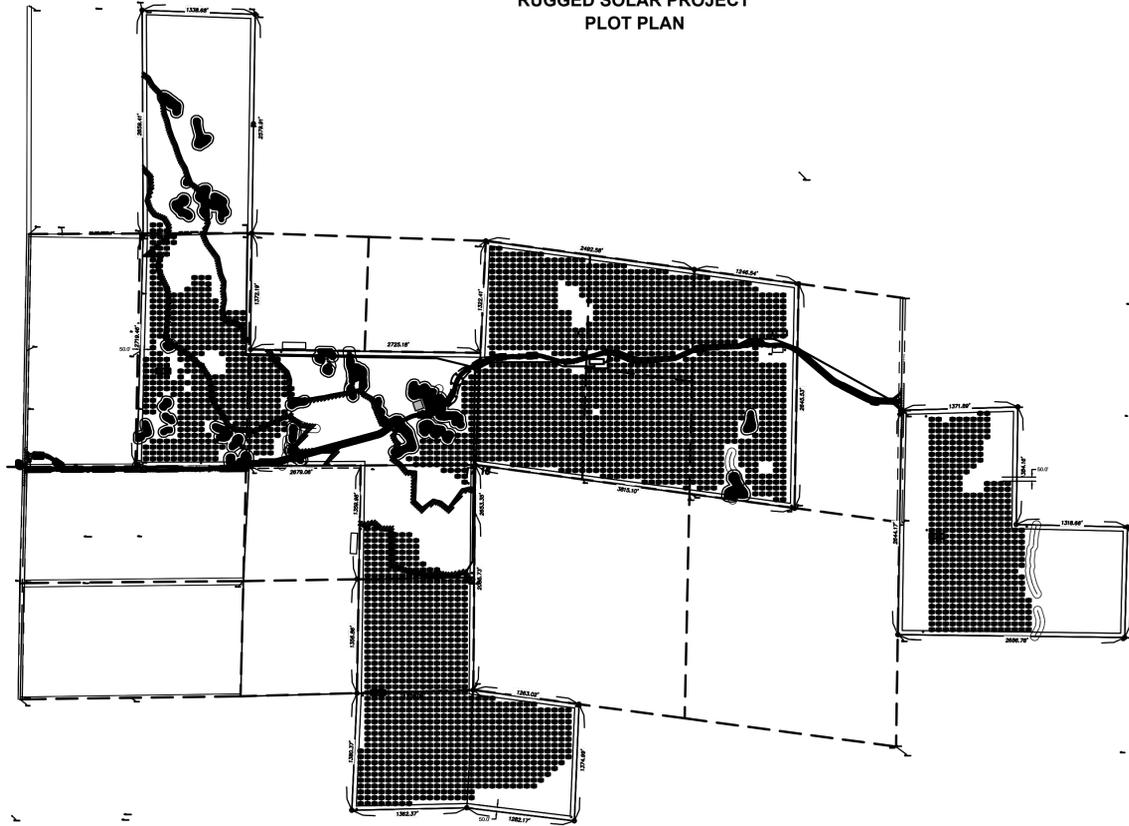
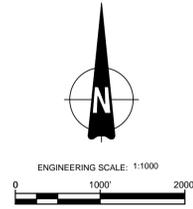


# RUGGED SOLAR LLC

## RUGGED SOLAR PROJECT

### PLOT PLAN



**ABBREVIATIONS:**

- AC Alternating Current
- ADT Average Daily Trips
- BB Building Block
- BMP Best Management Practice
  
- CEQA California Environmental Quality Act
- CPV Concentrating Photovoltaic
- CFA County Fire Authority
  
- DPLU County of San Diego, Department of Planning and Land Usage
- DS Design Standard
  
- EIR Environmental Impact Report
- EOP Edge of Pavement
  
- FT Feet
- kV kilovolts
- kW kilowatts
  
- MAX Maximum
- MOU Memorandum of Understanding
- MPA Major Use Permit Application
- MUP Major Use Permit
- MW Megawatts
- NTS Not to Scale
  
- PL Property Lines
- QTY Quantity
- RL Rural Land
- ROW Right of Way
- RPO Resource Protection Ordinance
  
- SQFT Square Feet

**SHEET INDEX**

- C-100 LEGEND, SYMBOLS, ABBREVIATIONS & NOTES
- C-101 PLOT PLAN DRAWING MAP
- C-102 PLOT PLAN NORTH WEST
- C-103 PLOT PLAN SOUTH
- C-104 PLOT PLAN CENTER TOP
- C-105 PLOT PLAN CENTER BOTTOM
- C-106 PLOT PLAN EAST
- C-107 ROAD DETAIL AND LANDSCAPE SCREENING DETAILS
  
- C-110 EASEMENT PLAN DRAWING MAP
- C-111 EASEMENT PLAN NORTH WEST
- C-112 EASEMENT PLAN EAST
  
- C-120 PLOT PLAN 34.5 KV OVERHEAD
  
- C-130 1.36 / 2.0 MW INVERTER BOX DESIGN / ENERGY STORAGE SYSTEM
- C-131 O&M BUILDING
- C-132 FENCE ELEVATION DETAIL
- C-133 TRACKER ELEVATION DETAIL
- C-134 WATER TANK ELEVATION DETAIL, 34.5KV & 34.5KV / 69KV OVERHEAD ELEVATION DETAIL

**RESERVED FOR COUNTY STAMPS**



**DESIGNER**  
**AECOM**  
 AECOM TECHNICAL SERVICES, INC  
 440 Stevens Avenue, Suite 250  
 Solana Beach, CA 98075  
 858.947.7144 tel 858.947.7145 fax  
 www.aecom.com

**CLIENT**



**PARCEL ZONING SETBACK SCHEDULE**

APN	SETBACK SCHEDULE DESIGNATION
611-110-01	C
611-091-07	D
612-030-19	D
612-030-01	D
611-090-04	D
611-091-03	D
611-090-02	D
611-060-04	D
611-100-07	D

**GENERAL NOTES:**

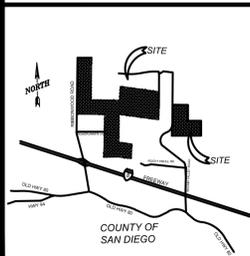
1. Each tracker assembly is approximately 48 FT wide with a maximum constructed height of 30 ft and spaced approximately 69 FT North to South; 82 FT East to West.
2. Entrance to each gate will be from an improved driveway that shall be designed in accordance with County of San Diego Design Standard DS-19 and equipped with an emergency key-operated override switch.
3. At no point does the change of grade, along the primary access road, exceed 10%.
4. Detailed cross sections of the roads are provided on the preliminary grading plan.
5. All compaction requirements are listed on the preliminary grading plan.
6. Turnaround shall be designed in accordance with County of San Diego Design Standard DS-06 for a county emergency fire apparatus.
7. The project site is not located in a designated flood plain, therefore lines of inundation are not shown.
8. Temporary and Permanent BMPs are shown on the preliminary grading plan.
9. All coordinates shown are state plane coordinates based on CCS83, Zone 6 (2007.00 Epoch).
10. All dimensions are shown in Decimal Feet.
11. The solar related facilities (panels, electrical connections, transformer/inverter platform, O&M buildings, emergency generator, fencing, internal access and switchgear pad, etc.) shown on the plot plans may be relocated, (exclusive of the open space areas & undeveloped (future development area)) with the administrative approval of the director of dplu when found in conformance with the intent and conditions of the permit's approval. Transformer/inverter platform locations can be relocated/reconfigured without requirement of minor deviation.
12. Solar related facilities (panels, electrical connections, transformer / inverter platform, emergency generator, fencing, internal access and switchgear platform, etc.) shown on the plot plan may be relocated, reconfigured, and / or resized within the solar facility development area (exclusive of any open space areas) with the administrative approval of the director of PDS when found in conformance with the intent and conditions of permit's approval. Transformer / Inverter / Generator size, locations, brand, electrical size can be relocated, replaced or reconfigured without requirement of minor deviation.

13. Areas designated as "SPECIAL FUEL MODIFICATION ZONES" are to be cleared of existing vegetation, then covered with landscaping fabric and weighted down using a surfacing material of crushed stone.
14. Along the length of the perimeter fencing, every 750 feet, a pedestrian gate will be located that is 3 feet wide and padlocked with a chain and fire key.
15. Roads moved per fire department
16. When there is a major storm event all of the trackers in the flood area will be placed in a flat horizontal position (Storm Mode) as required by the plant standard of operations.

**SIGHT DISTANCE:**  
 To be submitted under separate cover

OWNER INFORMATION				
NAME:	Waterstone Support Foundation Inc. John Gibson	Frankie Thibodeau	Vista Oaks Business Park John Gibson	Harmony Grove Partners John Gibson
ADDRESS:	2925 Professional Pl #200	39990 Roadrunner Ln	1000 Pioneer Way	1000 Pioneer Way
CITY:	Colorado Springs	Boulevard	El Cajon	El Cajon
STATE:	CO	CA	CA	CA
ZIP:	80904	91905	92020	92020
PHONE:	(619) 440-7424	(619) 766-9105	(619) 440-7424	(619) 440-7424
APN# 's and (Acreage)	611-110-01 (63.72)	611-091-07 (42.39), 612-030-19 (43.43), 612-030-01 (33.11)	611-090-04 (22.62), 611-091-03 (14.62), 611-090-02 (69.83), 611-060-04 (1.64),	611-100-07 (214.84)
TOTAL TRACKER	434	799	617	1441

**VICINITY MAP**



**OWNER INFORMATION**

NAME: SEE TABLE AT C-100  
 ADDRESS:  
 CITY:  
 STATE:  
 ZIP:  
 PHONE:  
 FAX:  
 EMAIL:

**CONTACT INFORMATION**

NAME: Pat Brown  
 ADDRESS: 16550 Via Esprillo  
 CITY: San Diego  
 STATE: CA  
 ZIP: 92127  
 PHONE: (858) 746-9000  
 FAX:  
 EMAIL: patrick.brown@soitec.com

**PARCEL INFORMATION**

APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100  
 SITE ADDRESS:  
 North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGNER SIGNATURE REQUIRED DATE

