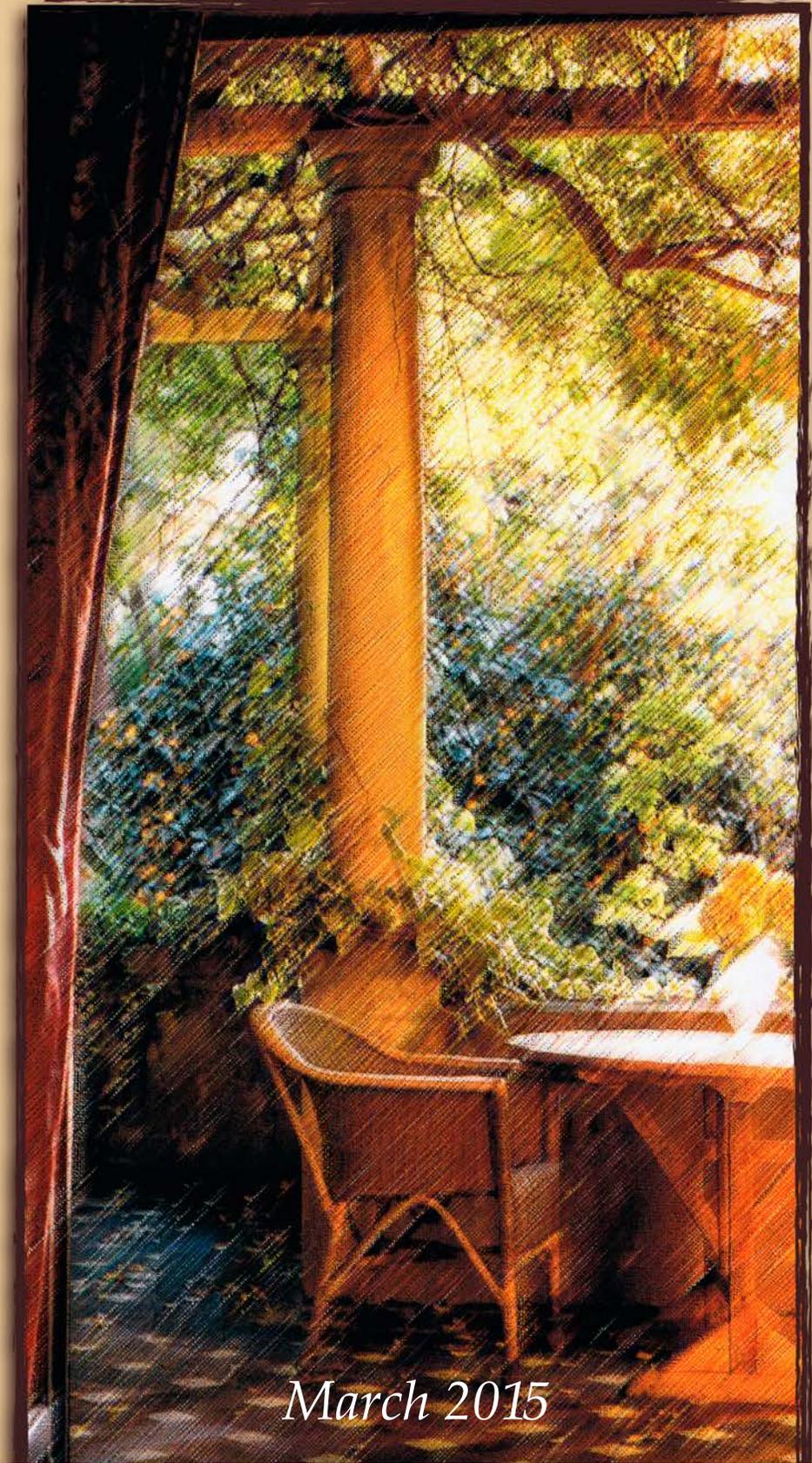


OTAY RANCH RESORT VILLAGE



March 2015

SPECIFIC PLAN

The Otay Ranch Resort Village Specific Plan

OTAY RANCH RESORT VILLAGE; GPA 04-03, SP 04-002, REZ 04-009, TM 5361

ER # 04-19-005

The Otay Ranch Resort Village Specific Plan

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I. Introduction

I. Introduction

A. Background

The Otay Ranch is located in South San Diego County within the jurisdictions of the County of San Diego and the City of Chula Vista. In October 1993, the San Diego County Board of Supervisors and Chula Vista City Council jointly adopted the Otay Ranch General Development Plan/Subregional Plan (Otay GDP/SRP). The Otay GDP/SRP provides for the development of Otay Ranch urban villages, specialty villages, rural estate areas, business/industrial parks and a regional-serving commercial center. In the County of San Diego, the GDP/SRP is an Element of the County General Plan and referred to as the Otay Subregional Plan Volume 2, or Otay SRP.

B. Location and Regional Setting

1. Location

Otay Ranch covers approximately 23,000 acres located in southwestern San Diego County. The Otay Ranch Resort Village Specific Plan (the "Otay Ranch Resort Village" or "Resort Village") area is located in the County of San Diego, in the Proctor Valley Parcel of the Otay SRP (Exhibit 1, Regional Location Map). The Otay Ranch Resort Village is identified as "Village 13" in the Otay SRP and is located approximately one-quarter mile east of the City of Chula Vista. Access is provided via Telegraph Canyon Road, which transitions to Otay Lakes Road and forms the southern boundary of the Project site.

2. Physical Characteristics

The Otay Ranch Resort Village's approximate 1,869-acre planning area consists of a broad mesa sloping to the south, broken by several steep canyons draining from north to south. Portions of the relatively flat mesa extend north into the steeper slopes of Jamul Mountains. Development portions of the site include elevations ranging from approximately 500 feet above mean sea level (AMSL) at the southern end of the property to approximately 900 feet AMSL in the northeastern portions. The project area lies within the watershed of the Otay River, a westerly flowing stream that drains an area of approximately 145 square miles. The site is upstream of Savage Dam, which creates Lower Otay Lake. Onsite vegetation consists of native coastal sage scrub and grassland habitats disturbed by grazing. Some riparian vegetation occurs in drainage areas of the site.



Exhibit 1

Regional Location Map

3. Surrounding Land Uses

The Otay Ranch Resort Village site is located at the interface of urban development and open spaces. The EastLake Vista's residential community and the U.S. Olympic Training Center constitute the urban development to the west. Lower Otay Lake, a water and recreation reservoir owned by the City of San Diego is located to the south. Upper Otay Lake and the Birch Family Estate are located to the northwest. At the east end of Lower Otay Lake, also on City of San Diego property, is a temporary ultra-light gliding and parachuting airport. An inactive quarry operation is located further east. Exhibit 2, Surrounding Land Uses, depicts the physical characteristics of the site and identifies surrounding land uses.



Lenska Aerial Photos: Flown 2006

Not to Scale

Exhibit 2

Surrounding Land Uses

C. Project Objectives

The Otay SRP establishes goals, policies and land uses for the Otay Ranch Resort Village. A Specific Plan provides the entitlement bridge linking the general and sub-regional plans with subsequent project-level approvals. This Specific Plan addresses planned land uses, public facilities, design criteria, circulation, parks and open space for the Resort Village.

The underlying purpose of the proposed Project is to complete the planned development of an Otay Ranch-designated specialty village, and to help accommodate the projected demand for a distinct community as envisioned by the adopted Otay SRP. The proposed Project's statement of objectives are as follows:

- Implement the goals, objectives, and policies of the adopted Otay SRP, the Otay Ranch RMP, and the County MSCP Subarea Plan South County Segment;
- Create a prestigious destination resort that maximizes unique South County open space, high-terrain and lake views, within a distinct, predominately single-family home community, and allow first-time buyers and others to transition to distinct, high-quality homes within Otay Ranch.;
- Decrease the intensity of development at higher elevations away from Lower Otay Lake, and thereby enhance unique South County open space, high-terrain, and lake views.
- Establish an executive-level, "specialty" housing enclave within Otay Ranch that attracts business owners and employers within both the Otay Ranch and Otay Mesa planned business parks, urban centers, and university uses, thereby providing this segment of the housing community with opportunities to live and work in South County.
- Create increased housing diversity within Otay Ranch by balancing higher densities associated with Otay Ranch's multi-family development with lower density, predominantly single-family homes to ensure a balance of housing opportunities in South County, consistent with the Otay SRP.
- Ensure public facilities are provided in a timely manner and financed by the residents and occupants, and thereby ensure no adverse fiscal consequences to other neighboring communities within Otay Ranch;
- Preserve the Project site's most sensitive resources, including the Quino checkerspot butterfly and higher-quality vernal pools;

- Preserve the major north-south, rocky canyon located in the eastern portion of the Project site as a wildlife corridor and connect wildlife crossings under Otay Lakes Road;
- Relocate the Village 15 elementary school site to the Otay Ranch Resort Village in order to create a neighborhood elementary school environment within the village core and thereby enhance the self-sufficiency of the Project's land use plan;
- Provide a continuous public trail system through the community, with access to the Resort, the Village Core Multiple Use Area, and surrounding trails, including the California Riding and Hiking Trail;
- Provide for a neighborhood park system that provides a variety of active recreational opportunities within walking distance of all planned neighborhoods;
- Create a safe and efficient internal circulation system that promotes walking and community cohesiveness while minimizing paved surfaces;
- Incorporate sustainable design elements and the latest conservation technologies, consistent with creating a distinct destination-resort unique to South County;
- Reduce energy usage by 30% through installation of solar photovoltaic panels.

D. Document Organization

The Otay SRP identifies implementation tasks that include preparation of Specific Plans, Public Facilities and Financing Plans (PFFPs), Regional Facilities Reports, and other planning and technical reports. While the Otay SRP requires preparation of "plans" at the Specific Plan level, the requirement is fulfilled through a variety of documents including portions of this Specific Plan, appendices to this Specific Plan, EIR technical studies or sections of the PFFP. The "Index to Specific Plan Requirements" section of this Specific Plan contains a listing of all the Specific Plan requirements and a description of how each has been met. The organization of the document is depicted in Table 1.

1. Appendices to the Specific Plan:

Plans prepared as appendices to the Otay Ranch Resort Village Specific Plan are described below.

Preserve Edge Plan: The Preserve Edge Plan identifies buffer techniques to be implemented within the 100' buffer adjacent to the Otay Ranch Preserve. The Preserve Edge Plan addresses fuel modification, establishes a landscape palette within the buffer and other adjacency considerations at the development/preserve interface. The Preserve Edge Plan complements and integrates the Fire Protection Plan. (Specific Plan Appendix I)

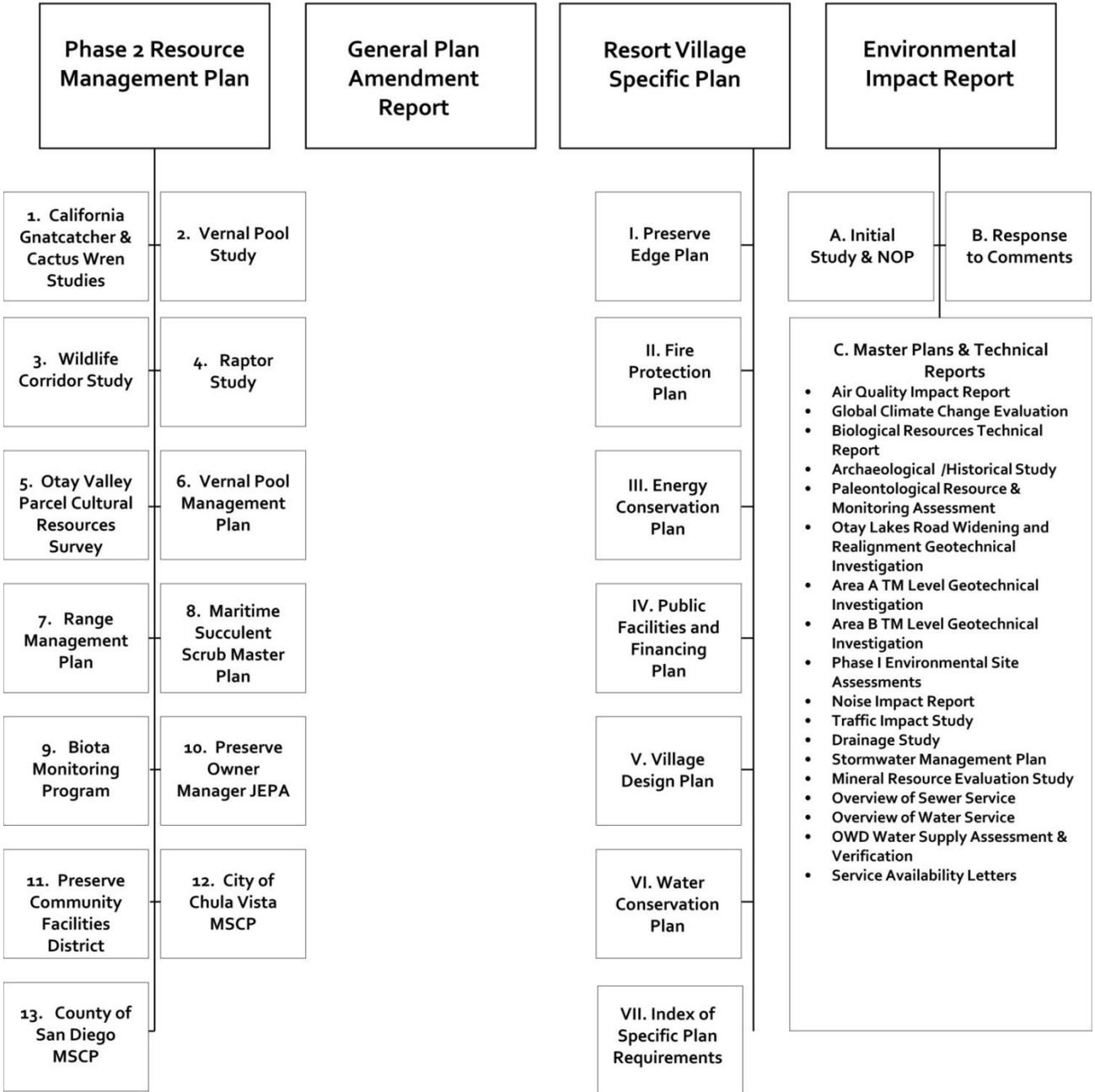
Fire Protection Plan: In addition to describing the fire protection facilities that will serve the Resort Village, the Fire Protection Plan identifies required fire protection measures, establishes a fuel modification zone and identifies plant materials and maintenance requirements. The Fire Protection Plan also addresses capital, equipment, staffing and funding requirements associated with fire protection and emergency medical service options. (Specific Plan Appendix II)

Energy Conservation Plan: The Energy Conservation Plan is a requirement of the Otay SRP which requires the identification of feasible methods to reduce the consumption of non-renewable energy sources, including but not limited to, transportation, building design and use, lighting, recycling, alternative energy sources, water use and land use. This Plan is also in accordance with Appendix F – *Energy Conservation* of the CEQA Guidelines, which states the goal of energy conservation is the wise and efficient use of energy through:

- Decreasing overall per capita energy consumption
- Decreasing reliance on natural gas and oil, and
- Increasing reliance on renewable energy sources.

Opportunities for energy conservation in the Resort Village development include the arrangement and intensity of land uses, programs to reduce vehicular trips, building siting, design and construction requirements and water conservation measures incorporated into landscape and irrigation system design. These project design features also serve to reduce the emissions of greenhouse gases enabling the project to meet the goals of AB 32. (Specific Plan Appendix III)

Table 1
Document Organization Table



Public Facilities and Financing Plan: The Public Facilities and Financing Plan (PFFP) addresses the public facility needs associated with implementation of the Specific Plan. The PFFP is required to ensure that the phased development of the Project is consistent with the goals of the Otay SRP. The PFFP provides an analysis of infrastructure facilities, such as water and sewer, and the provision of community services, including law enforcement, fire protection, schools and parks. The PFFP also estimates the costs of providing these services and facilities and identifies financing options. (Specific Plan Appendix IV)

Village Design Plan: The Village Design Plan guides the design of sites, buildings, and landscapes within the village to ensure the adopted urban design and architectural concepts established for the overall Otay Ranch community are implemented. (Specific Plan Appendix V)

Water Conservation Plan: The Water Conservation Plan identifies the proposed water conservation measures to be implemented in conjunction with the proposed Project to reduce potable water demand on private lots. The Water Conservation Plan includes water conservation measures intended to reduce the overall outdoor potable water usage by an average of 78 gallons per day per single family home.

2. Master Plans and Technical Studies:

In addition to the documents described above, the following technical studies have been prepared for the Otay Ranch Resort Village EIR and are contained as appendices to the Otay Ranch Resort Village EIR.

Otay Ranch Resort Village Air Quality Impact Report, Prepared by AECOM, 09/2014 (This report also satisfies the Otay SRP requirement for the provision of an Air Quality Improvement Plan);

Otay Ranch Resort Village Global Climate Change Evaluation, Prepared by SRA, 03/2015;

Otay Ranch Resort Village Biological Resources Technical Report, Prepared by Dudek & Associates, 03/2015;

Otay Ranch Resort Village Archaeological/Historical Study, Prepared by Brian Smith and Associates, 09/2014;

Otay Ranch Resort Village Paleontological Resource Monitoring Assessment, Prepared by Brian F. Smith & Associates, 10/10/2005, revised 09/2014;

Otay Ranch Resort Village Otay Lakes Road Widening and Realignment Geotechnical Investigation, Prepared by GEOCON Inc., 10/2014;

Otay Ranch Resort Village Area A Geotechnical Investigation, Prepared by GEOCON Inc., 09/2014;

Otay Ranch Resort Village Area B Geotechnical Investigation, Prepared by GEOCON Inc., 09/2014;

Otay Ranch Resort Village Phase I Environmental Site Assessment, Prepared by C2C Environmental, 1/25/07;

Otay Ranch Resort Village Area A Phase I Environmental Site Assessment, Prepared by C2C Environmental, 11/05/2010;

Otay Ranch Resort Village Noise Impact Report, Prepared by AECOM, 03/2015;

Otay Ranch Resort Village Traffic Impact Study, Prepared by Chen Ryan, 03/2015;

Otay Ranch Resort Village Drainage Study, Prepared by Hunsaker & Associates, 09/2014;

Major Storm Water Management Plan for the Resort Village, Prepared by Hunsaker & Associates, 09/2014;

Otay Ranch Resort Village Mineral Resource Evaluation Study, Prepared by T&B, Inc., 03/30/2010;

Otay Ranch Resort Village Overview of Sewer Service, Prepared by Dexter Wilson Engineering, Inc., 03/2015;

Otay Ranch Resort Village Overview of Water Service, Prepared by Dexter Wilson Engineering, Inc., 09/2014.

Otay Ranch Resort Village Water Conservation Plan, Prepared by AECOM, 01/2011;

Water Supply Assessment & Verification Report; OWD 05/07/2014.

Technical studies are prepared to support the plans and policies contained in the Specific Plan, and provide support information and analysis to enable the Specific Plan to be evaluated in the accompanying Draft Environmental Impact Report. While the Specific Plan is consistent with these technical studies, they are not incorporated into the body of the Specific Plan. Accordingly, implementation of the Specific Plan may deviate from the precise provisions of these documents.

E. Planning Context

The Otay Ranch Resort Village will be developed in the context of local and regional plans, policies, and programs affecting the design and implementation of the community.

1. San Diego County General Plan

This Specific Plan must be consistent with the San Diego County General Plan. Consistency of this Specific Plan with the goals and policies of the General Plan is described in the Otay Ranch Resort Village General Plan Amendment Report (GPAR).

2. Otay Subregional Plan (Otay SRP)

This Specific Plan must also be consistent with the Otay SRP. Consistency with the goals and policies of the SRP is described in GPAR. The Otay SRP Land Use Map depicts the generalized land use designations and open space system for the Resort Village.

3. Otay Ranch Resource Management Plan (RMP)

The Otay Ranch Resource Management Plan (RMP) is the regulatory document governing sensitive resources within the Otay Ranch. The Otay Ranch Phase 1 RMP establishes the Otay Ranch Preserve. The Otay Ranch Phase 2 RMP describes the process for conveyance of land to the Otay Ranch Preserve and funding of preserve management and monitoring.

4. Multiple Species Conservation Program (MSCP)

On October 22, 1997, the County of San Diego Board of Supervisors adopted the South County MSCP Subarea Plan which includes the Otay Ranch Planning Area. The MSCP provides for the issuance of federal and state permits and other authorizations under the Federal and State Endangered Species Act (ESA) and the Natural Communities Conservation Plan (NCCP) Act of 1991. The South County MSCP generally incorporates the provisions of the Otay Ranch RMP. The City of San Diego MSCP Cornerstone lands owned by the City of San Diego are governed by the City of San Diego MSCP.

5. Local Agency Formation Commission

The policies of the Local Agency Formation Commission (LAFCO) affect the development of the Otay Ranch Resort Village. Specifically, the project requires Sphere of Influence (SOI) updates and possible annexation to special districts and agencies including the San Diego County Consolidated Sanitation District, County Water Authority, the Metropolitan Water District and the Otay Water District. Of particular consequence are the LAFCO reports expressly focused on issues critical to the efficient provision of fire and sewer service in Village 13:

- *Funding Fire Protection, An Overview of Funding Issues Facing Fire Protection Districts, LAFCO, November 2003;*
- *Municipal Service Review & Sphere of Influence Update: County Sanitation Districts, LAFCO January 30, 2007;*
- *Southern San Diego County and Sewer Service Municipal Service Review, LAFCO, February 2, 2004;* and,
- *The Hybrid Plan, LAFCO October 6, 2008.*

6. Otay Valley Regional Park Concept Plan

The City of Chula Vista, the County of San Diego and the City of San Diego are jointly planning the Otay Valley Regional Park (OVRP) through the OVRP Joint Executive Powers Agreement (JEPA). The OVRP park planning area includes the land around Lower Otay Lake immediately adjacent to the Project site. The Resort Village anticipates trails serving the project will be integrated into the OVRP trail system consistent with the OVRP Concept Plan.

7. San Diego National Wildlife Refuge

The Specific Plan area lies within the planning boundaries of the San Diego National Wildlife Refuge. The purpose of the refuge is to protect, manage and restore habitats for federally listed endangered and threatened species and migratory birds and to maintain and enhance the biological diversity of native plants and animals. The establishment of a refuge boundary allows the Fish and Wildlife Service to acquire lands from willing sellers at fair-market value or to enter into management agreements with interested landowners. Any landowner within an approved refuge boundary retains all existing rights, privileges, and responsibilities of private-land ownership as determined by local jurisdictions.

8. Otay Watershed Management Plan

The Otay Ranch Resort Village Plan area is located within the Otay River Watershed. The Otay River Watershed Management Plan (ORWMP) addresses strategies intended to assure high water quality standards and to protect aquatic and upland resources in the Otay River Watershed. This plan is intended to serve as a programmatic advisory document for decision-makers to use as a tool. The strategies set forth in the ORWMP are recommendations which may need to be refined further.

9. County Quino Checkerspot Butterfly MSCP Amendment

The County of San Diego is processing an amendment to the County MSCP Plan providing for coverage for the Quino Checkerspot Butterfly (QCB). The applicants have worked with County staff to ensure the Resort Village Specific Plan development footprint is consistent with the pending amendment. The Draft County Quino Checkerspot Butterfly (QCB) MSCP Amendment identifies the Resort Village as a "zero percent conservation area."

II. Development Plan

II. Development Plan

A. Plan Concept

In conformance with the project objectives identified in Section I.C., the Otay SRP Village 13 goals, objectives and policies and in recognition of the planning area's environmental constraints and physical characteristics, the following Specific Plan Policies are established:

1. Land Use Policies:

Policy: Conserve habitat to minimize adverse edge effects and to protect Quino Checkerspot Butterflies and the K-8 vernal pool complex.

Policy: Minimize impacts to the north-south canyon systems on the eastern edge of the planning area.

Policy: Locate a destination resort on the remote rocky promontory at the eastern edge of the development footprint.

Policy: Conserve the San Diego thornmint habitat on the western edge of the planning area.

Policy: Locate the majority of larger single family lots at higher elevations.

Policy: Locate smaller single family lots close to the Village Core.

Policy: Create a centrally located Village Core with a public safety site, a neighborhood park and a school site.

Policy: Locate and concentrate retail so it can be supported by both residential and visitor uses.

Policy: Locate homes to maximize views and promote passive energy conservation.

Policy: Avoid impacting San Diego City MSCP Cornerstone lands to the extent practical.

Policy: Promote balanced, contoured grading to enhance views and foster passive solar heating and cooling opportunities.

Policy: Organize the circulation system to deter through trips, calm traffic, foster sustainability and promote walkability.

Policy: Locate parks within walking distance of all neighborhoods.

2. Conceptual Plan

The Otay Ranch Resort Village Land Plan applies these policies to organize multiple planning areas as conceptually depicted in Exhibit 3, Conceptual Organization of Land Uses.

The Resort Village's development footprint is primarily defined by conservation considerations: the preservation of thornmint habitat and MSCP Cornerstone lands adjacent to Otay Lakes Road; the conservation of the two canyon systems which protect the project's major north-south canyons; the preservation of the K8 vernal pool complex; and the preservation of Quino Checkerspot Butterfly habitat.

The plan is anchored by the location of the plan's two significant activity centers, with a potential third: the Resort Planning Area, Village Core, and the Multiple Use district, respectively.

The Resort Activity Center is located on the remote rocky promontory at the eastern edge of the development footprint. The Planning Area permits a resort hotel complex with a maximum of 200 guest rooms, plus up to 20,000 sq. ft. of commercial uses including uses such as a conference center and conference rooms, shops, restaurants, and offices.

The Village Core Activity Center is centrally located and contains a Public Safety Site, a 10.3 acre neighborhood park and an elementary school site.

The Multiple Use Activity Center is located at the intersection of Otay Lakes Road and Strada Piazza. The Multiple Use area permits 57 homes and up to 20,000 square feet of commercial uses.

Smaller lot single family detached homes are located adjacent to the Village Core and near Lower Otay Lake. Larger lot single family detached neighborhoods are located in the higher elevations.

Nine parks are evenly distributed through the project area such that most homes are within easy walking distance (1/4 mile) of a park.

Connections between the planning areas are refined and defined by the circulation and grading plans which maximize views, promote energy conservation, calm traffic and promote walkability.

The population of the Resort Village is projected to be about 6,957 persons. This projection is calculated by applying SANDAG population for the 91914 zip code and multiplying by 1,938 homes.

3. Design Theme

The topography and natural beauty of the Resort Village site combine to provide an ideal setting for the architectural forms, materials and styles found in the historic hill towns of Tuscany, Italy. The defining design features of this region, with its flowing, informal, timeless forms, pedestrian scaled building masses, indoor/outdoor spaces and use of warm, natural materials, provide design inspiration for the Resort Village. The Resort Village's Tuscan architectural theme will be implemented throughout the residential neighborhoods, the Resort Site and the Multiple Use Area to create an interesting tapestry of elements reminiscent of Mediterranean hillside towns. Architecture within the Resort Village will allow for variety but will maintain a strong basis in Tuscan architecture. This design theme will extend to village-serving buildings such as the elementary school, neighborhood parks and a fire station. The Design Theme is expanded on in the Resort Village Design Plan (Appendix V).

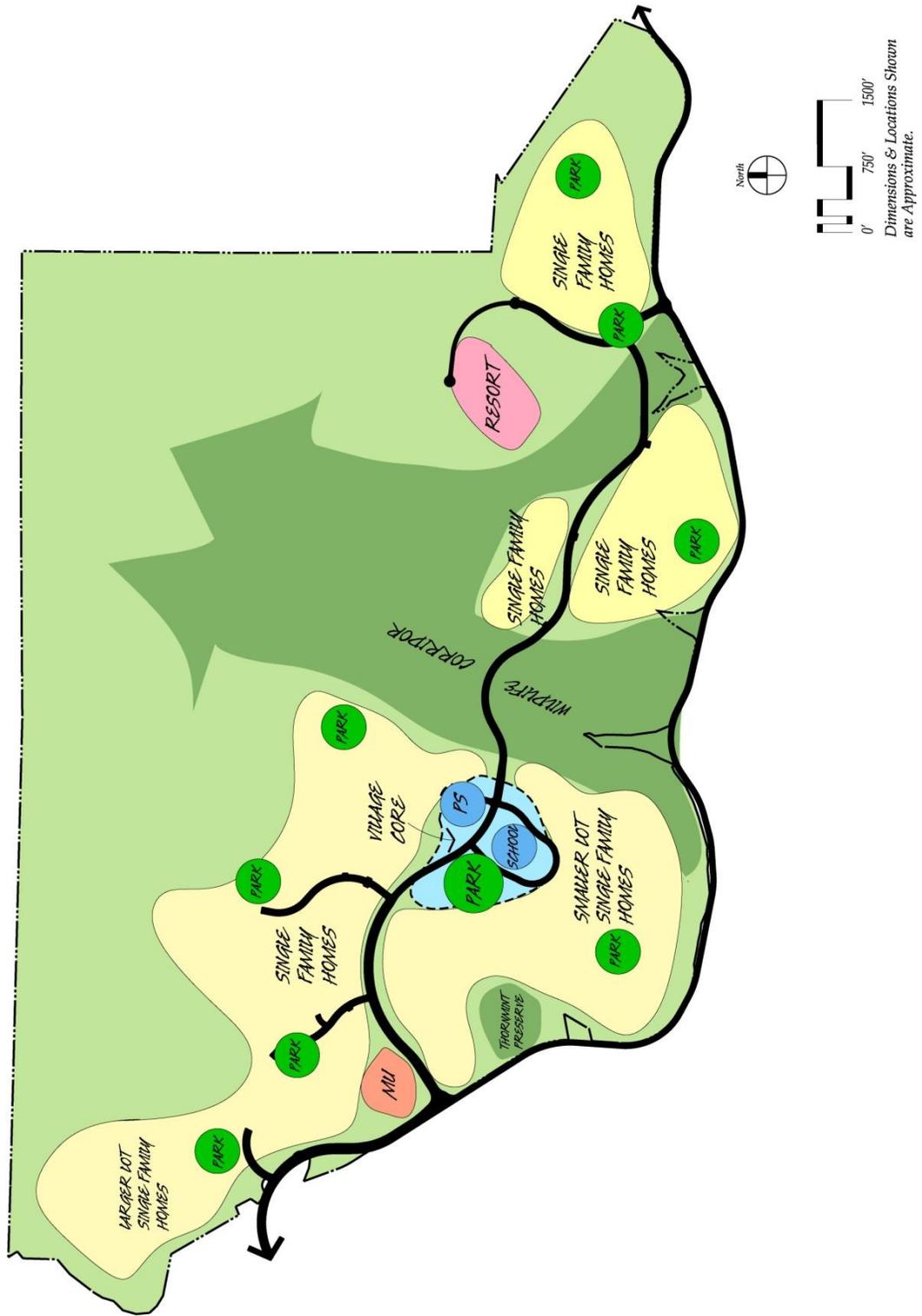


Exhibit 3

Conceptual Organization of Land Uses

B. Site Utilization Plan

The Otay SRP requires the preparation of a land plan, known as a Site Utilization Plan for the Resort Village. This plan includes a resort site and associated facilities, single family and multiple use neighborhoods, a public safety site, an elementary school site, park facilities, open space, and preserve land. The Otay Ranch Resort Village Site Utilization Plan is provided as Exhibit 4 and the Land Use Summary Table as Table 2. Each category of land use and its relationship to the overall development of the Resort Village is described below.

1. Single Family Residential Uses (R)

The majority of the residential development (about 525.1 acres including residential streets and internal slopes) is designated for Single-Family Residential. The designation allows for five single family detached planning areas (R-1 to R-5) with a total of 1,881 homes and densities averaging 3.2 to 4.4 dwelling units per acre for an overall average of 3.6 dwelling units per acre. The largest lots are located in R-1, in the northern, higher elevations. Smaller lots are concentrated around the Village Core and southern portion of the village. Planning Areas R-3, R-4, and R-5 may be gated.

2. Multiple Use Residential Uses (MU)

A Multiple Use district (MU) is located adjacent to Otay Lakes Road on the north side of the Strada Piazza entrance into the community. The Planning Area is about 14.1 acres. The intent of the Multiple Use District is to provide for flexibility in meeting the needs of the community in a feasible manner, based upon community needs and market conditions. The District permits 57 homes with up to 20,000 square feet of commercial uses. Commercial uses permitted in this designation are identified in the Development Regulations.

3. Resort Use (R)

The 17.4 acre site designated for Resort uses is chosen for its relative isolation and physical beauty. The commanding views across Lower Otay Lake and surrounding mountains create a remarkable setting for the Otay Ranch Resort. The rocky promontory hilltop resort site would permit a hotel with up to 200 guest rooms and 20,000 sq. ft. of commercial uses. A Site Plan is required for the Resort to refine the development program, facilities, site design, parking, architecture and landscaping.

4. Parks and Recreation Uses (P)

The Site Utilization Plan identifies 28.6 acres of parks on nine sites. The largest park is P-5 which is located in the Village Core adjacent to the planned elementary school site and the Public Safety Site. The other parks range in size from 1.3 acres to 2.9 acres. As discussed more fully in the Park, Recreation, Open Space Plan and Trails Plan (Section III.1), parks within the gated neighborhoods (P6, P7, and P9) are planned to be private parks,

maintained by the homeowner's association (HOA), while the public parks may be maintained by an assessment district or homeowner's association.

