum Camphora (Camphor Tree)
- Rhus Lancea (African Sumac)
- Schinus molle (California Pepper)
- Tristania Conferta (Brisbane Box)

Secondary Theme Roads

- Arbutus Unedo (Starwberry Tree)
- Heteromeles Arbutifolia (Toyon)
- Jacaranda mimosifolia (Jacaranda)
- Lagerstroemia indica (Crape Myrtle)
- Pyrus Calleryana “Bradford” (Braford Pear)

Site Plan Review

The Specific Plan designates certain areas within the SPA with the “D” Special Area Designator. The purpose of the “D” designator is to require a Site Plan review prior to approval of building permits for residential lots that contain steep slopes, as defined by the County’s Resource Protection Ordinance and/or are within visually significant areas. The intent of the “D” designator Site Plan review is to minimize grading encroachment into steep slopes within the individual lots and to reduce the potential visual impact to the existing Harmony Grove and Elfin Forest communities.

7.4 COMMUNITY DESIGN GOAL, OBJECTIVES AND POLICIES

Goal

Create and maintain a high quality image for Cielo del Norte Specific Plan Area, while ensuring the visual compatibility of future development in the SPA with the existing aesthetic quality of surrounding communities and natural environment.

Objective CD-1: Ensure a distinctive image through high quality landscape design in Cielo del Norte SPA.

Policies

CD-1.1 All subdivision applications shall be subject to the Community Design Guidelines, Section 7.3 of this element except as provided in Policy CD-1.2.

CD-1.2 Only the Primary and Secondary Theme roads identified on Figure 7-1, Streetscape Plan are subject to the Streetscape design guidelines of the Community Design Guidelines through the review of subdivision applications to enhance the identity and image of Cielo del Norte as viewed from the public and private roads.

CD-1.3 Private roads and access control gates shall be maintained by homeowners association, or like entity, through an Administrative Permit.

CD-1.4 All development shall comply with the County's Dark Sky Ordinance and the San Dieguito Community Plan's Dark Sky Policies 1-4.

Objective CD-2: Preserve visual landscape values and areas of special scenic beauty within the viewsheds of the Elfin Forest, Harmony Grove, Rancho Cielo and the trail corridor along the Escondido Creek in the SPA.

Policies

CD-2.1 Sensitive hillsides and ridgelines within the SPA shall be preserved as permanent open space areas, in accordance with the Resource Protection Ordinance and only allowing essential public facilities, trails, and emergency access roads.

CD-2.2 Certain areas within the proposed development area of the SPA, as shown in Figure 7-1, shall be zoned with the "D" Special Area Regulations Designators. Development in these areas shall be subject to site plan review, consistent with the Community Design Guidelines and Site Plan review standards. Additional information regarding the Site

Plan review submittal requirement is contained in Chapter 8, Development Program of the Specific Plan.

Chapter 8

Development Program

8.1 DEVELOPMENT PHASING

In order to minimize the impacts of new development in the SPA on existing and planned public and private facilities and services, development is to be phased with the level of available services. Based on coordination with various service provider agencies there are significant public and private facility improvements required for the ultimate buildout of the SPA. The most critical aspect of development phasing in the SPA is availability of water, sewer, and fire protection services to support Specific Plan land uses. The phasing plan also intends to minimize the potential visual impacts of the SPA through phased grading and recordation of various Specific Plan Subareas (subdivision units).

The Specific Plan Development Program establishes a phasing strategy that regulates the extent and location of development based on the ability of infrastructure and community facilities to adequately support and serve a particular Subarea. Therefore, Specific Plan development phases (Subarea I-V) are defined through allocated dwelling units that have been coordinated with needed infrastructure and facility improvements. The identified improvements are the minimum requirements necessary to support a development phase as identified by various service provider agencies, as described in the Specific Plan's Community Facilities Element (Chapter 6).

Phasing Strategy

The Cielo del Norte Phasing Strategy requires that each development unit (Specific Plan Subarea) to improve certain facilities concurrent with the development of that particular Subarea, as described in Table 8-1, Development Phasing Strategy. This phasing strategy has been developed based on specific land use thresholds expressed as range of dwelling units that can be supported by specific improvement requirements associated with each development unit. Therefore, the circulation and community facility improvements, listed in Table 8-1, must be provided prior to permitting the land uses listed under Land Use Threshold column. Based on the rate, location, and nature of proposed development in the SPA, the County of San Diego will condition each unit of the proposed Tentative Map to improve/provide these major facilities prior to phased recordation of the Final Map. The improvements necessary to implement the Specific Plan include:

- 1.25 MG Hodges Water reservoir
- 12" and 10" watermain pipelines
- 4 water pressure reduction stations (PRS)
- Two sewer pump stations (PS)
- Gravity and force sewer main improvements
- Expansion of the Elfin Forest Fire Station
- Private road improvements
- Drainage improvements
- 3 private park improvement (P)
- 2 Private bridge construction
- 4 miles of public trail improvements

Table 8-1: Development Phasing Strategy

Units¹	Land Use Threshold	Circulation System Improvements²	Community Facility Improvements & Open Space Dedication³
I	Up to 32 dwelling units on 30.55 acres of land	Improvement of the western extension of Paseo Esplanada) to serve this unit and associated drainage improvements. Contribution of off-site circulation improvements, in accordance to EIR mitigation requirements.	Improve PS1, PRS1, drainage facilities, and Initial funding contribution to upgrade Elfin Forest Fire Station.
II	Up to 45 dwelling units on 49.48 acres of land	Improvement of Paseo Esplanada to serve this unit and associated drainage improvements. Contribution of off-site circulation improvements, in accordance to EIR mitigation requirements.	Improve PS1, PRS1, and P1. Additional funding to upgrade the Elfin Forest Fire Station (or payment of additional fees if not the first unit).
III	Up to 21 dwelling units on 25.79 acres of land	Improvement of Via Ambiente from its current graded width to its ultimate buildout and associated drainage improvements. Contribution of off-site circulation improvement, in accordance to EIR mitigation requirements.	Construct Hodges water reservoir (if prior to Unit I, II, IV, and V) improve PS2, PRS3, and drainage improvement. Additional funding to upgrade the Elfin Forest Fire Station (or payment of additional fees if not the first unit).
IV	Up to 29 dwelling units on 27.83 acres of land	Completion of private roads and associated drainage improvements, construction of bridge no. 1. Contribution of off-site circulation improvements, in accordance to EIR mitigation requirements.	Construct Hodges water reservoir (if prior to Unit I, II, III, and V). Improve P21, and PRS3. Additional funding to upgrade the Elfin Forest Fire Station (or payment of additional fees if not the first unit).
V	Up to 27 dwelling units on 34.12 acres of land	Completion of private roads and associated drainage improvements. Contribution of off-site circulation improvements, in accordance to EIR mitigation requirements.	Construct Hodges water reservoir (if prior to Unit I, II, III, & IV). Improve PS1, and PRS2. Additional funding to upgrade the Elfin Forest Fire Station (or payment of additional fees if not the first unit).

Notes

1. The proposed development units (Specific Plan Subareas) may be recorded, regardless of numerical sequence, as long as the required improvement conditions are met.
2. Circulation improvements refer to private streets standards.
3. Dedication of the entire Open Space lands shall occur with the recording of the first unit.

8.2 DEVELOPMENT

APPROVALS REQUIRED

The Specific Plan implementation requirements are based on the regulatory provisions of the County's Zoning Ordinance. These provisions apply to all areas of the Cielo del Norte SPA. The use of all land in the Cielo del Norte SPA and any buildings or structures located upon this land and the construction, reconstruction, alteration, expansion, or relocation of any building, structure or use upon the land, should conform to the applicable regulatory provisions contained herein and the San Diego County Zoning Ordinance. The development approvals required in the Specific Plan are intended to allow for consistent implementation of goals, objectives, and policies as contained in the Conservation and Open Space, Land Use, Circulation, Public Facilities, and Community Design Elements (Chapters 3-7).

Zoning Reclassifications

Currently the 482-acre Cielo del Norte is zoned with various Use Regulations. In order to implement the provisions of the Specific Plan Elements, the existing zones must be reclassified in certain areas of the SPA. Figure 8-2, Generalized Zone Reclassification Map, describes the proposed zone reclassifications. These areas include:

- Residential areas from RR1, RV, RMH, and A70 to S88 (Specific Planning Area) Use regulations with a residential density of 2 dwelling units per acre and a minimum lot size of ½ acre.

- Open space areas from RR, RV, RMH, and A70, Use Regulations to S88 (Specific Planning Area) Use Regulations with no residential density and a minimum lot size of 2 acres.

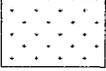
Figure 8-1, Generalized Zoning Map, depicts the location of SPA zones in relation to existing parcels, open space, and development areas. This map is for informational purposes only. Detailed zoning maps are available in the offices of DPLU.

Development Review Process

There are several steps in the review of development within the Cielo del Norte SPA prior to actual construction of common areas and single-family residences. Depending on the nature of proposed development, one or more of the following review procedures would apply:

Subdivision Maps: Includes discretionary review of proposed land subdivision and grading, which may result in conditional approval of Tentative Map (major subdivision, creating more than four lots) or Tentative Parcel Map (minor subdivision creating four or fewer lots). The purpose of the Tentative Map and Tentative Parcel Map is to show the design and improvements of a proposed major or minor subdivision and the existing conditions in and around the project. Upon compliance with the conditions of an approved Tentative Map or Tentative Parcel Map, a Final Map or a Parcel Map may be recorded, allowing creation of individual lots within the 6 Subareas of the Specific Plan.

Legend:

-  S-88 : Estate Residential (2 Dwelling Units Per Acre)
-  S88 : Recreational Open Space (Park Areas)
-  S88 : Open Space (Preserved and Trails)



0' 1,000' 2,000' FEET

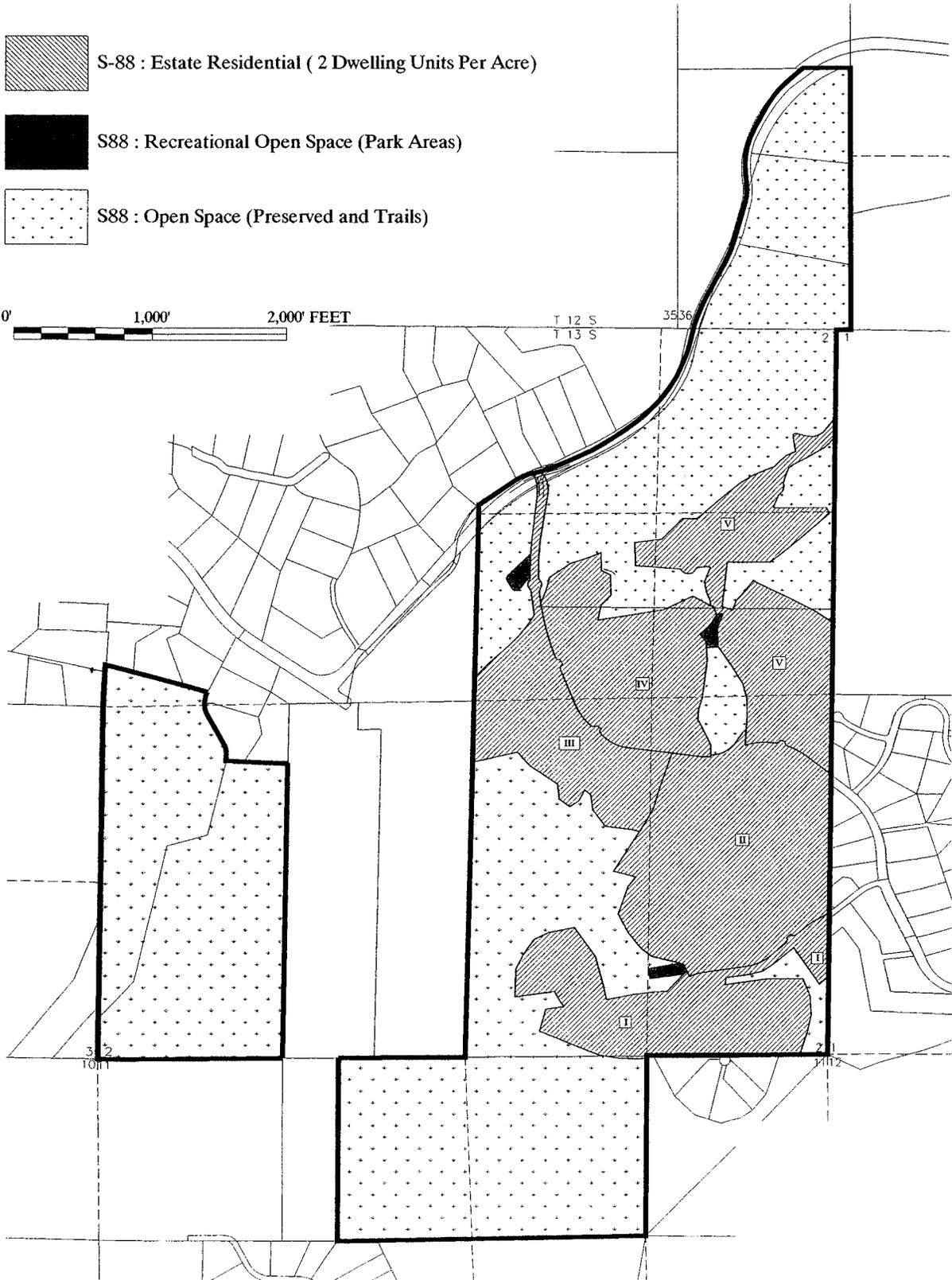


Figure 8-1: Generalized Zoning Map

Site Plan Review: A procedure, where documents containing sketches, text, drawings and maps present certain elements of a proposed development. This could include physical design, siting of buildings and structures, interior vehicular access, provision of improvements, and the interrelationship of these elements. The discretionary Site Plan review will be required per D Designator.

Administrative Permit Review: Typically, this discretionary permit is intended to be utilized in situations where the public welfare does not require a public hearing prior to granting approval for uses and structures having only minor potential adverse impact on surrounding areas. Administrative Permits may also establish entities that provide for long-term maintenance of common uses or areas, such as homeowners associations.

Grading Permit Review: Pursuant to the County's Grading Ordinance, grading in Cielo del Norte is subject to grading review. This review may result in approval of minor grading permits, generally defined as proposed grading that does not exceed 5,000 cubic yards or a major grading permit, which exceeds 5,000 cubic yards. Submittals of grading plans are required for both minor and major grading permits.

Building Permit Review: This process includes plan checks of construction documents for buildings and structures that are required to obtain a building permit. The ministerial building permit review results in the issuance of a Building Permit. Typically Building Permits are applied by individual home owner for a particular lot and/or for a group of lots by a home builder.

8.3 PROPOSED USES

The Cielo del Norte Specific Plan Generalized Zoning Map depicts generalized zoning districts. The zoning districts include Special Purpose Regulations and Residential Use Regulations (Figure 8-1 Generalized Zoning Map). The precise Specific Plan Zoning Maps are available at the County of San Diego DPLU. The Cielo del Norte Specific Plan includes the following zones:

Open Space Preserve: The Cielo del Norte Specific Plan Generalized Zoning Map designates approximately 311 acres of Open Space areas as S88 (Specific Planning Area) Use Regulations, which does not allow any residential development. This zone applies to lands that are intended to be preserved and maintained as permanent open space. No development is allowed within these areas except as identified in Policy CO-1.1. Also, recreational trails are permitted to be constructed in the Open Space areas. As part of Tentative Map(s), and/or Tentative Parcel Map(s) an open space easement over the areas designated Open Space shall be granted to the County of San Diego unless these areas have previously been conveyed to the County of San Diego. The ownership of most of the Open Space areas is intended to be transferred to the County of San Diego or a habitat management agency acceptable to the Director of DPLU, concurrent with or prior to the recordation of the Final Map(s), and/or Parcel Map(s) unless a conveyance to a habitat management agency acceptable to DPLU has previously occurred.

Recreational Open Space: The Specific Plan designates approximately 1.56 acres as Recreational

Open Space. These areas are zoned as S88 (Specific Planning Area) Use Regulations that does not allow any residential development and only allows private recreational uses. This zone consists of two private play park areas (P1-P4) to serve the individual neighborhoods within the SPA. The proposed private parks are planned to be owned and maintained by the Cielo del Norte Home Owners Association.

Pump Stations: As part of Cielo del Norte’s wastewater treatment system, Specific Plan designates approximately 0.055 acre of land as S88 (Specific Planning Area) Use Regulations, prohibiting residential uses and only allowing sewer pump stations (PS1 and PS2). The pump station sites are proposed to be dedicated in fee title to OMWD, the purveyor of sewer service in the SPA. The exact locations of these sites have been determined based on the recently completed OMWD Sewer Master Plan.

Residential: Cielo del Norte Specific Plan designates approximately 145 acres as S88 (Specific Planning Area) Use Regulation, allowing two dwelling units per acre residential density with ½ acre minimum lot size. The application of this zone will allow for development of a total of 154 single-family lots within the Cielo del Norte SPA.

8.4 SPECIAL AREA DESIGNATOR

Site Plan review and approval will be required for certain areas as identified by Figure 7-1, Special Area Designator Map. The Site Plan review is implemented through application of the “D” Special

Area Designator. The objective of the D designator is to minimize the impact of development on existing steep slope lands and minimize the potential visual impacts of the proposed residential uses within the visually sensitive areas, as viewed from the surrounding communities of Elfin Forest and Harmony Grove within the SPA. Development applications (building or grading permits) within the D Designator areas are required to submit a comprehensive Site Plan for review and approval prior to issuance of permits and construction. Site Plan submittal package shall include:

- Existing topography and photos of the current site conditions.
- Proposed Grading and Drainage Plan;
- Detailed Plot Plan showing all proposed structures, driveways, walls, fences, etc.;
- Detailed Landscape Plan;
- Architectural elevations and perspectives;
- Cross sections of the site and structures at its most visible location;
- Photo-simulation of the developed site.

