

# ***SANTA FE VALLEY SPECIFIC PLAN AMENDMENT***

**SPA 3813 11-001 (SPA)**

Prepared For:

**County of San Diego**  
**Department of Planning and Land Use**

April 2013

Prepared By:

**Hunsaker & Associates San Diego, Inc.**  
9707 Waples Street  
San Diego, CA 92121  
*Phone: (858) 558-4500 Fax: (858) 558-1414*

This Page Intentionally Left Blank

## **CERTIFICATE OF ADOPTION**

I hereby certify that this text includes amendments to the Santa Fe Valley Specific Plan approved by the Board of Supervisors with the adoption of Specific Plan Amendment (SPA) 11-001 on July 17, 2013.



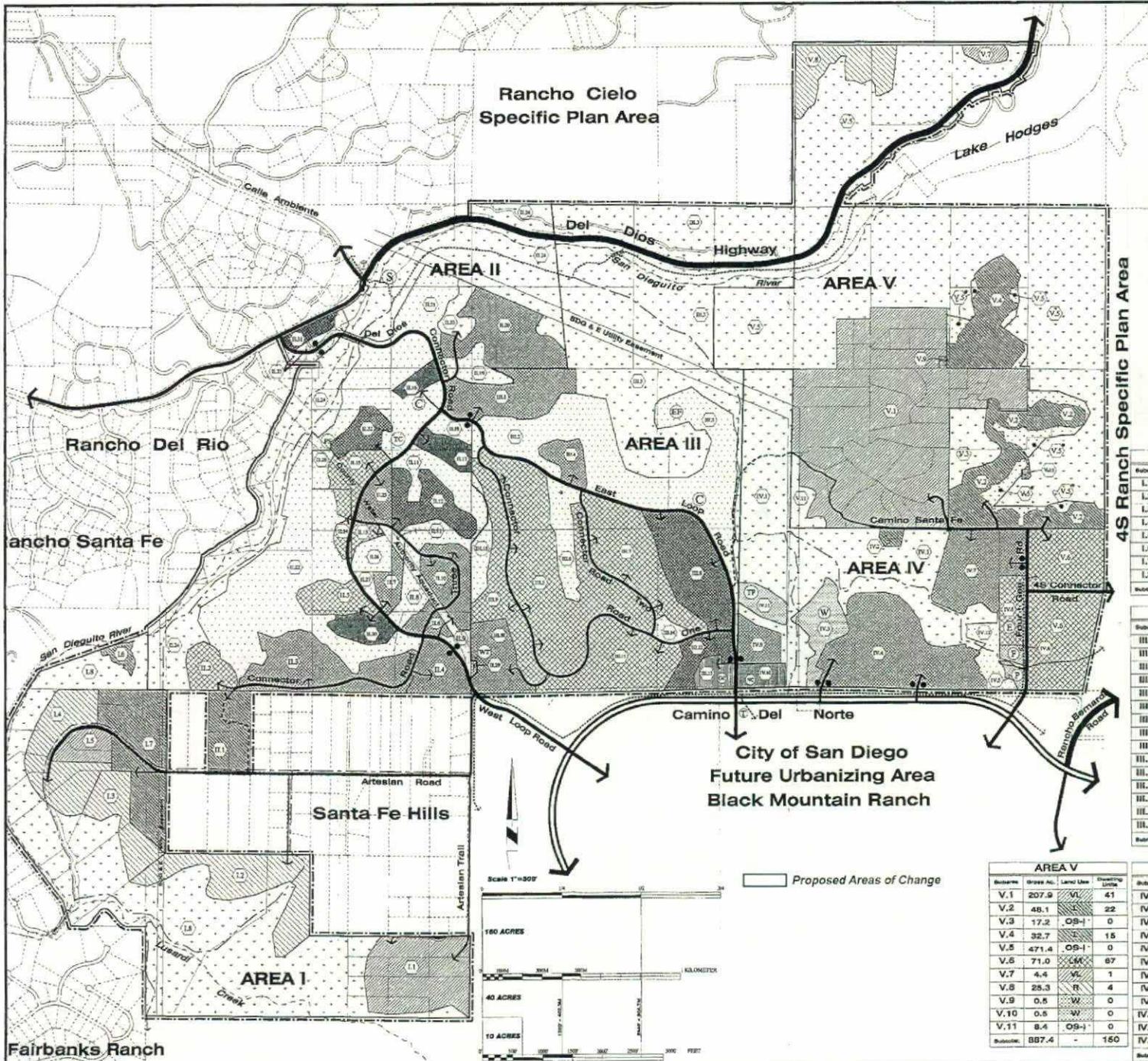
---

Mark Wardlaw, Director  
Planning and Development Services

*Handwritten signature or scribble*

This Page Intentionally Left Blank

**SANTA FE VALLEY SPA 11-001  
SPECIFIC PLAN**



**LAND USE**

**OPEN SPACE**

- OS-I Open Space I (with 10% tree canopy requirement)
- OS-II Open Space II (with 10% tree canopy requirement)

**RESIDENTIAL**

- VL Very Low Density Residential
- VL-1 Single-Family Detached
- VL-2 Single-Family Detached
- VL-3 Single-Family Detached
- VL-4 Single-Family Detached
- VL-5 Single-Family Detached
- VL-6 Single-Family Detached
- VL-7 Single-Family Detached
- VL-8 Single-Family Detached
- VL-9 Single-Family Detached
- VL-10 Single-Family Detached
- VL-11 Single-Family Detached
- VL-12 Single-Family Detached
- VL-13 Single-Family Detached
- VL-14 Single-Family Detached
- VL-15 Single-Family Detached
- VL-16 Single-Family Detached
- VL-17 Single-Family Detached
- VL-18 Single-Family Detached
- VL-19 Single-Family Detached
- VL-20 Single-Family Detached
- VL-21 Single-Family Detached
- VL-22 Single-Family Detached
- VL-23 Single-Family Detached
- VL-24 Single-Family Detached
- VL-25 Single-Family Detached
- VL-26 Single-Family Detached
- VL-27 Single-Family Detached
- VL-28 Single-Family Detached
- VL-29 Single-Family Detached
- VL-30 Single-Family Detached
- VL-31 Single-Family Detached
- VL-32 Single-Family Detached
- VL-33 Single-Family Detached
- VL-34 Single-Family Detached
- VL-35 Single-Family Detached
- VL-36 Single-Family Detached
- VL-37 Single-Family Detached
- VL-38 Single-Family Detached
- VL-39 Single-Family Detached
- VL-40 Single-Family Detached
- VL-41 Single-Family Detached
- VL-42 Single-Family Detached
- VL-43 Single-Family Detached
- VL-44 Single-Family Detached
- VL-45 Single-Family Detached
- VL-46 Single-Family Detached
- VL-47 Single-Family Detached
- VL-48 Single-Family Detached
- VL-49 Single-Family Detached
- VL-50 Single-Family Detached
- VL-51 Single-Family Detached
- VL-52 Single-Family Detached
- VL-53 Single-Family Detached
- VL-54 Single-Family Detached
- VL-55 Single-Family Detached
- VL-56 Single-Family Detached
- VL-57 Single-Family Detached
- VL-58 Single-Family Detached
- VL-59 Single-Family Detached
- VL-60 Single-Family Detached
- VL-61 Single-Family Detached
- VL-62 Single-Family Detached
- VL-63 Single-Family Detached
- VL-64 Single-Family Detached
- VL-65 Single-Family Detached
- VL-66 Single-Family Detached
- VL-67 Single-Family Detached
- VL-68 Single-Family Detached
- VL-69 Single-Family Detached
- VL-70 Single-Family Detached
- VL-71 Single-Family Detached
- VL-72 Single-Family Detached
- VL-73 Single-Family Detached
- VL-74 Single-Family Detached
- VL-75 Single-Family Detached
- VL-76 Single-Family Detached
- VL-77 Single-Family Detached
- VL-78 Single-Family Detached
- VL-79 Single-Family Detached
- VL-80 Single-Family Detached
- VL-81 Single-Family Detached
- VL-82 Single-Family Detached
- VL-83 Single-Family Detached
- VL-84 Single-Family Detached
- VL-85 Single-Family Detached
- VL-86 Single-Family Detached
- VL-87 Single-Family Detached
- VL-88 Single-Family Detached
- VL-89 Single-Family Detached
- VL-90 Single-Family Detached
- VL-91 Single-Family Detached
- VL-92 Single-Family Detached
- VL-93 Single-Family Detached
- VL-94 Single-Family Detached
- VL-95 Single-Family Detached
- VL-96 Single-Family Detached
- VL-97 Single-Family Detached
- VL-98 Single-Family Detached
- VL-99 Single-Family Detached
- VL-100 Single-Family Detached

**COMMERCIAL**

- CM-1 Neighborhood Commercial
- CM-2 Neighborhood Commercial
- CM-3 Neighborhood Commercial
- CM-4 Neighborhood Commercial
- CM-5 Neighborhood Commercial
- CM-6 Neighborhood Commercial
- CM-7 Neighborhood Commercial
- CM-8 Neighborhood Commercial
- CM-9 Neighborhood Commercial
- CM-10 Neighborhood Commercial
- CM-11 Neighborhood Commercial
- CM-12 Neighborhood Commercial
- CM-13 Neighborhood Commercial
- CM-14 Neighborhood Commercial
- CM-15 Neighborhood Commercial
- CM-16 Neighborhood Commercial
- CM-17 Neighborhood Commercial
- CM-18 Neighborhood Commercial
- CM-19 Neighborhood Commercial
- CM-20 Neighborhood Commercial
- CM-21 Neighborhood Commercial
- CM-22 Neighborhood Commercial
- CM-23 Neighborhood Commercial
- CM-24 Neighborhood Commercial
- CM-25 Neighborhood Commercial
- CM-26 Neighborhood Commercial
- CM-27 Neighborhood Commercial
- CM-28 Neighborhood Commercial
- CM-29 Neighborhood Commercial
- CM-30 Neighborhood Commercial
- CM-31 Neighborhood Commercial
- CM-32 Neighborhood Commercial
- CM-33 Neighborhood Commercial
- CM-34 Neighborhood Commercial
- CM-35 Neighborhood Commercial
- CM-36 Neighborhood Commercial
- CM-37 Neighborhood Commercial
- CM-38 Neighborhood Commercial
- CM-39 Neighborhood Commercial
- CM-40 Neighborhood Commercial
- CM-41 Neighborhood Commercial
- CM-42 Neighborhood Commercial
- CM-43 Neighborhood Commercial
- CM-44 Neighborhood Commercial
- CM-45 Neighborhood Commercial
- CM-46 Neighborhood Commercial
- CM-47 Neighborhood Commercial
- CM-48 Neighborhood Commercial
- CM-49 Neighborhood Commercial
- CM-50 Neighborhood Commercial
- CM-51 Neighborhood Commercial
- CM-52 Neighborhood Commercial
- CM-53 Neighborhood Commercial
- CM-54 Neighborhood Commercial
- CM-55 Neighborhood Commercial
- CM-56 Neighborhood Commercial
- CM-57 Neighborhood Commercial
- CM-58 Neighborhood Commercial
- CM-59 Neighborhood Commercial
- CM-60 Neighborhood Commercial
- CM-61 Neighborhood Commercial
- CM-62 Neighborhood Commercial
- CM-63 Neighborhood Commercial
- CM-64 Neighborhood Commercial
- CM-65 Neighborhood Commercial
- CM-66 Neighborhood Commercial
- CM-67 Neighborhood Commercial
- CM-68 Neighborhood Commercial
- CM-69 Neighborhood Commercial
- CM-70 Neighborhood Commercial
- CM-71 Neighborhood Commercial
- CM-72 Neighborhood Commercial
- CM-73 Neighborhood Commercial
- CM-74 Neighborhood Commercial
- CM-75 Neighborhood Commercial
- CM-76 Neighborhood Commercial
- CM-77 Neighborhood Commercial
- CM-78 Neighborhood Commercial
- CM-79 Neighborhood Commercial
- CM-80 Neighborhood Commercial
- CM-81 Neighborhood Commercial
- CM-82 Neighborhood Commercial
- CM-83 Neighborhood Commercial
- CM-84 Neighborhood Commercial
- CM-85 Neighborhood Commercial
- CM-86 Neighborhood Commercial
- CM-87 Neighborhood Commercial
- CM-88 Neighborhood Commercial
- CM-89 Neighborhood Commercial
- CM-90 Neighborhood Commercial
- CM-91 Neighborhood Commercial
- CM-92 Neighborhood Commercial
- CM-93 Neighborhood Commercial
- CM-94 Neighborhood Commercial
- CM-95 Neighborhood Commercial
- CM-96 Neighborhood Commercial
- CM-97 Neighborhood Commercial
- CM-98 Neighborhood Commercial
- CM-99 Neighborhood Commercial
- CM-100 Neighborhood Commercial

**COMMUNITY FACILITIES**

- CF-1 Neighborhood Park
- CF-2 Neighborhood Park
- CF-3 Neighborhood Park
- CF-4 Neighborhood Park
- CF-5 Neighborhood Park
- CF-6 Neighborhood Park
- CF-7 Neighborhood Park
- CF-8 Neighborhood Park
- CF-9 Neighborhood Park
- CF-10 Neighborhood Park
- CF-11 Neighborhood Park
- CF-12 Neighborhood Park
- CF-13 Neighborhood Park
- CF-14 Neighborhood Park
- CF-15 Neighborhood Park
- CF-16 Neighborhood Park
- CF-17 Neighborhood Park
- CF-18 Neighborhood Park
- CF-19 Neighborhood Park
- CF-20 Neighborhood Park
- CF-21 Neighborhood Park
- CF-22 Neighborhood Park
- CF-23 Neighborhood Park
- CF-24 Neighborhood Park
- CF-25 Neighborhood Park
- CF-26 Neighborhood Park
- CF-27 Neighborhood Park
- CF-28 Neighborhood Park
- CF-29 Neighborhood Park
- CF-30 Neighborhood Park
- CF-31 Neighborhood Park
- CF-32 Neighborhood Park
- CF-33 Neighborhood Park
- CF-34 Neighborhood Park
- CF-35 Neighborhood Park
- CF-36 Neighborhood Park
- CF-37 Neighborhood Park
- CF-38 Neighborhood Park
- CF-39 Neighborhood Park
- CF-40 Neighborhood Park
- CF-41 Neighborhood Park
- CF-42 Neighborhood Park
- CF-43 Neighborhood Park
- CF-44 Neighborhood Park
- CF-45 Neighborhood Park
- CF-46 Neighborhood Park
- CF-47 Neighborhood Park
- CF-48 Neighborhood Park
- CF-49 Neighborhood Park
- CF-50 Neighborhood Park
- CF-51 Neighborhood Park
- CF-52 Neighborhood Park
- CF-53 Neighborhood Park
- CF-54 Neighborhood Park
- CF-55 Neighborhood Park
- CF-56 Neighborhood Park
- CF-57 Neighborhood Park
- CF-58 Neighborhood Park
- CF-59 Neighborhood Park
- CF-60 Neighborhood Park
- CF-61 Neighborhood Park
- CF-62 Neighborhood Park
- CF-63 Neighborhood Park
- CF-64 Neighborhood Park
- CF-65 Neighborhood Park
- CF-66 Neighborhood Park
- CF-67 Neighborhood Park
- CF-68 Neighborhood Park
- CF-69 Neighborhood Park
- CF-70 Neighborhood Park
- CF-71 Neighborhood Park
- CF-72 Neighborhood Park
- CF-73 Neighborhood Park
- CF-74 Neighborhood Park
- CF-75 Neighborhood Park
- CF-76 Neighborhood Park
- CF-77 Neighborhood Park
- CF-78 Neighborhood Park
- CF-79 Neighborhood Park
- CF-80 Neighborhood Park
- CF-81 Neighborhood Park
- CF-82 Neighborhood Park
- CF-83 Neighborhood Park
- CF-84 Neighborhood Park
- CF-85 Neighborhood Park
- CF-86 Neighborhood Park
- CF-87 Neighborhood Park
- CF-88 Neighborhood Park
- CF-89 Neighborhood Park
- CF-90 Neighborhood Park
- CF-91 Neighborhood Park
- CF-92 Neighborhood Park
- CF-93 Neighborhood Park
- CF-94 Neighborhood Park
- CF-95 Neighborhood Park
- CF-96 Neighborhood Park
- CF-97 Neighborhood Park
- CF-98 Neighborhood Park
- CF-99 Neighborhood Park
- CF-100 Neighborhood Park

**CIRCULATION**

**VEHICULAR**

- VL-1 Local Street
- VL-2 Local Street
- VL-3 Local Street
- VL-4 Local Street
- VL-5 Local Street
- VL-6 Local Street
- VL-7 Local Street
- VL-8 Local Street
- VL-9 Local Street
- VL-10 Local Street
- VL-11 Local Street
- VL-12 Local Street
- VL-13 Local Street
- VL-14 Local Street
- VL-15 Local Street
- VL-16 Local Street
- VL-17 Local Street
- VL-18 Local Street
- VL-19 Local Street
- VL-20 Local Street
- VL-21 Local Street
- VL-22 Local Street
- VL-23 Local Street
- VL-24 Local Street
- VL-25 Local Street
- VL-26 Local Street
- VL-27 Local Street
- VL-28 Local Street
- VL-29 Local Street
- VL-30 Local Street
- VL-31 Local Street
- VL-32 Local Street
- VL-33 Local Street
- VL-34 Local Street
- VL-35 Local Street
- VL-36 Local Street
- VL-37 Local Street
- VL-38 Local Street
- VL-39 Local Street
- VL-40 Local Street
- VL-41 Local Street
- VL-42 Local Street
- VL-43 Local Street
- VL-44 Local Street
- VL-45 Local Street
- VL-46 Local Street
- VL-47 Local Street
- VL-48 Local Street
- VL-49 Local Street
- VL-50 Local Street
- VL-51 Local Street
- VL-52 Local Street
- VL-53 Local Street
- VL-54 Local Street
- VL-55 Local Street
- VL-56 Local Street
- VL-57 Local Street
- VL-58 Local Street
- VL-59 Local Street
- VL-60 Local Street
- VL-61 Local Street
- VL-62 Local Street
- VL-63 Local Street
- VL-64 Local Street
- VL-65 Local Street
- VL-66 Local Street
- VL-67 Local Street
- VL-68 Local Street
- VL-69 Local Street
- VL-70 Local Street
- VL-71 Local Street
- VL-72 Local Street
- VL-73 Local Street
- VL-74 Local Street
- VL-75 Local Street
- VL-76 Local Street
- VL-77 Local Street
- VL-78 Local Street
- VL-79 Local Street
- VL-80 Local Street
- VL-81 Local Street
- VL-82 Local Street
- VL-83 Local Street
- VL-84 Local Street
- VL-85 Local Street
- VL-86 Local Street
- VL-87 Local Street
- VL-88 Local Street
- VL-89 Local Street
- VL-90 Local Street
- VL-91 Local Street
- VL-92 Local Street
- VL-93 Local Street
- VL-94 Local Street
- VL-95 Local Street
- VL-96 Local Street
- VL-97 Local Street
- VL-98 Local Street
- VL-99 Local Street
- VL-100 Local Street

**BOUNDARIES**

**SPECIFIC PLAN**

- SP-1 Specific Plan Area
- SP-2 Specific Plan Area
- SP-3 Specific Plan Area
- SP-4 Specific Plan Area
- SP-5 Specific Plan Area
- SP-6 Specific Plan Area
- SP-7 Specific Plan Area
- SP-8 Specific Plan Area
- SP-9 Specific Plan Area
- SP-10 Specific Plan Area
- SP-11 Specific Plan Area
- SP-12 Specific Plan Area
- SP-13 Specific Plan Area
- SP-14 Specific Plan Area
- SP-15 Specific Plan Area
- SP-16 Specific Plan Area
- SP-17 Specific Plan Area
- SP-18 Specific Plan Area
- SP-19 Specific Plan Area
- SP-20 Specific Plan Area
- SP-21 Specific Plan Area
- SP-22 Specific Plan Area
- SP-23 Specific Plan Area
- SP-24 Specific Plan Area
- SP-25 Specific Plan Area
- SP-26 Specific Plan Area
- SP-27 Specific Plan Area
- SP-28 Specific Plan Area
- SP-29 Specific Plan Area
- SP-30 Specific Plan Area
- SP-31 Specific Plan Area
- SP-32 Specific Plan Area
- SP-33 Specific Plan Area
- SP-34 Specific Plan Area
- SP-35 Specific Plan Area
- SP-36 Specific Plan Area
- SP-37 Specific Plan Area
- SP-38 Specific Plan Area
- SP-39 Specific Plan Area
- SP-40 Specific Plan Area
- SP-41 Specific Plan Area
- SP-42 Specific Plan Area
- SP-43 Specific Plan Area
- SP-44 Specific Plan Area
- SP-45 Specific Plan Area
- SP-46 Specific Plan Area
- SP-47 Specific Plan Area
- SP-48 Specific Plan Area
- SP-49 Specific Plan Area
- SP-50 Specific Plan Area
- SP-51 Specific Plan Area
- SP-52 Specific Plan Area
- SP-53 Specific Plan Area
- SP-54 Specific Plan Area
- SP-55 Specific Plan Area
- SP-56 Specific Plan Area
- SP-57 Specific Plan Area
- SP-58 Specific Plan Area
- SP-59 Specific Plan Area
- SP-60 Specific Plan Area
- SP-61 Specific Plan Area
- SP-62 Specific Plan Area
- SP-63 Specific Plan Area
- SP-64 Specific Plan Area
- SP-65 Specific Plan Area
- SP-66 Specific Plan Area
- SP-67 Specific Plan Area
- SP-68 Specific Plan Area
- SP-69 Specific Plan Area
- SP-70 Specific Plan Area
- SP-71 Specific Plan Area
- SP-72 Specific Plan Area
- SP-73 Specific Plan Area
- SP-74 Specific Plan Area
- SP-75 Specific Plan Area
- SP-76 Specific Plan Area
- SP-77 Specific Plan Area
- SP-78 Specific Plan Area
- SP-79 Specific Plan Area
- SP-80 Specific Plan Area
- SP-81 Specific Plan Area
- SP-82 Specific Plan Area
- SP-83 Specific Plan Area
- SP-84 Specific Plan Area
- SP-85 Specific Plan Area
- SP-86 Specific Plan Area
- SP-87 Specific Plan Area
- SP-88 Specific Plan Area
- SP-89 Specific Plan Area
- SP-90 Specific Plan Area
- SP-91 Specific Plan Area
- SP-92 Specific Plan Area
- SP-93 Specific Plan Area
- SP-94 Specific Plan Area
- SP-95 Specific Plan Area
- SP-96 Specific Plan Area
- SP-97 Specific Plan Area
- SP-98 Specific Plan Area
- SP-99 Specific Plan Area
- SP-100 Specific Plan Area

**OTHER**

- OT-1 Other
- OT-2 Other
- OT-3 Other
- OT-4 Other
- OT-5 Other
- OT-6 Other
- OT-7 Other
- OT-8 Other
- OT-9 Other
- OT-10 Other
- OT-11 Other
- OT-12 Other
- OT-13 Other
- OT-14 Other
- OT-15 Other
- OT-16 Other
- OT-17 Other
- OT-18 Other
- OT-19 Other
- OT-20 Other
- OT-21 Other
- OT-22 Other
- OT-23 Other
- OT-24 Other
- OT-25 Other
- OT-26 Other
- OT-27 Other
- OT-28 Other
- OT-29 Other
- OT-30 Other
- OT-31 Other
- OT-32 Other
- OT-33 Other
- OT-34 Other
- OT-35 Other
- OT-36 Other
- OT-37 Other
- OT-38 Other
- OT-39 Other
- OT-40 Other
- OT-41 Other
- OT-42 Other
- OT-43 Other
- OT-44 Other
- OT-45 Other
- OT-46 Other
- OT-47 Other
- OT-48 Other
- OT-49 Other
- OT-50 Other
- OT-51 Other
- OT-52 Other
- OT-53 Other
- OT-54 Other
- OT-55 Other
- OT-56 Other
- OT-57 Other
- OT-58 Other
- OT-59 Other
- OT-60 Other
- OT-61 Other
- OT-62 Other
- OT-63 Other
- OT-64 Other
- OT-65 Other
- OT-66 Other
- OT-67 Other
- OT-68 Other
- OT-69 Other
- OT-70 Other
- OT-71 Other
- OT-72 Other
- OT-73 Other
- OT-74 Other
- OT-75 Other
- OT-76 Other
- OT-77 Other
- OT-78 Other
- OT-79 Other
- OT-80 Other
- OT-81 Other
- OT-82 Other
- OT-83 Other
- OT-84 Other
- OT-85 Other
- OT-86 Other
- OT-87 Other
- OT-88 Other
- OT-89 Other
- OT-90 Other
- OT-91 Other
- OT-92 Other
- OT-93 Other
- OT-94 Other
- OT-95 Other
- OT-96 Other
- OT-97 Other
- OT-98 Other
- OT-99 Other
- OT-100 Other

4S Ranch Specific Plan Area

**AREA I**

Subarea	Gross Ac.	Land Use	Dwelling Units
I.1	47.0	VL-12	12
I.2	42.3	R-7	7
I.3	21.1	R-5	5
I.4	38.0	R-8	8
I.5	10.0	VL-2	2
I.6	3.8	VL-1	1
I.7	47.1	OS-I	13
I.8	264.0	OS-I	0
<b>Subtotal:</b>	<b>473.3</b>		<b>48</b>

**AREA II**

Subarea	Gross Ac.	Land Use	Dwelling Units
II.1	20.4	CM-9	9
II.2	11.3	CM-10	10
II.3	43.5	CM-48	48
II.4	16.2	CM-22	22
II.5	15.2	CM-10	10
II.6	6.2	CM-8	8
II.7	7.3	CM-9	9
II.8	11.0	OS-II	0
II.9	8.6	OS-II	0
II.10	19.6	CM-30	30
II.11	27.9	OS-II	0
II.12	19.9	OS-II	47
II.13	3.7	CM-3	3
II.14	6.3	CM-6	6
II.15	13.2	CM-13	13
II.16	4.1	CM-28	28
II.17	9.2	CM-45	45
II.18	6.5	OS-II	0
II.19	7.5	OS-II	0
II.20	34.5	CM-60	60
II.21	25.8	OS-II	0
II.22	181.9	OS-II, PG, C, C	0
II.23	7.4	OS-II	0
II.24	189.3	OS-II, 5	0
II.25	10.2	CM-13	13
II.26	8.3	OS-II	0
II.27	2.9	OS-II	0
II.28	4.5	OS-II	0
II.29	0.8	OS-II	0
II.30	6.7	CM-29	29
II.31	5.1	CM-13	13
II.32	11.1	CM-50	50
II.33	6.9	OS-II, 5	0
<b>Subtotal:</b>	<b>721.7</b>		<b>452</b>

**AREA III**

Subarea	Gross Ac.	Land Use	Dwelling Units
III.1	39.0	M-33	33
III.2	110.8	OS-I, OS-II	0
III.3	270.3	OS-I	0
III.4	9.5	VL-16	16
III.5	94.0	CM-79	79
III.6	15.9	OS-II	0
III.7	42.3	CM-34	34
III.8	40.0	CM-118	118
III.9	31.5	CM-23	23
III.10	20.4	CM-23	23
III.11	39.8	CM-33	33
III.12	13.0	CM-30	30
III.13	7.3	GC-0	0
III.14	4.4	OS-II	0
III.15	8.6	OS-II	0
<b>Subtotal:</b>	<b>739.8</b>		<b>387</b>

**AREA V**

Subarea	Gross Ac.	Land Use	Dwelling Units
V.1	207.9	VL-41	41
V.2	48.1	R-22	22
V.3	17.2	OS-I	0
V.4	32.7	R-15	15
V.5	471.4	OS-I	0
V.6	71.0	CM-67	67
V.7	4.4	VL-1	1
V.8	25.3	R-4	4
V.9	0.5	W-0	0
V.10	0.5	W-0	0
V.11	8.4	OS-I	0
<b>Subtotal:</b>	<b>887.4</b>		<b>160</b>

**AREA IV**

Subarea	Gross Ac.	Land Use	Dwelling Units
IV.1	181.3	OS-I	0
IV.2	2.5	W-1	1
IV.3	16.5	W-0	0
IV.4	65.1	M-92	92
IV.5	2.9	P-0	0
IV.6	3.2	F-0	0
IV.7	37.5	W-45	45
IV.8	12.1	CM-12	12
IV.9	10.5	M-15	15
IV.10	7.0	NC-0	0
IV.11	8.0	TP-0	0
IV.12	10.9	OS-II	0
<b>Subtotal:</b>	<b>337.5</b>		<b>185</b>

Prepared by: **COUNTY OF SAN DIEGO**  
Department of Planning & Land Use  
Hunsaker & Associates  
San Diego, Inc.  
Planning, Engineering, Survey  
8747 Miramar St., San Diego, CA 92121  
PH: 619.594.8800 FAX: 619.594.5144

# Table of Contents

## List of Chapters

	<u>TITLE</u>	<u>PAGE</u>
<b>CHAPTER 1</b>	<b>EXECUTIVE SUMMARY</b>	<b>1-1</b>
1.1	Introduction	1-1
1.2	Background	1-2
<b>CHAPTER 2</b>	<b>PROJECT SETTING</b>	<b>2-1</b>
2.1	Location	2-1
2.2	Physical Features	2-1
2.3	Area History	2-3
2.4	Existing Land Uses	2-4
2.5	Planning History	2-5
2.6	Land Ownership	2-8
2.7	Planning Areas	2-8
2.8	Policy Framework	2-10
2.9	Project Summary	2-14
<b>CHAPTER 3</b>	<b>CONSERVATION AND OPEN SPACE ELEMENT</b>	<b>3-1</b>
3.1	Existing Conditions	3-1
3.2	Conservation and Open Space Plan	3-5
3.3	Conservation and Open Space Goal, Objectives, and Policies	3-8
<b>CHAPTER 4</b>	<b>LAND USE ELEMENT</b>	<b>4-1</b>
4.1	Existing Conditions	4-1
4.2	Land Use Plan	4-5
4.3	Land Use Goal, Objectives, and Policies	4-16
<b>CHAPTER 5</b>	<b>CIRCULATION ELEMENT</b>	<b>5-1</b>
5.1	Existing Conditions	5-1
5.2	Circulation Plan	5-5
5.3	Circulation Goal, Objectives, and Policies	5-9
<b>CHAPTER 6</b>	<b>PUBLIC FACILITIES ELEMENT</b>	<b>6-1</b>
6.1	Existing Conditions	6-1
6.2	Public Facilities Plan	6-8
6.3	Public Facilities Goal, Objectives, and Policies	6-17

	<u>TITLE</u>	<u>PAGE</u>
<b>CHAPTER 7</b>	<b>COMMUNITY DESIGN ELEMENT</b>	<b>7-1</b>
7.1	Existing Conditions	7-1
7.2	Community Design Plan	7-2
7.3	Community Design Goal, Objectives, and Policies	7-4
7.4	Community Design Guidelines	7-5
<b>CHAPTER 8</b>	<b>DEVELOPMENT PROGRAM</b>	<b>8-1</b>
8.1	Development Phasing	8-1
8.2	Development Approvals Required	8-5
8.3	Proposed Uses	8-7
8.4	Special Area Designators	8-12
<b>CHAPTER 9</b>	<b>FINANCING PLAN</b>	<b>9-1</b>
9.1	Financing Strategy	9-1
9.2	Required Facilities	9-1
9.3	Financing Options	9-3
9.4	Recommended Financing Mechanisms	9-5
<b>APPENDIX A</b>	<b>ACKNOWLEDGMENTS</b>	
<b>APPENDIX B</b>	<b>PUBLIC SERVICES AVAILABILITY LETTERS</b>	
<b>APPENDIX C</b>	<b>DWELLING UNIT ALLOCATION BY OWNERSHIP</b>	
<b>ATTACHMENT</b>	<b>SANTA FE VALLEY SPECIFIC PLAN MAP</b>	<b>PACKET</b>

# Table of Contents

## List of Figures

	<u>TITLE</u>	<u>PAGE</u>
<b>CHAPTER 2</b>		
<b>PROJECT SETTING</b>		
Figure 2-1	Regional Location Map	2-1
Figure 2-2	Subregional Context Map	2-2
Figure 2-3	Physical Features Map	2-3
Figure 2-4	Planning Areas & Parcel Lines Map	2-9
Figure 2-5	San Dieguito River Park and SPA	2-14
Figure 2-6	Santa Fe Valley Specific Plan Map	2-17
<b>CHAPTER 3</b>		
<b>CONSERVATION AND OPEN SPACE ELEMENT</b>		
Figure 3-1	Environmental Sensitivity Map	3-3
Figure 3-2	Open Space Corridors and Subregional Conservation Areas	3-5
Figure 3-3	Conservation and Open Space Plan	3-7
<b>CHAPTER 4</b>		
<b>LAND USE ELEMENT</b>		
Figure 4-1	Planning Area I Detailed Land Use Map	4-6
Figure 4-2	Planning Area II Detailed Land Use Map	4-7
Figure 4-3	Planning Area III Detailed Land Use Map	4-8
Figure 4-4	Planning Area IV Detailed Land Use Map	4-9
Figure 4-5	Planning Area V Detailed Land Use Map	4-10
<b>CHAPTER 5</b>		
<b>CIRCULATION ELEMENT</b>		
Figure 5-1	Existing Transportation Facilities	5-2
Figure 5-2	Circulation Plan	5-6
<b>CHAPTER 6</b>		
<b>PUBLIC FACILITIES ELEMENT</b>		
Figure 6-1	Existing School District Areas within SPA	6-2
Figure 6-2	Public Facilities Existing Conditions	6-7
Figure 6-3	Public Facilities Plan	6-10
Figure 6-4	Park Improvement Concept Plan	6-14

	<u>TITLE</u>	<u>PAGE</u>
<b>CHAPTER 7</b>	<b>COMMUNITY DESIGN ELEMENT</b>	
Figure 7-1	Streetscape Plan	7-7
Figure 7-2	Community Entry	7-9
Figure 7-3	Neighborhood Entry	7-10
Figure 7-4	Primary Theme Road	7-11
Figure 7-5	Secondary Theme Road	7-12
Figure 7-6	Suggested Fence & Wall Design	7-16
<b>CHAPTER 8</b>	<b>DEVELOPMENT PROGRAM</b>	
Figure 8-1	Generalized Zoning Map	8-8

# Table of Contents

## List of Tables

	<u>TITLE</u>	<u>PAGE</u>
Table 4-1	Summary of Development Stability Criteria	4-4
Table 4-2	Land Use Distribution by Planning Areas	4-15
Table 5-1	Trail Standards	5-8
Table 6-1	Student Yield for Each School District	6-11
Table 6-2	Park Land and In-Lieu Fee Requirements	6-11
Table 6-3	Wastewater Generation Rates	6-16
Table 8-1	Development Phasing Strategy	8-2
Table 8-2	Planning Area II Setback Schedule	8-13
Table 9-1	Financing Strategy Summary	9-7

This Page Intentionally Left Blank

# Chapter 1

## Executive Summary

### 1.1 INTRODUCTION

The Santa Fe Valley Specific Plan sets forth a comprehensive concept for the development of a residential community in northern San Diego County. The Specific Plan provides policies and guidelines for development within the 3,160-acre multi-ownership Specific Plan Area (SPA) in areas which will have the least impact on sensitive environmental resources and will be adequately supported by public and private infrastructure, facilities, and services (See Figure 2-5, Santa Fe Valley Specific Plan Map).

The Specific Plan Conservation and Open Space Element (Chapter 3), provides for protection, management, and long-term conservation of sensitive biological, cultural, and visual resources within the SPA. The Conservation and Open Space Element also provides for the establishment of an important segment of the San Dieguito River Park within Santa Fe Valley SPA, providing visual and recreational amenities to the region.

The Specific Plan Land Use Element (Chapter 4) establishes permitted land uses for the development of a high quality, compatible residential community, support commercial, and community facilities in the Santa Fe Valley SPA.

The Specific Plan Circulation Element (Chapter 5) establishes detailed standards for provision of adequate transportation service in Santa Fe Valley.

The Public Facilities Element (Chapter 6) provides standards and phasing thresholds for the provision of adequate public services to support the planned land uses in Santa Fe Valley. This chapter also includes comprehensive policies and implementation measures to require the development of infrastructure facilities, accommodating the proposed Specific Plan land uses, in a planned and orderly manner with least impact on the environment.

The Community Design Element (Chapter 7) contains comprehensive community design policies to promote the creation of a cohesive community in Santa Fe Valley. Development is planned to be compatible with existing environmental resources, the natural features, and adjoining communities.

The Specific Plan Development Program (Chapter 8) sets forth the required phasing and procedural process of implementing the Specific Plan. This chapter requires the development of public and private facilities and services to be provided concurrent with need.

The Financing Plan (Chapter 9) provides a coordinated financing strategy for financing facility improvements as required by the Specific Plan through equitable participation of all affected property owners. The Financing Plan also identifies financing options and recommendations for implementing these facilities and services.

## 1.2 BACKGROUND

The Santa Fe Valley Specific Plan Area (SPA) is one of several Specific Plan Areas within San Diego County's San Dieguito Community Plan Area. Santa Fe Valley SPA is located in northern San Diego County, immediately north of the City of San Diego's jurisdictional boundary (See Figure 2-1, Regional Location Map).

Santa Fe Valley is located among several planned projects and existing communities. The planned community of Rancho Cielo is to the north and Fairbanks Ranch is southwest of Santa Fe Valley. Rancho del Rio and Rancho Santa Fe are located west of Santa Fe Valley, with the 4S Ranch Specific Plan Area and 4S Business Park to the east. Further east of Santa Fe Valley is the City of San Diego's Rancho Bernardo community. The Santa Fe Valley SPA surrounds the partially developed Santa Fe Hills community on three sides, located adjacent to Lusardi Creek north of planned Black Mountain Ranch project in the City of San Diego's North City Future Urbanizing Area (NCFUA) (See Figure 2-2, Subregional Context Map).

The existing and planned developments surrounding Santa Fe Valley within the unincorporated area of the County are generally characterized by estate residential development to the north, west, and southwest and industrial, commercial, and medium to high density residential development to the east. South of the SPA, the City of San Diego's NCFUA development is planned for higher residential densities as well as commercial and institutional uses.

Generally, the SPA consists of steep canyons and ridges surrounding the San Dieguito River and its tributaries in the north, and gently rolling hillsides in the central, southern, and western portions. Most of the steeper portions of Santa Fe Valley, in the north and east, are currently undeveloped and contain native coastal sage scrub, chaparral, and grassland habitats. Current and past agricultural operations exist mainly in the central and western portions of the SPA (See Figure 2-3, Physical Features Map).

### Authority

On December 16, 1987, the San Diego County Board of Supervisors amended the San Dieguito Community Plan to designate this area as General Plan Land Use Designation (21) Specific Plan Area. This action was primarily in recognition of several important factors including: 1) presence of sensitive environmental and visual resources in this area; 2) the proposed San Dieguito River Park; 3) Santa Fe Valley's multiple land ownership patterns; 4) need for joint planning of infrastructure, public services and facilities; 5) encroaching urbanization from the east and south; and 6) neighboring communities' concerns for comprehensive planning, compatible land use, and coordinated phasing of development.

The Board of Supervisors directed the County staff to prepare the Specific Plan with property owners funding the planning effort. Pursuant to California Government Code Section 65451 and the County's Regional Land Use Element, the (21) SPA General Plan Land Use Designation is applied to lands where a Specific Plan must be adopted by the Board of Supervisors prior to any further division of land.

Also, once land is designated as a SPA, reclassification to more intensive zones cannot be approved except in accordance with an adopted Specific Plan.

### **Specific Plan Purpose**

Generally, specific plans provide a more flexible method of implementing the General Plan than conventional zoning. The intent of the (21) SPA General Plan Land Use Designation is to establish a planning framework for developing a comprehensive Specific Plan text and map for Santa Fe Valley SPA consistent with the objectives and policies established by the *San Dieguito Community Plan* and the *County of San Diego General Plan*.

The Specific Plan is intended to promote coordinated development of individual parcels consistent with policies designed to address open space, conservation, and recreation, residential and commercial development, circulation and access, community facilities and infrastructure, development phasing and financing, as well as site planning and community design.

### **Specific Plan Process**

Santa Fe Valley Specific Plan has been developed in accordance to an adopted specific planning process. This process was developed pursuant to a survey of SPA property owners, adjacent communities, environmental organizations, public and private organizations, and other interested individuals. The Board of Supervisors adopted this specific planning

process to allow for the development of a comprehensive Specific Plan for Santa Fe Valley.

### *Specific Plan Development Phases*

The process for preparation of the Santa Fe Valley Specific Plan was conceived as a four-phase planning effort. Phase 1 consisted of an environmental and planning inventory analysis, in which relevant environmental and physical data was collected, mapped, and evaluated. Also a number of additional studies were prepared as part of this initial phase, including the *Santa Fe Valley Market Study*, *Santa Fe Valley Environmental Opportunities and Constraints Study*, and several reports on existing public facilities, infrastructure and community support systems. The umbrella document for these studies and reports is the *Santa Fe Valley Existing Conditions Report*.

Phase 2 involved the identification and evaluation of alternative land use, open space, and circulation concepts which ultimately resulted in the preparation of a Preferred Concept Plan. Also as part of this phase property owner's individual plans for their properties were reviewed for consistency with the goals and objectives of the Specific Plan and incorporated in the Preferred Concept Plan.

Phase 3 consisted of the refinement of the Preferred Concept Plan, through several workshops by San Dieguito Planning Group and its Santa Fe Valley Subcommittee to produce a draft Specific Plan and Environmental Impact Report (EIR) for public to review and comment. Phase 4 of this process entailed the public hearing and adoption process as well as the preparation of the final Specific Plan text and map and the final EIR.

## *Citizen Participation*

The preparation of the Santa Fe Valley Specific Plan included an extensive citizen participation process. In addition to community workshops held during each development phase of the Specific Plan, a series of meetings were held by the San Dieguito Community Planning Group Santa Fe Valley Subcommittee to discuss issues related to the Specific Plan. Additional meetings were held with both affected property owners individually and the property owners committee. The property owners committee consisted of representatives from various Planning Areas (See Figure 2-4, Planning Areas & Parcel Lines Map).

Appendix A is an acknowledgment of the many participants in the Santa Fe Valley Specific Plan development process.

## **1.3 SPECIFIC PLAN AMENDMENTS**

### **Introduction**

This section describes in chronological order the Specific Plan Amendments approved for the Santa Fe Valley Specific Plan to date. It is intended to be updated whenever an Amendment is approved, in order to provide a mechanism for tracking changes throughout the implementation of the Santa Fe Valley Specific Plan.

### **Specific Plan Amendment SPA 99-004**

On June 14, 2000, the Board of Supervisors approved Specific Plan Amendment (SPA) 99-004, which exchanged the land use designations of the existing fire station and neighborhood park sites, located on the west side of Four Gee Road within Planning Area IV. Also approved was the addition to the fire station site of approximately 0.5 acres previously designated as Open Space II.

### **Specific Plan Amendment SPA 01-002**

On March 9, 2003, the Board of Supervisors approved SPA 01-002. The purpose of the SPA was to delete the Resort/Hotel designation established by the original Santa Fe Valley Specific Plan. This designation was applied to 26 acres located between the 18-hole golf course and the Del Dios Connection Road, (Bing Crosby Blvd.) in the northern part of Planning Area II. The Resort/Hotel was envisioned as serving retreats and conferences. It was planned to consist of 80-250 rooms, a guest-oriented restaurant, retail shops, a Tennis Center, and a golf instruction facility. Updated market analysis indicated that there would not be adequate demand to support this use. Consequently, the land use distribution within Planning Area II was re-examined and the following changes to the Santa Fe Valley Specific Plan were approved:

- Deleted the Resort/Hotel designation, while retaining the Tennis Center component by establishing a new Tennis Center designation.
- Relocated the golf course Clubhouse from west of the San Dieguito River to the previous resort/hotel site.

- Designated the previous Clubhouse site as Low-Medium Residential (S88) with three dwelling units. This Subarea allows for the development of an active recreation area (Open Space II) and Neighborhood Commercial within the Subarea and a transfer of three units to Subarea II.32, for a period of five years from the adoption of SPA 01-002.
- Seventy-one dwelling units were relocated from Subarea II.30 to other subareas. Residential subarea of Subarea II.30 changes from High to Medium-High Density Residential.
- Twenty-nine dwelling units were relocated from Subarea II.17 to other subareas. Residential density of Subarea II.17 remains in the High Density Residential designation.
- Two residential dwelling units were transferred to Subarea II.12. Residential density of Subarea II.12 remains in the Medium-High Density Residential designation.
- Thirty-five dwelling units were transferred to Subarea II.16. Subarea II.16 changes from Resort Hotel designation to High-Density Residential designation.
- Sixty dwelling units were transferred to Subarea II.32. This new Subarea is designated as High-Density Residential.

In addition, the following minor revisions were made in order to incorporate changes required by the environmental agencies prior to issuance of the project's 404 Permit:

- Redesignated 6.9 acres of vernal pool land and corridor from Medium Density Residential and Open Space II to Open Space I.

- Open Space II area increased by approximately 3.3 acres due to revisions in other subareas.

### Specific Plan Amendment SPA 04-003

The purpose of this SPA is to transfer seven units from Subarea II.16 to Subarea II.30. Subarea II.16 is categorized as Medium High Density Residential (2.1-5 dwelling units per acre). The change results in a reduction of the actual density of Subarea II.16 from 8.5 dwelling units per acre to 6.8 dwelling units per acre. The actual density of Subarea II.30 is increased from 2.5 dwelling units per acre to 3.4 dwelling units per acre.

### Specific Plan Amendment SPA 03-002

This Amendment redistributes land uses within Planning Area V as follows:

Subarea	Land Use	Acreage	Units
V.2	Low Density Res.	48.1 ac.	22
V.3	Open Space -I	17.1 ac.	0
V.4	Low Density Res.	32.7 ac.	15
V.5	Open Space-I	471.4 ac.	0

It should be noted that some of the Open Space-I acreage is located within residential lots.

These changes were required to reduce impacts to sensitive steep slopes and to comply with the slope encroachment requirements of the Resource Protection Ordinance. This Specific Plan Amendment supersedes SPA 04-003.

### **Specific Plan Amendment SPA 07-002**

The purpose of the SPA is to allow for a community entry guardhouse to be located at the northern entrance of The Lakes Subdivision, on Old Course Road off of Bing Crosby Boulevard. The following revisions were made to the specific plan for the implementation of this amendment.

- Re-designate the project site from a “Neighborhood Entry” to a “Community Entry”
- Include a “private gates” symbol at the project site for the development of a guardhouse.

### **Specific Plan Amendment SPA 11- 001**

The purpose of this SPA is to allow for the transfer of ten (10) dwelling units from Subarea II-32 to Subarea II-31. Subarea II-31 would be increased from 3 to 13 units, whereas Subarea II-32 would be reduced from 60 units to 50 units. No new additional units are proposed. Due to the resulting increase in units in Subarea II-31, the land use category change from LM (Low Medium 1 dwelling unit per 1.9 acres) to M (Medium High, 2.1-5.0 DU's/Acre). The land use category for II-32 would change from H (High, 5.1-10.0 DU's/Acre) to MH (Medium High 2.1-5.0 DU's/Acre). The existing option for development of Subarea II-31 as a mixed use neighborhood commercial and active recreation land use has expired and therefore all references to this land use option have been deleted.

# Chapter 2

## Project Setting

### 2.1 LOCATION

The Santa Fe Valley SPA is part of the San Dieguito Community Planning Area in northern San Diego County. The Santa Fe Valley SPA encompasses approximately 3,160 acres of territory almost 2 1/2 miles west of I-15 freeway, five miles east of I-5 freeway, generally south of Del Dios Highway, and north of Artesian Road (See Figure 2-1, Regional Location Map).

Santa Fe Valley is coterminous with the adopted Rancho Cielo SPA to the north, the 4S Ranch SPA to the east, and the Black Mountain Ranch project in the City of San Diego's Future Urbanizing Area to the south. Fairbanks Ranch is located southwest of the Santa Fe Valley SPA. Further east of Santa Fe Valley are the 4S Ranch Business Park and City of San Diego's Rancho Bernardo community.

The Rancho del Rio development and community of Rancho Santa Fe, separated from Santa Fe Valley by the meandering San Dieguito River, define the western boundary of the SPA. The Santa Fe Valley SPA nearly surrounds the developing Santa Fe Hills community situated northeast of Fairbanks Ranch and north of Lusardi Creek (See Figure 2-2, Subregional Context Map).

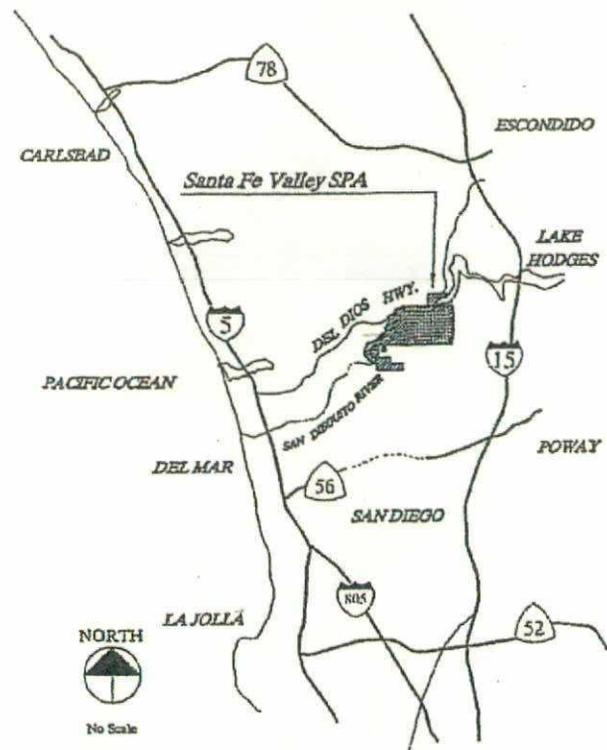


Figure 2-1, Regional Location Map

### 2.2 PHYSICAL FEATURES

Santa Fe Valley is characterized by rugged terrain and diverse topography associated with the San Dieguito River Valley, with a variety of vegetation types and habitats. The topography of the Santa Fe Valley contains major drainages of the San Dieguito River Valley as the dominant physiographic feature of this area. The San Dieguito River flows approximately 55 miles west from its source on Volcan Mountain near the community of Julian, draining to the Pacific Ocean through the San Dieguito Lagoon between City of Solana Beach to the north and City of Del Mar to the south.