**PROJECT INFORMATION**

**EXISTING:**  
 Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.

**PROPOSED:**  
 Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.

**PLOT PLAN INFORMATION**

**CPV System Summary**

Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

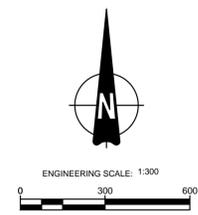
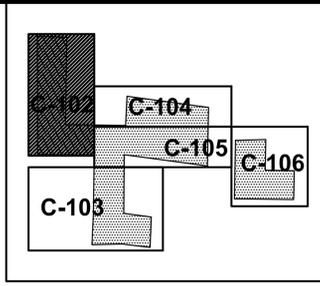
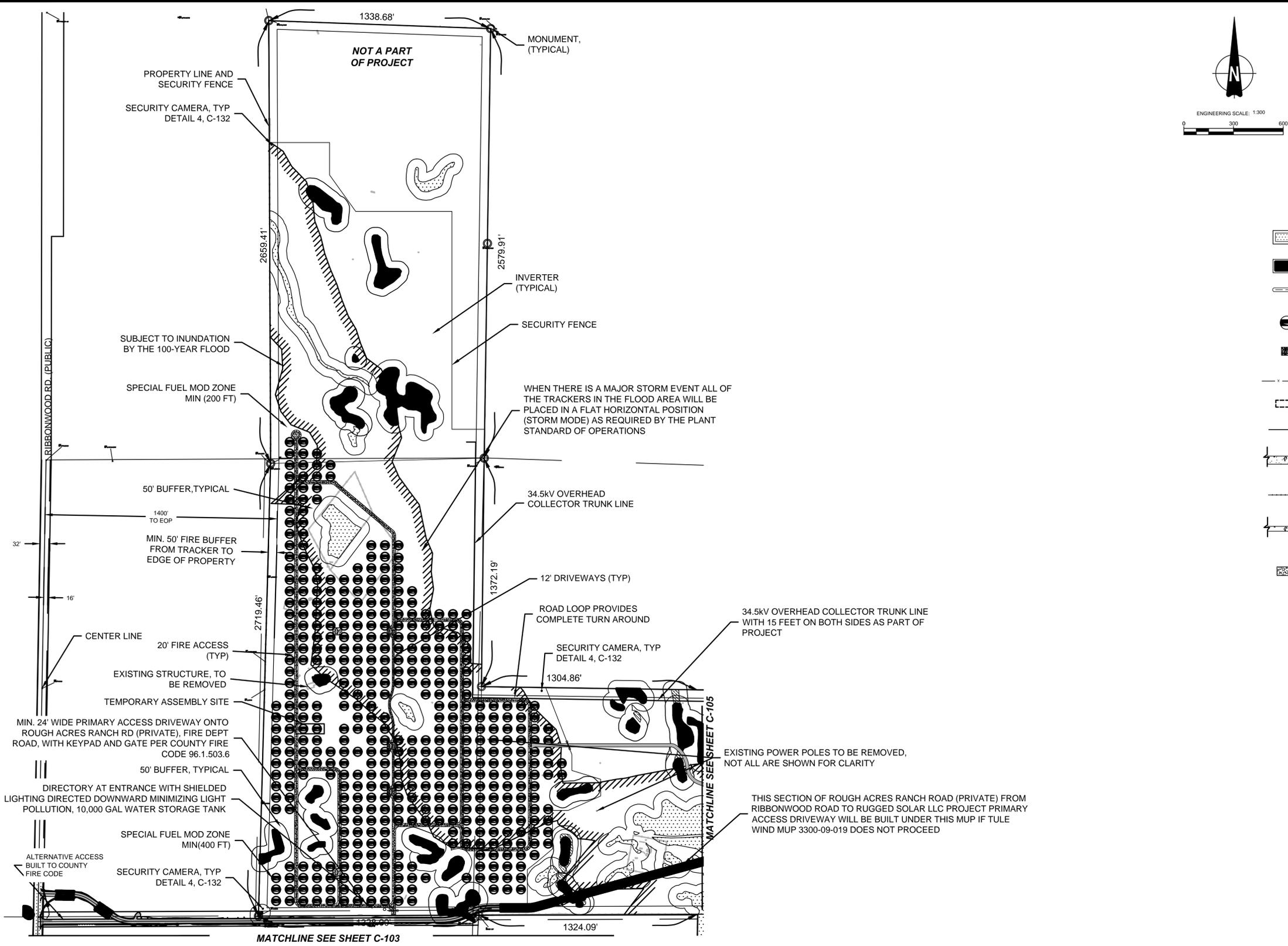
**SHEET TITLE**

<b>LEGEND, SYMBOLS ABBREVIATIONS &amp; NOTES</b>	
<b>SHEET NUMBER</b>	<b>REV.</b>
<b>C-100</b>	<b>1</b>

**SDC PDS RCVD 12-16-14**

3300-12-007

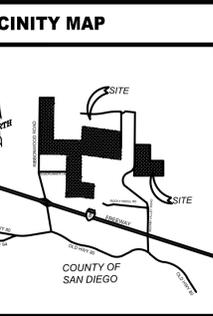




- LEGEND:**
- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - OAKS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - JURISDICTIONAL WATER ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - CPV TRACKER
  - INVERTER
  - SECURITY FENCE
  - TEMPORARY ASSEMBLY SITE
  - PROPERTY LINE
  - 20' FIRE ACCESS
  - 34.5kV OVERHEAD COLLECTOR TRUNK LINE
  - 12' DRIVEWAYS
  - SPECIAL FUEL MOD ZONE

**AECOM**  
 DESIGNER  
 AECOM TECHNICAL SERVICES, INC  
 440 Stevens Avenue, Suite 250  
 Solana Beach, CA 98075  
 858.947.7144 tel 858.947.7145 fax  
 www.aecom.com

**CLIENT**  
  
 Soitec Solar Development, LLC  
 16550 Via Esprillo  
 San Diego, CA 92127



VICINITY MAP	
[Map showing project location]	

OWNER INFORMATION	
NAME:	SEE TABLE AT C-100
ADDRESS:	
CITY:	
STATE:	
ZIP:	
PHONE:	
FAX:	
EMAIL:	

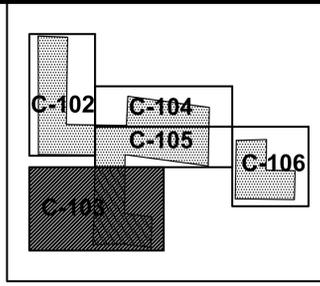
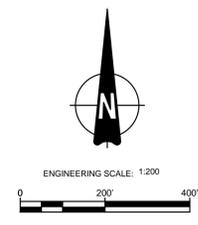
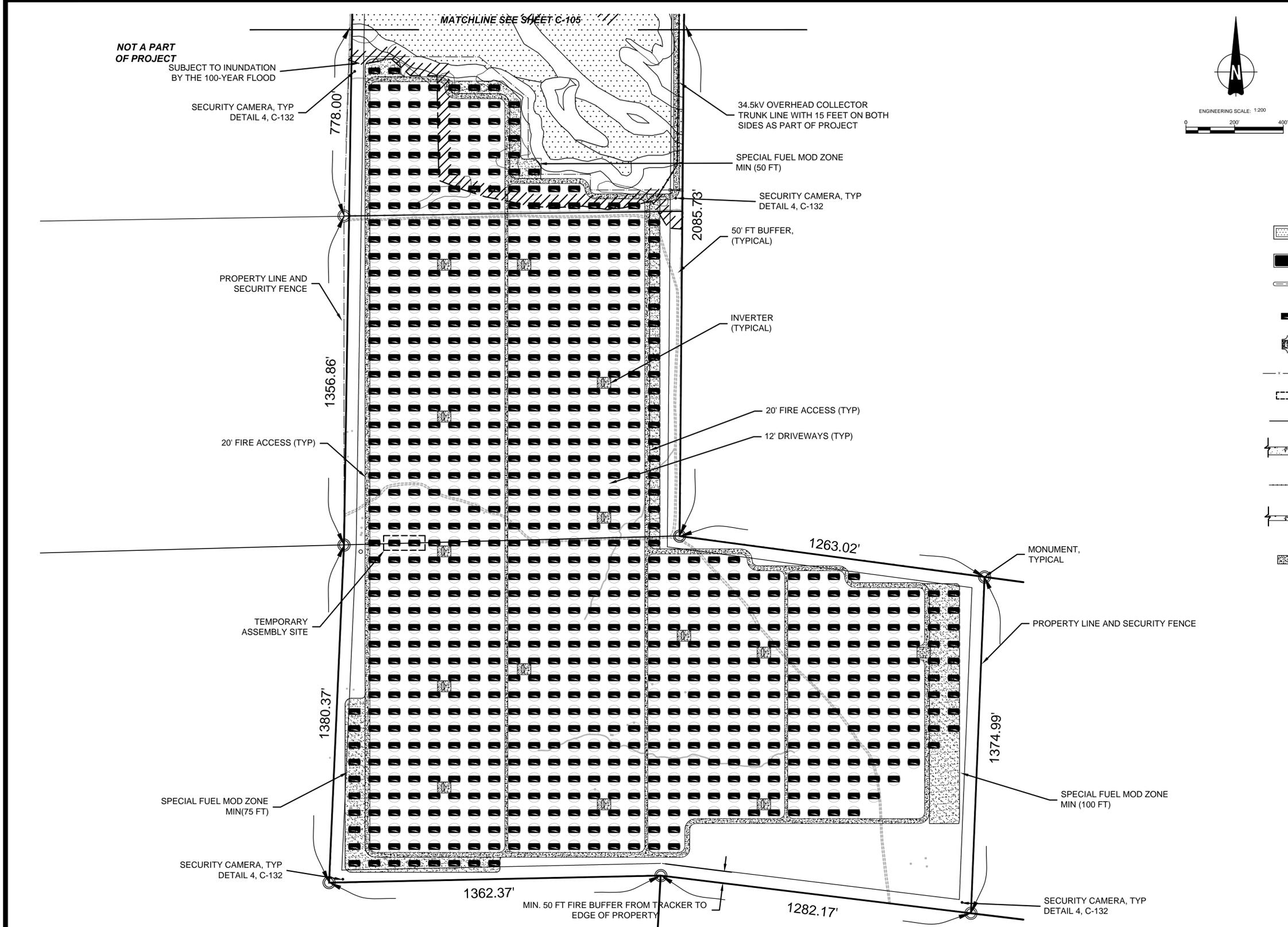
CONTACT INFORMATION	
NAME:	Pat Brown
ADDRESS:	16550 Via Esprillo
CITY:	San Diego
STATE:	CA
ZIP:	92127
PHONE:	(858) 746-9000
FAX:	
EMAIL:	patrick.brown@soitec.com

PARCEL INFORMATION	
APN:	6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100
SITE ADDRESS:	North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road
I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.	
DESIGNER SIGNATURE REQUIRED	DATE

PROJECT INFORMATION	
<b>EXISTING:</b>	Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.
<b>PROPOSED:</b>	Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.

PLOT PLAN INFORMATION	
<b>CPV System Summary</b>	
Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

SHEET TITLE	
<b>PLOT PLAN (NORTH WEST)</b>	
<b>SHEET NUMBER</b>	<b>REV.</b>
<b>C-102</b>	<b>1</b>



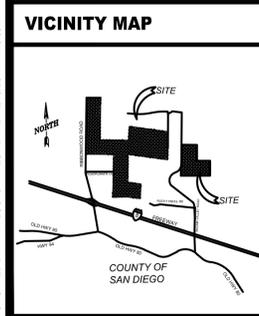
PLOT PLAN KEY MAP

**LEGEND:**

- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
- OAKS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
- JURISDICTIONAL WATER ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
- CPV TRACKER
- INVERTER
- SECURITY FENCE
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- PROPERTY LINE
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- 34.5kV OVERHEAD COLLECTOR TRUNK LINE
- 12' DRIVEWAYS
- SPECIAL FUEL MOD ZONE

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CLIENT  
  
 Soitec Solar Development, LLC  
 16550 Via Esprillo  
 San Diego, CA 92127



VICINITY MAP

OWNER INFORMATION
NAME: SEE TABLE AT C-100
ADDRESS:
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NAME: Pat Brown
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EMAIL: patrick.brown@soitec.com

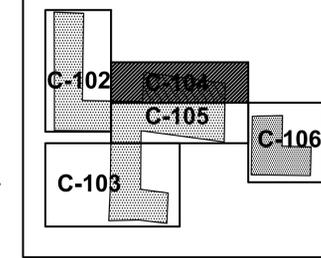
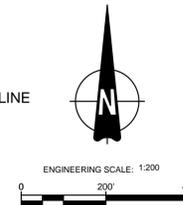
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DESIGNER SIGNATURE REQUIRED _____ DATE _____

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<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.
<b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.