Chapter 9

General Plan Conformance

9.1 GENERAL PLAN AMENDMENT REPORT

The San Dieguito Community Plan designates the 482-acre Cielo del Norte project area as: (17) Estate Residential, (18) Multiple Rural Use, (21) Specific Planning Area, and (24) Impact Sensitive. The proposed General Plan Amendment (GPA) consists of an amendment to the San Dieguito Community Plan designating this project as (21) Specific Planning Area. The proposed Cielo del Norte (21) Specific Plan's land use density and intensity is consistent with the existing allocation of planned single family residential land use for this area, as provided by aforementioned General Plan Land Use Designations (Figure 1-3, Existing & proposed General Plan Land Use Designation Map).

Merits of the Proposal

There are a number of potential public benefits associated with the approval of the proposed amendment. The following is a summary description of these potential benefits:

Open Space Preservation

The proposed project allows for the preservation of approximately 311 acres or 65% of the entire project site as permanent open space. The proposed open space preserve includes approximately 7.06 acres of

selective thinning of native vegetation that is necessary to ensure a safe brush management buffer area between the proposed home sites and the open space preservation area. The open space conservation area is proposed to be included as part of the regional open space system. The ownership of a significant portion of the open space preserve is to be transferred to the Escondido Creek Conservancy or other habitat management agencies, acceptable to the County of San Diego for permanent protection and preservation of these lands. The location of the proposed open space preserve has been closely coordinated with the State, Federal, and County resources agencies to ensure permanent protection and inclusion in the regional wildlife corridor and habitat preserve system. As part of the open space planning for this project a Habitat Management Plan will be required to address long-term management, enhancement, and maintenance of the proposed preserve.

Land Use Compatibility

The planned residential densities adjacent to the south and east of the project site are approximately 1-3 dwelling units per acre as allocated by the Rancho Cielo Specific Plan. Existing larger estate residential development within the Elfin Forest community comprises of 1 dwelling unit per 2, 4, and 8 acres. However, based on the natural topography, drainage, and soil conditions (septic fields) the existing homes within Elfin Forest community are located within closer proximity of each other on the more level portion of individual parcels. Currently, there are many undeveloped parcels of land in Elfin Forest and Harmony Grove that do not contain the planned single-family homes. Once these parcels are developed, the Elfin Forest community will transition

into an estate community rather than the currently perceived semi-rural area. It should be noted that almost all of the existing legal parcels in these communities have been created through the subdivision process, requiring dedication of conservation and steep slope easements. Therefore, the current development pattern for the majority of this community is actually clustering the homes on the most developable portion of the individual parcels, regardless of legal parcel size.

Notwithstanding the above, the proposed project designates a significant open space corridor within the Cielo del Norte in between the proposed development area and the Elfin Forest/Harmony Grove communities along the Escondido Creek. Moreover, the existing RMH3 (Residential Mobile Home zoning with 3 dwelling units per acre) is proposed to be reclassified to open space and S88 (2 dwelling units per acre) zoning. The proposed overall residential densities of the project is one dwelling units per 3 acres and larger, which is consistent with the residential communities of Rancho Cielo and Elfin Forest/Harmony Grove. Moreover, the proposed project's overall density is also more consistent with the existing communities of Harmony Grove and Elfin Forest than the RM3 zoning (154 dwelling units within 482 acres).

Although the proposed 1 acre to 1.5 acre lots near the Harmony Grove Road are smaller in size than the existing 2 and 4 acre lots in Harmony Grove and Elfin Forest, the proposed development is adjacent to significant open space land providing adequate land use buffer between the larger lots in these communities and the SPA development areas. The proposed buffer ranges in width from 700' to 1,000',

which includes the Escondido Creek's 100-year floodway and Harmony Grove Road. There are numerous existing trees within the proposed buffer area that further screen the proposed development. From a land use planning standpoint the existing Harmony Grove Road and Escondido Creek form a well-defined "edge" between the proposed development in Cielo del Norte SPA and the Elfin Forest/Harmony Grove area.

Further away from the Escondido Creek area, there are areas within the proposed development that will be visible from the adjoining communities. As part of the Specific Plan a Site Plan review is required for visually sensitive areas within the SPA, and design standards are included to regulate the development of "common areas" such as private streets, entries, signage, etc. These development regulations are intended to protect the visually sensitive areas within the SPA and minimize visual impacts on the surrounding communities. Potential short term visual impacts associated with grading operations have been considered and addressed as part of Chapter 7 (Community Design) and Chapter 8 (Development Program) of the Specific Plan. The proposed Specific Plan Subareas (neighborhoods) allow for an organized and comprehensive approach to development of the site, minimizing mass grading, encouraging variety in streetscape design, and requiring the establishment of community support systems and services concurrent with development. Additionally, a detailed landscape and brush management plan is required, identifying a streetscape plan for main streets and individual landscaping themes for each Subarea prior to approval of development permits.

Availability of Facilities and Services

The Olivenhain Municipal Water District (OMWD), the purveyor of water and sewer in this area has issued affirmative sewer and water availability letters. Indicating that adequate water and sewer service is expected to be available to serve the proposed project, subject to certain water and sewer facility improvements, including an off-site water reservoir and annexation of the SPA into the OMWD Sewer District. The SPA is currently within the District's water service area. The District has prepared a Sewer Master Plan and a Water System Analysis report that includes Cielo del Norte, identifying all necessary facilities and infrastructure that would be necessary to serve this project and Rancho Cielo. According to the Sewer Master Plan, two on-site sewer pump stations are required to serve this project, additional off-site sewer pump stations and facilities will be required as part of the Rancho Cielo project. A copy of the Sewer Master Plan is available for review at the OMWD's offices. The necessary water facilities include construction of a new 1.25-Million Gallon water reservoir, 5000' of new 12" water line within the Harmony Grove Road from the it's intersection with Elfin Forest Road to the intersection of Via Ambiente and Harmony Grove Road and a 10" replacement watermain within the Via Ambiente road (Figure 6-1, Public Facilities Plan).

Other community facilities such as schools, fire protection, and law enforcement are available to serve the project, subject to payment of fees and other conditions as provided by individual service provider agencies. Agreement on funding additional fire protection facilities and personnel to serve the project have been reached with the Elfin Forest/Harmony

Grove Fire Department. Upon implementation of this agreements provision the fire department will be able to serve the SPA within an 8 minute or less response time. The affected school districts (Escondido Union High School District and Escondido Union School District) have submitted service availability letters regarding their ability to serve the project, based on the payment of the required school fees. According to the districts, payment of fees will be required prior to issuance of building permits to fund additional school facilities.

A comprehensive Transportation Study has been prepared to address the potential impacts of the proposed Specific Plan land uses on the existing, and planned circulation network in the vicinity of the SPA. The study concludes that there are significant traffic impacts that are anticipated from the project and recommends detailed mitigation of these potential impacts. The mitigation requirements include private road improvements and public intersection upgrades to remedy additional traffic trips form the SPA. The Cielo del Norte Traffic Study is discussed in depth by the Environmental Impact Report and included as part of the Technical Appendices. A copy of this study is also available for review at the offices of County DPLU.

The County of San Diego General Plan requires dedication of parklands as part of any significant new development. The San Dieguito Community Plan recommends a minimum of 15 acres of local recreation area for each 1000 population. The estimated population of the proposed Cielo del Norte is approximately 524 persons (based on 2.8 persons per household for 154 houses). This population

would require a 7.95-acre public park, based on the recommendation of the local residents and the County Department of Parks and Recreation; the Specific Plan does not propose any public park sites. However, the Specific Plan does allocate approximately 1.56 acres of land a total of 3 individual private park sites within various SPA Subareas, approximately 4 miles of public trails within a 311-acre preserved open space for passive recreation, and payment of in-lieu park fees to fulfill the requirements of the San Diego County General Plan and the Park Lands Dedication Ordinance.

Based on the above discussion, it can be concluded that adequate public facilities and community services will be available to support the level of proposed land uses in Cielo del Norte SPA. The planned provision of public and private facilities, and infrastructure consistent with the goals and objectives of the County of San Diego's Public Facility Element and San Dieguito Community Plan's public facility goals and objectives as detailed below.

Planning Coordination/Public Participation

The proposed development has been closely coordinated with ongoing regional water storage project and the communities of Rancho Cielo, Elfin Forest, and Harmony Grove. A subcommittee of neighboring residents, environmental organizations, and San Dieguito Planning Group members was established early in the planning process to review the development of the Specific Plan and provide input. The proposed Specific Plan was also closely coordinated with the staff biologists of County of San Diego, State of California Department of Fish and Game, and United States Fish and Wildlife Service to

ensure consistency with regional habitat protection plans. The project as proposed will implement the goals and objectives of the regional open space planning efforts as proposed by these agencies. The San Dieguito Planning Group and Elfin Forest Town Council have held public workshops to discuss the preliminary proposals for this project. A project subcommittee comprised of members of the San Dieguito Planning Group, Elfin Forest Town Council, The Escondido Creek Conservancy and interested members of the affected communities has been formed and extensively reviewed and commented on the project. The project design incorporate a significant portion of this public input including, location of development, open space design, trail alignments, location of private parks, street lighting standards, landscaping, grading, extent of utilities, etc.

General Plan Issues

This section is intended as an overview of the proposed General Plan Amendment consistency with the County's General Plan. The San Diego County General Plan is a statement of development policies in the form of a text, map and diagrams explaining objectives, principles, standards, and proposals setting forth the County's long range plan for guiding development and growth. The General Plan consists of seven countywide elements, Regional Land Use, Housing, Circulation, Safety, Seismic Safety, Scenic Highways, Open Space, Recreation, Noise, Conservation, and Energy, as well as Subregional and Community Plans. This discussion also intends to establish a policy framework for the proposed General Plan Amendment. The proposed amendment includes changes to the San Dieguito Community

Plan text and map. No amendments are proposed to any other elements of the San Diego County General Plan.

Regional Land Use Element

The Regional Land Use Element of the County's General Plan overall goal is to accommodate population growth and influence its distribution in order to protect and use scarce resources wisely; preserve the natural environment; provide adequate public facilities and services efficiently and equitably; assist the private sector in the provision of adequate, affordable housing; and promote the economic and social welfare of the region. The Regional Land Use Element includes eight regional categories to guide development within the unincorporated area of the County.

The regional categories for the Cielo del Norte SPA are Estate Development Area (EDA) and Environmental Constraint Area (ECA), as shown on the Regional Land Use Element Map. Lands with the EDA regional category designation are intended for low-density residential and agricultural land uses. Lands with the ECA regional category designation include floodplains, lagoons, environmentally sensitive lands, and areas with agricultural preserves or natural resource deposits. These areas are generally planned for open space, very low density residential and recreational land uses.

The EDA policies include clustering provisions where minimum parcel size can be one-half acre based on availability of sewer service and permitted by applicable community or subregional plans. Additional requirements include at least 40% of the project area be in a permanent open space easement.

The proposed Cielo del Norte Specific Plan meets and exceeds these requirements by 1) The SPA exceeds the required 40% open space preservation by proposing to place 65% of the project area in a permanent open space; 2) No more than 1 dwelling unit, along with permitted accessory structures and uses is permitted on any lot; 3) The SPA will be served by sewer and consistent with the Community Plan the SPA will require a minimum lot size of ½ acre for all residential lots, does not exceed the total number of dwelling units allocated by the current General Plan Land Use Designation, and through careful land planning and open space preservation adequate buffers have been proposed to provide land use compatibility with the adjacent communities; 4) The proposed project will have significantly less environmental impacts than a non-clustered project; 5) As demonstrated herein, the SPA conforms to all applicable Community Plan policies and standards based on the community plan policies that encourage clustering to preserve sensitive resources.

The Regional Land Use Element's ECA regional category includes specific policies and requirements to be included as part of any project approval. These policies include identification and preservation of the resource responsible for designation of the ECA and protection of flood prone areas. The resources within the ECA regional category of the SPA have been identified and preserved within the 311-acre open space preserve. Furthermore, consistent with the ECA policies, the flood prone areas that are not planned for stabilization will be retained in natural, open and other non-urban uses.

San Dieguito Community Plan

The Board of Supervisors adopted the San Dieguito Community Plan on December 31, 1974, with the most recent amendment on November 4, 1998. Currently, the San Dieguito Community Plan designates the project site as (17) Estate Residential, (18) Multiple Rural Use, (24) Impact Sensitive and (21) Specific Planning Area, which is a portion of the adopted Rancho Cielo Specific Plan. The San Dieguito Community Plan allocates a total of 154 dwelling units within Cielo del Norte SPA. This level of residential density is based on the slope-dependent land use designation and existing allocated residential lots by the Rancho Cielo Specific Plan under the current General Plan Land Use Designations. The slope density calculation resulting in the proposed 154 dwelling unit allocation is attached as Appendix C of the Specific Plan.

As part of the Cielo del Norte project and the proposed General Plan Amendment the San Dieguito Community Plan Map is to be amended to designate Cielo del Norte as (21) Specific Planning Area (0.32). This designation is used where a Specific Plan has been adopted or must be adopted prior to development. Land within this designation typically has environmental constraints or unique land use concerns, which require special land use and/or design controls. This designation is consistent with all categories of the Regional Land Use Element. The overall density proposed for Cielo del Norte is consistent with the existing residential allocation associated with the current General Plan Land Use Designations.

Generally an area is designated as (21) Specific community plan of the General Plan where the board

of Supervisors has determined that more detailed planning is required prior to development. Areas suitable for Specific Plan Area designation may include any parcel or parcels, proposed for large-scale comprehensive planned development, natural resource protection, historic preservation or any other use requiring more detailed planning than contained in the San Diego County General Plan. Once land is designated as a SPA no major or minor tentative subdivision maps or reclassification to more intensive zones shall be approved except in accordance with an adopted Specific Plan, as described in Section 65451 of the California Government Code. The Board of Supervisors may indicate by resolution of adoption of a Specific Plan Area designation any goals, objectives or conditions it deems appropriate.

San Dieguito Community Plan Amendment

The proposed community plan amendment consists of consolidating various General Plan Land Use designations to establish the Cielo del Norte (21) Specific Planning Area. This amendment will allow for preparation of a comprehensive Specific Plan with an overall Density Designator of 0.³²~~34~~ dwelling units per acre, resulting in a total of 154 dwelling units. The community plan text is to include detailed policies and objectives regarding the development of Cielo del Norte Specific Plan. The following text is proposed to be included within the San Dieguito Community Plan text:

Cielo del Norte Specific Planning Area (0.³²~~34~~)

Cielo del Norte Specific Planning Area (SPA) comprises of approximately 482 acres of vacant land, located north and west of the Rancho Cielo SPA and south of Harmony Grove Road and the Elfin Forest community. The site has varied terrain with steep

slopes, prominent ridgelines, meadows, mesas, and canyons. The Escondido Creek and its 100-year floodplain traverse western portion of the SPA. Surrounding areas have scattered single-family residences on a variety of lot sizes form 2-3.5 acres; Rancho Cielo is an approved Specific Plan that abuts the property to the south and east with lot sizes ranging form 1/2 to 2- acre lot sizes.

SPA Description

Cielo del Norte SPA would allow an overall residential density of $0.\overset{32}{34}$ dwelling units per acre with a maximum of 154 residential dwelling. The purpose of the (21) Specific Planning Area Land use designation and the required Specific Plan is to assure comprehensive planning and development of estate residences on a large vacant tract of land that has varied terrain, significant topographic features, unique viewsheds, significant biological resources and regional wildlife corridors. To assure maximum protection and enhancement of these valuable community assets, the SPA process provides for design and development flexibility that encourages development clustering on a range of lot sizes within the flatter, less visually and environmentally sensitive areas. The Cielo Norte Specific Plan shall be developed under the following conditions:

General

1. All goals, objectives and policies of the San Dieguito Community Plan and the County Regional Land Use Element shall apply.
2. The overall project shall be designed as an estate residential community that forms a logical planned transition between the Rancho Cielo Specific Plan development and the larger estate lots to the

north and west within Harmony Grove and Elfin Forest communities.

3. Development within the SPA shall be limited to estate residential and recreational uses, commercial and industrial uses are prohibited.

Residential

1. The overall residential density of the SPA shall not exceed $0.\overset{32}{34}$ dwelling units/acre with a maximum of 154 single family detached residential dwellings with an average lot size of one acre and larger.
2. Any development within visually significant areas of the SPA shall be subject to additional review prior to approval. The objective of this review shall be protection of existing view corridors.
3. The minimum residential lot size shall be one-half acre in size with larger lots located on the steeper-sloped areas and proximity of the Elfin forest and Harmony Grove communities.
4. Proposed development shall be located on the flatter, less visible and less environmentally sensitive areas to preserve and protect sensitive habitats
5. No residential development shall be allowed within the identified biological open space areas of the SPA.
6. Overall residential project design shall minimize adverse impacts to significant resources and existing semi-rural atmosphere of surrounding areas. The Specific Plan shall utilize coordinated planning and land use techniques that include:

residential development clustering, non-urban improvements, particularly with regard to street lighting and rural and passive recreational uses such as equestrian and hiking trails to provide land use compatibility, while preserving large blocks of habitats.

Conservation/Environmental

- 1. Significant habitat shall be preserved in perpetuity by dedication of open space easements; compatible landscaping design shall provide a transition between development and habitat areas.*
- 2. Large open space areas established for environmental protection and preservation shall be owned, operated and maintained by the Escondido Creek Conservancy or other public/private entity acceptable to the Department of Planning and Land Use.*
- 3. The Specific Plan shall define the limits of the Escondido Creek 100-year floodplain/floodway to preserve and enhance its natural state and riparian vegetation except as otherwise authorized for passive recreational (public trails) and habitat restoration. If riparian vegetation cannot be maintained other appropriate vegetation shall be planted within and along the Creek satisfactory to the Departments of Planning and Land Use and Department of Public Works.*
- 4. The Specific Plan shall be primarily designed in a manner that a significant portion of existing stands of oak trees will be left undisturbed and retained in their natural state. Mature Oak trees*

that could be potentially impacted by development shall be relocated and used as part of the project's landscaping design.