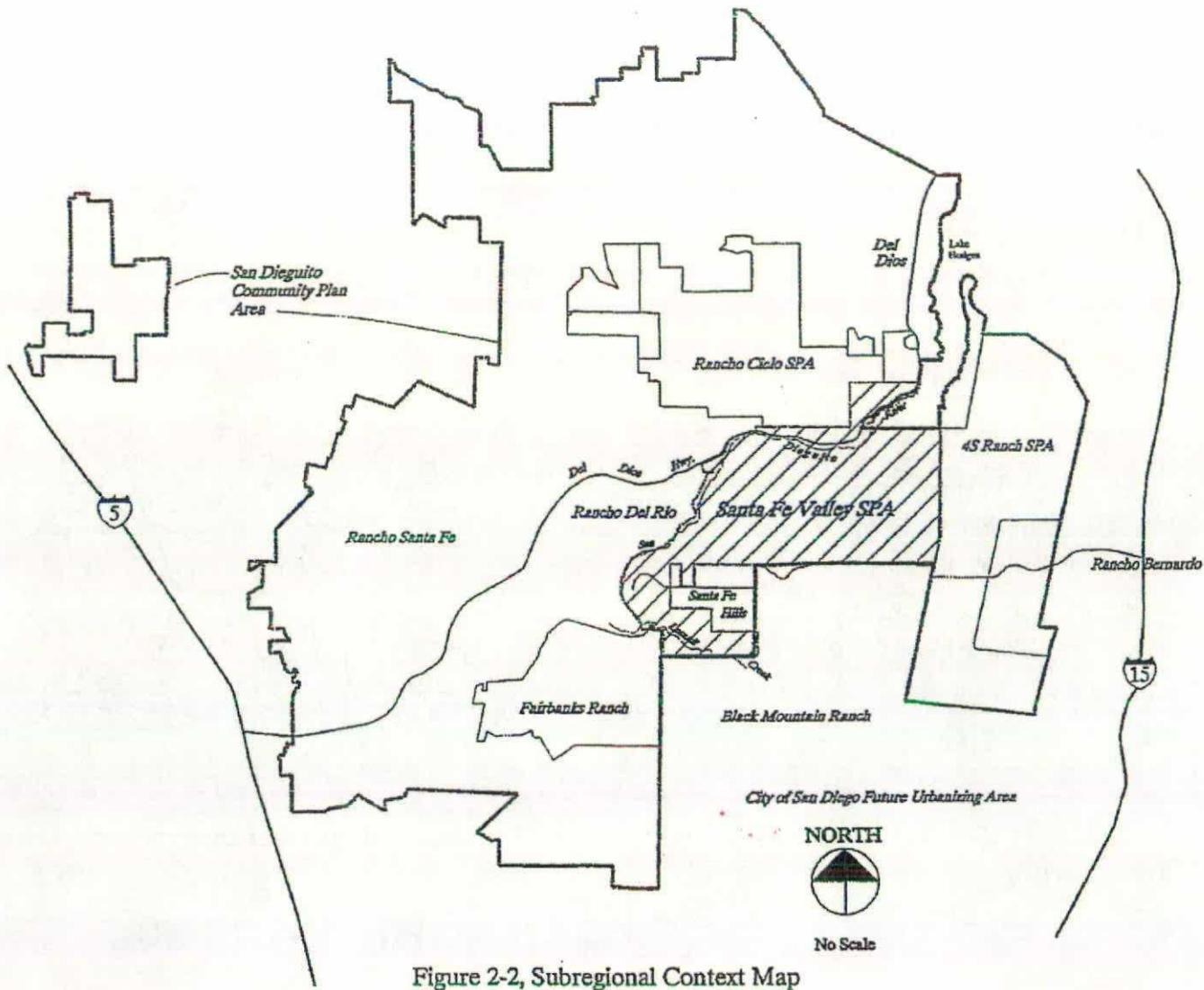


Figure 2-2, Subregional Context Map

The San Dieguito River flows through the Santa Fe Valley forming the northern and western boundaries of the SPA from the Lake Hodges Dam to the northeast and the intersection of the River and Lusardi Creek, a major tributary of the San Dieguito River to the southwest. San Dieguito River Valley's numerous drainage basins have created many arroyos and ridges in the hilly terrain of Santa Fe Valley, characteristic of the coastal landscape in northern San Diego County.

The central and southern portions of the Santa Fe Valley are gently rolling hills and predominantly flat terrain. A major portion of Santa Fe Valley is undeveloped and contains sensitive environmental resources such as coastal sage scrub, chaparral, and wetland habitats, as well as native and non-native grasslands. Diverse vegetation communities and habitats exist in Santa Fe Valley consisting of Riparian, Freshwater Marshes, and Scrub habitats along the San Dieguito River Valley and creeks, with

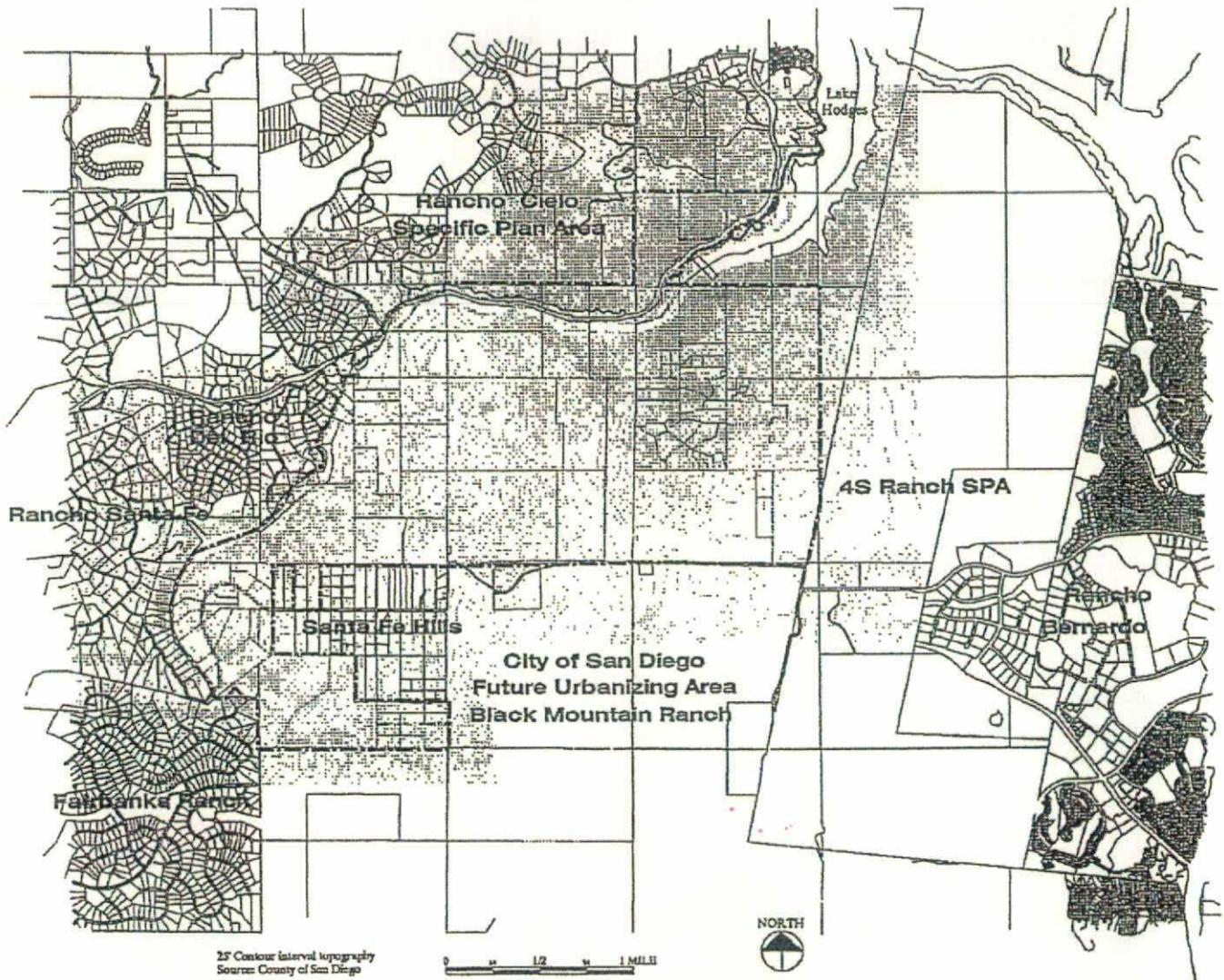


Figure 2-3, Physical Features Map

large expanses of native vegetation communities on the steeper hillsides and cultivated areas on the flatter portions of the Santa Fe Valley (See Figure 2-3, Physical Features Map).

### 2.3 AREA HISTORY

Santa Fe Valley has been the site of human habitation for thousands of years. The earliest prehistoric sites in Santa Fe Valley are identified as belonging to the

San Dieguito people, typified as a hunting society. This group of people abandoned drying inland lakes of the present California Desert and arrived in San Diego County approximately 9,000 years ago. Habitation sites and rock art attest to the presence of prehistoric people in Santa Fe Valley. The San Dieguito people continued to occupy San Diego County approximately 8,000 years ago. They were replaced by the La Jolla culture, which made use of coastal and inland resources of plants, animals, and shellfish from about 7,000 to 1,000 years ago. The

La Jolla people were replaced by the Late Prehistoric cultures, including the Kumeyaay, the Luiseno, the Cupeno, and the Cahuilla. They were a hunting and gathering society who brought with them pottery, small projectile points, and a seasonal round economy. Their descendants still live in San Diego County today.

More recently, the era of the Spanish Period (1769-1821) represents exploration, establishment of missions, introduction of horses, cattle, agricultural goods, new building construction methods, and architectural styles in San Diego County. The Mexican Period (1821-1848) included allocation of several land grants prior to 1834, where vast tracts of land were dispersed. During this period cattle ranching was the dominant agricultural activity. The Pueblo of San Diego was established and transportation routes were expanded to serve the increasing trade and commerce.

The American Period (1848-present) began subsequent to the signing of the Treaty of Guadeloupe Hidalgo by Mexico and United States. Under the terms of this treaty the Lands Commission was created in response to the Land Act of 1851 to validate land ownerships through the settlement of land claims. Few Mexican ranchos remained intact, and much of the land that once constituted the rancho holdings became public land, available for settlement by immigrants to California.

With discovery of gold in California and conclusion of the Civil War, in conjunction with available free land through the passage of the Homestead Act, the influx of people to California and San Diego County began. Within Santa Fe Valley in the early

twentieth century, a portion of the western area was mined for Pyrophyllite. This is a soft, micaceous mineral that resembles talc and is used chiefly as an insecticide carrier, a paint extender and as an ingredient in ceramics and rubber. The strip mining has left this portion of the Santa Fe Valley visibly scarred.

## 2.4 EXISTING LAND USES

### Existing Land Use in Santa Fe Valley

The majority of land in Santa Fe Valley is undeveloped with no more than twenty dwelling units scattered throughout the SPA. Agricultural uses in the flatter portions of the SPA consist of nurseries, truck crops, and orchards.

### Surrounding Land Use

The existing developments surrounding Santa Fe Valley are generally characterized by high-amenity, estate residential communities to the north, west, and southwest. Immediately east of Santa Fe Valley is the as yet undeveloped 4S Ranch SPA. Other existing nearby residential developments are located in the City of San Diego's Rancho Bernardo community to the east and the City of Escondido to the north, which are typically developed at higher suburban densities. South of the Santa Fe Valley, the adjoining City of San Diego's 12,000-acre Future Urbanizing Area (FUA) and Black Mountain Ranch is largely undeveloped.

## 2.5 PLANNING HISTORY

On December 16, 1987, the *San Dieguito Community Plan* was amended to designate the Santa Fe Valley as General Plan Land Use Category (21) Specific Planning Area. The intent of the (21) Specific Plan Area land use designation is to promote the development of a comprehensive Specific Plan text and map, consistent with the *County of San Diego General Plan*, to guide the development of the Specific Plan Area. This General Plan Land Use Category allows for a more flexible approach to planning large undeveloped areas.

Santa Fe Valley was designated as (21) SPA due to several important factors including: 1) presence of sensitive environmental and visual resources in this area; 2) the proposed San Dieguito River Park; 3) Santa Fe Valley's multiple land ownership patterns; 4) need for joint planning of infrastructure, public services and facilities; 5) encroaching urbanization from the east and south; and 6) neighboring communities' concerns for comprehensive planning, compatible land use, and coordinated phasing of development.

Prior to application of the (21) SPA designation, the *San Dieguito Community Plan* provided for (17) Estate Residential land use on the flatter portion of the Santa Fe Valley, (18) Multiple Rural Use land use for the steeper areas, and (24) Impact Sensitive land uses for the floodplains and areas within the San Dieguito River Valley.

## Planning Process

The preparation of the Santa Fe Valley Specific Plan was authorized by the Board of Supervisors on December 18, 1991. This authorization was subsequent to approval of the specific planning process for Santa Fe Valley, which was developed based on extensive discussions with property owners, the San Dieguito Planning Group, adjacent communities, interested organizations, and individuals.

As part of the Santa Fe Valley Specific Planning process, a public/private partnership was initiated, with property owners funding the County's effort to develop a Specific Plan for this area. The Santa Fe Valley specific planning effort intended to develop a comprehensive Specific Plan to address a range of issues in this area. Establishment of an accurate database was the foundation of a planning framework for guiding future development in Santa Fe Valley. The following describes the four-phased process:

### *Phase 1: Existing Conditions*

On June 12, 1992 an initial meeting was held with the San Dieguito Planning Group to review and discuss the draft scope of work and potential issues to be addressed by the Specific Plan. The initial phase involved research, collection, and analysis of all existing information relevant to environmental resources, parks and recreation, visual resources, potable water, wastewater, and other public facilities in this area. The data and analysis was combined in a single document referred to as the *Existing Conditions Report* (this report is available at the Department of Planning and Land Use). This document also includes two additional studies, a

*Market Study* and an *Opportunities and Constraints Study*, were prepared to address specific issues. Some of the findings of these two studies are as follows:

#### Market Study

The *Santa Fe Valley Market Study* was prepared in 1992 during the initial stages of the planning process. This study was required by the *San Dieguito Community Plan* and intended to evaluate the feasibility of development of the SPA, at the residential density specified by the Community Plan as well as other ancillary uses. It was also intended to provide land use market demand information to analyze potential marketability of future development in the Santa Fe Valley SPA.

The Market Study indicated the two key factors influencing future development in Santa Fe Valley are the relatively low overall density (0.4 dwelling units/acre) allowed in Santa Fe Valley by the *San Dieguito Community Plan*, and the cumulative amount of residential development planned and proposed in the region. The market study recommended a diversified development approach, such that half of the development should be an estate lot program while the other half should be an alternative high-end detached and attached single-family cluster housing product types. The market study further suggests that recommended housing types be associated with passive and active recreational facilities as well as environmental amenities and natural open space to maximize the marketability of the SPA.

Other land uses identified by the market study for Santa Fe Valley include a championship public daily

fee golf course, tennis courts, a health spa resort/hotel facility of 80-120 rooms with meeting rooms, congregate care facility associated with a senior community and a neighborhood and/or convenience retail center for professional services and specialty retail shops of up to 50,000 square feet or on three to four gross acres.

The market study concludes that a diversified housing approach, which provides a variety of housing types and related amenities will result in a projected buildout period of approximately twelve years assuming the recommended housing mix is offered.

#### Opportunities and Constraints Study

An *Opportunities and Constraints Study* was also prepared as required by the *San Dieguito Community Plan*. As part of this study, physiographic characteristics, hydrology, visual resources, cultural resources, and biological resources including wildlife, vegetation, and riparian habitats were mapped and analyzed. Other environmental information such as noise and viewshed analysis were also researched and included in this study. The study resulted in the preparation of a Composite Environmental Constraints Map that evaluates the entire Santa Fe Valley SPA for development suitability based on the presence of environmental resources (this map is available at the Department of Planning and Land Use). The methodology used to prepare the Constraints Map was based on the County's *Resource Protection Ordinance* and the general criteria resulting from the County's work in progress on the multiple species and multiple habitat conservation planning programs (MSCP & MHCP). The Composite Environmental Constraints Map is described in more detail under the Conservation and

Open Space Element, Chapter 3, of this Specific Plan text.

On January 26, 1993, the project team presented the existing conditions information to the San Dieguito Planning Group, adjacent communities and Santa Fe Valley property owners at a public workshop. The existing conditions information collected as part of the first phase was revised based on comments received, and subsequently became part of the *Existing Conditions Report*. This report and accompanying environmental resources maps formed the basis of the second phase of the specific plan process.

### *Phase 2: Specific Plan Alternatives*

The second phase of the Specific Plan development process consisted of formulating and reviewing various land use, circulation, and infrastructure alternatives with the property owners, the San Dieguito Planning Group, adjacent communities, various governmental agencies and special districts. On January 13, 1994, two Specific Plan alternatives were presented to the San Dieguito Planning Group, in a public workshop setting. The Planning Group members and other interested individuals raised important issues and concerns about the proposed alternatives and requested further information. A Santa Fe Valley Subcommittee was formed to review all relevant information and issues and provide further input. The Subcommittee's considerable effort led to additional modifications and revisions of Specific Plan alternatives resulting in the preparation of the Preferred Specific Plan map.

### *Phase 3: Preferred Specific Plan*

As part of the third phase of the Santa Fe Valley Specific Plan development process, the Preferred Specific Plan map was further refined and a draft Specific Plan text was prepared. This phase involved comprehensive review and analysis of the Preferred Specific Plan to evaluate the environmental, land use, and facility impacts of the proposed project. Also during this phase, California State Fish and Game Department and United States Fish and Wildlife Service were consulted to ensure consistency of the draft Specific Plan with the regional open space and conservation programs. A draft Environmental Impact Report (EIR) was prepared to document the potential impacts of the proposed project. In August of 1995, a public workshop was held with the San Dieguito Planning Group to present the draft Specific Plan and draft EIR and respond to questions. In September of 1995, a market study analysis for the proposed resort conference facility was also prepared to document the market demand for the facility as well as the need for the size of facility proposed.

### *Phase 4: Specific Plan Adoption*

The fourth phase of the Specific Plan process includes the public review of the draft Specific Plan and draft EIR and the public hearings of the Planning Commission and Board of Supervisors. The completion of this phase of the Specific Plan occurs with the Board of Supervisors certification of the EIR and adoption of the Santa Fe Valley Specific Plan.

The preparation of the Santa Fe Valley Specific Plan has been coordinated with all ongoing regional and subregional projects, including the Mid-County Transportation Study, San Dieguito River Park, City

of San Diego Multiple Species Conservation Program, Multiple Habitat Conservation Program, the County's Open Space Habitat Management Planning Program, the State's Natural Communities Conservation Program, Rancho Cielo SPA, 4S Ranch SPA, and the City of San Diego's FUA and Black Mountain Ranch project.

Pursuant to Government Code Section 65456, the Board of Supervisors will be requested to adopt a Specific Plan Special Fee intended to reimburse those property owners who have funded the preparation of this Specific Plan project beyond their fair share. Once this Special Fee is adopted, applicants of development projects within the Santa Fe Valley SPA will be required to equitably contribute their fair share of the Specific Plan preparation costs.

## 2.6 LAND OWNERSHIP

The Santa Fe Valley SPA is owned by approximately 85 owners with a wide variety of parcel sizes ranging from 0.29 to 217 acres. Ownership includes public entities: U. S. Bureau of Land Management, City of San Diego, Olivenhain Municipal Water District, and the Santa Fe Irrigation District. There are also several major utility and water easements traversing the SPA (See Figure 2-4, Planning Areas and Parcel Lines Map)

## 2.7 PLANNING AREAS

To facilitate planning for this geographically diverse multiple ownership project, the SPA is divided into five separate Planning Areas (See Figure 2-4, Planning Area and Parcel Lines Map). The Planning Area boundaries are based on location, topography, ownership patterns, and development suitability. The Planning Areas are generally described as follows:

- **Area I** is located in the southwestern portion of Santa Fe Valley along Lusardi Creek and San Dieguito River. This area consists of approximately 473 acres and is largely subdivided but presently undeveloped except for two homesites. Potential constraints to development in Area I include biological and visual sensitivity, steep slopes, poor soils for septic systems, and limited secondary or emergency access related to fire safety and emergency medical considerations. Very limited areas within Area I are suitable for development.
- **Area II** is located in the western portion of Santa Fe Valley. This area is bordered by the San Dieguito River and consists of approximately 722 mostly undeveloped acres. Potential constraints to development in Area II include biological and visual sensitivity, cultural resources and land use compatibility issues. However, portions of this area are suitable for development.

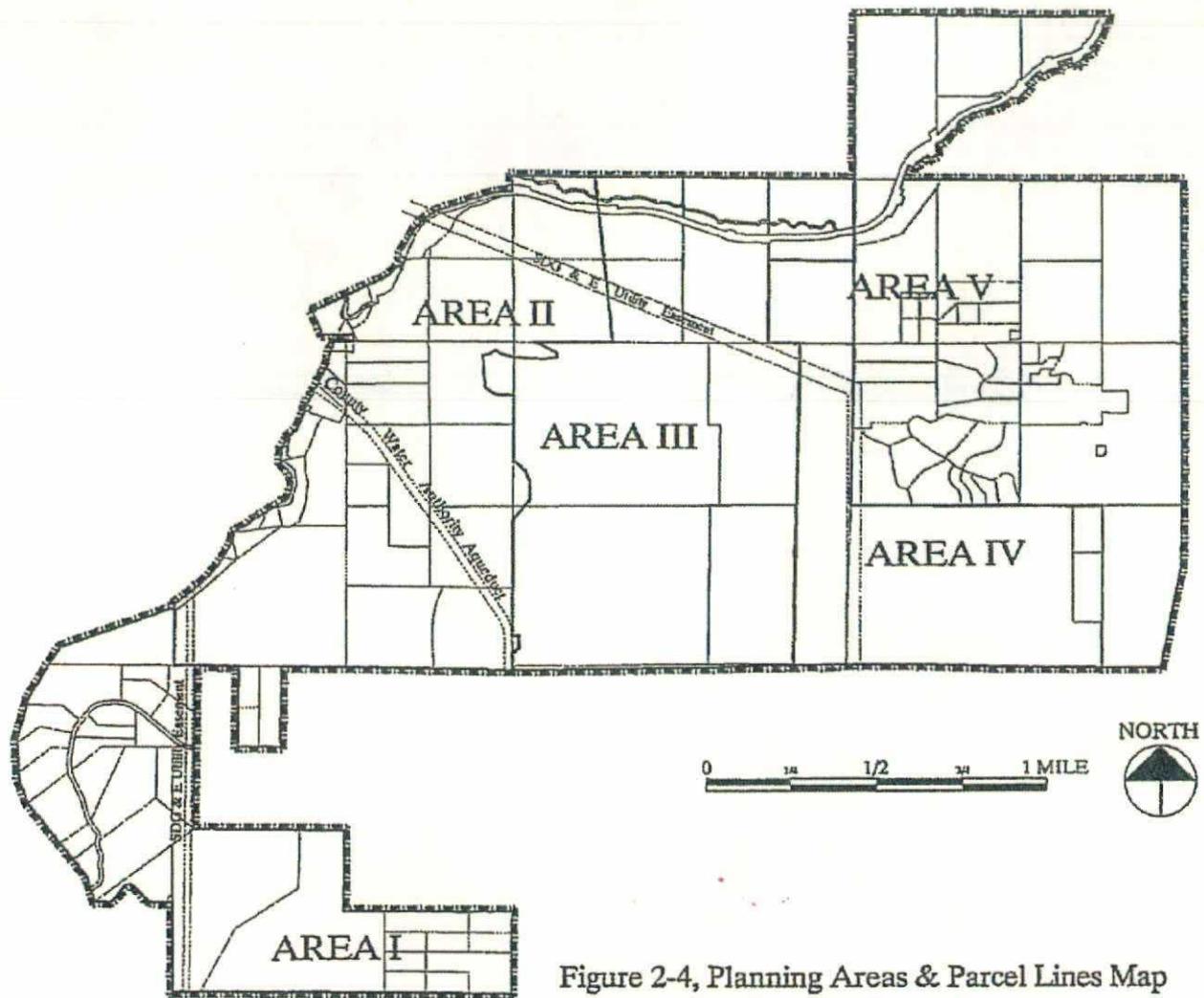


Figure 2-4, Planning Areas & Parcel Lines Map

- Area III** is located in the central portion of Santa Fe Valley. This area consists of approximately 740 acres which are undeveloped, except for agricultural uses. Constraints to development in Area III include biological and visual sensitivity and steep slopes in the northern portion. Large portions of this area are gently rolling and are free of constraints, highly suitable for development.

**Area IV** is located in the southeastern portion of Santa Fe Valley. This planning area consists of approximately 337 acres, largely undeveloped, with one single-family home and agricultural uses. The major constraints to development in Area IV are in the northwest, and include sensitive biological resources and steep slopes. The central portion of Area IV includes gently rolling and flat land, generally suitable for development. Constraints in this portion of this Area IV are the existence of sensitive biological resources including marshland

habitat. The eastern and southern portions are generally flat and are under active agricultural uses. The southern boundary of Area IV is coterminous with the City of San Diego's Black Mountain Ranch project planned in the Framework Plan for medium and high density residential, commercial, and institutional uses. Accordingly, the eastern and southern portions of this Area are most suitable for development.

- **Area V** consists of approximately 888 acres in the eastern portion of the SPA. This area, except the southeast corner, contains steep slopes with prominent ridgelines. In the central portion of this area a large pocket of minor subdivisions and lot splits have occurred with parcel sizes ranging from 1.25 to 19.3 acres. Some of these parcels have been developed with detached single-family dwellings. Constraints to development in most of the area are biological and visual sensitivity, steep slopes, poor soils for septic systems, and secondary access limitations related to fire safety and emergency medical considerations. This portion of Area V has limited development suitability. The southeast portion of Area V consists of a gentle south-facing slope adjoining the proposed medium density residential development in the 4S Ranch SPA. Most of this area is currently used for agricultural activity. Constraint to development is biological sensitivity, particularly freshwater marsh. Most of this portion of Area V is highly suitable for development.

## 2.8 POLICY FRAMEWORK

The *San Diego County General Plan, Regional Land Use Element, San Dieguito Community Plan, San Dieguito River Valley Joint Powers Authority's San Dieguito River Park Concept Plan*, and the MSCP provide an overall policy framework for the development and conservation of the Santa Fe Valley Specific Plan Area. Relevant information and policies concerning the *San Diego County General Plan* are discussed in each element of the Santa Fe Valley Specific Plan.

The following sections describe background issues and policies for the Santa Fe Valley SPA from the *San Dieguito Community Plan* and the *San Dieguito River Park Concept Plan*. While the *San Dieguito River Park Concept Plan* provides important policy relevant to the Santa Fe Valley, it has not been adopted by the San Diego County Board of Supervisors.

### San Dieguito Community Plan

The *San Dieguito Community Plan* provides explicit policy regarding the specific planning of Santa Fe Valley. The Community Plan designates this area as (21) SPA, requiring the preparation of a comprehensive specific plan prior to approval of any subdivisions within the SPA. The Community Plan allows for a density designator (total dwelling unit cap) of 0.4 dwelling units per acre with the exception that the overall number of units allowed within the Specific Plan does not exceed the number of dwelling units permitted by the General Plan Land

Use Designations that existed prior to the designation of this area as (21) SPA.

The Community Plan also includes specific requirements for a feasibility (market) study and an opportunities and constraints study to be conducted. The Community Plan requires the SPA planning process be funded by the property owners and be managed by County staff. Moreover, the Community Plan states that: “The focus of this plan is the San Dieguito River Regional Park” and that the SPA may ultimately be developed with a mixture of land uses.

Furthermore, the Community Plan requires that the recreation element of the Santa Fe Valley Specific Plan incorporate the following goal: “Plan a Regional Park and Open Space System of a visionary nature, the focus of which will be the San Dieguito River Valley”. According to the Community Plan, “the basic elements of this park and open space system are to:

- a. Maintain the scenic qualities of the San Dieguito River Valley;
- b. Protect sensitive environmental resources throughout the SPA;
- c. Accommodate a system of riding and hiking trails; and
- d. Link with open space systems established within the San Dieguito Community Plan Area and with adjacent jurisdictions.”

Other relevant goals, objectives and policies stated in the *San Dieguito Community Plan* include:

- *Land Use:* Provide a distribution of land uses that is compatible with the existing character of the community and that is integrated with the planning activities of surrounding jurisdictions.
- *Residential:* Enhance the present living environment while accommodating gradual residential development that harmonizes with the natural environment. Site designs should emphasize the clustering of dwelling units in order to improve upon the amount and character of usable open space. Limit residential development on steep slopes, canyons, floodplains, prime agricultural land, and where development would block scenic views and vistas. Preserve the rural, low density, residential character.
- *Circulation:* Implement a transportation system that is balanced and designed to accommodate a diversity of modes. Establish a separate system of hiking trails, bicycle paths, and equestrian trails from which motorized vehicles will be banned.
- *Education:* Maximum education opportunities for all age groups through high standards of educational programs and physical facilities. Develop schools in conjunction with neighborhood and community recreation facilities.

- *Conservation:* Provide a desirable, healthful, and comfortable environment for living while preserving San Dieguito's unique natural resources. Ensure that land adjacent to recreation areas, natural preserves and agricultural areas has the appropriate, compatible land use designation.
- *Floodplain and watercourses:* Provide protection from loss of life and property from flooding while preserving all floodplains and watercourses in their natural estate. Utilize the linear geographic qualities provided by floodplains as locales for greenbelts, open space corridors, community footpaths, and parkland.
- *Natural Habitat Protection:* Prevent the unnecessary alteration of the natural landscape. Preserve the integrity, function, and long-term viability of environmentally sensitive habitat.
- *Recreation:* Establish a well-balanced system of recreational facilities and services. Provide local park facilities that are appropriate for the individual neighborhoods in which they are located. Develop parks in conjunction with schools wherever possible. Encourage the development of private as well as public recreation facilities.
- *Scenic Highways:* Create a network of scenic corridors within which scenic, historical, and recreational resources are

protected and enhanced. Land within the scenic viewshed of a Circulation Element Road shall be subject to the standards and criteria of the "S" Designator.

- *Open Space:* Provide a system of open space that is adequate to preserve the unique natural elements of the community. Enhance health and safety and conserve natural resources through the preservation of open space.

### **San Dieguito River Park Concept Plan**

A Joint Powers Authority (JPA) was established in 1989 by the County and five cities to plan and manage the San Dieguito River Park. The San Dieguito River Park boundary extends along the San Dieguito River from the ocean at the City of Del Mar to the mountains near Julian in the unincorporated area of the County of San Diego. The JPA adopted the San Dieguito River Park Concept Plan on February 18, 1994. The JPA must rely on its member agencies to implement the *San Dieguito River Park Concept Plan*.

As stated in the Concept Plan, the River Park is planned to protect environmental resources and provide recreational opportunities for the San Diego region as a whole. A major concept for the River Park is to create a trail system, the "Coast to Crest" Trail that reaches all segments of the River Park. The *San Dieguito River Park Concept Plan* establishes a number of unique "landscapes," or subareas, within the River's course to be individually planned. Each landscape unit plan will define

specific locations for the regional park amenities such as trails, staging areas, and/or interpretive centers.

The Santa Fe Valley SPA is located within Del Dios Gorge/ Santa Fe Valley landscape unit as shown on Figure 2-5, San Dieguito River Park and SPA. The Concept Plan for the River Park envisions this landscape to be a passive use area, emphasizing trails for the appreciation of nature and scenery. The Concept Plan's proposals in the SPA include:

- Develop a staging area/interpretive facility in the Santa Fe Valley.
- Create a hiker's promontory accessible only by hiking trail.
- Identify an appropriate location for the construction of a trailside stop for resting and watering horses.
- Provide for the protection and interpretation of the petrified forest located within Lusardi Canyon.

Several chapters in this Specific Plan contain policies that address both the Community Plan and River Park Concept Plan, including the Open Space and Conservation, Land Use, Circulation, and Community Design Elements. These Specific Plan Elements identify an implementation program to facilitate the establishment of this portion of the River Park.

## Other Applicable Policies/Ordinances

There are a number of other policies and ordinances adopted by the Board of Supervisors that establish guidelines for the development of land within Santa Fe Valley SPA. These ordinances and policies include, but are not limited to, the following:

*Subdivision Ordinance:* The Subdivision Ordinance regulates the subdivision of land. The ordinance addresses design, standards, improvements, etc. of proposed subdivision.

*Resource Protection Ordinance (RPO):* The RPO contains detailed development standards and thresholds for protection of sensitive environmental resources. The RPO requires certain discretionary projects to undergo a specific review to ensure protection of these resources.

*Hillside Development Policy:* This Board of Supervisors policy (I-73) establishes hillside development standards to protect the visual qualities of significant hillsides and ridges.

*Non-Motorized Trails and Pathways Systems Development Policy:* This Board of Supervisors policy (I-116) establishes detailed criteria and guidelines for acquisition, dedication, development operation, and maintenance of non-motorized trails and pathways in the County of San Diego Regional and Community/Subregional Trails Systems.



subarea under the NCCP, which requires no future permit.

- Implement the San Dieguito River Park Concept Plan, by planning regional trails, a staging area, and providing site planning design guidelines.
- Provide for public facilities and services at the time of need concurrent with development in a manner that ensures adequate provision of essential facilities and services.
- Provide for land uses that establish a sense of community in Santa Fe Valley consistent with the character of adjoining existing and planned communities.
- Provide for a range of residential land uses to allow for a gradual residential development consistent with the present and future demand for housing in the region.
- Provide recreational and educational opportunities in close proximity to residential uses, accessible by public roads and trails.
- Establish conservation and open space areas to maintain and enhance existing sensitive environmental and cultural resources.
- Provide for convenient commercial land uses in the proximity of residential land uses to reduce overall vehicular travel demand.

## Project Design

The Specific Plan is designed to accommodate a maximum of 1,200 dwelling units with an overall density of 0.38 dwelling units per acre on the approximate 3,160 acre SPA. Residential density within the development subareas ranges from 10 dwelling units per acre to 1 dwelling unit per six acres and larger.

Public facility sites for local parks, fire stations, elementary and middle schools, and sewage treatment plants are sited in a manner to have minimum adverse impacts on adjoining land uses. In addition, sites are provided for active recreational use (golf course and tennis courts), group care, and neighborhood commercial. Approximately 1,386.4 acres within the SPA are designated as permanent open space (Open Space I).

Access to the SPA is provided from five primary and two secondary locations. Three of the primary entrances are designated as gated entrances onto private roads; one from Del Dios Highway and two from Camino Del Norte. The other two primary access points are on public roads, Four Gee Road, which intersects with Camino Del Norte and "4S Connector Road", which is planned to connect directly with the 4S Ranch SPA. The two secondary access points are public road access points on Camino Del Norte for one of the planned developments (See Figure 2-6, Specific Plan Map or the attached full size Specific Plan Map).

Chapters 3-7 of the Specific Plan are plan elements which specifically address policy issue areas: Conservation and Open Space; Land Use;

Circulation; Public Facilities; and Community Design. Each element contains a description of existing conditions, a description of the intent and/or effect of the Specific Plan, and the goals, objectives, and policies intended to implement the element. Chapter 8 contains the Development Program, identifying required implementation programs of the Specific Plan including implementing permits, zoning, and improvement phasing. Chapter 9 is the Specific Plan's Financing Plan, identifying financing options, strategies, and recommending financing mechanisms to implement various policies of the Specific Plan Elements.



# Chapter 3

## Conservation & Open Space Element

### 3.1 EXISTING CONDITIONS

The *Opportunities and Constraints Study* indicated the existence of significant biological, cultural and visual resources, floodplains, and steep slopes. As discussed in the study, existing conservation and open space conditions in Santa Fe Valley include the following:

#### Biological Resources

Santa Fe Valley contains large areas of coastal sage scrub habitat, which is the habitat of the California Gnatcatcher, a small songbird listed as a "threatened species" in 1993, under the Federal Endangered Species Act. Detailed field surveys were conducted in Santa Fe Valley to identify and map all biological resources. As part of this effort, eleven main vegetation categories were identified and mapped as well as a variety of wildlife, including a large population of California Gnatcatchers.

The State of California in cooperation with County of San Diego and incorporated cities, is attempting to protect critical habitats as part of the Natural Communities Conservation Program (NCCP). This program intends to identify and protect a series of viable regional habitat preserves and connecting corridors to ensure long-term viability of endangered and threatened species and their habitat.

In addition to the NCCP, a number of other regional open space planning efforts are also underway to plan for the ultimate protection and viability of environmental resources through corridor and habitat preserve planning. These programs include the Multiple Species Conservation Program (MSCP), initiated as part of the City of San Diego's Clean Water program to conserve a variety of sensitive species and habitat in the San Diego region. The Multiple Habitat Conservation Program (MHCP), which was similar in nature to the MSCP program, was initiated by the County of San Diego to preserve significant corridors and habitat preserves to ensure viability of sensitive resources in the region. It is essential for Santa Fe Valley to protect key habitat areas within the SPA, so as not to preclude future regional habitat planning in this subregion. During the development of this Specific Plan, Federal and State resource agencies were actively consulted to address regional habitat protection issues and tentative agreements were reached.

Other significant biological resources identified include major wildlife corridors, coastal sage scrub, chaparral, grasslands, riparian scrub, riparian forest, freshwater marshes, vernal pools, sensitive plants, and high quality wetlands. A Biological Resource Sensitivity Map in the *Existing Conditions Report* delineates areas into categories of biological sensitivity. This information was used extensively in developing the Specific Plan, especially in determining future development and preservation areas (See Figure 3-1, Environmental Sensitivity Map).

## Contiguous Open Space Resources

The sensitive lands in Santa Fe Valley are an integral component of several open space and wildlife corridors in the region. North of the San Dieguito River, large undeveloped and relatively undisturbed wildlife corridors extend into the cities of Carlsbad and San Marcos. The northern edge of the SPA and Lusardi Creek area, as discussed in earlier chapters, are within the San Dieguito River Park FPA. The River Park FPA recommends a continuous wildlife corridor system between potential habitat preserve areas in this region.

Regional wildlife corridors are necessary to maintain demographic and genetic exchange among wildlife populations residing in this region. The San Dieguito River Valley and Lusardi Creek are significant wildlife corridors for species such as mule deer, mountain lion, bobcat, and California Gnatcatcher. The Santa Fe Valley Specific Plan has been closely coordinated with the Rancho Cielo SPA to the north and 4S Ranch SPA to the east to create continuous open space corridors to the east and north of SPA (See Figure 3-2, Subregional Open Space Corridors & Conservation Areas).

## Cultural Resources

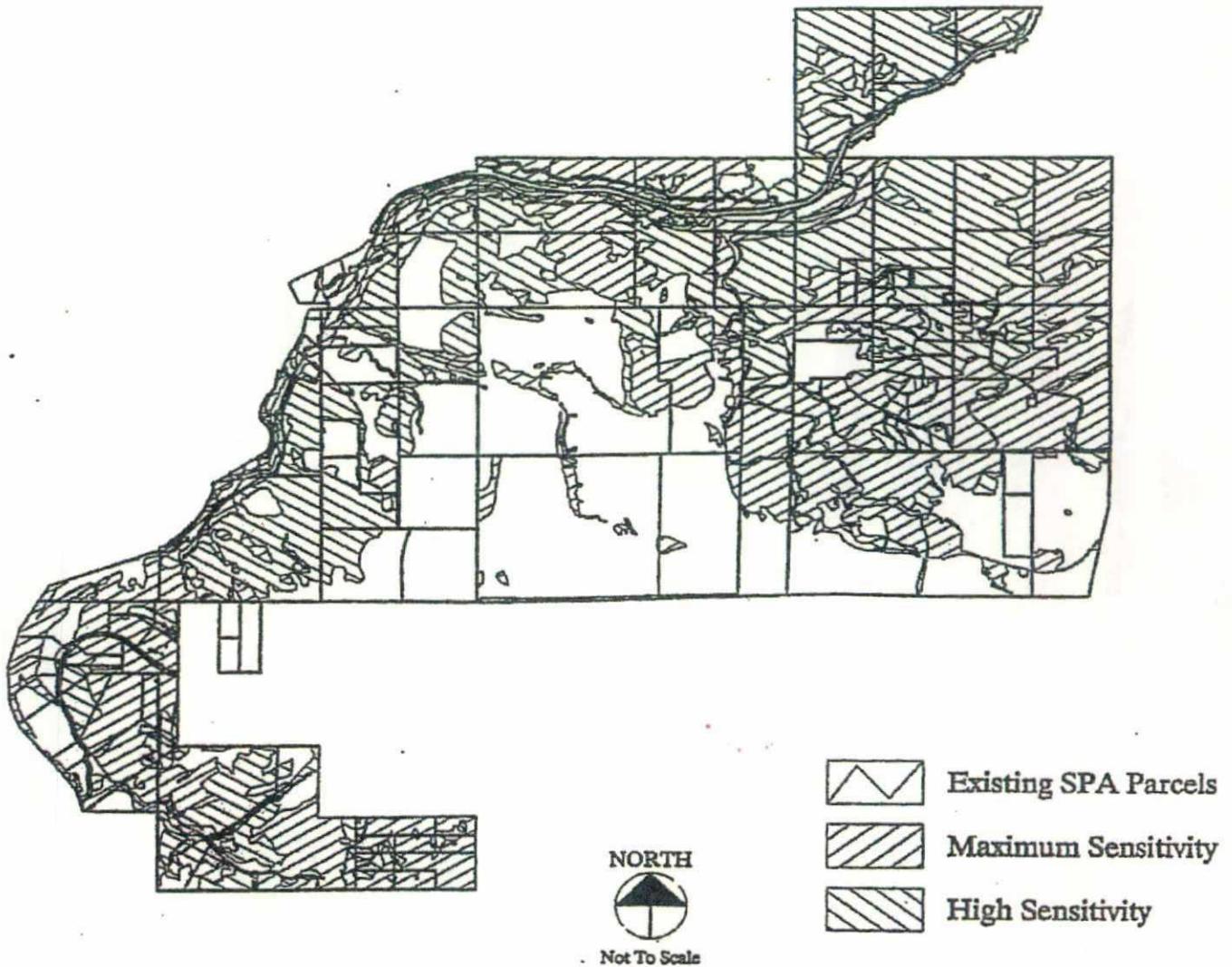
Santa Fe Valley is rich in cultural (archeological) resources (see Section 2.3, Area History). Most of the Santa Fe Valley was surveyed for the presence of cultural resources. A total of 95 cultural resource sites have been identified in the SPA. The survey included properties that were physically accessible and property owners authorized request for entry. As part of this survey a large number of prehistoric sites were recorded. The sites ranged from prehistoric

scatters of lithic tools, debris, and extensive occupation locales, to historic artifact scatters, deposits and structural features.

Archaeological resources are non-renewable and once removed, whether by construction impacts, scientific excavation, natural processes, etc., they cannot be replaced. All untested cultural resources are considered significant until such time that each individual site can be assessed through a testing and evaluation program. Factors involved in evaluations of site significance include a subsurface testing program. Items to be evaluated through testing can include the horizontal and vertical limits of the site, variety and complexity of artifact assemblage, the dates of occupation, the presence of surface or subsurface features, consideration of significance by Native Americans, and the integrity of the site. Some of the sites have been tested and their levels of significance have been determined.

An Archaeological Sites Significance Level map was prepared as part of the analysis and is contained in the *Existing Conditions Report*. However, the map is available for review only by qualified archaeologists at the DPLU.

The C. W. Harris archeological site, which is in Santa Fe Valley, is recognized as a nationally important archaeological site that contains information about all cultural horizons in San Diego County. Six sites, some of which are associated with the Harris Site and two other rock art sites have been categorized as highly significant subject to further testing. It is essential to map, test, and/or preserve significant cultural resources. Areas not surveyed



**Figure 3-1, Environmental Sensitivity Map**

due to limitations of terrain, visibility, or access are shown in the Cultural Resources Technical Report, Appendix C of the Draft EIR (See Policy CO-5.3 regarding unsurveyed areas).

### Visual Resources

The San Dieguito river valley is a unique visual resource. The *San Dieguito Community Plan* states

that the San Dieguito River is the last remaining major watercourse to retain its natural character. The *San Dieguito River Park Concept Plan* recognizes the visual qualities of the San Dieguito River Valley as a sensitive visual resource to be conserved. The Concept Plan is especially concerned with the viewshed from the San Dieguito River trail corridor and from Del Dios Highway.

The San Dieguito Community Plan includes a policy addressing scenic highways, such that land within

the scenic viewshed of a Circulation Element road shall be subject to the standards and criteria of the "S" Scenic Area Regulation Designator. Additionally, the County has designated Del Dios Highway as Priority Two in the Scenic Highway Element of the General Plan to be designated as a scenic highway.

The significant viewsheds from the San Dieguito river valley and from Del Dios Highway were assessed and mapped on a Composite Visual Sensitivity Map that is contained in the *Existing Conditions Report*. Maximum and high visual sensitivity areas identified on the Composite Visual Sensitivity Map are significant visual resources. It is essential to conserve the significant visual resources within the SPA.

### **100-Year Floodplain**

The County of San Diego Department of Public Works (DPW) Flood Control Division has delineated the 100-year floodplain and floodway for the San Dieguito River. The County has adopted two ordinances that address development/land use in floodplains: the Flood Damage Prevention Ordinance and the Resource Protection Ordinance. In addition, the Federal Emergency Management Agency (FEMA) has mapped a floodplain for Lusardi Creek to which FEMA regulations apply.

A hydrology map was prepared as part of Phase I and is contained in the *Existing Conditions Report*. This map identifies the 100-year floodplain mapped by DPW as well as the floodplain for Lusardi Creek mapped by FEMA. The map of floodplains was also used to determine suitable development locations.

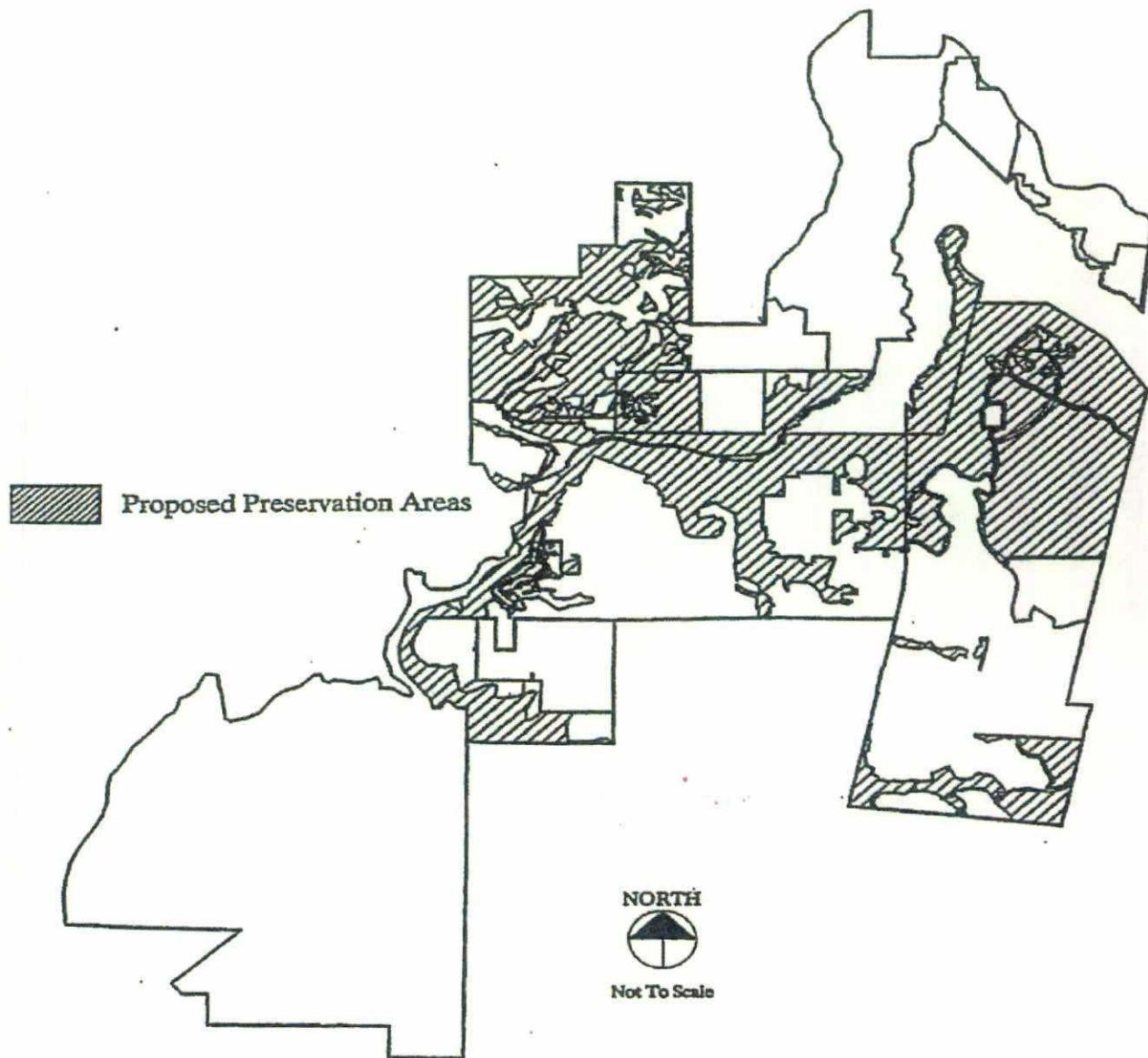
To protect the public health, safety and welfare, the Flood Damage Prevention Ordinance and FEMA regulations will be used to regulate land use in flood prone areas.

### **Resource Conservation Areas**

The Conservation Element of County's General Plan identifies environmentally sensitive areas as Resource Conservation Areas (RCAs). A biological RCA designation is applied to an area which supports sensitive biological resources such as sensitive habitats, plants, and animal species. A portion of RCA No. 54 (Lake Hodges, San Dieguito River, and Lusardi Creek RCA) exists in the SPA. The Lusardi Creek and San Dieguito River Valley contain a variety of habitats for rare and endangered species including the California Gnatcatcher and other sensitive species. Any proposed development within or near an RCA is required to undergo additional review in consideration of the specific resources in the RCA.

### **Steep Slopes**

Steep slopes are defined as those areas with slopes 25% and greater. These slopes are often associated with high quality biological and visual resources, can be subject to landslides and wildfire hazards, and are difficult to serve with infrastructure and public services. A Percentage Slope Map was prepared as part of the Phase I and is contained in the *Existing Conditions Report*. This map was also used to determine suitable development locations. The Resource Protection Ordinance (RPO) addresses and regulates development on steep slopes. The RPO



**Figure 3-2, Open Space Corridors and Subregional Conservation Areas**

further refines the definition of steep slopes by adding that steep slope lands have a minimum rise of 50 feet within the project area. The RPO is applicable to the Specific Plan implementing projects and will be used to regulate future development.