PLOT PLAN INFORMATION	
<b>CPV System Summary</b>	
Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

SHEET TITLE	
<b>PLOT PLAN SOUTH</b>	
SHEET NUMBER	REV.
<b>C-103</b>	<b>1</b>

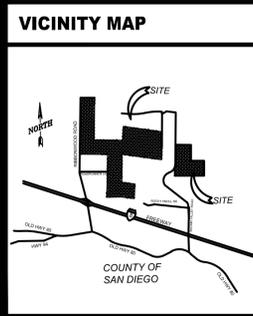
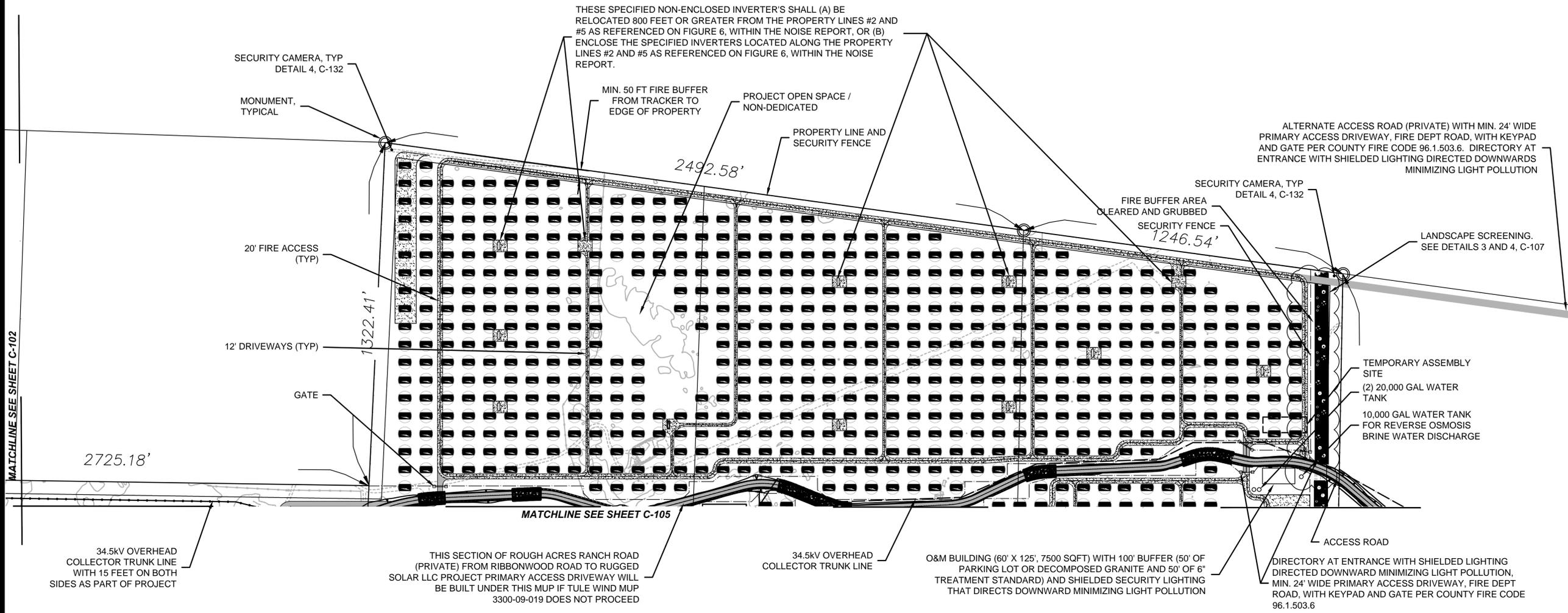
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  - JURISDICTIONAL WATER ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
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  - INVERTER
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  - PROPERTY LINE
  - SECURITY FENCE
  - 34.5kV OVERHEAD COLLECTOR / 69kV GEN-TIE CO-LOCATED ON SAME POLES
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  - 12' DRIVEWAYS
  - SPECIAL FUEL MOD ZONE



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CLIENT

**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127



OWNER INFORMATION	
NAME:	SEE TABLE AT C-100
ADDRESS:	
CITY:	
STATE:	
ZIP:	
PHONE:	
FAX:	
EMAIL:	

CONTACT INFORMATION	
NAME:	Pat Brown
ADDRESS:	16550 Via Esprillo
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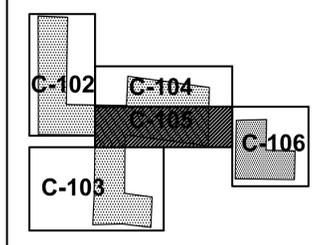
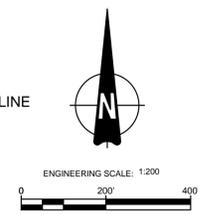
PARCEL INFORMATION	
APN:	6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100
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<b>CPV System Summary</b>	
Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
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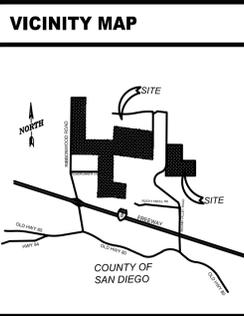
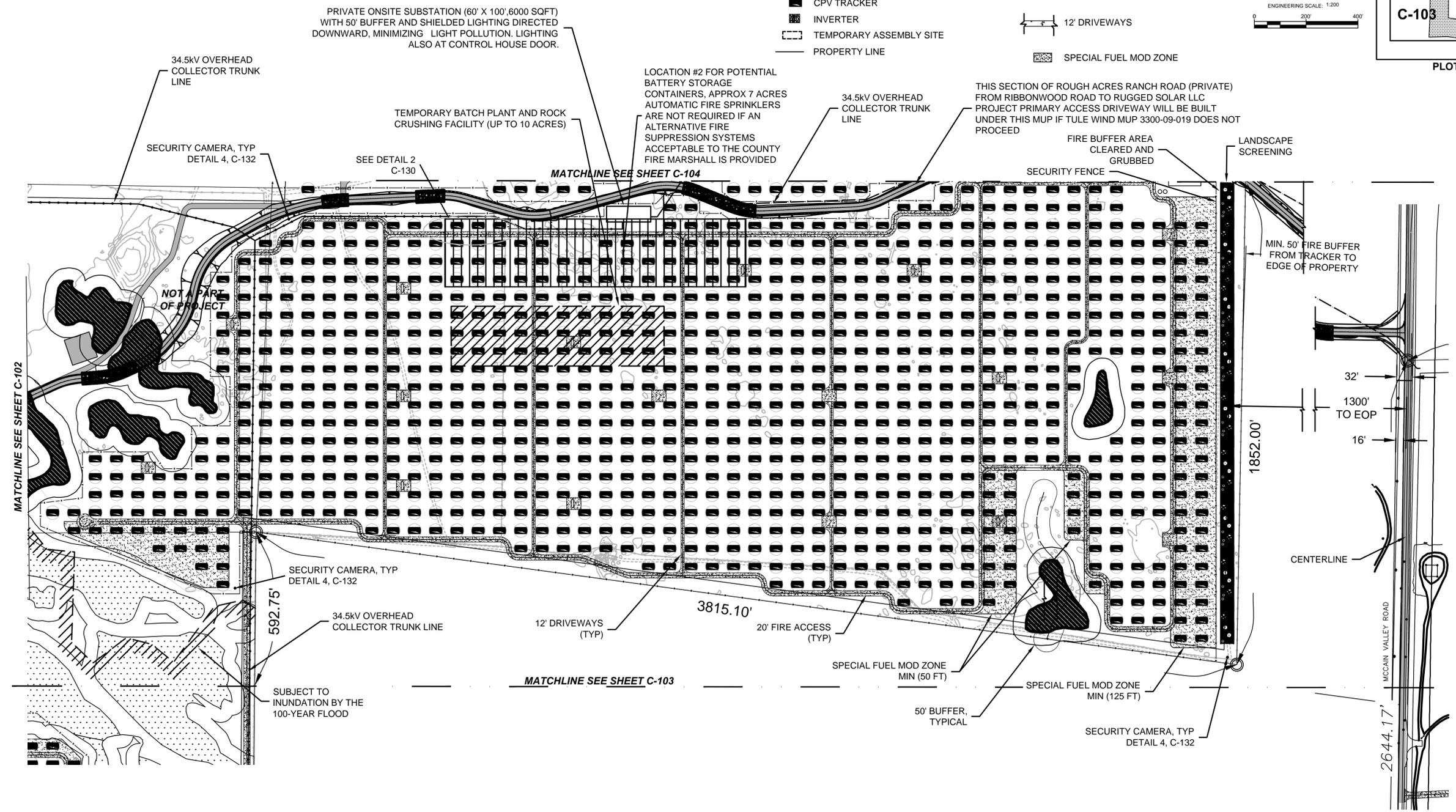
SHEET TITLE	
<b>PLOT PLAN CENTER TOP</b>	
SHEET NUMBER	REV.
<b>C-104</b>	<b>1</b>

- LEGEND:**
- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - OAKS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - JURISDICTIONAL WATER ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - CPV TRACKER
  - INVERTER
  - TEMPORARY ASSEMBLY SITE
  - PROPERTY LINE
  - SECURITY FENCE
  - 34.5kV OVERHEAD COLLECTOR / 69kV GEN-TIE CO-LOCATED ON SAME POLES
  - 34.5kV OVERHEAD COLLECTOR TRUNK LINE
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CLIENT  
  
**Soitec**  
 Soitec Solar Development, LLC  
 16550 Via Esprillo  
 San Diego, CA 92127



VICINITY MAP	

OWNER INFORMATION	
NAME:	SEE TABLE AT C-100
ADDRESS:	
CITY:	
STATE:	
ZIP:	
PHONE:	
FAX:	
EMAIL:	

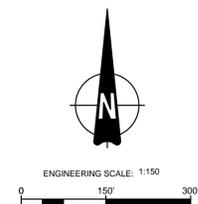
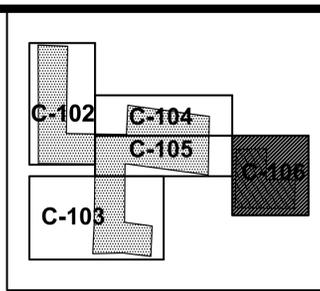
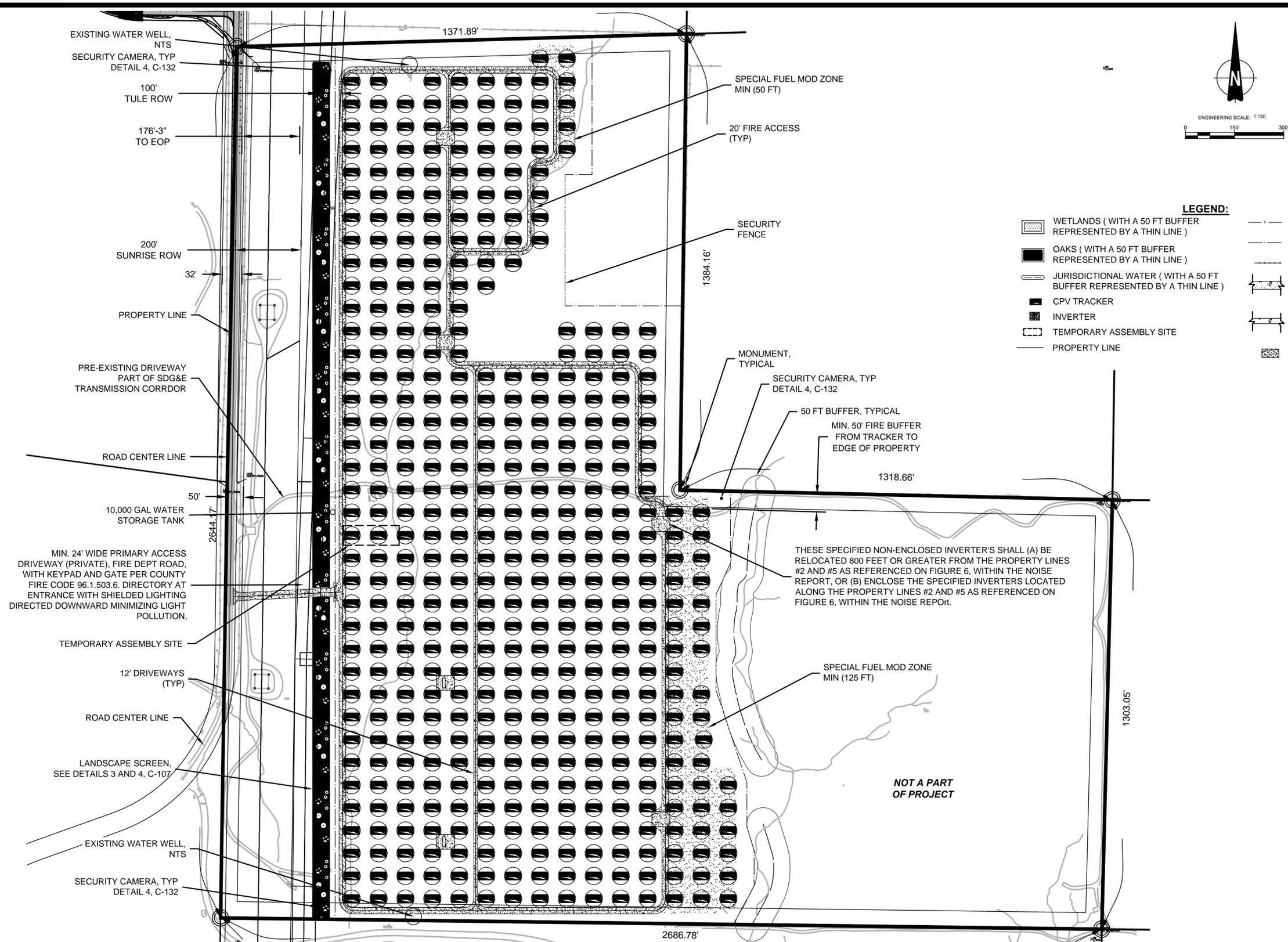
CONTACT INFORMATION	
NAME:	Pat Brown
ADDRESS:	16550 Via Esprillo
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PARCEL INFORMATION	
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PLOT PLAN INFORMATION	
<b>CPV System Summary</b>	
Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