- 5. Road lighting shall be limited to only those areas where it can be demonstrated that a significant adverse impact to public health and safety would result if not installed. Where required, road lighting fixtures shall be shielded to reduce light ray emissions into the "night sky" and surrounding residential properties.*

Recreation

- 1. A riding and hiking trails network shall be prepared as a part of the Cielo del Norte Specific Plan. The trail network shall link this project to the adopted riding and hiking trails system within the San Dieguito Community Plan or County regional trails plan.*
- 2. A network of riding and hiking trails shall be located along natural scenic areas, e.g. Escondido Creek, where possible. Trails shall be continuous and shall connect into existing and proposed adjacent trails in the surrounding area.*
- 3. Parkland in-lieu fees shall be paid consistent with the Park Land Dedication Ordinance, in addition to 3 private park sites for a total of approximately 1.56 acres to be dedicated to the Cielo del Norte Home Owners Association for passive recreation area within the SPA.*

Public Facilities

- 1. The Specific Plan shall include a community facility element to provide for improvement of*

facilities and services necessary to implement the proposed project, including: educational, recreational, fire protection, transportation, water, sewer, flood control and drainage,

2. *Sewer service and infrastructure shall be connected to the OMWD Sewer District and sized to serve only the residential sewage requirements of the Cielo Norte Specific Plan, east of the Escondido Creek.*
3. *In the event there are any dwelling units proposed west of the Escondido Creek, private sewage disposal system shall be utilized to serve that development.*

Rancho Cielo Specific Plan Amendment

The 2,815-acre Cielo del Norte Specific Plan was adopted by the Board of Supervisors on December 9, 1981 (SP 81-04) and amended on August 8, 1984 (SPA 84-01), December 4, 1996 (SPA 96-001), and August 8, 2002 (SPA 98-001). The Specific Plan implements the San Diego County's General Plan for this area. The Specific Plan designates the proposed project site with 46 dwelling units.

As part of the proposed Rancho Cielo Specific Plan project the Rancho Cielo Specific Plan text and map is to be amended. The proposed Specific Plan Amendment SPA 00-003 (submitted under a separate cover) proposes to remove approximately 147 acres of land and 46 dwelling units from the Rancho Cielo Specific Plan to be included within the Cielo del Norte Specific Plan Area. The proposed Specific Plan Amendment includes changes to the Specific Plan text and map to reflect the proposed amendment.

9.2 GENERAL PLAN CONSISTENCY

San Diego County General Plan consists of eleven elements: Regional Land Use, Housing, Circulation, Safety, Seismic Safety, Scenic Highway, Open Space Recreation, Noise, Conservation and Energy. With the exception of the Regional Land Use Element, Community or Subregional Plans further describes each General Plan Element for various geographic areas of the County. The Regional Land Use Element provides for several regional land use categories. The Board of Supervisors approved the Cielo del Norte General Plan Amendment Authorization and Scope of Work on February 3, 1999. The Scope of Work was prepared by the Department of Planning & Land Use and included an identification of significant site and project issues relevant to the Cielo del Norte proposal. Based on that review the following General Plan goals and policies were determined to be the most appropriate and applicable in assessing consistency with the General Plan Elements and Specific Plan.

Regional Land Use Element

The Regional Land Use Element has several overall goals that relate to the Specific Plan:

- 1.1 *Urban Growth be directed to areas within or adjacent to existing urban areas, and that the rural setting and lifestyle of the remaining areas of the County be retained.*
- 1.2 *Growth be phased with facilities.*

Specific Plan Consistency: The Specific Plan allocates low-density residential uses (1 dwelling unit per acre to areas adjacent to Elfin Forest and Harmony Grove communities, which can be considered as semi-rural communities. Also, the Specific Plan designates a substantial open space buffer between the existing development in these communities and the SPA, ranging in width from 700' to 1,000'. The denser residential areas are located near the Rancho Cielo development, which is developing with 0.5 to 1 acre lot sizes. Also the project is within existing fire, water, and school districts and will annex to the adjoining OMWD Sewer District for provision of sewer service. The Specific Plan and implementing permits require facilities and services to be available concurrent with need.

Other relevant goals of the Land Use Element are:

- 2.1 *Promote wise use of the County's land resources, preserving options for future use.*
- 2.2 *Retain the rural character of non-urban lands.*
- 2.3 *Ensure preservation of contiguous regionally significant open space corridors.*
- 3.1 *Protect lands needed for preservation of natural and cultural resources; managed production of resources; recreation, educational and scientific activities*

Specific Plan Consistency: The Specific Plan Opportunities and Constraints Analysis identified areas within the SPA that are part of critical wildlife corridors, contain sensitive habitats and are considered significant visual resources. Consistent

with the goals and objectives of the General Plan, substantial portions of these resources are proposed to be protected, allowing for achieving a number of the aforementioned objectives. Through permanent protection of approximately 311 acres of the 482-acre SPA a significant portion of the visually sensitive areas, including a major east/west ridge is proposed to be included as part of the regional open space system. The planned preserve includes a substantial buffer between the communities of Elfin Forest and Harmony Grove and the proposed estate development within the SPA. Also, in conjunction with the regional habitat planning efforts and as an essential component of the Specific Plan, the ownership of a significant portion of the proposed open space lands within the SPA is intended to be transferred to the Escondido Creek Conservancy or other habitat management agency, acceptable to the County of San Diego, for permanent protection and preservation of the open space lands. The location of the proposed open space preserve has been closely coordinated with the State, Federal, and County resource agencies. The Specific Plan utilizes the clustering policy of this General Plan Element to avoid and minimize potential impacts of the proposed project on the Escondido Creek floodplain. The Land Use Element of the proposed Cielo del Norte Specific Plan does meet and exceed these standards, as discussed above.

- 4.1 *Assure efficient, economical and timely provision of facilities and services for water, sewer, fire protection, schools and roads to accommodate anticipated development.*

4.2 *Assure that facilities and services provided by all agencies are coordinated in their timing, location and level of service.*

Specific Plan Consistency: County Board of Supervisor's Policy I-84, the Public Facilities Element and the project's implementing permits will assure that facilities and services are available concurrent with need and that development will not proceed until commitments from service provider agencies are documented. Additionally, Cielo del Norte Specific Plan includes a facility-phasing program for the installation of all necessary facilities and services needed to support the level of proposed land uses. All required facilities have been closely coordinated with the service provider agencies to ensure timely availability of services and facilities.

The Regional Land Use Element also provides categories and policies that relate to the assessment of consistency with Cielo del Norte:

Estate Development Area (EDA): The Estate Development Area combines agricultural and low-density residential use. Included in the category are those areas outside the Urban Limit Lines but within the boundaries of the County Water Authority. Clustering will be permitted in any land use designation found compatible with the Estate Development Category. Clustering as used in this policy is a development technique in which buildings or lots are grouped or "clustered", through an on-site transfer of density, rather than distributed evenly throughout the project site as in a conventional subdivision. It is intended that smaller lots shall be clustered on the more

level areas in compensation for larger lots on the steeper slopes. The total number of building lots or dwelling units in a cluster development shall not exceed the number which is allowed by the applicable land use designation and zoning. Planned development, lot area averaging shall conform to the following standards, as well as to other applicable County regulations; except that specific plan projects that are located in the Specific Plan Area (21) land use designation and are 500 acres or greater in area are exempt from the standard.

Specific Plan Consistency: Areas designated for development have been "clustered" on the flatter, less visually sensitive and more accessible areas. Areas identified as having significant wildlife and vegetative value or present substantial public hazard and risk are set-aside in permanent open space. Since the Specific Plan Area is less than 500 acres, the Cielo del Norte Specific Plan does meet and exceed the clustering standards, including preservation of 65% of the SPA as permanent open space, requiring one dwelling unit per lot, minimum of 0.5 acre lot size that is being served by sewer, the project will not have a more significant environmental effect than would an equivalent non-clustered development, and the project conforms to all applicable policies of the community plan.

1.6 *Environmentally Constrained Area. Environmentally Constrained Areas (ECA) include floodplains, lagoons, areas with construction quality sand deposits, rock quarries, agricultural preserves, areas containing rare and endangered plant and*

animal species, and certain private holdings in the Cleveland National Forest outside of Country Towns. Development in these areas, while guided by the County General Plan, should be preceded by thorough environmental review and implementation of appropriate measures to mitigate adverse impacts. Land uses density and intensity in these areas is defined by the applicable Community and Subregional Plans.

Specific Plan Consistency: The Specific Plan is consistent with the intent of this regional category by retaining the flood prone areas in a natural and open state and permitting only non-urban, non-residential uses. The areas within the floodway and 100-year floodplain of the Escondido Creek are designated as open space, allowing limited recreational uses in form of public trails, which have been located upon existing dirt roads and disturbed habitats.

Open Space Element

The following are overall goals of the County-wide Open Space Element that are intended to guide open space design of private lands:

Promote the health and safety of San Diego County residents by regulating the development of land.

- 1. Control development on steep slopes to minimize slide danger, erosion, silting and fire break.*
- 3. Protect life and property by regulating use of areas subject to flooding, landslides, high fire hazard and high earthquake potential.*

Specific Plan Consistency: The Specific Plan locates residential development away from steep-sloped areas and lands subject to high inundation and flooding. Approximately 95% of all steep slopes within the SPA areas are preserved in permanent open space easements. The Specific Plan also defines the limits of the Escondido Creek 100-year floodplain/floodway and permits only recreational trails, creek crossings and essential facilities and utilities to be placed within this area.

Conserve scarce natural resources as needed for vital natural processes and the managed production of resources.

- 4. Encourage the conservation of vegetation and trees needed to prevent erosion, siltation, flood, drought and to protect air and water quality.*
- 5. Encourage the conservation of the habitats of rare or unique plants and wildlife.*
- 8. Encourage the preservation of significant natural features of the County, including the beaches, lagoons, shorelines, canyons, bluffs, mountain peaks and major rock outcroppings.*

Specific Plan Consistency: An opportunities and constraints analysis identified all significant wildlife and sensitive habitats, rock outcroppings, canyons and ridgeline features. As a result, 311 acres (65% of the SPA) is proposed for dedicated open space.

Conserve open spaces needed for recreation, educational and scientific activities.

11. *Encourage recreational planning as part of major residential development.*

12. *Encourage the acquisition historic sites and their immediate environs by public agencies or private organizations interested in our historical heritage.*

Specific Plan Consistency: A system of riding and hiking trails is designed along the most natural, accessible, scenic areas and Escondido Creek. 3 private park sites for a total of approximately 1.56 acres is set aside for a passive park uses to serve various areas of the proposed residential neighborhoods with the SPA. All archeological sites have been identified and based on record search and field surveys; there are no significant archeological sites within the SPA.

Encourage and preserve those open space uses that distinguish and separate communities.

15. *Encourage the use of open space to separate conflicting land uses whenever possible.*

16. *Encourage intermingling of open spaces as an integral part of all major residential development so as preserve an atmosphere of openness and the neighborhood scale.*

17. *Encourage development that is designed to include riding, hiking and bicycle trails.*

Specific Plan Consistency: The Specific Plan designates substantial open space areas to the north and west that act to create a noise and visual buffer between proposed residential areas and the existing residences of Elfin Forest and Harmony Grove. The designed "edge" formed by Escondido Creek, Elfin Forest/Harmony Grove roads and proposed open

space establishes a 700'-1,000' separation between these communities and development areas within the SPA. Dense oak-woodland and other vegetation also further enhance this buffer.

The Specific Plan's open space is designed to connect to the adjoining open space of Rancho Cielo and ultimately form a critical subregional wildlife corridor as part of the North County Multiple-Species Conservation Plan. The on-site open space is designed in a manner to maximize integration of proposed neighborhoods into the overall open space system. In addition, approximately 4 miles of public riding and hiking trails are proposed to link with neighboring trail systems.

Open Space Design of Private Lands

This policy addresses private owned lands in parcels over 40 acres that propose development through the subdivision and General Plan Amendment processes. Specifically it states, "The goals and objectives can best be attained if 40 percent of the total private land in a proposed development is retained in open space. It is the intent of the Plan that as a condition of any amendment to the Land Element...that open space be designed as a part of the plan amendment..."

Specific Plan Consistency: Cielo del Norte exceeds the "40%" open space standard recommended by the Open Space Element. The Specific Plan sets aside 65% of the SPA for preservation in open space easements, dedication and/or conveyance. The lands designated for open space also comply with the objectives identified by the County General Plan Open Space Element and State of California Planning Zoning and Development Law:

Health and Safety:

Development is located outside of steep-slopes and areas of flooding and heavy inundation.

Conservation of Resources & Natural Processes:

Open Space areas contain the most valuable habitat and wildlife and are of a size and location to act as a strategic regional corridor.

Recreation:

The Open Space areas include an extensive riding and hiking trails system and are adjacent to proposed private park sites. The trail system has been coordinated with regional trail system providing significant regional recreational opportunities.

Distinguish and Separate Communities:

The designed open space protects existing community areas by establishing significant buffers between Rancho Cielo and the Elfin Forest/Harmony Grove communities. At the same time, the designed open space establishes "corridor linkage" to Rancho Cielo's open space and future corridors of the upcoming North County Multiple-Species Conservation Plan.

Circulation Element

The Circulation Element describes the interrelationships of the County road network system to other General Plan Elements. The principal objectives of this Element are *to ensure that sufficient right-of-ways are protected within designated Circulation System corridors.*

Specific Plan Consistency: As described in the proposed project's Traffic Study, the proposed road system is consistent with the San Diego County's

General Plan Circulation Element. This includes all public and private roads. There are no waivers or exceptions to County's private and/or public road standards. The Specific Plan Circulation Element (Chapter 5) identifies all proposed roads that are required to support the level of proposed residential density. This element also identifies non-motorized circulation network, which is comprised of hiking and riding trails, as well as equestrian trails. Furthermore, as part of the proposed project's implementing permits additional public right-of-way will be dedicated for Harmony Grove Road. The Traffic Study prepared for the Specific Plan describes in detail all aspects of the Specific Plan transportation issues, including traffic impacts on intersections and road segments and detailed mitigation measures.

Recreational Element

This Element provides policies for recreational facilities in the unincorporated area.

Chapter 1 - Local Parks

- 4. *All parks and recreation facilities should be planned as part of an overall, well-balanced park system.*
- 5. *Local Park planning should be integrated with general planning programs.*
- 6. *Each local park facility should be of sufficient size and proper location to foster flexibility in activities and programs.*

Specific Plan Consistency: Two private parks with a total acreage of 1.56 acres are proposed to serve the recreational needs of the future residents of Cielo del Norte. Approximately, 4 miles of public trails is also

proposed to complete the regional trail network in this area. The proposed trail system includes hiking and riding trails that are predominantly located on existing trails and dirt roads. The trail system will allow passive recreational opportunities associated with approximately 311 acres of preserved open space. The proposed park sites and trail system have been designed in conjunction with the County Department of Parks and Recreation and local residents. The proposed trail system has been coordinated with the planned and existing regional trail network.

Chapter 3 - Riding and Hiking Trail Plan

4. *In addition to requiring the dedication of trails pursuant to Policy 8, the County will accept voluntary offers of dedication of trail easements provided that a route study and environmental analysis has been adopted by the Board of Supervisors showing a trail segment which concerns the land.*

8. *Require the dedication of riding and hiking trails from major subdivisions when such trails have been designated on maps adopted as part of the County General Plan (including community and subregional plans)*

Specific Plan Consistency: All public trails (approximately 4 miles) are required to be dedicated to the County of San Diego and improved, including those trails that are not shown on the County General Plan. The actual location of the trails will be established through the implementing permits as required by the Specific Plan.

Seismic Safety Element

The Seismic Safety Element establishes policies that guide development to areas that minimize risk from earthquakes and landslides.

Policies on New Development:

9. *Prohibit construction of homes and essential facilities in hazardous areas unless they can be designed to reduce the hazard to the satisfaction of responsible agencies.*

7. *Require submission of soils and geologic reports prepared by a certified engineering geologist on all projects where geologic hazards are known or suspected to be present.*

Specific Plan Consistency: The Opportunities and Constraints analysis identified hazardous areas that included steep slopes and areas prone to significant inundation and flooding. A comprehensive geotechnical investigation was conducted in August of 1999, prepared by the project's licensed geotechnical engineer. The study's findings established the criteria, location and project design of developable areas. Appropriate safeguards and conditions are assured by their incorporation into the conditions of approval of implementing permits.

Conservation Element

The overall objective of the Conservation Element is to identify and describe the natural resources of San Diego County and prepare policies and action programs to conserve these resources.

Chapter 2 – General Conservation

4. *The designation of resource conservation areas for San Diego County’s most significant resources will be a major step toward the planned management, preservation and wise utilization of these resources within resource conservation areas, County departments shall give careful consideration and special environmental analysis to all projects....*

Specific Plan Consistency: Cielo del Norte has been designed based on a comprehensive evaluation of environmental constraints and development opportunities. As a “resource-based” Specific Plan, significant biological and visual resources are preserved in permanent open space. Escondido Creek is retained in its natural state and a significant portion of steep slope areas (95%) within the SPA have been preserved. Up to 311 acres or 65% of the site will be dedicated for permanent open space; this area will include a significant portion of the RCA within the project.

Chapter 4: Vegetation and Wildlife

Applicable policies in this Chapter include:

1. *The County will act to conserve and enhance vegetation, wildlife and fisheries resources. These actions may includethe establishment of wildlife preserves....*
2. *San Diego County shall coordinate with appropriate federal, state and local agencies to conserve areas of rare, endangered for threatened species.*

3. *If a project is determined to have a significant adverse impact on plants or wildlife, an acceptable mitigating measure may be a voluntary donation of land of compatible value to wildlife.*

Specific Plan Consistency: Important vegetation and wildlife resources will be protected on-site as part of a proposed preserve. These lands are intended to be conveyed to a wildlife management entity acceptable to the County of San Diego. Cielo del Norte project planners have participated in numerous discussions and meetings with the U.S. Fish & Wildlife and California Department of Fish & Game and County of San Diego habitat agencies to determine areas appropriate for biological preservation. As a result, 311 acres of open space, is proposed to be included as critical part of the regional habitat planning efforts. The preserved open space is defined as all lands that will not have any direct impacts from the development. These lands will not include fire clearing, grading, and or any other development, with the exception of required facilities, utilities, and infrastructure, as well as recreational trails.

Chapter 7 - Astronomical Dark Sky

1. *The County of San Diego will act to minimize the impact of development on the useful life of the observatories.*

Specific Plan Consistency: The Specific Plan does not propose any lighted recreation areas. Road lighting is proposed to be limited only to those areas where it can be demonstrated that significant adverse impact to public health and safety would result. Where required, road lighting fixtures shall be shielded to reduce light ray emissions into the “night sky” and surrounding residential properties.