5. Public Uses

The Site Utilization Plan depicts two public uses within the Village Core Activity Center. The first, a 2.1 acre Public Safety Site, may accommodate a fire station and potential law enforcement storefront. The second public use is a 10.0 acre elementary school site located adjacent to the neighborhood park.

6. Open Space

About 143.6 acres are designated as Open Space. Open Space generally includes large open space slopes and the fuel management zones on the edges of individual residential planning areas. These areas are generally maintained by either an HOA or an assessment mechanism (see Landscape Maintenance Responsibility, Section IV.D).

7. Preserve

Approximately 1,089.0 acres are classified as Preserve within the 1,869 acre specific plan area. Preserve land will ultimately be managed by the Otay Ranch Preserve Owner Manager (POM), the funding of which would be through an assessment mechanism as required by the Otay Ranch Phase 2 RMP.

8. Circulation

About 39.1 acres are designated for road improvements necessary to implement the Circulation Plan. The fundamental principle of the Otay SRP is to provide an integrated system of streets, trails and pathways that promote walking and biking, while ensuring vehicular and pedestrian safety. Consistent with the Otay SRP, the Resort Village provides traffic calming measures to reduce vehicle speeds and increase pedestrian and bicyclist safety. Street sections provide landscape buffering along roads which enhances air and water quality, and creates a sense of place, while establishing a pleasant walking environment.

Table 2
Otay Ranch Resort Village Land Use Summary Table

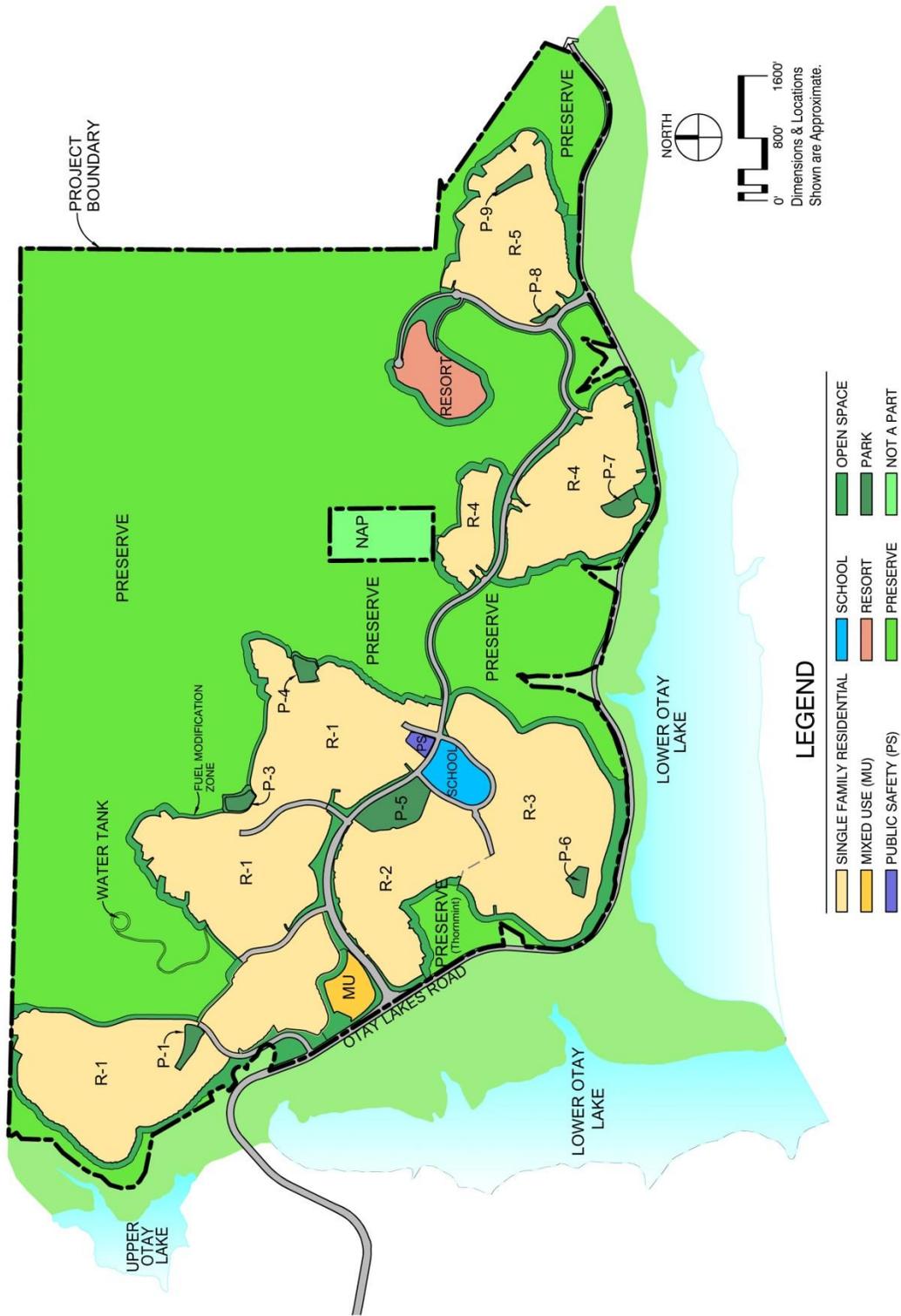
Land Use	Acres	Units	Density
Single Family Residential			
R-1	248.7	796	3.2
R-2	55.9	211	3.8
R-3	90.2	401	4.4
R-4	74.5	263	3.5
R-5	55.8	210	3.8
Single Family Total¹	525.1	1,881	3.6
Multiple Use			
MU ²	14.1	57	4.1
Multiple Use Total	14.1	57	4.1
Residential Total			
	539.2	1,938	3.6
Parks			
P-1	2.9		
P-2	1.7		
P-3	2.3		
P-4	2.2		
P-5	10.3		
P-6	2.4		
P-7	2.9		
P-8	1.3		
P-9	2.6		
Parks Total	28.6		
Resort			
Resort ³	17.4		
Resort Total	17.4		
Public Uses			
Public Safety (PS)	2.1		
School	10.0		
Public Uses Total	12.1		
Open Space and Preserve			
Open Space ⁴	143.6		
Preserve	1,089.0		
Open Space & Preserve Total	1,232.6		
Circulation			
Circulation	39.1		
Circulation Total	39.1		
TOTAL	1,869.0	1,938	

¹ Single Family Residential includes residential streets and internal slopes.

² Multiple Use includes up to 20,000 square feet of commercial/office use.

³ Resort includes up to 200 rooms and up to 20,000 sq. ft. of ancillary /commercial/office use.

⁴ Open Space includes manufactured slopes outside of Single Family Residential and excludes internal slopes.



LEGEND

- SINGLE FAMILY RESIDENTIAL
- MIXED USE (MU)
- SCHOOL
- RESORT
- PUBLIC SAFETY (PS)
- OPEN SPACE
- PARK
- PRESERVE
- NOT A PART

Exhibit 4

Site Utilization Plan

C. Grading

1. Grading Concept

Approximately 14.2 million cubic yards of cut and 14.2 million cubic yards of fill are proposed. Geotechnical reports and soils evaluations have identified the Project site as suitable for development. These reports are found in Appendix C to the EIR (*Otay Ranch Resort Village Area A TM Level Geotechnical Investigation*, Prepared by GEOCON Inc., *Otay Ranch Resort Village Area B TM Level Geotechnical Investigation*, Prepared by GEOCON Inc., *Otay Ranch Resort Village Otay Lakes Road Widening and Realignment Geotechnical Investigation*, Prepared by GEOCON Inc).

Development of the Otay Ranch Resort Village occurs on terraces integrated into the natural landform to minimize grading, optimize views and promote passive solar heating and cooling opportunities. The goal of the Land Use Plan is to concentrate development on flatter areas (e.g., mesas, hilltops) and respect major topographic features. Manufactured slopes occur between neighborhoods and along roadways. Planned grading would result in undulating slopes of variable horizontal and vertical gradients to integrate development into the natural landform. To soften the manufactured appearance, large expanses of slopes would be contour-graded for a more natural appearance. Slopes will be landscaped with a mixture of trees, shrubs and groundcover to soften the manufactured appearance. A "California Friendly" landscaping palette has been developed that balances water conservation, aesthetic and fire prevention goals. (See Village Design Plan, Appendix V and Fire Protection Plan, Appendix II)

The Resort Village grading concept plan is depicted in Exhibit 5.

The GDP and RMP establish a ranch-wide standard for landform modification that 83% of steep slopes (natural slopes with gradients of 25% or greater) shall be preserved within the Otay Ranch. Based on current data collection and updated modeling results, Otay Ranch contains 9,821 acres of land with gradients of 25% or greater. Applying the GDP/RMP requirement for 83% Ranch-wide steep slope preservation equates to 1,670 acres of steep slopes Ranch-wide that could be impacted.

Development of Village 13 would impact approximately 166.5 acres of natural steep slopes within the Otay Valley Parcel of Otay Ranch (Exhibit 6). Future build out projections for remaining SPA Plan areas in the Otay Valley, Proctor Valley, and San Ysidro Parcels estimate that 682.3 acres of steep slopes will be impacted Ranch-wide in addition to the 166.5 acres within Village 13. Combined with approved steep slope impacts (approximately 538.3 acres from SPA plans in the Otay Valley Parcel), Ranch-wide impacts are estimated at 1,387.1 acres. The 1,387.1 acres of impact equates to approximately 86% preservation which is above the 83% preservation standard in the RMP.

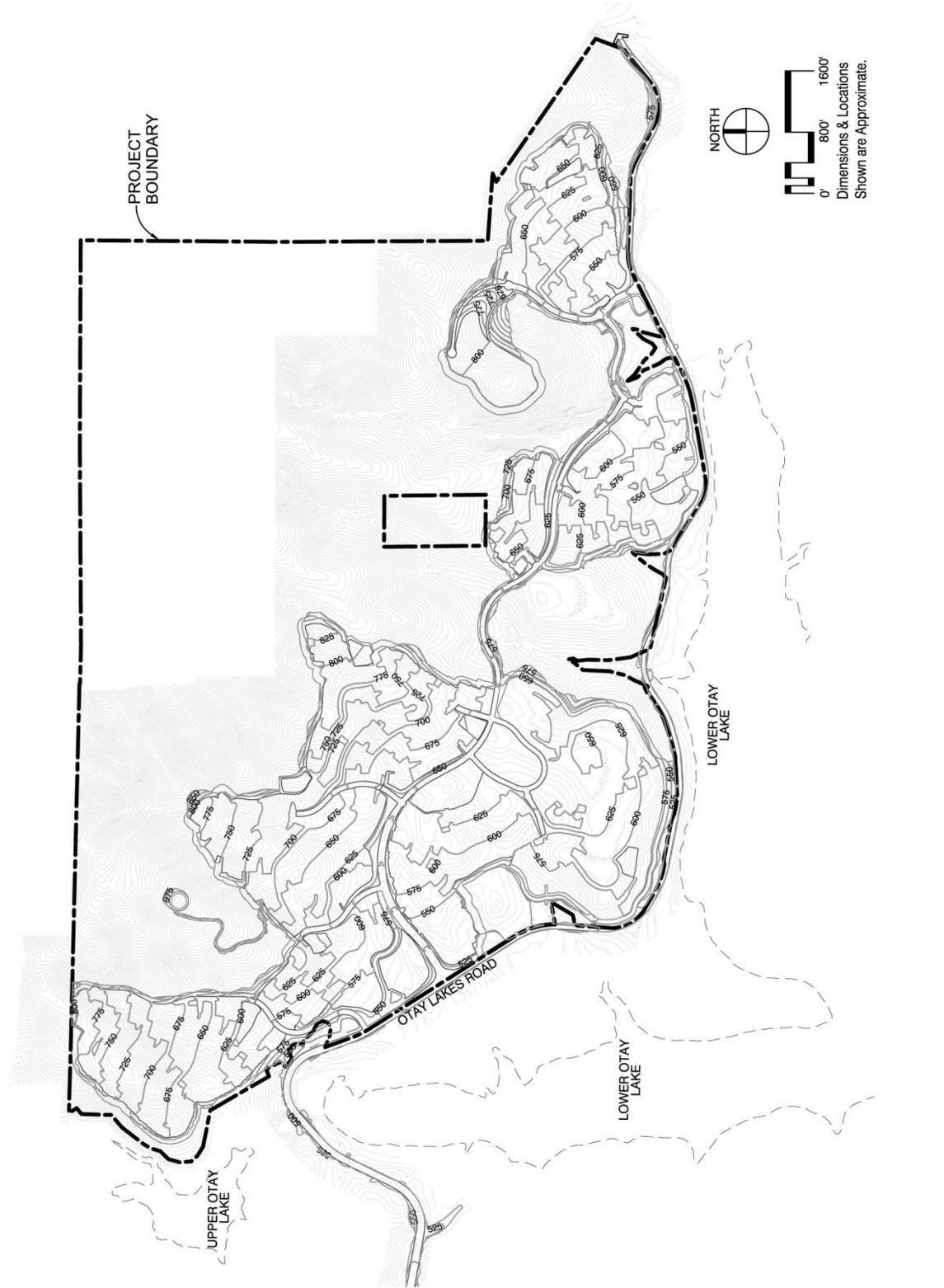


Exhibit 5

Grading Concept Plan

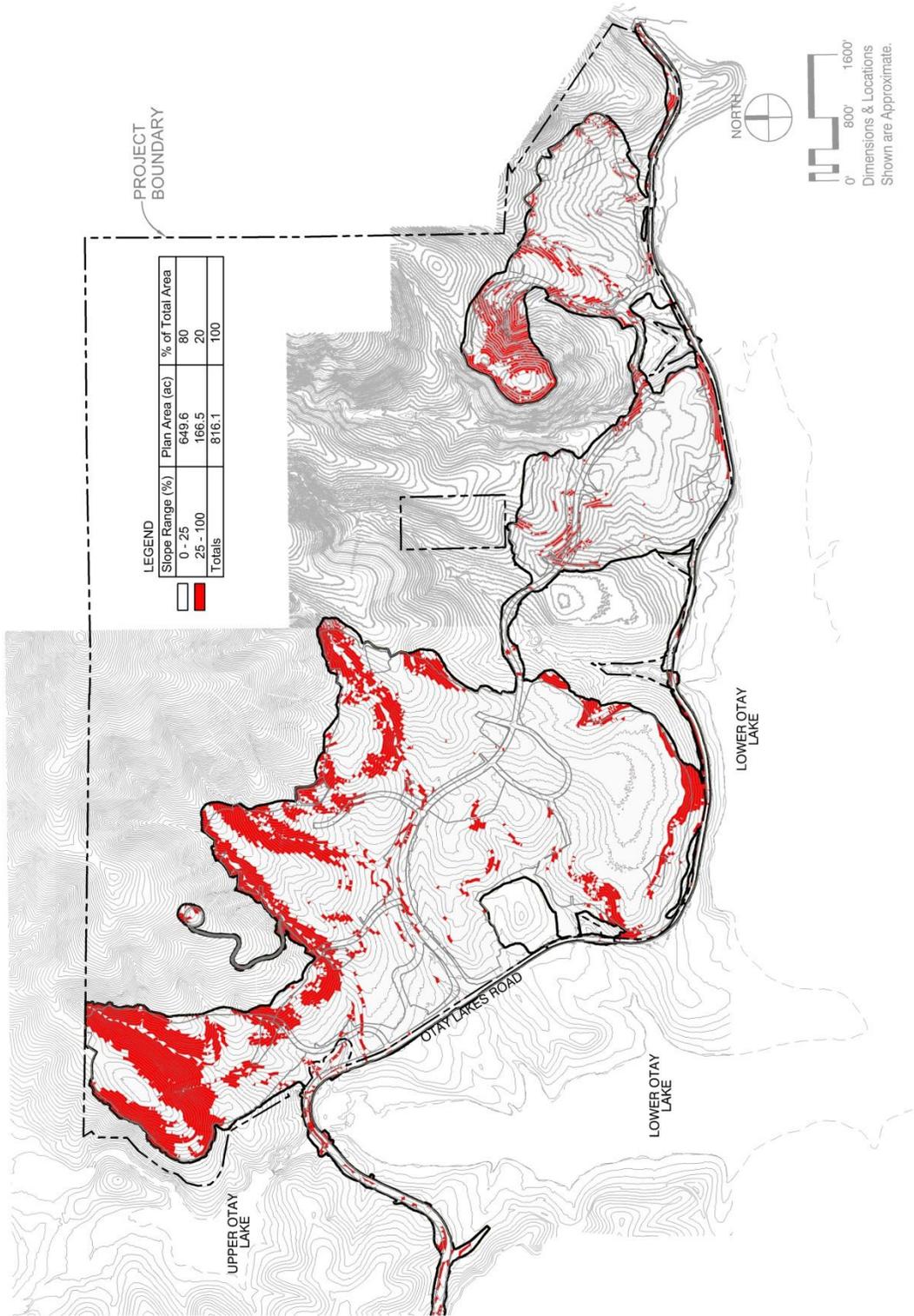


Exhibit 6

Steep Slopes

D. Circulation Plan

The Otay Ranch Resort Village Circulation Plan provides for a transportation system utilizing existing roadways and new facilities. The Circulation Plan incorporates vehicular and non-vehicular modes of transportation in a system of roads, bike lanes, trails and pathways. Roads are arranged in a hierarchy, organized by function, to facilitate access within and around the community. The plan seeks to implement street sections to slow traffic, create a pleasant walking environment and minimize urban runoff.

Regional access is provided by State Route 125, located approximately three miles west of the site. Interstate 805 provides additional north-south access for traffic generated from the South San Diego County areas including Otay Ranch and other portions of eastern Chula Vista. State Route-54 connects with SR-125 and I-805 about six miles north of the site, providing east-west access. Additional east-west access is provided by Interstate 905 located about six miles south of the site.

Primary local access to the Otay Ranch Resort Village is provided from the west by Telegraph Canyon Road, a 6-lane prime arterial in the City of Chula Vista. Telegraph Canyon Road transitions to Otay Lakes Road, a 4-lane Boulevard with Raised Median, and then to a 2-lane community collector beyond the Strada Piazza entrance to the Resort Village.

The goal of the internal circulation plan is to provide vehicular access via alternate routes to disperse traffic and avoid "through routes" within residential neighborhoods. Several traffic calming design features have been incorporated throughout the project's internal circulation and street design to reduce travel speeds on most streets to 30 mph. This reduced speed allows bicycles to travel on streets without designated travel lanes. Reduced speeds also encourage walking and enhance the quality of life throughout the community. The project's circulation network is conceptually shown in Exhibit 7.

Public transit service for the Otay Ranch Resort Village may be provided by Metropolitan Transit Service (MTS). Currently, MTS provides bus service through EastLake and adjacent Otay Ranch Villages in eastern Chula Vista, including the EastLake Business Center and nearby Southwestern College. Expansion of transit services to the Otay Ranch Resort Village could include a bus route to the Multiple Use area.

The project engineer will verify any vegetation within the public right-of-way will maintain adequate lines of sight and sight distance along roadways.

Each street section is described below and depicted in Exhibits 8 through 20.

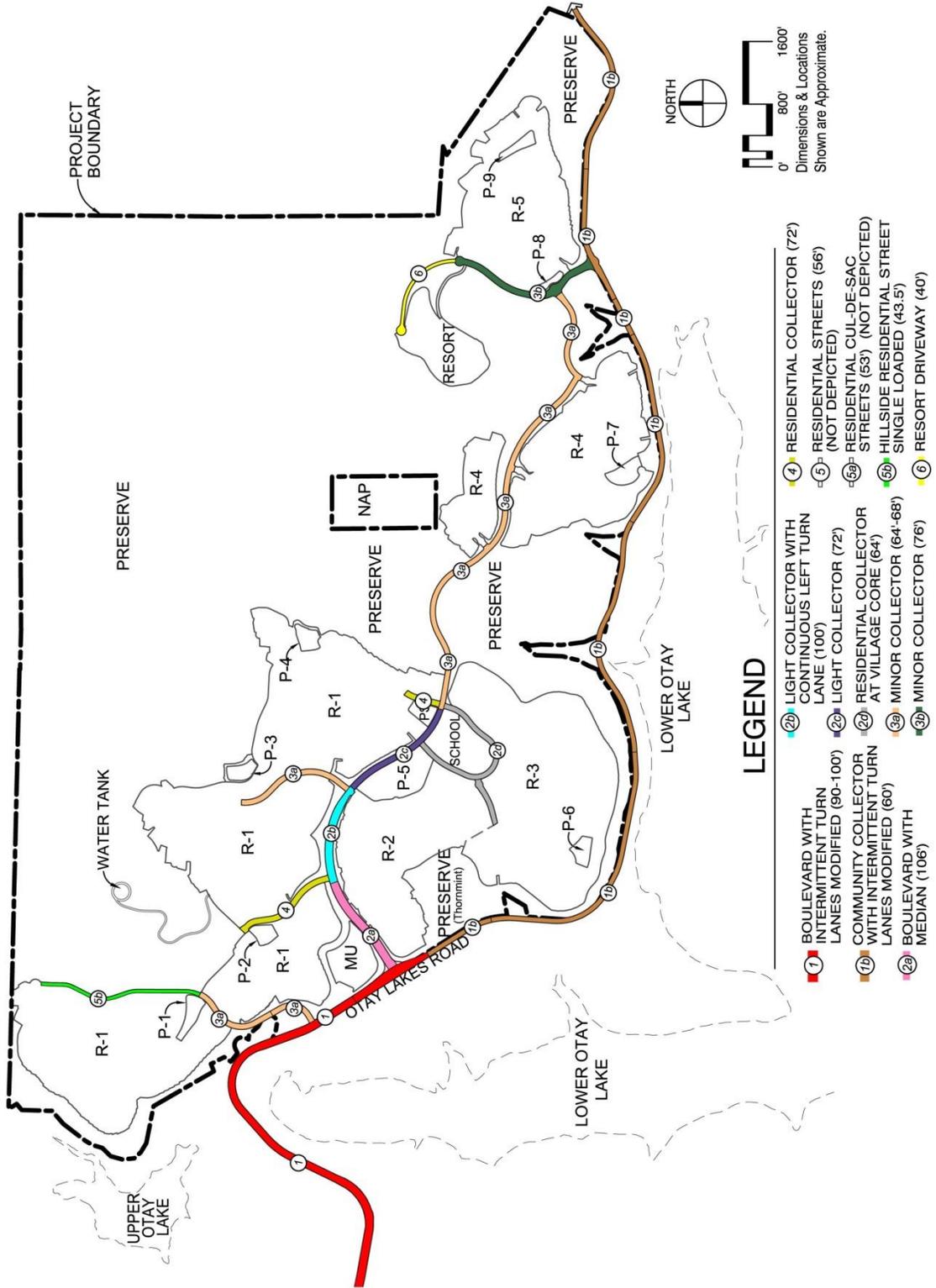


Exhibit 7

Circulation Concept Map

1. Boulevard with Raised Median / Community Collector – Otay Lakes Road (Street Sections 1, and 1b)

Otay Lakes Road is an existing two lane roadway which forms the western and southern boundary of the Resort Village and provides access to the community. The westernmost portion of Otay Lakes Road from the City/County jurisdictional boundary is a Boulevard with Raised Median and consists of four travel lanes, a median, bike lanes, intermittent emergency parking and a 10' pathway on the south side of the road which transitions to an 8' pathway at the first project entrance. A roundabout is provided at the intersection of Otay Lakes Road and Strada Piazza. Otay Lakes Road transitions to a Community Collector east of the second entry into the Resort Village and consists of two travel lanes, bike lanes and a pathway on the south side of the road.

These street sections are depicted in Exhibits 8 and 9.

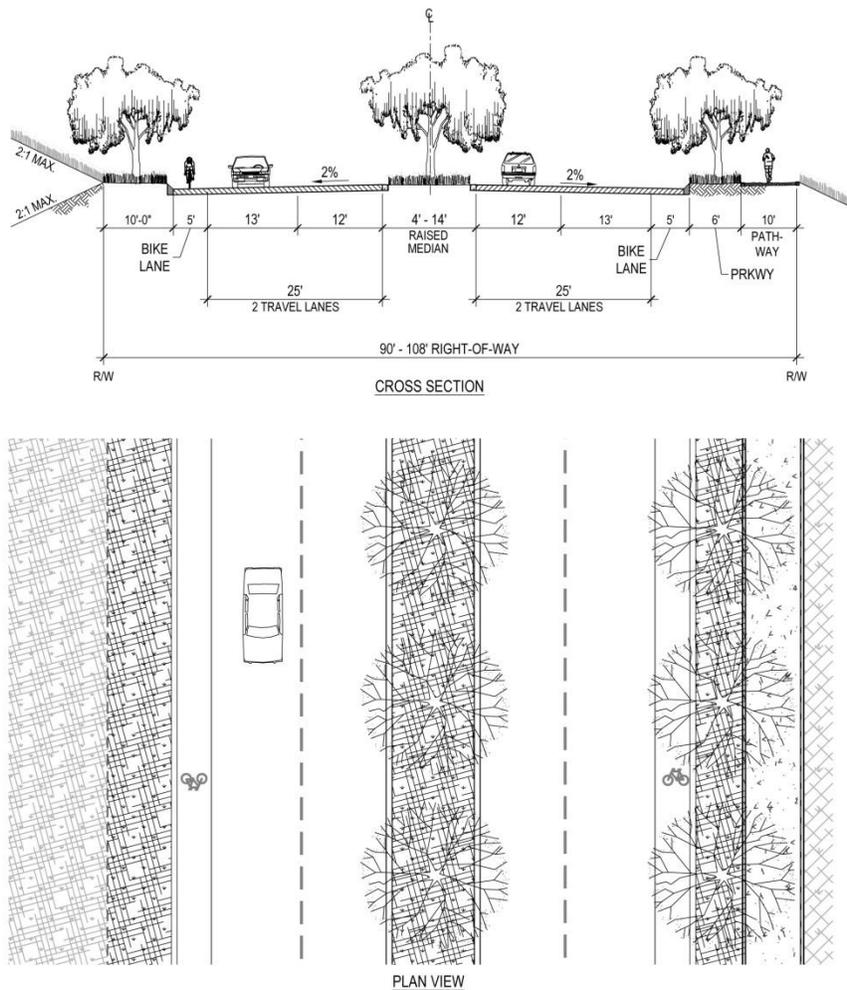
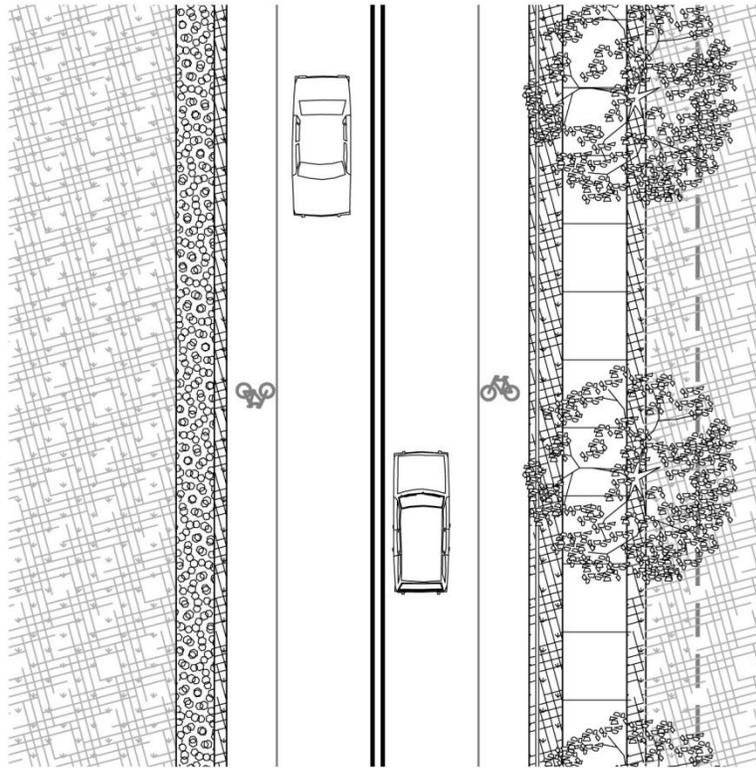
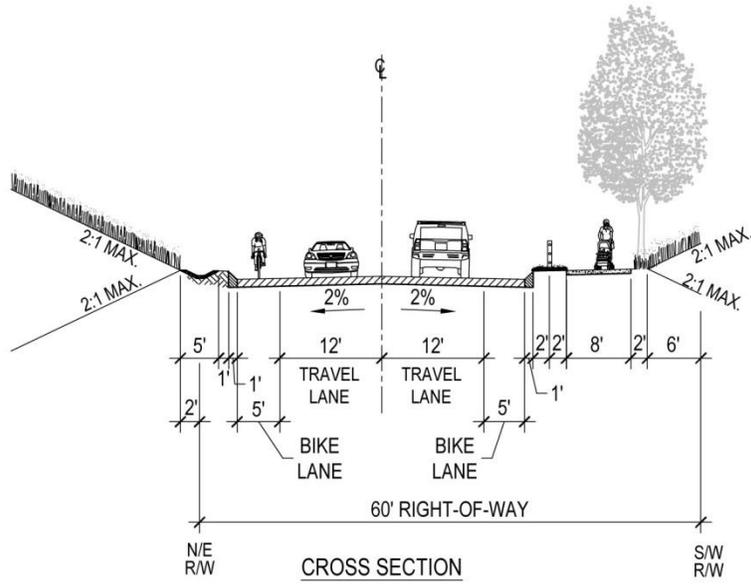


Exhibit 8

Street Section 1 – Boulevard with Raised Median



PLAN VIEW

Exhibit 9

Street Section 1b – Otay Lakes Road
(Community Collector with Intermittent Turn Lanes)

2. Boulevard with Median – Strada Piazza (Street Section 2a)

Strada Piazza serves as the primary access from Otay Lakes Road into the western area of the Resort Village. The Boulevard with Median section consists of four travel lanes, a planted median, landscaped parkways and a 10' pedestrian pathway on both sides. Parking is not permitted on this portion of Strada Piazza. This street section is depicted in Exhibit 10.

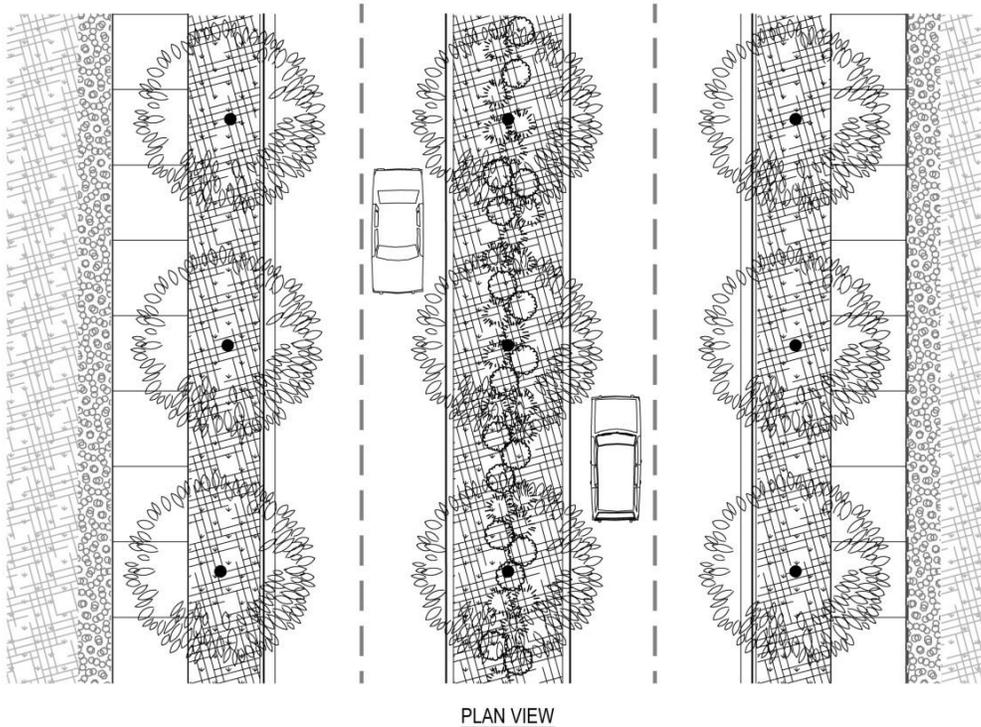
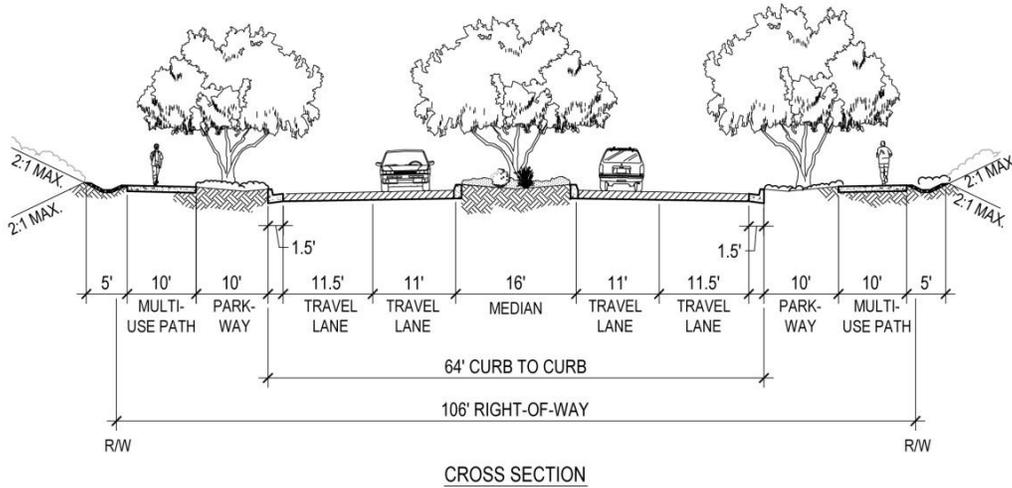


Exhibit 10

Street Section 2a – Boulevard with Median (Strada Piazza)

3. Light Collector with continuous Left Turn Lane – Strada Piazza (Street Section 2b)

This section of Strada Piazza consists of a two-lane street with a paved median approaching the Village Core. The Light Collector consists of two travel lanes, a paved median, landscaped parkways, and 10' multi-use pathways on both sides. Parking is not permitted on this portion of Strada Piazza. This street section is depicted in Exhibit 11.