### ***3.2 CONSERVATION & OPEN SPACE PLAN***

Figure 3-1, Environmental Sensitivity Map, identifies areas in the SPA that contain significant environmental resources. These are areas designated as High and Maximum sensitivity as identified in the Composite Environmental Constraints map,

prepared as part of the *Opportunities and Constraints Study*. These areas cover approximately 2,100 acres. The significant environmental resources include biological, cultural, visual, floodplains, and steep slopes.

Implementation requirements of the Specific Plan include the permanent protection of a large portion of significant environmental resources, approximately 1,400 acres or 44% of the SPA. The Specific Plan identifies an open space network within Santa Fe Valley to be established through dedication of open space easements and/or dedication of land to the County or a conservator agency through the discretionary permit process.

The provision of the open space network is consistent with the goals and objectives of the General Plan, including the Regional Land Use Element, the Open Space Element, the Recreation Element, the Conservation Element, and the San Dieguito Community Plan. The location and extent of the open space areas is also based on the goals and objectives of the regional open space planning efforts as well as the San Dieguito River Park Concept Plan.

Figure 3-3, Conservation and Open Space Plan, identifies two open space categories of the Specific Plan. The Open Space I identifies environmentally sensitive lands designated for permanent open space protection. Open space easements are intended to be granted to preserve these areas as permanent open space as part of a regional open space corridor and habitat preserve system. In addition, these areas are also intended to meet the objectives of the NCCP, therefore, qualifying the Specific Plan for permitting authority under the 4(d) rule or as a subarea under

the NCCP, which requires no further permit. The Open Space I areas are not to be disturbed by any uses except as identified on the Specific Plan such as a vehicular river crossing, trails and a trail staging area, and essential public facilities such as utility lines and/or poles.

The Open Space II identifies both sensitive and non-sensitive lands and is designated for both passive and active recreational uses. These areas are intended to serve as a buffer between sensitive Open Space I areas and the more intensive development areas. Uses permitted in the Open Space II include golf courses, irrigation/water storage ponds, trails, and essential public facilities such as utility lines and/or poles. However, the permitted uses must be carefully designed to conserve sensitive environmental resources. Land uses in this category shall be planned and designed in a manner that minimizes direct or indirect impacts to Open Space I areas.

Development proposals that require discretionary approval on land that contains significant environmental resources (See Figure 3-1, Environmental Sensitivity Map), but is not designated as Open Space I, will be required to undergo subsequent review. The intent of the subsequent review is to avoid, minimize, or mitigate any potentially significant impacts to the significant environmental resources. The subsequent review may be required by the policies in the Specific Plan and/or by Special Area Designators through site plan, use permit, and subdivision review. Subsequent review may include additional cultural resource site surveys, testing, and resource management plans; and scenic viewshed and steep slope design review. Mitigation measures may include project redesign

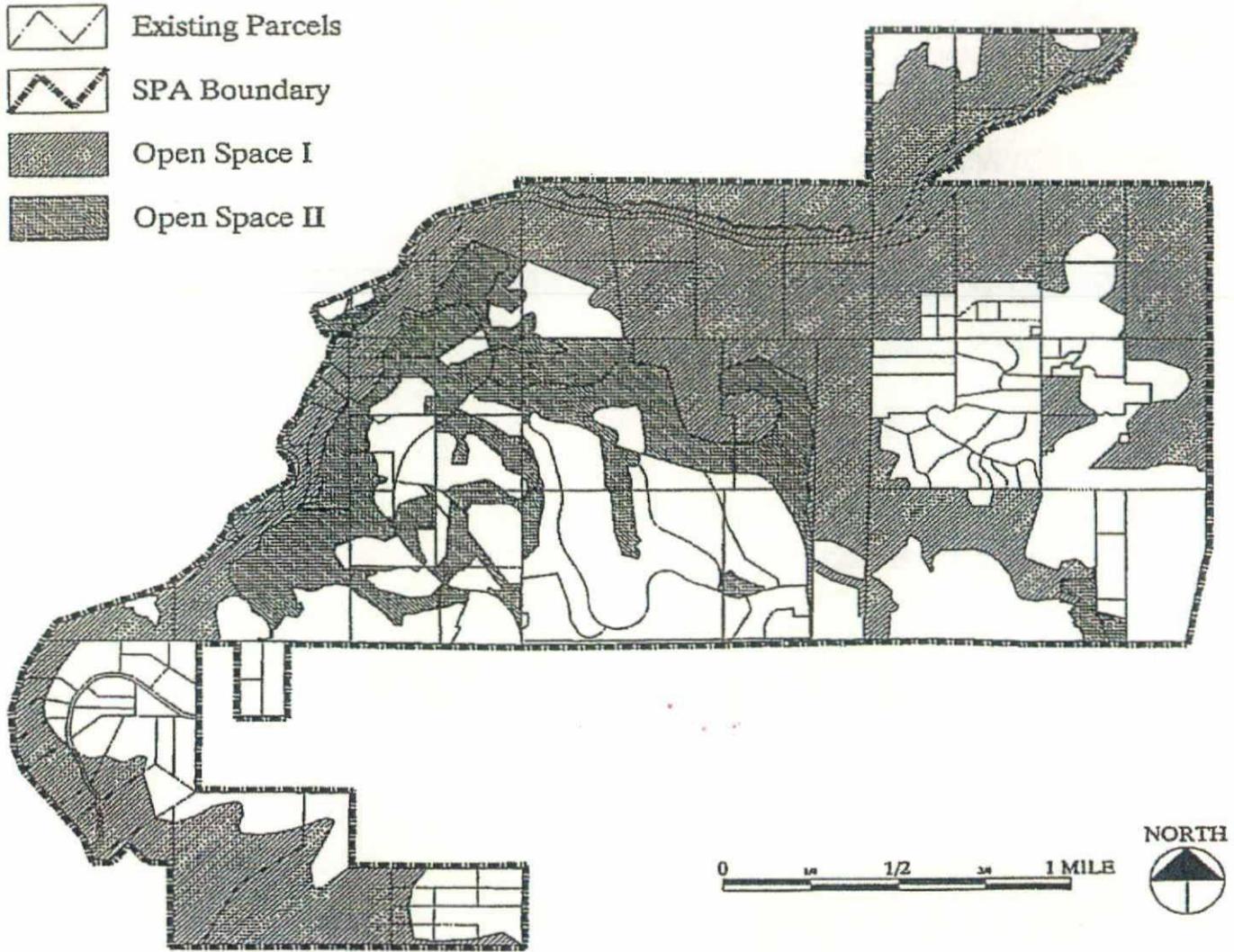


Figure 3-3, Conservation and Open Space Plan

and/or dedication of open space easements, or other measures as appropriate.

### **Habitat Management**

The Santa Fe Valley Specific Plan policies require dedication of a significant portion of the SPA that contains sensitive lands to the County or a habitat management agency acceptable to the County.

However, for County or other conservator agencies to accept and maintain these lands a source of ongoing funding will be required. The Specific Plan requires the preparation of a Habitat Management Plan to address, among other things, habitat/trail funding and management of the Open Space I areas.

## **3.3 CONSERVATION & OPEN SPACE GOAL, OBJECTIVES, AND POLICIES**

### **Goal**

*Conserve significant environmental resources including but not limited to wetlands, coastal sage scrub, wildlife corridors, cultural resources, visual resources, floodplains, and steep slopes.*

***Objective CO-1: Protect Open Space I (see Figure 3-3, Conservation and Open Space Plan) areas in their natural state while permitting limited compatible use of the open space areas.***

### **Policies**

CO-1.1 Open Space I areas shall not be disturbed by any uses except as identified on the Specific Plan, Map and in the text such as a vehicular river crossing, emergency access road, recreational trails, a trail staging area, and essential public facilities such as wet and dry utility lines and/or poles.

CO-1.2 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any other discretionary permit, a Habitat Management Plan (HMP) shall be prepared for the proposed project to the satisfaction of the Director of DPLU. The HMP shall be prepared by a qualified biologist and shall specify the terms and conditions of the open space easements in conjunction with the wording addressed in the FEIR related to open space easements. The HMP should be consistent with the Federal Fish and Wildlife Service and the Multiple Species Conservation Program criteria and standards. The necessary components of the HMP shall include, but shall not be limited to, the following:

- The administrative and management structure;
- Ownership and management responsibility;
- A funding mechanism;
- Open space enhancement, restoration and/or revegetation, and non-native/predator control provisions;
- Habitat mapping consistent with County standards;
- Guidelines for future HMPs as well as a procedure for future participation by other projects within the SPA;

- Trail construction and maintenance;
- Conducting dispersal studies

CO-1.3 Prior to approval of or concurrently with Final or Parcel Maps, issuance of grading permits and improvement plans in lieu of grading permits, or prior to vesting any other discretionary permit, within the subject property, Open Space I areas shall be granted as permanent open space easements, only permitting the uses identified in Policy CO-1.1. The open space may be required to be dedicated in fee title to the County or to a habitat management agency acceptable to DPLU.

CO-1.4 Open Space I areas shall be zoned with the S80 Open Space Use Regulation: building type, lot size, and density designators that permit no residential development. Any development is subject to the Community Design Element of the Specific Plan.

***Objective CO-2: Protect significant environmental resources (see Figure 3-1, Environmental Sensitivity Map) while permitting the designated land uses.***

### **Policies**

CO-2.1 Significant environmental resources that are not designated as Open Space I may be required to undergo additional discretionary review. Special Area Regulations Designators shall be applied as appropriate for the environmental resources present on each particular site that may have otherwise developed without discretionary review. The areas requiring the Special Area Regulations Designators are identified in Figure 3-4 of the project EIR.

Development projects implemented through subdivision and/or Use Permit are subject to the Community Design Element of the Specific Plan (Chapter 7). The intent of the review is to avoid, minimize, or mitigate any potentially significant impacts to the significant environmental resources.

CO-2.2 To assure that all feasible measures are taken to maximize the amount and viability of sensitive habitat resources in environmentally sensitive areas, proposed development in the SPA is subject to the following standards:

- a. Where the resource to be protected includes coastal sage scrub and/or chaparral, the following standards apply:
  1. The total areas where grading is permitted for house, parking areas, and other outdoor use areas, exclusive of access driveways, shall be known as the development envelope. Development envelopes shall be limited to one-quarter acre per building site, or to the amount of site area not containing sensitive habitat as determined by the Director of DPLU, whichever is greater. Areas for leach lines shall not be required to fall within the development envelope provided such areas are revegetated to their natural state.
  2. Clearing for fuel modification shall be limited to the minimum required by the Rancho Santa Fe Fire Protection District. Fuel modification areas may be located outside the development envelope.

3. Shared use easements for roads and access driveways shall be utilized to the maximum extent feasible.
4. Development envelopes shall be located to maximize connectivity of sensitive habitat, both within the individual lot and between adjacent lots, and to maximize opportunities for corridors of natural habitat through development areas.
5. Open space easements shall be dedicated to the County of San Diego or a habitat management agency approved by the Director of DPLU for all land outside the approved building envelope. Said easements shall prohibit habitat disturbance of any kind other than clearing to satisfy fuel modification requirements and for septic system leach lines as permitted by Policy CO-2.2.a.1.
  - b. Where the resource to be protected involves vernal pools, the following standards apply:
    1. The preferred approach is that no disturbance to vernal pools will be allowed. However, when unavoidable, disturbance to vernal pools shall be limited to the maximum extent practical.
    2. Site specific studies shall be prepared to document the amount and habitat value of the resource.
    3. All possible mitigation measures shall be required to assure no net loss of the habitat. Mitigation measures may include preservation of vernal pools off-site or creation of new vernal pools.

4. Open space easements, including appropriate buffer areas to be determined by the Director of DPLU, shall be dedicated to the County of San Diego or a habitat management agency approved by the Director of DPLU and shall prohibit disturbance of any kind.
  - c. Where the resource to be protected involves wetland habitat, the following standards shall apply:
    1. Disturbance to wetland habitat shall be limited to the maximum extent practical.
    2. Site specific studies shall be prepared to document the amount and habitat value of the wetland resources.
    3. There shall be no net loss of wetland habitat. Wetland impacts shall be mitigated as necessary to accomplish this standard.

***Objective CO-3: Provide ongoing funding for the maintenance and management of preserved open space areas.***

**Policy**

CO-3.1 Prior to dedication of open space easements, provide a funding mechanism acceptable to the Director of DPLU for the maintenance and management of all dedicated open space as identified in the Habitat Management Plan required pursuant to Policy CO-1.2.

***Objective CO-4: Provide an adequate buffer for Open Space I areas.***

## **Policies**

CO-4.1 Open Space II areas as shown on the Specific Plan provide a buffer from development to sensitive Open Space I areas in order to minimize direct and indirect impacts of intensive development on significant environmental resources.

CO-4.2 Open Space II areas may be developed with passive and active recreational uses such as golf courses including a Clubhouse, Tennis Center and other typical accessory structures, irrigation/water storage ponds, trails, and essential public and private facilities such as drainage facilities, utility lines and/or utility poles except as specified in Policy LU-2.6.

CO-4.3 In planning and designing permitted development of Open Space II areas, significant environmental resources must be considered and preserved to the extent feasible. Prior to or concurrently with approval of Final or Parcel Maps, and prior to vesting any other discretionary permit on the subject property, significant environmental resources shall be dedicated as open space easements, permitting open space compatible uses as appropriate. The open space easements shall be dedicated to the County or to a habitat management agency acceptable to DPLU, as appropriate.

CO-4.4 Open Space II areas shall be zoned with the S80 Open Space Use Regulation, density designators that permit no residential development; building type designators that permit only nonresidential development except that residential zoning is permitted if a Planned Residential Development

(PRD) Use Permit is granted pursuant to Policy LU-2.6. Any development shall comply with the Community Design Element of the Specific Plan.

***Objective CO-5: Protect and conserve significant cultural resource sites (archaeological and historical) in the SPA.***

## **Policies**

CO-5.1 Sites identified as Significant-Mitigable through Avoidance/Preservation in the Cultural Resource Technical Report shall be placed in the Open Space I land use designation. These are sites SDi-532/4935A; SDi-4935B; SDi-316; SDi-149; SDi-12,684; and SDi-12,685H.

CO-5.2 Prior to or concurrently with approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to issuance of any other discretionary permits within the subject property, sites identified in Policy CO-5.1 shall be dedicated in permanent open space easements. The language of the easements shall describe permitted activities, if any, within the easements.

CO-5.3 Prior to conditional approval of discretionary permits, areas that have not been surveyed for cultural resources that are located in development areas must be surveyed by a qualified archaeologist. These areas are identified on Plate I in the Cultural Resource Technical Report. The survey must be in compliance with the requirements of the San Diego County Archaeological/Historical Report Procedures. Areas identified as permanent open space that have not been surveyed for cultural

resources do not have to be surveyed as long as no development is proposed.

CO-5.4 All untested or unevaluated cultural resource sites are considered as important resources until testing proves otherwise. Therefore, prior to approval of discretionary projects, testing of known and yet to be identified cultural resource sites is required. The level of testing needed will be determined on a case-by-case basis. Sites that have already been tested and where mitigation has been achieved will not require further analysis. For sites that have been tested and have been determined to be important, the following methods could achieve mitigation, as determined by the Director of DPLU:

1. Site avoidance by preservation through capping the site with a layer of sterile fill, and placing landscaping on top;
2. Dedication of open space easements to protect the resource;
3. Additional data recovery through implementation of an excavation and analysis program;
4. Any combination of one or more of the above measures.

CO-5.5 Site preservation is the preferred mitigation measure for the protection of cultural resource sites. Site preservation may be achieved through any combination of methods, including but not limited to the dedication of open space easements, preservation through capping, and additional data recovery to

determine site boundaries. Any subsequent testing performed must be done pursuant to the preparation of a DPLU approved research design.

***Objective CO-6: Conserve the scenic qualities of the San Dieguito River Park as viewed from trails in the River Park and from Del Dios Highway.***

### **Policies**

CO-6.1 All subdivisions and use permit applications shall be subject to the Community Design Element of the Specific Plan (Chapter 7).

CO-6.2 All residential development areas on slopes and ridgelines identified on Figure 3-4 of the Draft EIR shall be zoned with the "D1 Visually Sensitive Hillside/Ridgelines" Design Review Special Area Regulations Designator. All residential development shall comply with the standards of the "D1" Designator.

***Objective CO-7: Restrict development in the 100-year floodplain to protect the public health, safety, and welfare.***

### **Policies**

CO-7.1 Areas within the 100-year floodplain shall be zoned with the "F" Floodplain Special Area Regulations Designator. All development shall comply with the Floodplain Area Regulations at Section 5500 et seq. of The Zoning Ordinance.

CO-7.2 Prior to any development or improvement within the 100-year floodplain, all required permits shall be obtained.

**Objective CO-8: Conserve the resources in the Lusardi Canyon and San Dieguito River Resource Conservation Area No. 54.**

### **Policies**

CO-8.1 The perennial stream in Lusardi Canyon that contains the following unique geologic features shall be designated Open Space I:

- a. Petrified forest with logs in place;
- b. Exposures of prebatholithic volcanics;
- c. Sedimentary rocks containing leaf imprints;
- d. Prebatholithic folded slates-steep dips and primary structures;
- e. The Lusardi formation consisting of a conglomerate unit that is characteristic of North San Diego County; and
- f. Localities indicating the age of Santiago Peak volcanics such as: belemnoids, flame structures, flute casters, and graded bedding.

CO-8.2 Development is permitted within Resource Conservation Area No. 54 in areas that do not contain the above named resources; however, clustering of residential dwelling units away from the resource areas is encouraged.

**Objective CO-9: Minimize encroachment into steep slope lands.**

### **Policy**

CO-9.1 Implementing discretionary projects shall conform to the Resource Protection Ordinance and Board of Supervisors Policy I-73, Hillside Development Policy, as applicable.

This Page Intentionally Left Blank

# Chapter 4

## Land Use Element

### 4.1 EXISTING CONDITIONS

#### Regional Land Use Element

The *Regional Land Use Element* of the County's *General Plan* defines a Specific Plan Area (SPA) as an area designated on the map of a Community Plan which requires more detailed planning prior to development. Land within this designation typically has environmental constraints or unique land use concerns which require special land use and/or design controls. Community or Subregional Plans implement the SPA designation by identifying those areas that must have a Specific Plan adopted prior to further subdivision of any lands designated as (21) Specific Plan Area.

Santa Fe Valley is also designated as Estate Development Area (EDA) on the Regional Land Use Element Map. Lands with this designation are intended for low density residential and agricultural land uses with parcel sizes of two to twenty acres. The EDA designation does, however, permit clustering of dwelling units. Clustering is intended to locate smaller lots on the more level areas in compensation for larger lots on the steep slopes. Clustering is also used for protection of sensitive environmental and scenic resources.

#### San Dieguito Community Plan

The *San Dieguito Community Plan* designates Santa Fe Valley as (21) Specific Plan Area. The Community Plan provides policy regarding its intentions for land use. A density designator of 0.4 dwelling units per acre was placed on the SPA with the caveat that the overall number of dwelling units could not exceed the number of dwelling units permitted by the pre- (21) SPA Land Use Designations [(17) Estate Development Area, (18) Multiple Rural Use, and (24) Impact Sensitive]. The Community Plan acknowledges that a mixture of land uses may ultimately be developed and requires a feasibility (market) study to help evaluate ultimate usage and the ability of the uses to fund needed public services and facilities.

The Community Plan also states that "The focus of this plan is the San Dieguito River Regional Park". The Plan also requires that the Santa Fe Valley Specific Plan contain a recreation element that contains the goal: "Plan a Regional Park and Open Space System of a visionary nature, the focus of which will be the San Dieguito River Valley."

The residential goal of the Community Plan calls for enhancing the living environment while accommodating gradual residential development that harmonizes with the natural environment. The Community Plan generally encourages estate type development, but emphasizes that development should be clustered to improve upon the amount and character of open space. A majority of land in the Community Plan area is either currently developed or planned for estate residential land use, with limited

support commercial and industrial land uses. The Community Plan's land use policies reflect a generally low-intensity rural residential development supported by convenience commercial, some mixed uses, and office and general commercial land uses.

In regard to the Santa Fe Valley SPA, due to the multi-ownership nature and the concern for achieving a viable Specific Plan, the Community Plan requires completion of certain studies prior to establishing land use objectives and policies for Santa Fe Valley. As part of the Santa Fe Valley specific planning process, these studies have been completed and are referred to in the proceeding chapters.

### **Existing Land Use in Santa Fe Valley**

Currently, the majority of land in Santa Fe Valley is generally undeveloped; there are ten dwelling units that will remain scattered throughout the Santa Fe Valley SPA. Agricultural uses in the flatter portions of the area consist of nurseries, truck crops and orchards. There are some areas in the western portion of Santa Fe Valley which were dry farmed but are now fallow.

### **Surrounding Land Use**

The existing and planned developments surrounding Santa Fe Valley are generally characterized by planned and developed high-amenity, estate residential communities to the north and west. Low, medium, and high density residential and commercial development is planned for areas within the City of San Diego's Future Urbanizing Area immediately

south of Santa Fe Valley and to the east in 4S Ranch (See Figure 2-4, Subregional Land Use Context).

The developed residential communities of Rancho Santa Fe and Fairbanks Ranch are located to the west and southwest of Santa Fe Valley. These communities are characterized by predominantly one and two-acre parcels of estate housing with such amenities as golf courses, trails, and parks. Other existing nearby residential developments are located in the City of San Diego's Rancho Bernardo Community to the east and the City of Escondido to the north which are typically developed at higher suburban densities.

Planned development projects adjacent to Santa Fe Valley within the unincorporated area of the County include the 2,846 acre Rancho Cielo SPA project, a hillside estate community to the north; and the 2,900 acre 4S Ranch SPA to the east. The 4S Ranch project is being planned as a mixed-use residential, commercial, and light industrial community.

South of the Santa Fe Valley, the adjoining City of San Diego's 12,000 acre Future Urbanizing Area includes the Black Mountain Ranch, an approved planned residential and commercial community. Development of the Future Urbanizing Area beyond the existing permitted level of development (one dwelling per ten acres or one dwelling unit per four acres for clustered projects) is subject to voter approval under Proposition "A" which was passed in 1985. In 1994, a ballot measure which proposed a land use density increase was defeated by the City of San Diego electorate.

The Rancho Cielo and 4S Ranch SPAs, and the City of San Diego's Future Urbanizing Area, are planned to provide community retail services. The community of Rancho Bernardo commercial areas and City of Escondido's North County Fair currently provide neighborhood, community, and regional shopping services in the vicinity of the Santa Fe Valley. Further south of Santa Fe Valley within the I-15 corridor the Carmel Mountain Commercial Center also provides additional regional shopping services. Also, the community of Rancho Bernardo and the 4S Ranch Business Park provide existing and planned employment opportunities. Additional employment uses are planned in the City of San Diego's Future Urbanizing Area and the undeveloped portion of the 4S Ranch. South of Rancho Bernardo the communities of Carmel Mountain and Rancho Penasquitos also include additional existing and planned employment opportunities within the I-15 corridor.

## **Market Study**

The *Santa Fe Valley Market Study* conducted in 1992 during Phase 1 of the planning process assessed the demand for residential and appropriate ancillary and complimentary uses for a 20-year planning period.

### *Residential*

Due to oversupply in 1992, there was limited demand in the near term for estate homes over 3,500 square feet on lots over one acre in size. Greater market support existed for a more affordable diversified housing program of smaller lots ranging from 0.2 to 1.0 net acres and a smaller, single-family detached

house size up to 2,500 square feet. The Market Study also identified the demand for patio or single family attached housing. The demand for housing at a relatively higher density would depend on an external amenity package to attract active senior adults at the higher end of housing affordability. This concept would target this market by offering a small lot detached patio house, and/or duplex housing product mix of 1,800 to 2,600 square feet in size on 5,000 to 6,000 square foot lots. This is interpreted to a density of seven to nine dwelling units per acre.

The combination of the housing mix described above could generate an estimated absorption rate of up to 100 dwelling units per year in Santa Fe Valley. However, off-site conditions could affect this projection such as rebound of the currently sluggish local economy, phasing of surrounding approved planned projects and future voter approval of development at urban densities of the Future Urbanizing Area in the City of San Diego.

The Market Study recommended a diversified development approach, about half of the residential development should be estate lot type development and the other half should be high-end detached and attached clustered housing.

### *Retail*

The Market Study also discusses the market potential for a retail center serving the residents of Santa Fe Valley. This retail center would mitigate the number of vehicular trips residents would have to make outside of the valley. Due to the limited population allowed in Santa Fe Valley, the retail center should be no larger than a neighborhood or convenience center,

and provide items residents need on a frequent basis, such as food, personal and professional services, pharmaceuticals, selected specialty retail outlets, and dining.

### *Congregate Care*

The Market Study also indicated a potential land use demand for a congregate care or group housing, located within the SPA to accommodate the aging population of this area. This facility could include varying levels of service or care extending from housekeeping to skilled nursing.

### **Land Use Suitability**

Based on the findings of the studies required by the *San Dieguito Community Plan*, land use allocations should be based on a number of key factors including the existence of sensitive environmental, visual, and cultural resources; land use compatibility; marketability; feasibility; accessibility; natural physical features such as topography and floodplains; and man-made features such as utility corridors, roads, lakes, and agricultural activities.

The development suitability criteria are summarized in Table 4-1, Summary of Development Suitability Criteria, which is based on the *Santa Fe Valley Opportunities and Constraints Study* findings.

<b>Table 4-1: Summary of Development Suitability Criteria</b>		
<b>Map Title</b>	<b>Map Designation Identifying No or Low Development Suitability</b>	<b>Map Designation Identifying High Development Suitability</b>
Percent Slope	Slopes 25 percent and greater	Slopes 0 to 25 percent
Hydrology	Areas within the 100-year floodplain	Areas outside the 100-year floodplain
Biological Resource Sensitivity	Maximum and high Sensitivity	Low or Not Sensitive
Archeological Sites	Significant-Unmitigable Significant-Possibly Mitigable	Not Significant
Planned Roadways	Proximity to Del Dios Highway	Proximity to Camino Del Norte
Major Easements	Major electrical and utility easements (SDG&E powerlines and Aqueduct)	No major easements
Composite Visual Sensitivity	High and Maximum Sensitivity	Low or Not Sensitive

## 4.2 LAND USE PLAN

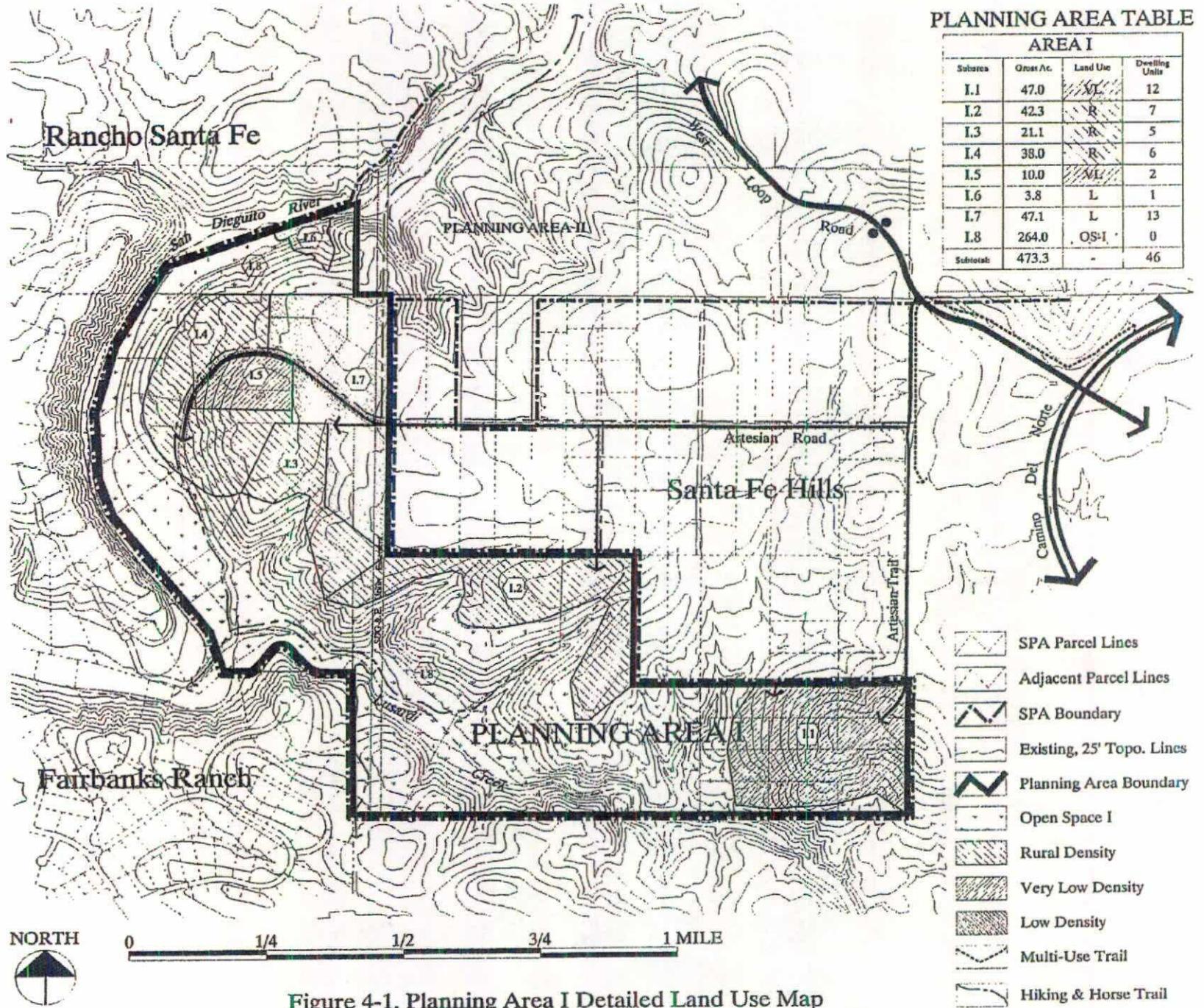
It is intended that new development in Santa Fe Valley will be compatible with surrounding land uses and also preserve and maintain sensitive lands, cultural resources, and scenic areas associated with the San Dieguito River and Del Dios Highway. The Specific Plan land use designations and density allocations were developed in consideration of the *Santa Fe Valley Market Study* and the *Specific Plan Opportunities and Constraints Study*. The distribution, location, and extent of land uses in the Santa Fe Valley SPA are shown on the Specific Plan Map, Figure 2-5 (a larger scale version is included as part of this document). To facilitate planning for the geographically diverse and multi-ownership Santa Fe Valley, the SPA was divided into five Planning Areas: I, II, III, IV, and V (see Figure 2-4). Each Planning Area was then further divided into Subareas to identify the designated land use. Figures 4-2 through 4-6 show the details for each of the five Planning Areas, including existing parcel lines, topography, circulation, trails, land use designations, residential densities and Subarea acreage.

Specific Plan land use designations for Santa Fe Valley include: Open Space, Residential, Commercial, and Community Facilities. These planned land uses are intended to be implemented through various discretionary permits as described in the Development Program of the Specific Plan (Chapter 8). The Specific Plan land use designations are described as follows:

### Open Space

As described earlier in Chapter 3, two open space land use designations are identified by the Specific Plan: Open Space I are those lands suitable for conservation and permanent protection of environmental resources with no development allowed except for a vehicular river crossing, essential infrastructure and public facilities, trails, and a trail staging area. Approximately 1,382 acres or 44% of the SPA is designated Open Space I.

Open Space II areas are those lands suitable for passive and active recreational uses, located to provide a buffer between developed areas and the permanent open space areas of the Open Space I designated lands. Some of the Open Space II areas contain environmental resources that are required to be protected to the extent feasible. The planned land uses in Open Space II include recreational trails, public and private golf courses, golf practice range, essential public facilities, and 18 dwelling units transferred from other residential areas within Planning Area III. The transfer of units to Open Space II in this Planning Area is allowed only in the event the golf course is not developed.



PLANNING AREA TABLE

AREA I			
Subarea	Gross Ac.	Land Use	Dwelling Units
I.1	47.0	ML	12
I.2	42.3	R	7
I.3	21.1	R	5
I.4	38.0	R	6
I.5	10.0	ML	2
I.6	3.8	L	1
I.7	47.1	L	13
I.8	264.0	OS-I	0
<b>Subtotal:</b>	<b>473.3</b>	-	<b>46</b>

Figure 4-1, Planning Area I Detailed Land Use Map

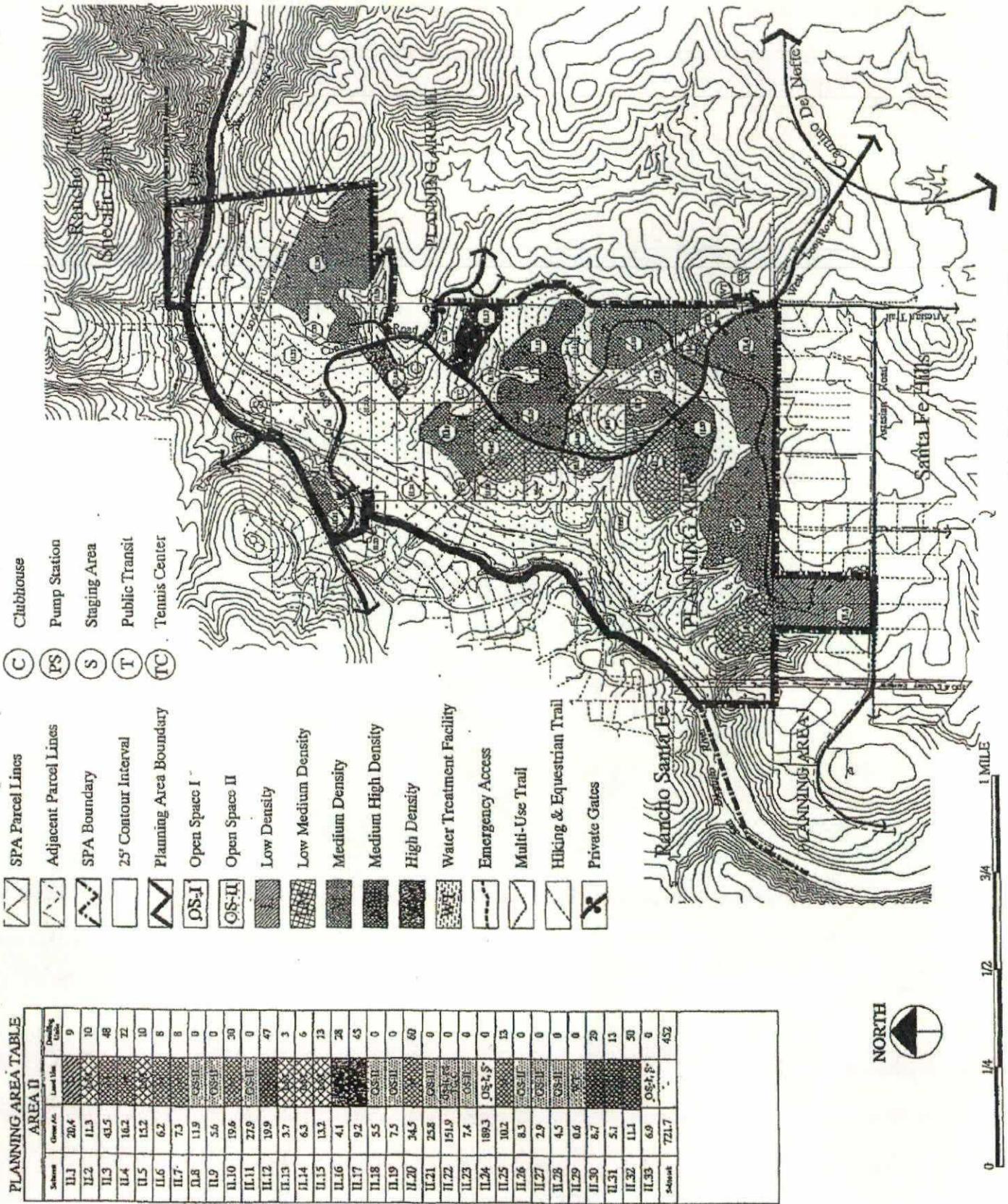


Figure 4-2, Planning Area II Detailed Land Use Map

**PLANNING AREA TABLE**

Subarea	Open Ac.	Land Use	Dwelling Units
II.1	20.4		9
II.2	11.3		10
II.3	43.5		48
II.4	16.2		22
II.5	15.2		10
II.6	6.2		8
II.7	7.3		8
II.8	11.9	OS-I	0
II.9	5.6	OS-II	0
II.10	19.6		30
II.11	27.9	OS-I	0
II.12	19.9		47
II.13	5.7		3
II.14	6.3		6
II.15	13.2		13
II.16	4.1		28
II.17	9.2		45
II.18	5.5	OS-II	0
II.19	7.5	OS-I	0
II.20	34.5		60
II.21	25.8	OS-I	0
II.22	19.9		0
II.23	7.4	OS-I	0
II.24	189.3	OS-2, S	0
II.25	10.2		13
II.26	8.3	OS-II	0
II.27	2.9	OS-I	0
II.28	4.5	OS-II	0
II.29	0.6	ST	0
II.30	8.7		29
II.31	5.1		13
II.32	11.1		50
II.33	6.9	OS-2, S	0
Subtotal	721.7		452

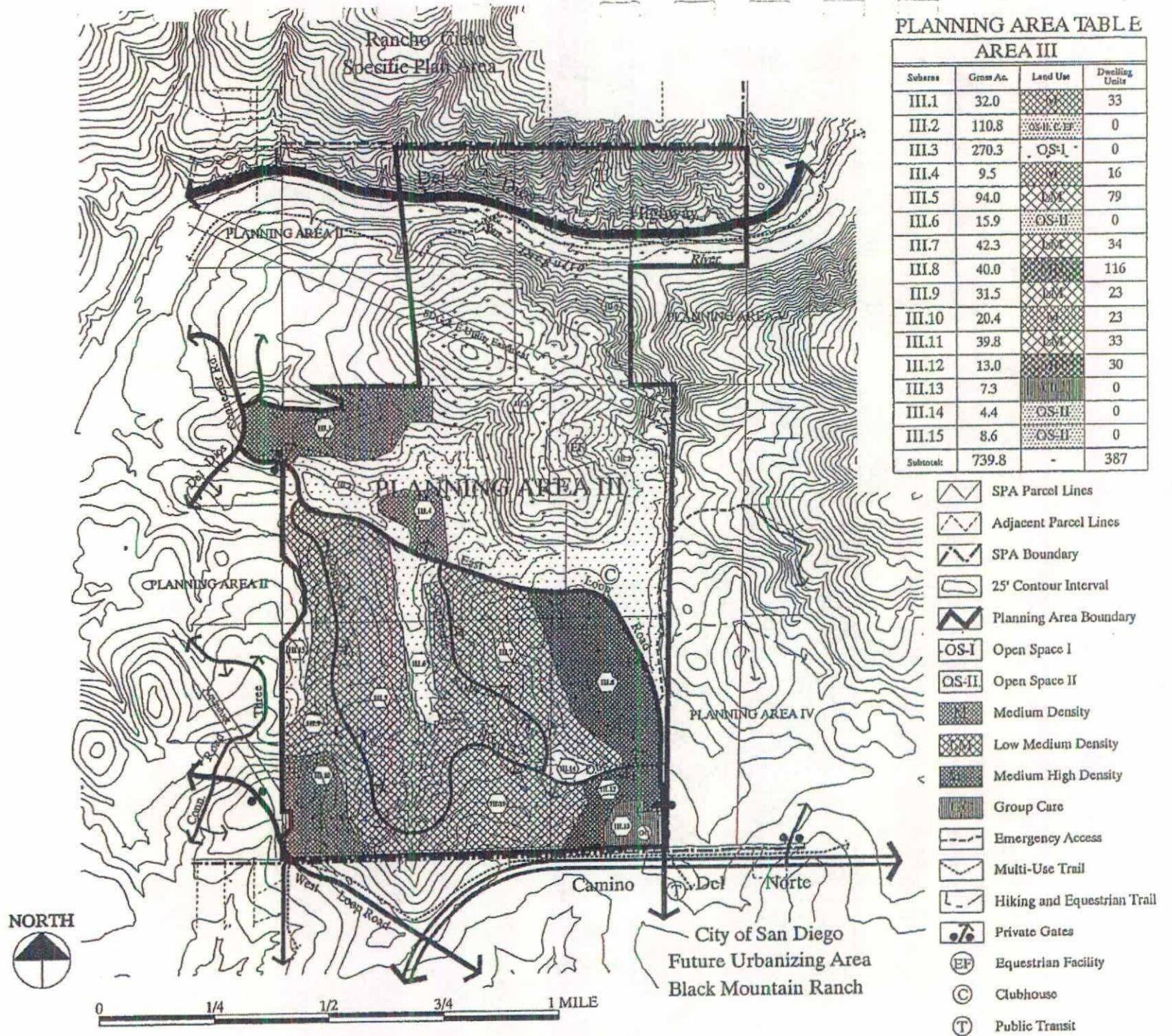


Figure 4-3, Planning Area III Detailed Land Use Map

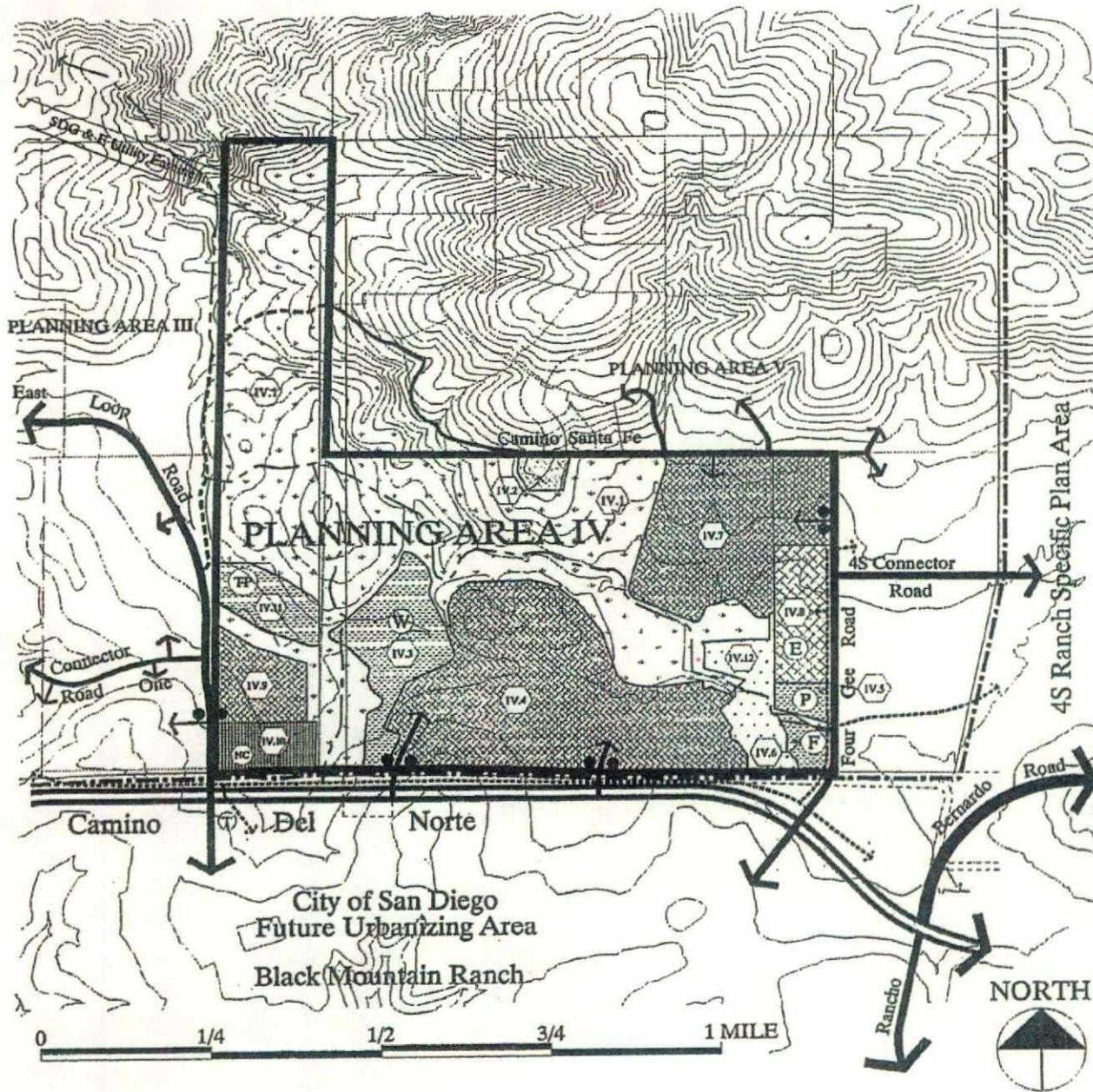
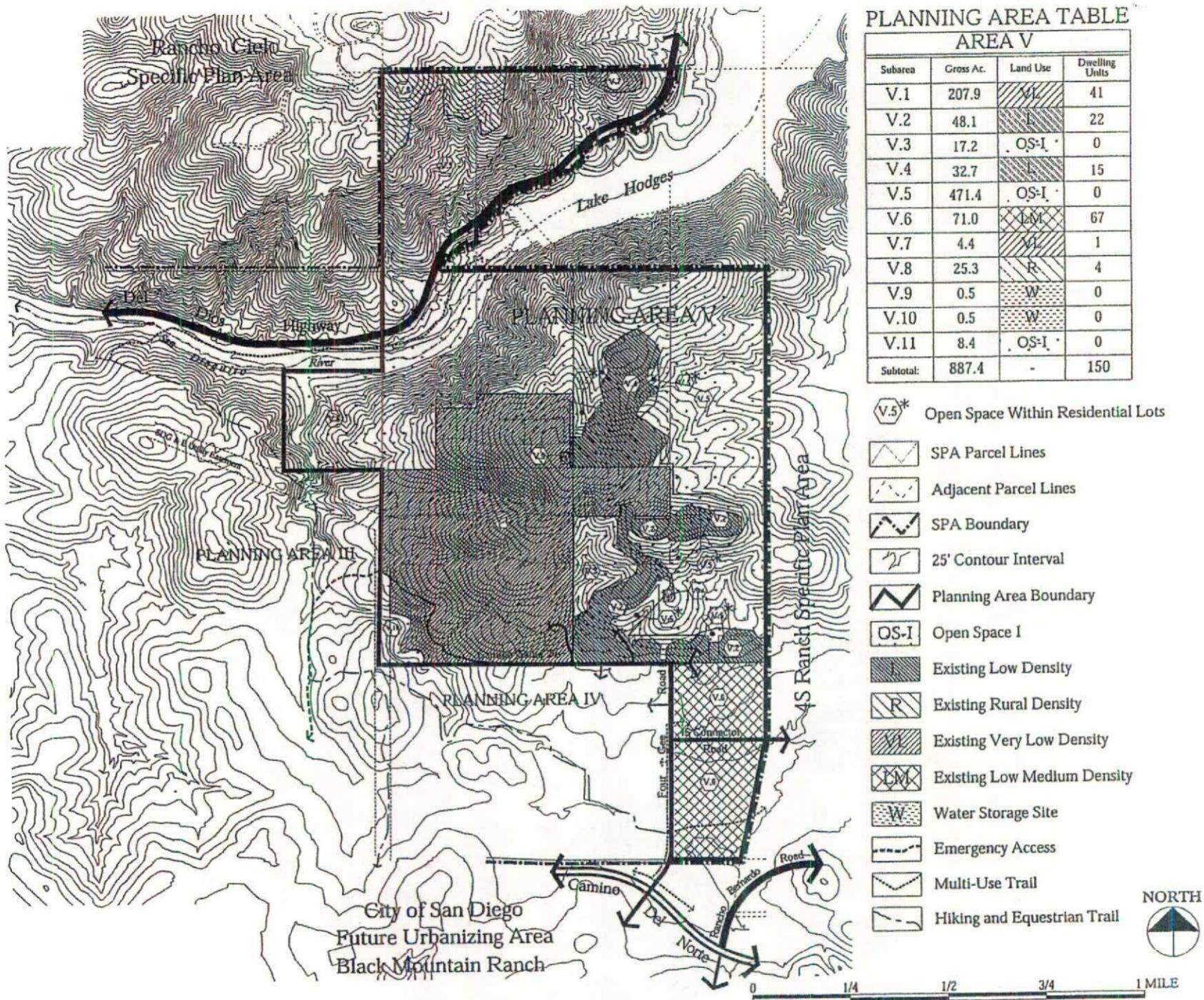


Figure 4-4, Planning Area IV Detailed Land Use Map

PLANNING AREA TABLE

AREA IV			
Subarea	Grm. Ac.	Land Use	Dwelling Units
IV.1	161.3	OS-I	0
IV.2	2.5	L	1
IV.3	16.5	W	0
IV.4	65.1	M	92
IV.5	2.9	F	0
IV.6	3.2	F	0
IV.7	37.5	M	45
IV.8	12.1	LM, E	12
IV.9	10.5	M	15
IV.10	7.0	M	0
IV.11	8.0	FP	0
IV.12	10.9	OS-II	0
<b>Subtotal</b>	<b>337.5</b>		<b>165</b>

- SPA Parcel Lines
- Adjacent Parcel Lines
- SPA Boundary
- 25' Contour Interval
- Planning Area Boundary
- Open Space I
- Open Space II
- Low Density
- Low Medium Density
- Medium Density
- Neighborhood Commercial
- Multi-Use Trail
- Hiking and Equestrian Trail
- Emergency Access
- Public Transit
- Sewage Treatment Plant
- Neighborhood Park
- Elementary School
- Water Storage Site
- Fire Station
- Private Gates



PLANNING AREA TABLE  
AREA V

Subarea	Gross Ac.	Land Use	Dwelling Units
V.1	207.9	VL	41
V.2	48.1	L	22
V.3	17.2	OS-I	0
V.4	32.7	L	15
V.5	471.4	OS-I	0
V.6	71.0	LM	67
V.7	4.4	VL	1
V.8	25.3	R	4
V.9	0.5	W	0
V.10	0.5	W	0
V.11	8.4	OS-I	0
Subtotal:	887.4	-	150

- (V.5)\* Open Space Within Residential Lots
- SPA Parcel Lines
- Adjacent Parcel Lines
- SPA Boundary
- 25' Contour Interval
- Planning Area Boundary
- OS-I Open Space I
- Existing Low Density
- Existing Rural Density
- Existing Very Low Density
- Existing Low Medium Density
- Water Storage Site
- Emergency Access
- Multi-Use Trail
- Hiking and Equestrian Trail



Figure 4-5, Planning Area V Detailed Land Use Map

## Residential

The Specific Plan provides for a maximum of 1,200 dwelling units. The maximum number of dwelling units was derived from calculating the theoretical maximum number of dwelling units the SPA acreage could have yielded under the pre- (21) SPA Land Use Designation. The 1,200 dwelling units permitted within the SPA are allocated to the many subareas within the five Planning Areas. The allocated dwellings are spread among the seven residential density designations shown on the Specific Plan. However, the residential density designations on the Specific Plan are provided simply to categorize the various subarea dwelling unit density allocations. The allocated number of dwelling units within each subarea reflects the intent of the Specific Plan by stating the maximum number of dwelling units that are permitted within each subarea.