Chapter 8 - Cultural Sites

1. *The County shall take those actions that will seek to conserve and protect significant cultural resources...*

Specific Plan Consistency: The entire Cielo del Norte SPA was surveyed for the presence of cultural (archeological) resources, a total of 10 sites have been identified within the SPA. According to the cultural and archeological report for this project none of the sites are significant and do not require additional testing or treatment. These sites include 6 previously recorded sites and 4 newly recorded sites. All of the newly recorded sites occur in areas where there are no soil accumulation or possibility of subsurface deposits. The two most likely sites to have subsurface components were previously tested and found not to be significant. The detailed finding of the survey is presented as one of the appendices to the Specific Plan EIR and is available for review in the County DPLU.

Public Facilities Element

The major goal of the Public Facilities Element is to assure coordination of facility planning for parks, schools, libraries and emergency services. Applicable goals include:

Coordinated Facility Planning

- 1.1 *The County will include public facilities planning and availability as part of the decision-making on land development.*
- 1.2 *The County will coordinate planning for the appropriate siting of public facilities with the cities and affected service providers of*

the region at the earliest possible point in the siting process.

Specific Plan Consistency: Based on the current level of existing and planned land uses in the SPA and surrounding areas, the public safety and service providers will require major public facility and service improvements. Accordingly, the Specific Plan Public Facilities Plan is intended to ensure that these facilities are present to support residential development within the SPA. The proposed project has been closely coordinated with all service provider agencies including, OMWD, Elfin Forest Harmony Grove Fire Department, OMWD Sewer District, Escondido School Districts, County Department of Parks & Recreation, United States Postal Service, San Diego Gas & Electric Company, and other utility companies to ensure availability of services and facilities concurrent with need.

- 2.1 *Assure that growth is limited to areas where adequate public facilities exist or can be efficiently provide.*

Specific Plan Consistency: The Specific Plan Land Use Element (Chapter 4) limits the development of the SPA to 154 dwelling units. The Public Facilities of the Specific Plan (Chapter 6) provides adequate facilities and services to support this level of land use density. All facilities and services, including sewer, water, etc, have been planned to serve the SPA land uses. However, based on the prior provisions of the Rancho Cielo Specific Plan, the sewer pump stations proposed for Cielo del Norte SPA will serve a portion of the Rancho Cielo Specific Plan sewer needs. Based on the sanitation district's sewer/water master plan, all sewer and water facility improvements are sized for the planned expansion of

theses facilities consistent with the level of planned land uses, and there is no “over-sizing” of these improvements

2.2 *Development projects will be required to provide or fund their fair share of all public facilities needed by the development.*

2.3 *Large-scale projects will be required to plan for the siting of necessary public facilities and to provide or fund their fair share of all public facility needs created by the development.*

Specific Plan Consistency: All required facilities on-site are proposed to be constructed as part of this project. Additional facilities off-site will be constructed jointly through a fair share allocation of services and cost along with other planned projects in the area. These facilities include sewer and water mains, a 1.25 MG water storage tank, which will be constructed within OMWD property, and water pressure reducing stations. The proposed project will participate in its fair share of funding to improve these facilities consistent with agreements between the proposed project and specific service provider agency.

Parks and Recreation

2.2 *The County will site, plan and develop local and regional parks that are compatible with community character, land use and the recreational, conservation and preservation needs of the intended service population.*

2.3 *Provide in the short term, five acres of local parks per 1,000 unincorporated area residents and the County's equitable portion*

of the regional park facilities level of 15 acres per 1,000 residents in the region.

2.4 *The County Park Land Dedication Ordinance (PLDO) implements the local portion of this policy, which is in compliance with the State's Quiby Act. It requires land dedication of three acres per 1,000 population or in lieu fee of \$1,000 per dwelling unit*

Specific Plan Consistency: Based on the proposed 154 dwelling units for this SPA, park land and in-lieu fee requirements of San Diego County Department of Parks and Recreation, and an inventory of existing, funded, and planned park and recreation facilities in the San Dieguito Community Plan Area, approximately 1.56 acres of land will be required to be developed as a 3 private parks located within various Subareas of the SPA to serve the future residents of Cielo del Norte.

Moreover, approximately 4 miles of public trails are being proposed as part of this project. The proposed trails are intentionally planned on the existing dirt roads and disturbed habitats to minimize environmental impacts. A portion of proposed trails also include an all season crossing over Escondido Creek to connect with the regional trail along Escondido Creek. The Specific Plan also requires payment of in-lieu fees for parklands consistent with the County's Park Land Dedication Ordinance.

Law Enforcement

2.1 *The County will consider the availability of Sheriff facilities/services in the planning process.*

Specific Plan Consistency: Pursuant to Board of Supervisors I-84, the Specific Plan establishes an Implementation program and discretionary permit review process that provides the Sheriff and other law enforcement agencies an opportunity to participate and determine adequate levels of service. According to County's Sheriff's Department, ultimate development of the proposed land uses in the SPA would not significantly alter the law enforcement response times in this area.

Schools

1.3 *To the extent allowable under State law, new development shall be required to provide additional facilities needed to serve children generated by the new development.*

3.1 *Land Use planning will be coordinated with the planning of school facilities.*

Specific Plan Consistency: The two impacted school districts, (Escondido Union School District and Escondido Union High School District) have indicated that two school sites (middle school and high school) are at or beyond their capacity to handle additional students. However, the districts have indicated their ability to house the additional students in temporary classroom, until adequate fees have been collected to provide permanent facilities. The districts will not require a binding agreement from the developers of the SPA, however payment of fees will be required prior to issuance of building permits. This is based on the fact that they do not anticipate any significant impacts upon their existing facilities and services and any potential impacts will be mitigated through the required school fees, which are collected at the building permit (Appendix B, School Facilities Availability Letters).

Fire Protection and Emergency Services

1.2 *The County will ensure that availability of adequate fire and emergency services and facilities in the review of discretionary land development applications, and require appropriate fire prevention and protection measures*

Specific Plan Consistency: The Elfin Forest/Harmony Grove Fire Department will be serving Cielo del Norte SPA primarily from the existing Elfin Forest Fire Station, located on Elfin Forest road approximately ½ mile west of the SPA. This fire department through the County's Fire Code Specialist has provided relevant development standards for roadway width, secondary access, fuel modification zones, water supply, and fire hydrant spacing. These development standards are incorporated within the Specific Plan and implementing project permits conditions. According to the Elfin Forest/Harmony Grove Fire Department additional fire protection facilities are needed to serve Cielo del Norte SPA.

As part of the proposed project a funding agreement has been developed to allow for upgrading the existing station. This agreement contains the phasing and funding of required improvements to the existing fire station. With the improvement of these facilities the District will be able to provide adequate response time to serve the proposed project area. Additionally, as part of the proposed landscape concept plan for the SPA and implementing permits, a brush management plan has been prepared, consistent with the requirements of the Elfin Forest/Harmony Grove Fire Department and County of San Diego Fire Marshall.

9.3 COMMUNITY PLAN CONSISTENCY

The goals and policies contained in the chapters of the San Dieguito Community Plan are consistent with Elements of the San Diego County General Plan. Consequently, much of the Specific Plan's consistency analysis has been addressed by the foregoing discussion of General Plan Consistency. Each chapter of the community plan represents a subject area, which coincides with an adopted element of the General Plan. The community plan intends to address these elements to ensure that the goals and policies formulated by the community will be compatible with the General Plan. In addition, certain General Plan policies, i.e. land use, can be more relevant for one community than for others, and further elaboration may be appropriate. The community plan policies can be regarded as refinements of broad General Plan policies, which are designed to fit the specific or unique circumstances existing in the individual community.

Chapter 1: Community Character

Goal - Provide for the orderly development of the San Dieguito Community Plan area while maintaining the identities of historically established neighborhoods.

Policy 1 Perpetuate the present state of spaciousness and rural living in the San Dieguito Plan Area.

Policy 2 Utilize the open spaces provided by low-intensity land uses to separate distinct neighborhoods.

Policy 3 Establish and maintain San Dieguito as an economically and socially balanced community while ensuring that development is gradual, orderly and in harmony with the existing environment.

Elfin Forest

2. *Maintain a standard of 2 acre minimum lot sizes or greater within Elfin Forest.*

Specific Plan Consistency: The SPA is located between the higher density, open space oriented estate lots of Rancho Cielo SPA, situated in the rolling hillsides of Cielo Ridge and Escondido Creek watershed and the semi-rural and larger estate lots of Elfin Forest and Harmony Grove communities. The intent of the Specific Plan is to preserve the rural qualities of Elfin Forest and Harmony Grove, through the protection of the Escondido Creek floodplain and surrounding areas, visually prominent slopes, ridges, and ravines as well as significant environmental resources. The proposed open space buffer, including the existing trees along Harmony Grove Road and Escondido Creek provide for privacy and separation of the SPA from the adjacent communities.

- Escondido Creek and Elfin Forest/Harmony Grove Road act as a natural and man-made physical separation between Cielo del Norte and Elfin Forest.

- A significant portion of the propose SPA is currently within the Rancho Cielo Specific Plan .The entire SPA will be served by Via Ambiente, which is a private, gated road also serving Rancho Cielo.
- Sewer service will be provided by OMWD and will connect to the sewer system in Rancho Cielo.
- Water service will be provided by OMWD and will connect to the water system in Rancho Cielo.

The land use form in the Elfin Forest community is a non-planned clustering of dwelling units that has been occurring gradually over many years. From a regional habitat planning standpoint, the proposed open space preserve in the SPA will connect to the existing reserve in Rancho Cielo to form a large block of habitat that is supporting many wildlife species and sensitive plants. This block of habitat, to be preserved in perpetuity will support the rural setting of this area.

Policy 5 Encourage the preservation and enhancement of the natural features located within the San Dieguito Plan area.

Specific Plan Consistency: An Opportunities and Constraints evaluation and analysis identified all significant wildlife, sensitive habitats, rock outcroppings, canyons and ridgeline features. As a result, 311 acres (65% of the Specific Plan Area) is proposed for dedicated open space. Also, approximately 95% of steep slopes, as defined by RPO within the SPA are to be preserved within the

proposed open space area. Furthermore, the Escondido Creek, a major tributary of the region, will remain in its natural state, limited to recreational trails, creek crossings and essential facilities. Critical wildlife corridors will be established through the SPA with close coordination with the State, Federal, and County wildlife agencies.

Chapter 2: Land Use

Goal - Provide a distribution of land uses that is compatible with the existing character of the community that is integrated with the planning activities of surrounding jurisdictions.

Policy 1 Prohibit leap frog development as it will unnecessarily increase the costs of providing public services and facilities.

Policy 2 Ensure that development takes place in a coordinated, integrated fashion that is compatible with the rural, scenic qualities of the area.

Specific Plan Consistency: The Specific Plan proposes an overall low residential density of 0.34 dwelling units per acre to various areas that are consistent with the existing Estate Development Area category of the Regional Land Use Element, and are consistent with the Estate designation of the San Dieguito Community Plan, which applies to many surrounding areas. Specifically the type and distribution of land uses has been designed to be fully integrated with the Rancho Cielo Specific Plan development that abuts the project area to the north, west and east. Most of the project has been designed to minimize visibility from neighboring residences. The findings of the Traffic Study for Cielo del Norte demonstrate that traffic impacts in Elfin

Forest/Harmony Grove Road will not adversely affect the character of these communities. The proposed SPA is within established school, water, and fire districts and will initiate a logical extension of sewer service by annexing to the adjoining OMWD Sewer District.

Residential Goal- Enhance the present living environment while accommodating gradual residential development that harmonizes with the natural environment.

Policy 6 Preserve the rural, low density, residential character of the Plan area.

Specific Plan Consistency: The Specific Plan identifies and preserves up to 65% of the Specific Plan Area (311 acres), which includes the vast majority of wildlife corridors, sensitive habitats, and visually significant areas. Estate residential development has been clustered to the flatter areas on lot sizes (0.5 acre and larger and lots up to 3.5 acres on steeper slopes) generally similar to Rancho Cielo SPA (0.5 acre-1.5 acre). The focus of clustered design proposed by the Specific Plan establishes a harmonious balance between residential development and the existing land use/environment.

Chapter 4: Circulation

Circulation Goal - Implement a transportation system that is designed to accommodate a diversity of modes. Automobile, bicycle, equestrian, pedestrian and mass transit networks should be included within the total system. It should be constructed to include the convenient movement of people, goods and services within the plan area, while minimizing any impacts that would detract from the natural beauty of the area and the quality of life of its citizens.

Specific Plan Consistency: As described in the proposed project's Traffic Study, the proposed road system is consistent with the San Diego County's General Plan Circulation Element. This includes all public and private roads. There are no waivers or exceptions to County's private and/or public road standards. The Specific Plan Circulation Element (Chapter 5) identifies all proposed roads that are required to support the level of proposed residential density. This element also identifies non-motorized circulation network, which is comprised of hiking and riding trails, as well as equestrian trails. Furthermore, as part of the proposed project's implementing permits additional public right-of-way will be dedicated for Harmony Grove Road.

Policy 4 Road design shall reflect the unique needs of the planning area.

Policy 5 Road alignments shall minimize the necessity of altering the landscape...

Specific Plan Consistency: As part of the overall project design, the proposed circulation system was closely coordinated with the environmental and visual sensitivity of various Subareas within the SPA. An attempt has been made to locate roads and development areas within areas that have the least environmental and visual impact. Additionally, after review of the approved designs for the planned construction of Via Ambiente in conjunction with OMWD and Rancho Cielo, this planned roadway was lowered by approximately 40' to minimize grading and visual impacts. Additionally, as part of the Community Design Element of the Specific Plan (Chapter 7) detailed landscaping themes are proposed for various roads within the SPA to further enhance the visual quality

of the proposed road system, consistent with the overall landscaping theme of the SPA.

Policy 8 Establish a separate system of hiking trails, bicycle paths and equestrian trails from which motorized vehicles will be banned.

Specific Plan Consistency:

A 4-mile trail network within the SPA is proposed, as shown on the Specific Plan's Circulation Plan (Chapter 5), Figure 5-2. This exhibit depicts trail type and the location of trail "corridors" within the SPA. The trail corridors indicate where, within an approximate 50-foot swath, the ultimate trail alignment must be established, typically as part of implementing projects. Generally, the hiking and equestrian (wilderness) trails are unpaved, narrower, and have steeper slopes than the trails around Escondido Creek floodway. These trails are generally described as half paved for bicycle use, half unpaved for hiking and equestrian use. However, paving of these trails is voluntary within the trail tread and easement width. The Escondido Creek trails provide bicycle access to the development areas in the Specific Plan. The use of bicycles can help to reduce the number of automobile miles traveled, thereby reducing congestion as well as air quality and noise impacts. Two types of bicycle routes are provided: Class I (a bike path in its own guideway separated from roads); and Class II (striped and signed bike path shared with road right-of-way). The Class I bike trails may be combined with either or both pedestrian and equestrian trails, as they are in the Escondido Creek trails within the SPA. The Cielo del Norte Community character is oriented toward an estate and semi-rural residential lifestyle that may include horse ownership and equestrian activities.

The Escondido Creek trail segment with the remaining Circulation Plan trails constitutes a trail system to serve the San Dieguito Planning Area as well as the future residents of the SPA. In all cases, the equestrian trails are combined with the hiking trails. As provided for in the General Plan Recreation Element, implementing major subdivisions will be required to dedicate the trails shown on the Circulation Plan that are also shown on the San Dieguito Community Plan Trails Map. Any additional dedication of trails is voluntary. Trail improvement standards are shown in Table 5-1, Trail Standards. Trail design is also addressed in the County of San Diego Trail Design and Construction Guidelines.

Policy 18 Retain the narrow rural character of the San Dieguito roads.

Policy 20 Urban-type street improvements such as gutters, curbs and sidewalks and extensive street lighting should not be installed because they would detract from the existing highly desired rural appearance of San Dieguito.

Specific Plan Consistency: The Specific Plan Circulation Element proposes a street section that is consistent with the minimum requirements of the County of San Diego Private Road Standards and requirements of the Harmony Grove/Elfin Forest Fire Department. All Streets are proposed without sidewalks and urban type improvements, with an emphasis on trail use and semi-rural/estate development standards.

Chapter 5: Public Safety, Services, Facilities and Education Policies

Policy 7 New developments shall be guided into areas now served by water, sewer, roads and other services.

Specific Plan Consistency: The proposed project is consistent with this policy based on the fact that a portion of the project was included in the Rancho Cielo Specific Plan, which is currently under construction. Also, Via Ambiente road has been constructed through the project area, as part of the Rancho Cielo specific Plan. Sewer and water is available to the SPA through OMWD and OMWD Sewer District. In order for OMWD to provide sewer service to the project, the SPA must be annexed into the District boundary. Other services such as schools and fire protection are available to the SPA, with additional funding by the project to upgrade the existing Harmony Grove/Elfin Forest Fire Station. The Escondido School Districts have indicated their ability to accommodate additional student population anticipated from the build-out of the SPA.

Chapter 6: Conservation

The Conservation Goal is to provide a desirable, healthful, and comfortable environment for living while preserving San Dieguito's unique natural resources.

Policy 1 Utilize types and patterns of development that minimize water pollution, air pollution, fire hazard, soil erosion, silting, slide damage, flooding and serve hillside cutting and scaring.

Policy 3 Preserve the best natural features of the area in their natural state and avoid the creation of an urbanized landscape.

Specific Plan Consistency: As mentioned in previous consistency analysis of Open Space and Conservation, Cielo del Norte's Opportunities and Constraints analysis identified all regional wildlife corridors, sensitive habitats, and significant ridgeline features. These resources are set-aside in permanent open space. Escondido Creek is retained in its natural state permitting only recreational and utility uses. The vast majorities of steep-sloped areas are designated for open space and have minimal development impacts. Development within potentially visually sensitive areas will be subject to the design guidelines of the Community Design Element (Chapter 7) of the Specific Plan. In addition, these areas will be assigned the "D" designator, Design Review Special Area Regulations that will regulate hillside development so as to allow the least impact to the physical and visual environment. The County General Plan has a matter of policy determined that Resource Conservation Areas (RCAs) contain some of the most critical environmental resources in the unincorporated area. Up to 311 acres or 65% of the project site, will be dedicated for permanent open space, which predominantly lies within the RCAs.