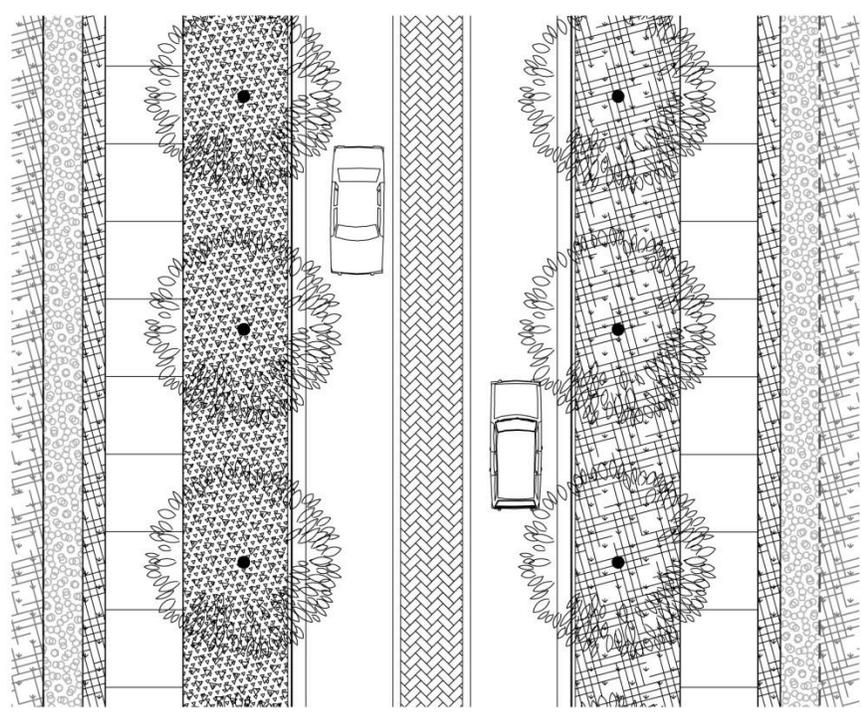
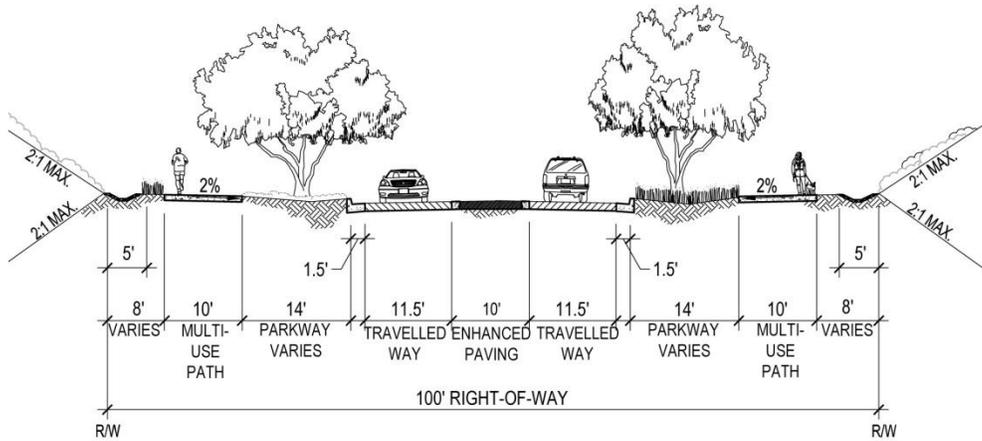


Exhibit 11

Street Section 2b – Light Collector with Left Turn Lane (Strada Piazza)

4. Light Collector – Strada Piazza (Street Section 2c)

Strada Piazza continues east through the Village Core where it transitions to a modified Light Collector consisting of two travel lanes, bay parking with landscaped pop-outs, landscaped parkways, a sidewalk on one side and a 10' multi-use pathway on the other side. This section features traffic calming measures which include raised intersections and bay parking with landscaped pop-outs. This street section is depicted in Exhibit 12.

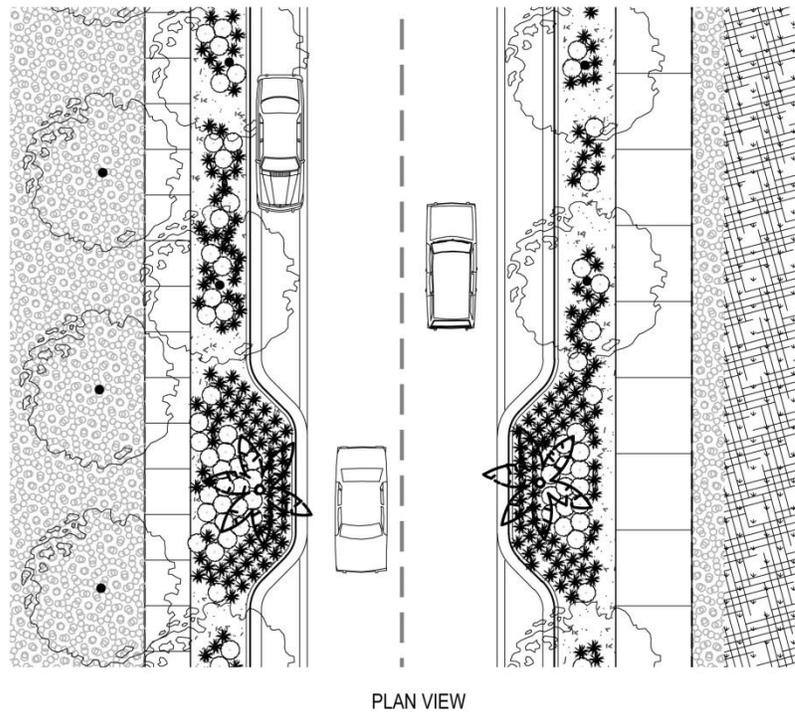
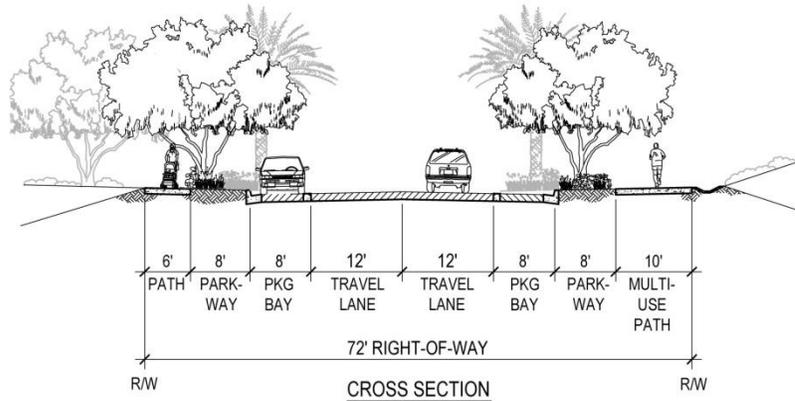


Exhibit 12

Street Section 2c – Light Collector (Strada Piazza)

5. Residential Collector at Village Core (Street Section 2d)

This section provides access to the elementary school site and residential neighborhoods in the central portion of the Village. It consists of two travel lanes, bay parking with landscaped pop-outs on both sides, landscaped parkways, and 6' pathways on both sides. This street section is depicted in Exhibit 13.

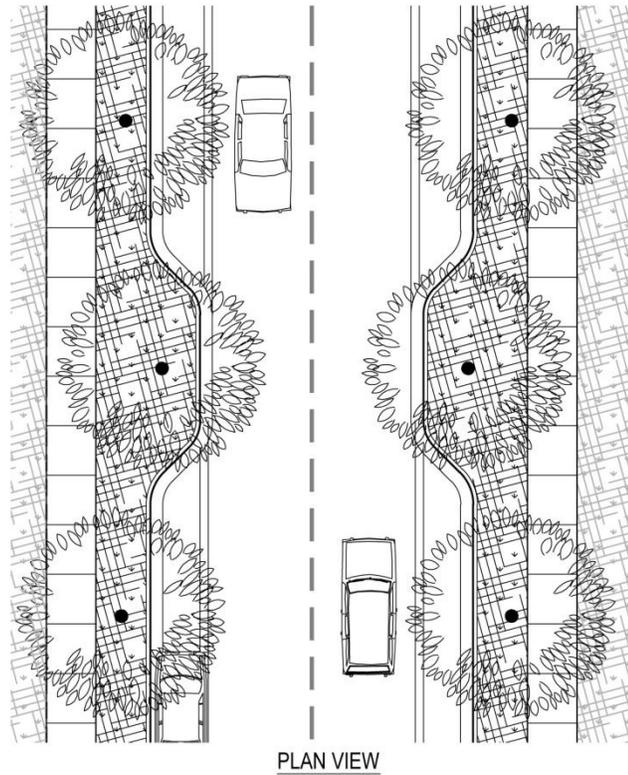
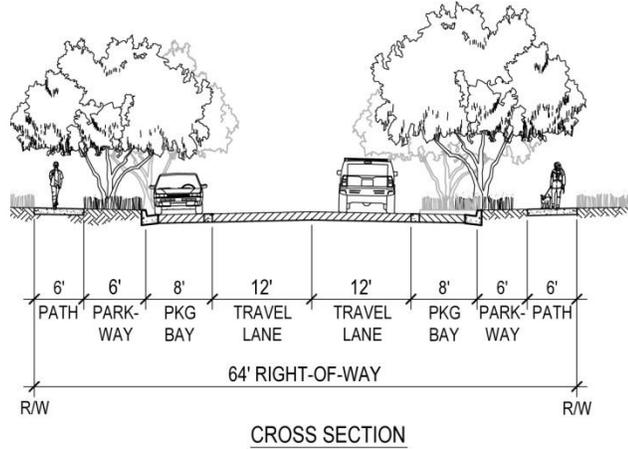


Exhibit 13

Street Section 2d – Residential Collector at Village Core

6. Minor Collector (Street Section 3a)

This section consists of two travel lanes and large landscaped parkways, with a 10' multi-use pedestrian pathway on one side. Where this section crosses the Otay Ranch Preserve, the landscaped parkway is reduced to 8' – 10' to minimize impacts and not landscaped to afford dramatic open space views. Parking is not permitted on this portion of Strada Piazza. This street section is depicted in Exhibit 14.

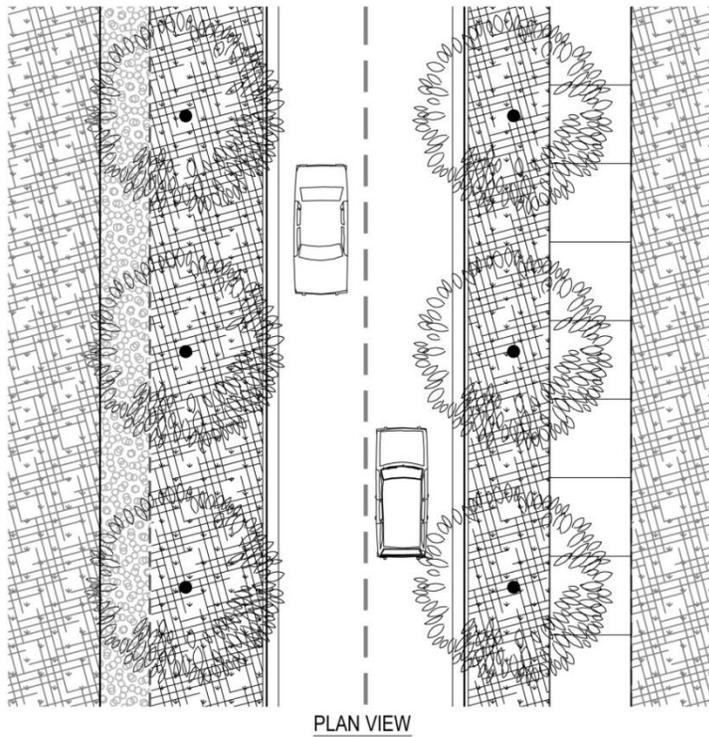
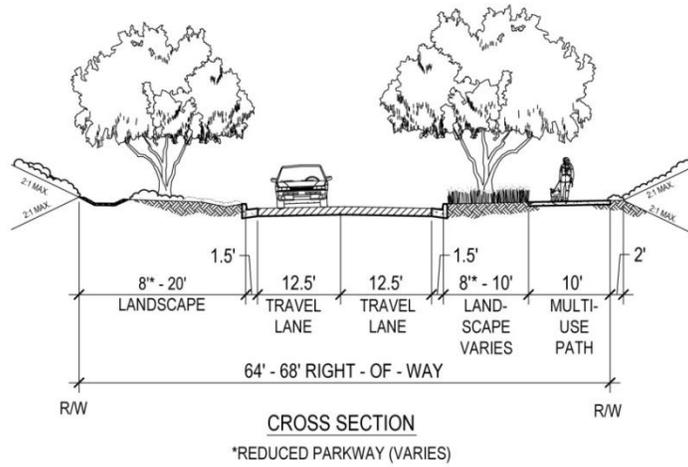
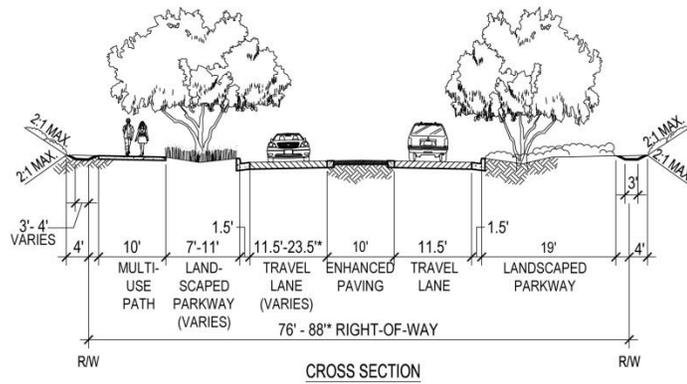


Exhibit 14

Street Section 3a – Minor Collector

7. Minor Collector – Strada Ravenna (Street Section 3b)

Strada Ravenna provides access from Otay Lakes Road to the easternmost residential neighborhoods, as well as the Resort Planning Area. One roundabout is provided at the intersection of Strada Ravenna and Otay Lakes Road and a second roundabout is provided at the intersection of Strada Ravenna and Strada Piazza. This street consists of two travel lanes, a center paved median (accessible for emergency access), large landscaped parkways and a 10' multi-use pedestrian pathway on one side. South of the roundabout at Strada Piazza, this section widens to three travel lanes to Otay Lakes Road, two egress and one ingress. Parking is not permitted on Strada Ravenna. This street section is depicted in Exhibit 15.



*ADDITIONAL 12' EMERGENCY LANE FROM OTAY LAKES RD. TO ST. UU.

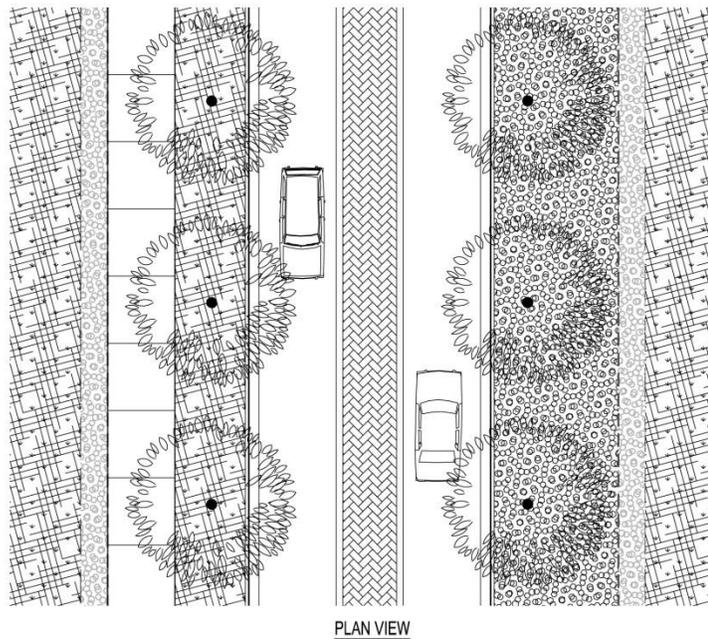
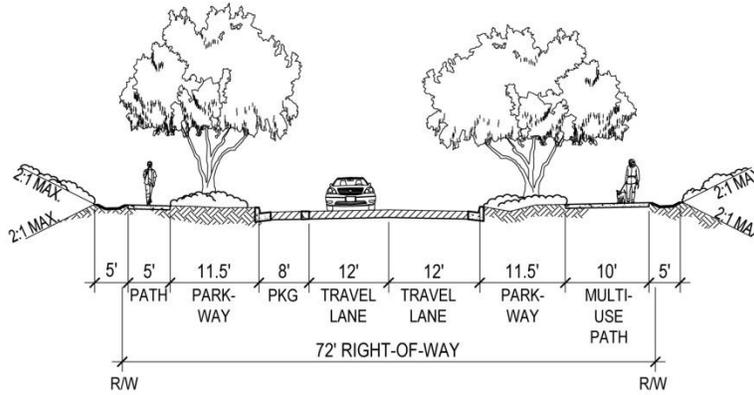


Exhibit 15

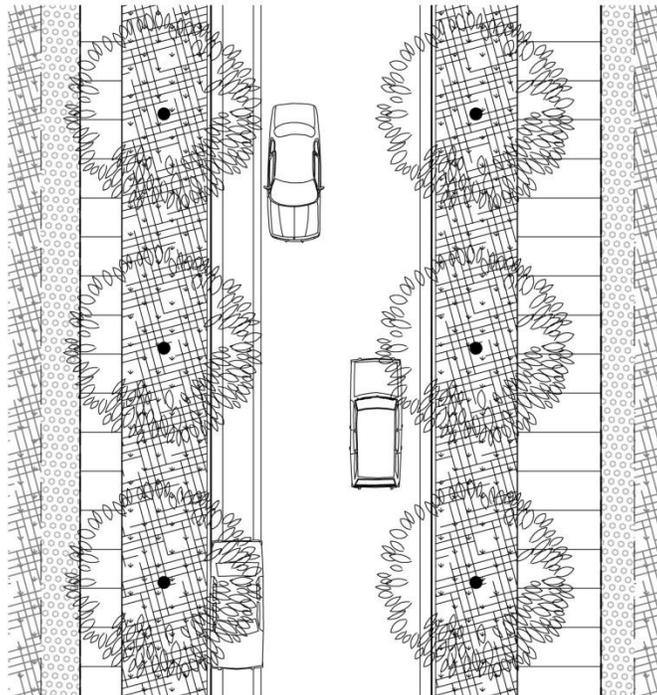
Street Section 3b – Minor Collector (Strada Ravenna)

8. Residential Collector - (Street Section 4)

This section provides access to residential neighborhoods in the northwest portion of the site. The section streets consist of two travel lanes, expansive landscaped parkways and a 10' multi-use pedestrian pathway on one side and a sidewalk on the other side. Parking is permitted on one side of this section. This street section is depicted in Exhibit 16.



CROSS SECTION



PLAN VIEW

Exhibit 16

Street Section 4 – Residential Collector

9. Residential Street - (Street Section 5)

The Residential Street Section is planned for single family neighborhoods and consists of two travel lanes, landscape parkways and sidewalks. Parking is permitted on both sides of the Residential Street. This street section is depicted in Exhibit 17.

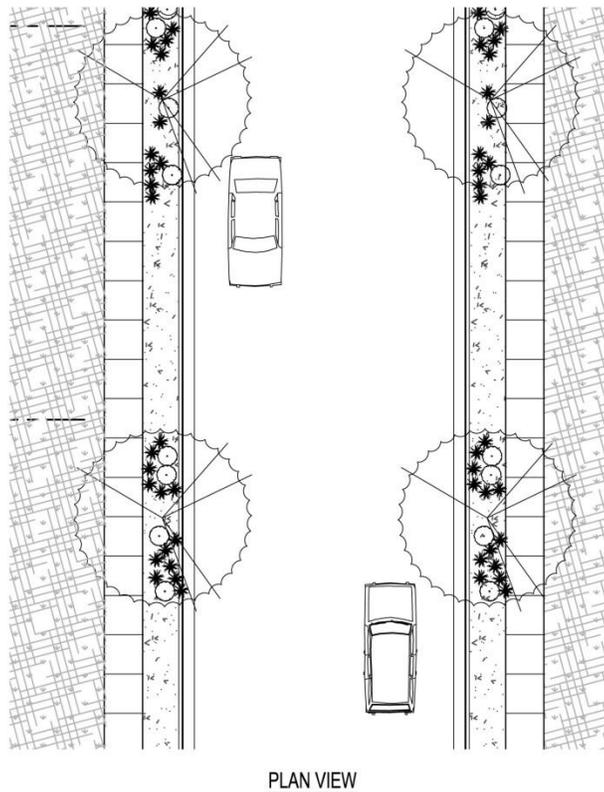
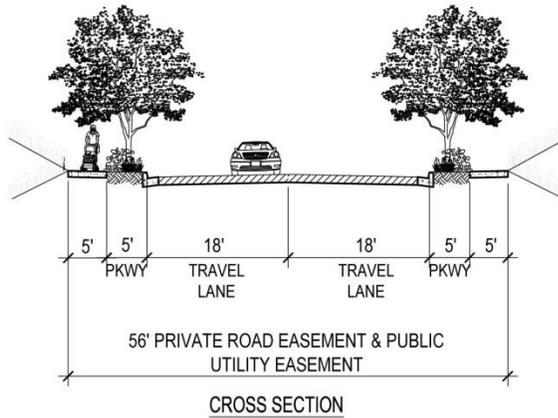


Exhibit 17

Street Section 5 – Residential Street

10. Residential Street for Cul-de-sac and Loop Street (Street Section 5a)

This Residential Street section is planned for the single family neighborhoods on cul-de-sacs which do not exceed 600 feet in length. This Residential Street section consists of two travel lanes, parking on one side, and landscaped parkways and sidewalks on both sides. This street section is depicted in Exhibit 18.

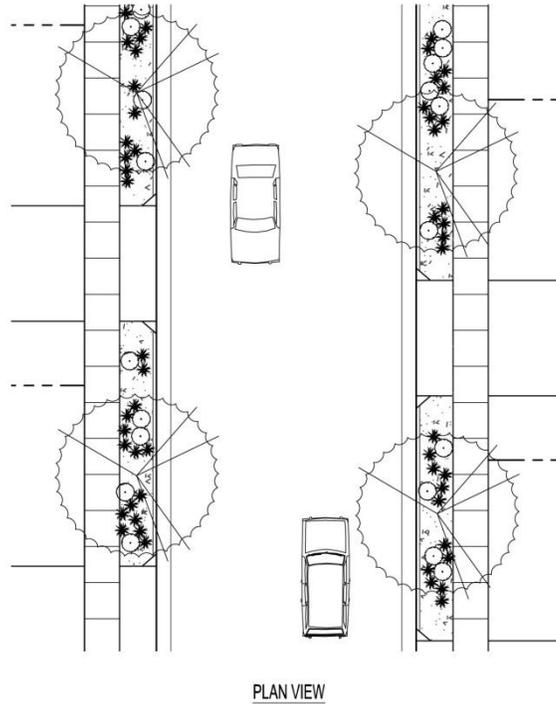
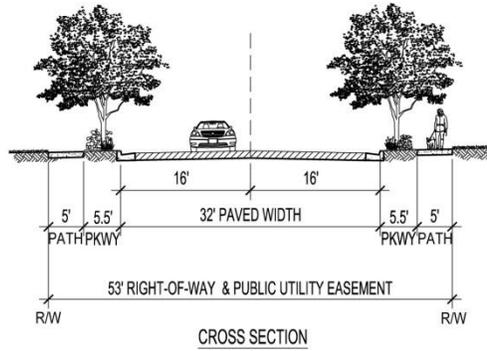


Exhibit 18

Street Section 5a – Residential Street (for Cul-de-sac and Loop Street)

11. Hillside Residential Street – Single Loaded (Street Section 5b)

The Hillside Residential Street Single-Loaded street section is proposed throughout the single family neighborhoods where a street is single loaded. The section consist of two travel lanes, parking on one side, landscaped parkway and a sidewalk on one side, and a landscaped open space area on the opposite side. Parking is not permitted on the unloaded side of the street. This street section is depicted in Exhibit 19.

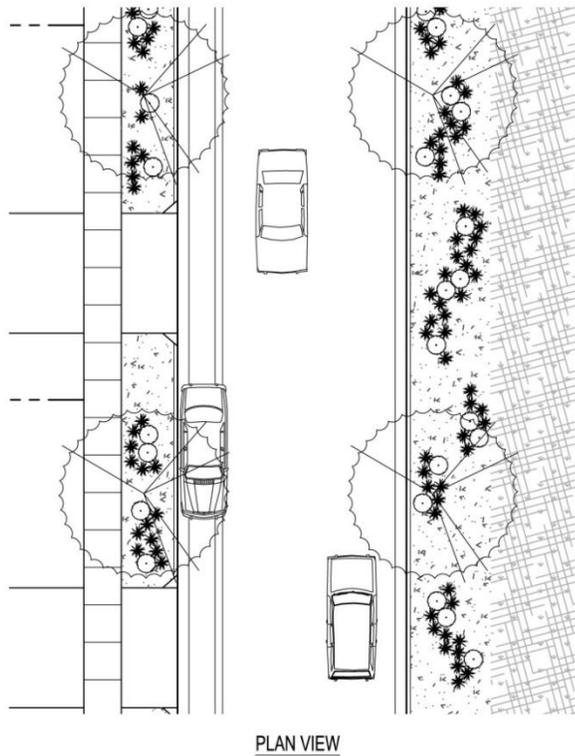
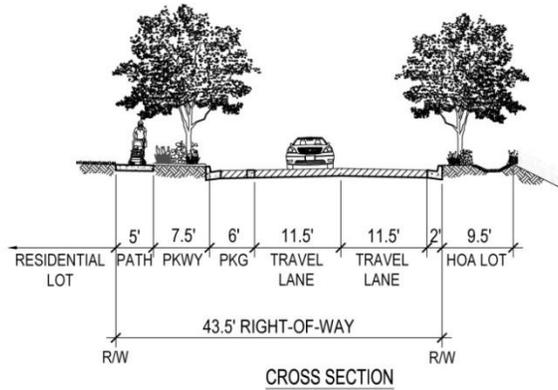
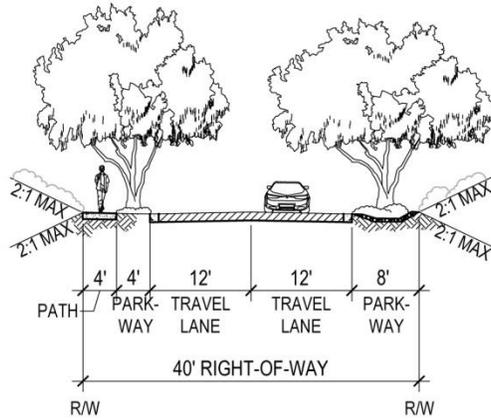


Exhibit 19

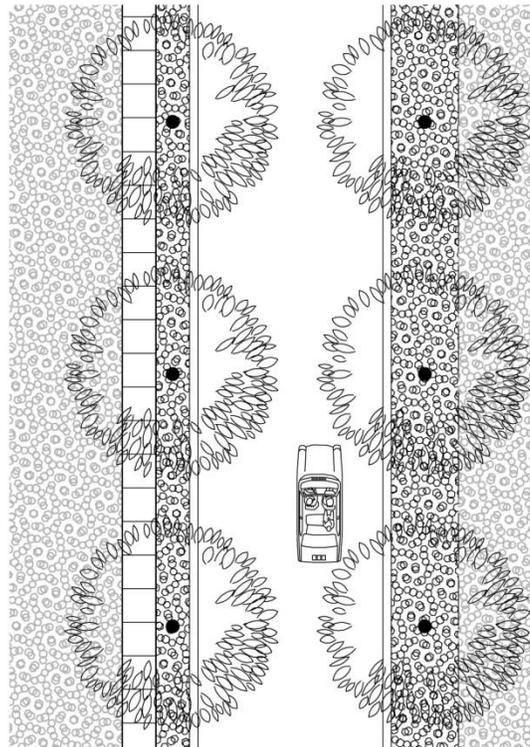
Street Section 5b – Hillside Residential Street (Single Loaded)

12. Resort Driveway (Street Section 6)

The Resort Driveway provides access via a private driveway from the northern terminus of Strada Ravenna to the Resort Planning Area. The driveway consists of two travel lanes and landscaped parkways on both sides. These street sections are depicted in Exhibit 20.



CROSS SECTION



PLAN VIEW

Exhibit 20

Street Section 6 – Resort Driveway

13. Gated Entries

Gated entries may serve Planning Areas R-3, R-4 and R-5. The gated entries help implement the Resort Village's design theme and establish a neighborhood's individual character. The gated entries do not affect the connectivity of the plan's circulation network. Gated entries are located to allow public access to the elementary school, public parks and the Resort Planning Area while controlling public access into private residential neighborhoods. Gates will be designed to meet the County's Consolidated Fire Code and an administrative permit may be required pursuant to Zoning Ordinance sections 6708. See the Village Design Plan (Appendix V) for neighborhood entry details.

E. Traffic Calming

A "Guiding Principle" of the Otay SRP is to provide an integrated system of streets, trails and pathways that promote walking and biking, while ensuring vehicular and pedestrian safety. Consistent with the Otay SRP, the Resort Village provides traffic calming measures to reduce vehicle speeds which increases pedestrian and bicyclist safety. Applicable Otay SRP Goals, Policies, and Objective Implementation Measures are identified below.

Encourage Walking and Biking:

- Villages fashioned to encourage walking and biking on streets linked to interesting destinations, (Otay SRP pg. 7);
- Promote alternative forms of transportation, such as bicycle and cart paths, riding and hiking trails, and pedestrian walkways as an integral part of the circulation system, (Otay SRP pg. 219);
- Develop patterns of land use which will allow the elimination of automobile trips and encourage pedestrian movement through pedestrian-friendly environments and proper land use mix, (Otay SRP pg. 219);
- Encourage pedestrian traffic as an alternative to single vehicle travel, (Otay SRP pg. 336);
- Configure internal village streets to give pedestrian traffic a priority, (Otay SRP pg. 337);

Promote Traffic/Pedestrian Safety:

- Design village roads for human rather than automobile scale while ensuring public safety in all cases, (Otay SRP pg. 221);
- Streets shall balance the needs of pedestrians, buses, and automobiles. Intersections shall encourage pedestrian movement, reduce the number of turning lanes (where feasible), reduce auto speed while ensuring public safety, and provide for emergency vehicle access, (Otay SRP pg. 104);

Reduce Traffic Speeds:

- Streets shall balance the needs of pedestrians, buses, and automobiles. Intersections shall encourage pedestrian movement, reduce the number of turning lanes (where feasible), reduce auto speed while ensuring public safety, and provide for emergency vehicle access, (Otay SRP pg. 104);
- Encourage other transportation modes through street/road design within the village, while accommodating the automobile. Design standards are not focused on achieving LOS standards or providing auto convenience, (Otay SRP pg. 217);

Buffer Streets with Landscaping:

- Buffer walkways with landscaping such as berms, trees and other vegetation, (Otay SRP pg. 336);
- Encourage the extensive planting of street trees, while remaining consistent with water conservation goals, (Otay SRP pg 337)

The Otay Ranch Resort Village traffic calming measures include roundabouts, raised intersections and bay parking with landscaped pop-outs within the Village Core and intersection neckdowns along Residential Collectors and at key intersections within residential neighborhoods (see Exhibit 21, Traffic Calming Plan).