In addition, Appendix C indicates the allocated number of dwelling units by Assessor Parcel Number (APN) and by groups of APNs or ownerships as appropriate indicating generally where, at the time of allocation, dwelling unit development was anticipated to occur through SPA implementation.

In consideration of the *San Dieguito Community Plan*, permitted development has been clustered away from sensitive lands creating large contiguous open space areas, especially in the areas in which the owners are processing tentative subdivision maps concurrent with the Specific Plan. In addition, transferring of dwelling units within individual subareas and between adjacent subareas in the same

Planning Area is allowed by the Specific Plan in order to assist in furthering the open space objectives for this area or to improve land use compatibility. Clustering is encouraged in the areas not concurrently processing subdivision maps with the Specific Plan in order to assist in furthering the conservation and open space objectives of the Specific Plan.

Notwithstanding the above, the transfer of dwelling units from one residential subarea to another may be permitted in Planning Area III (18 dwelling units from residential areas to Open Space II, in the event the 9-hole golf course is not constructed), and in Planning Area IV, Subarea IV.8 (for transfer of 12 dwelling units in the event the elementary school is developed on this site).

All proposed transfers of dwelling units are subject to the criteria and processes provided in Policies LU-2.4-2.5 herein. The intent in permitting the transfer of dwelling units is the same as for permitting clustering of dwelling units, i.e., to protect environmentally sensitive lands, to increase contiguous open space areas, and to enhance land use compatibility.

## Commercial

The Specific Plan proposes a number of commercial land uses to accommodate a variety of commercial facilities. The commercial land uses are described as follows:

### *Neighborhood Commercial*

To serve the future commercial needs of the Santa Fe Valley residents, a seven-acre neighborhood commercial area is proposed in Planning Area IV. The neighborhood commercial area is envisioned to offer convenient shopping and community services in convenient and accessible locations. By locating the neighborhood commercial uses in the proximity of medium to high-density residential use and entrance to the community, in conjunction with the provision of pedestrian, equestrian, and bicycle trails and public transit access, overall vehicular travel demand will be reduced.

### *Group Care*

Considering the demographic profile of the subregion and the findings of the Market Study, there may be a need for congregate care and/or skilled nursing facilities to care for the aging population of this area. Accordingly, the Specific Plan allows for a group care facility of up to 200 rooms to be located on approximately seven acres. The group care site is to be located in the proximity of the neighborhood commercial. A group care facility may only be constructed pursuant to an approved Major Use Permit.

### *Tennis Center*

The Specific Plan designates approximately 3.2 acres of land as a Tennis Center site within Planning Area II. This site may include up to 4 tennis courts, a pro shop, limited banquet facilities, snack bar, locker room, workout room, pool, administrative and sales office, and other outdoor activity area. The Tennis

Center is designated to be owned and operated as part of the 18-hole Private Golf Club (known as the Crosby National Golf Club). A limited number of memberships are available for purchase by residents and non-residents.

### *Golf Courses*

Two Golf Courses are proposed in the SPA, an 18-hole Private Golf Club and a 9-hole facility in the Open Space II areas. Both Golf Courses include clubhouses and other facilities. Each clubhouse may include a restaurant, bar, and snack shop as well as a retail (pro-shop) facility, real estate sales/information office, administration office, cart storage, and locker facilities.

The 18-hole Private Golf Club may include small food and beverage facilities in addition to the clubhouse and an approximately 27 acre driving range with an estimated 65 stations for golf practice. Golf maintenance facilities for the two golf courses are also permitted including maintenance facilities at the driving range. The golf courses may be constructed only pursuant to Major Use Permits.

### *Equestrian Facility*

A seven-acre private horse stable facility is designated to be located within an existing orchard. This private facility may include a small snack shop. Within the proximity of this equestrian facility a public horse watering facility is to be located near the public horse trail corridor. The equestrian facility may only be constructed pursuant to an approved Major Use Permit.

## **Community Facilities**

The Specific Plan proposes several community facilities to support the Specific Plan land uses. These facilities include educational and recreational facilities as well as public safety and utilities. These facilities have been coordinated with various service provider agencies and County Departments and are described in detail in the Public Facilities Element of this Specific Plan (Chapter 6). The following is a brief description of these facilities:

### *Neighborhood Park*

The Specific Plan land use element designates approximately 2.9 acres of land in the southeastern portion of the SPA as a neighborhood park. This park is planned to include passive recreational facilities in the proximity of educational facilities. A conceptual park design has been developed and is included as Figure 6-4, Park Improvement Concept Plan. The park shall only be constructed in conformance with all applicable County policies and regulations and upon completion of the appropriate studies, as detailed in the Specific Plan Public Facilities Element (Chapter 6).

### *Fire Station*

Approximately 3.2 acres of land adjacent to the neighborhood park has been designated as a fire station site. As proposed by the Rancho Santa Fe Fire Protection District this station will be permanent and is intended to replace the temporary 4S fire station. The station would serve most of Santa Fe Valley SPA as well as the 4S Ranch SPA, except the northwestern portion of the Santa Fe Valley SPA, which would be served primarily by the

proposed Rancho Cielo Station. The fire station may only be constructed pursuant to an approved Site Plan.

### *Educational Facilities*

The Specific Plan designates one potential school site within the SPA. An elementary school site is designated on approximately 12 acres near the neighborhood park site to accommodate elementary students from Santa Fe Valley and other areas. While the school site has been so designated, the school district has not committed to purchasing the site at this time. Therefore, the underlying use permits enable the property owner to proceed with development of the property. The school site is designated Low Medium residential as the underlying use. In the event the elementary school is constructed, the permitted 12 dwelling units may be transferred to one or more residential designated subareas pursuant to the transfer criteria contained in Policy LU-2.4.

### *Sewage Treatment Plant*

In order to provide adequate wastewater treatment capacity for all planned land uses in Santa Fe Valley approximately 8 acres of land has been designated as a sewage treatment plant site. This site is located in a manner to have the least potential impact on the surrounding land use and environment, while allowing the most topographically suitable location to be utilized for collection and treatment of wastewater. Adequate buffer has been provided as part of the siting of this plant. The plant is anticipated to treat approximately 0.5 million gallons of wastewater per day. The reclaimed water is

anticipated to be used beneficially for golf course irrigation purposes. The sewage treatment plant may only be constructed pursuant to an approved Major Use Permit.

### *Water Storage*

There are several water storage sites designated in the SPA in addition to the existing storage reservoirs and tanks. The largest storage site is located within the proximity of the sewer treatment plant site to store reclaimed water during the rainy season. This site is estimated to store up to 100 acre-feet of reclaimed water. Additional water storage reservoir sites have been designated in the SPA both as part of the permitted golf course in the Open Space II and Community Facilities areas and as aesthetic addition to the residential neighborhoods.

### *Pump Station*

A sewer pump station site is designated in the SPA. This site is located within the Open Space II area of the Planning Area II to facilitate the collection and treatment of wastewater in the SPA. This site is intended to allow for construction of a wastewater pump station and appurtenances pursuant to an approved Minor Use Permit.

### *Water Treatment Facility*

The Specific Plan designates the existing Olivenhain Municipal Water District water chlorination station as a water treatment facility site. This facility is located near the Second San Diego Aqueduct Easement, which traverses the SPA. The Specific Plan does not anticipate an expansion of this facility at this time.

### *Trail Staging Area*

A trail staging area intended to provide access to the San Dieguito River Park Coast to Crest Trail is designated within the Santa Fe Valley SPA. This staging area would be developed on approximately two acres of disturbed habitat land located south of the San Dieguito River and east of the existing Del Dios Highway “fruit stand” river crossing. The staging area may only be constructed pursuant to an approved Major Use Permit.

### **Floating Designators**

The Specific Plan identifies several land uses as “floating designators” on the Specific Plan Map. Although the designators are placed on the Specific Plan Map where a specific use is anticipated, this designator is being used to allow for some flexibility in future siting of these uses. Furthermore, in the event any of the floating designator uses are not ultimately sited in the SPA, the underlying Specific Plan land use designation shall supersede. The land uses that are designated with the floating designator are the elementary school, staging area, and equestrian facility.

### **Land Use Tabulations**

Table 4-2 provides detailed land use tabulations by Planning Areas in the Santa Fe Valley SPA.

**Table 4-2: Land Use Distribution By Planning Areas**

Planning Areas	Area I		Area II		Area III		Area IV		Area V		Total	
	Gross Acres	DU No.	Gross Acres	DU No.	Gross Acres	DU No.	Gross Acres	DU No.	Gross Acres	DU No.	Gross Acres	DU No.
<b>Open Space</b>	<b>264</b>	<b>0</b>	<b>455.7</b>	<b>0</b>	<b>410</b>	<b>0</b>	<b>172.7</b>	<b>0</b>	<b>497</b>	<b>0</b>	<b>1,799.4</b>	<b>0</b>
Open Space I	264.0	0	196.4	0	270.3	0	161.3	0	497	0	1,389	0
Open Space II	0	0	259.3	0	139.7	0	11.4	0	0	0	410.4	0
<b>Residential</b>	<b>209.3</b>	<b>46</b>	<b>265.7</b>	<b>452</b>	<b>322.5</b>	<b>387</b>	<b>127.7</b>	<b>165</b>	<b>389.4</b>	<b>150</b>	<b>1,314.6</b>	<b>1,200</b>
Rural	101.4	18	0	0	0	0	0	0	25.3	4	126.7	22
Very Low	57	14	0	0	0	0	0	0	212.3	42	269.3	56
Low	50.9	14	20.4	9	0	0	2.5	1	80.8	37	154.6	61
Low Medium	0	0	49.7	42	207.6	169	12.1	12	71	67	340.4	290
Medium	0	0	137.5	189	61.9	72	113.1	152	0	0	312.5	413
Medium High	0	0	44.8	132	53	146	0	0	0	0	97.8	278
High	0	0	13.3	80	0	0	0	0	0	0	13.3	80
<b>Commercial</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>7.3</b>	<b>0</b>	<b>7.0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>14.3</b>	<b>0</b>
Neighborhood Commercial	0	0	0	0	0	0	7.0	0	0	0	7.0	0
Resort/Hotel	0	0	0	0	0	0	0	0	0	0	0	0
Group Care	0	0	0	0	7.3	0	0	0	0	0	7.3	0
Clubhouse <sup>+</sup>	0	0	+	0	+	0	0	0	0	0	+	0
Equest. Facility <sup>+</sup> *	0	0	+	0	+	0	0	0	0	0	+	0
<b>Comm. Fac.</b>	<b>0</b>	<b>0</b>	<b>0.6</b>	<b>0</b>	<b>+</b>	<b>0</b>	<b>30.1</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>31.7</b>	<b>0</b>
Local Park	0	0	0	0	0	0	2.7	0	0	0	2.7	0
Fire Station	0	0	0	0	0	0	2.9	0	0	0	2.9	0
Elem. School <sup>•</sup> *	0	0	0	0	0	0	◆	0	0	0	◆	0
Staging Area <sup>•</sup> *	0	0	0	0	0	0	0	0	0	0	0	0
Water Storage <sup>+</sup>	0	0	0	0	+	0	16.5	0	1	0	17.5	0
Water Treatment	0	0	0.6	0	0	0	0	0	0	0	0.6	0
Pump Station <sup>+</sup>	0	0	+	0	0	0	0	0	0	0	+	0
Sewage Plant	0	0	0	0	0	0	8.0	0	0	0	8.0	0
<b>TOTAL</b>	<b>473.3</b>	<b>46</b>	<b>722</b>	<b>452</b>	<b>739.8</b>	<b>387</b>	<b>337.5</b>	<b>165</b>	<b>887.4</b>	<b>150</b>	<b>3,160</b>	<b>1,200</b>

Notes:

\* Indicates Floating Designators, which are uses with unspecified site size and exact location.

+ Acreage of these land uses is included within the Open Space II acreage for each Planning Area.

• Acreage of this land use is included in Low Medium acreage in Planning Areas IV.

◆ Acreage of the Staging Area is included within the Open Space I acreage in Planning Area II.

### **4.3 LAND USE GOAL, OBJECTIVES AND POLICIES**

#### **GOAL**

*Provide for the orderly development of the Santa Fe Valley Specific Plan Area compatible with the existing and planned character of adjacent communities and consistent with community and resource agency open space planning goals and objectives.*

**Objective LU-1** *Conserve significant environmental resources as an essential component of the regional open space planning efforts, the goals of the San Dieguito Community Plan, and the San Dieguito River Park, while permitting limited compatible use of the open space areas.*

#### **Policies**

LU-1.1 Contiguous significant environmental resources shall be designated Open Space I, such that a minimum of 44% of the SPA is designated for permanent protection.

LU-1.2 Prior to or concurrently with approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any other discretionary permit, open space easements shall be granted to the County of San Diego over Open Space I areas within the subject property, permitting only the land uses identified in Policy CO-1.1.

LU-1.3 Lands designated Open Space II that contain significant environmental resources shall be planned in a manner to minimize impacts to the significant resources and to the extent feasible, provide additional undisturbed areas contiguous to Open Space I areas.

LU-1.4 Portions of a site designated Open Space II that contains significant environmental resources not necessary for the ultimate development shall be preserved in permanent open space easements.

LU-1.5 Prior to or concurrently with approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any other discretionary permit within the subject property, open space easements shall be granted to the County of San Diego over Open Space II areas, planned for preservation as described in Policies LU-1.3 and LU-1.4, and shall permit only the land uses identified in Policy CO-4.2.

LU-1.6 In Subarea V.6, prior to or concurrently with approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any other discretionary permit, open space easements shall be granted to the County of San Diego on the non-contiguous land within the Specific Plan, but under the same ownership at the time of the adoption of this Specific Plan, (APNs 265-320-03, 678-020-02 and 03 and 678-021-02 and 03), and shall permit only the land uses identified in Policy CO-1.1

**Objective LU-2** *Provide for residential development at a density consistent with the San*

*Dieguito Community Plan that is considerate of environmental constraints, and that is compatible with adjacent existing and planned communities.*

## **Policies**

LU-2.1 Residential development within the Specific Plan shall be limited to 1,200 dwelling units. The Specific Plan Map identification of six residential densities is provided only to illustrate the range of densities created by the allocation of the 1,200 dwelling units. The number of dwelling units allocated by subarea within each of the five Planning Areas overrides any discrepancy with the density designation. The density designations are:

**Rural (R):** 1 dwelling unit per 6 acres and larger

**Very Low (VL):** 1 dwelling unit per 4 - 5.9 acres

**Low (L):** 1 dwelling unit per 2 - 3.9 acres

**Low Medium (LM):** 1 dwelling unit per 1 - 1.9 acres

**Medium (M):** 1.1 - 2 dwelling units per acre

**Medium High (MH):** 2.1 - 5 dwelling units per acre

**High (H):** 5.1 - 10 dwelling units per acre

LU-2.2 The number of dwelling units shall not exceed the Specific Plan Map allocations of the 1,200 dwelling units by subareas within each of the five Planning Areas, except as provided in Policies LU-2.3, LU-2.4, and LU-2.5.

LU-2.3 Transferring of dwelling units within individual subareas or one or more contiguous subareas within the same Planning Area is permitted if all of the following criteria are complied with:

- a. The transfer of the dwelling units would assist in implementing the conservation and open space objectives of the Specific Plan or when transferring would improve land use compatibility with adjacent existing or planned development.
- b. In either case, the transfer cannot create any new or unevaluated environmental impacts, unless supplemental environmental review is conducted.
- c. The transfer may only occur through concurrent discretionary review of the SPA implementing subdivision map(s). A zone reclassification may also be required.
- d. Evidence shall be provided illustrating adequacy of the following services for the receiving site: Water, sewer/septic, fire protection, and school services.
- e. Documentation adequate to the Director of DPLU illustrating consent to the permanent transfer of the dwelling units from all owners involved in the transfer of dwelling unit allocation.
- f. An open space easement(s) shall be granted on the property the dwelling unit(s) was transferred from as appropriate to insure the permanent transfer of dwelling unit allocation.

A copy of the dwelling unit transfer documentation shall be placed in the permanent records of the Santa Fe Valley Specific Plan.

LU-2.4 The dwelling unit allocation for Subarea IV.8 may be transferred to one or more residential

subareas if all of the following criteria are complied with:

- a. The school district acquires fee title to the property.
- b. The transfer may only occur through concurrent discretionary review of the SPA implementing subdivision map(s).
- c. The total number of dwelling units within the Specific Plan Area will not exceed 1,200.
- d. Evidence shall be provided illustrating adequacy of the following public services and facilities for the receiving site: Water, sewer, fire, school services and transportation facilities.
- e. The transfer of dwelling units shall not result in any land use incompatibility.
- f. The transfer of dwelling units shall not result in any new or unevaluated environmental impacts unless supplemental environmental review is conducted.
- g. Documentation adequate to the Director of DPLU illustrating consent to the permanent transfer of the dwelling units from all owners involved in the transfer shall be provided.

A copy of the dwelling unit transfer documentation shall be placed in the permanent records for the Santa Fe Valley Specific Plan.

LU-2.5 A maximum of eighteen (18) dwelling units may be transferred from one or more of Subareas III.8, III.10, or III.12 to Subarea III.2 through the

granting of a Major Use Permit for a Planned Residential Development (PRD). The PRD should be planned and reviewed towards meeting Conservation and Open Space Element Objective CO-4 and Policies CO-4.1, CO-4.2 and CO-4.3.

LU-2.6 The residential subareas shall be zoned for residential use as specified in the Development Program of the Specific Plan (Chapter 8).

LU-2.7 An Administrative Permit or Major Use Permit may be utilized to require ongoing Homeowner Association ownership and maintenance of common owned lots within subdivisions.

LU-2.8 Implementing residential development projects shall comply with the Community Design Element (Chapter 7) as applicable to ensure land use compatibility with existing and planned land uses in the vicinity.

***Objective LU-3 Provide complementary and ancillary uses to support the permitted residential land use in the SPA.***

### **Policies**

LU-3.1 A Neighborhood Commercial site shall be provided in Subarea IV.10.

A. (Subarea IV.10) and shall be limited to a maximum floor area ratio of 0.25. The site shall be zoned with the "S88" Use Regulation. The uses permitted within the Neighborhood Commercial site area as follows:

1. Permitted Uses

- a. Civic Use Types: Child Care Center, Essential Services, Fire Protection Services, Law Enforcement Services (see Section 6905 of The Zoning Ordinance), Small Schools.
- b. Commercial Use Types: Convenience Sales and Personal Services, Eating and Drinking Establishments, Food and Beverage Retail Sales.
- c. Agricultural Use Types: Horticulture: Cultivation, Tree Crops, Row and Field Crops.

2. Permitted Uses Subject to Limitations (the number in quotes following the use type refers to the subsection of Section 2980 of The Zoning Ordinance)

- a. Commercial Use Types: Gasoline Sales "12", Retail Sales "8".

3. Uses Subject to a Minor Use Permit

- a. Civic Use Types: Minor Impact Utilities.
- b. Commercial Use Types: Automotive and Equipment: Parking, Participant Sports and Recreation: Indoor.
- c. Industrial Use Types: Custom Manufacturing (see Section 6300 of The Zoning Ordinance).
- d. Agricultural Use Types: Horticulture: Storage.

4. Uses Subject to a Major Use Permit

- a. Civic Use Types: Administrative Services, Ambulance Services, Clinic Services, Community Recreation, Cultural Exhibits and Library Services, Lodge, Fraternal and Civic Assembly, Major Impact Services and

Utilities, Parking Services, Postal Services, Religious Assembly.

- b. Site Preparation.

LU-3.2 The group care subarea (III.13) shall be zoned with the "S88" Use Regulation and may only be developed with a group care facility as defined in The Zoning Ordinance, for up to 200 rooms. The facility may only be constructed upon approval of a Major Use Permit.

LU-3.3 The sites containing the Clubhouse and Tennis Center designations (Subareas II.22 and III.2) are designated Open Space II, permitting active and passive recreational uses. The Clubhouse and Tennis Center locations are associated with the proposed golf courses proposed in the Open Space II areas and are a permitted accessory use to a golf course. The Clubhouse use is generally defined as cart storage, restaurant, bar, snack shop, small retail (pro-shop) area, meeting room, administrative offices and parking. The Clubhouse sites shall be zoned with the "S80" Use Regulation and may only be constructed pursuant to an approved Major Use Permit.

The Tennis Center is generally defined as including up to 4 tennis courts, a pro shop, limited banquet facilities, snack bar, locker room, workout room, pool, administrative and sales office, and other outdoor activity areas.

LU-3.4 The subarea containing the Equestrian Facility (Subarea III.2) is designated Open Space II, permitted to contain active and passive recreational uses. An equestrian facility is a permitted active recreational use. The equestrian facility use is

generally defined as a horse boarding facility for the residents of Planning Area III. The facility may also contain horse walking and riding rings. The facility must provide public watering facilities for users of the nearby trail. The site shall be zoned with the "S80" Use Regulation and may only be constructed pursuant to an approved Major Use Permit.

***Objective LU-4*** *Provide sites for public services and facilities to provide for the infrastructure needs of the future residents of Santa Fe Valley.*

### **Policies**

LU-4.1 A Neighborhood Park site shall be provided (Subarea IV.5) in conformance with Chapter 6, Public Facilities Element and with Chapter 7, Community Design Element. The park site shall be zoned with the "S80" Use Regulation and when constructed, shall conform to all applicable County policies and regulations.

LU-4.2 A Fire Station site shall be provided (Subarea IV.6) in conformance with Chapter 6, Public Facilities Element and with Chapter 7, Community Design Element. The fire station site shall be zoned with the "S80" Use Regulation and the "D3" Design Review Special Area Regulations designator and may only be constructed pursuant to an approved Site Plan.

LU-4.3 A site for an Elementary School shall be identified (Subarea IV.8). The identification consists of a "floating designator" as described in Section 4.2, Land Use Plan. The underlying permitted use is

residential. Either a school may be constructed, in which case the residential density is transferred pursuant to Policy LU-2.4, or the permitted residential density and use may be implemented.

LU-4.4 A site for a Sewage Treatment Plant shall be provided (Subarea IV.11) in conformance with Chapter 6, Public Facilities Element and with Chapter 7, Community Design Element. The plant site shall be zoned with the "S88" Use Regulation and may only be constructed pursuant to an approved Major Use Permit.

LU-4.5 A Water Storage site shall be provided for the required 90-day wet-weather storage requirement for the sewage treatment plant (Subarea IV.3) and shall be zoned with the "S80" Use Regulation. The site may be graded pursuant to an approved Tentative Map and utilized for reclaimed water storage pursuant to an approved Major Use Permit for the sewage treatment plant.

LU-4.6 A Pump Station site shall be provided (within Subarea II.22) for sewage pumping facilities. The pump station may only be constructed pursuant to an approved Minor Use Permit.

LU-4.7 A Staging Area shall be identified (within Subarea II.24). Funding and construction of the staging area is the responsibility of the San Dieguito River Park JPA. The staging area may only be constructed pursuant to an approved Major Use Permit consistent with the following criteria:

- a. The trail staging area is intended to provide hiker, equestrian and bicycle access to the San Dieguito River Park Coast to Crest trail and would be

developed on approximately two acres of (disturbed habitat) land just southeast of the "fruit stand" river crossing.

- b. Construction of the staging area may occur subsequent to or concurrent with the construction of the trail segment branching off northeasterly within Planning Area III along the river and including the river crossing and will require construction of traffic signals at the river crossing site entrance at Del Dios Highway.
- c. Development of the staging area may require some grading to provide proper drainage. Conceptually, the staging area would consist of rolled gravel or decomposed granite surface, approximately 15 standard parking spaces, disabled parking, and five (5) drive-through spaces for vehicles with horse trailers.
- d. Split-rail perimeter fencing or equivalent would be provided as well as landscape screening to the south. A gate at the top of the access road will be used to regulate the hours of operation.
- e. Appropriate signage would be provided to indicate trail locations and hours of operation.

LU-4.8 Any modification to the existing Water Treatment Facility (Subarea II.29) must conform to the Specific Plan Community Design Element (Chapter 7).

This Page Intentionally Left Blank

# Chapter 5

## Circulation Element

### 5.1 EXISTING CONDITIONS

The Circulation Element of County General Plan depicts transportation corridors for public access, planned to meet the needs of the existing and anticipated population of San Diego County. The San Dieguito Community Plan Circulation Element establishes detailed policies and recommendations for providing a transportation system that is balanced and designed to accommodate a diversity of circulation modes. Some of the relevant Community Plan policies and recommendations include:

- Minimize private driveway access onto both major and residential collector roads by strictly adhering to the County access policy as outlined in the Public Road Standards.
- Road alignment shall minimize the necessity of altering the landscape by following the contours of the existing, natural topography thus enhancing scenic areas.
- Establish a separate system of hiking trails, bicycle paths and equestrian trails from which motorized vehicles will be banned.
- Road alignments should avoid streambeds such as La Zanja Canyon and Lusardi Creek.

- Retain the narrow rural character of the San Dieguito roads.
- Urban-type street improvements such as gutters, curbs, and sidewalks and extensive street lighting should not be installed because they would detract from the existing, highly desired rural appearance of San Dieguito.
- Mandate that the adopted Circulation System be in balance with the adopted land use plan.

### Existing Vehicular Access

Existing transportation facilities are depicted in Figure 5-1. Regional access to Santa Fe Valley from the west is via the I-5 freeway and Del Dios Highway, and from the east via the I-15 freeway, Rancho Bernardo Road and Artesian Road.

The following summary describes the existing and planned local and Circulation Element roads that access the SPA:

*Del Dios Highway* is currently a two-lane road from Valley Parkway in Escondido south and west along the San Dieguito River Valley to Paseo Delicias in the community of Rancho Santa Fe. The Circulation Element of the General Plan shows Del Dios as a future four lane Collector road east of Calle Ambiente and a two-lane Light Collector road west of Calle Ambiente.

*Paseo Delicias* is currently a two-lane road which connects Del Dios Highway in the Rancho Santa Fe

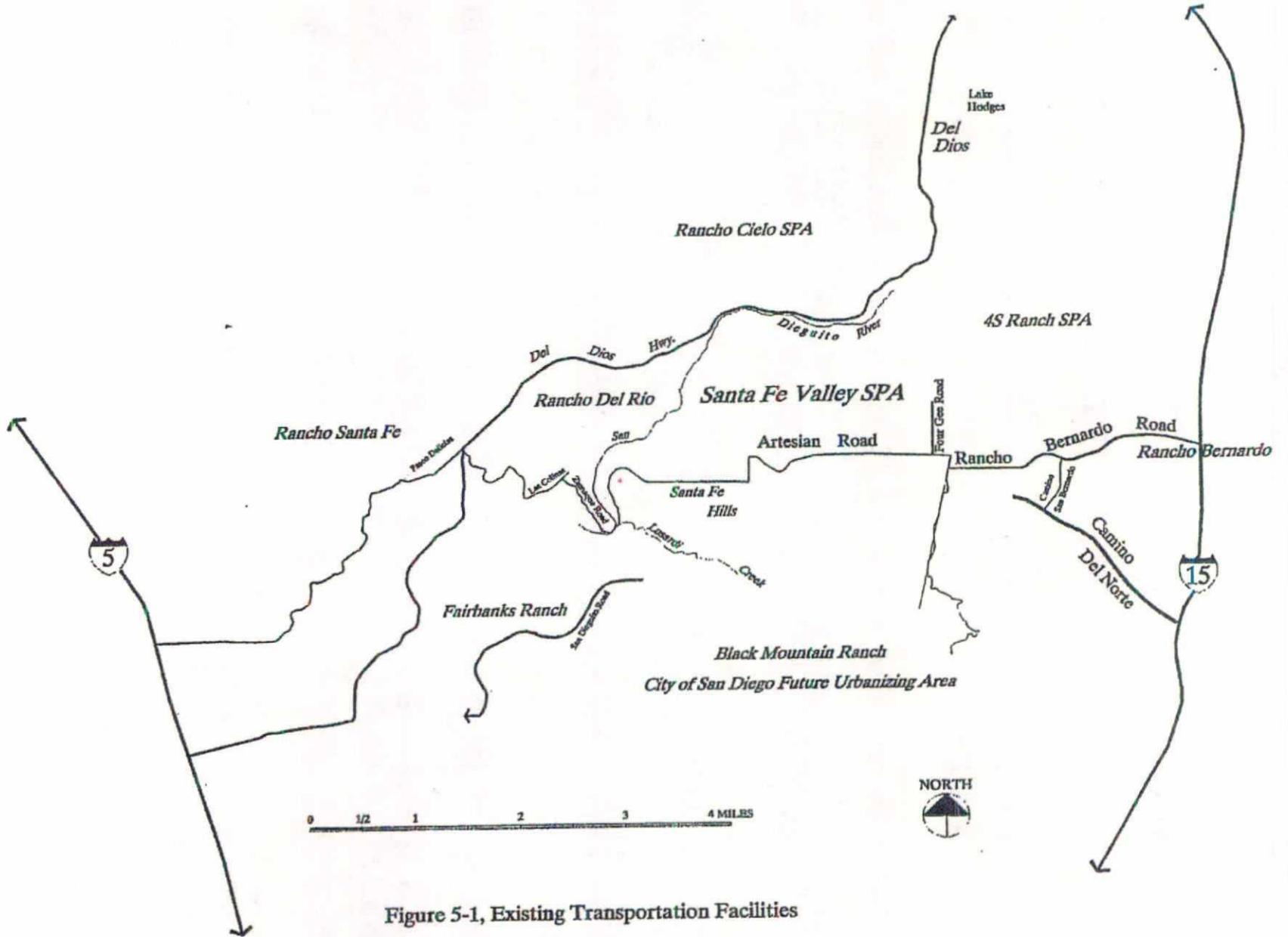


Figure 5-1, Existing Transportation Facilities

area with the I-5 freeway and the coastal cities of Del Mar, Solana Beach and Encinitas. It also has through connections with Via de la Valle, Linea Del Cielo/Santa Fe Drive and La Granada/Encinitas Boulevard. Paseo Delicias is designated as a two-lane Light Collector on the Circulation Element of the General Plan.

*Rancho Bernardo Road* is currently a four-lane road from Espola Road in Poway west to I-15 in the community of Rancho Bernardo within the City of San Diego. Rancho Bernardo Road continues west to the 4S Ranch Business Park as a four lane paved road, then to the Santa Fe Valley SPA as a paved two-lane road. Its western terminus is at the intersection of Black Mountain Road and Artesian Road.

*Artesian Road* is currently a two-lane decomposed granite road from Black Mountain Road along the southern boundary of the SPA. The General Plan Circulation Element shows Camino Del Norte in its place.

*Camino Del Norte* is a six-lane Major Arterial west of the I-15 freeway in Rancho Bernardo. Its current terminus is at Camino San Bernardo in the 4S Ranch Business Park. Camino Del Norte will be extended through the 4S Ranch property to serve the City's Future Urbanizing Area and the Santa Fe Valley SPA. It is classified as a six-lane Major Arterial through 4S Ranch and as a four-lane Major Arterial within the adjacent Future Urbanizing Area on the General Plan Circulation Element.

*Interstate 5 (I-5)* is an eight-lane north-south freeway extending from the United States/Mexico International Border at San Ysidro, north through coastal San Diego County. It serves as the regional connection for the SPA and the coastal communities.

*Interstate 15 (I-15)* is an eight-lane north-south freeway extending from its junction with I-5 in the south through inland San Diego County. I-15 is the regional link with the south and eastern areas of the County.

### **Non-Vehicular Access**

The San Dieguito Community Plan Recreation Element also establishes policies and recommendations regarding riding and hiking trails. Some of the relevant Community Plan policies and recommendations include:

- Trail corridors indicate where, within an approximate ½ mile swath, the ultimate alignment may be established.
- Align trails to link with trails systems established for adjacent jurisdictions.
- Trail alignments should emphasize public lands, dedicated open space, or floodplains.
- Required trail dedications shall reasonably respect the rights of private property owners and the need for privacy.
- Maintain land adjacent to the trails in its natural state.

- Public parks should have staging areas that would include the following:
  - a. Adequate Parking;
  - b. Campgrounds;
  - c. Stock handling facilities;
  - d. Located near Circulation Element Roads;
  - e. Drinking water;
  - f. Horse tie rails;
  - g. Sanitary Facilities; and
  - h. A central location with respect to trails network
  
- Develop trails that may be safely used by hikers and riders of all ages and skills.
  
- Prohibit the use of motorized vehicles on riding and hiking trails.

Furthermore, the Circulation Element of County's General Plan requires dedication of bicycle lanes as shown on the Countywide Bicycle Network Map.

There are a number of existing and planned trails in the vicinity of the SPA. The existing trails include riding and hiking trails in Rancho Santa Fe, Fairbanks Ranch, Santa Fe Hills, and Rancho Bernardo communities. A number of trails are also planned in the City of San Diego's Black Mountain Ranch project as well as the Rancho Cielo and 4S Ranch SPAs. The San Dieguito River Park Concept Plan also designates the Coast to Crest Trail through the Santa Fe Valley area.

### **Existing Transit Service**

The North County Transit System operates the present bus service on Del Dios Highway. Bus Route No. 308 runs along Del Dios Highway and Villa de la Valle between the Escondido and Solana Beach transit centers. Santa Fe Valley SPA's access to the bus service is the existing bus stop at the "Fruit Stand", which is located at the existing "Dip Section" crossing of San Dieguito River on Del Dios Highway.

### **Existing Traffic Conditions**

As described in the *Existing Conditions Report*, limited roadway capacity is currently available to accommodate additional development in the SPA. The I-5 and I-15 freeways constitute the only continuous north-south travel corridors in the area, and both are congested. Also, there is limited east-west arterial road capacity available. It is essential to phase the development of Santa Fe Valley with the consideration of these existing transportation conditions.

### **Road Improvement Standards**

The County of San Diego establishes improvement standards for public and private roadways and planned residential developments that include right-of-way width, local access, intersection spacing and alignment, driveway width, and locations. The Department of Public Works administers and implements these standards.

## 5.2 CIRCULATION PLAN

The Circulation Element of the County's General Plan and the San Dieguito Community Plan's goals and objectives establish the regional and subregional transportation policies for the San Dieguito Community Plan Area. The Santa Fe Valley Circulation Element has also been developed in conjunction with the other elements of the Specific Plan and other relevant factors. The primary factors determining the size and location of transportation facilities within the SPA are the:

- General Plan Circulation Element
- San Dieguito Community Plan
- San Dieguito River Park Concept Plan
- County Public and Private Road Standards
- Specific Plan's Land Use Element
- Existing and planned transportation facilities
- Location of environmental and cultural resources
- Topography and other natural features
- Noise and visibility
- Land Ownership

The intent of the Santa Fe Valley Specific Plan's Circulation Element is to implement a safe and convenient circulation system based on the land use plan, consistent with the Circulation Element of the General Plan and the San Dieguito Community Plan.

The Specific Plan's Community Design Element establishes the public right-of-way and private roadway standards. The Community Design Element standards supersede the County's public and private

road standards where a conflict with the County's public and private road standards exists.

The Specific Plan's Circulation Element requires development of a multi-modal transportation system capable of supporting the anticipated growth in the SPA and adjoining existing and planned communities. The transportation system will consist of a hierarchy of public and private roads; bicycle, pedestrian and equestrian trails; and access to transit to serve local and subregional transportation needs.

### Vehicular Circulation

The Santa Fe Valley Specific Plan Circulation Element designates classifications of the circulation system (Figure 5-2, Circulation Plan). The following roads are the existing and proposed access roads within and/or adjacent to the Santa Fe Valley SPA as shown on Figure 5-2.

#### *City of San Diego Circulation Element*

##### *Major Arterial:*

*Four lanes divided*

Camino Del Norte

##### *Circulation Element Collector Road:*

*Four lanes undivided*

Del Dios Highway (east of Calle Ambiente)

##### *Circulation Element Light Collector Road:*

*Two lanes undivided*

Del Dios Highway (west of Calle Ambiente)

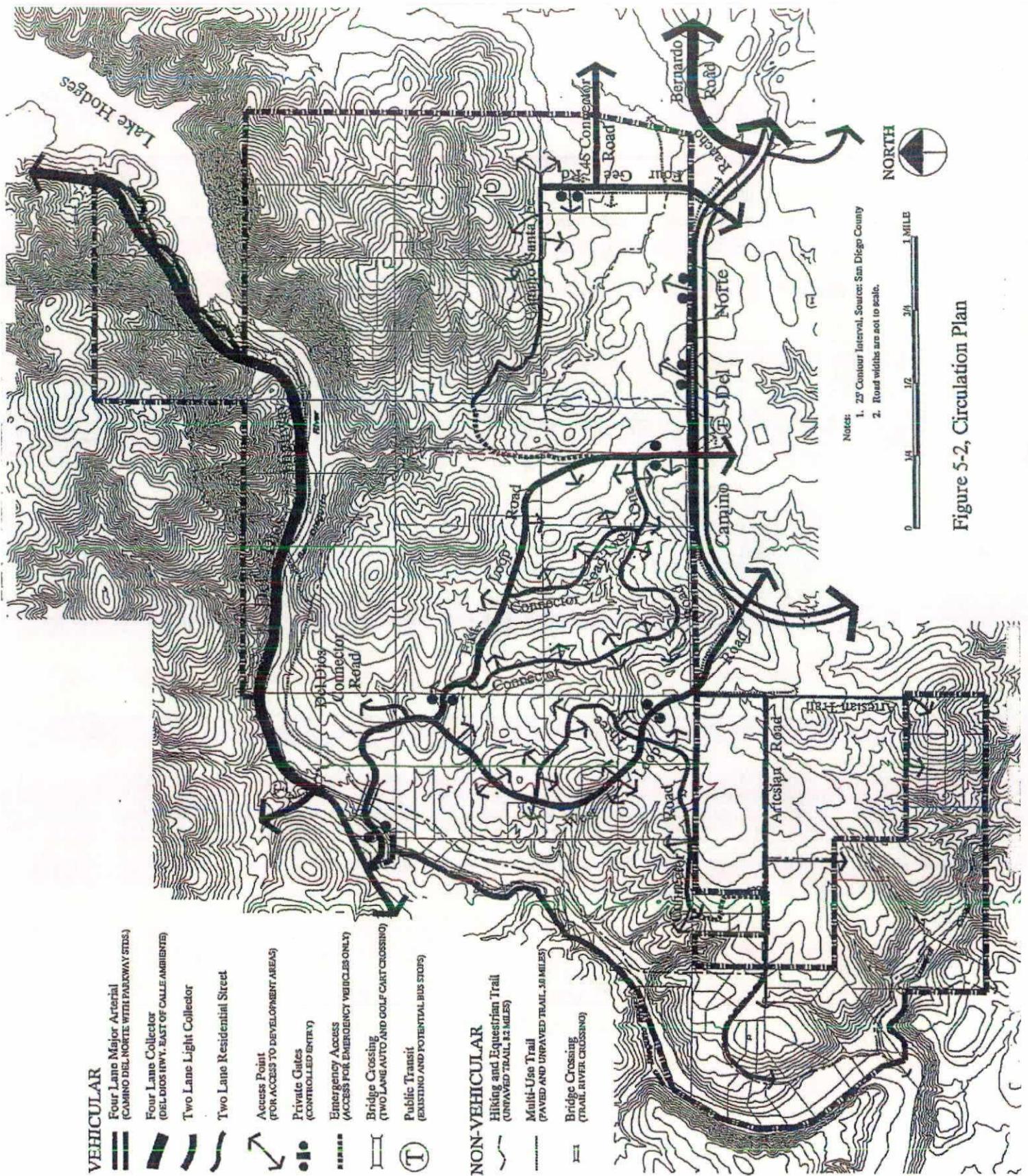


Figure 5-2, Circulation Plan

### *Non-Circulation Element* **Public Roads:**

*Two lanes undivided*

Four Gee Road  
4S Ranch Connector Road  
Artesian Road  
West Loop Road (off-site)

### *Non-Circulation Element* **Private Roads:**

*Two lanes undivided*

Del Dios Connector Road  
West Loop Road  
East Loop Road  
Connector Road One  
Connector Road Two  
Connector Road Three  
Artesian Trail Road  
Camino Santa Fe

The above private roads internal to the SPA and inside the controlled access gates are required to be common owned street lots maintained by homeowners associations(s).

### *Emergency Access*

The westerly extension of Camino Santa Fe and the southern extension of Connector Road Three are designated as emergency access roads on the Circulation Plan. When properties develop that include a portion of the emergency access roads, improvement of the emergency access road will be required as necessary to maintain accessibility. Designation as an emergency access road does not preclude private road access where it already exists.

## **Road Improvement Requirements**

All of the above roads are required to be constructed and improved in conformance with the County's Public and Private Road Standards, the San Dieguito Community Plan, and the Rancho Santa Fe Fire Protection District as applicable. However, where common owned street lots are required and/or proposed, the planned residential development road standards apply. All roads must also conform to the Community Design Element, Chapter 7, of the Specific Plan.

## **Non-Vehicular Circulation**

The trail network as shown on the Circulation Plan, Figure 5-2, indicates trail type and the location of trail "corridors" within the SPA. The trail corridors indicate where, within an approximate 100-foot swath, the ultimate trail alignment must be established, typically as part of implementing projects. Generally, the hiking and equestrian trails are unpaved, narrower, and have steeper slopes than the multi-use trails. The multi-use trails are generally described as half paved for bicycle use, half unpaved for hiking and equestrian use. However, paving of multi-use trails is voluntary within the multi-use trail tread and easement width.

The trail segment from the southeast part of the SPA along Lusardi Creek and north along the San Dieguito River to Lake Hodges constitutes a segment of the San Dieguito River Park Concept Plan's "Coast to Crest" trail. Specific trail alignments for the Coast to Crest Trail must be developed in cooperation between the landowner, the River Park JPA staff, and

resource agency(s) in order to minimize impacts to sensitive habitats. The Coast to Crest trail will not be implemented on privately owned land without the property owner's consent; however, if the property owner seeks a discretionary permit (such as a major subdivision) to develop his/her property, the County may require the trail if also shown on the San Dieguito Community Plan Trails Map and/or Regional Trails Map.

The Coast to Crest trail segment also includes a Staging Area and a proposed trail Bridge Crossing

over the San Dieguito River. The construction of these facilities will require project specific environmental review and is the responsibility of the River Park JPA.

The non-Coast to Crest trail segments constitute the remainder of the non-vehicular Circulation Plan for the SPA. Due to the richness of the vegetation and wildlife in the area, the trail segment in Planning Area IV easterly from the boundary of Planning Area III to Four Gee Road is designated as an interpretive trail.

**Table 5-1: Trail Standards**

Trail Type	Tread Width		Easement Width		Construction Standards	
	Max.	Min.	Max.	Min.	Maximum	Minimum
Paved Trails						
Multi-use Trails (may include both paved and unpaved trails)	16'	8'	20'	12'	Use of soil cement or other non-pollutant hard surface in sensitive watershed	Graded, 2" A.C. with 1/2" aggregate with approved base material
Bicycle Trails	8'	2'	10'	5'	Same as above	same as above
Unpaved Trails						
Hiking Trails	5'	N/A	9'	N/A	Grade, 4" decomposed granite per County Standards.	Brush and clear tread to conform with terrain
Hiking and Equestrian Trails	8'	N/A	12'	N/A	Same as above	Same as above

Notes:

1. Tread Gradient is 10% maximum unless otherwise specified
2. Fencing shall be required in situations of incompatible trail use, for protection of sensitive habitat and safety hazards. Slopes with a slope gradient of 1.5 to 1.0 or greater shall be fenced on the downhill side.
3. Where paved and unpaved trails are parallel and adjacent, they shall be within a single 20' easement.
4. Trail uses may be limited based on local conditions.
5. Trail improvements shall be constructed in compliance with applicable provisions of the American Disabilities Act
6. Paving of multi-use trail is voluntary within the multi-use trail tread and easement width.

The multi-use trails provide bicycle access to the development areas in the Specific Plan. The use of bikes can help to reduce the number of automobile miles traveled, thereby reducing congestion as well as air quality and noise impacts. Pedestrian/bicycle travel to the Neighborhood Commercial and schools is encouraged by the east-west trails provided in these areas. Two types of bicycle routes (per the General Plan Circulation Element) are provided: Class I (a bike path in its own guideway separated from roads); and Class II (striped and signed bike path shared with road right-of-way). The Class I bike trails may also be combined with either or both pedestrian and equestrian trails, as they are in the multi-use trails in the SPA.

The Santa Fe Valley Community character is oriented toward a rural residential lifestyle that may include horse ownership and various equestrian activities. The Coast to Crest trail segment together with the remaining Circulation Plan trails, constitute an equestrian trail system to serve the San Dieguito Planning Area and the San Dieguito River Park as well as the future residents of the SPA. In all cases, the equestrian trails are combined with the hiking trails.

As provided for in the General Plan Recreation Element, implementing major subdivisions (five or more lots) will be required to dedicate the trails shown on the Circulation Plan that are also shown on the San Dieguito Community Plan Trails Map. Any additional dedication of trails is voluntary. However, if the trail dedication policy and community plan or regional trail maps are amended by the Board of Supervisors, such amendment will also apply to the

Santa Fe Valley Specific Plan. When dedicated and accepted, these trails must also be improved by the subdivider. Trail improvement standards are shown in Table 5-1, Trail Standards. Trail design is also addressed in Chapter 7, the Community Design Element and County of San Diego Trail Design and Construction Guidelines. Trail construction must conform to Table 5-1 and as applicable to Chapter 7.

The Circulation Plan does not include additional pedestrian circulation routes via sidewalks, which must be provided on certain roads, nor additional pedestrian trails, which may be provided within development areas.

### **5.3 CIRCULATION GOAL, OBJECTIVES AND POLICIES**

#### **Goal**

*Develop a comprehensive transportation system providing safe and efficient movement of people and goods within Santa Fe Valley, the San Dieguito Community Plan Area, and the regional circulation network, while protecting sensitive environmental resources and community character.*

***Objective CE-1: Integrate road development in Santa Fe Valley with the existing and planned land uses and regional roadway network.***

#### **Policies**

CE-1.1 The private roads internal to the SPA and inside the controlled access gates shall be common owned street lots and shall be maintained by a

Homeowners Association. The controlled access gates shall be maintained by either the Homeowners Association or other entity that will assure continued operation and maintenance.

CE-1.2 Roads shall be designed, offered for dedication and constructed in conformance with the Circulation Element of the County's General Plan, the County's adopted standards for public and private roads or the standards for Planned Residential Developments for common owned street lots, the San Dieguito Community Plan, Santa Fe Valley Circulation Plan, and the Community Design Guidelines. Exceptions to the standards are subject to the review and approval of the Director of Department of Public Works (DPW).

CE-1.3 Direct residential driveway access is prohibited on public roads. Direct driveway access is permitted on private roads.

CE-1.4 Discretionary project applications shall be referred to the Rancho Santa Fe Fire Protection District for their review and comment for conformance to emergency vehicle access requirements.

CE-1.5 Access to the SPA development areas on Camino Del Norte should be coordinated with planned access to the City of San Diego's Future Urbanizing Area.

CE-1.6 Road construction(s) shall be consistent with the Specific Plan phasing plan contained in the Development Program, Chapter 8, of the Specific Plan, and to the satisfaction of the Director of DPW.

CE-1.7 Project applicants for any development project in Planning Areas II or III that will have access to Del Dios Highway and/or Camino Del Norte shall be required to install privately owned and maintained gates on the appropriate access road(s) as shown on the Circulation Plan in order to restrict access to/from Del Dios Highway as a condition of approval of the development discretionary permit(s).

CE-1.8 Privately owned and maintained controlled access gates may be placed across private and/or common owned roads upon assurance of continued maintenance through the approval of an Administrative Permit or Major Use Permit at the Neighborhood Entry locations shown on Figure 7-2 in the Community Design Element (Chapter 7) or as may be proposed.

CE-1.9 At the time of completion of any road which creates a connection from Camino Del Norte through Planning Areas II or III to Del Dios Highway, the private road entry gates shall be operational and at least one of the three gates shall be attended by a 24 hour operator with the necessary equipment to control access at the other two gates for the purpose of preventing public access through Planning Areas II and III.

CE-1.10 Tentative Map conditional approval shall require that prior to issuance of grading permits and approval of improvement plans, project applicants shall submit, and have approved, a construction traffic management plan to the satisfaction of the Director of Public Works. The traffic management plan shall address the impacts of truck traffic during grading and subsequent construction on the site.

Construction traffic shall not be allowed on Artesian Road.

***Objective CE-2: Provide for emergency access to all areas of Santa Fe Valley consistent with the standards of the Rancho Santa Fe Fire Protection District.***

### **Policies**

CE-2.1 Discretionary project applications shall be referred to the Rancho Santa Fe Fire Protection District for their review and comment for conformance to emergency access requirements, including secondary means of egress.

CE-2.2 Provision for emergency access, including secondary means of egress, shall be required consistent with the Circulation Plan of the Specific Plan and as a condition of discretionary permits to the satisfaction of the Director of DPW.

CE-2.3 Designation as an emergency access road does not preclude property owners' private road access rights when such access already exists.

CE-2.4 Any gates constructed across emergency access roads shall not preclude safe emergency ingress and egress for fire protection agencies and/or property owners/occupants during an emergency.

***Objective CE-3: Provide convenient access to a regional public transit system to serve planned development in Santa Fe Valley.***

### **Policy**

CE-3.1 Identify appropriate locations for transit stops on the Specific Plan for future implementation by the appropriate transit authority(s).

***Objective CE-4: Provide for adequate and convenient non-vehicular circulation within the SPA that is sensitive to environmental resources.***

### **Policies**

CE-4.1 Hiking and equestrian trails shown on the Circulation Plan of the Specific Plan that are in conformance with trails shown on the San Dieguito Community Plan and/or Regional Trails Map shall be required to be offered for dedication and if accepted, improved as a condition of approval of the implementing major subdivision map(s). These trails are: The hiking and equestrian trails within Planning Area I; except the segment beginning at the north boundary of Subarea I.2, southwesterly until it intersects with the trail running north-south at Lusardi Creek; the hiking and equestrian and multi-use trails within Planning Area II; the north-south trail within Planning Area III except the multi-use trail segment branching off northeasterly along the river and including the river crossing, and the hiking and equestrian trail segment in Planning Area IV easterly from the boundary of Planning Area III to the SDG&E easement and then southerly to the SPA boundary.

CE-4.2 Notwithstanding Policy CE-4.1, the multi-use trail segment branching off north easterly within Planning Area III along the San Dieguito River and

including the river crossing, is not required to be offered for dedication and constructed by the subdivider. Siting the trail alignment and construction of this trail segment is the responsibility of the San Dieguito River Park JPA.