SHEET TITLE	
<b>PLOT PLAN CENTER BOTTOM</b>	
SHEET NUMBER	REV.
<b>C-105</b>	<b>1</b>



- LEGEND:**
- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - OAKS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - JURISDICTIONAL WATER ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
  - CPV TRACKER
  - INVERTER
  - TEMPORARY ASSEMBLY SITE
  - PROPERTY LINE
  - SECURITY FENCE
  - 34.5KV OVERHEAD COLLECTOR / 69KV GEN-TIE CO-LOCATED ON SAME POLES
  - 34.5KV OVERHEAD COLLECTOR TRUNK LINE
  - 20' FIRE ACCESS
  - 12' DRIVEWAYS
  - SPECIAL FUEL MOD ZONE

**AECOM**

DESIGNER

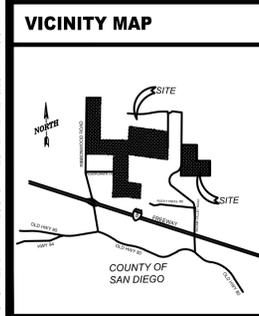
AECOM  
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Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT

**Soitec**

Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

FILE NAME: P:\10 ENERGY WEST - CURRENT\10 - CONCENTRIX SOLAR - CONCENTRIX SOLAR - CPV LAYOUT\RUGGED SOLAR\PC-106 PLOT PLAN.DWG  
LAST SAVED BY: PATTESONJ PLOT DATE: 12/15/2014 11:48:51 AM



OWNER INFORMATION	
NAME:	SEE TABLE AT C-100
ADDRESS:	
CITY:	
STATE:	
ZIP:	
PHONE:	
FAX:	
EMAIL:	

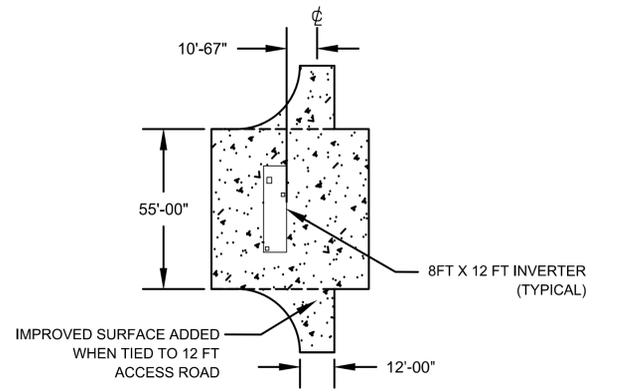
CONTACT INFORMATION	
NAME:	Pat Brown
ADDRESS:	16550 Via Esprillo
CITY:	San Diego
STATE:	CA
ZIP:	92127
PHONE:	(858) 746-9000
FAX:	
EMAIL:	patrick.brown@soitec.com

PARCEL INFORMATION	
APN:	6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100
SITE ADDRESS:	North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road
I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.	
DESIGNER SIGNATURE REQUIRED	DATE

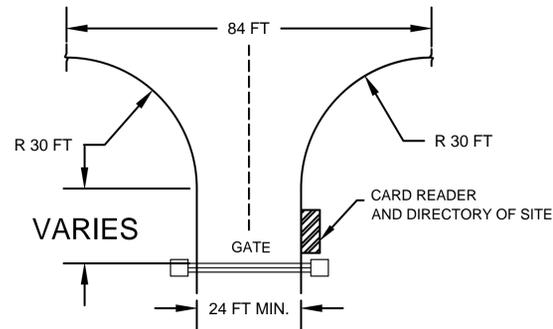
PROJECT INFORMATION	
<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.	
<b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	

PLOT PLAN INFORMATION	
<b>CPV System Summary</b>	
Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

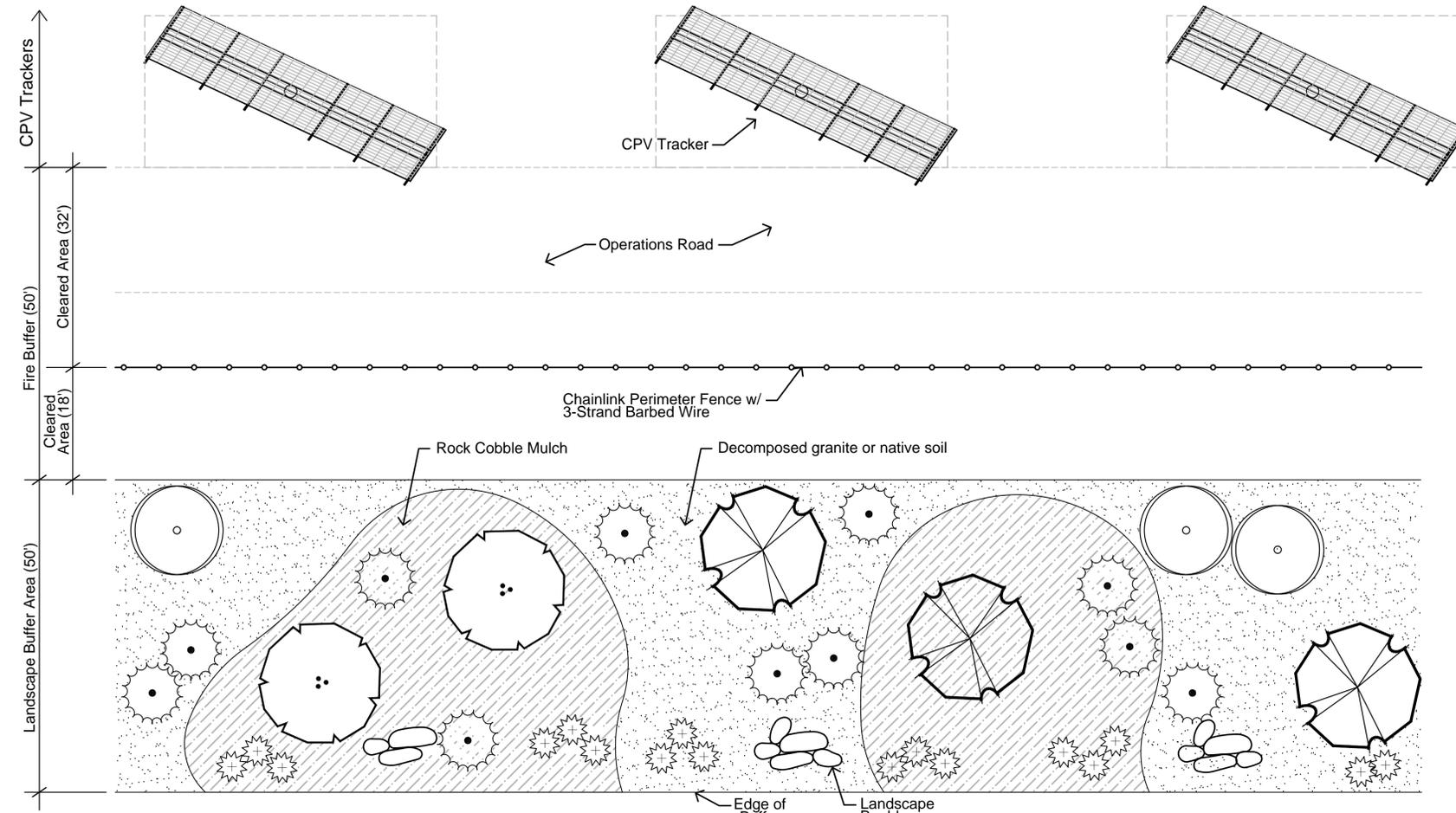
SHEET TITLE	
<b>PLOT PLAN EAST</b>	
SHEET NUMBER	REV.
<b>C-106</b>	<b>1</b>



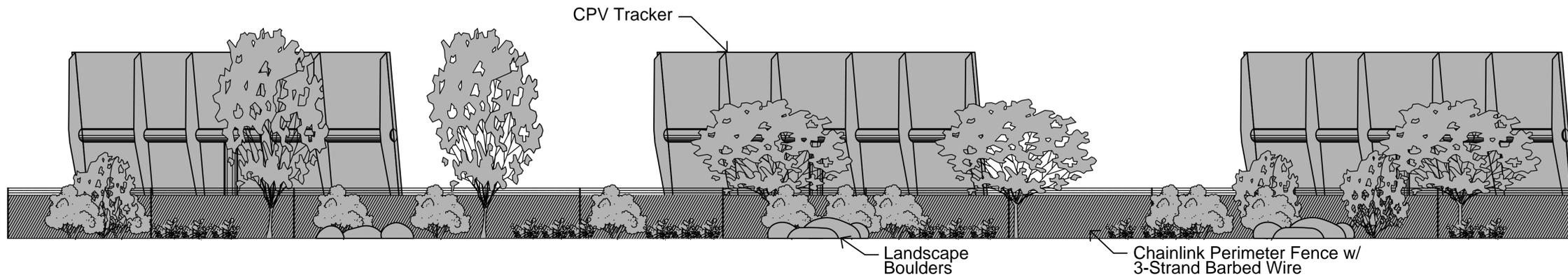
**1 | DETAIL - DECOMPOSED GRANITE PAD**  
SEE DETAIL 1 FOR MATERIAL COMPACTION NTS



**2 | DETAIL - DRIVEWAY ENTRANCE**  
NTS

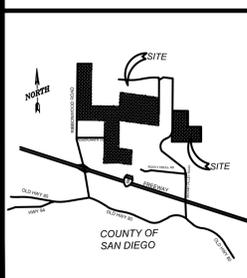


**3 | TYPICAL PLAN VIEW LANDSCAPE SCREEN**  
NTS



**4 | TYPICAL CROSS SECTION LANDSCAPE SCREEN**  
NTS

**VICINITY MAP**



**OWNER INFORMATION**

NAME: SEE TABLE AT C-100  
ADDRESS:  
CITY:  
STATE:  
ZIP:  
PHONE:  
FAX:  
EMAIL:

**CONTACT INFORMATION**

NAME: Pat Brown  
ADDRESS: 16550 Via Esprillo  
CITY: San Diego  
STATE: CA  
ZIP: 92127  
PHONE: (858) 746-9000  
FAX:  
EMAIL: patrick.brown@soitec.com

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DESIGNER SIGNATURE REQUIRED DATE