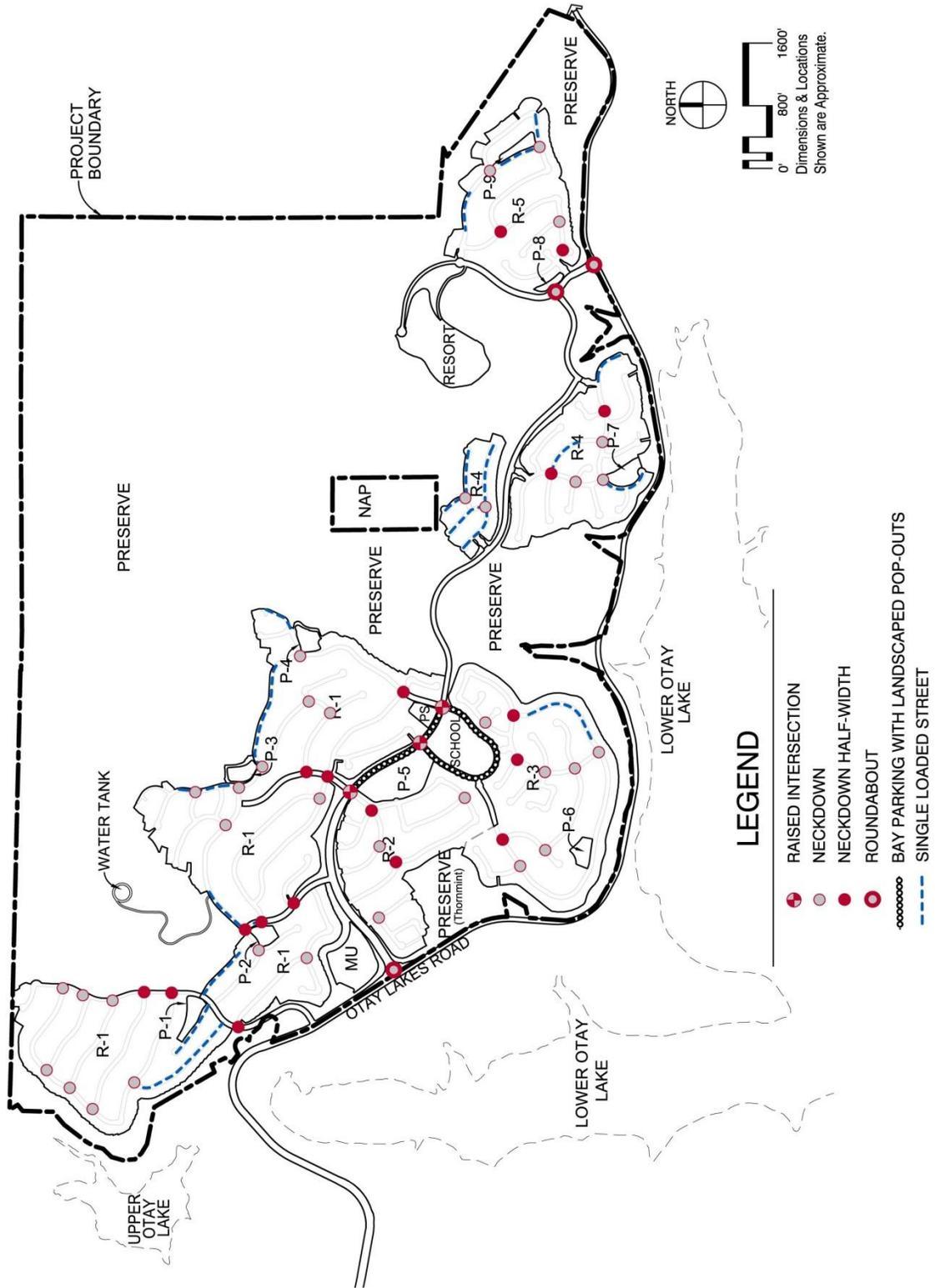


Exhibit 21

Traffic Calming Plan

1. Roundabouts

The Resort Village includes three roundabouts. Two roundabouts are located on Otoy Lakes Road; one at the Strada Piazza entrance and the second at the Strada Ravenna entrance. The third roundabout is internal to the Resort Village at the intersection of Strada Piazza and Strada Ravenna. These roundabouts moderate traffic speed, enhance safety for pedestrian crossings and minimize queuing at the intersection approaches while maintaining traffic flow. In addition, the roundabouts create gateways into the Resort Village through the use of enhanced paving and landscaping. Roundabout details are depicted on Exhibits 22 and 23.

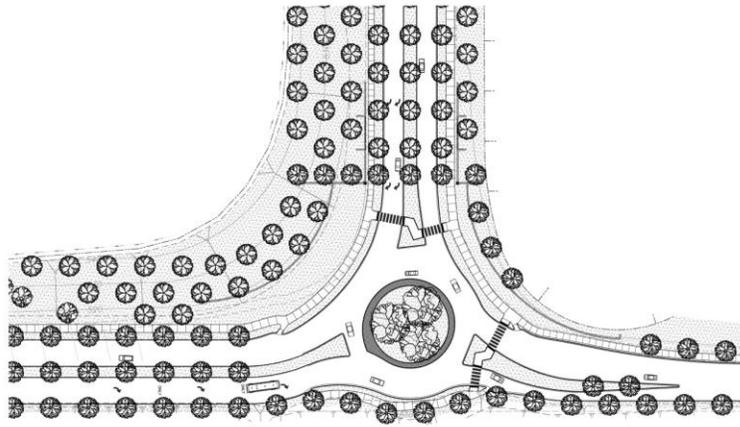


Exhibit 22

Roundabout (at Entry)

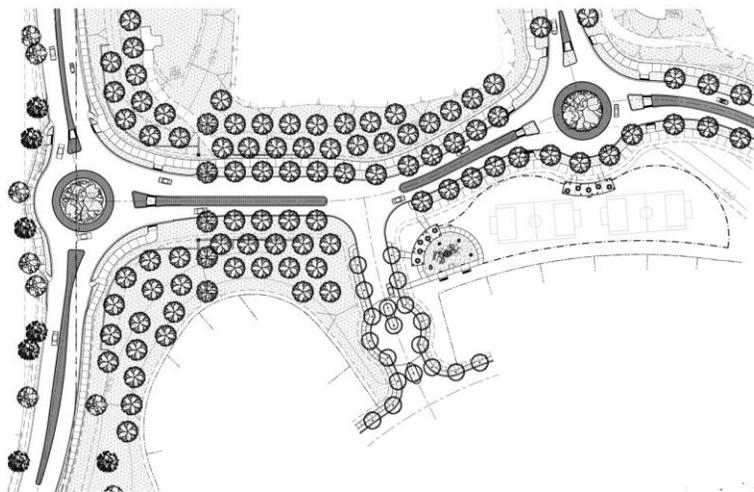
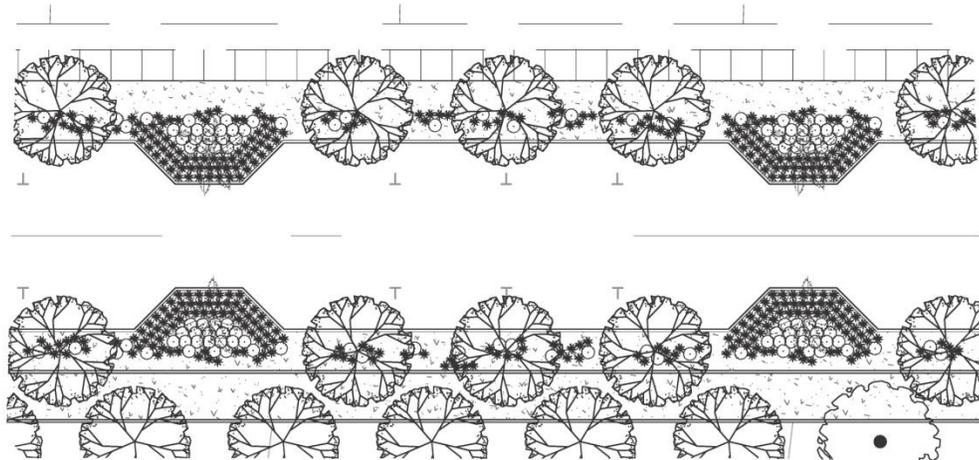


Exhibit 23

Roundabout (at Secondary Entry)

2. Parallel Bay Parking with Landscaped Pop-Outs

Bay parking with landscaped pop-outs are located within the Village Core (along portions of Strada Piazza) adjacent to the P-5 neighborhood park and elementary school site. This traffic calming feature slows traffic by creating pinch points (minimum 24' width) at mid points along these streets. Bay parking with landscaped pop-outs provides protected parallel bay parking and creates a sense of place through enhanced landscaping. The bay parking with landscaped pop-outs detail is depicted on Exhibit 24.



Plan View



Elevation

Exhibit 24

Parallel Bay Parking with Landscaped Pop-Outs

3. Raised Intersections

This Resort Village includes three raised intersections along Strada Piazza. These intersections, adjacent to the P-5 neighborhood park and elementary school, are selected due to the intensity of adjacent pedestrian activity. Raised intersections are speed tables for an entire intersection and serve a dual purpose: slowing vehicles on approach and through the intersection, and easing pedestrian movement at the crossings. Raised intersections encourage motorists to yield to pedestrians. The crosswalks on each approach are elevated to enable pedestrians to cross at the same level as the sidewalk, eliminating the need for curb ramps. Enhanced paving in the approach travel lanes and at the crosswalks alert both the driver and pedestrian as they approach/enter the intersection. Landscape elements at the corners of the raised intersection further enhance the pedestrian experience. Raised intersection details are depicted on Exhibit 25.

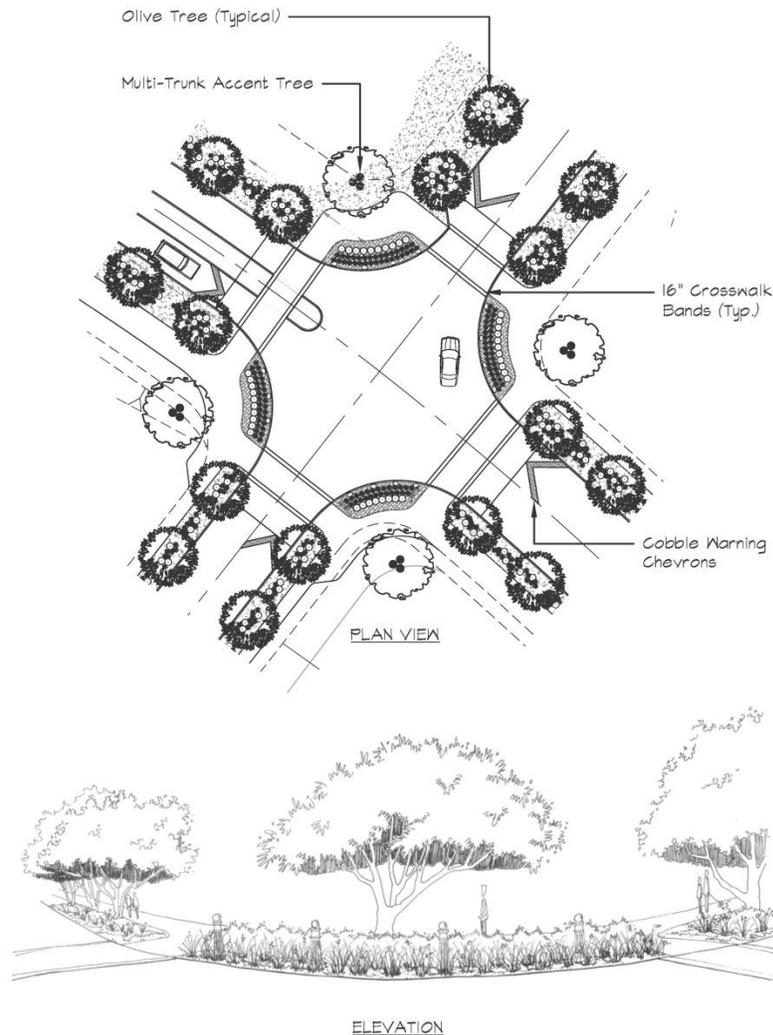


Exhibit 25

Raised Intersection

4. Intersection Neckdown

Intersection neckdowns are located along collectors and within residential neighborhoods. This traffic calming feature slows traffic on long, unobstructed road sections by creating "side friction" through the intersection and narrowing each travel way to 12' (minimum 24' total width). Neckdowns reduce the crossing distance for pedestrians and create protected parking. Landscaping at the intersection corners carries the Resort Village's landscape character into the neighborhoods. A typical neckdown intersection detail is depicted on Exhibit 26.

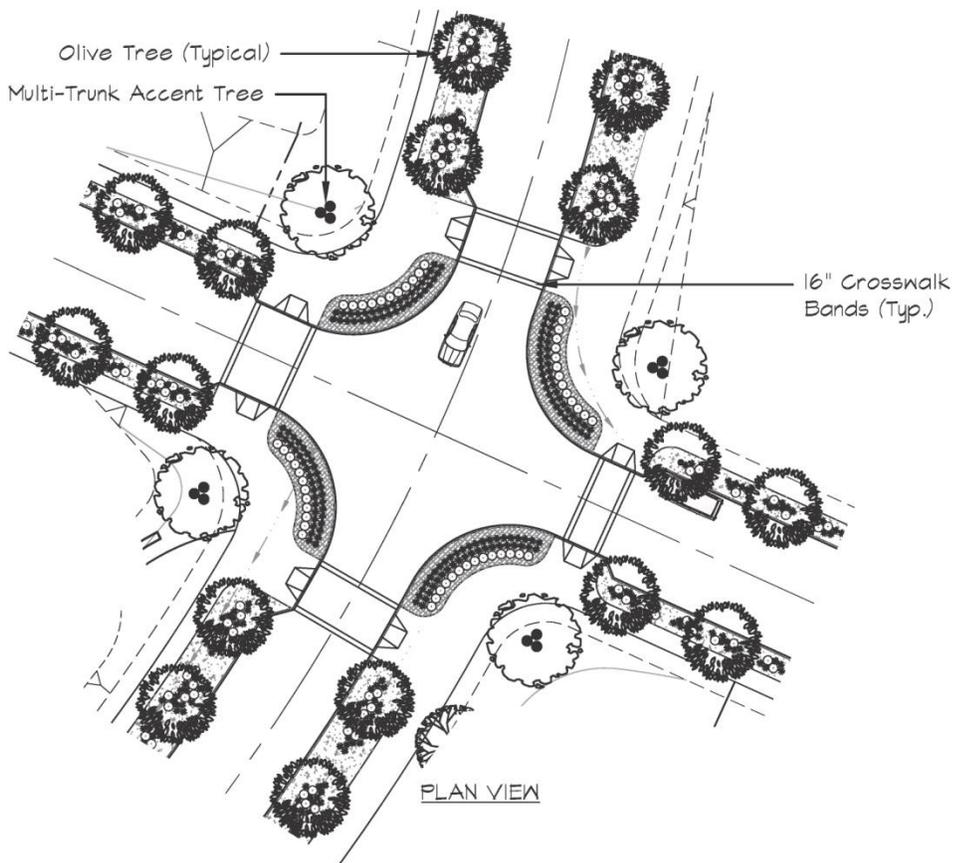


Exhibit 26

Intersection Neckdown

F. Agriculture Plan

The Otay Ranch Program EIR (PEIR) requires preparation of an Agriculture Plan concurrent with approval of any specific plan affecting onsite agriculture resources. The PEIR states that the Agriculture Plan shall indicate the type of agriculture activity allowed as an interim use including buffering guidelines designed to prevent potential land use interface impacts related to noise, odors, dust, insects, rodents and chemicals that may accompany agriculture activities and operations.

Historically, agriculture uses in the Resort Village area included “dry farming,” cattle and sheep grazing. Crop production was limited to dry farming of hay and grains due to limited water availability.

While controlled grazing in the Resort Village Planning Area has been a permitted use, grazing was halted in 1999 to protect sensitive native habitats. Cultivation has not been permitted as an interim use in the Resort Village. Pursuant to the Development Regulations included in this Specific Plan, agriculture uses are not permitted; therefore there is no need to prepare buffering guidelines to prevent conflicts with agricultural uses.

G. Housing Plan

The Otay Ranch Resort Village meets the Otay SRP goal of providing diverse housing types through development of single family detached, smaller lot detached and attached units. The community provides single family residential neighborhoods with densities between 3.2 and 4.4 dwelling units per acre. The overall single-family average density is 3.6 dwelling units per acre.

Additionally, the plan permits for a Multiple Use Planning Area with 57 homes on 14.1 acres.

An Affirmative Fair Marketing Plan to describe outreach efforts and lending practices to attract prospective homebuyers and/or tenants in the proposed housing marketing area, regardless of gender, age, race, religion, handicap or economic status, will be prepared prior to construction and sales of Resort Village housing.

The Otay SRP limits the total units in the Resort Planning area to 1,938 dwelling units; therefore, the Otay Ranch Resort Village may not increase the number of dwelling units by utilizing the County of San Diego Density Bonus Ordinance which would otherwise allow an increase in total units. Any increase above 1,938 dwelling units would require an amendment to this Specific Plan.

H. Landscape Concept Plan

Landscaping within the Resort Village reflects the historic agricultural setting of the area with groves of trees at entries and focal points throughout the village. A “California Friendly” Landscape palette is utilized to maximize water conservation and fire safety consistent with the requirements of the Resort Village Water Conservation Plan. Exhibit 27 provides a conceptual landscape plan for the Resort Village. Below is an outline regarding the landscape zones. The Village Design Plan (Appendix IV) provides additional details regarding the landscape zones. Maintenance responsibilities for the various components of the Landscape Concept Plan are identified in the Landscape Maintenance Responsibilities Plan (Exhibit 46).

Scenic Highway – Otay Lakes Road: Native and naturalized plantings including Oak and Sycamore trees. Low native shrubs, grasses and wildflowers.

Village Entries: Transitional plantings including Specimen Oak tree at roundabouts, groves of Olive trees and low accent shrubs and grasses.

Village Interior Pathways – Streets and Slopes: Olive trees are primary street trees, smaller accent trees in residential parkways and low growing shrubs as ground plane.

Commercial, Mixed Use, School and Single Family: Olive trees are primary grove trees in parking lots and selected slopes, accent trees and accent shrubs, ground covers, grasses and boulders throughout.

Resort: Transitional native plantings required adjacent to Preserve, Olive groves on slopes and lush plantings including accent trees, shrubs and ground covers throughout.

Parks: Olive tree groves on slopes, low water use turf on recreational fields, lush plantings including accent trees, shrubs and ground covers throughout.

Preserve Interface: Oak and Sycamore trees, low growing native accent shrubs, ground covers, grasses and wildflowers.

Natural Undisturbed Preserve.

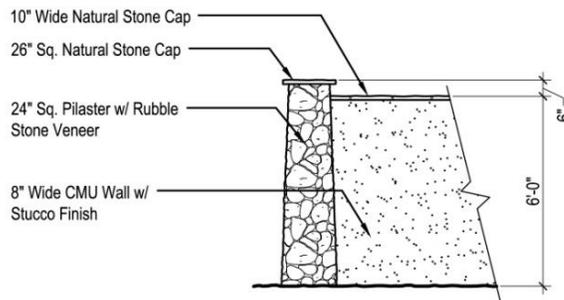


Exhibit 27

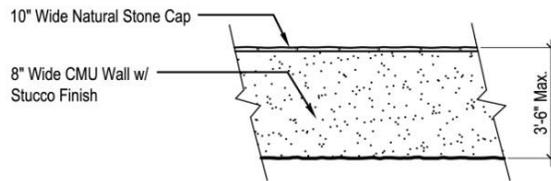
Landscape Concept Plan

I. Walls & Fences

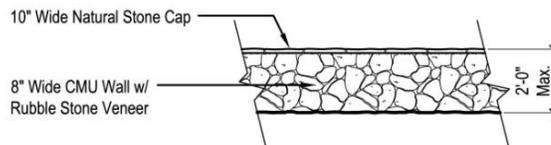
The Resort Village design theme will be reinforced through a comprehensive system of walls and fences. At the village entries, walls will be designed to reflect the Tuscan hill town character by incorporating natural materials such as stone and wood, and follow underlying topography. Perimeter walls will be constructed of concrete block, metal picket and/or glass per sound and/or fuel modification requirements. Final wall height will be determined in conjunction with a detailed acoustical analysis. Wall and fencing details are depicted in Exhibits 28, 29 and 30.



Perimeter Accent Stone Pilaster and Stucco Wall



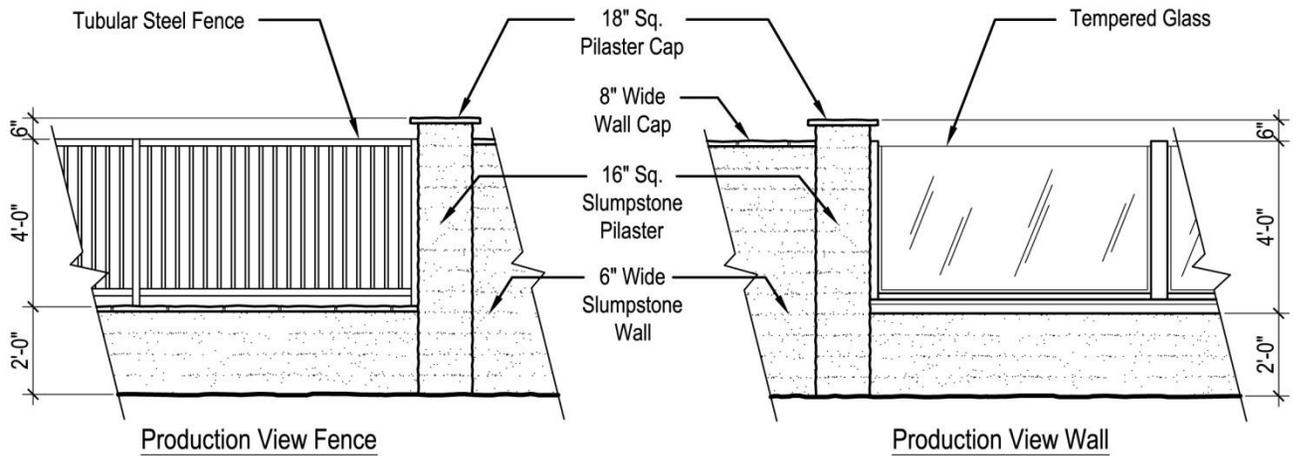
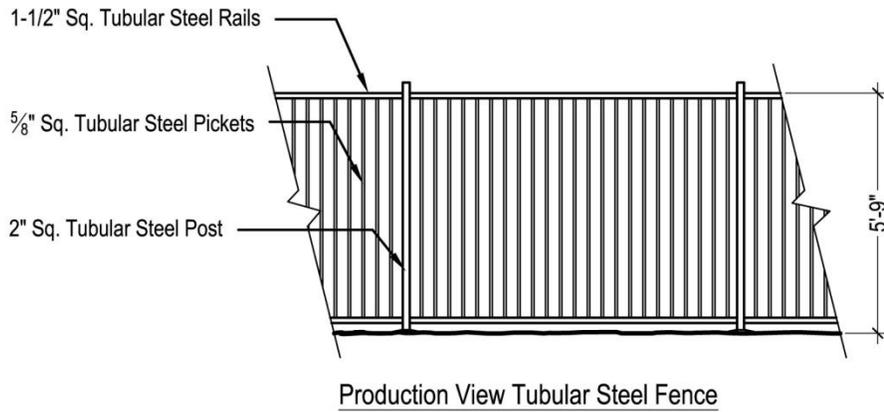
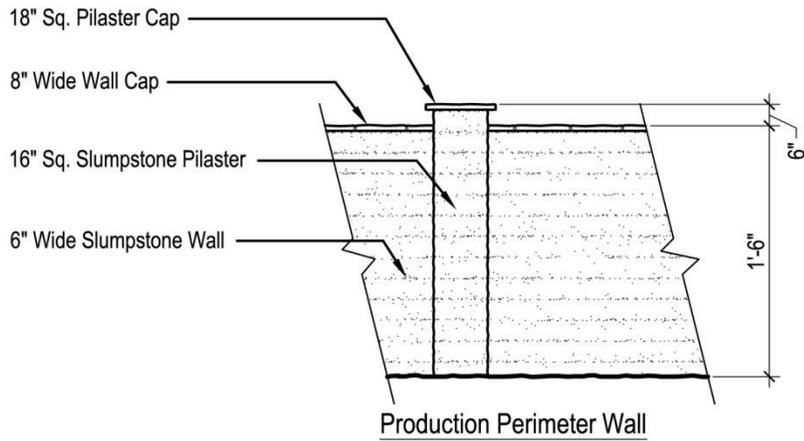
High Entry Retaining Wall



Low Entry Retaining Wall

Exhibit 28

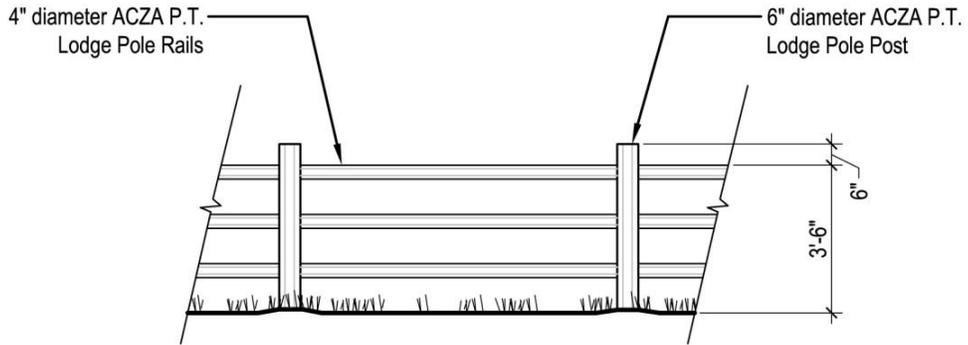
Conceptual Wall Details



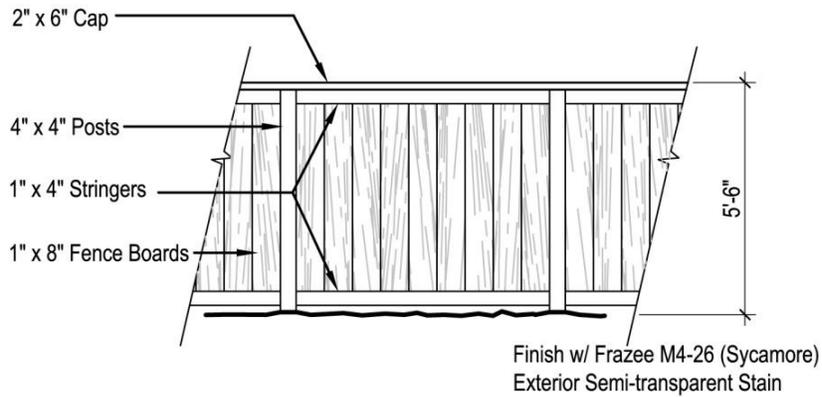
All block and caps to be Orco "Mission" color or approved equal.

Exhibit 29

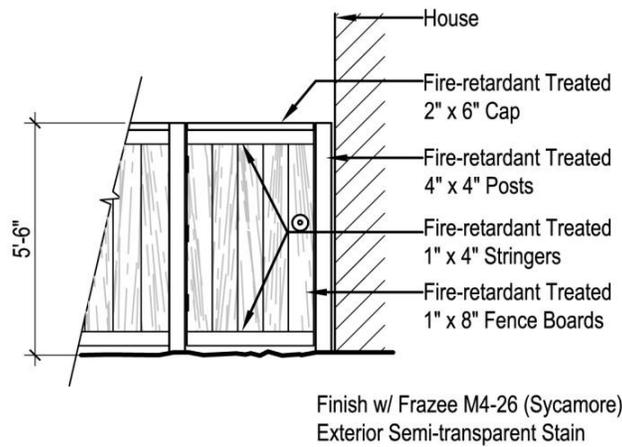
Conceptual Fence Details



Trail Fencing



5'-6" High Side Yard Wood Fence



5'-6" High Fire-retardant Wood Fence Returns

Exhibit 30

Conceptual Trail Fence Detail

J. Signage

The Tuscan hill town character of the Resort Village will be reflected in all community signage. The three project entries serve as gateways into the community and establish the Tuscan hill town character through landscape, monuments, lighting and signage. Entry monuments comprised of thematic walls constructed with natural materials such as stone and wood will occur at each entry. Signage and lighting will be incorporated into the walls at each entry. Neighborhood and park monuments will have similar design elements and may be located at neighborhood entries and both public and private parks. Temporary marketing/advertising signage will be utilized throughout the Resort Village as permitted in Section V. Development Regulation, of the Resort Village Specific Plan. Conceptual signage locations are depicted in Exhibit 31 and conceptual monument designs are depicted in the Village Design Plan (Appendix IV).

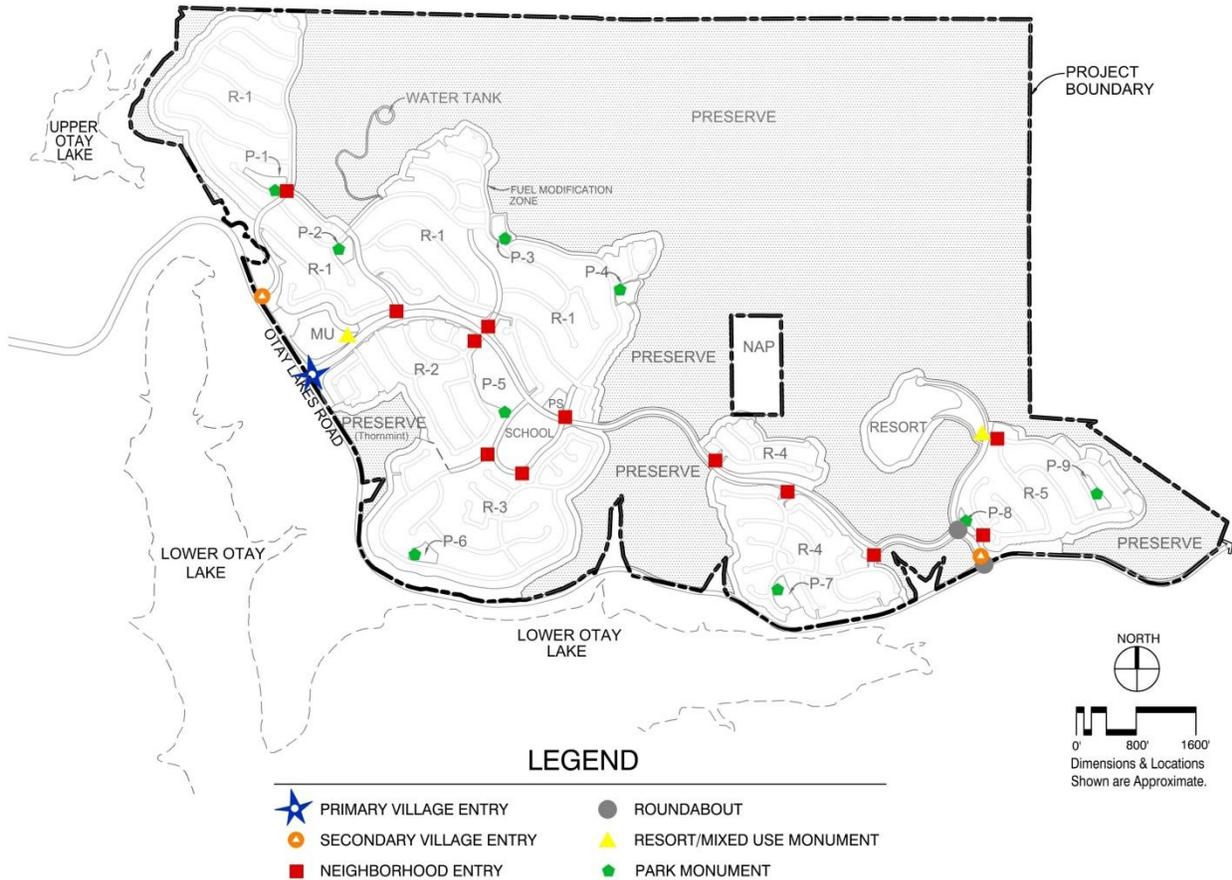


Exhibit 31

Conceptual Signage Locations

K. Street Lighting

Street lighting is another thematic element utilized to establish the Tuscan hill town character of the Resort Village. Light standards will have a distinctive character to relate to the corridors they serve. Lighting along pedestrian corridors will be more human in scale, closer spaced and lower in height. Village lighting will be designed to provide adequate illumination while minimizing dark sky impacts. Energy conservation and light nuisance avoidance are a priority. See Village Design Plan (Appendix V) for design details.

III. Public Facilities and Services

III. Public Facilities and Services

This Chapter summarizes more detailed information contained in the Public Facilities and Financing Plan (PFFP, See Appendix III). The PFFP is a requirement of the Otay SRP. The PFFP evaluates the public facilities needed to serve the Resort Village and identifies how the provision of facilities will be phased and funded. The Implementation Chapter (Chapter IV) of this Specific Plan also includes a Phasing Plan (IV.A), Financing Plan (IV.B), a Construction and Maintenance Responsibility Program (IV.C), and the Landscape Maintenance Plan (IV.D) which further describe public facility and service requirements.

A. Drainage

A Drainage study is provided as a separate facility plan, the *Otay Ranch Resort Village Drainage Study*, prepared by Hunsaker and Associates (10/2014). A synopsis of that study is provided below; the full report is contained as an appendix to the Project EIR. The phasing and financing of drainage facilities is more thoroughly addressed in the Otay Ranch Resort PFFP.