Flood Plain and Watercourse Goal- Provide protection from loss of life and property from flooding while preserving all floodplains and watercourses in their natural state.

Policy 1 Provide for adequate setbacks from all watercourses to protect property, improve water quality and enhance the aesthetic beauty of riparian environment.

Policy 6 Utilize the linear geographic qualities provided by floodplains as locales

for greenbelts, open space corridors, community footpaths and parkland.

Policy 8 Retain all watercourses in their natural state and prohibit all structures in the floodway.

Specific Plan Consistency: As part of the habitat preservation goals of the Specific Plan the 100-year floodplain/floodway of the Escondido Creek has been identified (as mapped by the Department of Public Works) and included in the preserved open space. The only allowable uses within this area are recreational trails, creek crossings, and essential utilities. A 700'-1,000' setback from the floodway is included as part of the open space plan for the Escondido Creek. The preservation of the creek and the required buffer will provide for additional protection of the wetland habitat and provide for a natural green belt to offer passive recreational opportunities.

Natural Habitat Protection Goal - Prevent the unnecessary alteration of the natural landscape in the San Dieguito Plan area.

Policy 1 Preserve the integrity, function and long-term viability of the environmentally sensitive habitat within the plan, with emphasis placed on areas exhibiting riparian characteristics, coastal sage scrub and coastal mixed chaparral.

Policy 2: Prevent adverse impacts to the coastal mixed chaparral and sage scrub by preserving within a major inland open space system all native vegetation on slopes of 25 percent or more.

Specific Plan Consistency: As referenced in many previous consistency findings, the design of the Specific Plan and its open space component was based on an Opportunities and Constraints Analysis with a significant emphasis on the identification and preservation of environmentally sensitive habitats. Moreover, approximately 95% of all steep slopes (as defined by the Resource Protection Ordinance) within the SPA have been preserved

Policy 3 The following guidelines shall be used to evaluate proposals for development on parcels of 10-acres or more located within the environmentally sensitive Coastal Mixed Chaparral and Coastal Sage Scrub habitats.

a. All development shall be subject to the Planned Development Procedures of the County Zoning Ordinance.

b. Development shall be clustered away from slopes over 25 percent.

c. Open Space shall be designed as contiguous network within the project and linked with the project linked with open space areas on adjacent parcels.

d. Create or maintain local wildlife movement corridors.

e. Retain all types of plant habitats...to achieve the best possible representation of the original habitat.

f. Integrate the design of the development with the uses and activities of adjacent parcels.

g. Preserve rare and endangered species on site and in their natural habitat.

Specific Plan Consistency: It is the intent of this policy to utilize planned development or "clustered" techniques on environmentally sensitive areas so the following objectives can be obtained: 1) preserve land areas which have unique geographical, geological, topographical, environmentally, scenic or historical features; and 2) permit more imaginative and creative development design than is generally possible under conventional regulations which will result in more economical and efficient land use and provide higher levels of open space.. Cielo del Norte is sited in a semi-rural community setting that emphasizes a non-urban, estate and equestrian orientation of uses and facilities. This is supported by the San Dieguito Community Plans emphasis on goals and policies that promote development blending and being in harmony with existing neighborhood character. The strict application of process and design standards established under the *Planned Development Standards of The Zoning Ordinance*, in this setting, would introduce a distinct "urban" design, infrastructure and environment that is inconsistent with many of the community character, land use and residential goals and policies of the San Dieguito Plan. Cielo del Norte accomplishes both objectives by utilizing the Specific Plan process and "clustering" standards in place of the Planned Development Standards of The Zoning Ordinance. The project incorporates the following design and environmental features:

- Residential development has been clustered on the flatter, less visually sensitive and more accessible areas. Over 95% of all

steep slopes within the SPA will be in protective open space easements;

- Approximately 311 acres or 65% of the SPA will be set-aside in open space. This includes the most valuable biological, and visual resources;
- Areas potentially hazardous, such as Escondido Creek, are prohibited from residential development;
- The proposed open space "green belt" protects existing communities by establishing significant open space buffers between Rancho Cielo and the Elfin Forest/Harmony Grove communities.
- The designed open space establishes "corridor linkage" to Rancho Cielo's open space and future planned corridors of the NCCP;
- A 4-mile system of public riding and hiking trails implements the Trails component of the San Dieguito Community Plan on-site; and is designed to link with off-site neighboring trails that further implement the County-wide Regional Trails Element.

Soil Goal - Minimize erosion caused by grading for development and agricultural uses

Policy 2 Grading should retain the natural appearance of the existing landforms and natural slopes in excess of 25 percent shall be protected from unnecessary grading.

Policy 4 All grading plans shall include preparation for an installation of landscaping.

Policy 8 Unaltered land greater than 25 percent slope and at least 1,000 square feet in area shall be retained in its natural state.

Specific Plan Consistency: The Specific Plan identifies and designates the vast majority of lands over 25 percent slope (95%) for open space, thus leaving such lands in an unaltered state preserving their natural features. Within certain development areas there occurs isolated steep-slopes that will be subject to landform modification. In such situations the Community Design Element (Chapter 7) requires a Site Plan review, where the grading of these areas will be reviewed through submittal and approval of a Site Plan prior to development of the site. All grading plans will include plans for new landscaping installation as well as measures for protecting existing trees and native vegetation. Implementing permits will be required to submit comprehensive Landscape Concept Plan to address slope planting, brush management zones, visually sensitive areas (as defined in Figure 7-1 of Community Design Element), and roadway design. Areas designated for residential development are predominantly outside of steep-sloped areas. Approximately 5% of all steep slopes within the SPA are impacted by the proposed project. The project conforms to the steep slope provisions of the Resource Protection Ordinance.

Dark Sky Goal - Restrict the use of exterior lighting throughout the San Dieguito Community Plan.

Policy 2. Street lighting shall not be made a condition of subdivision approval unless it is

necessary for traffic safety at road intersections.

Specific Plan Consistency: Cielo del Norte is proposed to be an estate development that promotes the current semi-rural environment. Therefore the Specific Plan proposes no lighting for recreational areas and road lighting limited to only those areas where it can be demonstrated that adverse public health and safety issues could occur. Where required, road lighting fixtures shall be shielded to reduce light ray emissions into the "night sky" and surrounding residential properties, consistent with Department of Public Works lighting standards.

Cultural Goal - Preserve and enhance access to archeological resources and provide adequate protection for those sites that are as yet discovered.

Policy 1: Identify and preserve significant historic sites.

Policy 2: All new development for construction should be preceded by test excavations and salvage programs.

Specific Plan Consistency: The entire Cielo del Norte SPA was surveyed for the presence of cultural (archeological) resources, a total of 10 sites have been identified within the SPA. According to the cultural and archeological report for this project none of the sites are significant and do not require additional testing or treatment. These sites include 6 previously recorded sites and 4 newly recorded sites. All of the newly recorded sites occur in areas where there are no soil accumulation or possibility of subsurface deposits. The two most likely sites to have subsurface components were previously tested and found not to be significant. The detailed finding

of the survey is presented as one of the appendices to the Specific Plan EIR.

Chapter 7 Recreation Policies

The Recreation Goal of the Community plan is to enrich the lives of San Dieguito residents of all age groups by establishing a well-balanced system of recreational facilities and services.

Policy 1 Provide a minimum of fifteen acres of local recreational area for each 1,000 population for the entire community to be distributed as follows:

-One-third devoted to neighborhood and other close-at-hand recreation facilities;

-One-third for community parks; and

-The remainder for other facilities serving the entire San Dieguito area such as trails or nature preserves

Specific Plan Consistency: Based on the proposed 154 dwelling units for this SPA, park land and in-lieu fee requirements of San Diego County Department of Parks and Recreation, and an inventory of existing, funded, and planned park and recreation facilities in the San Dieguito Community Plan Area, approximately 1.56 acres of land will be set aside for 3 private parks, located within various Subareas of the SPA to serve the future residents of Cielo del Norte. Conceptual designs of the proposed recreational facilities have been included in Chapter 6 of the Specific Plan. Moreover, approximately 4 miles of public trails are being proposed as part of this project. The proposed trails are intentionally planned on the existing dirt roads and disturbed habitats to minimize environmental impacts. A portion of proposed trails also include an all season crossing over Escondido Creek to connect with the regional trail along Escondido Creek.

The Riding and Hiking Trails Goal is to establish and protect an enjoyable, efficient and safe network of public riding and hiking trails.

Policy 3 Align trails to link with trails systems established for adjacent jurisdictions.

Policy 4 Trail alignments should emphasize public lands, dedicated open space or floodplains.

Policy 5 Trails should lead to areas that have unique scenic qualities.

Policy 6 Trails should lead to areas that are, generally, inaccessible by autos or four-wheel drive vehicles.

Policy 7 Required trail dedications shall reasonably respect the rights of private property owners and the need for privacy.

Policy 8 Maintain land adjacent to the trails in its natural state.

Policy 9 Design and locate trails to minimize negative environmental impacts on the surrounding areas.

Policy 10 Ensure the private trail systems are identified and protected from use by general public.

Policy 11 Develop trails that may be safely used by hikers and riders of all ages and skills.

Policy 12 Prohibit the use of motorized vehicles on riding and hiking trails.

Specific Plan Consistency: Approximately 4 miles of public trails are proposed as part of the Specific Plan project. These trails have been closely coordinated with the surrounding planned and existing trails to ensure proper alignments and continuity. The planned trails allow public access to enjoy the scenic qualities associated with over 311 acres of planned open space within the SPA. The proposed preserve includes ridgelines, valleys, meadows, and two creeks (Escondido & Misha). The proposed trails allow access into these diverse landscapes with minimum impact upon the environmental resources, largely due to the fact that the planned trails are located on existing disturbed pathways and dirt roads. These areas are generally inaccessible by autos or four-wheel drive vehicles, allowing the users a peaceful and quiet trail experience.

All trails are located within or adjacent to significant open space areas including, creeks, ridges, oak woodlands, and hillsides. Furthermore, the planned trails are located in a manner that would have the least adverse impacts on the planned residential development areas, allowing access while maintaining privacy for all residents of the area. Private trails associated with the planned community within the SPA are generally designed as connector trails to the regional public trails, separated by privately maintained gates.

Open Space Goal is to provide a system of open space that is adequate to preserve the unique natural elements of the community.

Policy 1 Enhance health and safety and conserve natural resources through the preservation of open space.

Policy 2 Provide recreational opportunities through the preservation of open space.

Policy 3 Preserve publicly and privately owned open space easements.

Policy 4 During review of large scale developments, permit the use of planned residential development to cluster structures and leave areas of natural open space.

Policy 5 Adjacent residential development should locate their peripheral open space areas next to each other in order to maximize the beneficial effect provided by such a use.

Specific Plan Consistency: The proposed Specific Plan open space preserve system encompasses a significant portion of the SPA, which includes the most sensitive habitats and is located within the key regional corridors. The preserve design enhances the quality of life for both the future residents of the SPA and surrounding communities. By locating a comprehensive trail system within the preserved open space the preserve also serves as a major recreational opportunity for all the residents of this area.

All proposed open space lands are to be dedicated to the appropriate wildlife agencies through recordation of open space easements. Furthermore the ownership of approximately 307.8 acres of this 311.7-acre preserve is intended to be transferred to the Escondido Creek Conservancy, which is dedicated to

protect the Escondido Creek’s watershed. Along with this dedication an endowment fund will be required to address long-term management of this preserve.

Moreover, the planned open space networks includes sub-corridors that include significant Oak woodlands, streams, and steep slopes, in between planned residential neighborhoods, providing passive recreational opportunities and green belt system. The proposed Specific Plan does include clustering land planning technique to enhance the quality and quantity of the planned open space preserve throughout the SPA, while maintaining the existing community character and land use compatibility, through careful site planning and grading guidelines.

Proposed San Dieguito Community Plan Text Amendment & Consistency

General

1. *All goals, objectives and policies of the San Dieguito Community Plan and the County Regional Land Use Element shall apply.*

Specific Plan Consistency: The Specific Plan is consistent with all the goals and objectives of the San Dieguito Community Plan and Regional Land Use Element, by incorporating the development and project design standards of these plans within the Specific Plan goals, objectives and policies. Furthermore, the Specific Plan land uses are consistent with the level of allocated residential dwelling units under the prior Land Use Designations for this area.

2. *The overall project shall be designed as an estate residential community that forms a logical planned transition between the Rancho Cielo Specific Plan development and the larger estate lots to the*

north and west within Harmony Grove and Elfin Forest communities.

Specific Plan Consistency: The Specific Plan design reflects a transitional land use in terms of residential density from Rancho Cielo Specific Plan’s estate and semi-estate lot sizes to the Elfin Forest community of larger estate and semi-rural residential lots.

3. *Development within the Cielo Norte Specific Planning Area shall be limited to estate residential and rural type recreational uses. Commercial and industrial uses are prohibited.*

Specific Plan Consistency: The Specific Plan only allows for estate residential land uses and rural type recreational uses (equestrian and pedestrian trails, and private play parks). There are no commercial or industrial uses allowed in the SPA.

Residential

1. *The overall residential density of the SPA shall not exceed 0.32- dwelling units/acre with a maximum of 154 single family detached residential dwellings with an average lot size of one acre and larger.*

Specific Plan Consistency: The Specific Plan allows for an overall density of 0.32- dwelling units per acre with a maximum of 154 dwelling units. The maximum theoretical number of dwelling units under the pre (21) Specific Planning Area designation would be 154 dwelling units (the slope calculation analysis has been submitted as part of the General Plan Amendment Authorization and is attached as Appendix C).

2. *Any development within visually significant areas of the SPA shall be subject to additional review*

prior to approval. The objective of this review shall be protection of existing view corridors.

Specific Plan Consistency: The Specific Plan Land Use Element designates residential development away from steep slopes and prominent ridgelines. At the initial stages of the Specific Plan development a slope map was prepared and used in developing the land plan for this SPA. Additionally, development areas within visually sensitive areas are screened by existing and proposed landscaping. All common areas within the SPA are subject to the Community Design Element. Additionally, certain areas as described in Chapter 7 are subject to the “D” Special Area Designator, requiring the

3. *The minimum residential lot size shall be one-half acre in size with larger lots located on the steeper-sloped areas and proximity of the Elfin forest and Harmony Grove communities.*

Specific Plan Consistency: The Specific Plan designates the flatter portion of the site with minimum ½ acre lot sizes away from the visually sensitive areas. The larger lot areas have been located on steeper terrain and closer to the community of Elfin Forest and Escondido Creek floodplain (as demonstrated by Table 4-1 of the Specific Plan Land Use Element). Also, the Specific Plan attempts to locate a significant open space buffer between the communities of Harmony Grove and Elfin Forest, as shown on Figure 3-1 of the Conservation & Open Space Element.

4. *Proposed development shall be located on the flatter, less visible and less environmentally sensitive areas to preserve and protect sensitive habitats.*

Specific Plan Consistency: The Specific Plan Land Use Element encourages clustering of the residential dwelling units away from visually sensitive area, environmentally sensitive areas, and critical habitats.

5. *No residential development shall be allowed within the identified biological open space areas of the SPA.*

Specific Plan Consistency: The Specific Plan designates the proposed open space preserves as Open Space Land Use Designation, precluding any residential development and reclassifying the existing zones to S80 Open Space Use Regulations

6. *Overall residential project design shall minimize adverse impacts to significant resources and existing semi-rural atmosphere of surrounding areas. The Specific Plan shall utilize coordinated planning and land use techniques that include: residential development clustering, non-urban improvements, particularly with regard to street lighting and rural and passive recreational uses such as equestrian and hiking trails to provide land use compatibility, while preserving large blocks of habitats.*

Specific Plan Consistency: Consistent with this policy the Specific Plan Community Design Element includes provisions for guiding the residential development within the SPA Subareas, consistent with the environmental, visual, and existing community character of the area. The Specific Plan includes comprehensive planning goal policies, and objectives to prevent inconsistent development and preserve the significant environmental resources within the SPA. The Specific Plan Community Design Element (Chapter 7) addresses the above

design guidelines by providing objectives and policies for “common area” development, street lighting, and project landscaping. The Specific Plan includes provisions for site plan review for visually sensitive areas on the prominent ridges and hillsides, a landscape plant pallet to be utilized as part of the landscape concept plans for the implementing projects, and allows for no street lighting with the exception of minimum safety lighting per San Dieguito Community Plan “Dark Sky” policy

Conservation/Environmental

1. *Significant habitat shall be preserved in perpetuity by dedication of open space easements; compatible landscaping design shall provide a transition between development and habitat areas.*

Specific Plan Consistency: The Specific Plan Conservation & Open Space Element of the Specific Plan (Chapter 3) requires preservation of 311 acres of land (65% of the SPA) that serves both as regional corridor and preserve as well as a buffer between the clustered development areas and adjoining habitats.

2. *Large open space areas established for environmental protection and preservation are encouraged to be owned, operated and maintained by the Escondido Creek Conservancy or other public/private entity acceptable to the Department of Planning and Land Use.*

Specific Plan Consistency: The Specific Plan Open Space & Conservation (Chapter 3) requires the preserved open space area to be dedicated to Escondido Creek Conservancy or other habitat management agencies acceptable to the Director of Department of Planning and Land Use. The Escondido Creek Conservancy has been involved in the development of the Specific Plan and concurs

with the open space preservation goals and long-term management.

3. *The Specific Plan shall define the limits of the Escondido Creek 100-year floodplain and preserve and enhance its natural state and riparian vegetation except as otherwise authorized for passive recreational and trail uses. If riparian vegetation cannot be maintained other appropriate vegetation shall be planted within and along the Creek satisfactory to the Departments of Planning and Land Use and Department of Public Works.*

Specific Plan Consistency: As part of the habitat preservation goals of the Specific Plan the 100-year floodplain/floodway of the Escondido Creek has been identified (as mapped by the Department of Public Works) and included in the preserved open space. The only allowable uses within this area are recreational trails, creek crossings, and essential utilities. Additionally, areas that have been developed within the 100-year floodplain/floodway are proposed to be removed to retain their natural character. The Escondido Creek Conservancy, as part of their future plans, intends to revegetate and clean up this portion of the creek.