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**PLOT PLAN INFORMATION**

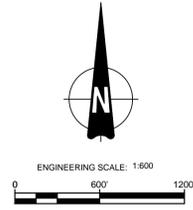
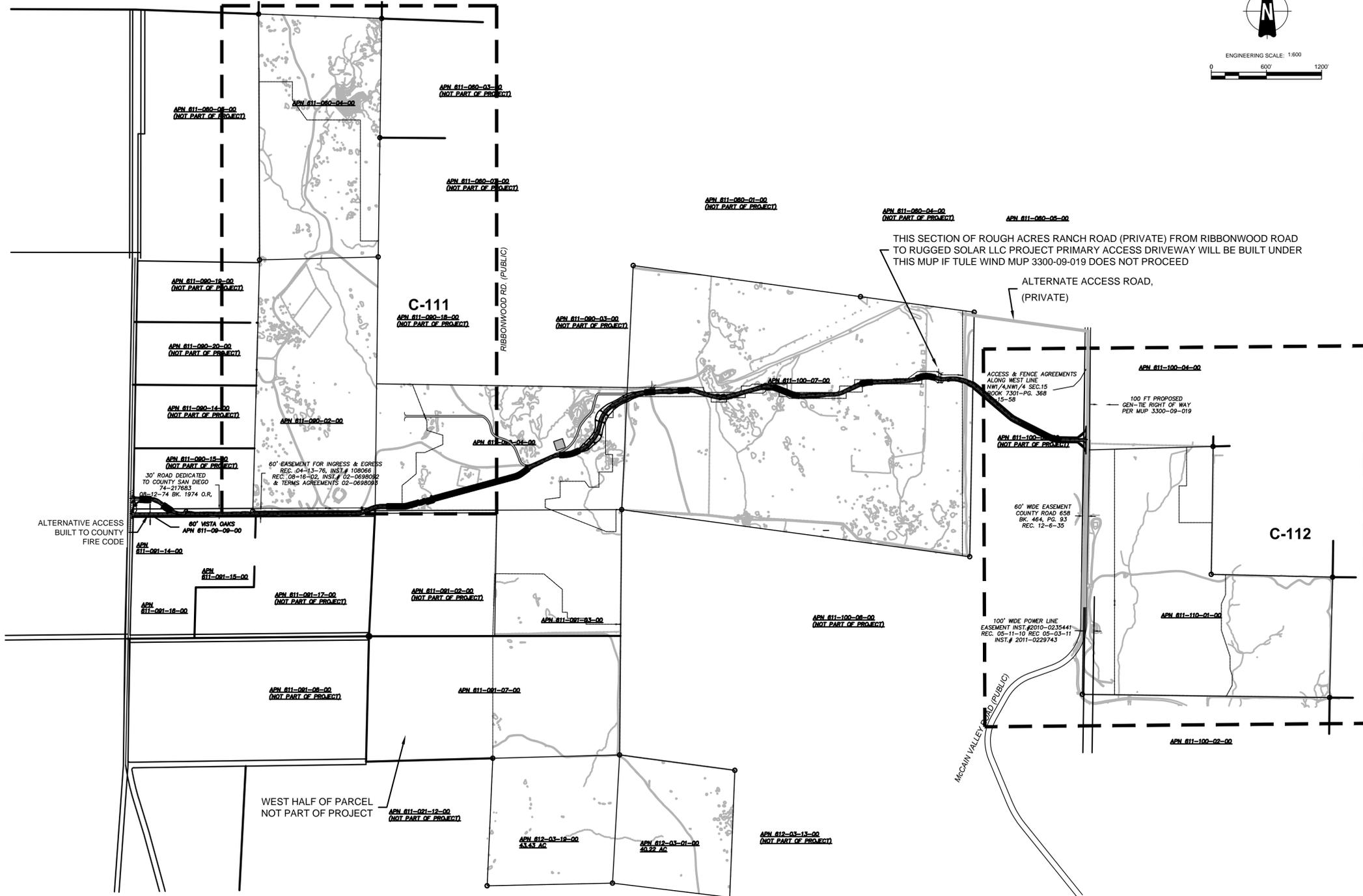
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Total Lease Area (Acres): 506  
Estimated Disturbed Acreage: 490  
Coverage Ratio Range: 0.3 - 13%

**SHEET TITLE**

**ROAD DETAIL AND LANDSCAPE SCREENING DETAIL**

**SHEET NUMBER REV.**

**C-107 1**



**VICINITY MAP**



**OWNER INFORMATION**

NAME: SEE TABLE AT C-100  
 ADDRESS:  
 CITY:  
 STATE:  
 ZIP:  
 PHONE:  
 FAX:  
 EMAIL:

**CONTACT INFORMATION**

NAME: Pat Brown  
 ADDRESS: 16550 Via Esprillo  
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 DESIGNER SIGNATURE REQUIRED DATE

**PROJECT INFORMATION**

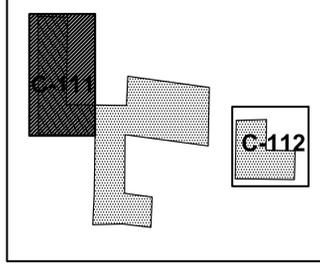
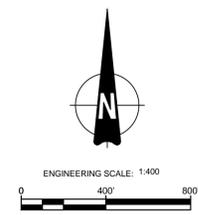
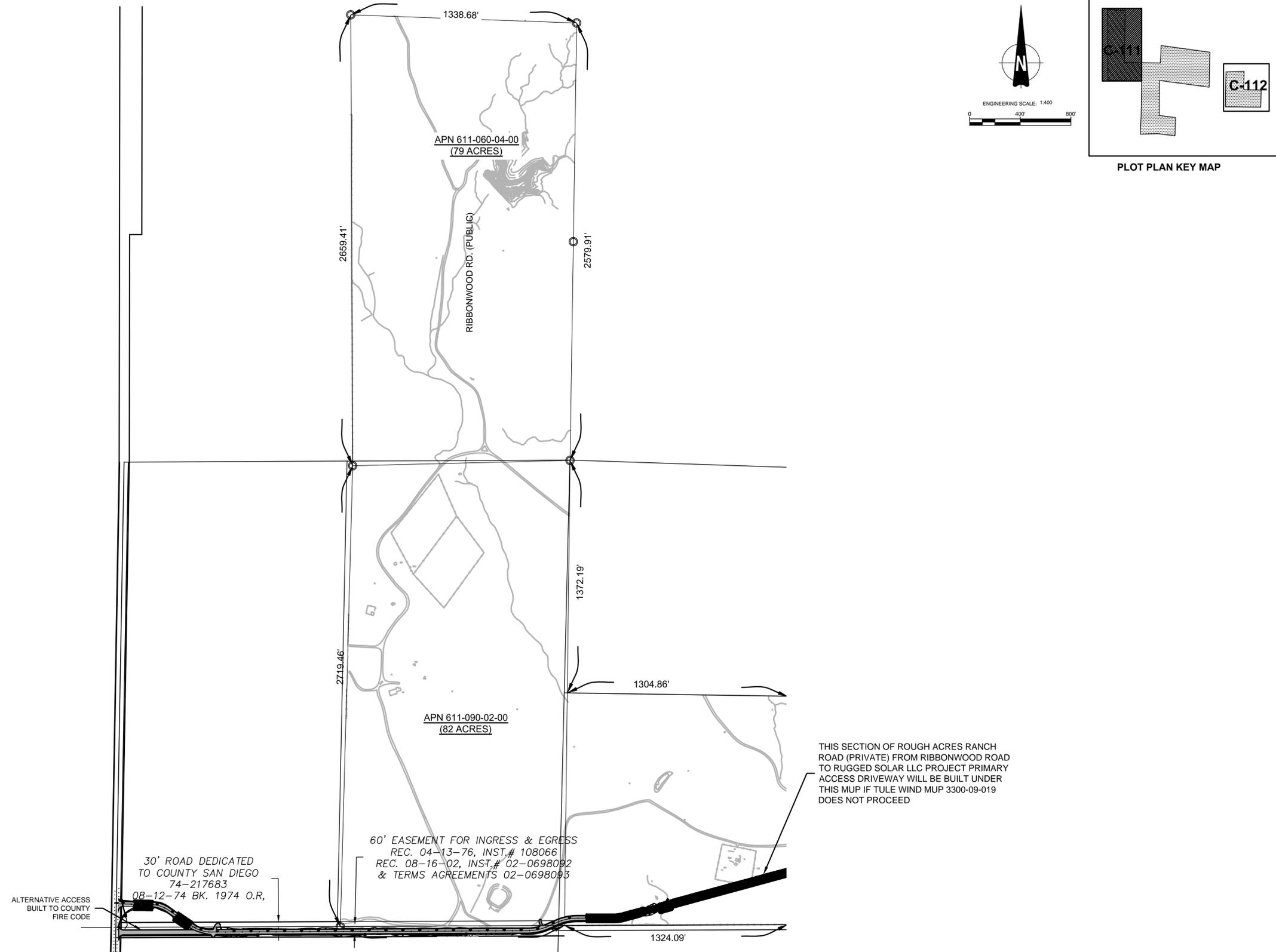
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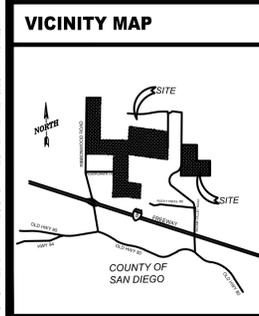
<b>EASEMENT PLAN SHEET MAP</b>	
<b>SHEET NUMBER</b>	<b>REV.</b>
<b>C-110</b>	<b>1</b>



PLOT PLAN KEY MAP

**AECOM**  
DESIGNER  
AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127



VICINITY MAP	
[Vicinity Map]	

OWNER INFORMATION	
NAME:	SEE TABLE AT C-100
ADDRESS:	
CITY:	
STATE:	
ZIP:	
PHONE:	
FAX:	
EMAIL:	

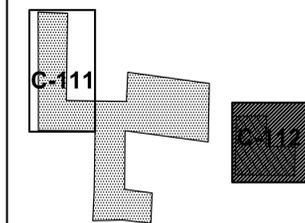
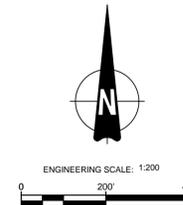
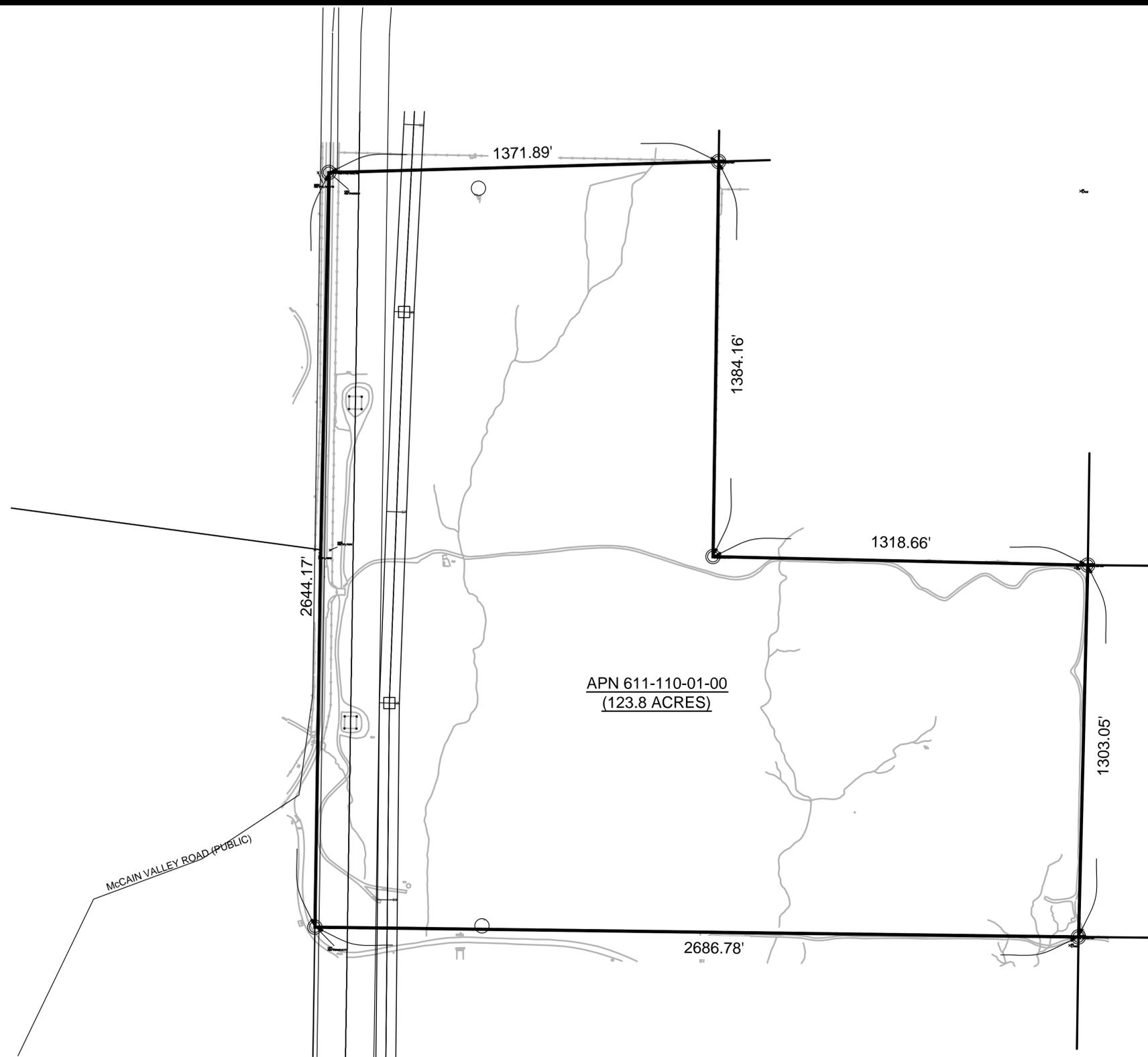
CONTACT INFORMATION	
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DESIGNER SIGNATURE REQUIRED	DATE