Natural runoff from most areas north of the Project site will be separated from the developed site runoff via separate storm drain systems. Thus, runoff from natural (undeveloped) areas would continue to drain directly to the Lower Otay Reservoir, and not mix with runoff from the development until downstream of the proposed water quality basins (after low flows from the development areas have been treated). However, due to storm drain optimization, and to avoid a double storm drain system in many streets of the proposed development, some runoff from natural areas will mix with runoff from developed areas as shown in Exhibit 32.

All runoff from the developed Otay Ranch Resort Village site will drain to the Lower Otay Reservoir. The runoff from the 85th percentile storm will be diverted to fifteen water quality basins, seven bio-retention basins and eight vegetated swales which are also bio-retention basins. Development of the site will not cause any diversion to or from the Lower Otay Reservoir watershed.

Runoff in excess of the runoff volume produced by the 85th percentile storm will discharge to the Otay Lakes Road culverts and on to the Lower Otay Reservoir. The performance of the water quality basins is described in depth in the *Major Stormwater Management Plan for the Otay Ranch Resort Village*, prepared by Hunsaker & Associates dated 9/2014.

At the downstream end of the internal storm drain systems, the culvert crossings at Otay Lakes Road will be upsized to prevent roadway overtopping during the 100-year design event.

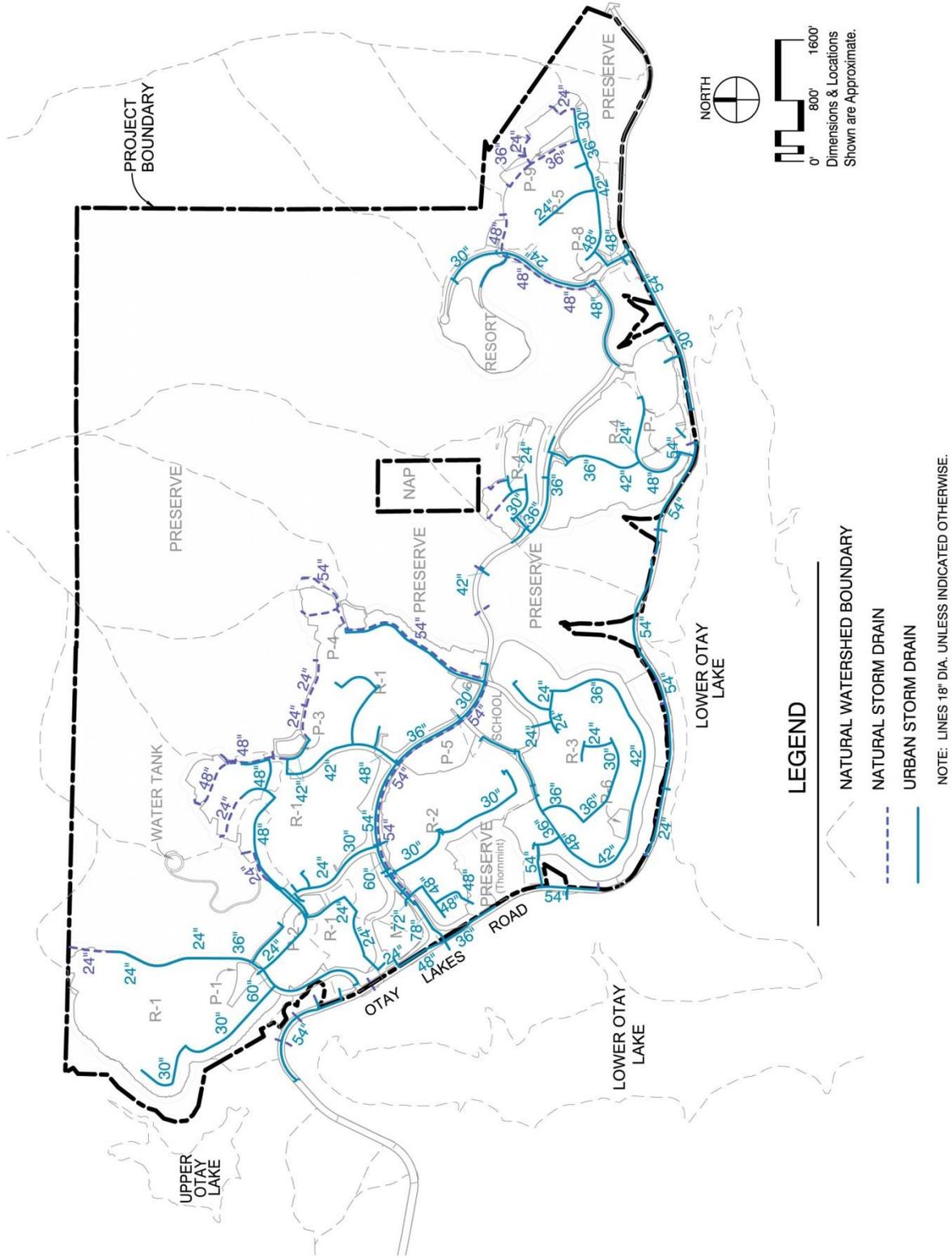


Exhibit 32

Conceptual Drainage Plan

B. Sewer Service

A Sewer Service Plan is provided as a separate facility plan, the *Otay Ranch Resort Village Overview of Sewer Service*, prepared by Dexter Wilson Engineering, Inc. (03/2015). A synopsis of that plan is provided below; the full report is contained as an appendix to the Project EIR. The phasing and financing of wastewater facilities is more thoroughly addressed in the Otay Ranch Resort Village PFFP.

The County of San Diego establishes sewage generation factors based on population multipliers used to project sewage flows. With the planned developments, the average sewage generation for the Otay Ranch Resort Village project area is estimated at approximately 0.51 million gallons per day (mgd).

Three onsite lift stations will be required to convey flows from the Resort Village to the offsite sewer system. These lift stations will be operated and maintained by the County of San Diego. As such, the lift station sites and any necessary easements will be conveyed to the County of San Diego. The location of these on-site sewer facilities are depicted in Exhibit 33.

The eastern-most lift station (Lift Station 3), will collect flows from the eastern portion of the project and pump to Lift Station 2. Lift Station 3 will require a capacity of approximately 300 gpm and a 6-inch force main. Lift Station 2 will collect gravity flows from the central portion of the project (and flows from Lift Station 3), and will require a capacity of approximately 825 gpm with an 8-inch force main to pump flows to Lift Station 1. Lift Station 1 will collect flows from the western portion of the project and from Lift Station 2. This station would require a capacity of approximately 1,000 gpm and require a 10-inch force main.

All lift stations will be designed in accordance with County of San Diego Standards to include redundant pumping units, standby power, odor control, overflow storage, and telemetry. The lift station sites would also be designed with adequate access to all equipment items and would include fencing for security.

The San Diego County Consolidated Sanitation District (SDCSD) is administered by the County of San Diego and serves the communities of Spring Valley, Lakeside, Julian, Alpine and Pine Valley. The SDCSD has a joint powers agreement with the City of San Diego for treatment and disposal of sewage at the San Diego Metro Station.

Sewer flows from the Otay Ranch Resort Village will be conveyed to the San Diego Metro Station via the Salt Creek Interceptor. This will require the Project site to annex into the SDCSD and enter a flow transportation agreement with the City of Chula Vista.

The Salt Creek Interceptor has been sized to accommodate ultimate development in the service area, including the Resort Village. The Salt Creek Interceptor ranges from a 15-inch to 48-inch line and conveys flow to the City of San Diego's Metropolitan (Metro) Sewer System.

The November 1994 Salt Creek Basin Study estimated 2,253 EDUs from Village 13 would convey flows to the Salt Creek Interceptor. The Resort Village proposes development of 2,196 EDUs (based on City of Chula Vista criteria; 230 gpd = 1 EDU). In addition to this slight decrease in projected EDUs from the Resort Village, flows from the project are not expected to impact the capacity of the Salt Creek Interceptor for a number of reasons. In particular, the Salt Creek Interceptor was sized with capacity for Otay Ranch Villages 13, 14, 15 and Planning Area 16. Since 1994, when the Salt Creek Basin Study was prepared, all or portions of these three Planning Areas have been purchased by conservation agencies for conservation purposes.

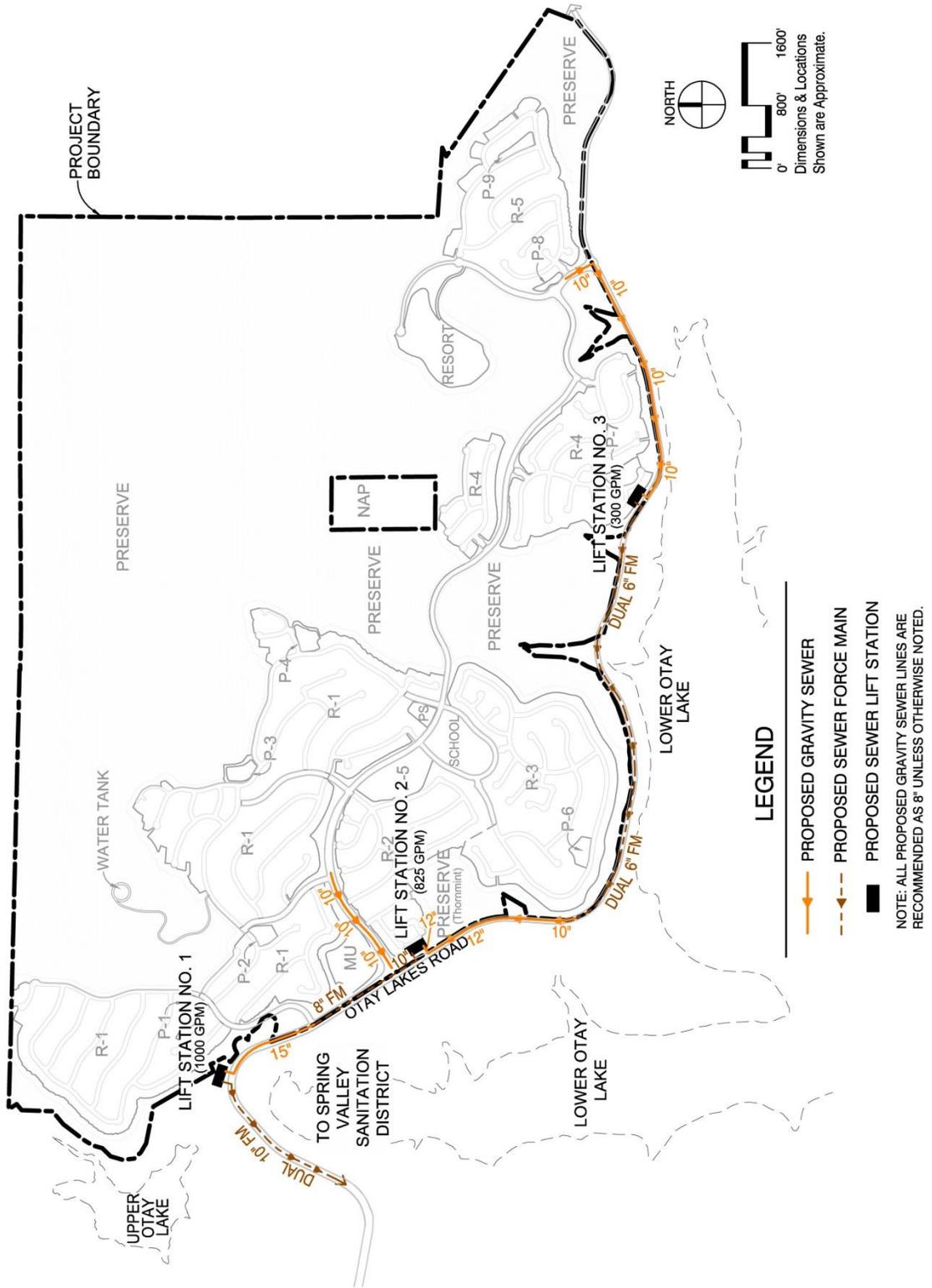


Exhibit 33

Conceptual Sewer Plan (On-site)

C. Storm Water Management

A Storm Water Management study is provided as a separate facility plan, the *Otay Ranch Resort Village Major Stormwater Management Plan*, prepared by Hunsaker & Associates, Inc (10/2014). A synopsis of that study is provided below; a full copy of the report is contained as an appendix to the Project EIR.

Natural runoff from most areas north of the Project site will be separated from the developed site runoff via separate storm drain systems. Thus, runoff from natural (undeveloped) areas would continue to drain directly to the Lower Otay Reservoir, and not mix with runoff from the development until downstream of the proposed water quality basins (after low flows from the development areas have been treated). However, due to storm drain optimization, and to avoid a double storm drain system in many streets of the proposed development, some runoff from natural areas will mix with runoff from developed areas.

Runoff would be detained in the water quality basins and treated during the time it takes to drain completely. The locations of these BMPs can be seen in Exhibit 34. Treatment would include the settling of pollutants within the basins and filtering through the heavy vegetation at the bottom of each basin. A trash and debris rack would be fitted to the base of each structure to prevent clogging of the low-flow orifices. In this way, stormwater pollutant, trash and debris removal would occur prior to discharge into Lower Otay Lake. Outlet structures at each basin would be sized and designed to convey runoff from the 100-year storm event.

Due to topographic constraints that make water quality basins infeasible, runoff from the remainder of the Project's developed/disturbed area, including runoff from certain portions of Otay Lakes Road and Strada Piazza, would be treated via Filterra Units or equivalent storm drain inlet treatment control devices and then discharged into natural drainages conveying flows into Lower Otay Lake. A Filterra Unit is flow-based storm drain inlet treatment control device that is a stand-alone system that accepts surface sheet flow from both streets and parking lots. A standard Filterra Unit treats the 85th percentile rainfall event and includes a bypass structure for higher flows.

The Project's bioretention water quality basins (bioretention basins and vegetated roadside swales), provide a high removal efficiency for coarse sediment, trash and debris, a high removal efficiency for pollutants that tend to associate with fine particles during treatment including fine sediment, undissolved nutrients, heavy metals, organic compounds, oxygen demanding substances, bacteria, oil and grease, and pesticides, while providing medium pollutant removal efficiency for dissolved nutrients. The Project's vegetated swales and high-rate biofilters, provide a high removal efficiency for coarse sediment, trash and debris, a medium pollutant removal efficiency for pollutants that tend to associate with fine particles during treatment including fine sediment, un-dissolved nutrients, heavy metals, organic compounds, oxygen demanding substances, bacteria, oil and grease, and pesticides, and low pollutant removal efficiency for dissolved nutrients. Finally, the remainder of the Project's developed/disturbed areas consisting of vegetated and irrigated slopes within the

Project's development footprint that will not receive runoff from the project's streets and roads and will be self-treating and natural landscaped slopes.

The Project's bioretention basins, vegetated roadside swales, and Filterra Units constitute the Project's storm water capture and treatment BMPs (Treatment Control BMPs). Internally, the Project's proposed drainage system and storm water capture and treatment BMPs for onsite areas and the improvements to Otay Lakes Road are designed to prevent a substantial increase in erosion on-site. Under the developed condition, the Project's streets are designed to drain directly into the Project's storm drain system. The storm drain system is designed to capture runoff from the developed portions of the Project area, including graded homesites/building pads and impervious surfaces such as rooftops, roads, and parking lots and direct that runoff into the Project's storm water capture and treatment BMPs. Prior to discharge, most of the Project's runoff is directed into bioretention basins and the remainder of the Project's runoff is directed into vegetated roadside swales or storm drain inlet treatment control devices (e.g., Filterra Units or equivalent inlet treatment devices) prior to discharge into the Reservoir or into natural drainages feeding the Reservoir.

All runoff conveyed in the storm drain systems will be treated in compliance with RWQCB regulations and federal criteria prior to discharging to natural watercourses. Post construction Best Management Practices (BMPs) refer to specific storm water management techniques which are applied to manage construction and post construction site runoff to minimize erosion. BMPs include "source control," aimed at reducing the amount of sediment and other pollutants, and "treatment control" aimed at keeping soil and other pollutants onsite once they have been loosened by storm water erosion.

All structural BMPs for the Otay Ranch Resort Village will be located to infiltrate, filter or treat the required runoff volume or flow (based on first flush rainfall) prior to its discharge. The BMPs will be designed to reduce toxin, nutrient and sediment loading of the first flush from the development. Structural BMPs will remove pollutants from urban runoff by simple gravity settling of particulate pollutants, filtration, biological uptake, media absorption or other physical, biological or chemical process. Volume-based and flow-based BMPs will be designed to mitigate the volume and maximum flow-rate of runoff produced from a storm event.

Maintenance of onsite BMPs will be the responsibility of a CFD or other assessment mechanism, the Homeowners Association (HOA) or a similar approved maintenance entity.

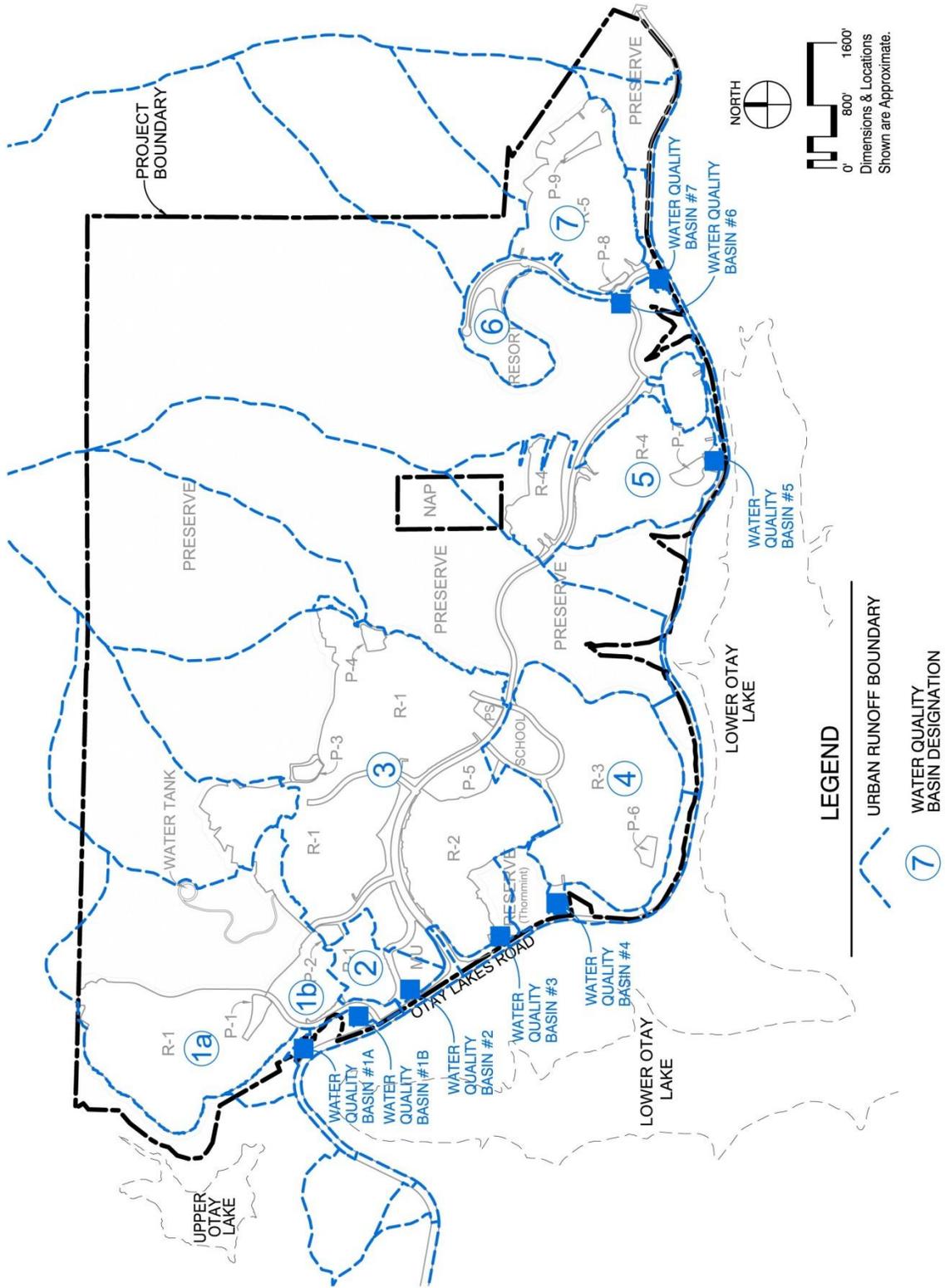


Exhibit 34

Conceptual Urban Runoff Plan

D. Water Service

A Water Service Plan is provided as a separate facility plan, the *Otay Ranch Resort Village Overview of Water Service*, prepared by Dexter Wilson Engineering, Inc. (09/2014). A synopsis of that plan is provided below; the full report is contained as an appendix to the Project EIR. The phasing and financing of water facilities is more thoroughly addressed in the Otay Ranch Resort Village PFFP.

It is anticipated that development areas of the Otay Ranch Resort Village would require annexation to the Otay Water District (OWD), the County Water Authority (CWA) and the Metropolitan Water District (MWD) prior to receiving service. Annexations are governed by the San Diego Local Agency Formation Commissions (SDLAFCO).

The Otay Ranch Resort Village has a projected potable water demand of 1.419 MGD or approximately 1,590 acre feet per year. OWD is a member agency of MWD and CWA. The MWD and CWA plan to provide long term water supplies to member agencies to meet projected water demand based upon regional population forecasts.

In accordance with Senate Bills 610 and 221, the Otay Water District prepared the January 2014 Water Supply Assessment and Verification Report for the Otay Ranch Resort Village Specific Plan. This report was approved by the District on May 7, 2014 and concludes there is sufficient water supply being planned to meet the needs of the Otay Ranch Resort Village project and other reasonably foreseeable planned development projects in the District for normal, dry and multiple dry years.

The Otay Ranch Resort Village will be served by the 980 Zone within the Central Service Area of the Otay Water District. There are currently two pump stations in the 980 Zone. There are two existing reservoirs in the 980 Zone, both located at the same site, north of Rolling Hills Ranch. These reservoirs each have a capacity of five million gallons for a total of ten million gallons. Major 980 Zone pipelines in the vicinity of the Otay Ranch Resort Village are all located west of the project and include transmission lines in Hunte Parkway and Otay Lakes Road. The 24-inch transmission line in Otay Lakes Road has been extended to just east of Hunte Parkway.

The Otay Ranch Resort Village will receive water service by expanding the existing 980 Zone water system. Exhibit 35 illustrates the existing and proposed major water facilities onsite in the vicinity of the project. There are several major 980 Zone Water System improvements within the Otay Ranch Resort Village which are identified in the Otay Water District's Capital Improvement Program. The existing 24-inch transmission line in Otay Lakes Road is proposed to be extended east as a 20-inch transmission line to a new 980 Zone reservoir within the project area. This reservoir is referred to as the 980-4 reservoir and will have a capacity of five million gallons.

The 20-inch transmission line is proposed to be extended in Strada Piazza to the Strada Raveana project entry. All other facilities will be sized for the project only to meet district looping criteria and pressure requirements.

The Otay SRP establishes a goal for conserving water during and after construction of the Otay Ranch. A Water Conservation Plan has also been prepared for the Otay Ranch Resort Village (see Appendix 1 to the Otay Ranch Resort Village Overview of Water Service). The Water Conservation Plan demonstrates a 30% reduction in outdoor water use on typical lot layouts by implementing the following principles.

1. Minimizing the use of vegetation with high water use requirements.
2. Maximizing the use of drought-tolerant and native vegetation.
3. Establishing vegetation hydrozones, which are landscape areas composed of plant materials that have similar water needs.
4. Use permeable and non-permeable decorative paving strategically to reduce the total irrigated area and decrease the overall water demand.
5. Using high-efficiency irrigation equipment

The Water Conservation Plan also includes conceptual landscape plans for three lot layouts and calculates overall water savings per layout. By reducing outdoor water use by 30% on each lot, the Project will have an overall potable water savings of approximately 145,000 gpd. This reduces the overall projected water usage to 1.27 mgd.

In addition to the outdoor water conservation measures, the Resort Village Specific Plan would also implement the following indoor water conservation features to further reduce potable water demand.

1. Hot Water Pipe Insulation. This measure involves the insulation of hot water pipes with 1-inch walled pipe insulation and separation of hot and cold water piping. This measure is estimated to result in annual savings of 2,400 gallons per residential unit.
2. Pressure Reducing Valves. Setting the maximum service pressure to 60 psi reduces any leakage present and prevents excessive flow of water from all appliances and fixtures. This measure is estimated to result in annual water savings of 1,800 gallons per residential unit.
3. Water Efficient Dishwashers. There are a number of water efficient dishwashers available that carry the Energy Star label. These units result in an estimated yearly water savings of 650 gallons per residential unit.
4. Dual Flush Toilets. The developer will install dual flush toilets within the project. This measure is estimated to result in annual water savings of 4,000 gallons per unit.

The above listed indoor water conservation measures would result in a daily reduction of 24.25 gallon of potable water per unit. For the 1,938-unit project plus the 200 rooms in the Resort, this would result in a total savings of approximately 51,845 gpd, bringing the overall water usage for the Resort Village down to 1.22 mgd.

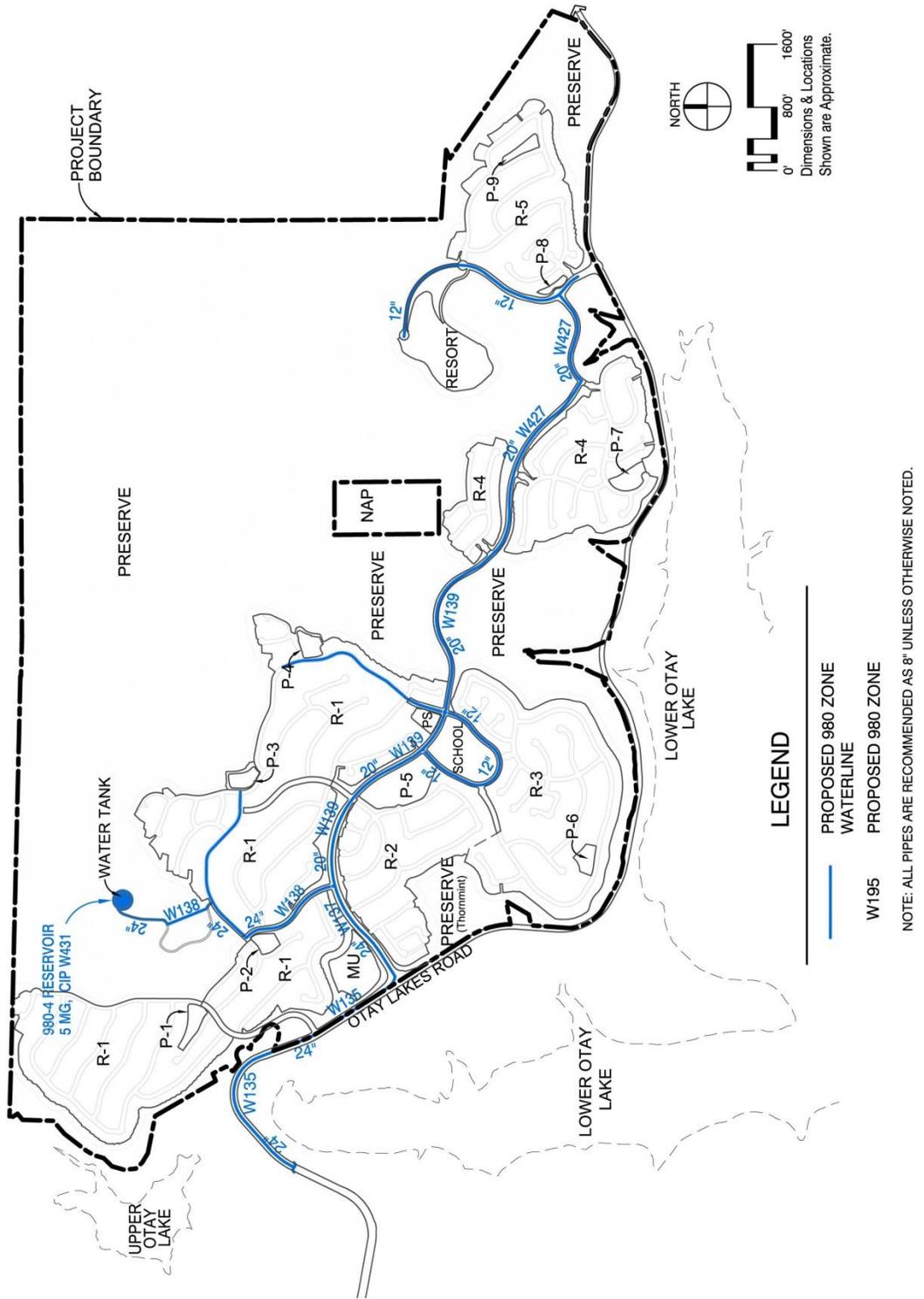


Exhibit 35

Conceptual Water Service Plan

E. Law Enforcement

The County of San Diego currently provides law enforcement services to the Otay Ranch Resort Village site. The Resort Village plan includes a 2.1-acre Public Safety site and a Multiple Use site with retail space. A Sheriff's store front facility could be accommodated at either of these sites. The County Sheriff's office has stated

"The Village 13 facility would not be a 'manned' space, but would give deputies responding to calls or patrolling in the area a place to go and access a computer or write a report. This could be co-located with the fire facility in a 'public safety center' as long as it didn't impact Fire's operations... somewhere around 300 sf would be adequate." In order to serve the Resort Village, the Sheriff's Department would employ the time of six patrol deputies.

Additionally, the Otay SRP requires the preparation of design guidelines to deter criminal activity as part of the specific plan process. These guidelines are included in the Resort Village Design Plan (Appendix IV).

F. Fire and Emergency Services

1. Fire

The Resort Village is within the San Diego County Rural Fire Protection District (RFPD) boundaries. The San Diego County Rural Fire Protection District provides fire protection services to the planning area. The Specific Plan reserves a Public Safety Site designated to accommodate a future fire station. *The Otay Ranch Resort Village Fire Protection Plan*, prepared by Dudek & Associates (03/2015) (Resort Village FPP) evaluates a two phased approach for fire service. These phases are:

- The Project site will be served on an interim basis by a temporary, on-site fire station, and,
- Prior to build-out of the Resort Village, an on-site fire station would be available on the Public Safety Site. This permanent station would be able to serve the entire site within a 5-minute travel time standard.

The Otay Ranch Resort Village Preserve Edge Plan (Appendix I) and Village Design Plan (Appendix V) address fuel modification and brush management. The Resort Village FPP (Appendix II) describes the fire protection measures incorporated into the Otay Ranch Resort Village. The Fire Protection Plan also identifies the components, phasing, and funding of the planned fire station.

2. Emergency Services

The San Diego region is exposed to a number of hazards which have the potential for disrupting communities and causing casualties. Possible natural disasters include

earthquakes, floods, fires, landslides and tropical storms. There is also a threat of manmade incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism or civil disorder. The Otay SRP includes goals and policies to promote public safety in the event of a disaster. These goals and policies include participating in emergency disaster plans and programs, establishing safe and effective evacuation routes and facilitating post-disaster relief and recovery programs.

The foundation of California's emergency planning and response is the California Disaster and Civil Defense Master Mutual Aid Agreement, a statewide mutual aid system designed to ensure adequate resources, facilities and other support are provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. San Diego County is in Mutual Aide Region 6 of the State system. The Unified San Diego County Emergency Services Organization consists of the County and cities within the County, and provides for preparing mutual emergency plans.

See the Otay Ranch Resort Village Fire Protection Plan (Appendix II) for a more specific evacuation plan.

G. Parks, Recreation, Open Space, Preserve and Trails

As illustrated in Exhibit 36, Preserve, Parks, Recreation, Open Space and Trails Plan, the Resort Village Plan contains a range of park, recreation and open space opportunities. Each is discussed in greater detail in the PFFP. The following facilities are provided within the Resort Village:

1. Local Parks

The County Park Lands Dedication Ordinance (PLDO) for the Otay Planning Area requires the dedication of 373.74 sq. ft. of improved park land for each new unit or lot, whichever is greater. The Otay Ranch Resort Village has 1,938 units. This results in a total requirement of 16.63 acres of improved park land $[(1,938 \text{ units} \times 373.74 \text{ sq. ft. per unit}) / 43,560 \text{ sq. ft. per acre} = 16.63]$. To meet this requirement, the Resort Village proposes nine parks totaling 28.6 acres. The largest park is a 10.3 acre public neighborhood park. Eight public and private local parks, ranging from 1.3 to 2.9 acres, are distributed throughout the Resort Village. The San Diego County General Plan Conservation and Open Space Element, Parks and Recreation Facilities Section describes local parks as ranging in acreage depending on the uses and community or neighborhood they serve. These parks are encouraged by the General Plan.

Table 3 identifies park size and conceptual features and evaluates PLDO compliance. The table also identifies maintenance responsibilities. Public parks will be maintained by the County of San Diego through an assessment mechanism such as a CFD. Maintenance of private parks will be the responsibility of an HOA. Final park facilities will be subject to a subsequent Otay Ranch Resort Village Park Agreement.