4. *The Specific Plan shall be primarily designed in a manner that a significant portion of existing stands of oak trees will be left undisturbed and retained in their natural state. Mature Oak trees that could be potentially impacted by development shall be relocated and used as part of the project’s landscaping design.*

Specific Plan Consistency: The Specific Plan Land Use Element (Chapter 4) designates a significant portion of the riparian habitats and oak woodlands as permanent open space. Moreover, the

Specific Plan provides for adequate buffers from these habitats to ensure their long-term viability.

5. *Road lighting shall be limited to only those areas where it can be demonstrated that a significant adverse impact to public health and safety would result if not installed. Where required, road lighting fixtures shall be shielded to reduce light ray emissions into the “night sky” and surrounding residential properties.*

Specific Plan Consistency: The Specific Plan’s Community Design Element (Chapter 7) requires conformance of the Specific Plan with the “Dark Sky” policy and limits the road lighting only to safety lighting as approved by the Department of Public works.

Recreation

1. *A riding and hiking trails network shall be prepared as a part of the Cielo del Norte Specific Plan. The trail network shall link this project to the adopted riding and hiking trails system within the San Dieguito Community Plan or County regional trails plan.*

Specific Plan Consistency: The Specific Plan Open Space & Recreation Element and Circulation Element (Chapter 5) provide for detailed policies and standards to establish recreational trails within the SPA.

2. *A system of riding and hiking trails shall be located along natural scenic areas, e.g. Escondido Creek, where possible. Trails shall be continuous and shall connect into existing and proposed adjacent trails in the surrounding area.*

Specific Plan Consistency: The 4 miles of the Specific Plan’s public trails are proposed to

connect to existing and planned regional trails in the area, as well as Specific Plan development areas and the private parks. Two regional trails are proposed near the Escondido Creek that are intended to connect with regional trails as well as surrounding communities.

3. *Parkland in-lieu fees shall be paid consistent with the Park Land Dedication Ordinance, in addition to 3 private park sites for a total of approximately 1.56 acres to be dedicated to the Cielo del Norte Home Owners Association for passive recreation area within the SPA.*

Specific Plan Consistency: The Specific Plan proposes the siting and dedication of 3 private park sites within the SPA (Chapter 6). Furthermore, parkland in-lieu fees are required to be paid prior to issuance of building permits.

Public Facilities

1. *The Specific Plan shall include a community facility element to provide for improvement of facilities and services necessary to implement the proposed project, including: educational, recreational, fire protection, transportation, water, sewer, flood control and drainage.*

Specific Plan Consistency: The Specific Plan does include the Public Facility Element (Chapter 6), which contains relevant policies and objectives for improvement of all essential public facilities including water, wastewater, fire protection, schools, parkland, and stormwater management.

2. *Sewer service and infrastructure shall be connected to the OMWD Sewer District and sized to serve only the residential sewage requirements of the Cielo del Norte Specific Plan.*

Specific Plan Consistency: The Specific Plan Public Facilities Element requires the SPA to be annexed through LAFCO into the OMWD Sewer District, with approval of OMWD's Board of Directors. All sewer facilities are planned to be sized for this project and a portion of Rancho Cielo Specific Plan. As part of this project planned sewer service is not proposed to cross the Escondido Creek or Harmon Grove Road.

APPENDIX A
ACKNOWLEDGMENTS

COUNTY OF SAN DIEGO

San Diego County Board of Supervisors - 2001

Greg Cox (First District)
Dianne Jacob, (Second District)
Pam Slater (Third District)
Ron Roberts, (Fourth District)
Bill Horn (Fifth District)

San Diego County Planning Commission - 2001

Michael Beck
Leon Brooks, Jr.
Michael Edwards
David Kreitzer
Kourosh Hangafarin
Bryan Woods
Raymond York

San Dieguito Planning Group - 2001

Bill Groeniger III (Seat One)
Donald Macneil (Seat Two)
Jeff Stephenson (Seat Three)
Michael Steinberg (Seat Four)
Ralph McKinnie (Seat Five)
Martha McCarter (Seat Six)
Bruce Liska, Vice Chair (Seat Seven)
Bill Schlosser (Seat Eight)
Lillian Ritt (Seat Nine)
Vacant (Seat Ten)
Ken King, Chair (Seat Eleven)
Jack McGee (Seat Twelve)
Lois Jones, Secretary (Seat Thirteen)
Donald Willis (Seat Fourteen)
Douglas Dill (Seat Fifteen)

Cielo del Norte Subcommittee

Douglas Dill, San Dieguito Planning Group
Lois Jones, San Dieguito Planning Group
Frank Twoy, Fire Chief Elfin Forest Fire Department
Elizabeth Keithley, Elfin Forest Resident
Bruce & Linda Hamilton, Elfin Forest Residents
Leonard Wittwer, The Escondido Creek Conservancy
Stephan Isaac, Questheaven Retreat
Frank Odo, Elfin Forest Resident

San Diego County Administration

Walt Eckert, Chief Administrative Officer
Robert Copper, Deputy Chief Administrative Officer

Department of Planning and Land Use

Gary Prior, Director
Robert Asher, Chief
Tom Oberbauer, Regional Planner
Susan Porter, Regional Planner
William Stocks, Associate Planner
Maggie Loy, Environmental Analyst
Carol Chase, Project Manager
Glenn Russell, Environmental Analyst
Clifford Hunter, County Fire Code Specialist

Department of Parks and Recreation

Susan Hector, Director
Noel Parr, Chief
Matt Bohan, Park Project Manager

Department of Public Works

Douglas Isbell, Deputy Director
Lee Shick, Project Manager
Bob Goralka, Transportation Planner
Paula Barca, Land Development Section
Jeff Bosvay, Land Development Section
Kent Burnham, Flood Control Section

OTHER AGENCIES

U.S. Fish and Wildlife Service

Sheryl Barrett, Assistant Field Office Supervisor
Nancy Gilbert, Supervisor of MSCP
Stefanie Barrett, Fish and Wildlife Biologist

State of California Department of Fish and Game

William Tippetts, Habitat Conservation Supervisor
David Lawhead, Environmental Specialist III

City of Escondido

Patrick Thomas, Director of Public Works
Bob Hoagland, Deputy Director of Public Works

The Escondido Creek Conservancy

Leonard Wittwer, President
Tim Costanzo, Secretary
Bruce Hamilton, Treasury
Steve Barker, Director
Jerry Harmon, Director
Anita Hayworth, Director
Patricia Newton, Director
Jack Olmstead, Director
Wendy Slijk, Director

Sierra Club

Janet Anderson, Conservation Chair

California Native Plant Society

Cindy Burrascano, San Diego Conservation Chair

Endangered Habitat League

Dan Silver, Coordinator

Olivenhain Municipal Water District

David McCollom, General Manager
Harry Ehrlich, Assistant General Manager
George Briest, PE, Engineer
Kelly gage, Engineering Administrator
Mike Skibinski, Boyle Engineering

San Diego County Water Authority

Gary Stine, Project Manager
Steven Moore, Right of Way Agent

Harmony Grove/Elfin Forest Fire Department, Inc.

Frank Twoy, Chief
Bob Kephart, Captain
Nona Barker, Firefighter

Escondido Union School District

Gina Manusov, Director of Facilities Planning

Escondido Union High School District

Robert Calkins, Assistant Superintendent

NEIGHBORING COMMUNITIES' REPRESENTATIVES

Rancho Santa Fe Association

Peter Smith, Manager
Keith Behner, Planning Director

Rancho Cielo Estates LTD.

David Dacus, Vice President of Marketing
Mark Rosen, PE, Latitude 33

PROJECT CONSULTANTS

Shapouri & Associates

Ali Shapouri, AICP, Principal Planner
Michael Shapouri, PE, Principal Engineer
Ray Shapouri, Principal Programmer
Dennis Verrilli, Principal Planner
John Karimi, GIS Manager
Ricardo Villalvazo, CAD Specialist
Yasmin Lope, Administrative Assistant

Lettieri-McIntyre & Associates, Inc

Bruce McIntyre, Principal
Kim Howlett, Senior Project Manager

Darnell & Associates, Inc.

Bill Darnell, PE, Principal
Vicki Root, Transportation Engineer

Dudek & Associates, Inc.

Harold Wier, Biologist
Anita Hayworth, Ph.D., Biologist
Vipul Joshi, Biologist
Julie Vanderwier, Biologist
Philip Behrends, Ph.D., Biologist
Martie Clemons, GIS Specialist

Darsono Design Associates,

Darsono Cunningham, ASLA, Principal

JT Kruer & Company

Jonathan Kruer, Principal
Jason Jones, Project Manager

Geocon Inc.

David Evans, CEG
Emilio Alvarado

APPENDIX B

PUBLIC SERVICES AVAILABILITY LETTERS



COUNTY OF SAN DIEGO
DEPT. OF PLANNING & LAND USE
8201 RUFFIN ROAD, SUITE B
SAN DIEGO, CA 92123-1666
(619) 588-5887 (619) 267-8770

PROJECT FACILITY AVAILABILITY FORM

SCHOOL

Please type or use pen
(Two forms are needed if project is to be served by separate school districts)
Cielo del Norte, LLC (858) 755-2400
Owner's Name Phone
3747 Carmel View Road #5
Owner's Mailing Address Street
San Diego CA 92130
City State Zip

ORG _____
ACCT _____
ACT _____ ELEMENTARY _____
TASK _____ HIGH SCHOOL _____
DATE _____ UNIFIED _____
DISTRICT CASHIER'S USE ONLY

SC

SECTION 1: PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. LEGISLATIVE ACT
- Rezones changing Use Regulations or Development Regulations
 - General Plan Amendment
 - Specific Plan
 - Specific Plan Amendment
- B. DEVELOPMENT PROJECT
- Rezones changing Special Area or Neighborhood Regulations
 - Major Subdivision (TM)
 - Minor Subdivision (TPM)
 - Boundary Adjustment
 - Major Use Permit (MUP), purpose: _____
 - Time Extension... Case No. _____
 - Expired Map... Case No. _____
 - Other _____
- C. Residential Total number of dwelling units: 187
- Commercial Gross floor area _____
 - Industrial Gross floor area _____
 - Other Gross floor area _____
- D. Total Project acreage 580 Total number lots 208

Assessor's Parcel Number(s)
(Add extra if necessary)

2	2	3
2	6	4
2	6	4
2	6	4

1	1	1
0	5	1
0	5	3
7	2	0

2	5	26
0	4	05
0	9	10
0	2	7

Thomas Bros. Page 1148 Grid H-34 T-234
Elfin Forest Rd./Harmony Grove Rd.
Project address Street
San Dieguito 92067-92029
Community Planning Area/Subregion Zip

Applicant's Signature: [Signature] ALI SHAPOUR Date: 11-15-02
Address: P.O. Box 676221 Rancho Santa Fe, CA 92067 Phone: (858) 756-8340
(On completion of above, present to the district that provides school protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY

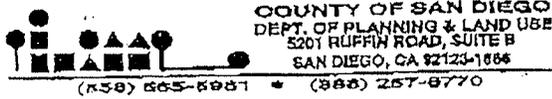
TO BE COMPLETED BY DISTRICT

District Name: Rancho Santa Fe School District
if not in a unified district, which elementary or high school district must also fill out a form? San Dieguito H.S. District

Indicate the location and distance of proposed schools of attendance. Elementary: RSE miles _____
Junior/Middle: RSE miles _____ High school: _____ miles _____
 This project will result in the overcrowding of the elementary junior/school high school. (Check)
 Fees will be levied or land will be dedicated in accordance with either Government Code Section 53080 or Section 65970 prior to the issuance of building permits.
 Project is located entirely within the district and is eligible for service.
 The project is not located entirely within the district and a potential boundary issue may exist with the Escondido S.D. school district.

[Signature] Daniel A. Vinson
Authorized signature Print name
Superintendent (858) 756-1141
Print title Phone

On completion of Section 2 by the district, applicant is to submit this form with application to:
Zoning Council, Department of Planning and Land Use, 5201 Ruffin Road, San Diego, CA 92123



PROJECT FACILITY AVAILABILITY FORM

SCHOOL

Please type or use pen
 (Two forms are needed if project is to be served by separate school districts)

ORG SC
 ACCT _____
 ACT _____ ELEMENTARY _____
 TASK _____ HIGH SCHOOL _____
 DATE _____ UNIFIED _____

Owner's Name Ciclo del Norte, LLC (858) 755-2400
 Phone
 Owner's Mailing Address 3747 Carmel View Rd, #5
 Street
San Diego CA 92130
 City State Zip

DISTRICT CASHIER'S USE ONLY

SECTION 1: PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A. LEGISLATIVE ACT
 Rezones changing Use Regulations or Development Regulations
 General Plan Amendment
 Specific Plan
 Specific Plan Amendment

B. DEVELOPMENT PROJECT
 Rezones changing Special Area or Neighborhood Regulations
 Major Subdivision (TM)
 Minor Subdivision (TPM)
 Boundary Adjustment
 Major Use Permit (MUP), purpose: _____
 Time Extension...Case No. _____
 Expired Map...Case No. _____
 Other _____

C. Residential Total number of dwelling units 187
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____

D. Total Project acreage 580 Total number lots 208

Applicant's Signature: [Signature] (Ali Shapouri) Date: 7-15-02
 Address: PO Box 67661 Rancho Santa Fe (92067) Phone: (858) 756-8340
 (On completion of above, present to the district that provides school protection to complete Section 2 below.)

Assessor's Parcel Number(s)
 (Add extra if necessary)

2	2	3
2	6	4
2	6	4
2	6	4

1	1	1
0	5	1
0	5	3
1	2	0

2	5
0	4
0	9
0	2

Thomas Bros. Page 1148 Grid 2-2, 3, 4
 Elgin Forest Rd/Harmony Grove Rd
 Project address Street
San Dieguito 92067-92069
 Community Planning Area/Subregion Zip

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

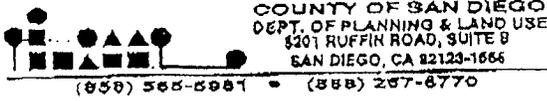
District Name: Escondido Union School District
 If not in a unified district, which elementary or high school district must also fill out a form?
Escondido Union High School District

Indicate the location and distance of proposed schools of attendance. Elementary: Rock Springs miles 8.5
Rincon miles 8.6
 Junior/Middle: LR Green miles 8.0 High school: _____ miles

This project will result in the overcrowding of the elementary junior/school high school. (Check) prior to the issuance of building permits.
 Fees will be levied or land will be dedicated in accordance with either Government Code Section 53080 or Section 65970.
 Project is located entirely within the district and is eligible for service.
 The project is not located entirely within the district and a potential boundary issue may exist with the Rancho Santa Fe Elementary and San Dieguito High school district.

Authorized signature: Gina Manusev 7/19/02
 Print name: Gina Manusev
 Director, Facilities Planning & Construction Phone: 760-432-2159
 Print title

On completion of Section 2 by the district, applicant is to submit this form with application to:
 Zoning Counter, Department of Planning and Land Use, 5201 Ruffin Road, San Diego, CA 92123



PROJECT FACILITY AVAILABILITY FORM

SCHOOL

Please type or use pen
(Two forms are needed if project is to be served by separate school districts)

Ciclo del Norte, LLC (858) 755-2400
Owner's Name Phone

3747 Carmel View Rd, #5
Owner's Mailing Address Street

San Diego CA 92130
City State Zip

ORG SC

ACCT _____

ACT _____ ELEMENTARY _____

TASK _____ HIGH SCHOOL _____

DATE _____ UNIFIED _____

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

A. LEGISLATIVE ACT

Rezones changing Use Regulations or Development Regulations

General Plan Amendment

Specific Plan

Specific Plan Amendment

B. DEVELOPMENT PROJECT

Rezones changing Special Area or Neighborhood Regulations

Major Subdivision (TM)

Minor Subdivision (TPM)

Boundary Adjustment

Major Use Permit (MUP), purpose: _____

Time Extension...Case No. _____

Expired Map...Case No. _____

Other _____

C. Residential _____ Total number of dwelling units 187

Commercial _____ Gross floor area _____

Industrial _____ Gross floor area _____

Other _____ Gross floor area _____

D. Total Project acreage 580 Total number lots 208

Applicant's Signature: Ali Shalvi (ALI SHALVI) Date: 7-15-02

Address: PO Box 676621 Rancho Santa Fe (92067) Phone: (858) 756-8340

(On completion of above, present to the district that provides school protection to complete Section 2 below.)

Assessor's Parcel Number(s)
(Add extra if necessary)

2	2	3
2	6	4
2	6	4
2	6	4

1	1	1
0	5	1
0	5	3
1	2	0

2	5	26
0	4	27
0	9	05
0	2	11

Thomas Bros. Page 1148 Grid H-3-4
7-2-3-4

Elgin Forest Rd/Harmony Grove Rd
Project address Street

San Dieguito 92067-92029
Community Planning Area/Subregion Zip

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District Name: ESCONDIDO UNION HIGH SCHOOL DISTRICT

Indicate the location and distance of proposed schools of attendance. Elementary: _____ miles

Junior/Middle: _____ miles High school: SAN PASQUAL miles 4-3

This project will result in the overcrowding of the elementary junior/school high school. (Check)

Fees will be levied or land will be dedicated in accordance with either Government Code Section 93080 or Section 65970 prior to the issuance of building permits.

Project is located entirely within the district and is eligible for service.

The project is not located entirely within the district and a potential boundary issue may exist with the _____ school district.

Linda L. Robinson
Authorized signature

Facilities
Print title

If not in a unified district, which elementary or high school district must also fill out a form?