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PLOT PLAN INFORMATION	
<b>CPV System Summary</b>	
Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

SHEET TITLE	
<b>EASEMENT PLAN (NORTH WEST)</b>	
SHEET NUMBER	REV.
C-111	1



PLOT PLAN KEY MAP

**AECOM**  
DESIGNER  
AECOM  
AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

VICINITY MAP



OWNER INFORMATION

NAME: SEE TABLE AT C-100  
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EMAIL: patrick.brown@soitec.com

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PROJECT INFORMATION

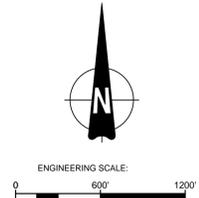
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PLOT PLAN INFORMATION

**CPV System Summary**  
Approx. Number of Trackers: 3291  
No. of Inverter Skids: 57  
Total Lease Area (Acres): 506  
Estimated Disturbed Acreage: 490  
Coverage Ratio Range: 0.3 - 13%

SHEET TITLE

<b>EASEMENT PLAN EAST</b>	
<b>SHEET NUMBER</b>	<b>REV.</b>
<b>C-112</b>	<b>1</b>



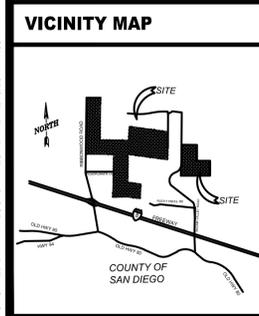
- LEGEND:**
- PROPERTY LINE
  - +— 34.5KV OVERHEAD COLLECTOR TRUNK LINE
  - +— 34.6KV OVERHEAD COLLECTOR / 69KV GEN-TIE CO-LOCATED ON SAME POLES



**DESIGNER**  
**AECOM**  
 AECOM TECHNICAL SERVICES, INC  
 440 Stevens Avenue, Suite 250  
 Solana Beach, CA 98075  
 858.947.7144 tel 858.947.7145 fax  
 www.aecom.com

**CLIENT**

**Soitec Solar Development, LLC**  
 16550 Via Esprillo  
 San Diego, CA 92127



VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE																
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road	<p><b>EXISTING:</b>                      Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.</p> <p><b>PROPOSED:</b>                      Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.</p>	<p><b>CPV System Summary</b></p> <table border="0"> <tr> <td>Approx. Number of Trackers:</td> <td>3291</td> </tr> <tr> <td>No. of Inverter Skids:</td> <td>57</td> </tr> <tr> <td>Total Lease Area (Acres):</td> <td>506</td> </tr> <tr> <td>Estimated Disturbed Acreage:</td> <td>490</td> </tr> <tr> <td>Coverage Ratio Range:</td> <td>0.3 - 13%</td> </tr> </table>	Approx. Number of Trackers:	3291	No. of Inverter Skids:	57	Total Lease Area (Acres):	506	Estimated Disturbed Acreage:	490	Coverage Ratio Range:	0.3 - 13%	<table border="1"> <tr> <th colspan="2">PLOT PLAN 34.5 KV OVERHEAD</th> </tr> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-120</td> <td></td> </tr> </table>	PLOT PLAN 34.5 KV OVERHEAD		SHEET NUMBER	REV.	C-120	
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I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.  DESIGNER SIGNATURE REQUIRED _____ DATE _____																						

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NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com

CONTACT INFORMATION	PARCEL INFORMATION
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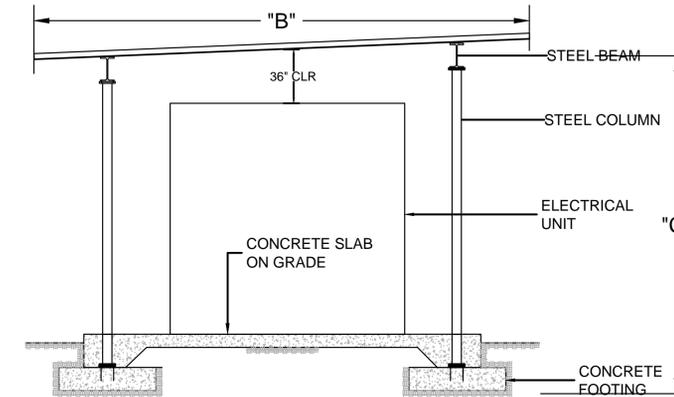
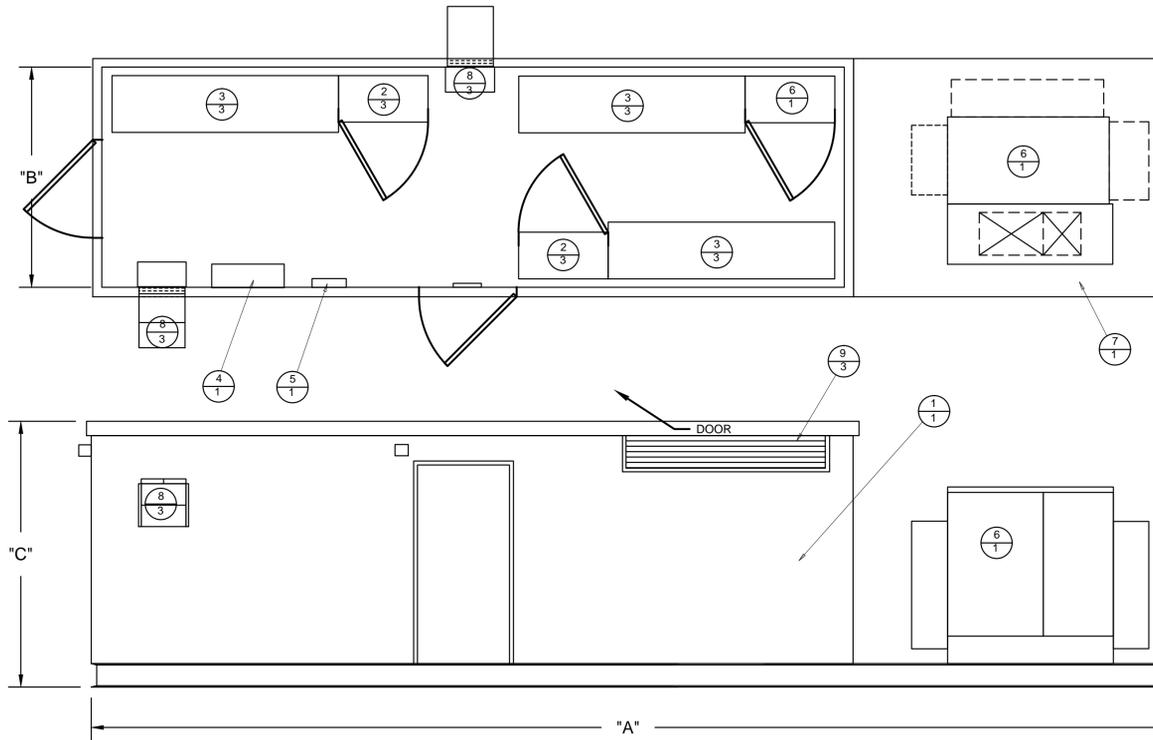
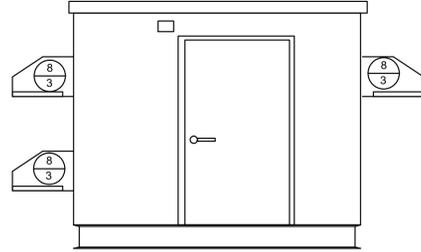
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PLOT PLAN 34.5 KV OVERHEAD						
SHEET NUMBER	REV.					
C-120						

### INVERTER DIMENSION

INVERTER RATING (MW)	DIMENSION ( FT )		
	"A"	"B"	"C"
1.36	25	10	12
2.00	40	10	12

REV	ITEM	QTY	DESCRIPTION
1	1	1	PRECAST SHELTER
2			PRIMARY RE-COMBINER BOX, 16 X 150A MCCB (QTY OF 2 OR 3)
3			XC 680 INVERTER (QTY OF 2 OR 3)
4	1	1	SCADA
5	1	1	POWER PANEL
6	1	1	TRANSFORMER
7	1	1	STEEL SKID
8	3	3	INTAKE AIR FANS
9	3	3	EXHAUST LOUVERS