CE-4.3 Notwithstanding Policy CE-4.1, and the trail improvement standards of Policy CE-4.7 (Table 5-1), the paved bicycle use portion of any multi-use trails shown on the Circulation Plan of the Specific Plan that are also shown on the Bicycle Network Map of the Circulation Element of the General Plan shall be required to be offered for dedication and improved to the satisfaction of the Director of Public Works as a condition of approval of the implementing subdivision map(s).

CE-4.4 Trails not required to be offered for dedication pursuant to Policies CE-4.1 and CE-4.3 may be voluntarily offered for dedication. If accepted for dedication, the trail must also be improved by an entity acceptable to DPW. Trail construction will not be required when Irrevocable Offers of Dedications are recorded.

CE-4.5 When any trails are to be offered for dedication, voluntarily or not, trail alignments shall be located on existing paths, trails, roads, utility easements, and other disturbed habitat areas to the extent feasible to avoid and/or minimize environmental impacts.

CE-4.6 Once a trail alignment has been established pursuant to Policy CE-4.1-4.5, portions of other existing trails in the proximity of the established trail alignment shall be abandoned and/or revegetated to

discourage use of existing trails to the satisfaction of the Director of DPLU and thus reduce potential impacts on sensitive environmental resources through continued use of the abandoned trails and/or to mitigate for impacts that occur as a result of the established trail alignment.

CE-4.7 When any trails are to be dedicated, voluntarily or not, trail design shall be in conformance with Table 5-1, Trail Standards.

CE-4.8 Notwithstanding the trail improvement standards of Policy CE-4.7 (Table 5-1), multi-use trails shown on the Circulation Plan of the Specific Plan that are shown adjacent to public or private roads may be required to be constructed as a fully paved sidewalk or as a half paved, half unpaved trail. The sidewalk and/or trail may meander but should generally run parallel to the road.

CE-4.9 All dedicated public trails shall be maintained through a funding mechanism that is established by the Santa Fe Valley property owners. Prior to the acceptance of new trail easements into the County maintained system, there shall be established a local agency (such as a County Service Area, other special district, homeowners association, or other private organization) that is willing and able to accept responsibility for long-term financing of the maintenance and operation of new community or subregional trails. All private trails shall be maintained by the property owners through private funding mechanisms, such as a homeowners association.

CE-4.10 Trail use in Open Space I or other permanent open space areas shall be compatible with breeding season sensitivities for Gnatcatchers and other sensitive species.

CE-4.11 The trail segment in Planning Area IV easterly from the boundary of Planning Area III to Four Gee Road is designated a native vegetation and wildlife species interpretive trail.

This Page Intentionally Left Blank

# Chapter 6

## Public Facilities Element

### 6.1 EXISTING CONDITIONS

#### Educational Facilities

The Santa Fe Valley Specific Plan Area lies within the jurisdiction of six school districts that offer a variety of educational facilities. The school district boundaries divide the existing and projected student population in the area. This results in insufficient demand within Santa Fe Valley within any one district to support the construction of new schools in the SPA. Initial attempts to realign the school district boundaries as part of the Specific Plan process in order to reduce school district fragmentation in Santa Fe Valley were not successful. As shown on Figure 6-1, these existing districts are:

#### *Elementary School Districts*

- Solana Beach (K-6)
- Rancho Santa Fe (K-8)
- Escondido Union (K-8)

#### *Secondary School Districts*

- San Dieguito (7-12)
- Escondido Union (9-12)

#### *Unified School Districts:*

- Poway (K-12)

#### *Capacity of Existing Facilities*

Many of these facilities are at or near capacity (see Appendix B for school service availability letters). Any increase in enrollment in these facilities will require either expansion of existing facilities or construction of new facilities. County of San Diego Ordinance No. 7966, adopted on September 11, 1991, addresses the mitigation of the impact of legislative action on school facilities. This ordinance requires the Santa Fe Valley Specific Plan to ensure that adequate educational facilities are available concurrent with need. The San Dieguito Community Plan map indicates by the floating "S" (school) designator that two elementary school sites within the SPA may be appropriate.

The Board of Education of these school districts requires full mitigation of impacts on the existing and proposed facilities. The predominant school district in the SPA, Poway School District requires all developer/owners of new development to provide full mitigation for the impact of their new developments pursuant to Board of Education Policy 6.31 "School Facility Assessments and Fees on New Development", Policy 6.32, "Acquisition of Sites", and Policy 6.33, "School Size".

#### **Recreational Facilities**

Standards for local parks and recreation facilities to serve the future residents of Santa Fe Valley are set forth in the *General Plan Recreation Element, the San Dieguito Community Plan*, and the Park Lands Dedication Ordinance (PLDO). Local recreation facilities emphasize active recreation on improved park

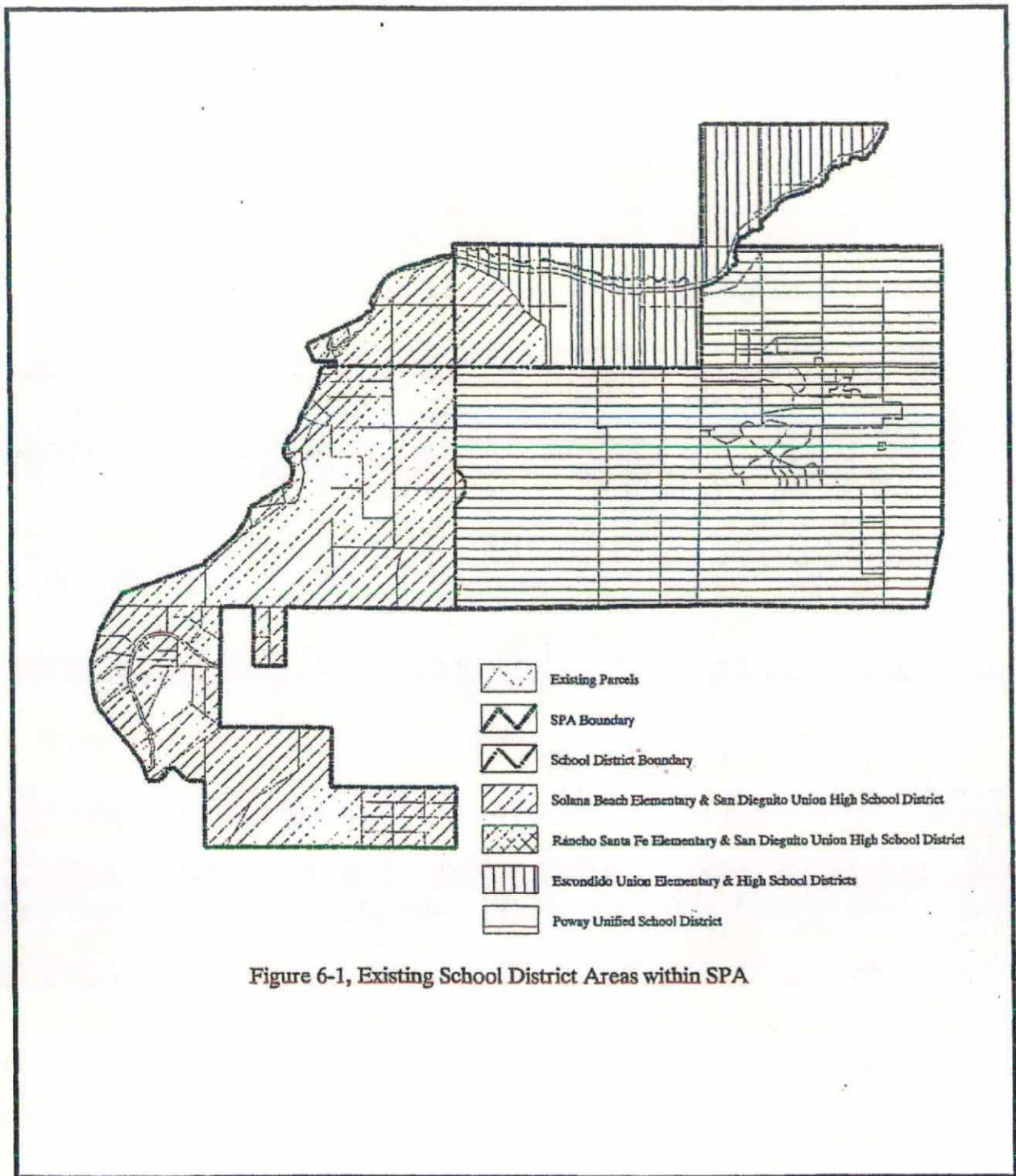


Figure 6-1, Existing School District Areas within SPA



**Existing School District  
Areas Within SPA  
Figure 6-1**

land, as opposed to passive recreation in the natural landscape as would be offered by the San Dieguito River Park in Santa Fe Valley.

### *General Plan Recreation Element*

One of the most important factors in determining the ability of parks to accommodate Santa Fe Valley's recreational demands is the amount, type, and location of parks and other recreational facilities in the area.

The Recreation Element includes physical and locational standards for parks including acreage per 1,000 population, effective service radii in time and distance, and population within the service area. The Recreation Element standards include providing thirty acres per 1,000 population, one-half of which may be devoted to regional parkland. All types of public and private usable open space count towards this requirement. The Recreation Element defines local parks as those providing for recreational uses in proximity to the homes of County residents, in contrast to regional facilities which serve the entire County. The service radius standards for neighborhood and community parks are one-quarter mile and three miles, respectively.

### *San Dieguito Community Plan*

The recreation goal of *the San Dieguito Community Plan* promotes the establishment of a system of recreational facilities and services for all residents of San Dieguito Community Plan area. The Community Plan recommends a minimum of 15 acres of local recreational area for each 1,000 population in the entire community to be distributed into the following park facilities:

- 1/3 devoted to neighborhood parks;
- 1/3 for community parks;
- The remainder for other facilities serving the community, such as trails or nature preserves.

The Community Plan further recommends the siting of local parks in conjunction with elementary schools to encourage joint use of facilities. Additionally, the Community Plan recommends the provision of a network of horseback riding and hiking trails. The Community Plan also clearly states that the San Dieguito River Park is the priority park in the Santa Fe Valley SPA.

### *Park Lands Dedication Ordinance (PLDO)*

The PLDO provides policies and standards for the provision of parklands in compliance with the State's Quimby Act. This ordinance sets forth park dedication and in-lieu fee requirements. The PLDO is intended to provide land for local active parks only. No operational or maintenance funding requirements are covered by the PLDO. The PLDO divides the County into Local Park Planning Areas (LPPAs) to facilitate park planning by communities.

The PLDO allows the option of dedicating parkland, or paying in-lieu fees (which the County would use to acquire and/or improve park land), or some combination thereof. Dedicated parkland must be usable for active recreational uses. It must be level or gently sloping land (maximum slope of ten percent), designed for facilities such as sports fields, court games, swimming pools, children's play areas, picnic areas, etc. Active recreational areas do not include natural open space, buffer areas, steep slopes, golf courses, riding and hiking trails, or water bodies.

Homeowner provided and maintained facilities such as swimming pools and meeting rooms may receive up to fifty percent credit on the in-lieu fee requirements. Such facilities count towards the credit only when they are used exclusively for the use of residents living in the development. Granting of credit is subject to approval of the Director of the Department of Parks and Recreation. In the San Dieguito LPPA, the nearest local park facility to Santa Fe Valley is approximately three miles west. The in-lieu fees are \$1,000 per dwelling unit.

### *County Park Maintenance*

Parks in the County must be maintained either by a homeowners association, private group, or through a County Service Area (CSA). A CSA was established for local park maintenance within the San Dieguito Community Plan area in 1976. Funds in that CSA are currently used only to maintain one park - the lower section of San Dieguito Park. (While that park is technically a regional park, the lower section contains local recreation facilities.) However, if other local parks are developed within the CSA, then CSA funds could be used to maintain the new park(s).

There are opportunities to share the costs of park maintenance when a local park is used in conjunction with a school. The County and the school district can establish a joint powers agreement to share maintenance costs of a local park that is built in conjunction with a school facility.

## **Fire Protection Facilities**

### *Existing Facilities*

By prior agreement between 4S Ranch and the RSFFPD, 4S Ranch must provide a site and construct a permanent fire station to replace the existing temporary 4S Ranch fire station prior to any development in the 2,903-acre 4S Ranch SPA.

There are generally two types of fire hazards that can be expected in Santa Fe Valley: wildland and structural fires.

### *Wildland Fires*

Santa Fe Valley's climate, with its long, hot, dry summers and seasonal Santa Ana winds, combined with flammable vegetation and steep topography, produce severe wildfire conditions annually. In the past, wildland fires in Santa Fe Valley have burned undeveloped lands; however, once developed, many of the conditions associated with wildfires (climate, flammable vegetation, steep slopes) will remain. Wildland brushfire protection is provided by the California Department of Forestry (CDF), and the Rancho Santa Fe Fire Protection District (RSFFPD). The RSFFPD also has a mutual aid agreement with the City of San Diego Fire Department.

Complying with fire protection requirements may conflict with the protection of visual resources associated with the San Dieguito River Park (discussed previously). Additionally, brush management issues are further complicated by the *Endangered Species Act* requirement to protect and conserve the habitat of endangered species, namely the California Gnatcatcher.

### *Structural Fires*

Structural fires also pose a threat to human life and property. The RSFFPD's policy with respect to new development includes a three zone 100-foot fuel management area around new structures. Typically, a minimum 20-30 foot area is required in Zone 1 which consists of irrigated plant material, typically ornamental species. Zone 2 extends 20-30 feet from structures in each direction. This zone can be implemented by the selective thinning and pruning of native plants, or by the introduction of low growing fire retarding shrubs and ground covers. Zone 3, which is the first line of defense for fire safety, involves the elective thinning and pruning of a minimum of 50 feet of the native vegetation. Actual requirements may vary based on the type and location of the proposed development for a total of 100 feet of clearing and thinning.

The RSFFPD provides structural fire protection in Santa Fe Valley (see Appendix B for fire service availability letter). Fire Station 2, the temporary fire protection facility located within the 4S Ranch SPA, provides the first response to Santa Fe Valley. The District maintains a response time standard of six minutes. The RSFFPD requires 2,500 gallons per minute fire flow at the fire hydrants in new development in addition to minimum standards for road design and improvements.

### *Emergency Medical Services*

Emergency medical services are provided through CSA No. 17 (San Dieguito). The nearest emergency medical ambulance is located at the Solana Beach or Encinitas fire stations. Emergency medical first response is provided by RSFFPD personnel trained in emergency medical procedures.

### **Law Enforcement**

The County Sheriff's Department provides law enforcement services to the unincorporated areas of the County including the Santa Fe Valley (Beat 419).

The Sheriff's Department provides service to Santa Fe Valley from the Poway substation, approximately three and one-half miles southeast from the SPA.

The County's *General Plan Public Facility Element* notes that the Sheriff's Department has a goal of providing facilities to support a service level of four patrol shifts per day per 10,000 population. The response time objective in urbanized areas for a priority call is eight minutes or less. These are calls involving life-threatening situations or felonies in progress. For all other calls the target is sixteen minutes or less.

Response time objectives for priority or non-priority calls are not currently being met. Average response times serving the Santa Fe Valley in 1992 were 22.7 minutes for priority calls and 25.7 minutes for non-priority calls. According to the Sheriff's office, the desirable law enforcement service level, for unincorporated areas as a whole, has been determined to be a 24-hour service package consisting of seven patrol deputies, two detectives, one supervisor and one clerical support staff for each 10,000 residents. For each population increase of 1,000, approximately one sworn officer would be required to maintain adequate service levels. As an interim step, the Sheriff's Department is trying to achieve a service level of three patrol shifts per 10,000 population.

## Water Facilities

Potable water service is provided to the SPA by the Olivenhain Municipal Water District (OMWD) (see Appendix B for potable water service availability letter). In addition to the OMWD water distribution facilities described below, the San Diego County Water Authority (SDCWA) operates several pipelines within the SPA. The Second San Diego Aqueduct, which consists of a treated water and a raw water pipeline, crosses the SPA (see Figure 6-2, Public Facilities Existing Conditions).

The pipelines within the Second Aqueduct right-of-way have been designated as Pipeline Nos. 3 and 4. Additionally, Pipeline No. 5 has been approved for construction along, and primarily within, this right-of-way beginning in 1995. OMWD's Connection No. 2, which supplies water by gravity to the southwest, is located off Pipeline No. 3. An additional temporary connection to the raw water aqueduct (Pipeline No. 4) currently provides untreated water to customers south of the Santa Fe Valley area intended for conversion to a reclaimed water line in the future. This connection is temporary and plans to extend the raw water pipeline to a permanent point of connection are in process.

The SDCWA has recently completed the "Ramona Pipeline" that extends from the Second San Diego Aqueduct, through Rancho Bernardo, to the City of Poway and community of Ramona. This 57-inch pipeline is located adjacent to Artesian Road through the Santa Fe Valley SPA. OMWD has a ten million gallon water storage reservoir in 4S Ranch, which is served from a temporary connection to the Ramona Pipeline.

The SDCWA is in the planning stages of an Emergency Storage Project (ESP), which may affect Santa Fe Valley. Four storage alternatives were under consideration in 1995. Several of these alternatives would connect Lake Hodges to the Authority's existing Second Aqueduct. One alignment is planned to traverse Santa Fe Valley. The purpose of Authority's ESP is to provide additional emergency water storage within San Diego County in case of a long term interruption of the imported water supply due to earthquake or some other event.

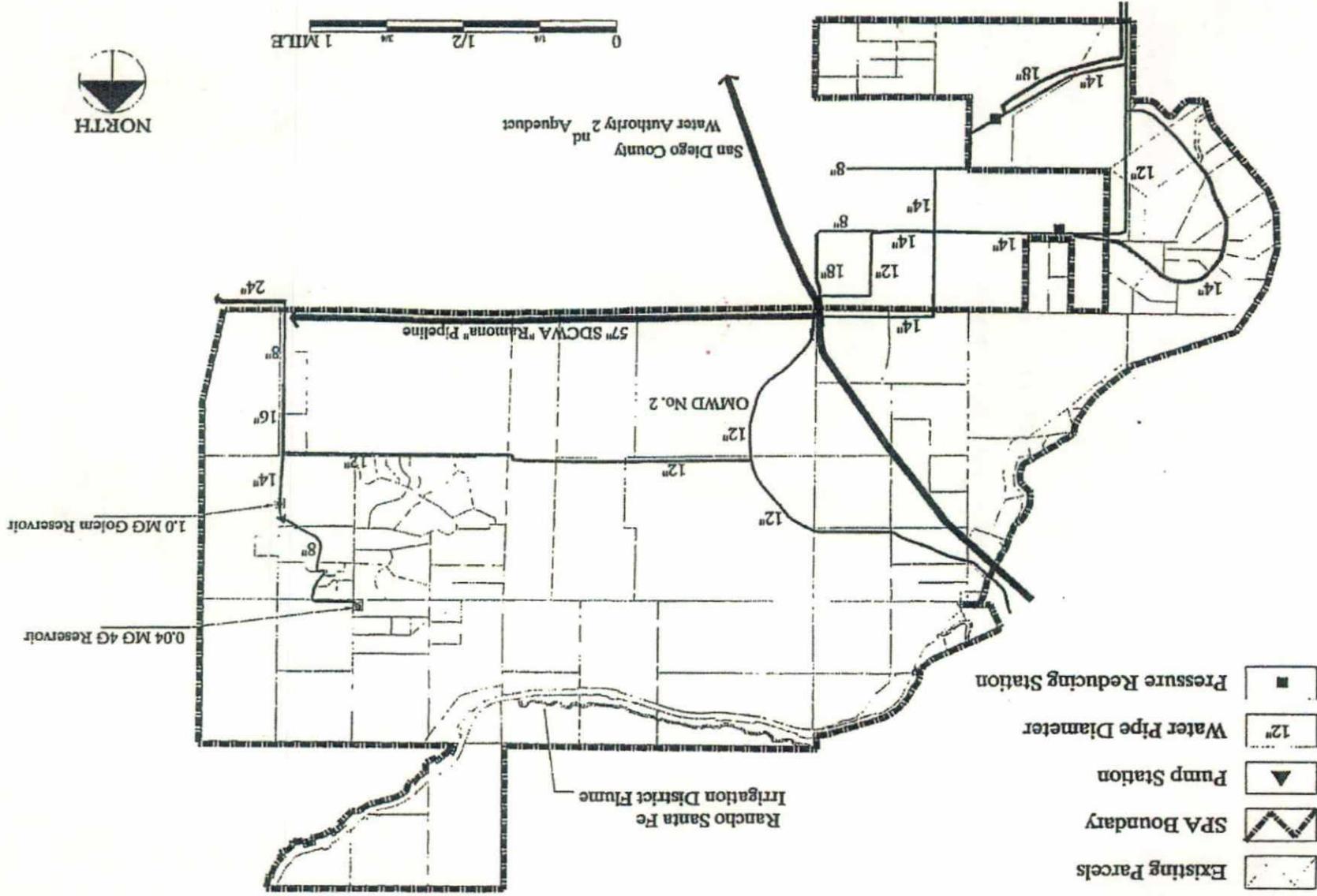
The existing Santa Fe Valley water system is characterized by a 12-inch transmission main originating from the north (Del Dios Highway) and from the south at the Second San Diego Aqueduct, OMWD Connection No. 2. A 12-inch main also serves the eastern portion of the SPA. Along the eastern boundary is an existing one million gallon water storage reservoir (Golem Reservoir). A small booster pump station is located at the Golem Reservoir to serve a small area of higher ground to the north.

The pump station supplies a 40,000-gallon reservoir (4G Reservoir) near the top of the mountain (see Figure 6-2). Water is supplied through an eight-inch pipeline. The southwesterly portion of Santa Fe Valley is served by gravity, via parallel water mains, from the OMWD Connection No. 2. The water distribution system has reduced pressure near the Lusardi Creek area.

## Reclaimed Water Facilities

Currently, there is no reclaimed water service in Santa Fe Valley and none is specifically required by the uses permitted in the Specific Plan. However,

Figure 6-2, Public Facilities Existing Conditions



because two of the SPA implementing projects are for golf courses, reclaimed water service may be needed for the irrigation of these golf courses. Therefore, reclaimed water must be included as a required service for the Santa Fe Valley SPA.

OMWD intends to be the purveyor of reclaimed water to this area. However, prior to obtaining a service letter to that effect, reclaimed water service availability letters were obtained from the RSFCSD, who have also indicated an ability to serve the reclaimed water needs of the SPA (see Appendix B for reclaimed water service availability letters).

### **Wastewater Facilities**

Currently, there is no sewer service available in the Santa Fe Valley SPA. All of existing homes are served by private sewage disposal systems. However, in certain areas the local soils have limited septic tank suitability. The existing wastewater districts in the area are the Ranch Santa Fe Community Services District (RSFCSD), Rancho Cielo Sanitation District, and 4S Ranch Sanitation District. The current sphere of influence for these Sanitation Districts does not include the Santa Fe Valley SPA. However, the RSFCSD has provided a sewer service availability letter (see Appendix B for sewer service availability letter).

### **Storm Water Facilities**

The *Clean Water Act* regulates non-point source storm water pollution of the waters of the United States. In California, this Act is administered by the State Water Resources Control Board, which issues Construction and Industrial Permits for the discharge

of storm water. The State Water Resources Control Board has identified the County as the agency to be responsible for storm water quality in the urbanized areas of the unincorporated areas of the County.

## **6.2 PUBLIC FACILITIES PLAN**

There are a number of public facilities that are required within the Santa Fe Valley SPA. The major backbone portions of these public facilities are shown on Figure 6-3, Public Facilities Plan. The location and size of these facilities have been closely coordinated with affected agencies and special districts and are subject to change based on their final review and approval.

### **Educational Facilities**

Based on the Specific Plan's permitted land uses and location of development areas, limited student enrollment will be generated within the Rancho Santa Fe Elementary School District and Escondido Union Elementary and High School Districts. Most of the student enrollment in Santa Fe Valley is projected to occur within the Solana Beach Elementary School District, San Dieguito High School District, and Poway Unified School District.

#### *SPA Student Generation*

Projected student enrollment in each school district is estimated in Table 6-1, Student Yield For Each School District. Projected enrollment is based on student generation rates provided by the affected school districts and the Specific Plan land use densities and location.

Overall student generation rates indicate the projected demand for approximately 50% of an elementary school, 15% of a middle school, and 12% of a high school, depending on the optimum size requirement of each district. At ultimate buildout (1,200 units) Santa Fe Valley generates approximately 437 elementary school students, 174 middle school students, and 279 high school students, assuming all dwelling units in the SPA are single family units (single family dwelling units generate a higher rate of student yield). The secondary school districts, with the exception of Poway Unified School District, have indicated that existing, funded, and planned middle school and high school facilities outside of the SPA are currently adequate to meet Santa Fe Valley's projected secondary education demand. Any impacts to these facilities will be offset by payment of appropriate school impact mitigation fees prior to issuance of a building permit.

#### *Educational Facility Capacity Limitations*

Based on existing elementary school enrollment, and student generation rates, overcrowding may occur in elementary school facilities. Subdividers will be required to mitigate impacts to school facilities through terms of binding agreements with the affected school districts when required.

As shown in Table 6-1, Student Yield For Each School District, the largest number of elementary, middle, and high school students would be generated within the Poway Unified School District. Existing school facilities in this school district and others may not be adequate to accommodate the additional

student enrollment resulting from development of the SPA.

At the time of adoption of the Specific Plan, all schools within close proximity are at or over capacity. Therefore, the school districts will likely need to transport students to other more distant schools within their district boundaries where classroom facilities may be available. The school districts cannot guarantee that students from Santa Fe Valley would attend existing schools nearest to their homes.

#### *Planned Educational Facilities*

Based on the request of the Poway Unified School District, the Specific Plan identifies an approximately twelve-acre elementary school site adjacent to the local park. Though not required to be granted to the school district, it is required that the school district be given the opportunity to acquire the site prior to development.

#### **Recreational Facilities**

Based on an inventory of existing, funded, and planned park and recreation facilities in the San Dieguito Community Plan Area and nearby in the City of San Diego, an additional local park facility is needed in Santa Fe Valley. Table 6-2, Park Land and In-Lieu Fee Requirements, shows the various applicable park standards and how they apply in the Santa Fe Valley SPA, based on the 1,200 dwelling units permitted. The total projected population for the SPA is estimated to be 3,204 people based on 2.67 persons per dwelling unit.

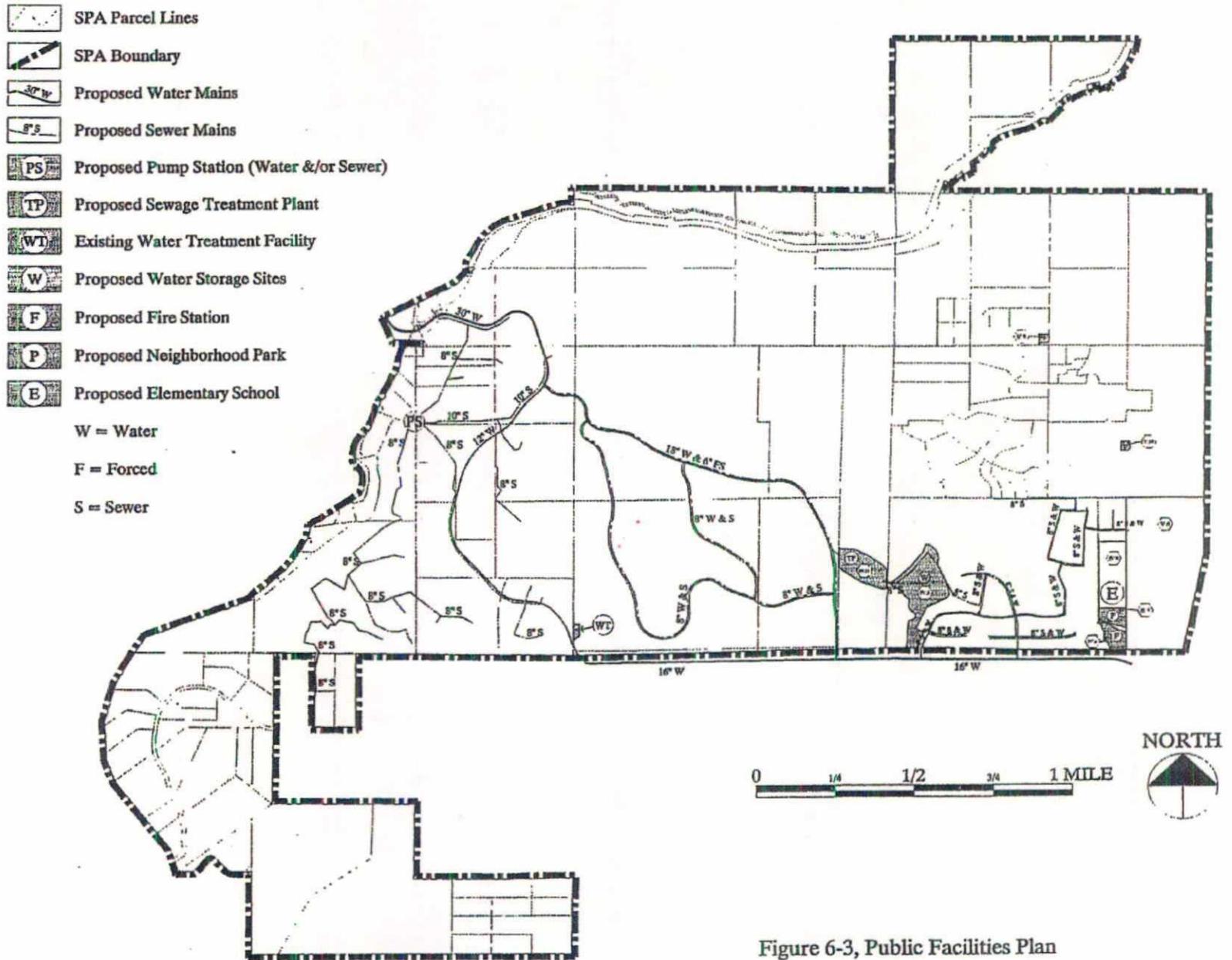


Figure 6-3, Public Facilities Plan

<b>Table 6-1: Student Yield For Each School District</b>				
<b>School District</b>	<b>Rate</b>	<b>Single Family Dwelling Units</b>	<b>Student Yield</b>	<b>Designed School Capacity</b>
<b>Poway Unified School District</b>				
Elementary	0.34	692	235	700
Middle School	0.18	692	125	1,250
High School	0.26	692	180	2,150
<b>Solana Beach Elementary School District/San Dieguito High School District</b>				
Elementary	0.46	443	206	360 - 800
Middle School	0.11	443	49	600 - 1,400
High School	0.22	443	97	1,200 - 2,400
<b>Escondido Union Elementary School District/Escondido Union High School District</b>				
Elementary	0.32	50	16	700
Middle School	0.072	50	3	1,300
High School	0.1363	50	7	1,800
<b>Rancho Santa Fe Elementary School District</b>				
Elementary	0.33	15	5	360 - 800
<b>Total</b>		<b>1,200</b>	<b>923</b>	

<b>Table 6-2: Park Land and In-Lieu Fee Requirements</b>		
<b>Document</b>	<b>Standards and Recommendations</b>	<b>SPA Requirement</b>
General Plan Recreation Element	30 Acres per 1,000 population Countywide. One-half devoted to Regional Facilities All types of usable open space, private and public, count towards this requirement	96 Acres
San Dieguito Community Plan <sup>1</sup>	15 Acres per 1,000 population: 1/3 Acres Neighborhood Parks 1/3 Acres Community Parks 1/3 Acres Regional Parks	48 Acres 16 Acres 16 Acres 16 Acres
Park Lands Dedication Ordinance	3 Acres per 1,000 population (1,200 DU @ 2.67 persons/DU) In-lieu fees Option: \$1,000 per unit Possible 50% Credit for Private Recreational Facilities	9.6 Acres \$1,200,000 4.8 Acres or \$600,000

Note 1: Credit may be given for private recreation facilities. There is no specific percentage limit for public park. Land set aside for the River Park counts as Regional Park.

### *Regional Parks*

Much of the land designated as Open Space I on the Specific Plan is within the boundaries of the San Dieguito River Park FPA and will be required to be dedicated as open space and therefore is counted towards meeting the regional park requirements. This land (assuming all land within the 100-year floodplain will be set aside for the Park) is far in excess of the minimum regional park land requirements. Although the County supports acquiring land for the regional park, funds have not been identified for this purpose.

### *Local Parks*

Pursuant to the provisions of the PLDO, planned land uses will generate a need for a minimum 9.6 acres local park. The Specific Plan identifies a neighborhood park site of 2.9 acres on the Public Facilities Plan (Figure 6-3). The Specific Plan also requires that the neighborhood park site be dedicated to the County. A conceptual park design has been developed and is included as Figure 6-4, Park Improvement Concept Plan.

Dedication of the park site together with recreational trail dedication and improvement requirements as discussed in the Circulation Element of the Specific Plan (Chapter 5), and payment of PLDO fees, meets the projected park demand and complies with the policies of the San Dieguito Community Plan. In addition, credit against the PLDO requirements may be obtained by the implementing projects through the inclusion of private recreation facilities in the projects.

### **Fire Protection Facilities**

According to the RSFFPD, a fire station site is required in the Santa Fe Valley SPA and that the fire station site identified on Figure 6-3, Public Facilities Plan, is an appropriate site for the permanent facility to serve both the 4S Ranch and Santa Fe Valley SPAs. However, in order to do so, a road connecting the two SPAs is essential in order to maintain the six minute response time. The 4S Connector Road is provided in Santa Fe Valley SPA pursuant to the District's response time needs and in cooperation with planning for the 4S Ranch. In addition, the SPA implementing projects will be reviewed by the RSFFPD for conformance to their minimum water flow requirements and road design standards.

The Specific Plan requires the fire station site to be granted to the RSFFPD prior to or concurrently with recordation of any subdivision maps. Construction of the station is required to be consistent with the provisions of the Specific Plan's Development Program (Chapter 8). It is anticipated that the Santa Fe Valley Fire Station would be equipped with one Type I structural fire truck, one Type III wildland fire truck, and one ambulance. As many as ten full time fire fighters may be stationed at this site.

### **Law Enforcement**

Based on a projected population of 3,204 in Santa Fe Valley, an additional 3.2 sworn officers would be required to serve Santa Fe Valley, pursuant to the objectives in the General Plan Public Facilities Element. However, there are currently no County ordinances to authorize exaction of fees or require dedication of land to help fund law enforcement services. If desired, property owners within Santa Fe

Valley may independently dedicate land for a Sheriff's substation, provide funds for additional deputies, or fund private security services.

### **Water Facility Improvements**

Future potable water supply was considered by OMWD in a 1993 Master Plan. This Master Plan was necessitated by the SDCWA's requirement that agencies be able to operate independent of the aqueduct system for at least ten days. In order to meet this requirement, OMWD is planning a large raw water reservoir and treatment plant northwest of the SPA known as the Olivenhain Water Storage Project. This project will ultimately provide 30 to 40 days of storage for the district.

A summary of potential water system facility improvements to serve Santa Fe Valley is as follows:

1. The 4G Reservoir, within Planning Area V, is inadequate to support the planned development at upper elevations. A new reservoir will be required to provide adequate fire and emergency storage. In addition, the existing pump station will most likely have to be upgraded or replaced.

2. The Golem Reservoir is also inadequate to support development anticipated within the remaining areas of Santa Fe Valley. Additional facilities will be required to meet anticipated demands. OMWD is only able to marginally supply the Golem Reservoir due to large pressure losses in the existing water system. New water transmission mains will be required in Santa Fe Valley to improve the supply to and from Golem Reservoir. The water facilities improvements

for the Santa Fe Valley SPA are shown in Figure 6-3, Public Facilities Plan.

3. As the region develops, OMWD will need to increase the water supply to the SPA and the 2,903-acre 4S Ranch SPA. Major water transmission mains have been planned to serve these developing areas. The preliminary alignments of these transmission mains are planned to cross the Santa Fe Valley SPA.

4. The water transmission mains serving 4S Ranch that traverse Santa Fe Valley are primarily dedicated to serve the development of the 2,903-acre 4S Ranch SPA. Depending on the timing of future developments, OMWD may locate the 4S Ranch transmission mains within the Santa Fe Valley roadways.

5. OMWD owns ten million gallons of capacity of the ten million gallon 4S Reservoir. Five million gallons of the reservoir are currently available to provide service to the balance of the district, including Santa Fe Valley. By connecting it with the existing Golem Reservoir, it may be able to support development in Santa Fe Valley depending on the pace of need in the 4S Ranch. The precise improvements and planning of these facilities is contained within the updated OMWD Master Plan.

The potable water facilities identified in Figure 6-3, Public Facilities Plan have been determined on the basis of gross estimates of water demands applied to the SPA as a whole as well as development density projections. Major water storage and distribution facilities will be built by the OMWD. On-site facilities

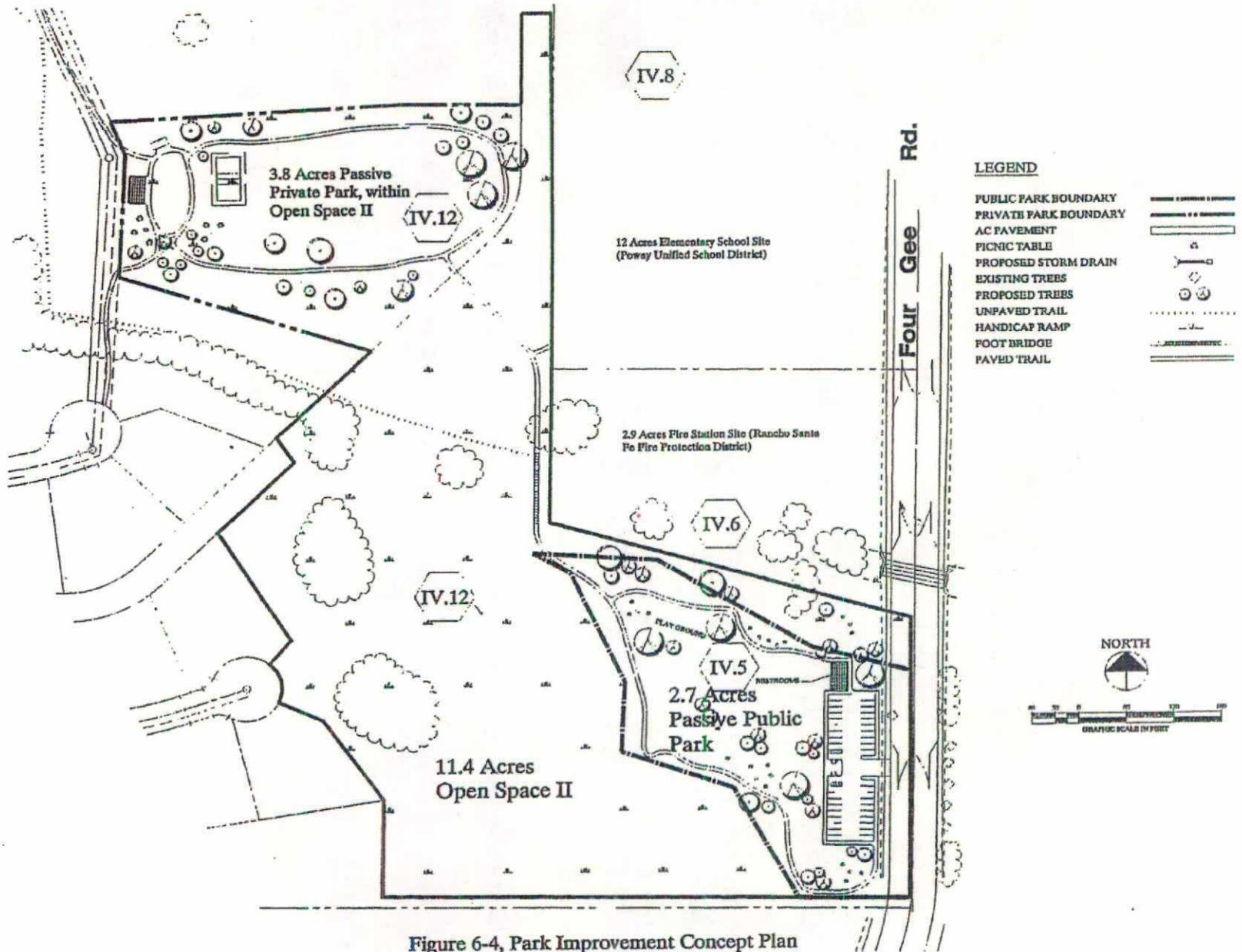


Figure 6-4, Park Improvement Concept Plan

are the responsibility of individual property owners. The identified facilities are not the final requirements necessary to receive water service from the OMWD since these estimates are based on current conditions (1995).

### **Wastewater Facility Improvements**

Sewer service is required for most of the Specific Plan land uses to be adequately supported. The Specific Plan requires that the SPA be annexed to the RSFCSD for provision of sewer services. The district has indicated their ability to ultimately accommodate the entire wastewater treatment needs of Santa Fe Valley SPA. The district will be able to provide up to 300 equivalent dwelling units of interim sewer capacity to Santa Fe Valley.

A pump station will be required for the interim sewer capacity. This pump station will also be required to utilize the treatment plant in Santa Fe Valley. This pump station could be sized to accommodate short term or ultimate flows from SPA (see Figure 6-3, Public Facility Plan).

The sewage treatment capacity can be substantially increased once a treatment plant is constructed in Santa Fe Valley. The Specific Plan identifies a sewer treatment plant site within the SPA (Subarea IV.11) that must be constructed pursuant to the Specific Plan's Phasing Plan, (Chapter 8). Once constructed, this plant will be able to provide adequate treatment capacity for all planned land uses in the SPA. Based on the Specific Plan's Land Use Element (Chapter 4) and wastewater generation rates provided by the RSFCSD, the Santa Fe Valley SPA at build-out is expected to generate approximately 0.5 Million gallons

per day of wastewater flow. The wastewater flows for each planned land use is shown in Table 6-3, Wastewater Generation Rates.

### **Reclaimed Water**

During the dry season the reclaimed water from the sewage treatment plant will be beneficially used for irrigating the proposed golf courses. In rainy seasons the reclaimed water needs to be stored due to saturation of irrigated areas within Santa Fe Valley. A wet weather storage facility sized to meet Santa Fe Valley's emergency storage requirements per the San Diego Regional Water Quality Control Board criteria is provided in the SPA (Subarea IV.3). The estimated wastewater flows generated by Santa Fe Valley will be approximately 1.5 acre-feet of reclaimed water per day at ultimate buildout of SPA. During dry seasons this amount of water will be adequate for irrigation of the two proposed golf courses. However, during the rainy seasons storage is required on the order of magnitude of 100 acre-feet.

In order to provide reclaimed water service, annexation to the RSFCSD is required, including the required approval of Local Agency Formation Commission (LAFCO). In addition, the use permit applicants must enter into a service agreement with RSFCSD. The service agreement is also subject to LAFCO approval if entered into prior to completion of the annexation. However, OMWD has stated it has the exclusive responsibility to purvey reclaimed water. The project applicants may therefore obtain reclaimed water service commitment from either the RSFCSD or OMWD. The applicants also have the option to utilize alternative sources of water to irrigate the golf courses for all or part of the golf course irrigation needs, upon

<b>Table 6-3: Wastewater Generation Rates</b>				
<b>Land Use Type</b>	<b>Amount of Development</b>	<b>Equivalent Dwelling Unit (EDU)</b>	<b>Total EDUs By Use</b>	<b>Gallons Per Day<sup>1</sup></b>
Residential	1,200 units	1.00 per unit	1,200.0	420,000
Neighborhood Commercial	First 1,000 Sq. Ft.	1.20 per 1,000 Sq. Ft.	1.2	420
Neighborhood Commercial	49,000 Sq. Ft.	0.70 per 1,000 Sq. Ft.	34.3	12,005
Restaurant	80 seats, 3,000 Sq. Ft.	1.00 per 12 seats	6.6	2,310
Resort Hotel	80 - 250 rooms	0.55 per room	44 - 137.5	15,400 - 48,125
Golf Courses	9 and 18 holes	3.00 - 5.00	3.0 - 5.0	1,050 - 1,750
Golf Course Clubhouses	17,000 - 30,000 Sq. Ft.	10.00 - 20.00	10.0 - 20.0	3,500 - 7,000
Elementary School	700 students	12.00	12.0	4,200
Fire Station	2.9 acres	1	1	350
Neighborhood Park	2.7 acres	2.00	2.0	700
Group Care	200 rooms	0.55 per room	110.0	38,500
<b>Total</b>	--	--	1,424.1 - 1,529.6	498,435 - 544,085

Note: 1. Based on an equivalent dwelling unit (EDU) of 350 gallons of reclaimed wastewater per day.

completion of the appropriate groundwater, biological or other studies as required by the County.

### **Storm Water Facilities**

Storm water runoff will increase with the planned development within the Santa Fe Valley. Accordingly, drainage and flood control facilities will be necessary to accommodate increased storm water flow from new development. The County's Flood Control Division of the Department of Public

Works will review all major development projects for conformance with all applicable policies, ordinances, and maps including the County's Hydrology Manual, Design and Procedure Manual, and current floodplain maps. The intent of this review is to avoid and minimize any potential property and environmental impacts that may be caused by storm water runoff.

### **6.3 PUBLIC FACILITIES GOAL, OBJECTIVES, AND POLICIES**

#### **Goal**

*Provide for adequate public services and facilities to accommodate the permitted Specific Plan land uses.*

**Objective PF-1:** *Ensure that educational needs of the future Santa Fe Valley residents are met pursuant to the serving school districts requirements.*

#### **Policies**

PF-1.1 Prior to recordation of Final or Parcel Maps for property within the Poway Unified School District, Rancho Santa Fe Elementary School District, Escondido Union Elementary School District, and Solana Beach Elementary School District (the districts serving the SPA that have indicated on their respective Specific Plan service availability forms that binding agreements are required), project applicant(s) shall enter into a binding agreement for mitigation of school facilities impacts with the project's serving school district(s).

PF-1.2 For those projects where the serving school district(s) have not indicated a binding agreement is required, prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, subdividers shall conform to the affected school district's policy(s) to finance the development project's proportionate share of the cost of needed schools facilities and related needs.

PF-1.3 An elementary school site shall be identified in the Specific Plan and shall be located in the Poway

Unified School District jurisdiction based on site standards established by the Poway Unified School District and the State of California.

PF-1.4 Any application for any discretionary permit on land designated as a school site, as identified on the Public Facilities Plan, Figure 6-3, shall be accompanied by evidence the applicant has, within one year prior to filing the discretionary permit application, offered Poway Unified School District an opportunity for 180 days to purchase the site.

*Note: This policy does alter State and local mandated application processing time requirements. Also, school districts have the right of eminent domain and may choose to exercise their option to purchase school sites at any time.*

PF-1.5 The purchase agreements(s) shall specify that if Poway School District purchases a portion of the parcel, the District shall not object to development of the remainder of the parcel as permitted by the Santa Fe Valley Specific Plan by the property owner.

PF-1.6 Timing of the completion of school construction for portable and permanent classrooms and associated facilities within the SPA shall be determined by enrollment thresholds established by the Poway School District Board, with schools suitable for occupancy at the time student generation reaches the relevant threshold from the designated attendance area for each school.

PF-1.7 During the initial development phases, based on the minimum enrollment thresholds for constructing schools, new students from the SPA may attend existing schools. Developer contributions to

offset the cost of additional temporary school facilities and/or providing school transportation to accommodate new development in the SPA may be required. Developer contributions for temporary facilities and/or transportation are in addition to the fees which may be required pursuant to Policy PF-1.1 for permanent facilities and related needs.

**Objective PF-2:** *Provide a local park to adequately serve the recreational needs of the Santa Fe Valley SPA and the eastern portions of the San Dieguito Local Park Planning Area.*

### **Policies**

PF-2.1 Prior to or concurrently with recordation of the subdivision map of which the park site is included, the park site shall be granted in fee title free of encumbrances, to the County of San Diego Department Parks and Recreation, subject to approval of the Director of the Department of Parks and Recreation. Approval by the Department of Parks and Recreation includes, but is not limited to, review of California Land Title Association Policy and a Phase I and/or Phase II Environmental Site Assessment Report, preparation of which is the responsibility of the subdivider.

PF-2.2 Figure 6-4, Park Improvement Concept Plan, depicts the proposed improvements for the park site. Actual improvements may vary, based upon community input and available findings..

**Objective PF-3:** *Ensure that adequate fire protection services and facilities are provided concurrent with need.*

### **Policies**

PF-3.1 Prior to or concurrently with recordation of the subdivision map of which the fire station site is included, a minimum 2 acre site shall be granted in fee title to the RSFFPD in substantial conformance with the Figure 6-3, Public Facilities Plan.

PF-3.2 A permanent fire station shall be constructed on the approved site in accordance with the Phasing Strategy, Chapter 8 of the Specific Plan.

PF-3.3 Prior to approval of any Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits, and prior to vesting any discretionary permits in the SPA, a Fire Management Plan for the SPA shall be approved by the RSFFPD and the Director of DPLU. Prior to approval, the Director of DPLU shall send the draft Fire Management Plan for a minimum of a 30 day review and comment period to the California Department of Forestry, U.S. Fish and Wildlife Service, California Department of Fish and Game, San Dieguito River Park Joint Powers Authority (if involved in habitat management efforts). The Fire Management Plan should contain, at a minimum, wildfire hazard severity mapping, a fuel management program, and building construction standards for fire protection.

As a requirement of the entire Specific Plan Area, the costs for preparation of the Fire Management Plan may be included in the Specific Plan preparation costs. These costs will be included for reimbursement beyond a property owner's fair share in the proposed Specific Plan Special Fee, permitted pursuant to Government Code Section 65456, discussed on Page 2-8 of this Specific Plan.

**Objective PF-4:** *Ensure that potable and reclaimed water is available to Santa Fe Valley concurrent with need.*

### **Policies**

PF-4.1 Each individual project or subdivision shall undergo a hydraulic analysis and pay appropriate capacity fees prior to receiving a potable service availability letter from OMWD. Payment of all capacity fees, is to be in accordance with District Ordinance 231, or as specifically waived by the District. Potable water will only be furnished by OMWD in accordance with the hydraulic analysis performed by the District's consulting engineer.

PF-4.2 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits and prior to vesting Major Use Permits on the subject property, potable water service letter commitment shall be obtained from the OMWD to ensure adequate provision of potable water service by the District.

PF-4.3 Prior to issuance of grading permits or improvement plans in lieu of grading permits and prior to vesting the Major Use Permit on the golf course lots, reclaimed water service commitment shall be obtained from the RSFCSD or OMWD to ensure adequate provision of reclaimed water service by the appropriate District. Alternatively, alternate water sources for the golf courses is permitted upon completion of the appropriate studies (groundwater, biological, or other studies as required).

PF-4.4 As required by the serving reclaimed water district, subdivisions and other development projects

shall plan to include parallel reclaimed water lines on-site or off-site as appropriate.