The Conceptual Park Plans for each of the planned parks are depicted in Exhibits 37 to 45. These conceptual plans are intended to illustrate possible park uses. The actual programming for each park may vary from these Conceptual Park Plans based on further detailed planning, and approved by the County Department of Parks and Recreation.

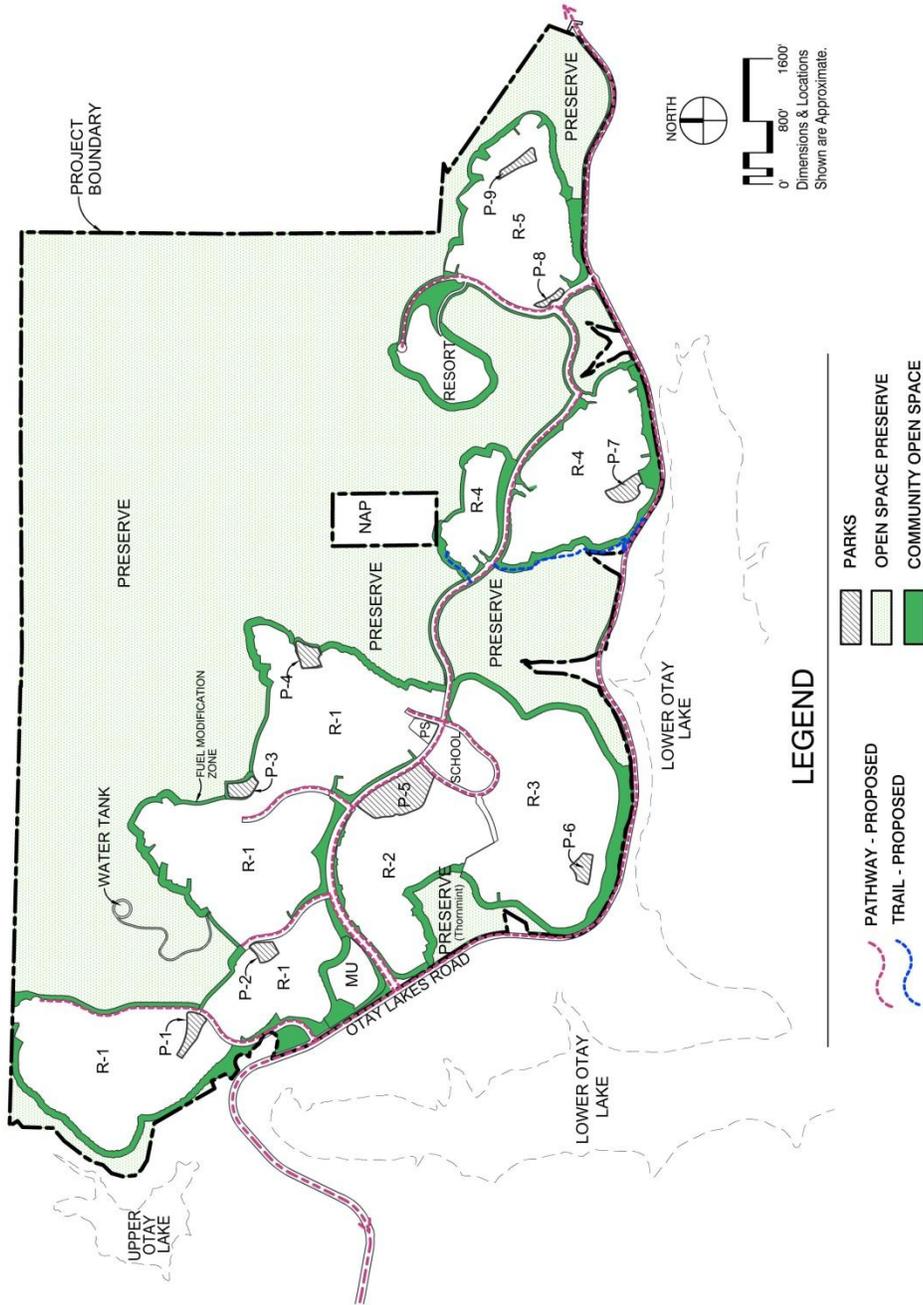
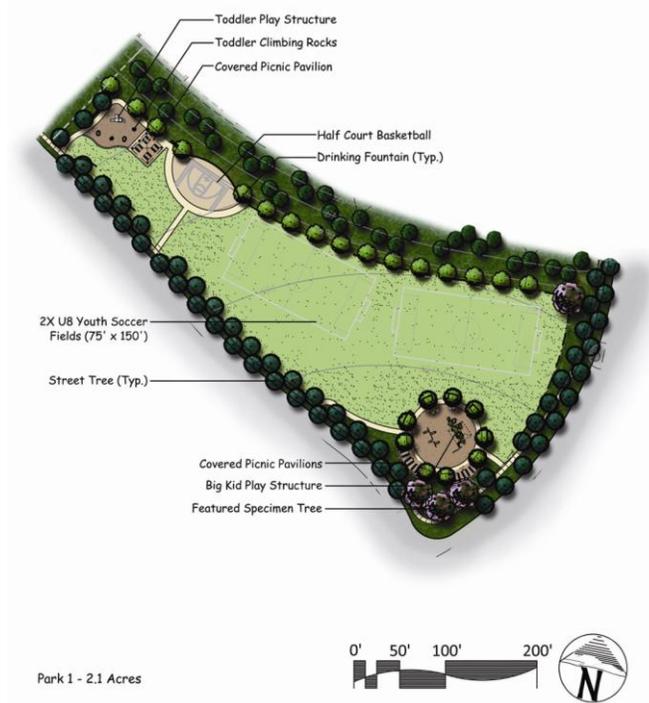


Exhibit 36

Preserve, Parks, Recreation, Open Space and Trails Plan

Table 3 Park Land Dedication Ordinance (PLDO) Compliance

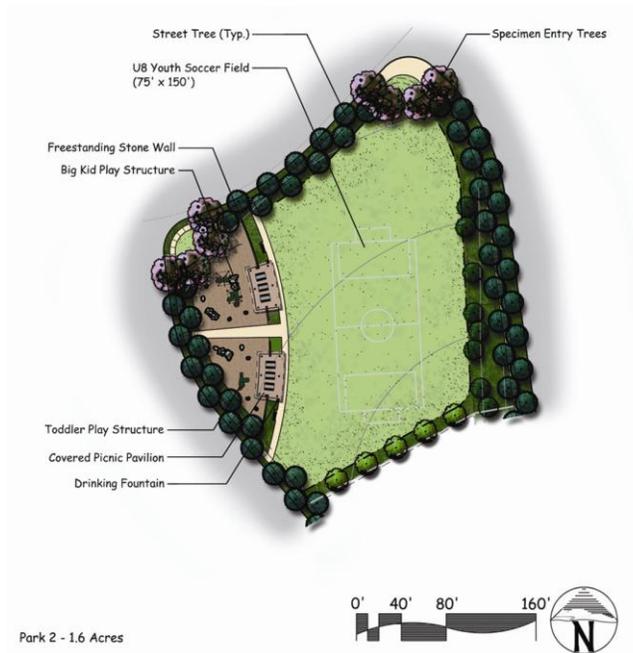
Park	Conceptual Features	Acres (Gross)	Acres (net)	PLDO Credit	Total Credit	Maint. Entity
P-1 (Exhibit 37)	Two U-8 soccer fields, half basketball court, a big kids play structure, toddler climbing rocks, toddler play area, covered picnic pavilions/seating areas/ benches	2.9	2.1	100%	2.1	CFD
P-2 (Exhibit 38)	A U-8 soccer field, a big kid play structure, a toddler play structure, toddler climbing rocks, covered picnic pavilions/seating area/benches, and two drinking fountain	1.7	1.6	100%	1.6	CFD
P-3 (Exhibit 39)	Trail head, four U-6 soccer fields, two drop shot basketball courts, a big kid play structures, a play structure, covered picnic pavilions, open picnic area, seating areas/benches, and two drinking fountains	2.3	1.5	100%	1.5	CFD
P-4 (Exhibit 40)	Three U-6 soccer fields, full basketball court, skateboard park, a toddler play structure, toddler climbing rocks, covered picnic pavilions, open picnic area, seating areas/benches, and two drinking fountains	2.2	1.5	100%	1.5	CFD
P-5 (Exhibit 41)	One Softball field, two U-12 soccer field, two full basketball courts, gaga court, skateboard park, a big kid play structure, a toddler play structure, toddler climbing rocks, swing set, outdoor amphitheater, restrooms/comfort station, parking lot, two covered picnic pavilions, two open picnic areas, two seating areas/benches, and three drinking fountains	10.3	9.4	100%	9.4	CFD
P-6 (Exhibit 42)	Four U-6 soccer fields, two drop-shot basketball courts, a big kid play structure, swing set, , three covered picnic pavilions, seven seating areas/benches, and two drinking fountains	2.4	1.4	50%	0.7	HOA
P-7 (Exhibit 43)	U-10 soccer field, two half basketball courts, skate park, a big kid play structure, a toddler play structure, swing set, covered picnic pavilion, two open picnic areas, five seating areas/benches, and two drinking fountains	2.9	2.0	50%	1	HOA
P-8 (Exhibit 44)	Two U-6 soccer fields, a toddler play structure, toddler climbing rocks, one covered picnic pavilion, two open picnic areas, five seating areas/ benches, and two drinking fountains	1.3	1.0	50%	0.5	HOA
P-9 (Exhibit 45)	A U-8 soccer field, a full basketball court, two drop-shot basketball courts, a big kid play structure, playground game area, two covered picnic pavilions, open picnic area, four seating areas/ benches, and two drinking fountains	2.6	1.4	50%	0.7	HOA
TOTAL		28.6	21.9		19.00	
Demand based on PLDO					16.63	
DIFFERENCE (acres over requirement)					2.37	



Note: This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

Exhibit 37

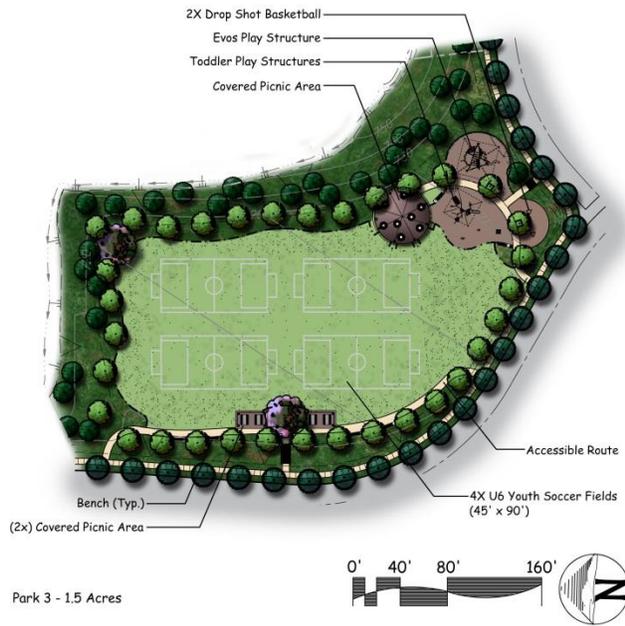
Conceptual Recreational Park Plan (P-1)



Note: This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

Exhibit 38

Conceptual Recreational Park Plan (P-2)



Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Exhibit 39

Conceptual Recreational Park Plan (P-3)



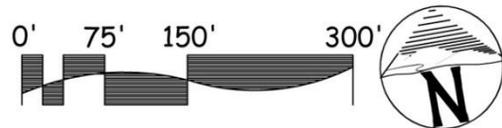
Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Exhibit 40

Conceptual Recreational Park Plan (P-4)



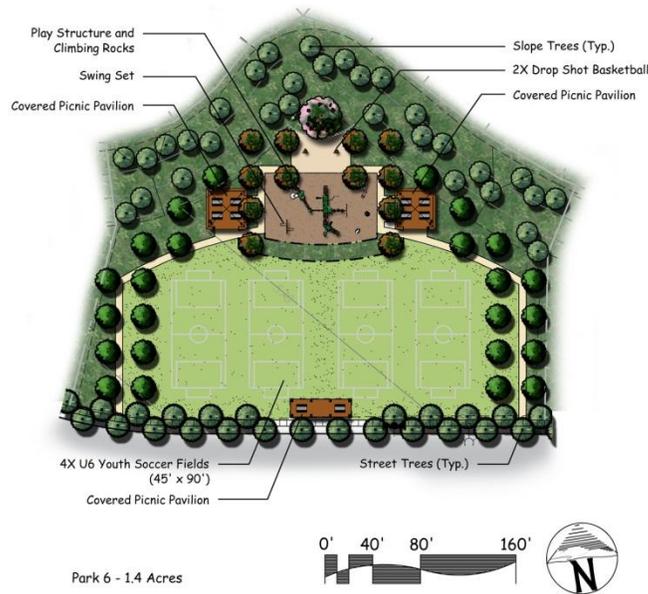
Park 5 - 9.4 Acres



Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Exhibit 41

Conceptual Recreational Park Plan (P-5)



Note: This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

Exhibit 42

Conceptual Recreational Park Plan (P-6)



Note: This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

Exhibit 43

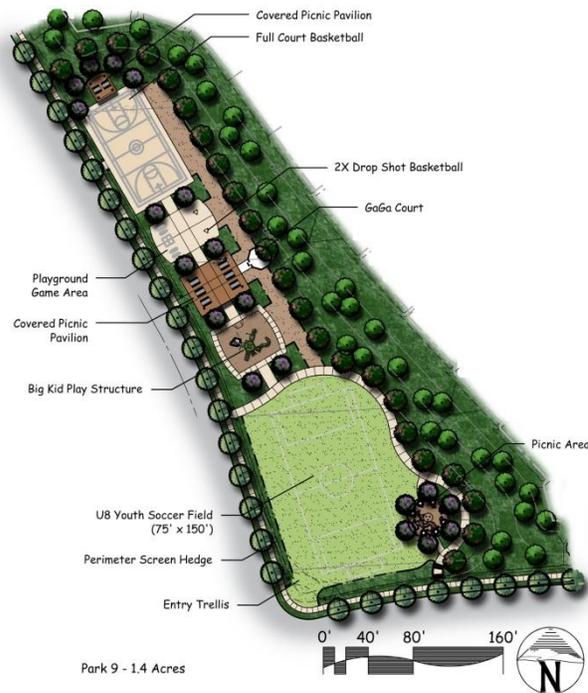
Conceptual Recreational Park Plan (P-7)



Note: This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

Exhibit 44

Conceptual Recreational Park Plan (P-8)



Note: This concept plan is for illustrative purposes only.
Actual site development may vary from concepts depicted in this exhibit.

Exhibit 45

Conceptual Recreational Park Plan (P-9)

2. Regional Open Space

The Otay SRP also requires 12 acres per 1,000 residents of “other passive or active recreation and open space areas,” and 15 acres per 1,000 residents of “regional park and open space.” Based on an estimated Project population of 6,957 residents, the 12-acre standard requires 83.5 acres of open space and the 15-acre standard requires 104.4 acres of dedicated open space. This combined open space requirement of 187.8 acres is satisfied in two ways: the Project area contains roughly 144 acres of internal open space, and approximately 1,089.0 acres of Preserve land.

Internal open space will be maintained through either an assessment mechanism such as a CFD or through an HOA. The 1,089.0 acres of Preserve will be maintained by the Otay Ranch Preserve Owner Manager (POM). Funding for the maintenance of the Preserve is provided by an assessment mechanism such as a CFD.

3. Otay Ranch Preserve

The Otay Ranch Phase 2 RMP requires conveyance of 1.188 acres of open space to the Otay Ranch Preserve for every acre of development except for common uses including public parks, schools, circulation element roads. Based on approximately 749 acres of the specific plan area being developed for Residential, Resort, Multiple Use and other “non-common” uses, the conveyance obligation is approximately 888 acres. Table 4 summarizes the estimated conveyance obligation. Final development area and conveyance obligation calculations will be determined at the final map level.

Table 4 Preserve Conveyance Estimate	
Land Use	Acres
Residential	525.1
Multiple Use	14.1
Private Parks	7.9
Resort	17.4
Open Space	143.6
Circulation	39.1
<i>Total</i>	<i>747.2</i>
<i>Factor</i>	<i>1.188</i>
Estimated Preserve Conveyance Obligation (747.1x 1.188)	887.7

It should be noted that there is a distinction between the amount of Preserve acres in the Project site (1,089.0 acres) and the Project’s obligation to convey preserve land (888

acres). The two figures are not related to each other. The conveyance obligation is calculated by multiplying the Project's development footprint (minus "Common Uses" - circulation element roads, public schools, public parks and the public safety site) by 1.188 (as shown in Table 4 above). This calculates the number of Preserve acres which must be conveyed into public ownership as the Project records final maps. The Preserve land shall be conveyed in accordance with the provisions of the Otay Ranch Phase 2 RMP.

4. Trails / Pathways

The Otay Ranch Resort Village includes a trail and pathway system which provides for meandering pathways within street parkways, and existing, unimproved trails within open spaces. Connections to the California Riding and Hiking Trail and Otay Valley Regional Park trails are planned at the project boundaries. Pathways within road rights-of-way are public, non-motorize and multi-use. Trails on the private streets and on the private recreation lots will be maintained by a Homeowner's Association (HOA) or similar community serving entity. Dedicated pathways along Otay Lakes Road will be fenced and maintained by the County.

5. Community Gardens

The Otay SRP requires that the Specific Plan considers provisions for a community garden program. Community Garden guidelines are included in the Otay Ranch Resort Village Design Plan. The developer and/or Homeowners Association will facilitate a public forum to determine community interest in a community garden program. If interest is expressed, a site and program will be identified. Community gardens would be allowed in any of the on-site parks.

H. Schools

1. Elementary Schools

The Otay Ranch Resort Village is within the Chula Vista Elementary School District. The 1,938 homes generate the need to accommodate approximately 794 elementary (K-6) students. The Resort Village reserves a 10.0-acre elementary school site sized to serve 800 students. The school site is adjacent to the P-5 public park to accommodate the joint use of facilities within the Village Core activity center. Prior to the opening of the school, students will attend an elementary school as determined by the District.

2. Middle and High Schools

The Otay Ranch Resort Village lies within the boundaries of the Sweetwater Union High School District. The land plan will generate the need to accommodate approximately 232 middle school (7th-8th grade) students and approximately 437 high school (9th-12th grade) students. Middle school students may be served at the EastLake Middle School, approximately two miles from the Resort Village, or another facility as determined by the District. It is anticipated that high school students from

the community may be served at either EastLake High School, located approximately three miles to the west or another facility, as determined by the District.

I. Regional Facilities

In addition to the facilities described above, the Otay Ranch SRP requires that other facilities be evaluated. These other facilities are generally regional servicing facilities and are addressed in the PFFP, they include:

- Civic Facilities
- Library Facilities
- Animal Control Facilities
- Arts and Cultural
- Cemetery Facilities
- Health and Medical
- Community Purpose Facility
- Social and Senior Services
- Correctional Facilities
- Justice Facilities
- Childcare Facilities
- Integrated Solid Waste Management

IV. Implementation

IV. Implementation

A. Concurrent Processing

This Specific Plan is being processed concurrently with a General Plan Amendment, Zone Reclassification and Otay Ranch RMP Amendment. Two tentative maps (areas "A" and "B") are being processed concurrently with the Specific Plan. An EIR has been prepared to analyze and disclose potential environmental impacts.

B. Development Approvals

1. Future Related Discretionary Approvals

The Specific Plan is implemented through two primary discretionary approvals, Tentative Maps and Site Plans.

a. Tentative Maps

The purpose of Tentative Maps is to subdivide land in compliance with the California Subdivision Map Act, the County Subdivision Ordinance and this Specific Plan. Tentative Maps or revised Tentative Maps are deemed to be consistent with this Specific Plan and shall be approved without amending this Specific Plan under the following conditions:

- Any shift of units from one Planning Area to another must not constitute an increase/decrease in units greater than (+/-) 15% from the original unit count assigned to a Planning Area as shown in the Site Utilization Plan, Exhibit 4 and related Land Use Summary Table (Table 2), and does not exceed the total of 1,938 residential units.
- The modification must not result in a change greater than (+/-) 15% to any of the acreage categories in Land Use Summary Table (Table 2), for the following land uses: Single Family Residential, Multiple Use and Resort.
- Parks, Public Safety, Internal Open Space, Preserve and Circulation land uses may be modified in size/location and configuration, as necessary to comply with requirements to provide public facilities and services pursuant to County standards, the Otay SRP and Resort Village Specific Plan policies and thresholds.

b. Site Plans

Site Plans are required for the Multiple Use, Residential, Parks, Public Safety, and Resort Planning Areas.

2. Future Related Ministerial Approvals

Subsequent to the approval of the Tentative Maps and Site Plans, there are several ministerial prerequisites prior to project grading and actual construction of public facilities, single-family residences, the resort or multiple use area, as follows;

a. Final Subdivision Maps

Final Subdivision Maps must be prepared in substantial compliance with an approved Tentative Map. The processing of Final Subdivision Maps shall be a ministerial action pursuant to the provisions of the California Subdivision Map Act and the San Diego County Subdivision Ordinance. Where the provisions or procedures of the San Diego County Subdivision Ordinance conflict with the provisions of the Specific Plan, the Specific Plan shall apply. Multiple Final Subdivision Maps may be prepared, processed and approved. Final Subdivision Maps for the Resort Village shall be deemed to be in substantial compliance with the previously approved Tentative Map if:

- The Final Subdivision Map is consistent with Specific Plan, including the Specific Plan Development Regulations;
- The Final Subdivision Map does not increase the number of units or lots contained in the approved tentative maps;
- The final grades identified in the Final Map will not substantially and adversely affect the drainage patterns identified in the approved tentative maps or result in pad elevation changes of more than 10 feet;
- Modifications to mapped features such as lot lines, street alignments and driveway locations comply with engineering and zoning requirements;
- Modifications to the size, configuration or location of public facilities are necessary to comply with facility standards or thresholds identified in the Specific Plan, County regulations or standards promulgated by other public agencies with jurisdiction over the subject facilities; and
- The Final Subdivision Map does not encroach into Preserve land uses as identified in the approved tentative maps.

b. Site Plans

The Site Plan is a ministerial permit reviewed and approved by the Director of Planning and Development Services (Director). The purpose of the Site Plan is to evaluate compliance with the Resort Village Planning Documents, including but not limited to the Otay Ranch Resort Village Specific Plan, the Development Regulations, Resort Village Design Plan, Resort Village Preserve Edge Plan, Resort Village Fire Protection Plan, and those sections of the County Zoning Ordinance not in conflict with the Resort Village Specific Plan and associated Resort Village Planning Documents. Site Plans include maps and plans containing sketches, text and drawings to present elements of a proposed development sufficient to assure implementation of the provisions of the Resort Village Specific Plan, including the architectural characteristics, building massing, siting of buildings and structures, vehicular access and the provisions of required improvements.

c. Grading Permits

Pursuant to the County's Grading Ordinance, grading plans for the project site are subject to grading review and approval and must be found to be in compliance with the approved Tentative Maps.

d. Improvement Plans

This process typically includes plan check of improvement plans to construct infrastructure that is conditioned as part of the project approval. These plans shall include monumentation, signage, and street hardscape within the public right-of-way.

e. Building Permits

This process includes plan checks necessary to obtain building permits for buildings and structures. The ministerial building permit review results in the issuance of a Building Permit.

C. Specific Plan Minor Modifications and Plan Inconsistencies

1. Specific Plan Minor Modifications

It is anticipated that certain changes or modifications to the Resort Village Specific Plan text and exhibits may be necessary during development of the Resort Village. Proposed modifications and revisions that are in substantial compliance with the Specific Plan text and exhibits shall be considered minor modifications and shall not require an amendment to the Specific Plan. The Director shall have the authority to

determine if the revision is a minor modification. The Director may refer any proposed modification to the Board of Supervisors for approval.

The following changes or modifications are “minor modifications” for the purposes of determining substantial compliance:

- The Director may administratively approve the transfer of dwelling units between Planning Areas consistent with this section as long as the total of 1,938 dwelling units is not exceeded.
- Minor realignment or modifications to the internal streets serving the Project Site, if approved by the Department of Public Works.
- Changes in design features such as paving, lighting, landscaping treatments, fencing, signage or alternations to elevations, floor plans, and/or Site Plans that do not change residential structure heights or number of stories.

2. Inconsistencies Between the Specific Plan And Other Rules

To the extent there are inconsistencies between the provisions in this Specific Plan and other rules, regulations, plans, policies, or ordinances of the County, the provisions of this Specific Plan shall be controlling and supersede such other inconsistent provisions. The Director is authorized, upon request of the applicants, to allow changes to the proposed Project without amending this Specific Plan, provided any such change is not expressly prohibited by the Specific Plan and the Director determines no new significant impact will be created or no increase in a previously identified significant environmental effect will occur as a result of the requested change(s).

D. Phasing Plan

The Otay Ranch Resort Village will be constructed in multiple phases. The Conceptual Phasing Plan, Exhibit 46, divides the Specific Plan into ten geographic phases. Necessary infrastructure and amenities for each phase will be provided as the development progresses.

The Phasing Plan is non-sequential to respond to regulatory constraints or economic and market fluctuations. Therefore, this Specific Plan identifies facilities performance thresholds and infrastructure improvements for each phase as if that phase developed without relying on other phases. Table 5 breaks the project into ten phases, Table 6 identifies the infrastructure that must be constructed with each phase.

This Phasing Plan also identifies Village-wide thresholds for improvements to Otay Lakes Road, off-site water and sewer transmission lines, provision of the water

reservoir, delivery of the school site, improvement of the P-5 neighborhood park and delivery of the Public Safety Site.

TM 5361-A includes the copper, orange, gold, green, and blue phases. TM 5361-B includes the purple, red, silver, tan, and yellow phases.

**Table 5
Phasing Summary**

Phase	TM	Units	Hotel Rooms	Retail (SF)	Parks (acres)	Civic Uses
Orange	5361A	215				
Copper	5361A	180			4.7	
Blue	5361A	211				
Gold	5361A	196			2.3	
Green	5361A	205			2.2	2.1
Purple	5361B	57		20,000		
Red	5361B	401			12.7	10
Tan	5361B	210			3.9	
Silver	5361B	263			2.9	
Yellow	5361B	0	200	20,000		
TOTAL		1,938	200	40,000	28.7	12.1

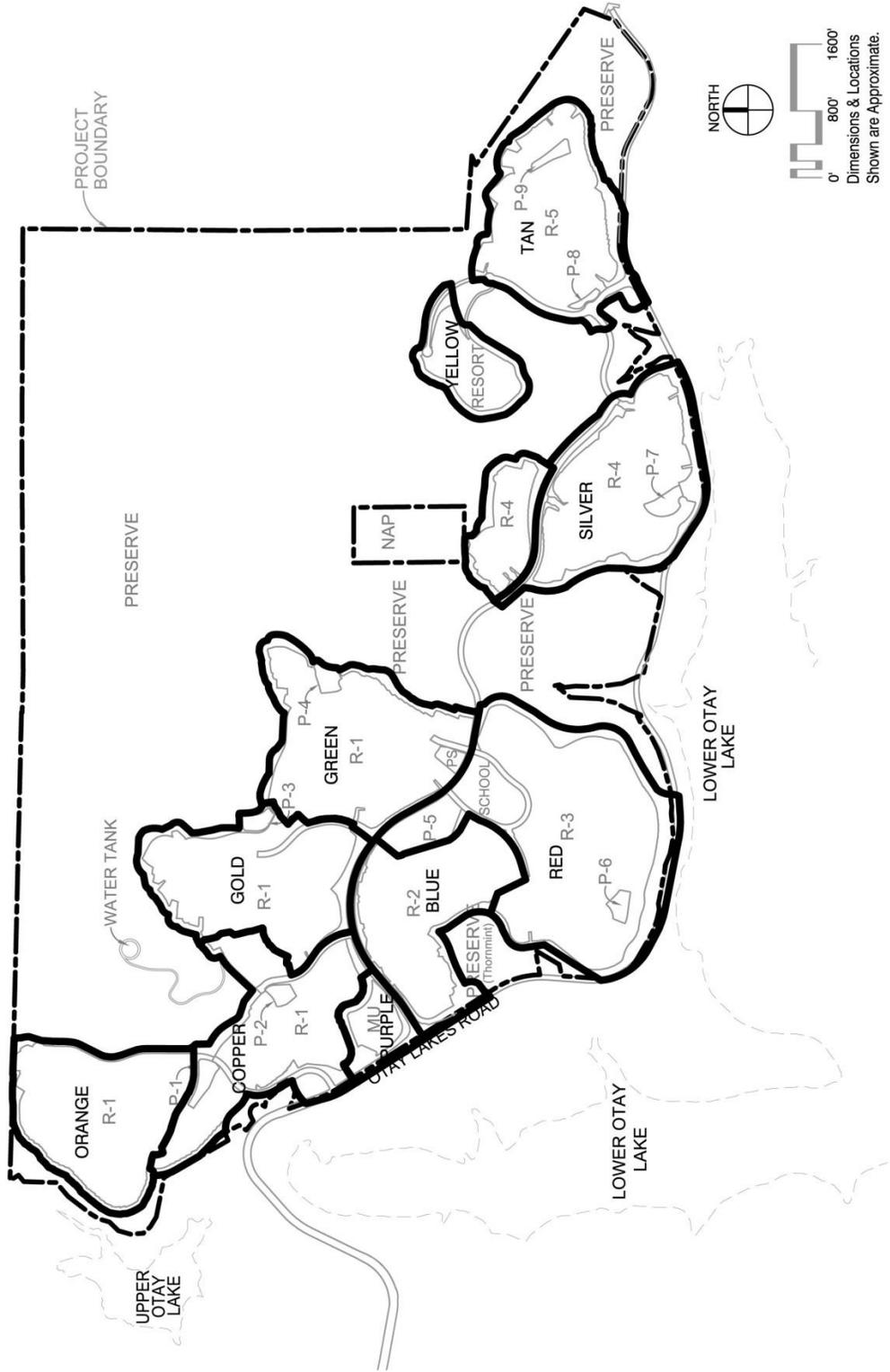


Exhibit 46

Conceptual Phasing Plan

The Otay Ranch Resort Village Specific Plan

Facility	Table 6 – Phasing Table									
	PHASE									
	Blue	Gold	Green	Copper	Orange	Purple	Red	Silver	Tan	Yellow
Drainage Facilities	Secure and Enter an Agreement to Construct prior to issuance of first grading permit in each phase.									
Urban Runoff Facilities	Secure and Enter into an Agreement to Construct Basin #3 prior to issuance of grading permit for each phase.		Secure and Enter into an Agreement to Construct Basin #1 and #2 prior to issuance of grading permit in phase.	Secure and Enter into an Agreement to Construct Basin #1 prior to issuance of grading permit in phase.	Secure and Enter into an Agreement to Construct Basin #2 prior to issuance of grading permit in phase.	Secure and Enter into an Agreement to Construct Basin #4 prior to issuance of grading permit in phase.	Secure and Enter into an Agreement to Construct Basin #5 prior to issuance of grading permit in phase.	Secure and Enter into an Agreement to Construct Basin #7 prior to issuance of 1st grading permit in phase.	Secure and Enter into an Agreement to Construct Basin #6 prior to issuance of grading permit in phase.	
Sewerage Facilities										
<i>Pump Stations</i>	Secure and Enter into an Agreement to Construct Pump Station #2 prior to issuance of the First Final Map in each phase. Construct Pump Station #1 prior to issuance of 400th building permit project wide.		Secure and Enter into an Agreement to Construct Pump Station #1 prior to issuance of the First Final Map in each phase.		Secure and Enter into an Agreement to Construct Pump Station #2 prior to issuance of the First Final Map in each phase. Construct Pump Station #1 prior to issuance of 400th building permit project wide.		Secure and Enter into an Agreement to Construct Pump Station's #2 and #3 prior to issuance of the First Final Map in each phase. Construct Pump Station #1 prior to issuance of 400th building permit project wide.			
<i>Off Site Transmission Line</i>	Secure and Enter into an Agreement to Construct prior to approval of First Final Map project wide.									
Transportation Systems Facilities										
<i>1/2 (North Side) Otay Lakes Road Phase 1 & 2 grading</i>	Secure and Enter an Agreement to Construct 1/2 (north side) of Phases 1 and 2 prior to approval of the First Final Map.									
<i>Otay Lakes Road Phase 1 & 2 Full Improvements</i>	Secure and Enter into an Agreement to Construct prior to approval of First Final Map project wide. Construct prior to issuance of 570 th Building Permit.		Secure and Enter into an Agreement to Construct prior to approval of the First Final Map in phase.		Secure and Enter into an Agreement to Construct prior to approval of First Final Map project wide. Construct prior to issuance of 570 th Building Permit.					
<i>Otay Lakes Road Phase 3 Full Improvements</i>							Secure and Enter into an Agreement to Construct Otay Lakes Road from Strada Piazza to the eastern edge of project prior to approval of the First Final Map in each phase.			