Linda L. Robinson
Print name

(760) 291-3232
Phone

On completion of Section 2 by the district, applicant is to submit this form with application to:
Zoning Counter, Department of Planning and Land Use, 5201 Ruffin Road, San Diego, CA 92123



COUNTY OF SAN DIEGO
DEPT. OF PLANNING & LAND USE
5201 RUFFIN ROAD, SUITE 8
SAN DIEGO, CA 92123-1668
(658) 565-6987 • (658) 287-6770

PROJECT FACILITY AVAILABILITY FORM

SEWER

Please type or use pen

Owner's Name Cielo del Norte Phone (858) 755-2400
 Owner's Mailing Address 3747, Carmel View Rd, # 5 Street
San Diego City CA State 92130 Zip

ORG _____
 ACCT _____
 ACT _____
 TASK _____
 DATE _____ AMT \$ _____



DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A. Major Subdivision (TM) Certificate of Compliance: _____
 Minor Subdivision (TPM) Boundary Adjustment
 Specific Plan or Specific Plan Amendment
 Rzone (Reclassification) from R25 to R22 zone
 Major Use Permit (MUP), purpose: _____
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other _____

B. Residential Total number of dwelling units 187
 Commercial Gross floor area _____
 Industrial Gross floor area _____
 Other Gross floor area _____

C. Total Project acreage 580 Total lots 187 Smallest proposed lot 0.5

D. Is the project proposing its own wastewater treatment plant? Yes No
 Is the project proposing the use of reclaimed water? Yes No

Assessor's Parcel Number(s)
(Add extra if necessary)

2	2	3
2	6	4
2	6	4
2	6	4

1	1	1
0	5	1
0	5	3
1	2	0

2	5	5
0	4	5
0	9	5
0	2	5

Thomas Bros. Page 114B Grid J-3, 4
Elfin Forest Rd / Harmony Grove Rd. Project address Street
San Dieguito 92067 92029 Community Planning Area/Subregion Zip

Owner/Applicant agrees to pay all necessary construction costs and dedicate all district required easements to extend service to the project.
 OWNER/APPLICANT MUST COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: _____ Date: 7-15-02
 Address: PO, Box 676621 Rancho Santa Fe CA 92067 Phone (858) 756-8340
 (On completion of above, present to the district that provides sewer protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

District name Olivehain MUD Service area Rancho Creb SOI

A. Project is in the District.
 Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the District and is not within its Sphere of Influence boundary.
 Project is not located entirely within the District and a potential boundary issue exists with the _____ District.

B. Facilities to serve the project ARE ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached. Number of sheets attached: _____
 Project will not be served for the following reason(s): _____

C. District conditions are attached. Number of sheets attached: 3
 District has specific water reclamation conditions which are attached. Number of sheets attached: _____
 District will submit conditions at a later date.

D. How far will the pipeline(s) have to be extended to serve the project? ITS

Date: July 18, 2002 Expiration date: July 18, 2003 (One year from date of issuance unless district indicates otherwise.)
 Authorized signature: _____ Print name: Alan Lubbe
 Print title: Engineering Coordinator Phone: (760) 632-4642

NOTE: THIS DOCUMENT IS NOT A DOCUMENT OF FACILITIES OR SERVICE BY THE DISTRICT. On completion of Section 2 by the district, applicant is to submit this form with application to: Zoning Counter, Department of Planning and Land Use, 5201 Ruffin Road, San Diego, CA 92123
 DPLU #399S (10/01)



OLIVENHAIN
Municipal Water District

1966 Olivenhain Road • Encinitas, CA 92024 • Phone (760) 753-6466 • Fax (760) 753-1578

July 18, 2002

County of San Diego
Dept. of Planning & Land Use
5201 Ruffin Road, Suite B3
San Diego, California, 92123

Re: Tax Assessors Parcel Nr. 223-111-25; -26; -27
264-051-04; & -05
264-053-09; -10; -11; 12; & -19
264-120-02

Subject: Sewer Availability Letter - Cielo Del Norte (OMWD #556000)
Supplement to County Form 399S

The fee owner, Rancho Cielo North, Inc. (Applicant), has requested the District to provide a Sewer Availability Letter for the property identified above for a proposed project described as: Major subdivision of 187 Dwelling Unit's. This property is currently within the District's sewer sphere of influence and will be eligible to receive sewer service upon the completion of the project's annexation into the District.

Upon satisfactory completion of all of the conditions specified on the following pages, there will be capacity in these facilities to serve the Project. Sewer service will be available at the time requested upon completion of all necessary facilities including all on-site and off-site sewer facilities determined necessary by the District to adequately serve the Project, in the District's sole discretion.

The District has been requested to furnish a staff estimate, based on current conditions, of the availability of Sewer service in this area. This letter is issued for planning purposes and is not a representation, express or implied, that the District will provide Sewer service at a future date. Commitments to provide sewer service are made only by the Districts' Board of Directors and are subject to the applicants compliance with the District fees, charges, rules and regulations, the Environmental Quality Act of 1970, as amended, and the applicants' agreement to construct any required on-site and off-site facilities together with the applicant's providing security as required by the District for construction.

The issuance of this Sewer Availability Letter does not grant the applicant any sewer rights. The applicant does not secure a right to sewer service until application for sewer service is made and approved by the District, and the applicant has complied with all requirements of the District.

Board of Directors

Robert F. Topolovac, President
Harold L. Gano, Vice President
Thelma M. Miller, Treasurer
Susan J. Varty, Secretary
Mark Muir, Director

General Manager

David C. McCollom
Legal Counsel
Wesley W. Peltzer

*A public agency proudly serving
portions of Encinitas, Carlsbad,
Solana Beach, Rancho Santa Fe,
San Marcos, Elfin Forest, 4S Ranch,
San Diego and the Olivenhain Valley.*

Sewer Availability Letter

Project: Cielo Del Norte (OMWD #556000)

The failure of the applicant to pay any fee or charge of the District when due, or to comply with other requirements of the District, shall entitle the District to unilaterally terminate this Sewer Availability Letter, and all further rights of the applicant to sewer service.

Capacity fees are paid to the District to reserve future sewer service for the project contingent upon the applicant paying all fees and charges and complying with all requirements of the District. The payment of all capacity fees by the date they are due is an express condition precedent to any right of the applicant to receive future sewer service. The failure of applicant to make any capacity fee payment by the date it is due shall automatically terminate the right of applicant to receive future sewer service.

This commitment to availability is conditioned on the following requirements and/or limitations:

1. A sewer master plan acceptable to the District is completed.
2. The Project will be required to pay all applicable sewer capacity fees and all other fees and charges of the District in accordance with the District's Rules and Regulations.
3. Proponent is required to provide all fee sites and easements as required for construction of on-site and off-site facilities as required by District, in its sole discretion.
4. Proponent is required to construct all onsite and offsite sewer facilities as required by the District, in its sole discretion.
5. Certification of the final Environmental Impact Report for the Project and no challenge within the time authorized by law or, if there is a challenge, the final Environmental Impact Report is upheld by a court of competent jurisdiction.
6. Approval by LAFCO of annexation of all the Property to the Rancho Cielo Sanitation Area. The Applicant will be required to comply with all LAFCO terms and conditions, to pay all LAFCO fees and charges, and to pay the District for all staff time, engineer time, attorney's fees and consulting fees and costs incurred in an effort to obtain this approval.
7. Payment of all applicable reimbursement and annexation costs shall be paid in accordance with agreements executed prior to the date of this availability letter.
8. An amendment to the Rancho Cielo Specific Plan or an amendment of the County General Plan to permit the Project must be approved, if required by the County; and
9. The Property must secure an approved Final Map.
10. Annexation fees must be paid in accordance with Article 24 of the District's Administrative Code.

This letter of availability pertains solely to the proposed project as described by applicant, is not transferable to any other project, and is not transferable to any other owner or developer without

Sewer Availability Letter

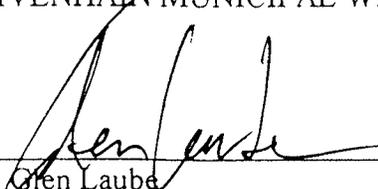
Project: Cielo Del Norte (OMWD #556000)

written permission of the Board of Directors of the District. Any purported transfer, sale, or assignment of this Sewer Availability Letter without the prior written consent of the District renders this letter null and void.

This letter automatically terminates, and is of no further force or effect, on the occurrence of (1) July 18, 2003 (without an approved Tentative Map); (2) termination of any tentative map; (3) termination of any final map; or (4) five years from the date of recordation of final map.

OLIVENHAIN MUNICIPAL WATER DISTRICT

By:


Glen Laube
Engineering Coordinator



COUNTY OF SAN DIEGO DEPT. OF PLANNING & LAND USE 5201 RUFFIN ROAD, SUITE B SAN DIEGO, CA 92123-1666 (858) 565-5981 • (858) 267-8770

PROJECT FACILITY AVAILABILITY FORM

WATER

Owner's Name: Cielo del Norte, Phone: (858) 755-2400, Address: 3747 Carmel View Rd, #5, San Diego, CA 92130. Includes fields for ORG, ACCT, ACT, TASK, DATE, and AMT \$.

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

Project description details including zoning (RR5 to RR2), assessor's parcel numbers (223, 264, 264, 111, 051, 053, 120, 25, 04, 09, 02), and project address (Elfin Forest Rd./Harmony Grove Rd, San Diego 92067).

SECTION 2: FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

Facility availability details for Olivenham MWD, Zone 7/8, B/C. Includes checkboxes for project location, facility availability, and district conditions.

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT

On completion of Section 2 by the district, applicant is to submit this form with application to: Zoning Counter, Department of Planning and Land Use, 5201 Ruffin Road, San Diego, CA 92123



OLIVENHAIN
Municipal Water District

1966 Olivenhain Road • Encinitas, CA 92024 • Phone (760) 753-6466 • Fax (760) 753-1578

July 18, 2002

County of San Diego
Dept. of Planning & Land Use
5201 Ruffin Road, Suite B3
San Diego, CA, 92123

Re: Tax Assessor's Parcel Nr. 223-111-25; -26; -27
264-051-04; & -05
264-053-09; -10; -11; 12; & -19
264-120-02

Subject: Water Availability Letter – Cielo Del Norte (OMWD #556000)
Supplement to County Form 399W

The fee owner, Rancho Cielo North, Inc. (Applicant), has requested the District to provide a Water Availability Letter for the property identified above for a proposed project Applicant described as: Major Subdivision of 187 Dwelling Unit(s). This property is in the District and eligible to receive domestic service at this time.

The District has or will have adequate facilities in this area. There is or will be capacity in these facilities to serve the proposed project at the time requested. Water service is or will be available at the time requested at a minimum of 25 psi pressure at the District's main under normal operating conditions and upon completion of all necessary facilities, including any required onsite and offsite water lines, appurtenances, or facilities as required and noted below, in the District's sole discretion. However, all water received by the District is imported from other agencies. Accordingly, there is no guarantee that water will be available when service is requested.

The District has been requested to furnish a staff estimate, based on current conditions, of the availability of water service in this area. This letter is issued for planning purposes and is not a representation, express or implied, that the District will provide service at a future date. Commitments to provide water service are made only by the District's Board of Directors and are subject to the applicants compliance with the Districts' fees, charges, rules and regulations, the Environmental Quality Act of 1970, as amended, and the applicants' agreement to construct any required onsite and off site facilities together with the applicant's providing security as required by the District for construction of those facilities.

The issuance of this Water Availability Letter does not grant the applicant any water rights. The applicant does not secure a right to water until application for service is made and approved by the District, and the applicant has complied with all requirements of the District.

Board of Directors
Robert F. Topolovac, President
Harold L. Gano, Vice President
Thelma M. Miller, Treasurer
Susan J. Varty, Secretary
Mark Altair, Director

General Manager
David C. McCollom
Legal Counsel
Wesley W. Peltzer

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Solana Beach, Rancho Santa Fe,
San Marcos, Elfin Forest, 4S Ranch,
San Diego and the Olivenhain Valley*

Water Availability Letter

Project: Cielo Del Norte (OMWD #556000)

The failure of the applicant to pay any fee or charge of the District's when due, or to comply with other requirements of the District, shall entitle the District to unilaterally terminate this Water Availability Letter, and all further rights of the applicant to water service.

Improvement fees, when applicable, are paid to the District to reserve future water service for the project contingent upon the applicant paying all fees and charges and complying with all requirements of the District. The payment of all improvement fees by the date they are due is an express condition precedent to any right of the applicant to receive future water service. The failure of applicant to make any improvement fee payment by the date it is due shall automatically terminate the right of applicant to receive future water service and no previous improvement fee payments paid by the applicant shall be refunded. Reinstatement of the water commitment requires applicant to remedy any defects or deficiencies and payment of fees and charges applicable, as determined by the District, in its sole discretion.

This commitment to water service availability is conditioned on the following requirements and/or limitations:

1. Payment of all improvements fees, as appropriate, when due in accordance with District Ordinance 276, or successor Ordinance, not attached hereto, but incorporated herein by reference.

2. Applicant is required to have a hydraulic analysis done by the District's consulting engineer to ascertain the impact of the project on the District's water system.

3. Applicant is required to provide all fee and easements as required for construction of onsite and offsite facilities as required by the District, in its sole discretion.

4. Applicant is required to construct all onsite and offsite facilities as required by the District, in its sole discretion.

5. Applicant is required to execute District Agreement for pipeline construction and furnish all necessary documents for insurance, bonding, and pay all District's charges as they are invoiced.

6. In accordance with District Assessment District 96-01, not attached hereto, but incorporated herein by reference, lots of ½ acre or less may have a ¾ inch meter installed unless owner chooses to upgrade the meter and pay the additional fees and charges. Lots greater than ½ acre but less than 3 acres **require** one-inch meters to be installed. Lots in excess of 3 acres **require a minimum** 1½ inch meter to be installed. Larger meters may be required by the District, in its sole discretion.

If it can be demonstrated that lots of a given area are not useable in gross, a deviation in meter size may be made with the concurrence of the District Engineering Manager.

7. The District may require larger meters than the Assessment District 96-01 lot size criteria would dictate if the individual residence requires water service greater than can be accommodated by the standard ¾ inch meter irrespective of the lot size, in its sole discretion.

8. Applicant is required to comply with District Ordinance 280 for the mitigation of impacts to the District's Assessment District 96-01. Ordinance 280 requires an executed agree-

Water Availability Letter

Project: Cielo Del Norte (OMWD #556000)

ment to request increased EDUs that this project requires. The Applicant is responsible for payment of all fees and charges as outlined in the executed agreement.

9. Certification of the final Environmental Impact Report for the Project and no challenge within the time authorized by law or, if there is a challenge, the final Environmental Impact Report is upheld by a court of competent jurisdiction.

10. The Project must successfully obtain either an amendment of the Rancho Cielo Specific Plan or an amendment of the County General Plan to permit the Project.

11. Tentative maps for the Project must be approved.

12. The Project will be required to pay all capacity fees and all other fees and charges of the District's in accordance with the District's Rules and Regulations.

This letter of water availability pertains solely to the proposed project as described by applicant, is not transferable to any other project, and is not transferable to any other owner or developer without written permission of the Board of Directors of the District. Any purported transfer, sale, or assignment of this Water Availability Letter without the prior written consent of the District renders this letter null and void.

This letter automatically terminates, and is of no further force or effect, on the occurrence of (1) July 18, 2003 without an approved tentative map; (2) termination of any tentative map; (3) termination of any final map; or (4) five years from the date of recordation of any final map.

OLIVENHAIN MUNICIPAL WATER DISTRICT

By: _____

Glen Laube

Engineering Coordinator

PROJECT FACILITY AVAILABILITY FORM

FIRE

F

Please type or use pen

ORG _____
 ACCT _____
 ACT _____
 TASK _____
 AMT \$ _____ DATE _____

Rancho Cielo North Inc. (858) 755-2400
 Owner's name Dave Resnick Phone
5090 Camino to Exquisite
 Owner's mailing address Street
San Diego CA 92130
 City State Zip

DISTRICT CASHIER'S USE ONLY

SECTION 1 PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. Major Subdivision (TM) Specific Plan or Specific Plan Amendment
 Minor Subdivision (TPM) Boundary Adjustment
 Certificate of Compliance, purpose: _____
 Major Use Permit (MUP), purpose: _____
 Rezone (Reclassification) from R 2 to S 88 zone
 Time Extension... Case No. _____
 Expired Map... Case No. _____
 Other _____

Assessor's Parcel Number(s)
 (Add extra if necessary)

223	111	25	16	27
264	051	05	04	
264	053	09	10	11, 12
264	120	02		

- B. Residential..... Total number of dwelling units 187
 Commercial..... Gross floor area _____
 Industrial..... Gross floor area _____
 Other..... Gross floor area _____

Thomas Bros. Page 1148, 49 Grid S 2 & 3 and 4
A 2 & 3 & 4
 Project address Elfin Forest & Harmony Court
San Diego Community Plan 92067
 Community Planning Area/Subregion 210

C. Total Project acreage 580 Total lots 187 Smallest proposed lot 0.5 ac

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's signature: [Signature] (Ali Shapouri) Date: 8-13-01

Address: P.O. Box 676221 Rancho Santa Fe CA 92087 Phone: 858-756-8340
 (On completion of above, present to the district that provides fire protection to complete Section 2 and 3 below)

SECTION 2 FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District Name: ELFIN FOREST CSA 107

Indicate the location and distance of the primary fire station that will serve the proposed project: _____

- A. Project is in the District and eligible for service.
 Project is not in District but it is within its Sphere of Influence boundary, owner must apply for annexation.
 Project is not in the District and not within the District's Sphere of Influence.
 Project is not located entirely within the District and a potential boundary issue exists with the _____ District.
 B. Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is 10 minutes.
 Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.
 C. District conditions are attached. The number of sheets attached: _____
 District will submit conditions at a later date.

SECTION 3. FUELBREAK REQUIREMENTS

Note: The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by the Department of Planning and Land Use.

- Within the proposed project 100 feet of clearing will be required around all structures.
 The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

Date: 8-13-2001 Expiration date: _____ (One year from date of issuance unless district indicates otherwise)

[Signature] Clifford F. Hunter 858-1694-2251
 Authorized Signature Fire Code Specialist Phone

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Zoning Counter, Department of Planning and Land Use, 5201 Ruffin Road, Suite B, San Diego, CA 92123



County of San Diego

DEPARTMENT OF PLANNING AND LAND USE

5201 Ruffin Road, Suite B San Diego, CA 92123-1666
Information (619) 894-2980

SAN MARCOS OFFICE
338 Via Vera Cruz - Suite 201
San Marcos, CA 92069-2620
760-471-0730

EL CAJON OFFICE
200 East Main St. - Sixth Floor
El Cajon, CA 92020-3912
619-441-4030

GARY PRYOR
DIRECTOR
619-694-2962

June 21, 1999

Ali Shapouri, Principal Planner
Shapouri & Associates
16089 San Dieguito Road, Suite H-102
Rancho Santa Fe, CA 92067

Ref: Cielo Del Norte Project
Elfin Forest - 188 homes sites

Dear Mr. Shapouri

The following is response to the Project Facility and Availability request.