PF-4.5 Potable water storage reservoirs and major transmission system facilities shall be constructed by the OMWD as indicated on the Santa Fe Valley Public Facilities Plan. The District may modify the Santa Fe Valley Public Facilities Plan as necessary to ensure efficient implementation of this plan. The improvements and cost are determined by the OMWD based on shared costs and benefits in cooperation with the Santa Fe Valley property owners.

PF-4.6 Discretionary permit applicants shall be required to provide all fee and easement rights-of-way as required for construction of the on-site and off-site facilities pursuant to the Public Facilities Plan as determined by OMWD.

**Objective PF-5:** *Ensure that wastewater treatment and disposal facilities are provided to serve planned land uses in the SPA concurrent with need.*

### **Policies**

PF-5.1 Septic sewage systems in Planning Areas I and V are permitted to the extent they meet County Department of Health Services private sewage disposal standards.

PF-5.2 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits and vesting any other discretionary permit for a project requiring sewer service, the Santa Fe Valley SPA shall be annexed to the RSFCSD, subject to the approval of LAFCO. Subject to approval and funding by the property

owners, the County Department of Public Works may take responsibility for execution of the annexation agreement.

PF-5.3 Prior to approval of Final or Parcel Maps, issuance of grading permits or improvement plans in lieu of grading permits on property that will require public sewage treatment and disposal, applicants shall obtain sewer service commitment from the RSFCSD.

PF-5.4 Wet weather reclaimed water storage shall be provided (Subarea IV.3) to serve Santa Fe Valley subject to approval by the purveyor of reclaimed water (RSFCSD or OMWD) as appropriate.

PF-5.5 Prior to any development beyond the interim sewer treatment capacity available, a wastewater treatment plant, collection system and wet weather storage shall be constructed in conformance with the Santa Fe Valley Public Facilities Plan as approved by the RSFCSD.

PF-5.6 Discretionary permit applicants shall be required to provide all fee and easement rights-of-way as required for construction of the on-site and off-site wastewater facilities pursuant to the Specific Plan Public Facilities Plan, Figure 6-3 and as determined by OMWD and RSFCSD.

***Objective PF-6:***      *Ensure that storm water runoff protection measures in the Santa Fe Valley Specific Plan Area are incorporated in the design of development projects and constructed concurrent with need.*

## **Policies**

PF-6.1 All discretionary permit projects shall be reviewed by DPW for conformance with all applicable policies, ordinances, and maps for storm water runoff including the County Hydrology Manual, Design and Procedure Manual, and current floodplain maps.

PF-6.2 Development shall not significantly increase downstream erosion. Where improved channels are needed, non-erosive channels should be established and maintained without the use of armoring or other structural measures.

PF-6.3 Construction and maintenance of on-site detention facilities, if required, will be the responsibility of the property owner.

PF-6.4 To minimize erosion and siltation, areas of disturbance during construction should be stabilized as rapidly as possible with non-invasive vegetation. Temporary and permanent erosion and siltation control measures should be installed as necessary to minimize construction and development impacts.

# Chapter 7

## Community Design

### Element

#### 7.1 EXISTING CONDITIONS

The Santa Fe Valley area is characterized by diverse topography featuring rugged, undulating terrain associated with the San Dieguito River Valley. However, the central and southern portions of Santa Fe Valley are characterized by gently rolling hills and intervening areas of more level terrain. Dominant landforms include the San Dieguito/Lusardi Creek valleys and Cielo/Del Dios Ridges.

Elevations range from a low of approximately eighty feet above mean sea level (MSL) at the confluence of Lusardi and San Dieguito Creeks in the southwest to a high of approximately 1,380 feet above MSL in the hills above Lake Hodges Dam in the northeastern portion of the site. Approximately eight percent of site features slopes of greater than fifty percent grade, while about thirty-six percent of the site contains slopes having twenty-five to fifty percent grade. These steeply sloping areas are primarily located in the northeastern portion of the SPA and along the San Dieguito River Valley and Lusardi Creek in the southwestern portion of the SPA.

Approximately sixty-eight percent of the site is vacant/undeveloped open space, while about thirty-one percent is currently or has been used for agricultural purposes. The balance contains widely

scattered single-family residences. Other development includes an SDG&E electrical transmission corridor and the San Diego County Water Authority's Second Aqueduct pipeline easement.

Santa Fe Valley has a variety of natural vegetation communities and habitats, including coastal sage scrub, chaparral, wetland habitat associations, and both native and non-native grasslands. The San Dieguito River Valley is the dominant topographic/geomorphic feature of the site. The San Dieguito River flows through Santa Fe Valley on the northern boundary of the SPA from the Lake Hodges Dam to its confluence with Lusardi Creek in the southwest of the SPA.

In the northwestern portion of the site, the hillsides associated with the upper gorge and the Lake Hodges Dam site are divided by the San Dieguito River and the Del Dios Highway. Cielo Ridge is to the north, and Del Dios Ridge is to the south of the gorge. These mountains are very exposed landforms which slope steeply into the upper gorge. These landforms represent the highest elevations and the most topographic relief on the site.

#### San Dieguito Community Plan

There are a number of community design policies that are contained within the San Dieguito Community Plan. These policies address a wide range of design issues such as design/construction quality, signs, existing physical features, landscaping, roads, open space areas, grading, and lighting.

### *Santa Fe Hills*

The Santa Fe Hills area is surrounded by the Santa Fe Valley SPA on three sides. The existing development consists of estate residential. Santa Fe Hills is planned for low-density estate residential development.

### *Adjoining Communities*

The communities of Fairbanks Ranch and Rancho Santa Fe exist to the west. The partially developed 4S Ranch property lies to the east. Only partially developed, estate residential development is located in the Santa Fe Hills area at the southwestern boundary of Santa Fe Valley. These communities are generally characterized as large-lot estate and suburban housing. These areas feature low-density development on rolling terrain. Landscaping is generally mature. Land to the south is generally undeveloped, but planned for future urban development.

### *Del Dios Highway*

The Del Dios Highway is a Priority Two scenic route to be designated as a scenic highway in the Scenic Highway Element of the General Plan. In addition, the San Dieguito Community Plan states “It shall be appropriate to add Scenic ‘S’ Special Area Regulations to the zoning of all properties adjacent to any Circulation Element Road. Land within the Scenic Viewshed of a Circulation Element Road shall also be subject to the standards and criteria of the ‘S’ Designator.”

### *San Dieguito River Park*

As required by the San Dieguito Community Plan, the Santa Fe Valley SPA must provide for a regional

park and open space system, the focus of which is the San Dieguito River Valley. For that reason, the Community Plan includes policies requiring the maintenance of the scenic qualities of the San Dieguito River Valley. The important qualities of the Santa Fe Valley Regional Park “landscape unit” include the rustic character of the valley, the rugged nature of the steep and rocky Del Dios gorge, and the visual quality of the tree-lined river channel. The River Park Concept Plan proposes design guidelines which are recommended to be adopted by local agencies.

Figure 4.4-12 in the Draft EIR shows the composite visual sensitivity of views from Del Dios Highway and the San Dieguito River Valley. The High and Medium Visual Sensitivity categories on Figure 4.4-12 are based on consideration of: 1) the viewshed of the Del Dios Highway; 2) the viewshed of the San Dieguito River corridor; and 3) visually prominent landforms that contribute to the unique character of the SPA. This combined visual sensitivity viewshed defines areas with “high” visual sensitivity as those that are most frequently seen due to proximity, slope or significant features, and areas with “medium” visual sensitivity as those that are often seen from the San Dieguito River bed or the Del Dios Highway.

## **7.2 COMMUNITY DESIGN PLAN**

The Community Design Element contains policies that protect existing scenic resources, ensure continued visual compatibility, and promote a cohesive community design theme. This element of the Santa Fe Valley Specific Plan promotes the creation of a visually unified and attractive community that preserves and enhances the natural

resources, and maintains the unique visual features of this area. The Community Design Element addresses the following components:

- Preservation of the scenic qualities of the Del Dios Highway viewshed;
- Preservation of the scenic qualities of the San Dieguito River Park viewshed;
- Design parameters to establish a degree of project consistency and high quality of design among the multiple ownerships including streetscapes, gateways, architectural and landscape design of specified types of development;
- Design parameters to address visual compatibility of with adjoining residential communities including hillside/ridgeline development standards and landscape buffers; and
- Design policies addressing a wide range of community design issues such as trails, roads, open space areas, grading, and lighting.

The Community Design Element includes Community Design Guidelines (Section 7.4). Aspects of development which can affect visual quality addressed in the guidelines are grading, streetscapes, entry treatments, pedestrian circulation, parking lots, service and loading areas, architecture, walls and fences, lighting, signs, and landscaping. The guidelines incorporate much of the recommended design guidelines in the River Park Concept Plan.

The guidelines are to be considered in the review of discretionary permits for development projects within the SPA, specifically subdivisions, use permits, and Administrative Permits (for maintenance of common lots, unless otherwise specified). Conformance to the Community Design Element is intended to implement policies in the San Dieguito Community Plan and policy guidelines in the San Dieguito River Park Concept Plan.

In addition, two “D” Design Review Special Area Regulations Designators will be used in lieu of the “S” Scenic Area Regulations Designator to regulate development in visual or design sensitive areas. These are the “D1” and “D3” Designators. The “D1” Designator is for sensitive Hillside/Ridgeline development and the “D3” Designator is for all development except single-family dwellings. The areas subject to these designators are shown on Figure 3-4, Sensitive Resource Area/Community Design Designators, in the Draft EIR. The objective of these designators is contained in the Specific Plan Development Program (Chapter 8).

The Community Design Guidelines and the “D1” and “D3” Designators are intended to permit development that will have the least possible impact on the physical and visual environment including design or visually sensitive areas and ridgelines and hillsides. The intent of applying an “S” Scenic Area Regulations Designator in the viewshed of Del Dios Highway as recommended in the San Dieguito Community Plan is therefore accomplished by the application of these designators.

Development adjacent to Santa Fe Hills in visually sensitive areas must maintain visual compatibility

with the existing community. This is accomplished through required conformance of development in these areas with the Community Design Guidelines and the “D1” and “D3” Designators. Conformance to the guidelines and designators will ensure that development in the visually sensitive areas of the SPA will be visually compatible with development in Santa Fe Hills.

### **7.3 COMMUNITY DESIGN GOAL, OBJECTIVES AND POLICIES**

#### **Goal**

*Create and maintain a high-quality image for Santa Fe Valley while ensuring the visual compatibility of development in the SPA with the existing aesthetic quality of surrounding communities and viewpoints.*

*Objective CD-1: Ensure a distinctive image through high-quality architectural and landscape design in Santa Fe Valley.*

#### **Policies**

CD-1.1 Discretionary permit applications for multi-family and non-residential development shall be subject to the Community Design Guidelines, Section 7.4 of this element as provided in Policy CD-1.2

CD-1.2 Only the Primary and Secondary Theme Roads identified on Figure 7-1, Streetscape Plan are subject to the Streetscape design guidelines of the Community Design Guidelines through the review of subdivision, major use permit, or administrative permit applications to enhance the identity and image

of Santa Fe Valley as viewed from the public and private roads.

CD-1.3 Private roads and access control gates for Planning Area II and III shall have ongoing regulatory permits to ensure ongoing maintenance through either a Major Use Permit or an Administrative Permit.

CD-1.4 Visually sensitive areas planned for any development except single-family home development as shown on Figure 3-4 in the Draft EIR shall be zoned with the “D3” Non-Single-Family Development Special Area Regulations Designator. Development in these areas shall be subject to site plan review.

CD-1.5 All development shall comply with the County’s Dark Sky Ordinance and the San Dieguito Community Plan’s Dark Sky Policies 1-4.

CD-1.6 The Specific Plan’s Community Design Element establishes the public right-of-way and private roadway standards, as provided for in the San Dieguito Community Right-of-Way Standards. The Community Design Element standards supersede the County’s public and private road standards where a conflict with the County’s public and private road standards exists.

*Objective CD-2: Preserve the visual landscape values and areas of special scenic beauty within the viewshed of the Del Dios Highway and the trail corridor along the San Dieguito River in the SPA.*

## Policy

CD-2.1 Sensitive hillsides and ridgelines in areas planned for single-family development within the viewshed of the San Dieguito River and/or Del Dios Highway as shown on Figure 3-4 in the Draft EIR shall be zoned with the “D1” Visually Sensitive Hillsides and Ridgelines Special Area Regulations Designator. Development in these areas shall be subject to site plan review.

*Objective CD-3: Ensure visual compatibility with the Santa Fe Hills area for all new development in the Santa Fe Valley SPA.*

## Policy

CD-3.1 Sensitive hillsides and ridgelines in areas planned for single-family development within the viewshed of the Santa Fe Hills area as shown on Figure 3-4 in the Draft EIR shall be zoned with the “D1” Visually Sensitive Hillsides and Ridgelines Special Area Regulations Designator. Development in these areas shall be subject to site plan review.

## 7.4 COMMUNITY DESIGN GUIDELINES

The Community Design Guidelines are intended to promote the creation of a visually unified and attractive community that protects, preserves, maintains, and enhances the natural resources, beauty, quality of life, and community character of the Santa Fe Valley SPA.

Any new development within the scenic viewshed of the Del Dios Highway or the trail corridor along the San Dieguito River, whether associated with private development, public facilities, or park-related activities, must be designed so as to preserve sensitive resources and be compatible with the largely open, rural character of the highway corridor and river valley.

Any new development within the viewshed of the Santa Fe Hills area, whether associated with private development or public facilities, must be designed so as to be compatible with the Estate Residential character of Santa Fe Hills.

*Note: The graphics of the guidelines are illustrative only and do not depict final designs, nor should they limit the range of expression of property owners and their professional design teams. Similarly, none of the design guidelines are intended to be construed as strict regulatory requirements. Rather, each project is expected to satisfy the intent and spirit of the guidelines, and to meet the letter of the guidelines only where feasible and appropriate. All provisions of the Community Design Guidelines apply except as may be specifically superseded by the DPLU-approved Fire Management Plan (see Policy PF-3.3).*

## General

Development located near or on a ridgeline or hilltop should consist of larger lots with wider frontages to allow for “view corridors” whenever possible. Rock outcroppings and unique visual resources should be preserved whenever possible.

## Grading

Grading within the High and Medium Visual Sensitivity areas of Figure 4.4-12 of the Draft EIR, (Del Dios Highway/San Dieguito River Park composite viewshed), should be limited to the extent possible. Where grading is proposed it should be designed so as to retain the natural shape of the landform and reflect the topographic constraints of the terrain. Building pads in this viewshed should be designed to conform to the site topography, including the creation of smaller terraced pads than large graded pad areas. Building pads should not be created on the most visible portions of ridgelines or the valley floor if alternative sites are available. The use of retaining walls within this viewshed is highly discouraged. However, where no alternative is available, retaining walls should not exceed six feet in height whenever feasible, and should conform to the natural contour of the topography and be screened with indigenous landscaping. Earthtone colors and decorative materials such as stone construction should be used to blend with the natural landscape.

Any areas within the Del Dios Highway/San Dieguito River Park viewshed disturbed by unauthorized grading should be repaired to blend in with the natural slopes and contours and shall be revegetated with native plants. A two-year maintenance period to ensure viability of the revegetated areas may be required if appropriate.

Throughout the SPA, measures for protecting existing trees, native vegetation, rock outcroppings, and other natural features shall be indicated on grading plans.

Throughout the SPA, road alignments should be compatible with the natural topography. On steeper slopes, split roads are desirable to minimize the grading impact of roads (see Figure 7-4). Throughout the SPA, where grading cannot be avoided, use creative grading techniques including:

- Creating variable slope gradients with smooth, rounded cuts
- Rounding off toe and crest of slope
- Blending graded slope contours with the natural topography
- Utilizing native vegetation to alleviate sharp, angular slopes
- Preserving natural and significant geologic features
- Designing drainage courses to blend with the environment

## Streetscape Plan

The roads identified in Figure 7-1, Streetscape Plan should conform to these streetscape guidelines. The guidelines should indicate an overall design theme for the roads in Santa Fe Valley. Representative streetscape plans and sections are depicted in Figures 7-4 and 7-5. Public and private streets should include landscaping, sidewalks, decomposed granite walks, and bike lines and/or trails consistent with the road standards as specified in the Circulation Plan

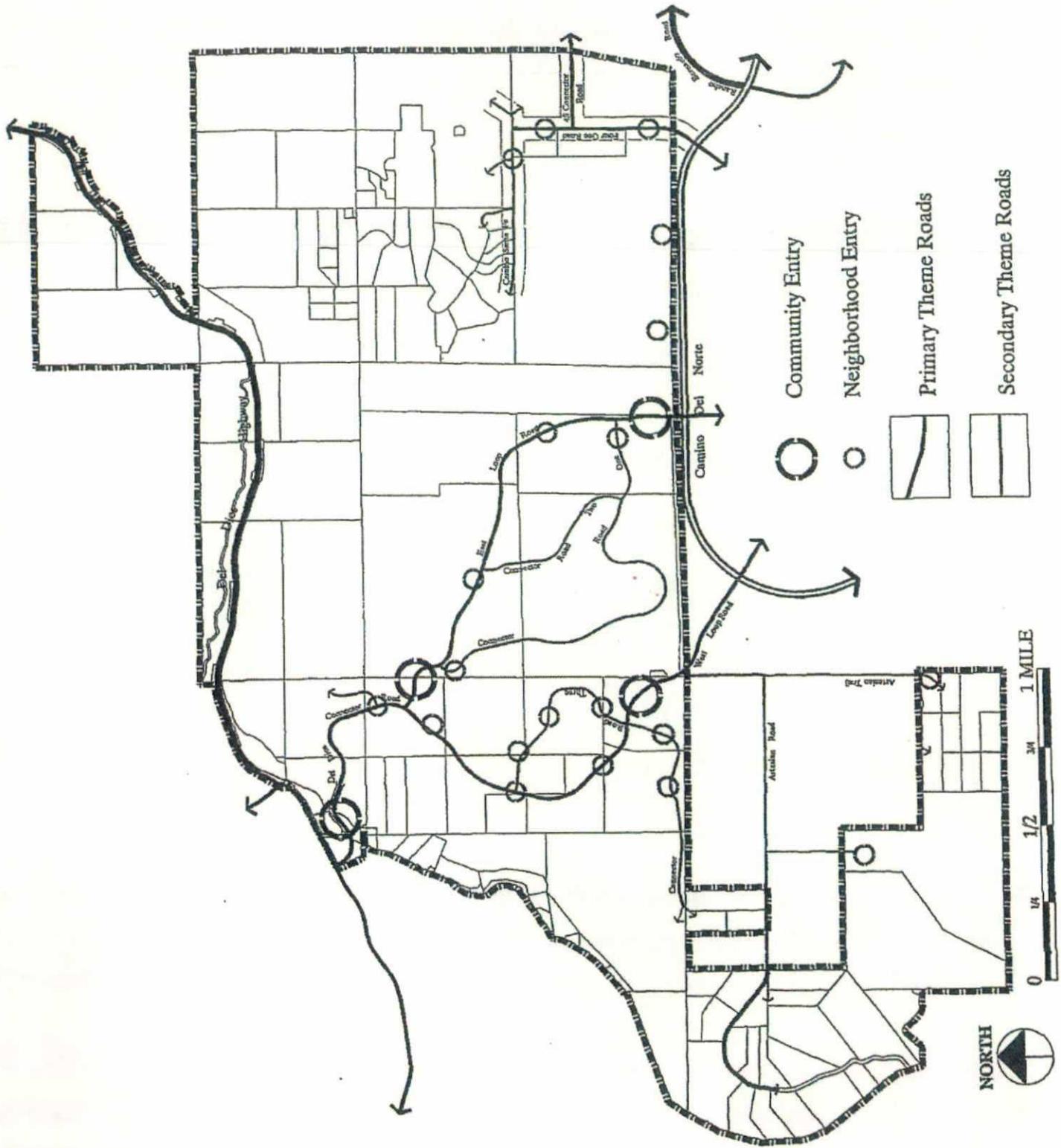


Figure 7-1, Streetscape Plan

(Chapter 5) and the existing natural character of the Santa Fe Valley SPA.

The Del Dios Connector Road bridge crossing of the San Dieguito River is a major design concern for the San Dieguito Community Planning Area and the San Dieguito River Park. The bridge design and lighting must be carefully considered for its visual sensitivity to the surrounding environment and communities.

Road improvements including landscaping should be designed and located to complement the existing natural topography, to lessen any necessary grading alterations, and to protect and enhance existing view opportunities. Primary Theme Roads should incorporate continuous elements that accommodate all modes of circulation comfortably.

All of the following streetscape elements should be designed in Primary Theme Roads: vehicular circulation lanes, bike lanes, pedestrian walkways, landscaped medians, parkway plantings, traffic control devices, street lighting, and entry treatments where applicable (see Figures 7-2 to 7-4). Landscape palettes for Primary Theme Roads are included in the Landscaping Guidelines.

Pedestrian comfort is to be emphasized by providing a clear landscape separation between walkways and adjacent traffic lanes, and by providing shade tree canopies and appropriate street furnishings. Placement of monotonous and impersonal walls along Specific Plan Theme Roads should be avoided. Where walls are unavoidable, particular attention must be given to a comfortable pedestrian scale, and to the provision of pilasters, plan offsets and landscaping to relieve visual monotony.

## Entry Treatments

If proposed, entry treatments should be placed where shown on Figure 7-1, Streetscape Plan. Entries should generally be understated, consisting of low walls, pilasters, enhanced paving, indirect lighting, landscaping, and street furniture.

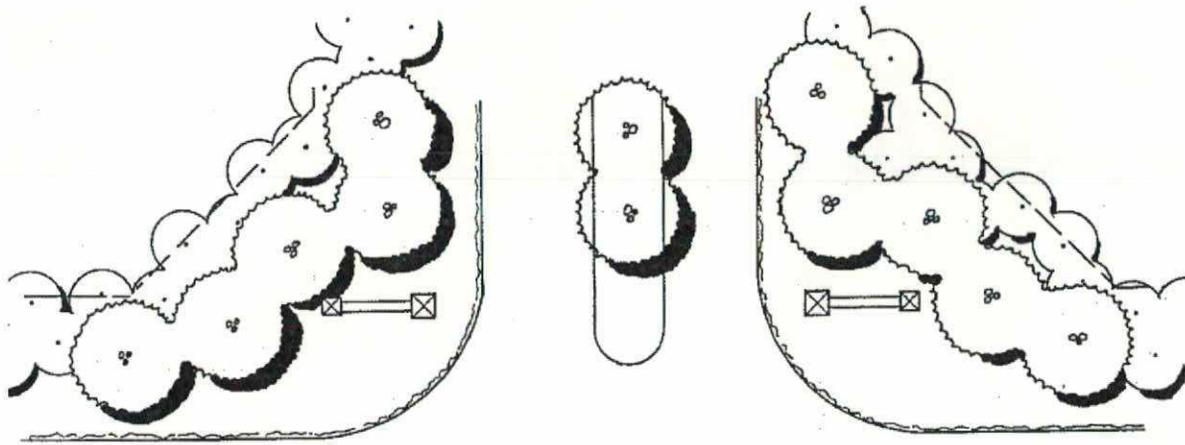
### *Community Entries*

Gated entrances should incorporate monument signage and landscaping that is compatible with the open, natural landscape character. Typical gateway entry elevations are shown in Figure 7-2.

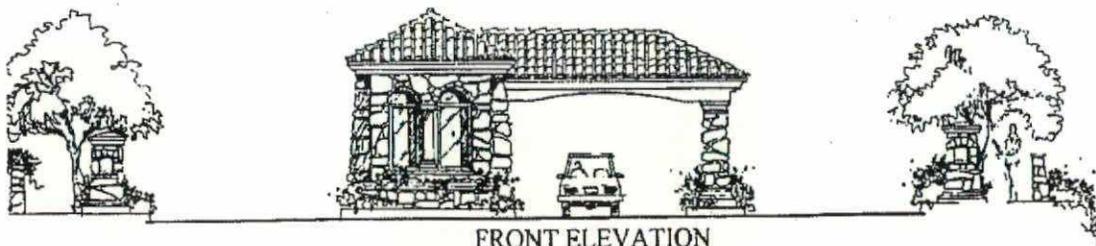
Low profile pilasters with stone cladding are recommended. The pilasters should be interwoven with low profile walls also clad with stone unifying the entry into one unified statement. Plaques naming the project should be constructed of bronze or similar materials. A grove of specimen trees with a distinctive form should spatially define the entries, with eucalyptus and pine trees as a backdrop planting. A wide median should be provided with additional planting of a specimen tree with a distinctive form. The scale of these entries should benefit the prominence of the main entry role.

### *Neighborhood Entries*

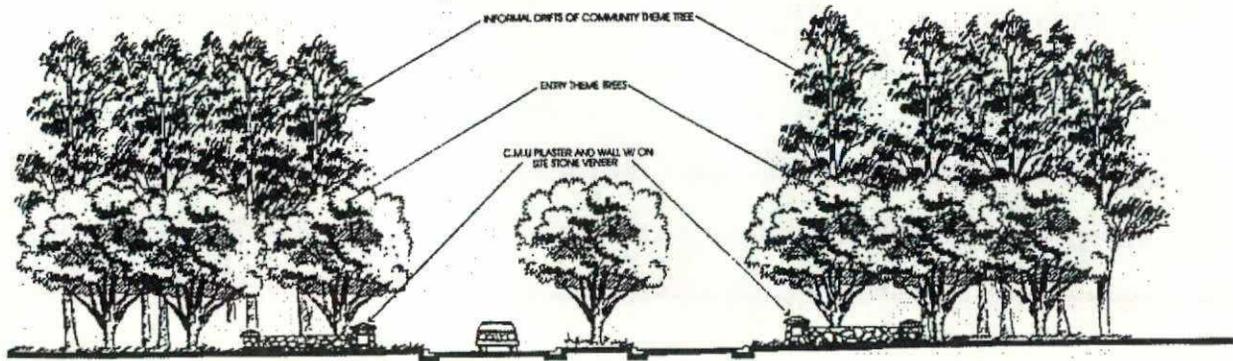
Development projects that include neighborhood entries should include refined landscape treatment, monuments, and signage to establish neighborhood character and identify while maintaining a consistent community design theme for transition from public to private streets as well as pedestrian paths. Typical neighborhood entry elevations are shown in Figure 7-3.



PLAN

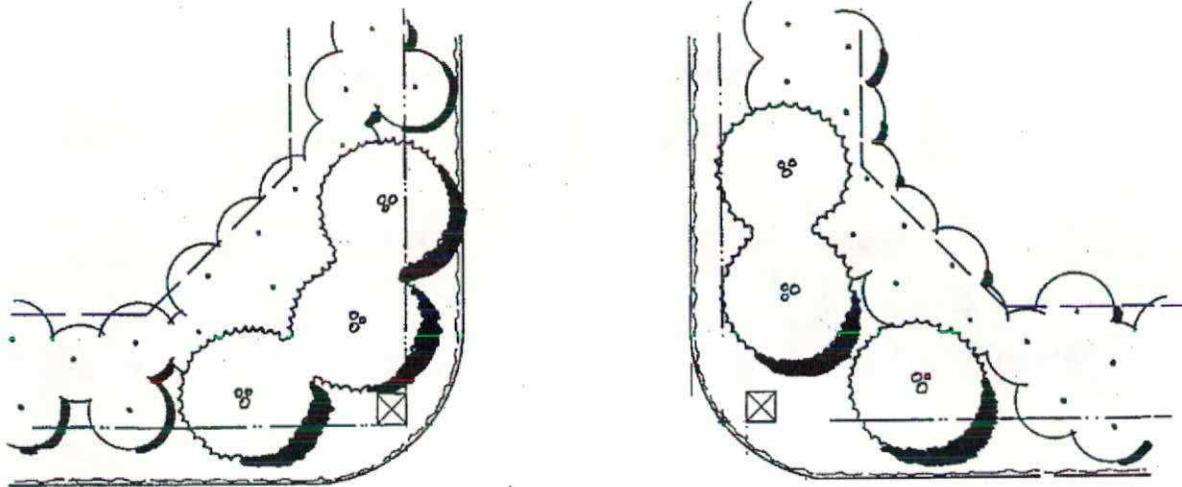


FRONT ELEVATION  
ENTRY GATE/GUARDHOUSE

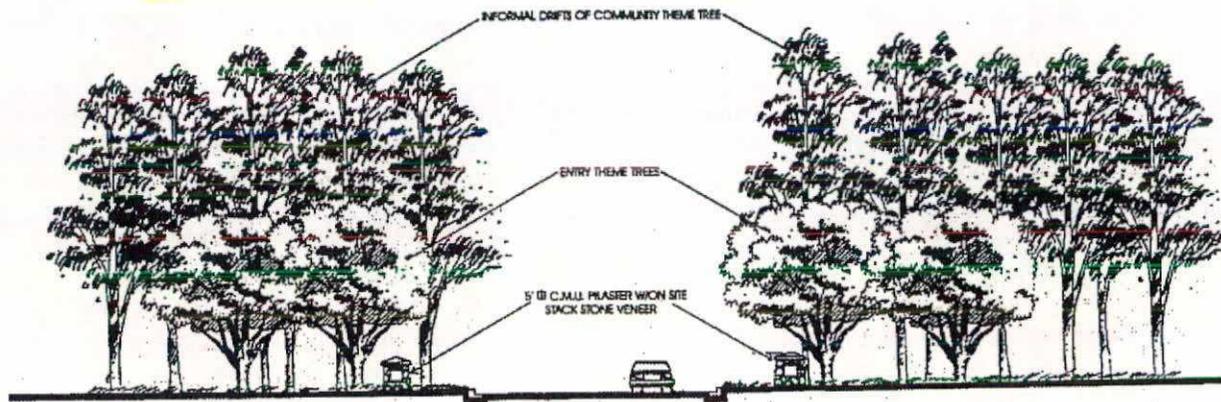


ELEVATION

Figure 7-2, Community Entry

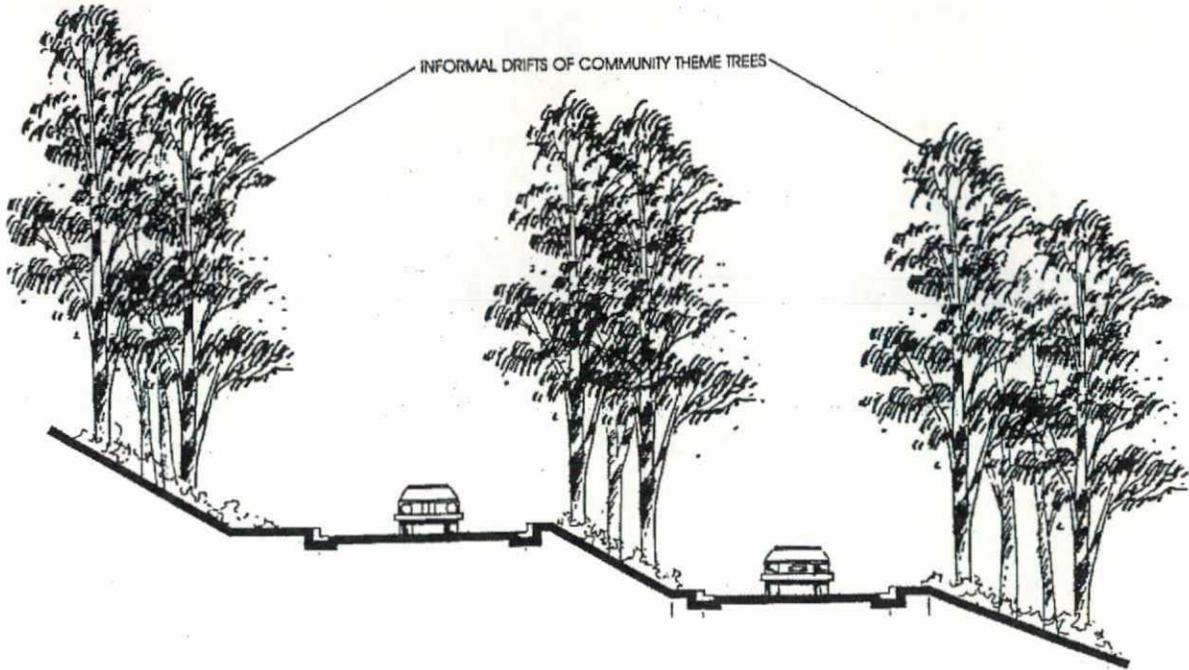


PLAN

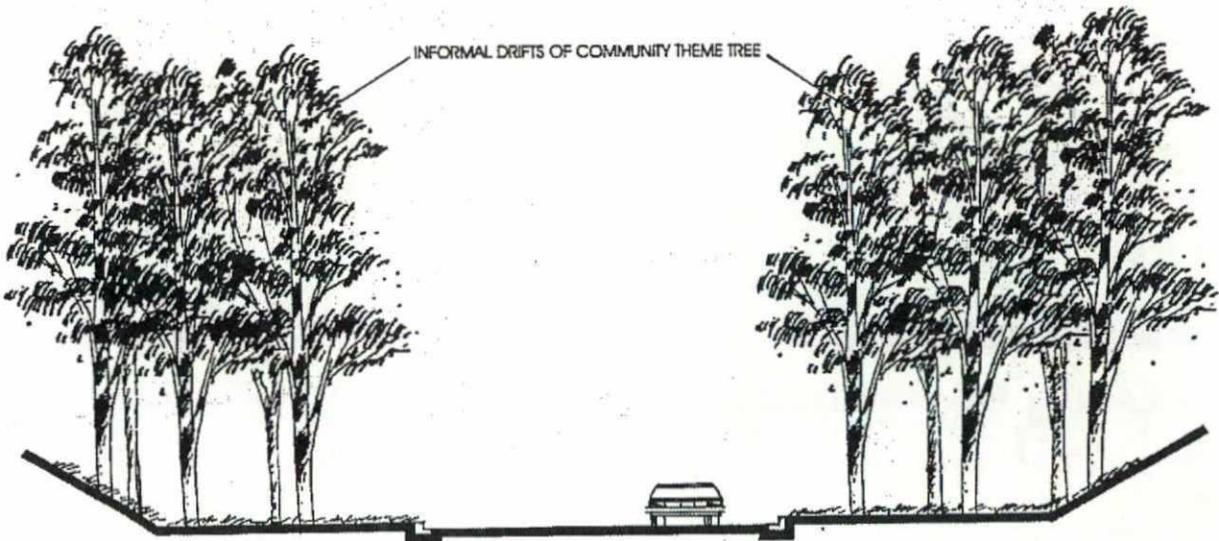


ELEVATION

Figure 7-3, Neighborhood Entry



SPLIT LEVEL ROAD



7-4, Private Theme Road

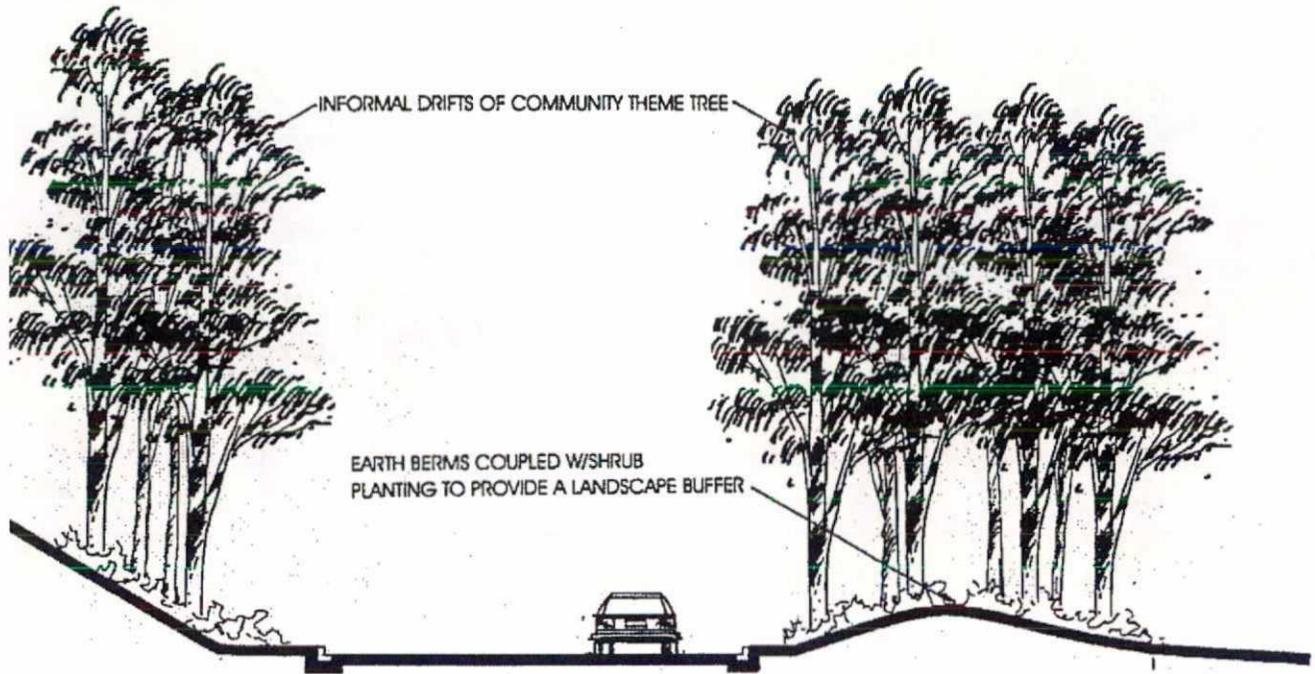
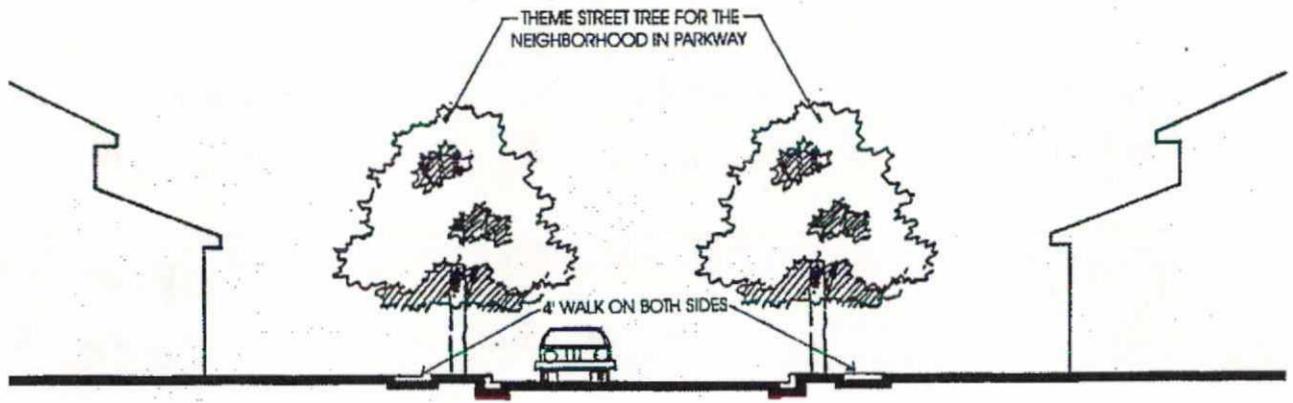


Figure 7-5, Secondary Theme Road

Low-profile pilasters with stone cladding should mark these entries. Plaques of bronze or similar materials should identify the individual neighborhoods. Groves of specimen trees with a distinctive form should be framed by eucalyptus and pines as a theme backdrop planting.

### **Pedestrian Circulation**

The planned circulation network, as shown in the Circulation Element of the Specific Plan (Chapter 5) should provide the space and alignment for adequate walkways necessary to encourage pedestrian movement and connect planned neighborhoods in the SPA. Also, parking lots, walkways, and courtyards should also be designed to promote pedestrian and bicycle movement and reduce the impersonal expansiveness of large space. Development of the neighborhood commercial area is encouraged to utilize pedestrian-scaled courtyards or plazas as a community focal point.

Multi-family and group-care housing developments should include the following:

- Each unit should have private outdoor spaces such as patios, balconies, or decks.
- A common open space area and linking walkways to the buildings.
- Extensions of trails and open space linkages that connect to common areas.
- Common open space areas located near points of entry to maximize accessibility by residents.

### **Parking Lots**

When a parking lot is located adjacent to a public or private right-of-way, design methods should be considered to reduce the visual impact of the parking lot. Suggested design methods include:

- Include an appropriately scaled planting area between the right-of-way and the parking lot perimeter. This area should be planted with shade or ornamental trees.
- Where appropriate, the right-of-way perimeter should include berms with a height of at least two and one-half (2.5) feet with slopes less than twenty-five percent for lawn areas. Berms planted with ground cover and shrubs can be steeper; however, no slope should exceed fifty percent.
- In cases where quality woodland exists in the right-of-way perimeter, preserve existing trees between the parking lot and the right-of-way. Provide additional evergreen shrubs if needed to achieve an effective visual buffer.
- A landscape strip planted with shade trees and low shrubs should be provided around parking lot perimeters on non-street edges. A minimum of one shade tree for every 30 feet of lot perimeter should be provided. However, this does not mean that shade trees must be located 30 feet on center. Additional shade trees may be necessary to effectively shade and screen parking lots.

- A minimum of ten percent interior parking lot should be provided for the purpose of shading parking lots. Landscaping should be used to delineate vehicular and pedestrian circulation patterns within the interior of the parking lot.

### **Service and Loading Areas**

All trucks or other motor vehicles must be stored inside a building or within a screened portion of the site. Provisions shall be made on each site for vehicle loading or unloading (no street vehicle loading or unloading shall be permitted). No garage-type loading doors should be located on a building façade directly facing a public street or otherwise highly visible location. All types of loading doors within view of public streets should be screened with walls, berms, or plant material.

### **Architecture**

Multi-family residential and non-residential architecture should include adaptations of regionally historic architectural styles, but also respond to contemporary concerns of function and individual expression. Architectural character should emanate from simplicity and authenticity of form and materials rather than undue ornateness.

The Neighborhood Commercial, group care, Clubhouse and Tennis Center are envisioned to be comfortable, memorable places which exhibit a character of quality and permanence. These uses should be designed as gathering places which reinforce the sense of community, connect a variety of public spaces, and are oriented to pedestrians. The

landscaping, excluding perimeter plantings, neighborhood commercial architecture should result in individually articulated shops and structures which appear to have been designed by different persons and added to the streetscape randomly over a period of time.

The Clubhouse and Tennis Center should not dominate the landscape, but rather be placed sensitively upon the land. Colors and materials should be selected to blend with the natural environs, and particular attention should be paid to roof designs and materials where such roofs are viewed from above.

Structures in the Del Dios/River Park viewshed (High and Medium Visual Sensitivity areas on Figure 4.4-12 in the Draft EIR) should be set back from ridges and bluffs wherever possible to reduce their visual impact. The visible area of the building should be minimized through grading and landscaping techniques, and careful consideration of the building massing. Cross-sectional analysis is required to investigate how pad locations, building massing, use of earth berms, or use of plant materials will minimize the visual impact of structures constructed on ridgelines or hilltop lots. Materials, finished and colors for all buildings, accessory structures, walls, and fences in the Del Dios/River Park viewshed should be selected to minimize their visual impact and to imitate the color and texture of the natural environs as much as possible. Colors should not be bright, reflective, metallic, or otherwise visually out of character with the natural setting. Colors such as white or pink that contrast with the landscape should be avoided. The use of natural materials is encouraged.

In all multi-family residential and non-residential development, there should be maximum amount of attention paid to the execution of a high quality of architectural detail. Examples include use of wrought iron railings rather than wood railings, or entry doors enhanced with carved stone. Pilaster detailing should be more intricate and there should be prominent use of ceramic tile. The allocation of architectural detail, articulation, color, texture and special features should also be determined by the anticipated intensity of pedestrian activity.

Architecture should be responsive to the hot, dry climatic conditions of Southern California. Shade should be an important element for building design and placement, indoor/outdoor spaces, and people-gathering places. Arcades, covered walkways, and trellises are examples of architectural shading devices. These structures also provide a connection between buildings, protection from the elements, encourage and define pedestrian circulation patterns, and provide unity and organization to architectural elements.

Courtyards are also an integral part of this response and should be arranged as people gathering places for residents of the Santa Fe Valley, to energize and attract people to specific areas within the Specific Plan area. Courtyards should contain a water feature and/or specimen planting, shade, and seating areas. Fountains, plazas, sculptures, clock towers and other central features can also be used as a focal point or center of confluence for several buildings grouped together.

Roof planes should slope to resemble the gradient of the natural topography. The façades of structures should be angled at varying degrees as required to follow the natural topography of the site. Long and straight building façades facing public view should be avoided. Architectural treatment should be introduced through interest-creating building mass, forms, textures and/or colors. Landscaping can also be used to create interest and/or soften building faces.

All rooftop mechanical equipment should be screened or otherwise kept from public view. Screening should be capable of providing noise reduction to applicable limits. Screening and shielding elements should be integrated with building design.

### **Walls/Fences**

Walls should be limited to those needed for screening of unsightly equipment or uses or for excessive noise mitigation. The monotonous, horizontal form of continuous walls should be relieved by landscape planting, pilasters or plan offsets. Wall hue should range from off-white to earth tones (Figure 7-6).

Outdoor refuse or storage enclosures should be constructed of solid durable walls, 6-foot minimum height, with a durable opaque gate, so as to screen all refuse containers from adjacent lots or streets. Avoid placing refuse collection or storage areas between a street and the front of the building.

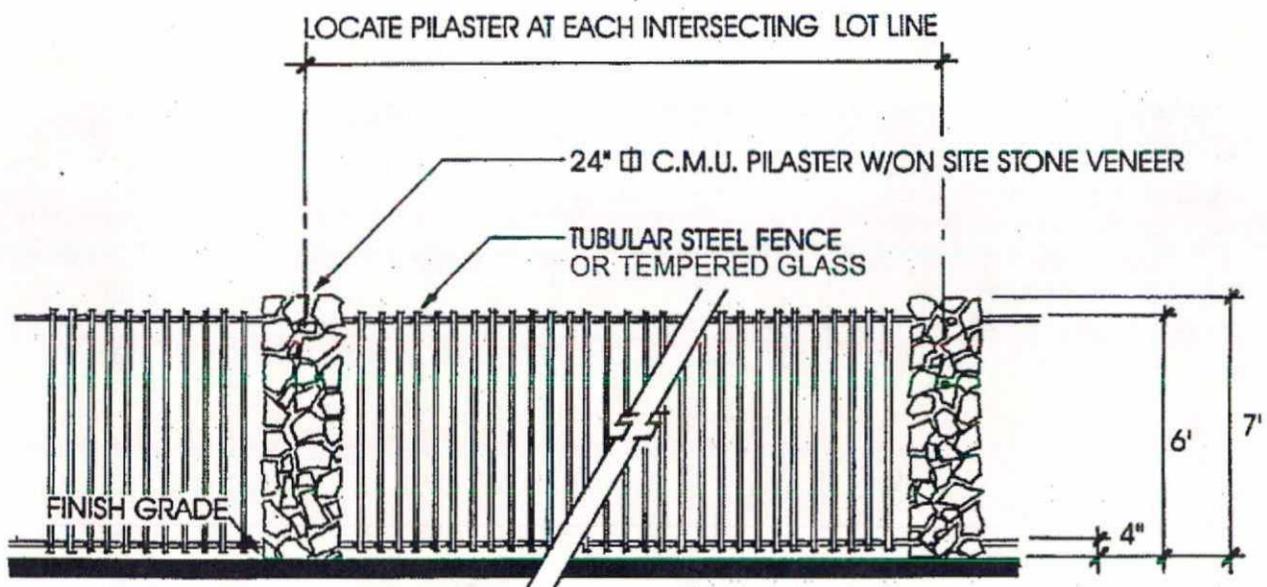
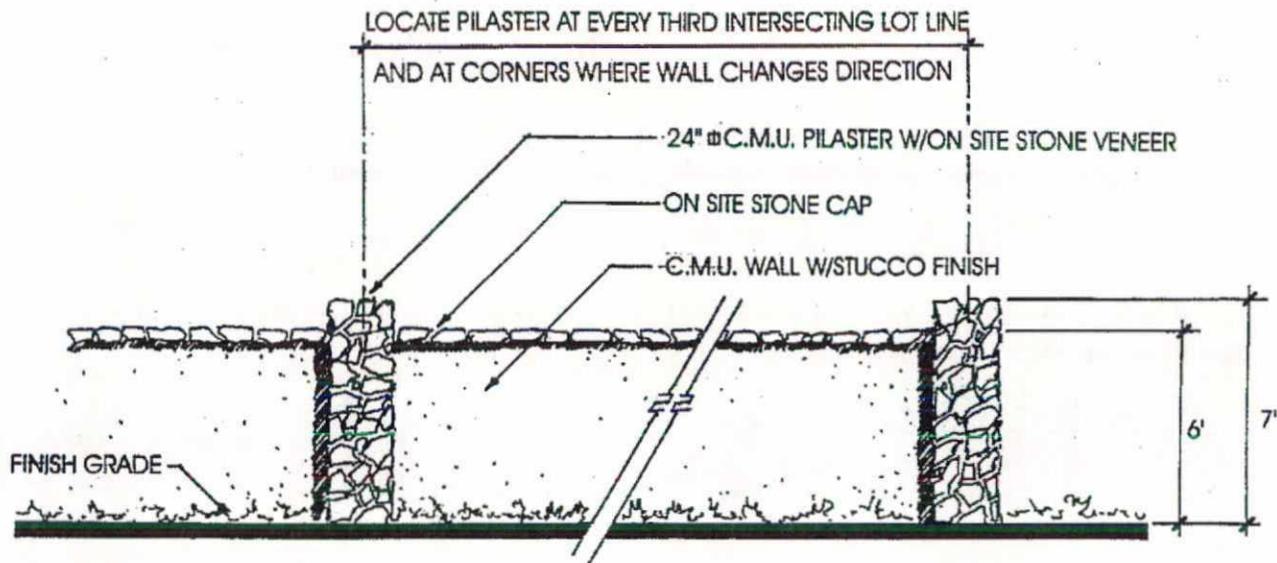


Figure 7-6, Suggested Fence & Wall Design

In the Del Dios/River Park viewshed (High and Medium Visual Sensitivity areas on Figure 4.4-12 in the Draft EIR), walls should imitate the colors and textures of the natural environs. A thirty-six inch (36") or greater planting strip should be placed adjacent to any walls highly visible from streets, golf courses, parks or other public locations.

Fences should be of open construction whenever they would otherwise block the public's visual access to scenic views. Solid fences may be used, however, if needed for noise mitigation. On hillsides, avoid placement of fences perpendicular to the major slope contours. Where unavoidable, use visually open fences to minimize their visual impact (Figure 7-6).