The Otay Ranch Resort Village Specific Plan

Facility	Table 6 – Phasing Table									
	PHASE									
	Blue	Gold	Green	Copper	Orange	Purple	Red	Silver	Tan	Yellow
<i>Onsite Road Improvements</i>	Secure and Enter an Agreement to Construct Strada Piazza from Otay Lakes Rd. to Via Campania prior to approval of final map in each phase.		Secure and Enter an Agreement to Construct Strada Piazza from Otay Lakes Rd. to Via Gubbio prior to approval of final map in phase.	Secure and Enter an Agreement to Construct Strada Piazza from Otay Lakes Rd. to Via Barbera, Strada Sicilia and Via Barbera prior to approval of final map in phase.	Secure and Enter an Agreement to Construct Strada Sicilia, Via Uffizi and one access road prior to approval final map in phase.	Secure and Enter an Agreement to Construct Strada Piazza to entrance to MU parcel prior to approval of final map in phase.	Secure and Enter an Agreement to Construct Strada Piazza from entry to Via Gubbio South prior to approval of final map in phase.	Secure and Enter an Agreement to Construct Srada Ravenna, from Otay Lakes Rd. to Strada Piazza prior to approval of final map in phase.	Secure and Enter an Agreement to Construct Strada Ravenna, from Otay Lakes Rd. to the Resort driveway prior to approval of final map in phase.	Secure and Enter an Agreement to Construct Strada Ravenna, from Otay Lakes Road to Resort site prior to approval of final map in phase.
<i>Strada Piazza Crossings</i>								Secure and Enter an Agreement to Construct prior to approval of First Final Map of Silver phase.		
<i>Wueste Road Widening</i>	Secure and Enter an Agreement to Construct prior to approval of First Final Map project wide. Construct prior to issuance of 570 th Building Permit project wide.									
<i>Wueste Road at Otay Lakes Road Signalization</i>	Secure and Enter an Agreement to Construct prior to approval of First Final Map project wide. Construct prior to issuance of 570 th Building Permit project wide.									
Water Facilities										
<i>Water Tank</i>	Secure and Enter an Agreement to Construct prior to approval of the First Final Map project wide. Construct prior to issuance of 400 th Building Permit project wide.									
<i>Transmission Line to Project</i>	Secure and Enter an Agreement to Construct prior to approval of First Final Map project wide.									
<i>Transmission Line to Water Tank</i>	Secure and Enter an Agreement to Construct prior to recordation of First Final Map. Construct prior to issuance of 400 th Building Permit.									
Recycled Water Facilities	Enter an agreement with OWD on whether to construct Recycled Water Facilities prior to First Final Map.									
Fire and Emergence Protection Facilities										
<i>Public Safety Site</i>			Grade Public Safety Site prior to issuance of first Building Permit in Green phase.							
<i>Fire Station</i>	Agree to Secure and Construct Fire Station prior to issuance of 1,465 th building permit.									

The Otay Ranch Resort Village Specific Plan

Facility	Table 6 – Phasing Table									
	PHASE									
	Blue	Gold	Green	Copper	Orange	Purple	Red	Silver	Tan	Yellow
Law Enforcement Facilities			Grade Public Safety Site prior to issuance of first Building Permit in Green phase.							
Parks and Recreation Facilities										
<i>Pocket Parks</i>	Secure and Enter into an Agreement to Construct prior to approval of First Final Map of each phase.									
	If the Blue Phase is constructed first, the pocket park in the Gold, Green, Copper or Orange phase shall be built prior to first BP in that subsequent phase	Construct P-3 subject to Park Agreement.	Construct P-4 subject to Park Agreement.	Construct P-2 subject to Park Agreement.	Construct P-1 subject to Park Agreement.		Construct P-6 subject to Park Agreement.	Construct P-7 subject to Park Agreement.	Construct P-8 & P-9 subject to Park Agreement.	
<i>Neighborhood Park</i>	Construct per Park Agreement.									
School Facilities	Pay Statutory Fees or Enter into School Mitigation Agreements with the Chula Vista Elementary School District and the Sweetwater Union High School District prior to approval of First Final Map project-wide. Deliver a graded site prior to issuance of 969th building permit.									

E. Facilities Financing

To finance the public facilities and services described in this Specific Plan and the Public Facilities Financing Plan (PFFP), an individual property owner, consistent with Board Policy I-136, may propose to initiate proceedings to form one or more Public Financing Districts with one or more public agencies to finance all or a portion of the cost of the design, engineering, property acquisition, construction and maintenance costs of those community facilities pursuant to applicable law.

The term “Public Financing Districts” means any assessment district, community facilities or other special tax district, infrastructure financing district, maintenance district or other similar financing district created to finance improvements, fees or services, or refund or refinance bonds, including, but not limited to, the Marks-Roos Local Bond Pooling Act of 1985, the Mello-Roos Community Facilities Act of 1982, the Improvement Bond Act of 1915, and the Refunding Act of 1984 for 1915 Improvement Act Bonds.

F. Construction and Maintenance Responsibilities

The construction and maintenance responsibilities of the facilities and infrastructure within the Resort Village planning area will be divided among the developers, the Homeowner’s Association (HOA), the County, and existing and future districts. Table 6, Construction and Maintenance Responsibilities for Facilities and Infrastructure, describes anticipated construction and maintenance responsibilities.

G. Landscape Maintenance Responsibilities

The Landscape Maintenance Plan depicts proposed maintenance responsibilities within the Resort Village (See, Exhibit 47).

- A Community Facilities District (CFD) would maintain the Otay Ranch Open Space Preserve pursuant to the requirements of the RMP 2.
- Community Facilities District(s) would maintain detention basins, landscaping along Otay Lakes Road, external slopes, perimeter walls, public parks and fuel modification areas.
- The Master Homeowners Association(s) would maintain landscaping associated with internal slopes and streets, community and neighborhood entry monuments and private parks.
- Single family lots, the commercial and multi-family sites within the Multiple Use district and the Resort site will be privately maintained.
- Public Facility Sites (Public Safety, School, Water Reservoir, Sewerage) will be maintained by their respective owners.

Table 7
Construction and Responsibilities for Facilities and Infrastructure

	Acquisition	Construction	Maintenance	Ownership	Access
Public Roads	Developer(s)	Developer(s)	County	County	Public
Private Roads	Developer(s)	Developer(s)	HOA	HOA	HOA
Resort Private Driveway	Developer(s)	Developer(s)	Private	Private	Private
Off Site Road Improvements	Developer(s) and Fair Share Contribution	Developer(s) and Fair Share Contribution	County/City of Chula Vista	County/City of Chula Vista	Public
On Site Trails / Pathways	Developer(s)	Developer(s)	HOA or County/District	HOA or County/District	Public
Landscaped Parkways	Developer(s)	Developer(s)	HOA or County/District	HOA or County/District	Public
Public Road Lighting	Developer(s)	Developer(s)	County	County	N/A
Specialty Village Lighting	Developer(s)	Developer(s)	HOA	HOA	N/A
MU Parking Lot	Developer(s)	Developer(s)	HOA	HOA	Public
Otay Ranch Preserve	Preserve Dedication	NA	POM Assessment	POM	Public
Internal Open Space (HOA)	Developer(s)	Developer(s)	HOA	HOA	Public
Internal Open Space (Public)	Developer(s)	Developer(s)	County/District	County/District	Public
Public Parks	Developer(s)	Developer(s)	County/District/HOA	County	Public
Private Parks	Developer(s)	Developer(s)	HOA	HOA	HOA
Water System	Developer(s)	Developer(s)	OWD	OWD	NA
Sewer System	Developer(s)	Developer(s)	County/District	County/District	NA
Drainage System	Developer(s)	Developer(s)	County/District	County	NA
Fire Station	Developer(s)/District	Developer(s)/District	Fire District	Fire District	NA
School	Developer(s)/District	Developer(s)/District	School District	School District	Public
Definitions					
Developer and Fair Share Contribution	Obligation will be satisfied through a combination of developer(s) performance and payment of impact fees.				
Preserve Dedication	Obligation will be satisfied through compliance with the RMP 2 dedication requirements.				
POM Assessment	Obligation will be satisfied through compliance with the RMP 2 requirement to establish an assessment mechanism.				
Developer/ District	Acquisition and Construction may be performed by the Developer(s) but funded through an assessment mechanism.				
County/District	Performance or title may be held by the County but funded through an assessment mechanism.				

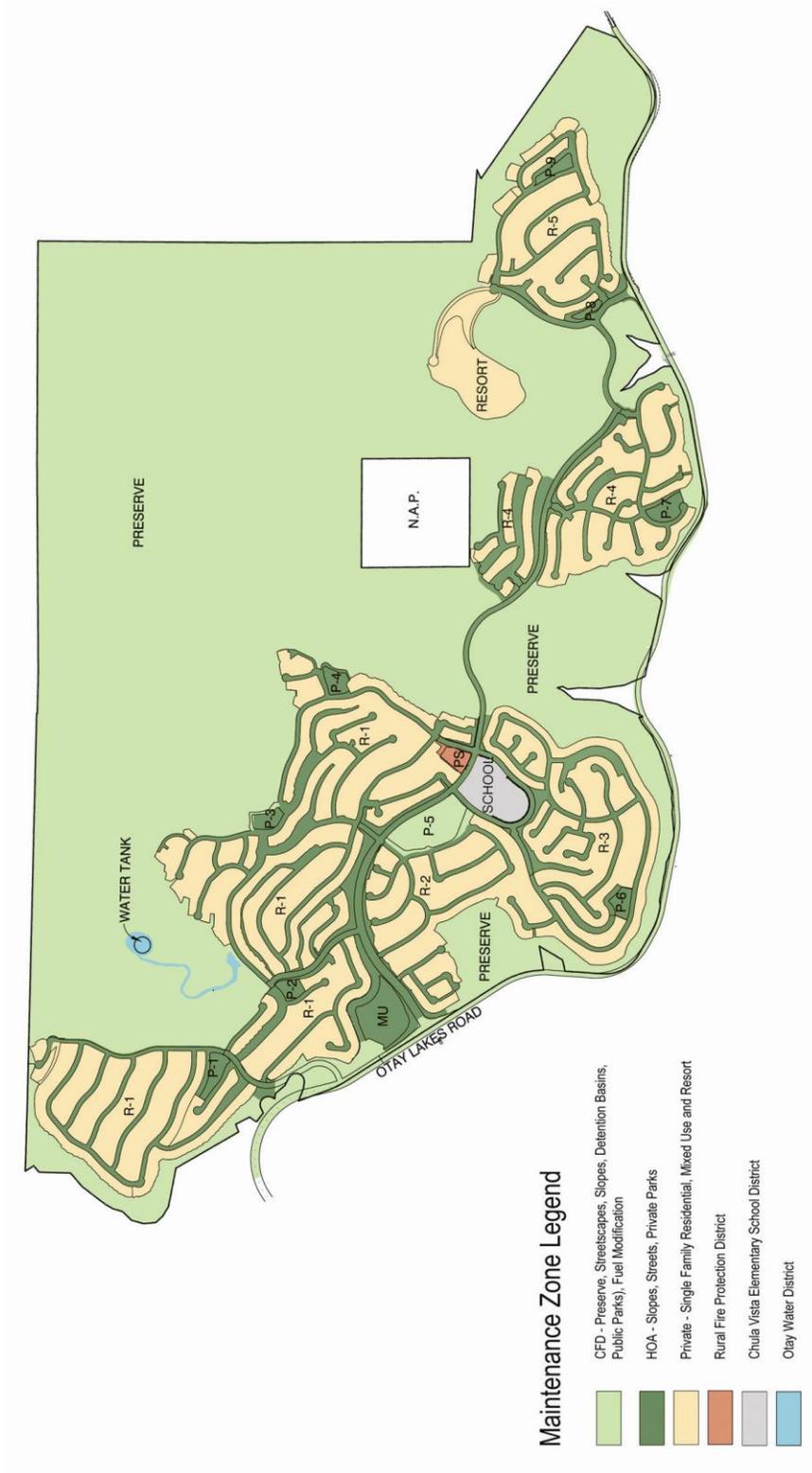


Exhibit 47

Landscape Maintenance Plan

H. Relationship of Support Documents to the Specific Plan

Appendices, technical studies and master plans are prepared to support the plans and policies contained in the Specific Plan and provide support information and analysis to enable the Specific Plan to be evaluated in the accompanying Project EIR. While the Specific Plan is consistent with the referral documents, the appendices, master plans and technical reports are not incorporated into the body of the Specific Plan. Accordingly, implementation of the Specific Plan may deviate from the precise provision of these documents, without expressly amending the Specific Plan or the support documents, as long as the implementing plans are consistent with the plans and policies contained in the Specific Plan and the Otay SRP and the related mitigation measures.

V. Development Regulations

V. Development Regulations

A. Purpose

The purpose of the Otay Ranch Resort Village Development Regulations (Development Regulations) is to:

- Implement the Otay Ranch Resort Village Specific Plan.
- Promote and protect the public health, safety and welfare of the residents of the Otay Ranch Resort Village.
- Safeguard and enhance the appearance and quality of Otay Ranch Resort Village development.
- Promote quality design and consistency among the Otay Ranch Resort Village Planning Areas and land uses.
- Protect development within the Otay Ranch Resort Village from noise, illumination, unsightliness, odors, smoke and other objectionable influences.

B. Authority

These Development Regulations are established pursuant to Part II, Section E.1.a of the Otay SRP and Sections 1006.a and Section 2880 et seq. of the San Diego County Zoning Ordinance. Whenever the provisions of this ordinance impose more, or less, restrictive regulations upon construction or use of buildings and structures, or the use of lands/premises than are imposed or required by other ordinances previously adopted, the provisions of this ordinance or regulations promulgated hereunder shall apply. For any aspect of land use regulations within the Otay Ranch Resort Village Specific Plan not covered by these Development Regulations, the applicable sections of the County of San Diego Zoning Ordinance shall regulate subsequent plan approvals.

C. Otay Ranch Resort Village Zoning Districts

The Otay Ranch Resort Village Development Regulations establish the following Zoning Districts:

1. Residential District

The Single Family Residential (SF 1) District primarily consists of single family detached homes and also include uses customarily associated with single family neighborhoods including, but not limited to streets, landscaped parkways, parks, an elementary school, pathways, utilities and street lights, fencing, signage, open space, fuel management, and fire and/or neighborhood law enforcement stations.

2. Multiple Use District (MU)

A Multiple Use District (MU) is located adjacent to Otay Lakes Road on the north side of the Strada Piazza entrance into the community. Commercial uses permitted in this designation are identified in Section 6.2 of these Development Regulations. A Site Plan is required for the MU District to refine the development program, facilities, site design, parking, architecture and landscaping.

3. Resort District (R)

The 17.4 acre site designated for Resort District uses is chosen for its relative isolation and physical beauty. The commanding views across Lower Otay Lake and surrounding mountains create a remarkable setting for The Otay Ranch Resort. The rocky promontory hilltop resort site would permit a hotel and ancillary commercial uses that support the facility. A Site Plan is required for the Resort to refine the development program, facilities, site design, parking, architecture and landscaping.

4. Open Space and Preserve District (OS/P)

The Open Space and Preserve District consists of Preserve land as defined and regulated by the Otay Ranch Resource Management Plan (RMP) and disturbed and/or natural lands adjacent to planning areas in the form of manufactured slopes, greenbelts and fuel modification areas. Permitted uses in the Open Space and Preserve District consist of fuel management, irrigated landscaping, pathways, trails and public facilities authorized pursuant to the Otay Ranch RMP.

D. Otay Ranch Resort Village Zoning District Map

Zoning Districts are as delineated on Exhibit 48, the Otay Ranch Resort Village Zoning Districts (Zoning District Map). The Zoning District Map, together with all notations, references, data, district boundaries and other information thereon, are made a part of the Otay Ranch Resort Village Specific Plan and adopted concurrently herewith. Zoning District boundaries are intended to align with physical and legal features such as property boundaries, top or toe of slopes, and streets. Refinements to these boundaries will occur during engineering and planning associated with the Tentative Maps, Final Maps and improvement plan processes and will not require an amendment to the Specific Plan provided the refinement does not alter the intent of the Specific Plan, including the Development Regulations.

ZONING BOXES

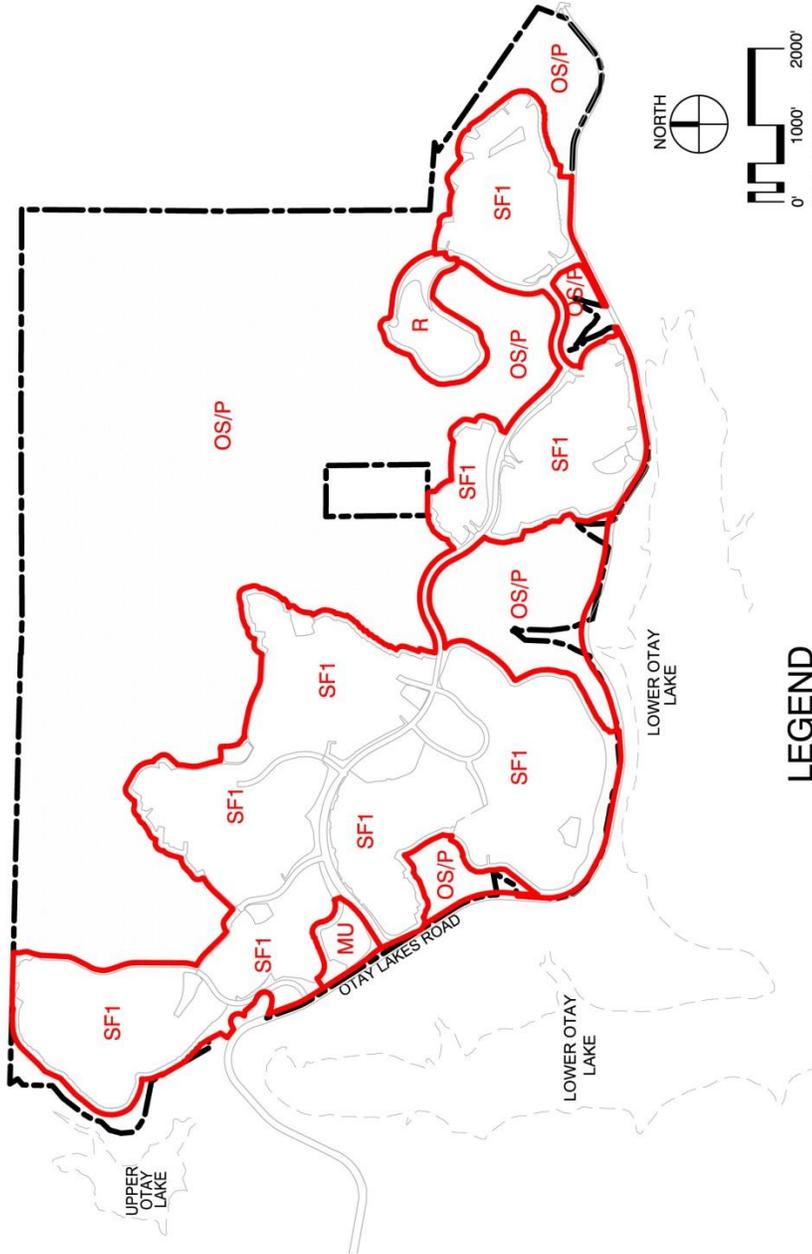
SINGLE FAMILY RESIDENTIAL 1 (SF 1)	
USE REGULATIONS	S-88
ANIMAL REGULATIONS	—
DENSITY	3.0
LOT SIZE (MINIMUM)	4,250
BUILDING TYPE	L
HEIGHT	H
COVERAGE	—
SETBACK	V
OPEN SPACE	A
SPECIAL AREA REGULATIONS	D

MIXED USE RESIDENTIAL/COMMERCIAL (MU)	
USE REGULATIONS	S-88
ANIMAL REGULATIONS	—
DENSITY	20.0
LOT SIZE (MINIMUM)	5,000
BUILDING TYPE	L
HEIGHT	R*
COVERAGE	—
SETBACK	V
OPEN SPACE	B
SPECIAL AREA REGULATIONS	D

RESORT (R)	
USE REGULATIONS	RV9
ANIMAL REGULATIONS	—
DENSITY	N/A
LOT SIZE	5,000
BUILDING TYPE	L
HEIGHT	R*
COVERAGE	—
SETBACK	V
OPEN SPACE	A
SPECIAL AREA REGULATIONS	D

OPEN SPACE/PRESERVE (OS/P)	
USE REGULATIONS	S-80
ANIMAL REGULATIONS	—
DENSITY	0.0
LOT SIZE	—
BUILDING TYPE	—
HEIGHT	—
COVERAGE	—
SETBACK	—
OPEN SPACE	—
SPECIAL AREA REGULATIONS	—

*BUILDING HEIGHT SHALL NOT EXCEED 75 FEET AND SHALL BE USED ONLY FOR THE CREATION OF AN ARCHITECTURAL LANDMARK SUCH AS A CLOCK OR BELL TOWER TO ACHIEVE THE DESIGN GOALS OF THE PROJECT.



LEGEND

- SF1 SINGLE FAMILY RESIDENTIAL
- MU MIXED USE RESIDENTIAL/COMMERCIAL
- R RESORT
- OS/P OPEN SPACE PRESERVE

E. The Residential Districts

1. Purpose and Intent

The purpose of the Residential District Development Regulations is to classify, regulate, restrict and separate the use of land, buildings and structures; regulate and limit the type, height and bulk of buildings and structures; establish yards and other open space areas abutting and between buildings and structures; and regulate the density of development.

2. Zoning Box

Single Family Planning Area (SF-1)		
Use Regulations		S-88
Animal Regulations		-
Development Regulations	Density	1,881 DU
	Lot size	4,000
	Building Type	L
	Maximum Floor Area	-
	Floor Area Ratio	-
	Height	H
	Lot Coverage	-
	Setback	V See Table 9
	Open Space	A
Special Area Regulation		D

3. Permitted Uses

Table 8 establishes permitted uses in the SF Residential District. For uses not identified in the table below, but permitted in residential areas under the County Zoning Ordinance, the use restrictions identified in the Zoning Ordinance for Urban Residential Development (Section 2140) will apply.

Table 8 - Single Family Planning Area Permitted Uses

USE	SF 1
Single Family Residential Homes	P
Public Elementary School	P
Private Schools	N
Fire Station	P
Neighborhood Law Enforcement Station	P
Public Park Facilities	P
Private Park Facilities	P
Family Daycare Facilities	P
Home Occupations	P
Utilities and Services customarily associated with development	P
Landscaped Parkways	P
Manufactured Slopes	P
Noise Walls per Resort Village Noise Technical Report	P
Rooftop Solar Panels, Wind Turbines	P

“P” – Permitted

“N” – Not Permitted

4. Development Standards

The following Development Standards shall apply to the SF1 District.

1. Special Residential Development Standards

a. Setbacks

Table 9 establishes setbacks for the Otay Ranch Resort Village SF 1 District. The Director of Planning and Development Services (Director) or their designee may permit smaller setbacks through the Site Plan review process (See Section 10, Site Plan).

Table 9 – Setback Table

Yards And Setbacks (measured from property line)

Minimum Front Yard Setback (Feet):	SF 1
To direct entry garage	17.5
To side entry (swing in) garage with or without residential above.	7
To main residence	7
To porch or entry feature*	7
Minimum Side Yard Setback (Feet):	
To adjacent residential lot	5
Distance between detached residences	10
To porch or veranda on corner lot	4
To property line of adjacent residential street	7
Minimum Rear Yard Setback (Feet):	
To main residence	5**
To garage	5**

* For lots less than 100' deep, front yard setbacks may be reduced by 4 feet.

** For lots adjacent to Preserve Open Space, the minimum rear yard setback is 20' to comply with Fuel Modification Zone requirements.

b. Setbacks for Accessory Buildings

Except for Secondary Dwelling Units, accessory buildings, attached or detached, used either wholly or in part for living purposes, shall meet the requirements for location of the main structure, except detached accessory buildings may be located within an interior side yard or rear yard, provided that such a structure is located no closer than five feet to an interior side or rear lot line, is at least six feet from the main structure, and does not exceed one story in height.

c. Architectural Projections

Architectural projections which constitute non-usable floor space such as fire places, media niches or book shelf areas on exterior walls, eaves, awnings, chimneys, balconies, stairways, bay windows, wing walls, etc., shall not be included in building area calculations and may project into any required setback..

d. Vertical Architectural Elements

Non-usable floor space such as chimneys, spires, towers and other vertical architectural elements are permitted to extend a maximum of 8 feet above the maximum height to encourage architectural variation.

e. Accessory Uses

Accessory uses and accessory buildings customarily appurtenant to a permitted use are permitted as shown in Table 10 below.

f. Secondary Dwelling Units

Secondary Dwelling Units are independent residential living areas (commonly referred to as a "Granny Flat") accessory to a primary single family residential use that occupy the same single family detached lot as the main residence, and have cooking and bath facilities. Secondary Dwelling Units are permitted subject to the following requirements:

- **Size:** Secondary Dwelling Units shall not exceed 650 sq. ft. and one bedroom maximum.
- **Setbacks:** Secondary Dwelling Units shall meet the setback requirements for the residence as defined in Table 9, except are only required to have a 5 ft. rear yard setback.
- **Parking:** Secondary Dwelling Units shall have one parking space, either on-site or curbside, which is not required to be covered. The parking space shall not block the access to the two minimum on-site covered parking spaces required for the primary family residence.
- **Kitchen and Bath Facilities:** Secondary Dwelling Units shall have independent kitchen and bath facilities.
- **Entry:** Secondary Dwelling Units may have a separate entry from that of the primary single family residence.

**Table 10
Resort Village Accessory Uses**

Accessory Use (per County Zoning Ordinance, Section 6200 et seq.)	SF
Attached Private Garages and Carports, Storage Buildings, Workshops, Hobby Shops, and other similar non-habitable uses.	P
Detached Pool-houses, Art or Music Studios, and Recreation Rooms	P
Children's Playhouses, Patios, Porches, Gazebos, BBQs, etc	P
Radio and Television Receiving Antennas, Dish Antennas.	P
Greenhouse.	P
Silos, Windmills and Tank Houses.	N
Detached Private Garages and Carports, Storage Buildings, Workshops, Hobby Shops, and other similar non-habitable uses	P
Barns and Agricultural Storage Buildings	N
Offices.	N
Coops and Aviaries.	N
Guest Living Quarters	N
Home Occupations.	P
Dog, Cat and Pot-Belly Pig Keeping	P
Day Care/Boarding	P
Family Care Homes.	P
Roadside Sales of Agricultural Products.	N
Wild Animal Keeping.	N

Earthworms or Vermiculture	N
Retail Sales of Stable Gear	N
Farm Employee Housing	N
Horticultural Sales	N
Second Dwelling Units	P
Family Day Care Home For Children, Large (9 to 14 children).	N
Small Wind Turbine	C
Bed and Breakfast Home	N
Host Home	N
Family Day Care Home For Children, Small (8 or fewer children)	P
Poultry Manure Management.	N
Water Vending By Machine.	N
Recycling Collection Facility, Drop-off:	A
Garage Sale.	P
Agricultural Homestay	N

P – Permitted

C – Conditionally Permitted

N – Not Permitted

A – Permitted Subject to Administrative Review

g. Temporary Uses

Temporary Uses pursuant to the San Diego County Zoning Ordinance, including Uses in New Subdivisions such as model homes, are permitted in the SF 1 and SF 2 Districts, subject to the requirements of the Zoning Ordinance Section 6100 *et seq.*

h. Walls and Fences

Walls, fences, or hedges not more than eight (8) feet in height may be maintained along the interior side or rear lot lines, except as required by a site specific noise study or as shown on the Wall and Fence Plan in the Resort Village Design Plan. Corner cut-offs shall be provided whenever necessary for line-of-sight visibility and safety and may be adjusted to accommodate "veranda" porches required on corner lots.

Walls, fences or hedges adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two inches in height within the front yard setback area of the lot. Walls in the front yard setback shall be no closer than three feet to the back of front sidewalk. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility as determined by the County Director of Public Works.

Fiberglass, bamboo sheeting, chain link, chicken wire or similar temporary material shall not be permitted as a fencing material. Plexiglas is permitted for view purposes.

Sound Walls shall not exceed the maximum height required by the Resort Village Noise Technical Report and may be comprised of a combination of berming and wall elements.

In any required front yard adjacent to a street, the wall, fence, or hedge shall not exceed forty-two inches in height, except walls or fences pursuant to the Resort Village Design Plan.

i. Landscaping

Landscaping of front and exterior side yard setback areas is required. Landscaping shall consist predominantly of trees, plant materials, ground cover and decorative rocks, except for necessary walks, drives and fences. Landscaping shall be designed in accordance with the water conservation measures identified in the Water Conservation Plan, which include high efficiency irrigation equipment, drought tolerant, low water usage plants, and limiting natural turf to no more than 30% of the outdoor open space. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris, and shall meet the requirements set forth in the Fire Protection Plan and the Preserve Edge Plan.

Drought tolerant landscaping is required. The Otay Ranch Resort Village Water Conservation Plan identifies a plant palette and incorporates measures to reduce

outdoor water use through the implementation of measures such as using drought tolerant landscaping, hydrozones, and efficient irrigation systems. The Water Conservation Plan incorporates the San Diego County Model Drought Landscape Ordinance.

j. Noise

The SF1 and SF2 Districts shall conform to the requirements of the County Noise Ordinance and the Noise Performance Requirements of the County Zoning Ordinance, including mitigation measures identified in the *Otay Ranch Resort Village Noise Report* necessary to reduce the noise levels to be consistent with these requirements including construction of noise walls, installation of air conditioning units and dual-pane windows.

F. Multiple Use District

1. Purpose and Intent

The intent of the Multiple Use District is to provide for flexibility in meeting the needs of the community in a feasible manner, based upon community needs and market conditions.

The Multiple Use District may include multiple land uses, with 57 single family or 57 multifamily housing units, and up to 20,000 square feet of commercial, subject to Site Plan approval to refine the development program, facilities, site design, parking, architecture and landscaping. This district may solely include up to 57 single family detached housing units.

2. Land Use Criteria

Findings for consistency with purpose, intent, and the criteria below will determine the final land use mix for the Multiple Use District:

- Multifamily housing and commercial uses may be permitted provided that a market study prepared by the applicant and reviewed by the local agency demonstrates that there is a strong market for this mix of uses to be built within a single or feasible number of phases.
- There is a strong relationship between the Resort site and commercial uses that will service both visitors and residents. This synergy will set apart the commercial in Village 13 from other villages in Otay Ranch. This dependency may mean that this district would be devoted solely to single family detached housing to create a special place on the Resort site for the benefit of visitors and residents alike. As such, the land use program to be selected for this district is dependent upon both the market study and the development program for the Resort site. The Resort site may have sufficient visitor-serving commercial, which can also serve the residents of this specialty village.

3. Permitted Non-Residential Uses

Upon approval of a Major Use Permit to refine the development program, facilities, site design, parking, architecture and landscaping, the following uses shall be permitted by right. Modifications to permitted uses approved as part of the MUP shall not require an amendment to the Specific Plan. The uses identified in the following categories are not intended to be all inclusive; any use determined by the Director to be comparable in nature to a permitted use shall also be permitted by right.

Institutional:

- Daycare and Nursery School
- Hospitals, Intermediate Care Facilities and Nursing Facilities
- Museums
- Private Recreational Facilities
- Private Schools Kindergarten through Grade 12
- Public Facilities (Library, Post Office, Police/Fire Station, Other Civic Use)
- Vocational and Trade Schools

Retail Sales:

- Alcoholic Beverage Outlets
- Business Supplies and Services (Hardware, Home Improvement)
- Consumer Goods, Furniture, Appliances, Equipment (Books, Stationery, Magazines)
- Food, Beverages and Groceries (Drug Store)
- Pets and Pet Supplies
- Wearing Apparel and Accessories

Commercial Services:

- Assembly and Entertainment (Athletic and Health Clubs)
- Building Support (Maintenance and Repair)
- Eating and Drinking Establishments (Bakery, Confectioner)
- Financial Institutions
- Hotel or Motel/Timeshare/Fractional Interest Share/Condotel or Similar
- Instructional Studios
- Massage and Day Spa Establishments
- Maintenance and Repair of Consumer Goods
- Night Clubs and Bars less than 6,000 Square Feet
- Private Clubs, Lodges and Fraternal Organizations
- Personal Services (Barber/Beauty Shops)
- Pushcarts on Private Property

Office:

- Business and Professional
- Government
- Medical, Dental, and Health Practitioner

4. Development Standards

a. Use Regulations

See Zoning Map, Exhibit 48, for Use Regulations.

5. Architectural Elements

This District is located at the intersection of Otay Lakes Road and Strada Piazza, thereby providing the opportunity to establish the architectural theme at the primary gateway to the community. A key design element of the District is a campanile or bell tower which locates commercial areas from a distance. To achieve this goal, the District site allows for a maximum structure height of 75 feet accommodating the design of a landmark architectural element that serves to designate the gateway as well as provide a signature image associated with the identity of the community.

6. Accessory Uses and Structures

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed. Accessory buildings shall meet all of the requirements for location of the main structure as constructed or required by the district, whichever is less restrictive. Trash storage shall be shielded from public view by walls of at least 6 feet high.