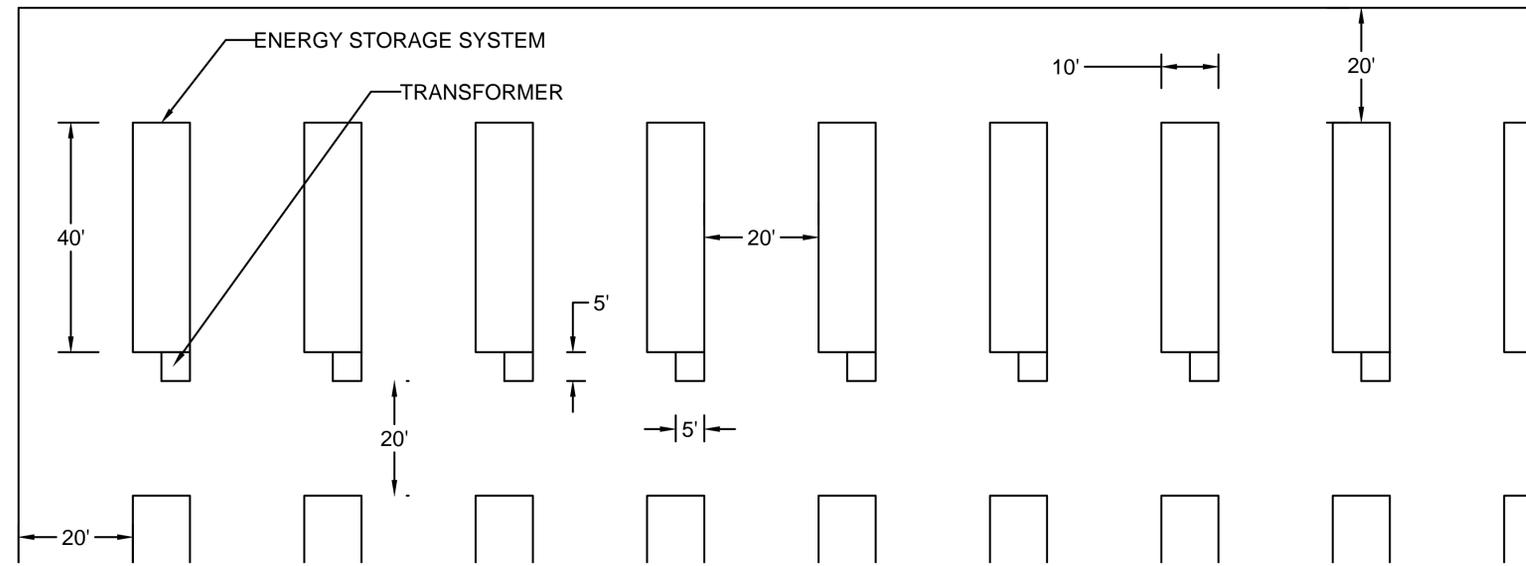


**1 | OPEN INVERTER ON SKID WITH SUN SHADE**

Scale: NA

**NOTES:**

- ENERGY STORAGE SYSTEM CONTAINERS SHALL BE PAINTED A COLOR CONSISTENT IN HUE AND INTENSITY WITH CPV TRACKER. MATERIALS COATINGS, OR PAINTS HAVING LITTLE OR NO REFLECTIVITY SHALL BE USED WHENEVER POSSIBLE.
- TO ENSURE NOISE FROM ENERGY STORAGE SYSTEM HVAC UNITS, TRANSFORMERS AND INVERTERS WILL COMPLY WITH COUNTY NOISE ORDINANCE, ONE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED: A) IF THE BATTERY STORAGE CONTAINER UNITS ARE EQUIPPED WITH STANDARD HVAC UNIT (NACO MODEL 30RB120, OR EQUIVALENT), EACH HVAC UNIT SHALL BE SURROUNDED BY A SOLID PERIMETER SCREEN WALL WITH ELEVATION ONE FOOT HIGHER THAN THE TOP ELEVATION OF THE HVAC UNIT. IN ADDITION, EACH STEP-UP TRANSFORMER AND RELATED PAIR (2) OF POWER INVERTERS SHALL BE ENCLOSED WITH AN 8-FOOT HIGH SOLID PERIMETER WALL. B) IF THE BATTERY STORAGE CONTAINER UNITS ARE EQUIPPED WITH A QUIETER HVAC UNIT (DAIKIN MCQUAY 025D, OR EQUIVALENT) EACH HVAC UNIT SHALL BE SURROUNDED BY A SOLID PERIMETER SCREEN WALL WITH ELEVATION ONE FOOT HIGHER THAT THE TOP ELEVATION OF THE CHILLER UNIT. NO TRANSFORMER OR INVERTER SCREEN WALLS ARE NECESSARY IF THE DAIKIN MCQUAY 025D, OR SOUND EQUIVALENT HVAC MODEL IS USED.
- AUTOMATIC FIRE SPRINKLERS ARE NOT REQUIRED IF AN ALTERNATIVE FIRE SUPPRESSION SYSTEM ACCEPTABLE TO THE COUNTY FIRE MARSHALL IS PROVIDED



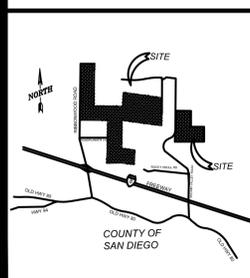
**2 | ENERGY STORAGE SYSTEM WITH TRANSFORMER**

Scale: NA

DESIGNER  
**AECOM**  
 AECOM TECHNICAL SERVICES, INC  
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 Solana Beach, CA 98075  
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**VICINITY MAP**



**OWNER INFORMATION**

NAME: SEE TABLE AT C-100  
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 EMAIL:

**CONTACT INFORMATION**

NAME: Pat Brown  
 ADDRESS: 16550 Via Esprillo  
 CITY: San Diego  
 STATE: CA  
 ZIP: 92127  
 PHONE: (858) 746-9000  
 FAX:  
 EMAIL: patrick.brown@soitec.com

**PARCEL INFORMATION**

APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100  
 SITE ADDRESS:  
 North of I-8, east of Ribbonwood Road.  
 on both sides of McCain Valley Road

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGNER SIGNATURE REQUIRED DATE

**PROJECT INFORMATION**

**EXISTING:**  
 Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.

**PROPOSED:**  
 Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.

**PLOT PLAN INFORMATION**

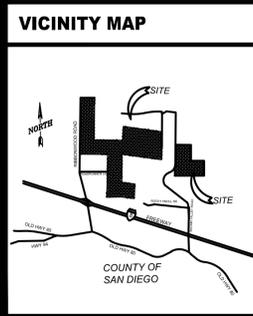
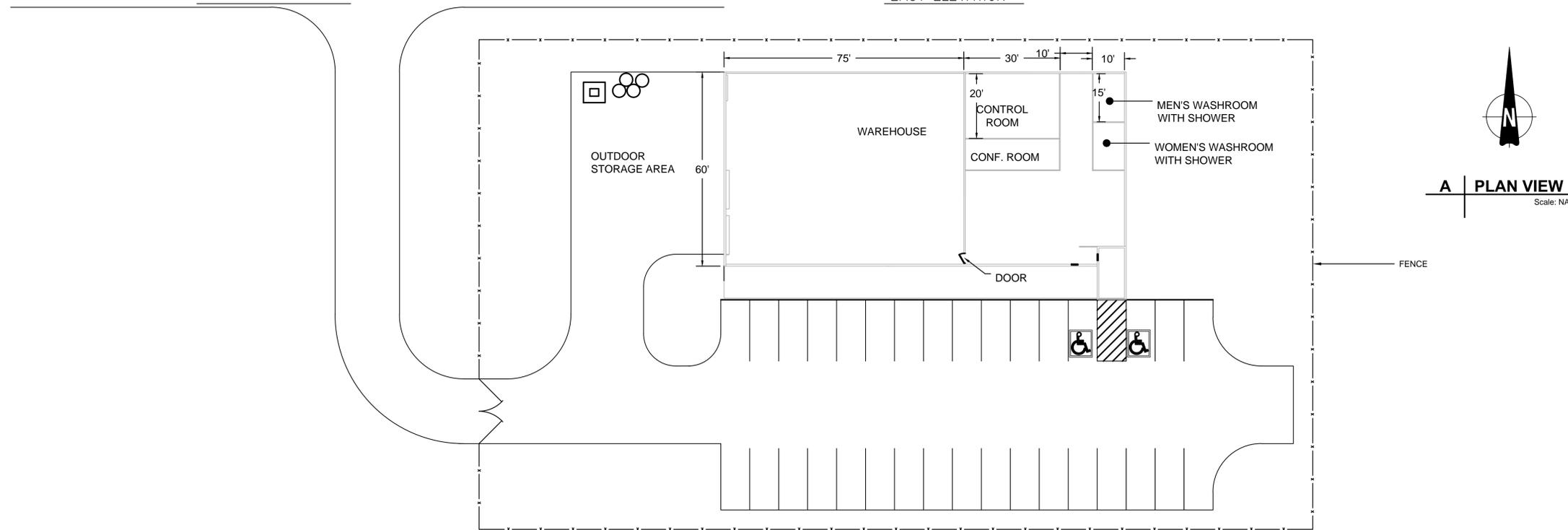
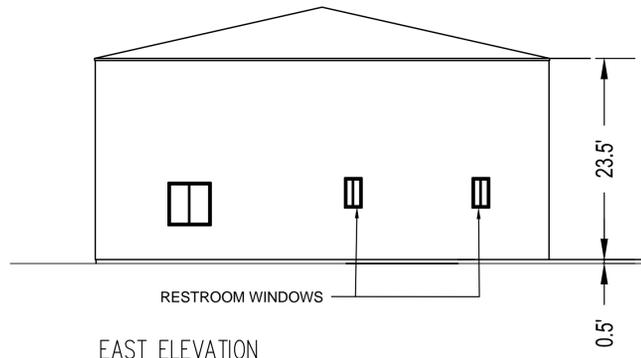
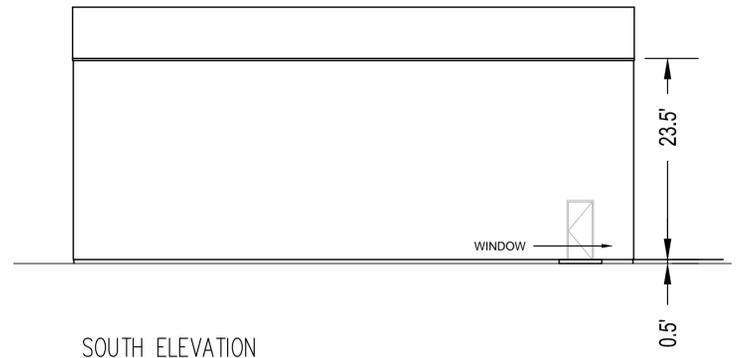
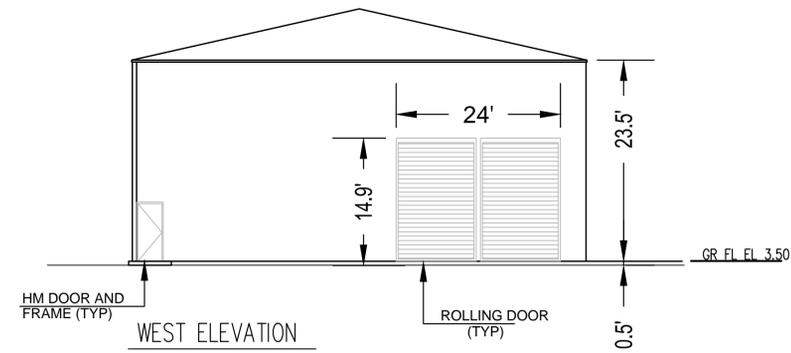
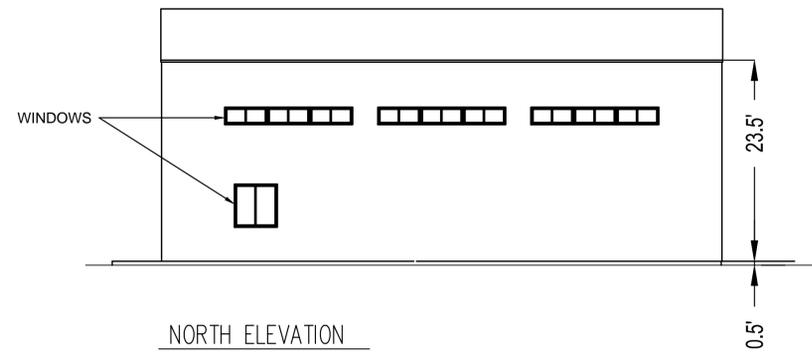
**CPV System Summary**

Approx. Number of Trackers:	3291
No. of Inverter Skids:	57
Total Lease Area (Acres):	506
Estimated Disturbed Acreage:	490
Coverage Ratio Range:	0.3 - 13%

**SHEET TITLE**

**1.36 / 2.0 MW INVERTER BOX DESIGN / ENERGY STORAGE SYSTEM**

SHEET NUMBER	REV.
C-130	1



VICINITY MAP	
[Map showing project location in County of San Diego]	

OWNER INFORMATION	
NAME:	SEE TABLE AT C-100
ADDRESS:	
CITY:	
STATE:	
ZIP:	
PHONE:	
FAX:	
EMAIL:	