### Site Lighting

Heights, materials, colors, and configuration of lighting fixtures/standards should be selected to blend with the natural backdrop to the extent practical. Outdoor lighting should be energy-efficient, shielded, and screened to prevent direct rays from reaching adjacent properties. Exterior lighting should be provided to enhance the safety and security of motorists, pedestrians, and cyclists. In the event the easterly portion of Subarea II.31 is purchased for development of an Active Recreation area and the combination of Neighborhood Commercial and Active Recreation (Open Space II) are implemented, Lighting proposed in the Neighborhood Commercial area shall not be oriented towards Del Dios Highway.

Lighting fixtures should compliment building design. Unique accent lighting may be used to feature architectural elements, landscaping, entrances and pedestrian areas. However, if proposed in the Del

Dios/River Park viewshed, such treatments should be minimized and carefully controlled.

### Signs

Signs should be limited to that needed for adequate identification. Signs should be constructed of high quality and durable materials, and should be designed to coordinate with project architecture. Preferred sign types include monument signs and wall signs. Monument signs should be held as low to the ground as feasible.

The following signs are strongly discouraged:

- Roof signs or any sign extending above the highest point of a building
- Pole signs
- Temporary advertising devices and displays
- Rotating, revolving, flashing or moving signs

In the event the easterly portion of Subarea II.31 is purchased for development of an Active Recreation area and the combination of Neighborhood Commercial and Active Recreation (Open Space II) are implemented, the Neighborhood Commercial located in Planning Area II shall consist of limited signage, not extending above the highest point of a building. All signage for this area shall not be visible from Del Dios Highway.

Commercial building exterior design should anticipate signage location, size and coloration so that eventual tenants/occupants can be properly identified. Multi-tenant projects should develop a comprehensive sign program that addresses tenant as well as project sign types and locations.

## Landscaping

The Specific Plan landscape theme is meant to create a unified community reminiscent of both native and recent historical landscape traditions. This ornamental landscape theme will be created by the use of consistent introduced drought tolerant planting and landscape elements within the overall native landscape setting of the SPA.

An informal eucalyptus-planting theme should be supported by informal shrub massing (see Planting Palette). Stands of riparian tree species should be emphasized within the natural riparian and lake areas. Development projects should include consideration of the following:

- *Native Vegetation:* Existing mature, native trees and shrubs, natural rock outcroppings, and riparian areas should be preserved and special measures should be taken during any grading and construction activity to ensure that no unanticipated impacts will occur. Indigenous vegetation should be emphasized in the landscape concept. Ornamental drought-tolerant plantings which fit well with these vegetation types may also be utilized but should be limited to transition areas.
- *Vegetation Removal:* Structures and improvements should be located so as to minimize the removal of existing trees and vegetation. Any existing tree in the development area shall be shown on the tentative map, use permit or site plan application.
- *Revegetation:* Vegetation disturbed as a result of grading should be replanted and irrigated. Revegetation programs should try to use native species for reseeding as a first choice. Only if this is unavailable should revegetation programs use “non-reseeding” species to hold soil until native vegetation can be established allowing the biological community to naturally reclaim slopes and protect the slopes from erosion.
- *Invasive Species:* Invasive species *Cortaderia* spp. (Pampas grass) and *Arundo donax* (Giant reed) should not be used in any landscaping or revegetation within the SPA.
- *Planting on Slopes:* Planting along the slope side of development should be designed to allow controlled views, yet partially screen and soften architecture. Tree species type and placement should be chosen such that the tree(s) is capable of exceeding the height of the top of the slope.
- *Transition Areas:* Landscaping should make a gradual transition from ornamental to native vegetation. Planting plans should be visually sensitive to the use of plant materials in the transition zone which compliment and harmonize in color and massing with the plant materials in both the irrigated and ornamental and non-irrigated natural areas.
- *Fire Suppression Zones:* Sensitive fire suppression (fuel modification) landscape designs should provide necessary protection while striving to maintain the visual and biological integrity of native plant communities. Buffer areas should be limited to the minimum

determined by the fire protection agency and the Specific Plan Fire Management Plan.

- *Irrigation:* Irrigation systems should be water-efficient and emphasize the use of drip emitters, bubblers, and low-precipitation spray heads. An automatic controller should be installed with all irrigation systems. All planting except for existing native vegetation should be adequately irrigated and maintained to ensure viability. Lawn and shrub irrigation systems should be separate. Avoid the use of sprinkler heads to cover both shrubs/ground cover and lawns simultaneously. All street trees should be automatically irrigated.
- *Street Tree Planting:* Street trees should be related to the classification of the street (see Figure 7-1, Streetscape Plan):
  - a. *Primary Theme Roads:* Large informal shade trees provide the best continuity and interest along longer collector streets. These streets should have a single species of tree.
  - b. *Secondary Theme Roads:* Each residential streetscape should have an identifiable street tree planting giving each neighborhood a distinctive unified look.
- *Landscape Edge Zones:* Landscape edge zones are defined as the parkway and setback from any Theme Roads and shall include all visible slopes from these roads. Design of these areas should consider the following:
  - a. The landscape theme and palette at edge zones should be compatible with community-wide theme while allowing variety to be expressed for individual project landscape palettes.
  - b. The overriding landscape concept is to create an informal, attractive landscape buffer along roads and trails. Consideration must be given at all times to the presentation and enhancement of views, and landscape softening of higher-density residential areas.
  - c. Monumentation, textured paving, flowering accents, shrubs and specimen trees should be used to generate interest at entry points.
  - d. Vegetation indigenous to the area should be emphasized in the landscape concept; ornamental drought-tolerant plantings which fit well with these vegetative types should also be utilized.
  - e. Utility fixtures should be located and screened with landscaping in order to reduce their visual impact in the community.
  - f. The planting along the Theme Roads should have a feeling of continuity from start to finish.

All landscaping should be planted in informal groupings with an emphasis upon reflecting the natural character. Landscaping should reinforce the form of the land, employing mounding and rounded plant forms when appropriate. Vegetation of varying heights and textures should be placed along perimeter

walls and fences to soften hard planes by creating interest and variety.

## Planting Palette

Drought tolerant, deer tolerant, and native species should be used wherever possible to minimize water usage and maintain the natural shape and rural character of the environment. The following is a general representation of the type and range of plantings which are defined in the landscape concept. While not inclusive or exclusive, the plants represented define the intent of planting within the community.

### *Entry Treatment Areas*

- Eucalyptus cladocalyx (Sugar Gum)
- Eucalyptus torquata (Coral Gum)
- Eucalyptus sideroxylon 'rosea' (Red Ironbark)
- Pinus spp. (Pine)
- Schinus molle (California Pepper)
- Quercus agrifolia (Coast Live Oak)

### *Primary Theme Roads*

- Eucalyptus cladocalyx (Sugar Gum)
- Eucalyptus spp. (Eucalyptus)
- Eucalyptus torquata (Coral Gum)
- Pinus spp. (Pine)

### *Secondary Theme Roads*

- Acacia baileyana (Bailey Acacia)
- Albizia julibrissin (Mimosa Tree)
- Bauhinia variegata (Purple Orchid Tree)
- Eucalyptus ficifolia (Red-Flowering Gum)
- Jacaranda mimosifolia (Jacaranda)
- Koelreuteria paniculata (Goldenrain Tree)

- Lagerstroemia indica (Crape Myrte)
- Magnolia spp. (Magnolia)
- Nerium oleander (Oleander)
- Olea europaea (Olive)
- Pittosporum undulatum (Victorian Box)
- Platanus acerifolia (London Plane Tree)
- Robinia pseudoacacia (Black Locust)

### *Fuel Modification Zones*

- Cercis occidentalis (Western Redbud)
- Encelia californica (California Encelia)
- Eucalyptus cladocalyx (Sugar Gum)
- Eucalyptus sideroxylon 'rosea' (Red Ironbark)
- Heteromeles arbutifolia (Toyon)
- Mimulus puniceus (Red Monkey Flower)
- Pinus torreyana (Torrey Pine)
- Platanus acerifolia (London Plane Tree)
- Quercus agrifolia (Coast Live Oak)
- Rhus integrifolia (Lemonade Berry)
- Rosa californica (California Rose)
- Sambucus mexicana (Mexican Elderberry)

### *Golf Course Trees*

- Eucalyptus cladocalyx (Sugar Gum)
- Eucalyptus sideroxylon 'rosea' (Red Ironbark)
- Heteromeles arbutifolia (Toyon)
- Pinus torreyana (Torrey Pine)
- Platanus acerifolia (London Plane Tree)
- Quercus agrifolia (Coast Live Oak)

### *Golf Course Shrubs*

- Artemisia spp. (California Sagebrush)
- Carpernteria californica (Bush anemone)
- Ceanothus spp. (Wild Lilac)
- Cotoneaster spp. (Cotoneaster)

- *Encelia californica* (California Encelia)
- *Eriogonum* spp. (Buckwheat)
- *Heteromeles arbutifolia* (Toyon)
- *Lupinus longifolius* (Bush Lupine)
- *Melaluca* spp. (Melaluca)
- *Mirabilis californica* (Wishbone Bush)
- *Opuntia littoralis* (Coastal Prickly Pear)
- *Phacelia grandiflora* (Large-Flowered Phacelia)
- *Prunus lyonii* (Catalina Cherry)
- *Rhaphiolepis indica* (Indian Hawthorn)
- *Rhus integrifolia* (Lemonade Berry)
- *Rhus ovata* (Sugar Bush)
- *Salvia* spp. (Sage)
- *Tecomaria capensis* (Cape Honeysuckle)

#### *Golf Course Shrubs*

- *Acacia redolens*
- *Arcostaphylos* spp. (Manzanita)
- *Baccharis* spp. (Dwarf Coyote Bush)
- *Bougainvillea* spp. (Bougainvillea)
- *Ceanothus* spp. (Wild Lilac)
- *Cistus* spp. (Rock Rose)
- *Diplacus hybrids* (Monkey Flower)
- *Eriogonum fasciculatum* (California Buckwheat)
- *Eschscholzia californica* (California Poppy)
- *Iva hayesiana* (Hayes Iva)
- *Lantana camara* (Yellow Sage)
- *Lotus scoparius* (Deerweed)
- *Muhlenbergia rigens* (Deer Grass)
- *Myoporum* spp.
- *Plumbago auriculata* (Cape Plumbago)
- *Rosmarinus officinalis* (Rosemary)

This Page Intentionally Left Blank

# Chapter 8

## Development Program

### 8.1 DEVELOPMENT PHASING

In order to minimize the impacts of any new development in Santa Fe Valley on the existing and proposed land uses adjacent to the SPA, a number of major facility improvements are required to support additional development. The most critical aspect of development phasing in Santa Fe Valley is the provision of adequate public and private facilities and services to support permitted land uses in the SPA concurrent with need.

#### Non-Geographic Phasing

Due to the multiple ownership nature of the Santa Fe Valley SPA (85 property owners and 145 parcels) the development phasing is based on a non-geographic phasing strategy. The Specific Plan Development Program establishes a phasing strategy that regulates the extent and location of development based on the ability of infrastructure and community facilities to adequately support permitted land uses.

Therefore, Specific Plan development phases are defined through a range of land uses that have been coordinated with needed infrastructure and facility improvements. The identified improvements are the minimum requirements necessary to support a particular development phase. Furthermore, these identified improvements are major facilities; additional facility improvements will be required for

specific projects (See Table 8-1, Development Phasing Strategy). Ultimate buildout is expected to occur over a 20-year period.

#### Phasing Strategy

The Santa Fe Valley Phasing Strategy requires new subdivision projects to improve certain facilities and infrastructure as described in Table 8-1. This phasing strategy has been developed based on specific land use thresholds expressed as range of dwelling units or a specific land use that can be supported by specific improvement requirements that are associated with each development phase. Therefore, the circulation and community facilities improvements listed in Table 8-1, must be provided or secured for as appropriate prior to permitting the land uses listed under Land Use Threshold column. Based on the rate, location, and nature of proposed development in the SPA, the County of San Diego will condition certain discretionary permits (Tentative Maps, Tentative Parcel Maps, and Major Use Permits) to improve/provide these major facilities prior to recordation of Final Maps, Parcel Maps or in the case of Major Use Permits prior to inauguration of use.

The Specific Plan development phases are described as follows:

#### *Phase I*

The first phase of the Specific Plan with circulation access to the east allows up to 100 new dwelling units through approved subdivisions or Major Use Permits to be developed in any of the five Planning Areas.

<b>Table 8-1: Development Phasing Strategy</b>			
<b>Phase and Location</b>	<b>Land Use Threshold</b>	<b>Circulation System Improvements<sup>1</sup></b>	<b>Community Facility Improvements<sup>2</sup></b>
<b><i>Phase I</i></b> All Planning Areas with access to the east only.	Up to 100 dwelling units. <sup>3</sup>	Improvement of two lanes (28' of Pavement) of <i>Camino Del Norte</i> as far west as necessary east to connect to the existing <i>Rancho Bernardo Road</i> in 4S Ranch SPA.	Availability interim sewer treatment capacity and/or private sewage disposal system. construction of appropriate utility mains and laterals to support Phase I.
<b><i>Phase II</i></b> All Planning Areas with access to the east and south.	101-800 dwelling units, resort hotel facility, group care facility, and 9-hole golf course with clubhouse.	Extension of two lanes (28' of pavement) of <i>Camino Del Norte</i> east from the City/County boundary to existing <i>Camino Del Norte</i> interchange in 4S Ranch SPA and westerly as far as necessary to support the proposed development project. The development condition for Planning Area II in this phase of development would require the extension of <i>Camino Del Norte</i> to <i>West Loop Road</i> .	Availability of additional sewer treatment capacity, and permanent fire station or identification of funding source. Availability of reclaimed water for irrigation of a 9-hole golf course. Construction of utility mains and laterals to support Phase II.
<b><i>Phase III</i></b> All Planning Areas with access to the east and south.	801-1200 dwelling units and 7-acre neighborhood commercial.	Additional improvement of <i>Camino Del Norte</i> (from 28' to 40' of pavement) from <i>West Loop Road</i> east to <i>Camino San Bernardo</i> in 4S Ranch and <i>Four Gee Road</i> from <i>Camino Del Norte</i> intersection to <i>Camino Santa Fe</i> and <i>4S Ranch Connector Road</i> to 4S Ranch SPA.	Availability of additional sewer treatment capacity. Construction of remaining utility mains and laterals, as well as wet-weather storage sites to support Phase III.
<b><i>Western Phase<sup>4</sup></i></b> Planning Areas II & III with access to the west only.	1-300 <sup>5</sup> dwelling units and 18-hole golf course with clubhouse facility.	Bridge construction to cross San Dieguito River, and traffic signal/road improvements at the intersection of <i>Del Dios Hwy.</i> and <i>Del Dios Connector Road</i> .	Availability of fire protection services, interim sewer capacity and/or private sewage disposal system. Availability of reclaimed water for irrigation of 18-hole golf course. Construction of utility mains to support Western Phase.

**Notes**

1. Circulation improvements refer to minimum areawide improvements necessary to support the level of land use at each phase. These improvements are in addition to local improvements that may include private streets, community facilities, infrastructure, and services. Depending on the location of proposed development the actual improvement of roads may vary (i.e.: if western portion of SPA proceeds in the absence of the eastern portion, the first development project in the west will be required to install the minimum improvements identified above and if the first development project is in the east the level of off-site improvements shall only be required to serve that development.
2. These improvements only refer to major or areawide facilities, other required on-site improvements are not included.
3. The number of permitted dwelling units is in addition to dwelling units currently permitted on existing legal lots within the SPA.
4. The Western Phase is independent of other Phases. Subsequent to completion of required improvements the western phases may proceed with allocated development.
5. These 300 dwelling units are not in addition to the 1,200 dwelling units in Phases I-III; but become part of the Phase II or Phase III dwelling unit allocation, depending on the status of their improvement threshold reached.

These dwelling units are in addition to the existing lots in the SPA, which are allowed to proceed with a single-family residence on each existing legal lot. As long as the existing legal lots can meet the single-family development requirements, development is allowed to proceed (subsequent to obtaining a building permit).

The major facility improvements required by the Specific Plan to support the initial (eastern) phase of the SPA includes:

- The improvement of Camino Del Norte from the existing Rancho Bernardo Road in 4S Ranch SPA as far west as necessary to support the proposed subdivision project in the Santa Fe Valley SPA (portions of existing Artesian Road may be used for temporary connections, which will be abandoned as part of subsequent development phases);
- Improvement of sewer collection and treatment facilities to support specific development projects, as required by the RSFCSD (see Chapter 6);
- Improvement of water distribution facilities, as required by the OMWD (Chapter 6);

### *Phase II*

Once development (approved Tentative Maps and/or Tentative Parcel Maps) reaches 100 dwelling units the second phase of Specific Plan major infrastructure and facilities must be initiated by including a number of improvement conditions to subsequent discretionary permits. Approved discretionary

permits are required to secure these improvements prior to recordation of Final Map(s) and/or granting of building permits.

The development phasing strategy allows for the submittal of Tentative Map(s) or Tentative Parcel Map(s) for 101-800 dwelling units, and Major Use Permits for the group care facility of up to 200 beds, and a 9-hole golf course with clubhouse facilities. Development in this phase may take place in all Planning Areas. The circulation access for this phase will be to the south (if available) and east.

As part of this development phase, the above-mentioned discretionary permits will be conditioned to improve or secure the following facilities and services:

- Additional improvements to Camino Del Norte by extending this road east to complete its connection with the existing Camino Del Norte interchange in the 4S Ranch SPA, and also western extension as necessary to support the proposed development project in the Santa Fe Valley SPA (portions of existing Artesian Road will be abandoned once the connection to the existing Camino Del Norte interchange in the 4S Ranch SPA is completed as part of Phase III);
- Additional improvement of sewer collection and treatment facilities to the satisfaction of RSFCSD;
- Construction of additional water facilities to the satisfaction of OMWD;

- Construction of reclaimed water facilities for irrigation of the golf course to the satisfaction of RSFCSD or OMWD (Chapter 6);
- Availability of a permanent fire station facility or identification of an appropriate financing mechanism to the satisfaction of RSFFPD as described in Chapter 9, Financing Plan;
- Payment of school fees and participation in the appropriate financing mechanism as described in Chapter 9, Financing Plan.

### *Phase III*

This phase of development in Santa Fe Valley allows for development of 801-1200 dwelling units as well as a Site Plan for the neighborhood commercial area. The development in this phase may be within any of the Planning Areas. However, the access to this phase of development will be restricted to south (if available) and east.

The facility improvement conditions for this development phase include:

- Additional improvement of Camino Del Norte by widening this road from 28' of pavement (as constructed in Phase II) to 40' of pavement in the ultimate right-of-way from the intersection of West Loop Road in the western portion of the SPA to Camino San Bernardo in the 4S Ranch SPA (previously used Artesian Road to be abandoned);

- Improvement of Four Gee Road from Camino Del Norte intersection to Camino Santa Fe;
- Improvement of 4S Ranch Connector Road from Four Gee Road to the western boundary of the 4S Ranch SPA;
- Availability of additional sewer treatment capacity and construction of additional sewer mains and lateral to the satisfaction of RSFCSD, as well as construction of wet-weather storage sites;
- Additional water facility improvements to the satisfaction of OMWD.

### *Western Phase*

The western development phase allows for development of 1-300 dwelling units and a Major Use Permit for the development of an 18-hole Private Golf Club, Tennis Center, and Clubhouse facility. Due to transportation capacity limitations associated with the Del Dios Highway, development in this phase is only allowed within Planning Areas II and III.

Temporary use of portions of the Tennis Center as a sales office and golf course clubhouse is also planned in order to facilitate construction of the western phase.

These Planning Areas are required to include controlled access gates to limit through traffic and minimize circulation impacts on Del Dios Highway. Therefore, access for this phase of development in Planning Areas II and III is to the west. From a

timing and sequencing standpoint this phase is independent of other development phases in the Specific Plan.

Tentative Map(s), Tentative Parcel Map(s), and Major Use Permit conditions associated with the western phase will include:

- Construction of a bridge across the San Dieguito River and associated improvements to Del Dios Highway, installment of traffic signal improvements at the intersection of Del Dios Highway and Del Dios Connector Road;
- Construction of appropriate sewer collection and treatment facilities in accordance to the RSFCSD requirements;
- Construction of appropriate water facilities as required by OMWD;
- Construction of appropriate reclaimed water facilities for irrigation of 18-hole golf course in accordance with the requirements of RSFCSD or OMWD.
- Availability of fire protection services or participation in appropriate financing mechanism for providing the fire station.

## **8.2 DEVELOPMENT APPROVALS REQUIRED**

The Specific Plan implementation requirements are based on the regulatory provisions of the County's

Zoning Ordinance. These provisions apply to all areas of the Santa Fe Valley SPA. The use of all land in the Santa Fe Valley SPA and any buildings or structures located upon this land and the construction, reconstruction, alteration, expansion, or relocation of any building, structure or use upon the land, should conform to the applicable regulatory provisions contained herein and the San Diego County Zoning Ordinance.

As an implementation measure the preparation of a Fire Management Plan is required prior to recordation of any subdivision map and issuance of any grading plans within the SPA.

The development approvals required in the Specific Plan are intended to allow for consistent implementation of goals, objectives, and policies as contained in the Conservation and Open Space, Land Use, Circulation, and Public Facilities Elements (Chapters 3-6).

### **Zoning Reclassifications**

Currently the 3,160 acres of Santa Fe Valley SPA are predominantly zoned as S88 Specific Planning Area Use Regulations, requiring preparation of a Specific Plan. In order to implement the provisions of the Specific Plan Elements, the existing S88 zone must be reclassified in certain areas of the SPA. These areas include:

- Residential areas from S88 Use Regulations to RR (Rural Residential), RS (Single Family Residential), and RV (Variable Residential) Use Regulations;

- Open space areas (Open Space I and II) from S88 Use Regulations to S80 (Open Space) Use Regulations zone.

The S88 Use Regulations will remain on the sewage treatment plant, fire station, group care, and neighborhood commercial sites. This is due to the need for special site-specific regulations and guidelines that these uses require, which can be effectively implemented by using the S88 zone.

Figure 8-1, Generalized Zoning Map depicts the location of SPA zones in relation to existing parcels, open space, and development areas. This map is for informational purposes only. Detailed zoning maps are available in the offices of DPLU.

### Development Review Process

There are several steps in the review of development within the Santa Fe Valley SPA. Depending on the nature of proposed development, one or more of the following review procedures would apply:

- **Subdivision Maps:** Includes discretionary review of proposed land subdivision and grading, which may result in an approved Tentative Map (major subdivision, creating more than four lots) or Tentative Parcel Map (minor subdivision creating four or fewer lots). The purpose of the Tentative Map and Tentative Parcel Map is to show the design and improvements of a proposed major or minor subdivision and the existing conditions in and around the project. Upon compliance with the conditions of an approved Tentative Map or

Tentative Parcel Map, a Final Map or a Parcel Map may be recorded.

- **Use Permit Review:** This permit provides for the those land uses with special site or design requirements, operational characteristics, or potential adverse effects on surroundings, which are not permitted as of right but which may be approved upon completion of a discretionary review process and, where necessary, with imposition of special conditions of approval.
- **Site Plan Review:** A procedure, where documents containing sketches, text, drawings and maps present certain elements of a proposed development. This could include physical design, siting of buildings and structures, interior vehicular and pedestrian access, provision of improvements, and the interrelationship of these elements. Site Plan review required in the Specific Plan also includes evaluation of development impacts on environmental and visual resources. The discretionary Site Plan review may be required during subdivision and/or prior to building permit review depending on the location and nature of proposed development project.
- **Administrative Permit Review:** Typically, this discretionary permit is intended to be utilized in situations where the public welfare does not require a public hearing prior to granting permit approval for uses and structures having only minor potential adverse impact on surrounding areas. Administrative Permits may also establish entities that provide for long-term maintenance of common uses or areas, such as homeowners associations.

- **Grading Permit Review:** Pursuant to the County's Grading Ordinance any grading in Santa Fe Valley is subject to ministerial grading review. This review may result in approval of a minor grading permits, generally defined as proposed grading that does not exceed 3,000 cubic yards or a major grading permit, which exceeds 3,000 cubic yards. Submittal of grading plans is required for both minor and major grading permits.
- **Building Permit Review:** This process includes plan checks of construction documents for buildings and structures that are required to obtain a building permit. The ministerial building permit review results in the issuance of a Building Permit.

### 8.3 PROPOSED USES

The Santa Fe Valley Specific Plan Generalized Zoning Map depicts generalized zoning districts. The zoning districts include Special Purpose, Residential, and Commercial. (See Figure 8-1 Generalized Zoning Map). The precise Specific Plan Zoning Map is available at the County of San Diego DPLU. Any zone reclassification must be consistent with the Land Use Element of the Specific Plan and not the generalized zoning described in this section. The Santa Fe Valley Specific Plan includes the following zones:

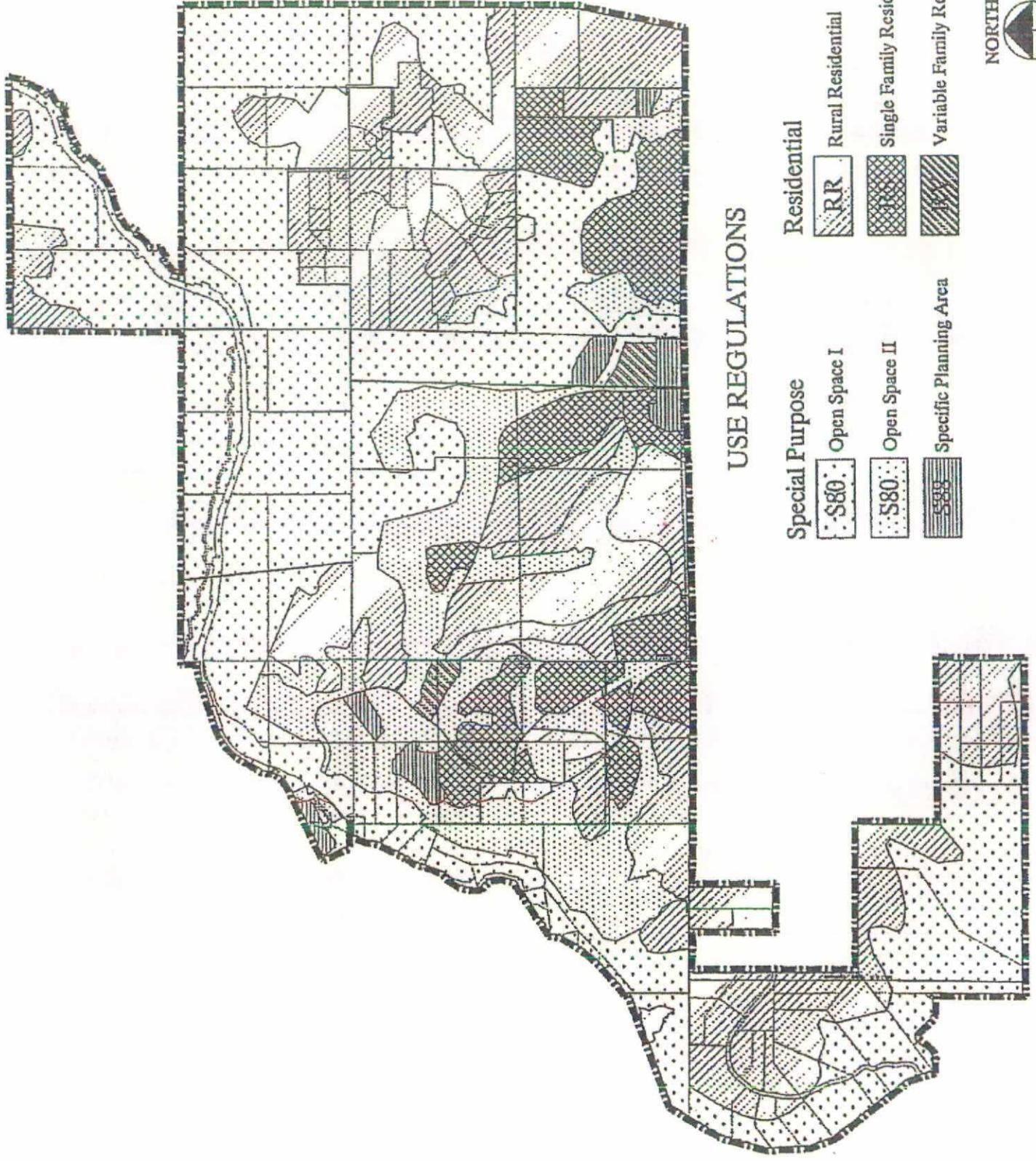
### Special Purpose Regulations

The Santa Fe Valley Specific Plan designates several areas within the SPA with Special Purpose Regulations. The purpose of these regulations is to provide detailed standards and requirements that are tailored to a specific use and/or area. These areas include the following:

#### *Open Space Use Regulations*

**Open Space I:** The Santa Fe Valley Specific Plan Generalized Zoning Map designates approximately 1,382 acres of Open Space I areas as S80 Open Space. This zone applies to lands that are intended to be preserved and maintained as permanent open space. No development is allowed within these areas except for community facilities and essential services and as identified in Policy CO-1.1. In certain areas recreational trails are permitted to be constructed in the Open Space I.

As part of Tentative Map(s), Tentative Parcel Map(s) and/or Major Use Permit(s) an open space easement over the areas designated Open Space I shall be granted to the County of San Diego unless these areas have previously been conveyed to the County of San Diego. The ownership of most of the Open Space I areas is intended to be transferred to the County of San Diego or a habitat management agency acceptable to the Director of DPLU, concurrent with or prior to the recordation of the Final Map(s), Parcel Map(s) or prior to inauguration of use in the case of Major Use Permits unless a conveyance to a habitat management agency acceptable to DPLU has previously occurred.



USE REGULATIONS

Special Purpose	Residential
 Open Space I	 Rural Residential
 Open Space II	 Single Family Residential
 Specific Planning Area	 Variable Family Residential



Figure 8-1, Generalized Zoning Map

**Open Space II:** The Specific Plan also designates approximately 410.4 acres as Open Space II. These areas are zoned as S80 Open Space Use Regulations. This designation applies to lands that are intended to allow active (golf courses and equestrian facility) and passive (trails) recreational uses and provide a buffer to permanent open space lands within Open Space I. The S80 zone provides specific use regulations for regulating land uses in planned Open Space II areas in accordance with the Specific Plan's Open Space and Conservation Element (Chapter 3).

The S80 Use Regulations for the Open Space II areas require approval of a Major Use Permit with specific site development guidelines such as landscape design standards for the golf course, and architectural criteria for the clubhouse facilities. The development standards are described in the Community Design Element of the Specific Plan (Chapter 7).

In the event the 9-hole golf course is not developed, the Specific Plan Land Use Element (Chapter 4) allows for the transfer of 18 dwelling units to a portion of Open Space II areas (Planning Area III) pursuant to approval of a Planned Residential Development application and dedication of open space easements. Also there are certain areas (Planning Area II) within the Open Space II areas that are intended to be preserved as permanent open space. These areas are depicted in the Draft EIR and dedication of open space easements will be required to ensure protection of these areas.

**Neighborhood Park:** The Specific Plan designates approximately 2.9 acres as S80 Open Space Use Regulations to allow for siting a neighborhood park

facility. The park site facility is intended to provide passive recreational uses. Conformance to the Community Design Element (Chapter 7) is also required.

**Trail Staging Area:** To allow adequate public access to public trails, the Specific Plan designates approximately 2 acres of land near the existing "dip section" river crossing as S80 Open Space Use Regulations. This development of this site is permitted through approval of a Major Use Permit. Conformance to the Community Design Element (Chapter 7) is also required.

**Pump Station:** As part of Santa Fe Valley's wastewater treatment system, Specific Plan designates approximately 1 acre of land as S80 Open Space Use Regulations. This site is permitted through approval of a Major Use Permit. Conformance to the Community Design Element is also required.

**Water Storage Site:** To provide adequate reclaimed water storage capacity during the rainy season, the Specific Plan designates approximately 16.5 acres of land as S80 Open Space Use Regulations. The site may be graded pursuant to an approved Tentative Map and as reclaimed water storage through the Major Use Permit for the sewage treatment plant.

### *Specific Planning Area Use Regulations*

The Santa Fe Valley SPA is planned to be developed as a passive and active recreational-oriented residential community. To provide for community facility and support uses the Specific Plan Land Use Element (Chapter 4) allows for siting of these non-

residential uses. In the Santa Fe Valley SPA these uses are designated as S88 Specific Planning Area Use Regulations and are intended to provide specific standards and/or limit potential uses of the property.

The provisions of The Zoning Ordinance shall prevail on properties zoned S88 where not specifically superseded by the Santa Fe Valley Specific Plan Text.

**Group Care:** To care for the aging population of this area the Specific Plan designates approximately 7.3 acres as S88 Specific Planning Area Use Regulations. This S88 zone allows for a congregate care facility of up to 200 beds to be constructed on this site pursuant to an approved Major Use Permit. Group care may include skilled nursing and full medical facilities. The site for this facility is also designated with the “D3” Special Area Designator to implement specific standards as described in the Specific Plan’s Community Design Element.

**Neighborhood Commercial:** The Santa Fe Valley Specific Plan Generalized Zoning Map designates approximately 7 acres of Neighborhood Commercial as a S88 Specific Planning Area zone. The use regulations for the neighborhood commercial sites allow a limited number of retail commercial goods and services. The intent of this zone is to create neighborhood commercial sites within walking or short driving distance of the residential areas within the Santa Fe Valley SPA.

The S88 zoning allows the neighborhood commercial centers to serve only a limited local market, and would permit only those uses which do not create increased traffic, noise, or other such

impacts considered incompatible with the residential use in the adjacent areas. The S88 Use Regulations with appropriate development designators can create a shopping area which serves low-density neighborhoods, more urbanized, high-density residential areas or transient users.

The “D3” Special Area Designator is included for this area and requires submittal of a Site Plan consistent with the Specific Plan’s Community Design Element (Chapter 7). The Site Plan criteria for the neighborhood commercial center address a range of site planning components including architectural, landscaping, site lighting, pedestrian circulation, parking, signs, etc.

**Sewage Treatment Plant:** To provide the required sewage treatment capacity to support the Specific Plan land uses, approximately 8 acres is designated as S88 Specific Planning Area Use Regulations. This S88 zone allows for siting of the facility pursuant to an approved Major Use Permit and conformance to the Community Design Element.

**Fire Station:** The Specific Plan designates approximately 3.2 acres as S88 Specific Planning Area Use Regulations for a fire station site to protect the eastern areas of the SPA (Chapter 6). This S88 zone allows for siting of this facility pursuant to an approved Site Plan. This site is also designated with the “D3” Special Area Designator to implement specific standards as described in the Specific Plan’s Community Design Element.

## Residential Use Regulations

The Specific Plan includes three Residential Use Regulations to be applied to various areas within the SPA. These Use Regulations are intended to allow residential development consistent with Specific Plan's Open Space and Conservation, Land Use, Circulation, and Public Facilities Elements (Chapter 3-6) goals, objectives, and policies. The Specific Plan's residential zones include:

### *Rural Residential Use Regulations*

Santa Fe Valley Specific Plan designates approximately 1,007.1 acres as RR Rural Residential zone. The Specific Plan applies this zone to areas that are planned as large lot single-family estate development with a minimum lot size of ½ acre or larger. The areas for this zone in the SPA generally include the Planning Areas I, III, and V. Rural Residential uses are planned on larger subareas of the SPA within previously and currently farmed rolling hills of existing parcels ranging from 40-100 acres and larger (Planning Area III) and on more rugged environmentally sensitive subareas with existing residential lots ranging from 2-20 acres and larger (Planning Areas I and V).

### *Setback*

The interior and exterior side-yard setbacks for single-family residential in Planning Area II shall be consistent with the setback designators in the San Diego County Zoning Ordinance. However, the front-yard setbacks shall vary depending on the width of the private street. Front-yard setbacks shall be the total of one-half of the private street width

plus twenty feet. The minimum front-yard setback shall be 40 feet from centerline. Table 8-2 identifies the required front yard setback for private streets less than 50 feet wide within Planning Area II.

Depending on the physical features and location of these properties, certain areas of this zone include Special Area Designators providing specific site development standards and guidelines to ensure preservation and protection of sensitive environmental and visual resources (described below). In addition, certain subareas within this zone may provide private open space and recreational amenities, such as lakes and other common open space areas. Development projects in these areas are required to establish a homeowners association implemented through an Administrative Permit or Major Use Permit.

### *Single Family Residential Use Regulations*

The Santa Fe Valley Specific Plan Zoning Map also designates approximately 272.9 acres of the SPA as RS Single Family Residential zone. The Specific Plan applies this zone to areas where medium density, detached, single-family residential uses are the dominant use. These areas include a residential density range of 1-2 dwelling units per acre with minimum lot size ranging from 7,000 to 40,000 square feet, depending on the location and site characteristics of various subareas, except in Subarea III.12, where lot sizes may be reduced through a Major Use Permit.

### *Setback*

The interior and exterior side-yard setbacks for single-family residential in Planning Area II shall be consistent with the setback designators in the San Diego County Zoning Ordinance. However, the front-yard setbacks shall vary depending on the width of the private street. Front-yard setbacks shall be the total of one-half of the private street width plus twenty feet. The minimum front-yard setback shall be 40 feet from centerline. Table 8-2 identifies the required front yard setback for private streets less than 50 feet wide within Planning Area II.

An exception to the setback regulations set forth in Table 8-2 are the following regulations that pertain only to Subarea II-30 and II-31:

- Front – 20 feet minimum from the property line or edge of the sidewalk for garages with straight-in access. 8 feet for all other parts of the residence;
- Interior Side – 5 feet;
- Exterior Side/Rear-Sides – 5 feet from property line; and
- Rear/Side-Rears – 15 feet.

The provisions of Section 4835 of the Zoning Ordinance are applicable.

A portion of the RS zoned areas includes site development guidelines for protection of environmental and visual resources. Some of the residential neighborhoods under this zone will include common open space and recreational facilities. Generally, most of this area will be served by a public sewage system and will be developed pursuant to urban and semi-urban development standards.

### *Variable Family Residential*

Approximately 62.9 acres of the SPA is designated as RV Variable Family Residential zone. In the SPA, this zone is applied to residential areas of a higher density, where attached residential uses are desired. This zone is applied to areas within the SPA that are easily accessible and have a variety of recreational amenities, such as golf courses, common open space, trails, and other planned community facilities. Compatibility with surrounding detached single-family areas is ensured through the application of the “D3” Special Area Designator, described below.

## **8.4 SPECIAL AREA DESIGNATORS**

Creation of new residential lots in the SPA is only permitted through Tentative Map and Tentative Parcel Map applications. As part of the subdivision review, compliance with the grading, landscaping, and lighting guidelines and standards of the Community Design Element is required. In certain areas Site Plan review and approval will be required to minimize environmental and visual impacts. The Site Plan review is implemented through application of three Special Area Designators. The purpose and application of these designators are summarized as follows:

“D1”: The objective of this designator is to minimize the visual impacts of residential construction on sensitive ridgeline and hillside properties in the SPA. The Site Plan standards include specific criteria for architecture, grading, landscaping, site planning, and fire prevention.

“D2”: The objective of this designator is to assure that all feasible measures are taken to protect sensitive habitat resources and environmentally sensitive areas approved for residential development in the SPA. The Site Plan standards include specific criteria for protection and conservation of Coastal Sage Scrub habitats as well as Vernal Pools and Wetland habitats.

“D3”: This designator applies to all development except single-family home development. The objective of the “D3” designator is to promote a visually unified cohesive design within the SPA. This designator’s Site Plan standards include a number of components that are described in the

Community Design Element of the Specific Plan (Chapter 7).

Development projects that include common open space areas, parkway landscaping areas and/or other common facilities will be required to process an Administrative Permit or Major Use Permit to establish a homeowners association. The purpose of the homeowners association is to provide ongoing maintenance of these areas.

**Table 8-2: Planning Area II Setback Schedule**

Designator	Front Yard Setbacks Measured from street centerline				Side Yards Setback		Rear Yard Setback
	Street Width (Feet) (street width/2) + 20 = Front Setback				Interior	Exterior(s)	Setback measured from lot line (e)
	50	46	42	40 (or less)	Setback measured from lot line	Setback measured from centerline	
H	45	43	41	40	10	35	25
I	45	43	41	40	7.5	35	25

(e) When a rear yard opens onto an alley, public park or beach, or beach, or other permanent open space, ½ of the width of such alley, public park or beach, or other permanent open space, may be considered as applying to the rear yard setback to the extent of not more than 50% of the required rear yard setback.

(s) The exterior side yards setback as measured from the nearest edge of the right-of-way shall not be less than required for the interior side yard.

This Page Intentionally Left Blank

# Chapter 9

## Financing Plan

### 9.1 FINANCING STRATEGY

The Financing Plan provides for a coordinated financing strategy to implement essential components of the Specific Plan's Open Space and Conservation, Land Use, Circulation, and Public Facilities Elements (Chapters 3-6). The financing strategy includes a variety of financing mechanisms to fund the implementation of required community services, infrastructure, and facilities that are needed to support the Specific Plan land uses. The intent of the Specific Plan's financing strategy is to fund these services and improvements through equitable participation of benefiting property owners and developers, utilizing public/private partnerships and cooperation.

### 9.2 REQUIRED FACILITIES

The *San Dieguito Community Plan* requires provision of adequate public facilities and services to support planned development in Santa Fe Valley. As described in the Development Program of the Specific Plan (Chapter 8), implementation of planned land uses is based on the ability of public/private services, facilities, and infrastructure to support development in the SPA.

There are certain "on-site" improvements that are financed by property owners as part of their individual development approvals and are not in the scope of the Specific Plan's Financing Plan. The following

summary identifies "areawide" on-site and off-site services and facilities that are required to be available at the time of need:

#### Circulation Facilities

The Specific Plan Circulation Element (Chapter 5) identifies a network of vehicular and non-vehicular transportation that is needed to support the Specific Plan land uses. The phasing of specific improvements to the transportation network are discussed in the Specific Plan's Development Program (Chapter 8) and summarized on Table 8-1, Development Phasing Strategy. The required areawide facilities include:

##### *Public Roads*

There are a limited number of public roads planned in Santa Fe Valley. The following public roads are identified as major transportation facilities that may be financed jointly by the benefiting property owners:

- **Del Dios Highway:** Santa Fe Valley benefiting property owners are responsible for signalization and road improvements to the intersection of Del Dios Highway and Specific Plan's Del Dios Connector Road.
- **Camino Del Norte:** Santa Fe Valley property owners are responsible for improvement costs for this major arterial pursuant to the Specific Plan's phasing strategy. This road is partially completed and additional phased improvements are needed to accommodate traffic generated by Santa Fe Valley development phases.

- **Four Gee Road:** Based on the needed access to several community facility sites this road is to be improved as a two lane road from Camino Del Norte to Camino Santa Fe;
- **4S Ranch Connector Road:** To provide for adequate access between community services and safety facilities in Santa Fe Valley and 4S Ranch improvement of this two lane road is required;
- **West Loop Road:** A major portion of this road is intended as a private facility. However, improvement of a segment of this road from its intersection with Camino Del Norte to existing Artesian Road is required to provide access to Santa Fe Hills and the southwestern portion of the SPA.

### *Private Roads*

A majority of roads in the SPA consist of private roads. The improvement and maintenance of these roads is the responsibility of individual property owners and/or homeowners association. The private transportation facilities include the two-lane bridge across the San Dieguito River and the required control access gate. However, major sewer and water lines and associated improvements (that serve other areas within the SPA) are needed as required areawide public facilities.

### *Recreational and Pedestrian Trails*

A number of public recreational and pedestrian trails are required to be improved as areawide facilities. The recreational trails are generally associated with the San Dieguito River Park's regional "coast to crest" trail

system. Other public trails and pedestrian pathways are provided to allow for non-vehicular access to planned community facilities and the neighborhood commercial center.

## **Community Facilities and Services**

There are a number of areawide services and facilities that are required to support the development within the SPA. These facilities and services include:

### *Fire Protection Services*

To provide for adequate fire protection services in this area a new fire station facility is needed to be located in the SPA. Due to areawide benefits received by the property owners within and outside of the SPA, the improvement and maintenance costs of this facility are to be equitably shared with all benefiting property owners.

### *Recreational Facilities*

To provide adequate active recreational opportunities for Santa Fe Valley, siting of a local park facility in the SPA is planned. Improvement and maintenance of the recreational facilities within this park are required. The specific requirements associated with the local park are included in the Specific Plan Facilities Element (Chapter 6) and depicted in Figure 6-4, Park Improvement Concept Plan.

Also, to provide for public access to the regional trail network associated with the San Dieguito River Park a trail staging facility is needed. This facility will be constructed and maintained by the San Dieguito River Park JPA, as part of the overall river park project.

### *Educational Facilities*

As part of overall educational goals for the San Dieguito Community Planning Area, two school sites are included within the SPA. The elementary and middle school sites are intended to provide adequate educational facilities for Santa Fe Valley and surrounding areas. Both facilities are within the Poway Unified School District (PUSD).

### *Wastewater Treatment Facilities*

Wastewater collection and treatment facilities as well as reclaimed water storage and distribution facilities are required to be constructed and maintained in the SPA. These facilities are intended to provide areawide wastewater treatment capacity to serve the Specific Plan land uses.

### *Water Facilities*

The development of the Specific Plan land uses is dependent upon provision of adequate potable and reclaimed water. There are a number of required water facility improvements that are identified in the Specific Plan's Public Facilities Element (Chapter 6). The areawide improvements include expansion of existing water storage sites, extension of existing water facilities as well as construction of new facilities.

### *Open Space Management*

Habitat management and maintenance services are needed to care for approximately 1,400 acres of planned open space lands within the SPA. These services are required to ensure the protection and viability of permanent open space areas as described in the Open Space and Conservation Element (Chapter 3) of the Specific Plan.

## **9.3 FINANCING OPTIONS**

The optimum strategy for financing the above mentioned facilities required to support the planned development of Santa Fe Valley is to utilize the appropriate public facilities financing mechanisms to finance the acquisition, construction and maintenance of said capital facilities. The actual public facility financing mechanisms to be utilized will be determined based upon the following key factors:

- 
- Suitability of the financing method for the specific facility improvements;
- Limits imposed by the County of San Diego and capital markets as to acceptable lien-to-value ratios; and
- Guidelines as to maximum effective tax rates.

### *General Fund*

The County of San Diego's general fund finances many public services throughout the County. Those facilities and services identified as being funded by general fund sources represent those that will benefit not only the residents of the proposed project, but also County residents outside the boundaries of Santa Fe Valley. In most cases, other financing mechanisms are available to initially construct or provide the facility or service and the general fund would only finance the maintenance costs of these facilities.

### *County Service Area*

Property owners within the County have the option of assessing their properties to fund certain activities; these activities could include planning and analysis or construction and maintenance of roads and other facilities. Currently, the San Dieguito Community Planning Area includes a County Service Area (CSA) for construction and maintenance of public parks within the community planning area. There are other CSAs within the San Dieguito Community Planning Area, which are established by the Board of Supervisors after filling a petition for formation by the affected property owners.

### *Mello-Roos Community Facilities Act*

On January 2, 1983, the Mello-Roos Community Facilities Act of 1982 became effective. This Act authorizes formation of Community Facilities Districts (CFD), which are authorized to provide the financing of certain public services or facilities through approved special taxes. The Mello-Roos Act can provide funding for the purchase, construction, expansion, or rehabilitation of the parks, recreation, or parkway facilities, fire stations, and educational facilities.

### *Assessment Districts*

This financing mechanism is utilized where the value or benefit of a particular improvement can be assigned to particular properties. Assessments are levied in exact amounts on individual properties based on the specific benefits each parcel receives from the said improvement. Special assessments may be used for both publicly dedicated on-site and off-site improvements.

Generally, public right-of-way type improvements can be financed through Assessment Districts. Assessments are levied and bonds are issued to fund the construction of public improvements. Bonded indebtedness is a collective responsibility of all parcels within the Assessment District.

The bond issue is a lien against each property with a specific assessment. Bonds are not issued to represent individual parcels but are pooled in marketable denominations. Assessments for the construction of infrastructure improvements are predominately administered through the following legislation:

- The Improvement Act of 1911
- The Municipal Improvement Act of 1913
- The Improvement Bond Act of 1915

### *Dedication*

Dedication of land by developers for public facilities is a simple and direct financing tool used throughout the State. Land dedications may include:

- Road and utility right-of ways;
- Park sites;
- Open space and trails;
- Fire station sites;
- Wastewater treatment facility sites including pump station and reclaimed water storage sites.

### *Subdivision Exaction*

The exaction of local or project level public improvements are required by jurisdictions under the Subdivision Map Act (SMA) for subdivisions. The

SMA requires individual development projects to fund and/or construct local street, utility, and associated recreational improvements. Projects are conditioned for specific exactions, where appropriate, to insure the construction of facilities, phased with the actual development.

### *Development Fees*

As an alternative to direct exaction, an increasing number of communities are requiring payments of impact or development fees to finance local public improvements. These fees compensate the community for the extra costs of public facilities caused by the development. The fee is typically collected prior to the recordation of a subdivision map or issuance of a building permit, with the proceeds placed in a fund designated for the construction of certain facilities. Generally, fees may be collected to fund traffic mitigation; parks and recreational facilities; fire services; schools; drainage and flood control facilities; as well as water and sewer facilities.

### *Developer Reimbursement Agreements*

For areawide facilities that are required to be constructed on-site, off-site and/or oversized to accommodate future development, a Developer Reimbursement Agreement provides a mechanism for future payback (reimbursement) to the developer for the additional costs of these facilities. Subsequent development projects are required to pay their “fair share” portion of the appropriate costs for a shared facility (with areawide benefits). Upon collection of a development’s share, the County may reimburse the initial developer.

### *Habitat Management*

The recently amended Lighting and Landscaping Act, California Government Code, Streets and Highways Code, Section 22500 et. Seq. allows for the establishment of a Habitat Maintenance District (HMD) for maintenance of open space areas that are dedicated to the County (or a habitat management agency acceptable to the County). An HMD is an assessment district that could be established by the County to provide long-term maintenance of natural habitats.

### *Homeowners Associations*

A homeowners association could provide funding for the maintenance costs associated with private roads, recreational facilities and/or private open space areas, which are created within individual developments. These facilities include private roads within the individual projects, private lakes and other water features, parkway landscaping on private streets, community and neighborhood entry landscaping, private trails, and other private common open space areas. Typically, Homeowners Associations are required through an Administrative Permit or a Major Use Permit to fund and maintain these types of facilities.

## **9.4 RECOMMENDED FINANCING MECHANISMS**

The public facilities and services required to support the planned development of Santa Fe Valley is intended to be financed on an equitable basis to ensure that all parcels within the Specific Plan, are equitably assessed for the benefit accruing from the public

improvements, using various sources and methods of public and private financing. Infrastructure improvements require long-term financing, however long-term financing strategies may be combined with short-term financing methods when advantageous for reasons of timing or economics with prior approval of the County. The recommended financing mechanisms that could be utilized to fund the improvement of these facilities are described below and summarized in Table 9-1, Financing Strategy Summary. The recommended financing mechanisms are provided as guidelines and should not be considered as final recommendations. Actual implementation of a specific financing mechanism will be accomplished pursuant to certain proceedings and procedures as established by special districts, County of San Diego, and relevant State and Federal laws.