7. Temporary Uses

Temporary Uses pursuant to the San Diego County Zoning Ordinance, including Uses in New Subdivisions, are permitted in the Multiple Use District, subject to the requirements of the Zoning Ordinance Section 6100 *et seq.*

G. Resort District

1. Purpose and Intent

The Resort District provides for the development of a unique, high quality destination resort which may be comprised of a hotel, timeshare/condo-hotel units, conference facilities, recreational facilities, and ancillary commercial users to serve the visitors to the Resort. The Resort District is intended to function as a focal point for the community as envisioned in the Otay SRP. The Resort District is designed to achieve the following:

- To provide areas for hotel, conference center, timeshare/condo-hotel units and ancillary commercial uses offering commodities and services to visitors.
- To provide an opportunity for recreational facilities.

- To provide adequate space to meet the needs of commercial activity, including off-street parking, storage, and loading areas.
- To protect Resort properties from noise, odor, smoke, unsightliness, and objectionable influences incidental to certain uses.

2. Permitted Uses

Upon approval of a Major Use Permit to refine the development program, facilities, site design, parking, architecture and landscaping, the following uses shall be permitted by right. Modifications to permitted uses approved as part of the MUP shall not require an amendment to the Specific Plan. The uses identified in the following categories are not intended to be all inclusive; any use determined by the Planning Director to be comparable in nature to a permitted use shall also be permitted by right.

Institutional:

Daycare and Nursery School
Museums
Private Recreational Facilities
Private Schools Kindergarten through Grade 12

Retail Sales:

Alcoholic Beverage Outlets
Consumer Goods, Furniture, Appliances, Equipment (Books, Stationery, Magazines)
Food, Beverages and Groceries (Drug Store)
Wearing Apparel and Accessories

Commercial Services:

Assembly and Entertainment (Athletic and Health Clubs)
Eating and Drinking Establishments (Bakery, Confectioner)
Financial Institutions
Hotel or Motel/Timeshare/Fractional Interest Share/Condotel or Similar
Instructional Studios
Massage and Day Spa Establishments
Night Clubs and Bars less than 6,000 Square Feet
Private Clubs, Lodges and Fraternal Organizations
Personal Services (Barber/Beauty Shops)
Pushcarts on Private Property

Office:

Business and Professional
Medical, Dental, and Health Practitioner

3. Development Standards

a. Special Resort Development

b. Use Regulations

See Zoning Map, Exhibit 48, for Use Regulations.

c. Architectural Elements

The primary project objectives of the Resort District are to create a prestigious destination resort drawing upon the architectural forms, materials and styles found in the hill towns of Tuscany. A key design element of a village is the campanile or bell tower which identifies the town from a distance. To achieve this goal, the Resort site allows for a maximum structure height of 75 feet to accommodate the design of a landmark architectural element that serves to designate the location from a distance as well as provide an iconic image associated with the identity of the Resort.

d. Accessory Uses and Structures

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed. Accessory buildings and structures shall meet all of the requirements for location of the main structure as constructed or required by the district. Trash storage shall be shielded from public view by walls of at least 6 feet high.

e. Temporary Uses

Temporary Uses pursuant to the San Diego County Zoning Ordinance, including Uses in New Subdivisions, are permitted in the Resort District, subject to the requirements of the Zoning Ordinance Section 6100 *et seq.*

H. Open Space and Preserve District

1. Purpose and Intent

The purpose of the Open Space and Preserve District is to limit development activity and reduce impacts to the Otay Ranch Preserve while enabling appropriate uses within the Preserve.

2. Permitted Uses

Permitted uses in the Open Space and Preserve District are trails, grading, landscaping, fuel management and infrastructure. Permitted uses within the RMP/MSCP Preserve portion of the Open Space and Preserve District are those authorized by the RMP, RMP2 and MSCP. Prohibited uses within the RMP/MSCP Preserve portion of the Open Space and Preserve District are those expressly prohibited by the RMP, RMP2 or MSCP.

I. Sign Regulations

1. Purpose

The provisions of this Section shall establish the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs. These sign regulations are intended to achieve the following:

- Protect the general public health, safety and welfare by reducing possible safety and traffic hazards through good signage.
- Direct people to various activities and uses in order to provide for maximum public convenience.
- Promote a high quality visual environment.
- Encourage a sign program with a consistent theme, which visually complements and blends with the character of the community.

2. On-Site Signs

a. SF 1 District

On-site signs are permitted in the SF 1 District subject to the following requirements:

b. Sign Permit Exceptions

The following signs shall be exempt from the sign permit requirements, however, may be subject to separate electrical and/or building permits:

1. On-Site Subdivision Signs:

- Temporary, on-site subdivision signs shall be permitted for each applicant, developer or property owners at the primary subdivision entrance, not to exceed one-hundred sixty (160) square feet in total area for two sides and eight (80) square feet for one side. Additional temporary subdivision signs are permitted, not to exceed four signs (maximum sixty-four square feet per side and twelve feet in height) per street for each neighborhood at any one time. Temporary flags and banners shall be permitted.
- Such sign shall be for the identification of a subdivision, price information and the developer's name, logo, address and telephone number.

- Such signs shall be removed after thirty-six months. Twelve month extension requests may be submitted by the applicant, developer or property owners for consideration by the Director prior to the expiration date.
 - Such signs shall be removed within ten (10) calendar days from the date of the final sale of the residences.
 - Signs shall be maintained in good repair at all times by the applicant developer or property owner.
2. **Temporary construction sign sites:** Two (2) directory signs shall be permitted on the construction listing contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the County.
3. **Real estate signs for residential sales:** No more than one sign for interior lots and two for corner lots (one sign per street frontage) not exceeding four (4) square feet in area and four and one-half (4-1/2) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow. Signs placed on the rear street frontage are prohibited. No more than five (5) off-site "Open House" signs not exceeding four (4) square feet in area and five (5) feet in height are permitted for directing prospective buyers to property offered for sale and must be removed on the same day as placed. Signs shall be located a minimum of three (3) feet from the sidewalk or 10 feet from the curb or edge of pavement, where no sidewalk exists.

c. Resort and Multiple Use Districts

On-site signs are permitted in the Resort and Multiple Use Districts as authorized pursuant to an approved Site Plan for each District.

3. Off-Site Signs

The purpose of the off-site signage requirements is to provide a uniform, coordinated method for directional signage to residential projects. Off-site directional signage to the Resort Village shall comply with the following requirements.

- Each sign may contain the name of the subdivision and directional arrow.
- Any sign approved for a particular subdivision within the Resort Village shall not be changed to another subdivision without prior approval of the Director.

- No other directional signage may be used, including posters, portable signs, vehicle signs, trailer signs or temporary subdivision signs.
- Said signage shall be allowed until the units within the subdivision are sold out, or a period of thirty-six (36) months, whichever comes first. Extensions of twelve (12) months may be approved by the Director.
- The placement of each sign structure and its copy shall be reviewed and approved.

In addition, sign regulations of the County Zoning Ordinance shall apply where it does not conflict with the above requirements.

J. Site Plan Procedure

1. Purpose

The purpose of the Site Plan procedure is to evaluate compliance with the Otay Ranch Resort Village Specific Plan including the Development Regulations, Resort Village Design Plan, Resort Village Preserve Edge Plan, Resort Village Fire Protection Plan, sections of the County Zoning Ordinance not in conflict with the Resort Village Specific Plan and associated Resort Village Planning Documents. These documents are collectively known as the Review Documents.

2. Jurisdiction

The Director shall review and evaluate all Site Plans.

3. Application

An application for a Site Plan or modification thereof shall be signed by all property owner(s) or agent(s) as provided in County Zoning Ordinance Section 7017, and shall contain the following:

- Legal description, legend, scale, north arrow, vicinity map and identification of designer/preparer.
- The boundary lines of subject property fully dimensioned together with the name and dimensions of adjoining streets.
- Existing topography and proposed grading plan showing slope, retaining walls, pad elevations and percent of slope on streets, driveways and other graded areas.
- Existing and proposed streets, utilities and easements.
- Proposed location, height and dimensions of buildings, including colors and materials on all elevations. The floor area,

number of stories, number of units and bedrooms shall be identified.

- Landscape concepts including the proposed method of irrigation.
- Pedestrian and vehicular ingress and egress, with driveway locations and dimensions.
- Walls and/or fences (including height).
- Location, height and size of signs proposed on the property.
- Lighting, including the location, type and hooding devices to shield adjoining properties.

Sufficient information as determined by the Director to enable the Director to make a determination of compliance with the Review Documents as applied to the Site Plan Check List (Table 11) items below:

Table 11
Site Plan Check List

County Zoning Box (Specific Plan Page 102, Exhibit 48; Page 101)

- Use Regulation – S-88: Specific Plan Area
- Animal Designation –
- Density – 1,881 DU
- Minimum Lot Size – 4,000 SF
- Building Type – L
- Height – H (35', 3 stories)
- Setback – V-designator, See Table 9 (Page 104)
- Open Space – M (600' sq. ft. private open space and 0 sq. ft. group open space)

Permitted Uses (Specific Plan Page 103, Table 8)

- Residential District
 - Does the use comply with those uses listed in Table 8 as permitted or has the appropriate permit been applied for (Site Plan, Major Use, etc)?
- Non-Residential Districts
 - Does the use comply with those uses listed on pages 110 (Multiple Use District), 112 (Resort District) and/or 113 (Open Space District) as permitted or has the appropriate permit been applied for (Site Plan, Major Use, etc)?

Setbacks (Specific Plan Page 104, Table 9)

- Do the setbacks meet the minimum setbacks established in Table 9 of the Resort Village Specific Plan Development Regulations?

Accessory Uses (see Pages 106-107, Accessory Use Table 10)

- Second Dwelling Units
 - Permitted subject to requirements listed on Page 106 of the Resort Village Specific Plan Development Regulations

Temporary Uses

- Permitted subject to Zoning Ordinance Section 6100 *et seq.*

Walls and Fences

- Side and Rear Yard – permitted up to 8' in height (per Otay Ranch Resort Village Noise Impact Report requirements)
- Front Yard – permitted up to 3.5' in height

Landscaping

- Required
- Comply with Resort Village Plant Palette from Water Conservation Plan (Appendix VI)

Signage (Specific Plan 114 – 116)

- On-site Signs
 - Subdivision Signs
 - Temporary Construction Signs
 - Real Estate Signs for Residential Sale
- Off-site Signs

Site Plan Requirements

- Legal description, legend, scale, north arrow, vicinity map, and identification of designer/preparer.
- The boundary lines of subject property fully dimensioned together with the name and dimensions of adjoining streets.
- Existing topography and proposed grading plan showing slope; retaining walls; pad elevations; and percent of slope on streets, driveways, and other graded areas.
- Existing and proposed streets, utilities, and easements.
- Proposed location, height, and dimensions of buildings, including colors and materials on all elevations. The floor area, number of stories, number of units, and bedrooms shall be identified.
 - Colors to match Village Design Plan, page 72.
 - Materials to match Village Design Plan, page 72.
- Landscape concepts including the proposed method of irrigation.
- Pedestrian and vehicular ingress and egress, with driveway locations and dimensions.
- Walls and/or fences (including height).
 - Wall type to match Village Design Plan, pages 56 – 58.
- Location, height, and size of signs proposed on the property.
- Lighting, including the location, type, and hooding devices to shield adjoining properties.
 - Lighting to match Village Design Plan, pages 59 – 62.

4. Application Form and Fee

An application for a Site Plan or modification thereof shall be made to the administering agency on such forms prescribed by the Director, and shall be accompanied by the fee, if any, fixed pursuant to County Zoning Ordinance Section 7602. Site Plan Process pursuant to Section 7150 of the Zoning Ordinance.

5. Waiver of Site Plan

The Director may waive the requirement for a Site Plan if he finds that all of the purposes and requirements of the Site Plan have been or will be fulfilled by another discretionary permit pursuant to Section 7156 of the County Zoning Ordinance; or where the Director finds the proposed development or improvement is minor in nature and the public purpose for which the Site Plan would be required will not be harmed by waiver of the requirement.

No building permit shall be issued for a project for which the Site Plan requirement has been waived except pursuant to plans bearing the Director's stamp granting such waiver.

6. Review and Evaluation

The Director shall review and evaluate Site Plans submitted in accordance with the standards and criteria contained in the Review Documents. Review and evaluation of the Site Plan shall not exceed the scope of said standards and criteria.

a. Modifications Required For Approval of the Site Plan

The Director may specify modifications, changes, and additions to the Site Plan which are required for its approval. The modifications, changes, and additions shall not exceed the scope of the standards and criteria contained in the Review Documents. However, such standards, criteria and requirements may be modified or changed to mitigate significant adverse environmental effects disclosed by a certified Environmental Impact Report.

b. Improvements Required for Approval of the Site Plan

The Director shall ensure that all Site Plans provide for on- and off-site improvements which are required by the standards and criteria contained in the Review Documents. The Director may require the applicant to enter into an agreement to provide such improvements and this agreement shall be accompanied by a completion bond as provided by County Zoning Ordinance Section 7613.

c. Waiver of Standards and Criteria

The Director may waive those standards and criteria prescribed for the review and evaluation of a site plan which he finds have been or will be fulfilled by condition or conditions of a Use Permit or Variance.

7. Decision and Notice

a. Action

Upon completion of review and evaluation of a site plan, the Director shall either: make such findings as are required by Section 7160 and approve the Site Plan, or notify the applicant of those changes and modifications required for approval of the Site Plan, or

deny the Site Plan if the Director finds that the Site Plan cannot be conditioned by adequate requirements to insure compliance with applicable regulations or the Site Plan cannot reasonably be modified to conform to the standards and criteria contained in the Review Documents.

b. Time Period

Within 60 days of receipt of a complete Site Plan, the Director shall approve, modify or deny. The 60 day period may be extended with the written consent of the applicant.

c. Effective Date

All decisions of the Director made pursuant to this Section shall become final and effective on the date of decision.

8. Conditions

Site Plans may be approved or modified subject to the performance of such conditions consistent with the standards and criteria contained in the Review Documents. Such conditions shall be imposed and enforced as follows:

a. Security May Be Required to Insure Performance

To insure the performance of conditions imposed concurrent with the approval or modification of a Site Plan, the applicant may be required to furnish security in the form of money or surety bond in the amount fixed by the authority granting or modifying the Site Plan. Such security shall be furnished as required by County Zoning Ordinance Section 7612.

b. Provision of Required Improvements

Whenever a Site Plan is granted or modified subject to the condition that specified improvements be provided by the applicant, such improvements shall be installed by the applicant and approved and accepted by the cognizant county authority, the applicant shall execute an agreement with the cognizant county authority pursuant to County Zoning Ordinance Section 7613 to make such improvements prior to the time or events specified in the Site Plan.

c. Condition Declared Void

Whenever there becomes final any judgment of a court of competent jurisdiction declaring one or more of the conditions of a Site Plan approval to be void or ineffective, or enjoining or otherwise prohibiting the enforcement or operation or one or more of such conditions, said Site Plan approval including all other conditions remain valid.

d. Violation of Condition

Whenever a Site Plan is approved or modified subject to a condition or conditions, use or enjoyment of the Site Plan in violation of or without observance of any such condition shall constitute a violation of the County Zoning Ordinance and said Site Plan may be revoked or modified as provided in County Zoning Ordinance Section 7172.

9. Expiration and Extension

Any approval of a Site Plan shall expire within three years of such approval except where construction or use of the property in reliance on such Site Plan approval has commenced prior to its expiration.

If prior to the expiration of such Site Plan the applicant files a written application with the Department of Planning and Development Services for an extension of time, the period within which construction or use of the property in reliance on the Site Plan must be commenced, may be extended by the Director at any time within 90 days of the date of expiration. The Director may grant one or more such extensions not to exceed a total of 12 months.

Notwithstanding the above, if the Site Plan is issued to satisfy a condition of approval of a Tentative Map pursuant to the County Subdivision Ordinance, the Site Plan shall remain in full force and effect for the duration of the approval for that Tentative Map, and, if the subdivision map does not receive final approval, expire upon expiration of the tentative approval. If the Tentative Map receives final approval, the Site Plan shall expire one year after recordation of the Final or Parcel Map unless construction and/or use of the property in reliance of the Site Plan has commenced prior to its expiration; provided, however, that the period within which such construction and/or use must be commenced may be extended as provided by County Zoning Ordinance Section 7168.

10. Application for Modification of a Site Plan

Any person holding an approved Site Plan may apply for a modification. The modification of a Site Plan may include modification of the physical improvements shown on the Site Plan itself or the waiver or alteration of conditions imposed upon a Site Plan. The process shall follow that of Site Plan approval, but shall only be 30 days.

11. Relation to Use Permit, Variance, and Specific Plan Amendment

When a development proposal subject to Site Plan review is submitted concurrently with an application for a subdivision, Use Permit, Variance, or an amendment of the Specific Plan, the Site Plan review shall be under the jurisdiction of the officer or body having jurisdiction over the subdivision, Use Permit, Variance, or an amendment of the Specific Plan application and shall be conducted concurrently with any review required thereby.

12. Revocation or Modification of Site Plan Approval for Cause

A Site Plan may be revoked or modified for cause as provided by the provisions of this section. For purposes of this section, the modification of a Site Plan may include the modification of the terms of the Site Plan itself or the waiver, alteration, or imposition of new conditions pursuant to County Zoning Ordinance Section 7164.

a. Ground for Revocation or Modification

A Site Plan may be revoked or modified upon a finding of any one or more of the following grounds:

- That such Site Plan was obtained or extended by fraud.
- That one or more of the conditions upon which such Site Plan was granted have been violated.
- That the use for which the Site Plan was granted is so conducted as to be detrimental to the public health or safety, or as to be a nuisance.
- That construction on the subject property is not in conformance with the Site Plan or other applicable requirements.

b. Notification

The Director shall notify the owner of the property of his action in the same manner as specified in the County Building Code for revocation of a building permit, or by written notice to the owner of the subject property as shown on the latest assessment roll or as indicated by later information available to the Director.

c. Appeal

Revocation or modification of a Site Plan may be appealed pursuant to County Zoning Ordinance Section 7166.

d. Minor Deviation or Modification Not Required

A Minor Deviation or Modification to a Site Plan is not required for any Building, Structure or Projection listed in County Zoning Ordinance Section 4835 or any use listed in the Accessory Use Regulations, County Zoning Ordinance Sections 6150 - 6199, provided the Building, Structure, Projection or use meets the specific accessory use setbacks in the Site Plan and meets all standards and criteria contained in the Review Documents.

If the Site Plan does not specify setbacks for an Accessory Use or a Building, Structure or Projection listed in County Zoning Ordinance Section 4835, a Minor Deviation or Modification to the Site Plan is not required provided the Building, Structure, Projection or Accessory Use meets the least restrictive setbacks for the zone that applies to the subject site.

13. Tentative Map Waivers

Below is a list of waivers to the Resort Village Tentative Maps (TM5361A and 5361B). These waivers are required because the Tentative Map does not meet all County subdivision design standards; however, pursuant to Section 81.401(o) of the County's Subdivision Ordinance, deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. As this project includes the Resort Village Specific Plan, the following waivers are requested.

LOT WAIVERS					
WAIVER & APPLICABLE COUNTY SUBDIV. ORD. SECTION(S) OR DESIGN STD.		MAP / NEIGHBORHOOD / LOT #S		JUSTIFICATION	
Lot areas less than 6,000 square feet	81.401(b)	B	R-3A	2- 5, 7, 10, 14 - 21, 27 - 68, 70 - 84, 86 - 89, 93, 95 - 103, 106 & 107	Section 81.401(o) of the County's Subdivision Ordinance allows for deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. Subject to County Board of Supervisors approval of the Specific Plan or Major Use Permit, the provisions of the Specific Plan shall govern. The Otay Ranch Resort Village (Village 13) Project includes a Specific Plan with project specific lotting design standards and development regulations. A major objective of the Village 13 Specific Plan is to provide standards that allow for a range of housing and lotting sizes. Lots less than 6,000 sq. ft. allow for a wider variety of lot sizes. A major project objective is to reserve large portions of the project site for native habitat and species preservation, in particular the Quino checkerspot butterfly and higher-quality vernal pools. Smaller lots allow development to be concentrated and avoid these resources. Finally, the project is part of the larger Otay Ranch Subregional Plan and must conform to the SRP as well as the County's General Plan as it relates to housing density and land use. Accordingly, smaller lots distributed throughout the Project's various neighborhoods are required to meet these objectives.
			R-3B	87	
			R-3C	5, 6, 10, 17, 20, 21, 24 - 26, 29, 30, 34, 35, 38 - 42, 53 - 55, 57- 59 & 89	
			R-4B	48 & 49	
			R-4C	5, 19, 57, 58, 59 & 61	
			R-5A	2 - 7, 14, 15, 18 - 21, 28, 32, 33, 38 - 45, 62 - 68	

Frontage (less than 60 feet) as measured at the ROW line	81.401(d)	A	R-1A	19, 42, 43, 50 - 53, 80, 131 & 194	Section 81.401(o) of the County's Subdivision Ordinance allows for deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. Subject to County Board of Supervisors approval of the Specific Plan or Major Use Permit, the provisions of the Specific Plan shall govern. The Otay Ranch Resort Village (Village 13) Project includes a Specific Plan with project specific lotting design standards and development regulations. Lots less than 6,000 sq. ft. allow for a wider variety of lot sizes. A major objective of the Village 13 Specific Plan is to provide standards that allow for a range of housing and lotting sizes. A major project objective is to reserve large portions of the project site for native habitat and species preservation, in particular the Quino checkerspot butterfly and higher-quality vernal pools. Smaller lots allow development to be concentrated and avoid these resources. The project is part of the larger Otay Ranch Subregional Plan (SRP) and must conform to the SRP as well as the County's General Plan as it relates to housing density and land use. Finally, the topographic setting of the site allows for a more sensitive lotting and road layout that conforms more closely to the site's topography, resulting in deeper lots that radiate away from the street and narrower lot frontages. Accordingly, to meet these various project objectives, narrow frontages with the homes set back farther from the street than is typical are distributed throughout the Project's various neighborhoods.
			R-1B	22, 31, 44, 45 & 46	
			R-1C	1	
			R-1D	2, 48, 49, 50, 94, 109, 110, 111, 115, 116 & 126	
			R-1F	19 - 22 & 43	
			R-2A	22, 55, 59, 60, 75 - 77, 93, 123 - 125, 137, 172 - 175 & 198	
		B	R-3A	2 - 8, 15 - 19, 21, 23 - 54, 56 - 68, 71 - 73, 79 - 84, 87 - 89, 96 - 98, 101 & 106	
			R-3B	11 - 14, 26, 27, 29 - 32, 39 - 44, 51, 53 - 67, 70, 77, 79 - 81, 84 - 87, 89 - 96	
			R-3C	2 - 15, 20, 21, 24 - 26, 28 - 32, 38 - 45, 54, 55, 58 - 65, 71 - 73, 82, 83 - 89	
			R-3D	6 - 15, 47 - 49, 53 - 61	
			R-4A	93	
			R-4B	6 - 9, 32, 36 - 38, 48, 49, 52, 54, 58 - 60, 63 - 67, 72 - 74, 87 & 88	
			R-4C	1 - 3, 7, 13, 14, 17 - 19, 26, 27, 30, 33 - 35, 37 - 39, 43 - 46, 49, 50, 57 - 64, 67 - 70 & 72	
			R-5A	2 - 4, 7 - 14, 28, 34, 38 - 40, 42, 43, 48 - 58, 60 & 71	
R-5B	1, 22, 23, 59, 70, 81, 95 & 96				

Frontage (less than 33 feet) as measured at the ROW line on a cul-de-sac	81.401(e)	A	R-1A	3	Section 81.401(o) of the County's Subdivision Ordinance allows for deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. Subject to County Board of Supervisors approval of the Specific Plan or Major Use Permit, the provisions of the Specific Plan shall govern. The Otay Ranch Resort Village (Village 13) Project includes a Specific Plan with project specific lotting design standards and development regulations. A major objective of the Village 13 Specific Plan is to provide standards that allow for a range of housing and lotting sizes. Lots less than 6,000 sq. ft. allow for a wider variety of lot sizes. A major project objective is to reserve large portions of the project site for native habitat and species preservation, in particular the Quino checkerspot butterfly and higher-quality vernal pools. Smaller lots allow development to be concentrated and avoid these resources. The project is part of the larger Otay Ranch Subregional Plan (SRP) and must conform to the SRP as well as the County's General Plan as it relates to housing density and land use. Finally, the topographic setting of the site allows for a more sensitive lotting and road layout that conforms more closely to the site's topography, resulting in deeper lots that radiate away from the street and narrower lot frontages. Accordingly, to meet these various project objectives, narrow frontages with the homes set back farther from the street than is typical are distributed throughout the Project's various neighborhoods.
			R-1B	105 & 106	
			R-1C	12 & 13	
		B	R-3A	9	
			R-3B	19	
			R-3C	78 & 79	
			R-4A	28, 61, & 82	
			R-4B	11, 12, 29, 30, 44	
			R-4C	52, 53, 54, 55, & 75	
		R-5A	17 & 77		

Side lot lines greater than 10 degrees deviation from the frontage road	81.401(h)	A	R-1A	1 - 4, 41, 42, 44, 45, 48, 49, 70 - 72, 81, 82, 197 & 198	Section 81.401(o) of the County's Subdivision Ordinance allows for deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. Subject to County Board of Supervisors approval of the Specific Plan or Major Use Permit, the provisions of the Specific Plan shall govern. The Otay Ranch Resort Village (Village 13) Project includes a Specific Plan with project specific lotting design standards and development regulations. A major objective of the Village 13 Specific Plan is to provide standards that allow for a range of housing and lotting sizes. Lots less than 6,000 sq. ft. allow for a wider variety of lot sizes. A major project objective is to reserve large portions of the project site for native habitat and species preservation, in particular the Quino checkerspot butterfly and higher-quality vernal pools. Smaller lots allow development to be concentrated and avoid these resources. The project is part of the larger Otay Ranch Subregional Plan (SRP) and must conform to the SRP as well as the County's General Plan as it relates to housing density and land use. Finally, the topographic setting of the site allows for a more sensitive lotting and road layout that conforms more closely to the site's topography. Accordingly, to meet these various project objectives, lots which deviate from the County's standard lotting configuration requirements are distributed throughout the Project's various neighborhoods.
			R-1B	1 - 17, 43, 44, 46, 47, 83 - 94, 100 - 102, 106 & 107	
			R-1C	1, 2, 5, 6, 12, 13, 32 & 33	
			R-1D	24, 66, 68, 69, 70, 132 & 133	
			R-1E	18, 19, 53, 54, 60, 61, 124, 127, 128 & 131	
			R-1F	21, 22, 23, 54 & 55	
		R-2A	9, 10, 13, 15, 16, 33, 34, 35, 36, 74, 75, 77, 78, 121, 122, 125, 126, 166 - 169, 188, 189		
		B	R-3A	42, 43, 92 - 96, 102 & 103	
			R-3B	49, 50, 96 & 97	
			R-3C	1 - 7, 14 - 17, 43 & 44	
			R-4A	2, 3, 73, 74, 80 - 85	
			R-4B	11 - 15, 44, 45, 51, 52, 54, 55, 69 & 70	
			R-4C	2, 3, 5, 6, 15 - 18, 30, 42, 43, 50, - 54, 56, 57, 67, 68, 72 - 76	
			R-5A	14 - 20, 28, 29, 43 & 44	
R-5B	10, 12, 21, 68, 69, 81 & 82				

Lot depths greater than 3 times the average lot width	81.401(i)	A	R-1D	52 & 53	Section 81.401(o) of the County's Subdivision Ordinance allows for deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. Subject to County Board of Supervisors approval of the Specific Plan or Major Use Permit, the provisions of the Specific Plan shall govern. The Otay Ranch Resort Village (Village 13) Project includes a Specific Plan with project specific lotting design standards and development regulations. A major objective of the Village 13 Specific Plan is to provide standards that allow for a range of housing and lotting sizes. Lots less than 6,000 sq. ft. allow for a wider variety of lot sizes. A major project objective is to reserve large portions of the project site for native habitat and species preservation, in particular the Quino checkerspot butterfly and higher-quality vernal pools. Smaller lots allow development to be concentrated and avoid these resources. The project is part of the larger Otay Ranch Subregional Plan (SRP) and must conform to the SRP as well as the County's General Plan as it relates to housing density and land use. Finally, the topographic setting of the site allows for a more sensitive lotting and road layout that conforms more closely to the site's topography. Accordingly, to meet these various project objectives, lots which deviate from the County's standard lotting configuration requirements are distributed throughout the Project's various neighborhoods.
			R-2A	139 & 140	
		B	R-3B	17, 79, 80, 81, 82 & 83	
			R-3C	74, 75 & 76	
			R-3D	77, 78, 79, 80, 81, 82, 83, 84, 85, 99 & 100	
			R-4A	61, 82 & 84	
			R-4C	22 - 27, 49, 50, 71 - 75	
			R-5A	51 - 55	

PRIVATE ROAD EASEMENT WAIVER					
WAIVER & APPLICABLE COUNTY SUBDIV. ORD. SECTION(S) OR DESIGN STD.		MAP / NEIGHBORHOOD / LOT #S			JUSTIFICATION
Private Road Easement less than 40 feet in width	81.402(a)(2)	A & B	Various	N/A	<p>Section 81.401(o) of the County's Subdivision Ordinance allows for deviations to the County's subdivision design standards in cases where the proposed deviations are part of a Specific Plan or Major Use Permit pursuant to Zoning Ord. sections 6600 et seq. Subject to County Board of Supervisors approval of the Specific Plan or Major Use Permit, the provisions of the Specific Plan shall govern. The Otay Ranch Resort Village (Village 13) Project includes a Specific Plan with project specific lotting design standards, road design standards, and development regulations. A major objective of the Village 13 Specific Plan is to provide standards that allow for a range of housing and lotting sizes. Lots less than 6,000 sq. ft. allow for a wider variety of lot sizes. A major project objective is to reserve large portions of the project site for native habitat and species preservation, in particular the Quino checkerspot butterfly and higher-quality vernal pools. Smaller lots allow development to be concentrated and avoid these resources. The project is part of the larger Otay Ranch Subregional Plan (SRP) and must conform to the SRP as well as the County's General Plan as it relates to housing density and land use. Finally, the topographic setting of the site allows for a more sensitive lotting and road layout that conforms more closely to the site's topography. Accordingly, to meet these various project objectives, the Project's private roads easements have been designed with a reduced width to reflect the sensitive design and reduced development footprint of the Project.</p>

GATED ENTRY WAIVER

Gated Entries	Design Standards DS-17, DS-18 or DS-19	B	Sheets 7, 8, 9, and 10 of the TM	N/A	The topographic setting of the site allows for a more sensitive lotting and road layout that conforms more closely to the site's topography. As a result, the Project's gated entrances to individual neighborhoods are often designed as slightly curved entries whereas the County's standard design for a gated entrance shows a straight-in entry. The Project's gated entrances conform to all other aspects of the County's standard design including turn-around radius, minimum entry width, and minimum storage distance for cars entering through the gated entrance.
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MAINTENANCE ACCESS ROAD TO WATER TANK

Maintenance Access Road graded width of less than 28 feet, improvement width of less than 24 feet, and a horizontal curve radius of less than 100 feet.	Private Roads, Article 111, Section 3.1 (C)	A & B	Sheets 7, 8, 9, and 10 of the TMs	N/A	A major Project objective is to reserve large portions of the project site for native habitat and species preservation. The water tank access road and water tank are located in the Project's proposed MSCP Preserve Area. The access road is strictly for the purpose of allowing the Otay Water District access to their tank and waterline facilities serving the Project. In order to minimize the footprint of the access road within the Preserve, a reduced graded width no less than 20 feet, a reduced improvement width no less than 18 feet, and a reduced horizontal curve radius no less than 60 feet are required. These reductions will minimize additional impacts into the preserve open space areas and comply with overall project objectives to implement the MSCP and RMP preserve system.
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GRADING WAIVER					
Cut Slopes Steeper than 2:1	87.401(A) Major Slopes	A & B		N/A	<p>The topographic setting of the Project site allows for a more sensitive grading plan that conforms more closely to the site's topography. Certain areas of the site to be graded contain a very dense and hard meta-volcanic rock material that allows for steeper than two feet horizontal to one foot vertical (2:1) cut slopes. In these areas containing this rock material, the Geotechnical Engineer for the Project has determined that cut slopes no greater than one and a half feet horizontal to one foot vertical (1.5:1) will be stable and, therefore, will not endanger any public or private property or result in the deposition of debris on to any public or private property or interfere with any existing drainage course.</p>

Appendices

This appendix provides plans that are required by the Otay SRP in conjunction with preparation of the Specific Plan for The Otay Ranch Resort Village. This section includes plans for air quality, non renewable energy conservation, water conservation, agriculture, the preserve edge, and housing. It also includes the Fire Protection Plan, Public Facilities Financing Plan, Resort Village Design Plan and an Index of Specific Plan Requirements. Certain comprehensive, technical plans and studies are provided as separate, stand-alone reports and can be found in the Preserve and Resort EIR appendix. Included are reports for water, sewer, drainage and urban runoff and technical studies including geotechnical, cultural resources, biological resources and traffic.

- I Preserve Edge Plan**
- II Fire Protection Plan**
- III Energy Conservation Plan**
- IV Public Facilities and Financing Plan**
- V Resort Village Design Plan**
- VI Water Conservation Plan**
- VII Index of Specific Plan Requirements**