Project Facility Availability

HISTORY - TYPE OF FIRE PROTECTION

The Elfin Forest area is within the California Department of Forestry and Fire Protection and Elfin Forest CSA 107 Volunteer Fire Department. The California Department of Forestry and Fire Protection does not operate year round. They generally operate with full staffing and open fire stations each year starting in May, and reduce staffing and close fire stations in November or early December of each year depending on weather conditions. Their primary responsibility is the protection of forest, range and watershed land, however, **subject to availability of firefighting resources, they may** respond to structural, vehicle, and other fires within state responsibility areas. Like other fire agencies, they also respond to a variety of non-fire emergencies.

The Elfin Forest Fire Department operates year round and provides protection for structural, vehicle, brush and other fires and medical aids within state responsibility areas.

ROADWAYS

1. Fire apparatus roadways serving more than two dwellings shall have an unobstructed, improved width of not less than 24 feet and a vertical clearance of not less than 13 feet 6 inches. Note: On street parking would require additional width or offsite parking.

2. Individual driveways serving as a fire apparatus access road shall be at least 16 feet wide with a vertical clearance of not less than 13 feet 6 inches. Note: On street parking would require additional width or offsite parking.
3. Dead-end fire apparatus roads, including private driveways more than 150 feet in length shall be provided with approved means for turning the fire apparatus around. Note: Turn around must not be used for parking of vehicles. Turn around must be kept clear of all obstructions to fire department access.
4. Access roadways and driveways shall not exceed 20% slope. Minimum driveway surfacing material shall depend on the slope as follows:

0-10% slope	2" decomposed granite
11-15% slope	2" Asphaltic Concrete
16-20% slope	3" Asphaltic Concrete

5. Secondary Access is required when the maximum length of the dead-end road, including all dead-end roads accessed from that dead-end road, and shall not exceed the following cumulative lengths:

Parcels zoned for less than 1 acre	800 feet
Parcels zoned for 1 acre to 4.99 acres	1,320 feet
Parcels zoned for 5 acres to 19.99 acres	2,640 feet

FUEL MODIFICATION ZONE

A 100-foot fuel modification zone is required around all structures when built in accordance with the specification of the fire Marshal and County Standards on each parcel.

FIRE PROTECTION

FIRE FLOW – water supply

1. All structures shall have an automatic fire sprinkler system installed per NFPA 13-D standards and the County of San Diego requirements.
2. In hazardous fire areas fire flow is 2,500 gallons per minute for new subdivisions. Hydrant spacing with fire sprinkler structures for parcels 2 ½ acres and larger: every 1,300 feet. Parcels ½ to 2 ½ acres: every 850 feet.
3. TYPE OF WATER SUPPLY – Where adequate public/private water supply is not available. Water supply may consist of reservoirs, pressure tanks, elevated tanks, water mains or other fixed systems, as approved by the fire chief, capable of providing the required fire flow in a reliable manner.

WATER STORAGE TANKS

Water storage tanks, when permitted by the Chief, shall comply with Table No. 903.3.1.

TABLE NO. 903.3.1.			
Building Square Feet	Gallons Per Minute Water Flow	Capacity Gallons	Duration Minutes
Up to 500 Ft	250	1,500	6
501 - 1,500 Ft	250	3,000	12
1,501 - 3,000 Ft	250	5,000	20
3,001 - 4,500 Ft	250	7,500	30
Over 4,500 Ft	250	10,000	40

When exposure distance is one hundred feet (100') or less from adjacent property, the following minimum fire flow shall be adhered to. The Chief, depending on the square footage of the exposed structure may require increase in water storage. When protecting exposures within 100 feet or less, the minimum flow duration shall not be less than two (2) hours unless otherwise approved by the Chief.

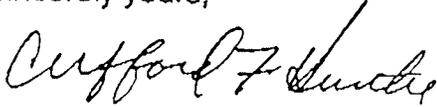
EXPOSURE DISTANCE	MINIMUM FIRE FLOW
Over 100 Ft	250 Gallons Per Minute
31 Ft - 100 Ft	500 - 750 Gallons Per Minute
11 Ft - 30 Ft	750 - 1000 Gallons Per Minute
10 Ft or less	1000 - 1500 Gallons Per Minute

1. Tank elevation shall be equal to or higher than the fire department connection on the premises. Regardless of domestic use, all tanks shall be equipped with a device that will ensure that the tank contains the designated amount of water for fire flow duration as determined by the fire department. Tank size may be increased to serve multiple structures on a single parcel.
2. Supply outlet shall be at least 4 inches in diameter from the base of the tank to the point of outlet at the fire department connection. The fire department connection shall be at least one 4 inch National Standard Thread male. Additional outlets may be required.
3. Location of fire department outlet to be determined on the plot plan when submitted to the fire department. Consideration will be given to topography, elevations, and distance from structures, driveway access, prevailing winds, etc.
4. The outlet shall be located along an access roadway and shall not be closer than 50 feet nor further than 150 feet from the structure.
5. All exposed tank supply pipes shall be of an alloy or other material listed for above ground use. Adequate support shall be provided.
6. Water storage tanks shall be constructed from materials approved by the Fire Marshal and installed per manufacturer recommendations.
7. Vessels previously used for products other than water shall not be permitted.

8. The Chief may require any necessary information to be submitted on a plot plan for approval.

The Harmony Grove Volunteer Fire Department is looking forward to working with you to mitigate the projects considerable impact to the Fire Department.

Sincerely yours,



Clifford F. Hunter, Fire Code Specialist
Building Division
Department of Planning and Land Use

C. File
Chief Frank Twohy

APPENDIX C

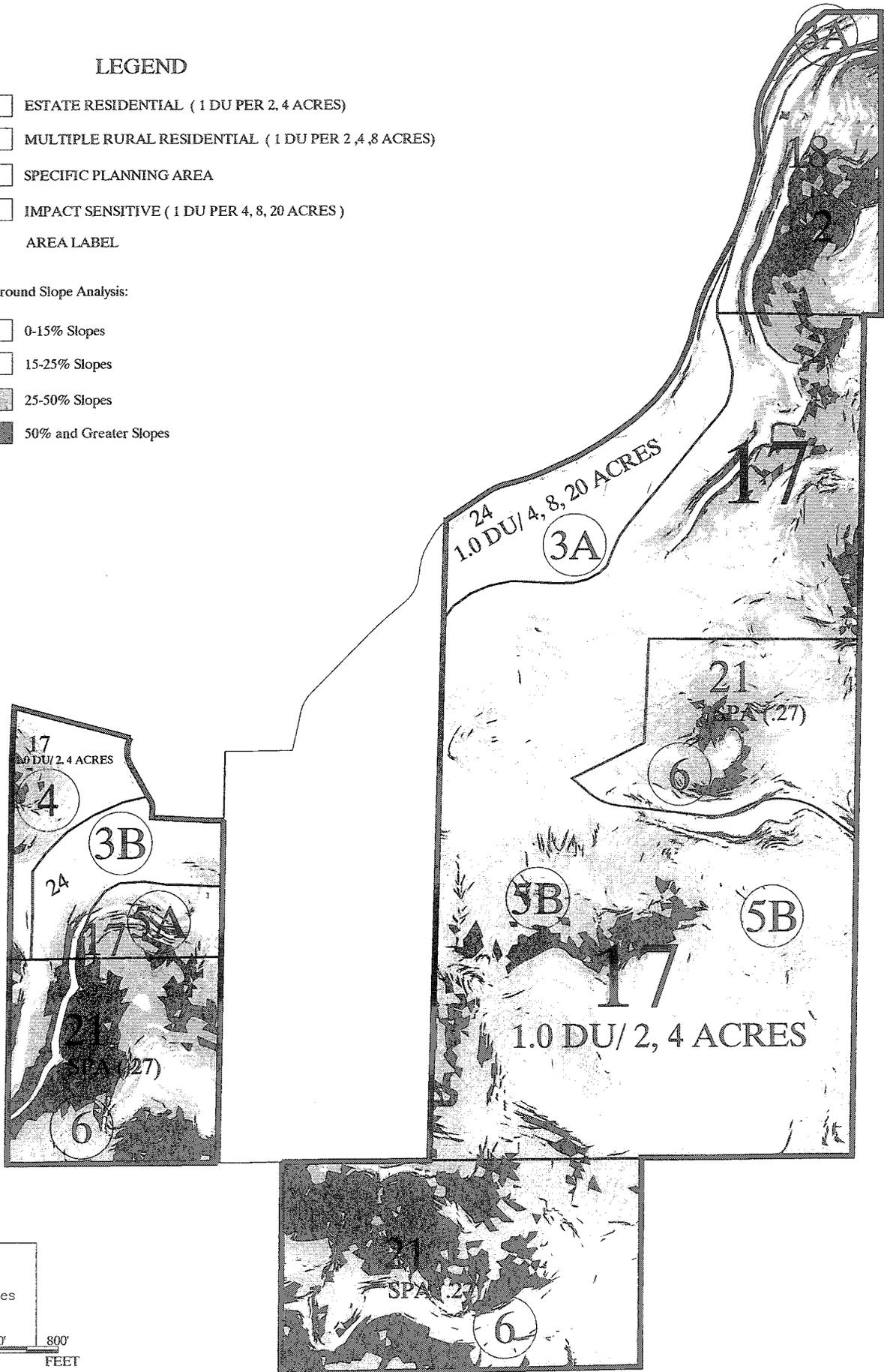
DWELLING UNIT ALLOCATION CALCULATION & MAP

LEGEND

- 17 ESTATE RESIDENTIAL (1 DU PER 2, 4 ACRES)
- 18 MULTIPLE RURAL RESIDENTIAL (1 DU PER 2, 4, 8 ACRES)
- 21 SPECIFIC PLANNING AREA
- 24 IMPACT SENSITIVE (1 DU PER 4, 8, 20 ACRES)
- 3B AREA LABEL

Existing Ground Slope Analysis:

- 0-15% Slopes
- 15-25% Slopes
- 25-50% Slopes
- 50% and Greater Slopes



Existing General Plan Land Use Designations & Slope Analysis Map

Slope Density Calculations for Cielo del Norte TM-Rpl-7

Area: SLOPE Category	Acres	Acres/DU	# of DU's	Totals	
2					
18	1= 0-15%	4.81	4	1.2025	
	2= 15-25%	4.21	4	1.0525	
	3= 25-50%	11.16	8	1.395	
	4= over 50%	10.47	20	0.5235	
	Sub Total Area =	30.65	Sub Total DU's =		4.1735
3A					
24	1= 0-15%	26.31	4	6.5775	
	2= 15-25%	4.26	4	1.065	
	3= 25-50%	1.92	8	0.24	
	4= over 50%	1	20	0.05	
	Sub Total Area =	33.49	Sub Total DU's =		7.9325
3B					
24	1= 0-15%	9.62	4	2.405	
	2= 15-25%	3.06	4	0.765	
	3= 25-50%	2.12	8	0.265	
	4= over 50%	0.44	20	0.022	
	Sub Total Area =	15.24	Sub Total DU's =		3.457
4					
17	1= 0-15%	5.24	2	2.62	
	2= 15-25%	3.78	2	1.89	
	3= 25-50%	4.57	4	1.1425	
	4= over 50%	0.92	4	0.23	
	Sub Total Area =	14.51	Sub Total DU's =		5.8825
5A					
17	1= 0-15%	0.95	2	0.475	
	2= 15-25%	2.32	2	1.16	
	3= 25-50%	4.61	4	1.1525	
	4= over 50%	1.19	4	0.2975	
	Sub Total Area =	9.07	Sub Total DU's =		3.085
5B					
17	1= 0-15%	75.1	2	37.55	
	2= 15-25%	61.56	2	30.78	
	3= 25-50%	76.98	4	19.245	
	4= over 50%	18.96	4	4.74	
	Sub Total Area =	232.6	Sub Total DU's =		92.315
Total Area (2-5) =		335.56	Sub-Total Dwelling Units=		116.8455
6	Total Area (6) =		Rancho Cielo SPA DU's=		
21	146.79		46		
Total Area =		482.35	Total Dwelling Units=		162.8455

Cielo del Norte Specific Plan SP 99-001

Legend

Land Use

Open Space: ≈ 311.7 acres
Approximately 3.3 times of Open Space Permitted has been
reserved within the Cielo del Norte Land Use Element.

Recreational Open Space
Private path for public use within
recreational area. Zone areas:
P1=3.48 Ac., P2=2.46 Ac., P3=4.30 Ac.
Total: 10.24 Ac.

Estate Residential
154 single family detached dwelling units
and within 5 neighborhood (subareas).

PS2 = Sewer Pump Station Site

Boundaries

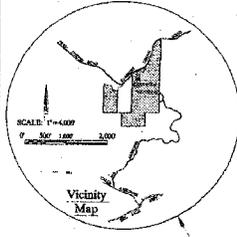
Specific Plan Area Boundary
 Subarea Boundary
 Existing Parcel Lines
 River and Stream

Easements

Existing 20' Sewer Outfall Easement
(City of Escondido)
 Easement to County Water Authority
(Waste-water pipeline)
 Existing Private Road Easements

Circulation

Two Lane Light Collector
 Two Lane Residential Street
 Access Point
(for access to development area)
 Private Gate
(controlled entry)
 Emergency Access
 Public Trail

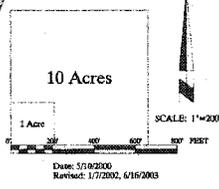
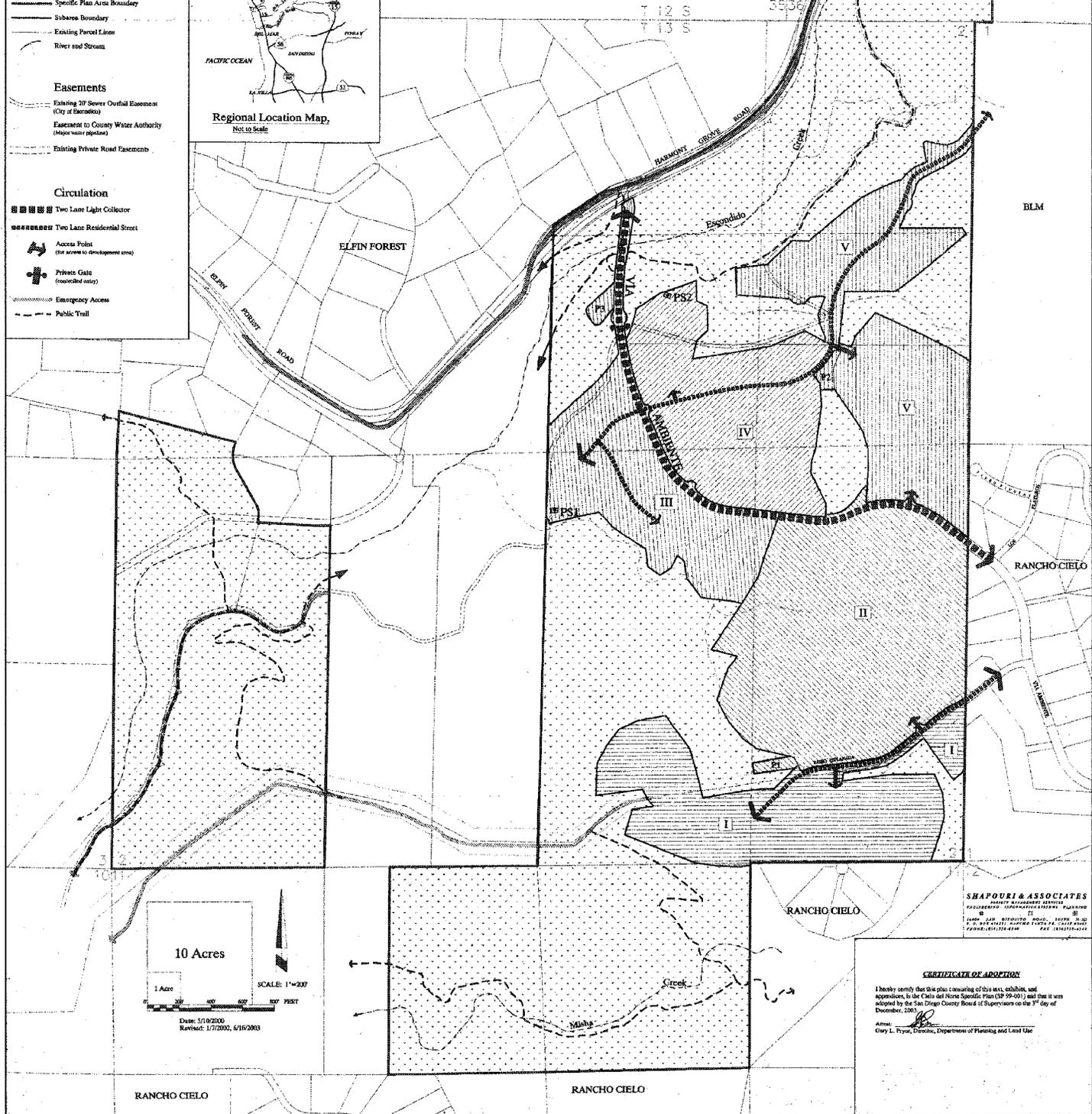


Cielo del Norte SPA



Regional Location Map,
Not to Scale

Subarea Description Table		
Subarea	Gross Ac.	Dwelling Units
I	30.55	32
II	49.48	45
III	25.79	21
IV	27.83	29
V	34.12	27
Total:	167.77	154



SHAPOURI & ASSOCIATES
PROPERTY DEVELOPMENT SERVICES
REGISTERED PROFESSIONAL ENGINEER - REGISTERED
PLANNER
11000 LA JOLLA VILLAGE SQUARE, SUITE 100
SAN DIEGO, CALIFORNIA 92120
PHONE: 619.575.4244 FAX: 619.575.4244

CERTIFICATE OF ADOPTION
I hereby certify that this plan containing of this site, exhibits, and
specifications, in the Cielo del Norte Specific Plan (SP 99-001), and that it was
adopted by the San Diego County Board of Supervisors on the 3rd day of
December, 2006.
Attest:
Clay L. Truitt, Director, Department of Planning and Land Use