Notwithstanding the decision authority of independent jurisdictions involved in facility financing, the Specific Plan financing strategy exempts Tentative Parcel Map subdividers and single family home developers on existing legal lots (as of the date of Specific Plan approval) from the obligation to finance the construction of Camino Del Norte, Four Gee Road, and the public right-of-way portions of West Loop Road and East Loop Road.

### **Circulation and Related Infrastructure**

Public roads and related infrastructure, as well as major infrastructure within private roads, can be financed by the benefiting property owners.

However, individual property owners are responsible for private roads and all other frontage improvements, including curbs, gutter, sidewalk, street lighting, parkway, landscaping, and contribution to intersection signalization.

### **Community Facilities**

Local park and certain recreational trails can be financed in part by parkland dedication, in-lieu fees and/or as an exaction in conformity with the applicable San Diego County policies. Educational facilities and fire station can be financed through annexation of benefiting properties to the appropriate financing districts.

### **Water and Sewer Facilities**

Major domestic water storage and transmission facilities will be provided by the OMWD, which will be financed through payment of connection fees. OMWD charges an installation and a capacity fee based on the anticipated volume of water expected to be used by a customer. The OMWD also collects a capacity fee for the San Diego County Water Authority, which is used for its capital improvement program. Reclaimed water services for irrigation of golf courses may also be provided by the OMWD.

Wastewater collection, treatment, and wet weather storage will be provided through annexation to the RSFCSD and payment of annexation and connection fees. This district could also manage reclaimed water facilities and provide reclaimed water to the SPA.

## Formation of Assessment Districts

Implementation of major public facilities will be through formation of appropriate Assessment Districts. The Board of Supervisors Policy F-14, Improvement Act Procedures establishes a procedure for the use of Assessment Act Proceedings in work performed and/or funded under any of the assessment district procedural and funding laws, whether initiated by petition of owners, the County or a non-county agency.

The Board of Supervisors Policies I-24, I-25, and J-16 indicate conditions under which the Board of

Supervisors may accept property owner petitions or initiate Assessment Act Proceedings themselves.

These policies authorize Assessment Districts to be initiated by petition signed by owners of more than 60% of the area.

The property owners fund all costs for construction of improvements to the time of bond sale, which follows the receipt of construction bids. The Assessment District issues bonds and charges the proportionate tax or assessment liability to each property.

**Table 9-1: Financing Strategy Summary**

Required Facility	Recommended Financing Mechanism(s)
Educational facilities	Participation in Mello-Roos Community Facilities District, payment of impact fees
Fire station construction and maintenance	Land dedication, payment of impact fees or participation in appropriate financing district
Local park construction and maintenance	Land dedication, applicable requirements of Park Improvement & Financing Plan, CSA participation for maintenance
Potable and reclaimed water facilities expansion, construction, and maintenance	Payment of OMWD capacity, connection, and installation fees
Wastewater and reclaimed water treatment facilities and construction and maintenance	Payment of RSFCSD annexation capacity fees, User Fees, and Connection Fees
Transportation facility construction	Formation of Assessment Districts and/or establishment of Reimbursement Agreements for areawide public roads
Private open space and trail management and maintenance	Establishment of Homeowners associations
Trail staging area	Responsibility of River Park JPA for construction and maintenance
Natural Habitat Protection and Management	Formation of a Habitat Management District and/or applicable requirements of Habitat Management Plan

## **Habitat Management District**

The County could, by ordinance or by resolution that is adopted after public notice and hearing, establish an HMD to provide for the improvement and maintenance of natural habitat. The County may perform the habitat maintenance functions or contract with the State, another local agency, a special district, or other entities. If the County establishes a district, it may provide for the levy of assessments to finance the development and implementation of a long-term Habitat Management Plan.

**APPENDIX A**  
***ACKNOWLEDGMENTS***

This Page Intentionally Left Blank

## COUNTY OF SAN DIEGO

### *San Diego County Board of Supervisors – 1995*

Greg Cox (District 1)  
Dianne Jacob, Chairwoman (District 2)  
Pam Slater (District 3)  
Ron Roberts, Vice Chairman (District 4)  
Bill Horn (District 5)

### *San Diego County Planning Commission - 1995*

Michael Beck  
Leon Brooks, Jr.  
Micheal Edwards, Chairman  
David Kreitzer  
Gary Piro  
Bryan Woods, Vice Chair  
Raymond York

### *San Dieguito Planning Group - 1995*

Betty Grehl (Seat One)  
Paul Marks (Seat Two)  
Elizabeth Cope (Seat Three)  
Vacant (Seat Four)  
Patricia Newton, Secretary (Seat Five)  
Martha McCarter (Seat Six)  
Joe Coberly (Seat Seven)  
Bill Schlosser (Seat Eight)  
Tina Robinson (Seat Nine)  
Marvin Golden, Vice Chair (Seat Ten)  
Robert Baldwin (Seat Eleven)  
Jack McGee (Seat Twelve)  
Lois Jones, Chair (Seat Thirteen)  
Donald Wills (Seat Fourteen)  
Eric Spector (Seat Fifteen)

### *Santa Fe Valley Subcommittee*

Lois Jones, Chair, San Dieguito Planning Group  
Kay Kilourie, Fairbanks Ranch Association  
Dave Abrams, AICP, Fairbanks Ranch Association  
Bill Schlosser, San Dieguito Planning Group  
Marv Golden, San Dieguito Planning Group  
Karen Berger, San Dieguito River Land Conservancy  
James Hare, AICP, Rancho Santa Fe Association

### *San Diego County Administration*

David Janssen, Chief Administrative Officer  
Lari Sheehan, Deputy Chief Administrative Officer  
William Taylor, Deputy County Counsel  
Trish Boaz, Land Use Aide, District 3  
Katharine Cresto, Land Use Aide, District 3  
Julie Hamilton, Land Use Aide, District 3

### *Department of Planning and Land Use*

Robert Copper, Director (Acting)  
Gerald Hermanson, Deputy Director  
Dennis Verrilli, Chief  
Robert Asher, Chief  
Joan Vokac, Chief  
Janel Pehau, Chief  
Kaare Kjos, Chief  
Tom Oberbauer, Regional Planner  
John Desch, AIA, Regional Planner  
Susan Porter, Regional Planner  
Nancy Whalen, Regional Planner  
William Stocks, Associate Planner  
Cynthia Kallmeyer, Senior Planner  
Joe Cibit, Senior Planner  
Steve Denny, Associate Transportation Specialist  
Steve Lister, Associate Planner  
John Patterson, County Hydrologist  
Dave Nagel, Environmental Management Specialist III

Gary Fink, Environmental Management Specialist III  
Marina Brand, Environmental Management Specialist III  
Alex Segal, Environmental Management Specialist III  
Laura Brenner, GIS Analyst  
Joe Babb, GIS Analyst  
Aldrik Shultz, Student Intern  
Judy Stafford, Student Intern  
Brad Rosen, Student Intern

***Department of Parks and Recreation***

Anne Rast, Chief  
Noel Parr, Jr., Chief  
Matt Bohan, Park Project Manager

***Department of Public Works***

David Solomon, Deputy Directory  
Dwight Smith, Deputy Directory  
Douglas Isabell, Deputy Directory  
Ann Hicks, Chief  
Gary Cane, Principal Civil Engineer  
Hoa Tran, Ph.D., Principal Civil Engineer  
Joe Hill, Senior Engineer  
Robert Hoglen, Senior Engineer  
Allen Holmquist, Jr., Senior Civil Engineer  
Hung Tran, Civil Engineer  
Richard Doane, Civil Engineer  
Kent Johnson, Civil Engineer  
Richard Brown, Land Surveyor  
Bob Borntreger, Project Manager  
Robert Wertz, Engineering Tech III

***San Diego County Sheriff***

Robert Schmitt, Manager of Planning and Research  
Carol Decker, Planning and Research Analyst

**OTHER AGENCIES**

***U.S. Fish and Wildlife Service***

Nancy Gilbert, Supervisor of MSCP  
Ellen Berryman, Fish and Wildlife Biologist

***State of California Department of Fish and Game***

William Tippets, NCCP Field Supervisor  
Theresa Stewart, Associate Wildlife Biologist

***San Diego Association of Governments***

Michael Hicks, Senior Transportation Planner  
Daniel Hildebrand, Transportation Planner

***City of San Diego***

Allen Holden, Jr., Deputy Director  
Labib Qasem, Associate Traffic Engineer  
Miriam Kirshner, Senior Planner  
Andy Watson, Community Planner  
Chris Zirkel, Associate Planner  
Marcella Escobar, Associate Planner

***San Dieguito River Park Joint Powers Authority***

Diane Coombs, Executive Director  
Susan Carter, Deputy Director  
Victoria Touchstone, Principal Planner  
Garnet Roehm, Ranger/Trails Coordinator

***Olivenhain Municipal Water District***

David McCollom, General Manager  
Harry Ehrlich, Assistant General Manager  
Frank Fontanesi, General Services Director  
Daniel Hippert, Director Parks and Landscaping  
Jerry Campbell, PE, Boyle Engineering Corp.  
George Briest, PE, Boyle Engineering Corp.

***Rancho Santa Fe Fire Protection District***

Irwin Willis, Chief  
Dallas Neville, Jr., Deputy Chief, Fire Marshal  
Diedre Wood, Fire Prevention Specialist

***Rancho Santa Fe Community Services District***

John Pastore, General Manger

***Poway Unified School District***

Alicia Kroese, Director of Planning  
Alice Murphy, Planning Analyst

***Solana Beach Elementary School District***

Eleanor Thompson, Facilities Planning  
Mike Castanos, Director, Business & Personnel

***San Dieguito High School District***

Eric Hall, Director of Administrative Services

***Escondido Union Elementary School District***

Anne Kelly, Assistant Superintendent  
Tim Tronson, Director of Facilities Planning

***Escondido Union High School District***

David Jenkins, Assistant Superintendent

***Rancho Santa Fe Elementary School District***

Dr. Roger Rowe, Superintendent

***Sierra Club***

Linda Michael

***Friends of San Dieguito River Valley***

Poppy Demarco-Dennis

**PARTICIPATING SANTA FE VALLEY  
PROPERTY OWNERS AND THEIR  
REPRESENTATIVES**

***Planning Area I***

Jim and Lucia Stark  
Ron Clark  
Frank Greco, T&B Planning Consultants  
Douglas Boyd, T&B Planning Consultants  
Marcello Mastrocola  
Albert Kline  
Mahmoud Maheronnaghsh  
John and Gwen Mecklenberg  
Jay Merati  
Edward Nissan  
Jean Simms

***Planning Area II***

Michael Flynn, Santa Fe Valley Land Company  
Norman Smith  
Dennis O'Neil, PE, O'Neil Engineering  
Mark Lorge, ASLA, FORMA  
Van Stephens, ASLA, FORMA  
Ross Sutherland, AIA, Dahlin Group  
Sean Finnigan, FORMA  
June Collins, Dudek & Associates  
Thomas Seaton, MD  
Thomas Weber, Weber & Associates  
Paul Gaff, Alliance Land Planning & Engineering  
Craig Witaker, Alliance Land Planning & Engineering

**INTEREST GROUPS**

***San Dieguito River Valley Land Conservancy***

Jan Fuchs  
Karen Berger

Robert Muzzy  
Arlene Sacks  
Lawrence Speregel, MD  
James Barter  
Bruce Geier

***Planning Area III***

Edward McCrink  
Laurel McCrink  
James Laret, PE, Laret Engineering Company Inc.  
Gregory Smith, Taylor Smith Company  
Jack Reeves, Reeves Engineering Company  
Anthony Lettieri, AICP, Lettieri-McIntyre & Associates  
Janay Kruger

***Planning Area IV***

Donald White, Phase One Development Inc.  
Cynthia Elred, Soloman, Ward, Seidenwurm & Smith  
Robert Gehrke, PE, RBF/Sholders & Sanford  
Karen Ames, RBF/Sholders & Sanford  
Michael Lombardi, Stonebridge Holdings  
Mathew Sokach

***Planning Area V***

Jerome and Joyce Shaw  
Rachel Shaw  
Rebecca Micheal, Peterson & Price  
James Roberts, PE, Roberts Engineering  
Mathew Little, Roberts Engineering  
Barry Jones, Sweetwater Environmental Biologists  
Bruce Warren, AICP, Warren & Associates  
Bruce Cavanaugh  
Sharon Golem Parkhouse  
Bill & Marsanne Brammer  
Rolf & Ingrid Dethlefsen

Gary & Maxine Kreitzer  
Ben & Carol Stedman  
Randy & Dawn Carter  
Mr. & Mrs. Koons  
Ben & Holy Bond  
Larry & Joan Himmel

**NEIGHBORHORING  
COMMUNITIES**

***Rancho Santa Fe Association***

Walter Ekard, Manager  
James Hare, AICP, Planning Director

***Fairbanks Ranch Association***

Dave Abrams, AICP, Planning Director  
Kay Kilourie

***Rancho Cielo Development, Inc.***

Mark Middlebrook, General Manager

***Black Mountain Ranch***

Wayne Hill, PIA San Diego Inc.  
William Dumka, AIA, Rick Engineering Company  
Gail MacLeod, MacLeod Consulting Services

***4S Kelwood General Partnership***

Dennis M. Moser, AIA, General Manager  
Gary Wood, AIA, P&D Consultants, Inc.  
Lee Vance, Vance & Associates  
Michael Rust, PE, Development Manager

***Santa Fe Hills***

Tina Robinson  
John Silverwood  
Jim Harrison  
Sharryn Mounts  
Leslie Freedle

## PROJECT CONSULTANTS

### *Shapouri & Associates, Project Management Services*

Ali Shapouri, AICP, Principal Planner

Michael Shapouri, PE, Principal Engineer

Ray Shapouri, Principal Programmer

Moji Soltani, GIS Manager

### *OGDEN, Environmental and Energy Services*

Shawna Anderson, AICP, Project Manager

Rick Carpenter, Environmental Analyst

Lori Walker, Environmental Analyst

Debbie Turner, GIS Specialist

Daniel Kelly, Biologist

Richard Carrico, Cultural Resources Manager

### *Kimley-Horn and Associates Inc., Transportation Planning*

Herman Basmacıyan, PE, Vice President

### *Economic Research Associates*

William Anderson, AICP, Principal

### *Brian Grunwald and Associates, Architecture, Planning, and Urban Design*

Brian Grunwald, AIA, AICP, Principal

### *Spurlock and Poirier, Landscape Architects*

Andrew Spurlock, ASLA, Principal

Martin Poirier, ASLA, Principal

### *John Powell & Associates, Consulting Civil Engineers*

Paul Cooley, PE, Vice-President, Project Manager

Mark Elliot, Senior Project Engineer

### *Project Design Consultants, Planning, Engineering, Surveying*

William R. Dick, PE

### *Nicklaus Design, Golf Course Designers*

Tom Pearson, Senior Design Associate

### *Hunt Research Corporation, Fire Management Consultants*

James Hunt, Principal

### *The Environmental Trust, Land Conservancy and Habitat Management*

Don Hunsaker II, PhD, President

Micheal Penner, Manager

### *Hunsaker & Associates San Diego, Inc.*

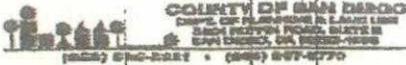
Dan Rehm, AICP

This Page Intentionally Left Blank

# **APPENDIX B**

## ***PUBLIC SERVICE AVAILABILITY LETTERS***

This Page Intentionally Left Blank



PROJECT FACILITY AVAILABILITY FORM

WATER

W

Please type or use pen

Jerome Shaw (714) 921-5408  
 Owner's Name Phone

7245 Rue de Roark  
 Owner's Mailing Address Street

La Jolla CA 92037  
 City State Zip

ORG \_\_\_\_\_

ACCT \_\_\_\_\_

ACT \_\_\_\_\_

TASK \_\_\_\_\_

DATE \_\_\_\_\_ AMT \$ \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION TO BE COMPLETED BY APPLICANT

A.  Major Subdivision (TM)  Specific Plan or Specific Plan Amendment  
 Minor Subdivision (TPM)  Certificate of Compliance:  
 Boundary Adjustment  
 Rezone (Reclassification) from \_\_\_\_\_ to \_\_\_\_\_ zone.  
 Major Use Permit (MUP), purpose: \_\_\_\_\_  
 Time Extension Case No. \_\_\_\_\_  
 Expired Map Case No. \_\_\_\_\_  
 Other \_\_\_\_\_

B.  Residential Total number of dwelling units 37  
 Commercial Gross floor area \_\_\_\_\_  
 Industrial Gross floor area \_\_\_\_\_  
 Other Gross floor area \_\_\_\_\_

C. Total Project acreage 123.44 Total number of lots 47

D. Is the project proposing the use of groundwater?  Yes  No  
 Is the project proposing the use of reclaimed water?  Yes  No

Owner/Applicant agrees to pay all necessary construction costs, dedicate all district required easements to extend service to the project and COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Assessor's Parcel Number(s)  
 (Add extra if necessary) See attached

678	060	28
678	060	29
678	060	31
678	060	32

Thomas Bros. Page 1169 Grid D1  
 Santa Fe Valley SPA 4 Gee Road  
 Project address Street  
 San Dieguito Community Planning  
 Community Planning Area/Subregion  
 Zip 92127

Applicant's Signature: [Signature] (A.C.I. HERRERA) Date: 11-8-04

Address: P.O. Box 676221 Rancho Santa Fe, CA 92067 Phone: 858-756-8340

(On completion of above, present to the water district to establish facility availability. Section 2 below.)

SECTION 2. FACILITY AVAILABILITY TO BE COMPLETED BY DISTRICT

District name Olivenhain MWD Service area Zone D/17

A.  Project is in the district.  
 Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.  
 Project is not in the district and is not within its Sphere of Influence boundary.  
 The project is not located entirely within the district and a potential boundary issue exists with the \_\_\_\_\_ District.

B.  Facilities to serve the project  ARE  ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached \_\_\_\_\_ (Number of sheets)  
 Project will not be served for the following reason(s): \_\_\_\_\_

C.  District conditions are attached. Number of sheets attached: 3 sheets  
 District has specific water reclamation conditions which are attached. Number of sheets attached: \_\_\_\_\_  
 District will submit conditions at a later date.

D.  How far will the pipeline(s) have to be extended to serve the project? TBA

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized signature: [Signature] Print name: Karen Ogawa

Print title: Engineering Coordinator Phone: 760-632-4642 Date: DEC 04

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT.  
 On completion of Section 2 by the district, applicant is to submit this form with application to the Zoning Counter at the Department of Planning and Land Use, 5261 Ruffin Road, Suite B, San Diego, CA 92123.

Sep 30 2003 9:35

Shapouri & Associates

858-758-8344

P.3

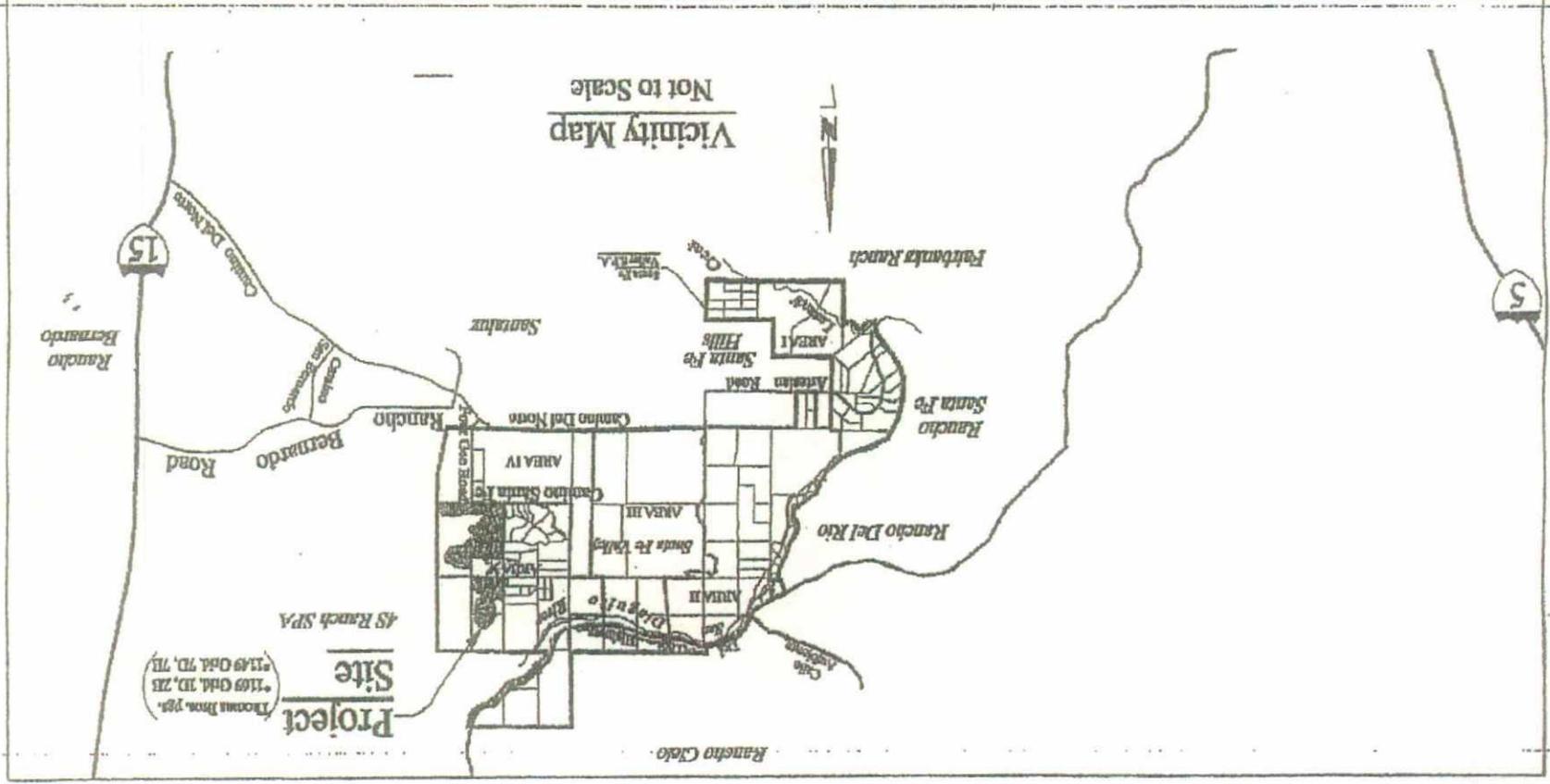
Assessor Parcel Numbers (cont'd)

Project Name: Shaw (Santa Fe Valley) TM 5081 RPL3

6	7	8
6	7	8

0	6	0
0	2	0

3	3
1	7



Board of Directors

Robert F. Topolovac, *President*  
Susan J. Varty, *Vice President*  
Thelma M. Miller, *Treasurer*  
Harold L. Gano, *Secretary*  
Mark Muir, *Director*



General Manager  
David C. McCollor  
Deputy General Manager  
Harry Ehrlich  
Assistant General Manager  
Kimberly A. Thorne  
General Counsel  
Wesley Peltzer

1966 Olivenhain Road, Encinitas, California 92024 | Phone (760) 753-6466 | Fax (760) 753-1578 | www.olivenhain.com

County of San Diego  
DEPT. OF PLANNING & LAND USE  
5201 Ruffin Road, Suite B3  
San Diego, CA, 92123

December 05, 2004

Re: Tax Assessors Parcels # 678-060-28, 678-060-29, 678-060-31  
678-060-32, 678-060-33 and 678-020-17

Subject: Water Availability Letter / Jerome Shaw  
Supplement to County Form 399W

The fee owner, Jerome Shaw (Applicant), has requested the District to provide a Water Availability Letter for the property identified above for a proposed project Applicant described as: Major Single Family Residential Subdivision. This property is in the District and eligible to receive domestic service at this time.

The District has or will have adequate facilities in this area. There is or will be capacity in these facilities to serve the proposed project at the time requested. Water service is or will be available at the time requested at a minimum of 25 psi pressure at the District's main under normal operating conditions and upon completion of all necessary facilities, including any required onsite and offsite water lines, appurtenances, or facilities as required and noted below, at the District's sole discretion. However, all water received by the District is imported from other agencies. Accordingly, there is no guarantee that water will be available when service is requested.

The District has been requested to furnish a staff estimate, based on current conditions, of the availability of water service in this area. This letter is issued for planning purposes and is not a representation, express or implied, that the District will provide service at a future date. Commitments to provide water service are made only by the District's Board of Directors and are subject to the applicants compliance with the Districts' fees, charges, rules and regulations, the Environmental Quality Act of 1970, as amended, and the applicants' agreement to construct any required onsite and off site facilities together with the Applicant's providing security as required by the District for construction of those facilities.

**The issuance of this Water Availability Letter does not grant the Applicant any water rights. The Applicant does not secure a right to water until application for service**

is made and approved by the District, and the Applicant has complied with all requirements of the District.

The failure of the Applicant to pay any fee or charge of the District's when due, or to comply with other requirements of the District, shall entitle the District to unilaterally terminate this Water Availability Letter, and all further rights of the Applicant to water service.

Improvement fees, when applicable, are paid to the District to reserve future water service for the project contingent upon the Applicant paying all fees and charges and complying with all requirements of the District. The payment of all improvement fees by the date they are due is an express condition precedent to any right of the Applicant to receive future water service. The failure of Applicant to make any improvement fee payment by the date it is due shall automatically terminate the right of Applicant to receive future water service and no previous improvement fee payments paid by the Applicant shall be refunded. Reinstatement of the water commitment requires Applicant to remedy any defects or deficiencies and payment of fees and charges applicable, as determined by the District, in its sole discretion.

This commitment to water service availability is conditioned on the following requirements and/or limitations:

1. Payment of all improvements fees, as appropriate, when due in accordance with District Ordinance 301, or successor Ordinance, not attached hereto, but incorporated herein by reference.
2. Applicant is required to have a hydraulic analysis done by the District's consulting engineer to ascertain the impact of the project on the District's water system.
3. Applicant is required to provide all fee and easements as required for construction of onsite and offsite facilities as required by the District, in its sole discretion.
4. Applicant is required to construct all onsite and offsite facilities as required by the District, in its sole discretion.
5. Applicant is required to execute District Agreement for pipeline construction and furnish all necessary documents for insurance, bonding, and pay all District's charges as they are invoiced.
6. In accordance with District Assessment District 96-01, not attached hereto, but incorporated herein by reference, lots of ½ acre or less may have a ¾ inch meter installed unless owner chooses to upgrade the meter and pay the additional fees and charges. Lots greater than ½ acre but less than 3 acres require one-inch meters to be installed. Lots in excess of 3 acres require a minimum 1½ inch meter to be installed. Larger meters may be required by the District, in its sole discretion.

Water Availability Letter  
Project: Shaw, WO 554700

If it can be demonstrated that lots of a given area are not useable in gross, a deviation in meter size may be made with the concurrence of the District Engineering Manager.

7. The District may require larger meters than the Assessment District 96-01 lot size criteria would dictate if the individual residence requires water service greater than can be accommodated by the standard ¾ inch meter irrespective of the lot size, in its sole discretion.
8. Applicant is required to comply with District Ordinance 280 for the mitigation of impacts to the District's Assessment District 96-1. Ordinance 280 requires an executed agreement to request increased EDU's that this project requires. The Applicant is responsible for payment of all fees and charges as outlined in the executed agreement.

This letter of water availability pertains solely to the proposed project as described by Applicant, is not transferable to any other project, and is not transferable to any other owner or developer without written permission of the Board of Directors of the District. Any purported transfer, sale, or assignment of this Water Availability Letter without the prior written consent of the District renders this letter null and void.

This letter automatically terminates, and is of no further force or effect, on the occurrence of: (1) December 05, 2005 without an approved tentative map; (2) termination of any tentative map; (3) termination of any final map; or (4) five years from the date of recordation of any final map.

**OLIVENHAIN MUNICIPAL WATER DISTRICT**

By:   
Karen Ogawa  
Engineering Coordinator



PROJECT FACILITY AVAILABILITY FORM

SEWER

Please type or use pen

Owner's Name: Jerome Shaw (714) 921-5408  
 Phone: \_\_\_\_\_  
 Owner's Mailing Address: 7245 Rue de Roark  
 Street: \_\_\_\_\_  
 City: La Jolla State: CA Zip: 92037

ORG: \_\_\_\_\_  
 AOC: \_\_\_\_\_  
 ACT: \_\_\_\_\_  
 TASK: \_\_\_\_\_  
 DATE: \_\_\_\_\_ AMT: \_\_\_\_\_

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A.  Major Subdivision (TM)  Certificate of Compliance: \_\_\_\_\_  
 Minor Subdivision (TPM)  Boundary Adjustment  
 Specific Plan or Specific Plan Amendment  
 Rezone (Reclassification) from \_\_\_\_\_ to \_\_\_\_\_ zone  
 Major Use Permit (MUP), purpose: \_\_\_\_\_  
 Time Extension ... Case No. \_\_\_\_\_  
 Expired Map ... Case No. \_\_\_\_\_  
 Other \_\_\_\_\_

Assessor's Parcel Number(s)  
(Add extra if necessary) see attached

6	7	8	0	6	0	2	8
6	7	8	0	6	0	2	9
6	7	8	0	6	0	3	1
6	7	8	0	6	0	3	2

- B.  Residential ..... Total number of dwelling units 37  
 Commercial ..... Gross floor area \_\_\_\_\_  
 Industrial ..... Gross floor area \_\_\_\_\_  
 Other ..... Gross floor area \_\_\_\_\_

Thomas Bros. Page 1169 Grid D1  
Santa Fe Valley SPA 4 Gee Road  
 Project address \_\_\_\_\_

- C. Total Project acreage 123.44 Total number of lots 47

San Dieguito Community Planning  
 Community Planning Association  
 PM 92127

- D. Is the project proposing its own wastewater treatment plant?  Yes  No  
 Is the project proposing the use of reclaimed water?  Yes  No

Owner/Applicant agrees to pay all necessary construction costs and dedicate all district required assessments to obtain service to the project.  
 OWNER/APPLICANT MUST COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: \_\_\_\_\_ (ALL SHARPOUN) Date: 11-8-04  
 Address: P.O. Box 676221 Rancho Santa Fe, CA 92067 Phone: 858-756-8340

(On completion of above, present to the sewer district to establish facility availability. Section 2 below.)

SECTION 2. FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District name Rancho Santa Fe CSO Service area Santa Fe Valley

- A.  Project is in the district.  
 Project is not in the district but is within its Sphere of Influence boundary, owner must apply for annexation.  
 Project is not in the district and is not within its Sphere of Influence boundary.  
 The project is not located entirely within the district and a potential boundary issue exists with the \_\_\_\_\_ District.

- B.  Facilities to serve the project  ARE  ARE NOT reasonably expected to be available within the next five years based on the capital facility plans of the district. Explain in space below or on attached. Number of sheets attached: \_\_\_\_\_  
 Project will not be served for the following reason(s): \_\_\_\_\_

- C.  District conditions are attached. Number of sheets attached: 1  
 District has specific water reclamation conditions which are attached. Number of sheets attached: \_\_\_\_\_  
 District will submit conditions at a later date.

- D.  How far will the pipeline(s) have to be extended to serve the project?

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized signature: [Signature] Print name: John Pastore  
 Print title: General Manager Phone: 7047-4121 Date: 11-10-04

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF FACILITIES OR SERVICE BY THE DISTRICT. On completion of Section 2 by the district, applicant is to submit this form with application to the Zoning Counter at the Department of Planning and Land Use, 5201 Ruffin Road, Suite B, San Diego, CA 92123.

**Conditions for Sewer Availability to  
APN#'s 678-060-28,29,31, and 32.**

1. Parcels must be annexed into the Rancho Santa Fe Community Services District.
2. All necessary sewage facilities and easements to serve the Project must be constructed and dedicated to the Rancho Santa Fe Community Services District.
3. All required Connection fees and Capacity fees must be paid to the Rancho Santa Fe Community Services District.



PROJECT FACILITY AVAILABILITY FORM

FIRE

Please type or use pen

Jerome Shaw (714) 921-5408  
 Owner's Name Phone

7245 Rue de Roark  
 Owner's Mailing Address Street

La Jolla CA 92037  
 City State Zip

ORG \_\_\_\_\_  
 ACCT \_\_\_\_\_  
 ACT \_\_\_\_\_  
 TASK \_\_\_\_\_  
 DATE \_\_\_\_\_ AMT \$ \_\_\_\_\_

**F**

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A.  Major Subdivision (TM)  Specific Plan or Specific Plan Amendment  
 Minor Subdivision (TPN)  Certificate of Compliance:  
 Boundary Adjustment  
 Rezone (Reclassification) from \_\_\_\_\_ to \_\_\_\_\_ zone.  
 Major Use Permit (MUP), purpose:  
 Time Extension ... Case No.  
 Expired Map ... Case No.  
 Other

Assessor's Parcel Number(s)  
(Add extra if necessary) See attached

678	060	28
678	060	29
678	060	31
678	060	32

- B.  Residential ..... Total number of dwelling units: 37  
 Commercial ..... Gross floor area \_\_\_\_\_  
 Industrial ..... Gross floor area \_\_\_\_\_  
 Other ..... Gross floor area \_\_\_\_\_

Thomas Bros. Page 1169 Grid D1  
 Santa Fe Valley SPA 4 Goe Road  
 Project address  
 San Dieguito Community Planning  
 Community Planning Area/Station  
 92127

- C. Total Project acreage: 103.44 Total lots: 47 Smallest proposed lot: 8

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Owner's Signature: [Signature] Date: 11-8-04  
 Address: P.O. Box 676221 Rancho Santa Fe, CA 92067 Phone: 858-756-8840  
 (On completion of above, present to the district that provides fire protection to complete Sections 2 and 3 below.)

SECTION 2. FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District name: Rancho Santa Fe Fire Protection District  
 Indicate the location and distance of the primary fire station that will serve the proposed project: STA # 2  
161630 FOUR LEE RD, SAN DIEGO, CA 92127

- A.  Project is in the District and eligible for service.  
 Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.  
 Project is not in the District and not within its Sphere of Influence boundary.  
 Project is not located entirely within the District and a potential boundary issue exists with the \_\_\_\_\_ District.
- B.  Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is 10 minutes.  
 Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.
- C.  District conditions are attached. Number of sheets attached: 2  
 District will submit conditions at a later date.

SECTION 3. FUEL BREAK REQUIREMENTS

Note: The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by the Department of Planning and Land Use.

- Within the proposed project \_\_\_\_\_ feet of clearing will be required around all structures.  
 The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

[Signature] Clifford F. Hunter 858-766040 12-13-04  
 Authorized Signature Print name and title Phone Date

On completion of Sections 2 and 3 by the District applicant is to submit this form with application to: Zoning Counter, Department of Planning and Land Use, 5201 Fuffin Road, Suite B, San Diego, CA 92123



# Rancho Santa Fe Fire Protection District

P.O. Box 410 • 16938 El Fuego • Rancho Santa Fe • California 92067-0410  
Tel. (858) 756-5971 • Fax (858) 756-4799

**Board of Directors**  
James Ashcraft, President  
Clifford Douglas  
Thomas Hickerson  
Nancy Hillgren  
Randall Malin

**Fire Chief**  
Erwin L. Willis

December 13, 2004

COUNTY OF SAN DIEGO  
Department of Planning and Land Use  
5201 Ruffin Rd., Suite B  
San Diego, CA 92123-1666

**RE: PROJECT FACILITY - TM 5081 RPL4 - Shaw - Santa Fe Valley SPA 4 Gee Road  
APN 678-060-28, 29, 31, 32**

To Whom It May Concern,

The Rancho Santa Fe Fire Protection District has reviewed the above mentioned project. This parcel lies within an area that has been determined to be a Very High Fire Hazard area. As such, the project will be required to comply with Rancho Santa Fe Fire Protection District Ordinance #03-01 (Amended), Appendix II-A. The Fire District will require the following conditions be placed on the project and will not relinquish conditions because this is a "Shelter-In-Place Community": Detail information regarding the Fire Districts Ordinances can be found on the Departments web site at: [www.rsfc-fire.org](http://www.rsfc-fire.org), under fire prevention.

**1. FACILITIES FUNDING:** The project lies within the Santa Fe Valley Specific Plan Area, and as such will be required to participate with the other projects of the area in funding the construction and operation of the fire station for that area. Prior to final recordation, the project owner or agent must demonstrate proof that they have participated in the funding project for the fire station. **FUNDING:** Prior to final recordation of this map, the project developers may be required to participate in a Fire Facilities Funding Agreement.

**2. ACCESS/ROADWAYS:** Per the RSFFPD Ordinance #03-01, section 902.2.2 Fire Apparatus Access Roads Specifications, the roadway(s) within this project shall conform to this section. The roadway serving this project shall have a minimum improved paved width of 24 feet. Maximum grade is 20 %. Any other roadway features, such as cul-de-sacs, turn-outs, gates, etc. must meet the design criteria of the Fire District. All fire apparatus access roads shall have an unobstructed vertical clearance of not less than 13 feet 6 inches. No Parking signs required on streets. Fire lanes may be required. Fire apparatus access roads, including private residential driveways, shall be required for every building hereafter constructed when any portion of an exterior wall of the first story is located more than 150

feet from the closest point of fire department vehicle access. The first layment of asphalt must be in place and serviceable prior to the delivery of combustible construction materials to the site. Note: All dead end roads shall provide a minimum unobstructed paved radius width for a cul-de-sac which shall be 36 feet radius in residential areas. This Project has a funding agreement for proposed roadway improvements. Additional Fire Safety Zones have been included in the project.

3. **HYDRANTS:** Fire hydrants, together with an adequate water supply, must be installed at locations acceptable to the Fire District, and be within 500' to all parts of a building. The required fire flow for this project is 2500 gallons per minute at 20-psi residual pressure. Specific hydrant location to be determined with a separate submittal. Fire Hydrants shall be in place and serviceable prior to the delivery of combustible construction materials to the site.

4. Automatic fire sprinklers shall be installed in all occupancies.

5. Landscape plan shall be submitted to the Fire District. Submittal shall comply with criteria identified in Ordinance #03-01, Appendix II-A. 100' fuel modification zones shall be required in areas that are located near or next to open space areas. Roadways require a 30' fuel modification zone on each side of the roadway. The plan shows the structures setback from top of slope of 15' for single story elements, and 30' for two-story elements. **FUEL BREAK REQUIREMENTS:** Project shall comply with the Fire Management Plan for the Santa Fe Valley Specific Plan. The Brush zones are also defined sheet 1 of 3.

6. Use of building materials shall comply with Ordinance #03-01, Appendix II-A.

Questions or concerns regarding the above comments should be directed to me. Thank you.

Sincerely,



Clifford F. Hunter

Fire Marshal

Rancho Santa Fe Fire Protection District

File

# **APPENDIX C**

## ***DWELLING UNIT ALLOCATION BY OWNERSHIP***

This Page Intentionally Left Blank

APPENDIX C

DWELLING UNIT (DU) ALLOCATION BY OWNERSHIP

APN	FOR. APN (1)	PLANNING AREA(S)	SUBAREA(S)	ALLOCATED DU# (2)
26714215		I	1.1	1
26910025		I	1.4,8	1
26910027		I	1.4,8	1
26910033		I	1.4	1
26910037		I	1.4	1
26910038		I	1.4	1
26910039		I	1.4	1
26714222		I	1.1	2
26910033		I	1.5	1
26714225		I	1.2,8	4
26910017	Y	I	1.2,8	-
26714214		I	1.1	1
26714217		I	1.1	3
26713141	Y	I	11.24	0
26713148	Y	I	11.24	0
26910043		I	1.7	2
26910041		I	1.7	2
26910042		I	1.7	2
26714216		I	1.1	1
26714220		I	1.1	1
26714221		I	1.1	1
26910030		I	1.7	3
26910031		I	1.7	-
26910034		I	1.5	1
26910040		I	1.4	2
26910032		I	1.7	2
26712107		I	1.6,8	1
26714210		I	1.1	1
26714224		I	1.2,8	3
26910028		I	1.3,8	2
26910029		I	1.3,8	3
26714219		I	1.1	1
26529029		11	11.22,23,24	323
26529030		11	11.25	-
26538034		11	11.25	-
26705025		11	11.22,24	-
26705031		11	11.16,22,24	-
26705032		11	11.16,22,24	-
26705036		11	11.22,24	-
26705105		11	11.24	-
26705106		11	11.2,3,5,22,24	-
26705123		11	11.3,5,7,22,30	-
26705124		11	11.3,4,6,8,9,10,22,30	-
26705126		11	11.11,12,16,17	-
26713211		11	11.24	-
26713218	Y	11	11.24	-
26705114	Y	11	11.24	0
26705112	Y	11	11.24	0
26705005		11	11.13,15,25,26,28	29

APR	FOR.	APR (1)	PLANNING	AREA(S)	SUBAREA(S)	ALLOCATED
67806011			V		V.1	-
67806010			V		V.1	2
67806009			V		V.1	1
67802014			V		V.1	1
67801004			V		V.5	0
67807017			V		V.1	1
67807015			V		V.1	1
67807012			V		V.1	4
67806006			V		V.1	1
67802013			V		V.1	1
67807025			IV		IV.8	12
26706002			IV		IV.1,9,10,11	15
67807028			IV		IV.1,2,3,4,5,6,7	129
67807024			IV		IV.7	9
26706016			III		III.11,11.1,11.5,6,7,8,9,10,11	-
26706015			III		III.2,3,7,8,11,12,13	-
26706005			III		III.2,3,8	-
26706004			III		III.11,11.1,11.2,3,4,5,6,7,8,9	-
26532014			III		III.3	-
26532013			III		III.3	-
26532012			III		III.3	-
26532011			III		III.3	387
26705035			II, III		II.11,11.1,11.16,17,18,19,21,22, III.1	-
26532016			II, III		II.24, III.3	-
26532015			II, III		II.24, III.3	-
26532008			II, III		II.20,24, III.3	-
26532010			II, III		II.24, III.3	0
26713213	Y		II		II.24	0
26705108			II		II.5,7,14,27	0
26705034			II		II.14,22	0
25429108			II		II.21,24	-
26529111			II		II.24	-
26529024			II		II.16,19,20,21,22	60
26713217	Y		II		II.24	0
26706010			II		II.29	0
26713130	Y		II		II.24	0
26529106			II		II.24	0
26705125			II		II.6,7,8,9,10,11,12	31
26713141	Y		II		II.24	0
26713210	Y		II		II.24	0
26705117	Y		II		II.24	0
26705111	Y		II		II.24	0
26713123	Y		II		II.22,24	0
26713135	Y		II		II.22,24	0
26705116	Y		II		II.24	0
26714307			II		II.1	-
26714306			II		II.1	-
26714309			II		II.1	-
26714303			II		II.1	7
26714304			II		II.1	1
26714306			II		II.1	1
26714308			II		II.1	0
26705113	Y		II		II.24	0
26713212	Y		II		II.24	0
26713124	Y		II		II.24	0

NOTES: (1) A "V" in column indicates that only a portion of the Assessor Parcel Number (APN) is within the Santa Fe Valley Specific Plan Area.  
 (2) A zero (0) DU allocation indicates that no DUs have been allocated to that ownership. A dash (-) DU allocation indicates that the DU allocation has been added to the DU allocation shown for another APN in the same ownership group.

APN	PLANNING AREA(S)	SUBAREA(S)	DUe (2)	DUe (1)	DUe (2)
26532003	V	V.5	-	-	-
67802002	V	V.5	-	-	-
67802003	V	V.5	-	-	-
67802102	V	V.5	-	-	-
67802103	V	V.5	-	-	-
67806002	V	V.6	67	1	67
67807019	V	V.1	1	1	1
67807022	V	V.1	2	2	2
67802015	V	V.1	1	1	1
67807014	V	V.1	2	2	2
67802012	V	V.1	1	1	1
67802010	V	V.1	1	1	1
67802011	V	V.1	1	1	1
67802009	V	V.1	1	1	1
67807020	V	V.1	1	1	1
67801001	V	V.5,8	3	3	3
67807007	V	V.1	1	1	1
67806008	V	V.1	1	1	1
67807021	V	V.1	1	1	1
67801002	V	V.5,6	1	1	1
67801003	V	V.5,7	1	1	1
67807003	V	V.1	2	2	2
67807004	V	V.1	1	1	1
67802016	V	V.1	1	1	1
67807002	V	V.1	1	1	1
67802007	V	V.9	0	0	0
67806003	V	V.10	0	0	0
67806007	V	V.1	1	1	1
67802008	V	V.1	1	1	1
67806001	V	V.2,3,5	37	37	37
67806004	V	V.1,2,3,5	-	-	-
67802004	V	V.4,5	-	-	-
67802005	V	V.5	-	-	-
67802006	V	V.4,5	-	-	-
67807006	V	V.1	1	1	1
67807018	V	V.1	1	1	1
67807013	V	V.1	2	2	2
67807001	V	V.1	1	1	1
67807006	V	V.1	1	1	1
67807005	V	V.1	1	1	1

TOTAL: 144

1200

APPENDIX C

DWELLING UNIT (DU) ALLOCATION BY OWNERSHIP

APH	POR. APH (1)	PLANNING AREA(S)	SUBAREA(S)	ALLOCATED DU: (2)
26714215		I	1.1	1
26910023		I	1.4,8	1
26910027		I	1.4,8	1
26910035		I	1.4	1
26910037		I	1.4	1
26910038		I	1.4	1
26910039		I	1.4	1
26714222		I	1.1	2
26910033		I	1.5	1
26714225		I	1.2,8	4
26910017	Y	I	1.2,8	-
26714214		I	1.1	1
26714217		I	1.1	3
26713141	Y	I	11.24	0
26713148	Y	I	11.24	0
26910043		I	1.7	2
26910041		I	1.7	2
26910042		I	1.7	2
26714216		I	1.1	1
26714220		I	1.1	1
26714221		I	1.1	1
26910030		I	1.7	3
26910031		I	1.7	-
26910034		I	1.5	1
26910040		I	1.4	2
26910032		I	1.7	2
26712107		I	1.6,8	1
26714218		I	1.1	1
26714224		I	1.2,8	3
26910028		I	1.3,8	2
26910029		I	1.3,8	3
26714219		I	1.1	1
26529029		11	11.22,23,24	323
26529030		11	11.23	-
26538034		11	11.23	-
26705025		11	11.22,24	-
26705031		11	11.16,22,24	-
26705032		11	11.16,22,24	-
26705036		11	11.22,24	-
26705105		11	11.24	-
26705106		11	11.2,3,5,22,24	-
26705123		11	11.3,5,7,22,30	-
26705124		11	11.3,4,6,8,9,10,22,30	-
26705126		11	11.11,12,16,17	-
26713211		11	11.24	-
26713218	Y	11	11.24	-
26705114	Y	11	11.24	0
26705112	Y	11	11.24	0
26705005		11	11.13,15,25,26,28	29

APH	POR. APH (1)	PLANNING AREA(S)	SUBAREA(S)	ALLOCATED DUs (2)
26713124	Y	II	11.24	0
26713212	Y	II	11.24	0
26705113	Y	II	11.24	0
26714308		II	11.1	1
26714304		II	11.1	1
26714303		II	11.1	7
26714305		II	11.1	-
26714304		II	11.1	-
26714307		II	11.1	-
26705116	Y	II	11.24	0
26713135	Y	II	11.22,24	0
26713123	Y	II	11.22,24	0
26705111	Y	II	11.24	0
26705117	Y	II	11.24	0
26713210	Y	II	11.24	0
26713141	Y	II	11.24	0
26705125		II	11.6,7,8,9,10,11,12.	31
26529106		II	11.24	0
26713130	Y	II	11.24	0
26706010		II	11.29	0
26713217	Y	II	11.24	0
26529024		II	11.16,19,20,21,22	60
26529111		II	11.24	-
25429108		II	11.21,24	-
26705034		II	11.14,22	0
26705108		II	11.5,7,14,27	0
26713213	Y	II	11.24	0
26532010		II, III	11.24, III.3	0
26532008		II, III	11.20,24, III.3	-
26532015		II, III	11.24, III.3	-
26532016		II, III	11.24, III.3	-
26705035		II, III	11.11,16,17,18,19,21,22, III.1	-
26532011		III	III.3	387
26532012		III	III.3	-
26532013		III	III.3	-
26532014		III	III.3	-
26706004		III	11.11,19, III.1,2,3,4,5,6,7,8,9	-
26706005		III	III.2,3,8	-
26706015		III	11.2,3,7,8,11,12,13	-
26706016		III	11.11, III.5,6,7,8,9,10,11	-
67807024		IV	IV.7	9
67807028		IV	IV.1,2,3,4,5,6,7	129
26706002		IV	IV.1,9,10,11	15
67807025		IV	IV.8	12
67802013		V	V.1	1
67806006		V	V.1	1
67807012		V	V.1	4
67807015		V	V.1	1
67807017		V	V.1	1
67801004		V	V.5	0
67802014		V	V.1	1
67806009		V	V.1	1
67806010		V	V.1	2
67806011		V	V.1	-

AP#	PCR. APH (1)	PLANNING AREA(S)	SUBAREA(S)	ALLOCATED DUs (2)
26532003		V	V.5	-
67802002		V	V.5	-
67802003		V	V.5	-
67802102		V	V.5	-
67802103		V	V.5	-
67806002		V	V.6	67
67807019		V	V.1	1
67807022		V	V.1	2
67802015		V	V.1	1
67807014		V	V.1	2
67807016		V	V.1	1
67802012		V	V.1	1
67802010		V	V.1	1
67802011		V	V.1	1
67802009		V	V.1	1
67807020		V	V.1	1
67801001		V	V.5,8	3
67807007		V	V.1	1
67806008		V	V.1	1
67807021		V	V.1	1
67801002		V	V.5,6	1
67801003		V	V.5,7	1
67807003		V	V.1	2
67807004		V	V.1	1
67802016		V	V.1	1
67807002		V	V.1	1
67802007		V	V.9	0
67806003		V	V.10	0
67806007		V	V.1	1
67802008		V	V.1	1
67806001		V	V.2,3,5	37
67806004		V	V.1,2,3,5	-
67802004		V	V.4,5	-
67802005		V	V.5	-
67802006		V	V.4,5	-
67807008		V	V.1	1
67807018		V	V.1	1
67807013		V	V.1	2
67807001		V	V.1	1
67807005		V	V.1	1
67807005		V	V.1	1
TOTAL:				1200

NOTES: (1) A "V" in column indicates that only a portion of the Assessor Parcel Number (APH) is within the Santa Fe Valley Specific Plan Area.  
(2) A zero (0) DU allocation indicates that no DUs have been allocated to that ownership.  
A dash (-) DU allocation indicates that the DU allocation has been added to the DU allocation shown for another AP# in the same ownership group.