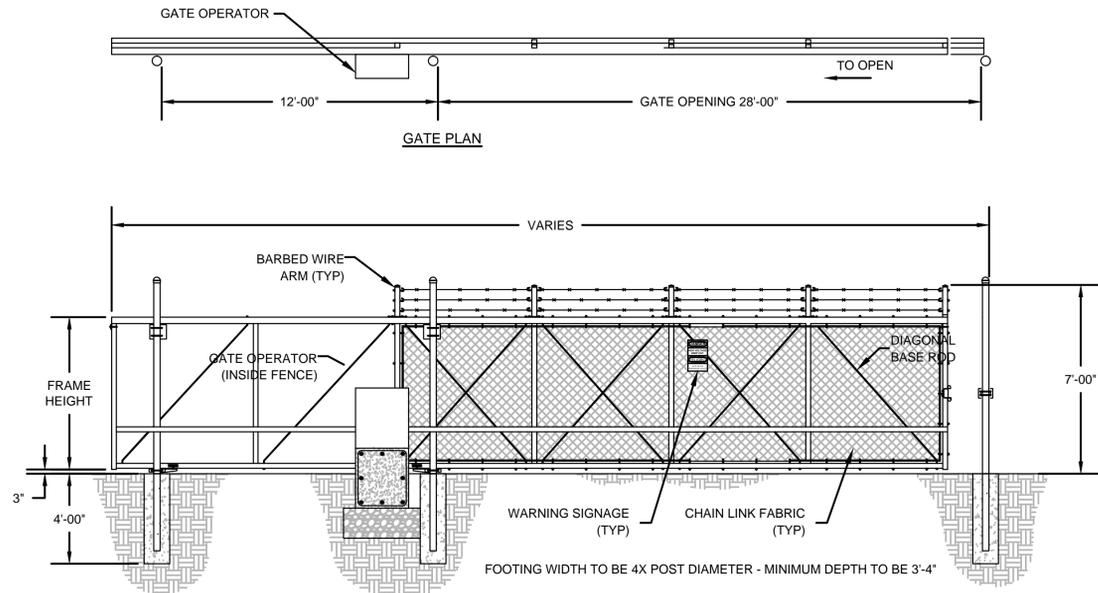
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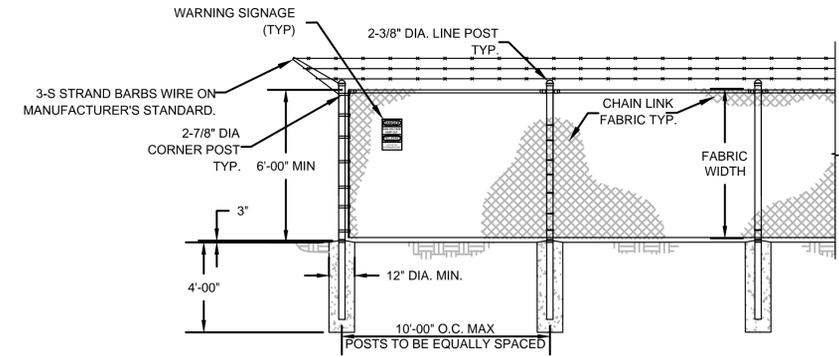
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SHEET TITLE	
<b>O &amp; M BUILDING</b>	
SHEET NUMBER	REV.
<b>C-131</b>	<b>1</b>



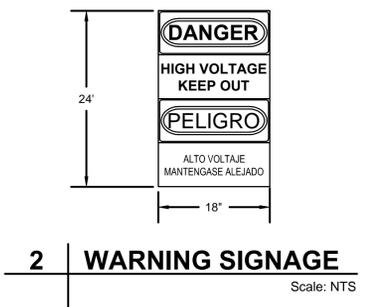
**1 | DETAIL - GATE**  
 SINGLE MOTORIZED SLIDING GATE NTS

\* 4" DIAMETER POST FOR GATE LEAF LENGTH 35'-0" AND LESS

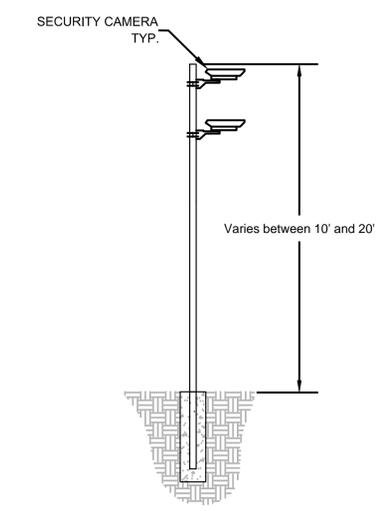


**3 | DETAIL - CHAIN LINK FENCE**  
 NTS

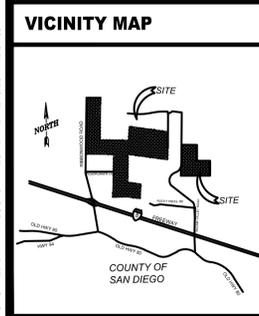
- FENCE NOTES:**
- CHAIN LINK FABRIC SHALL BE 2" MESH NO.9 GAGE WERE SECURITY FASTED TO LINE POSTS AND RAILS.WIRE FASTENERS AND THE CLIPS SHALL BE NO.11 GAGE
  - WIRE.CONCRETE FOOTINGS SHALL HAVE TOPS CROWNED AT GROUND LEVEL.
  - CHAIN LINK FENCE TO BE FITTED WITH UV- RESISTANT MESH FABRIC, COLOR PER CUSTOMER REQUEST.
  - ELECTRICAL SAFETY SIGNAGE TO BE PLACED ALONG PERIMETER.

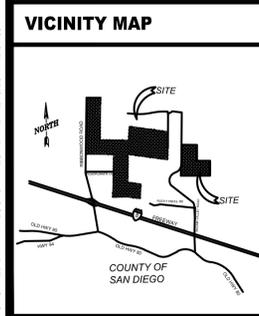


**2 | WARNING SIGNAGE**  
 Scale: NTS



**4 | DETAIL - SECURITY CAMERA POLE**  
 NTS



VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road  I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.  DESIGNER SIGNATURE REQUIRED _____ DATE _____	<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.  <b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	<b>CPV System Summary</b> Approx. Number of Trackers: 3291 No. of Inverter Skids: 57 Total Lease Area (Acres): 506 Estimated Disturbed Acreage: 490 Coverage Ratio Range: 0.3 - 13%	<b>FENCE/SECURITY CAMERA ELEVATION DETAIL</b>  <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>C-132</td> <td>1</td> </tr> </tbody> </table>	SHEET NUMBER	REV.	C-132	1
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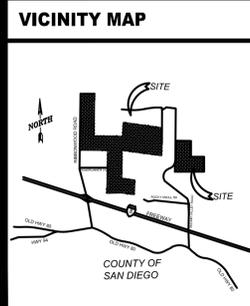
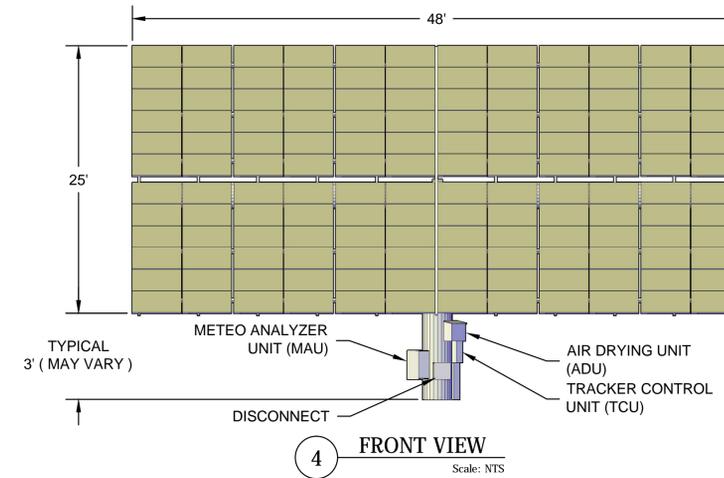
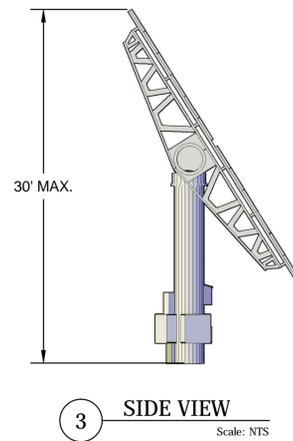
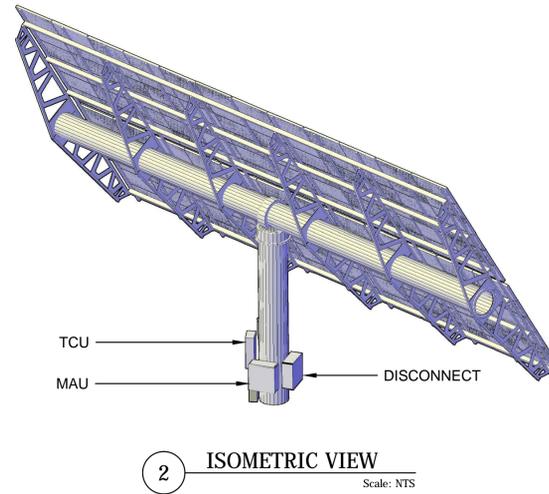
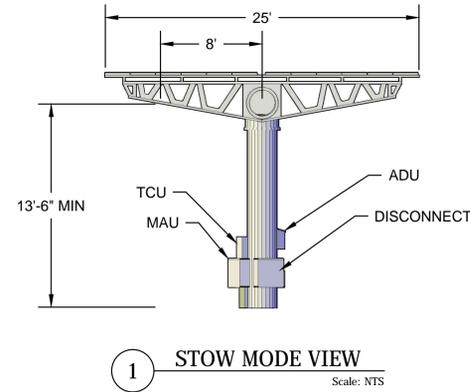
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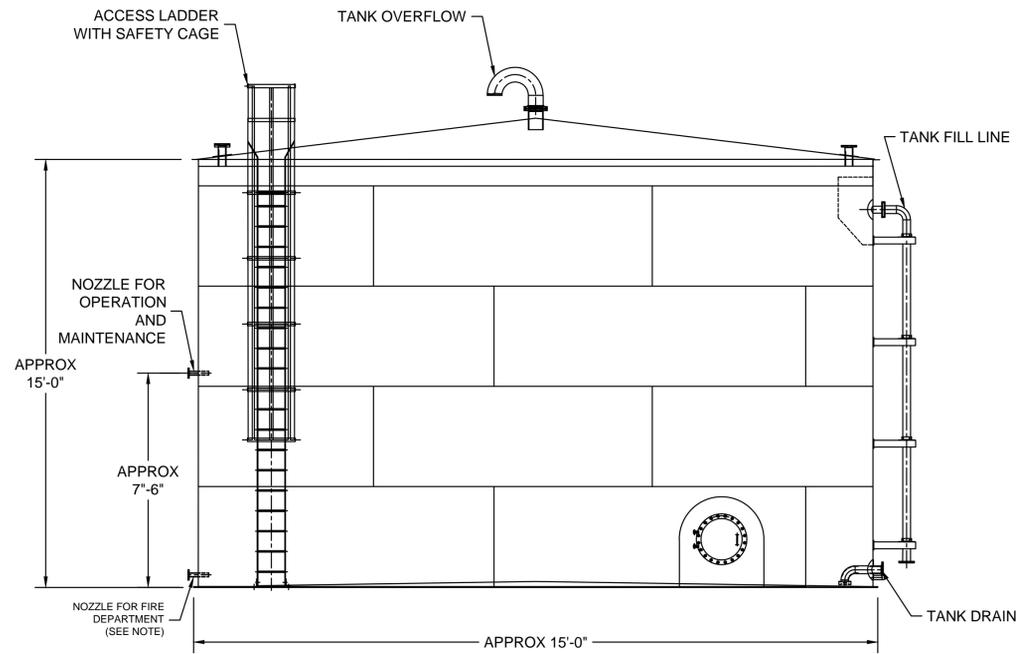
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<b>SHEET NUMBER</b>	<b>REV.</b>
<b>C-133</b>	<b>1</b>

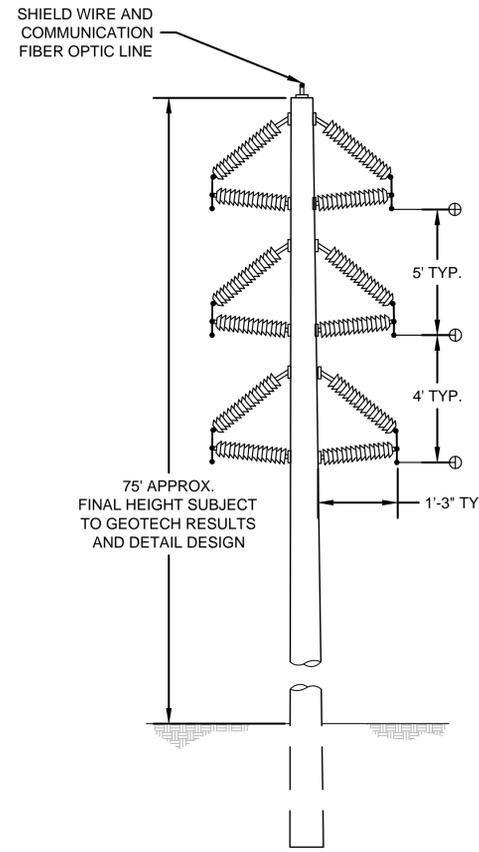


**NOTE:**

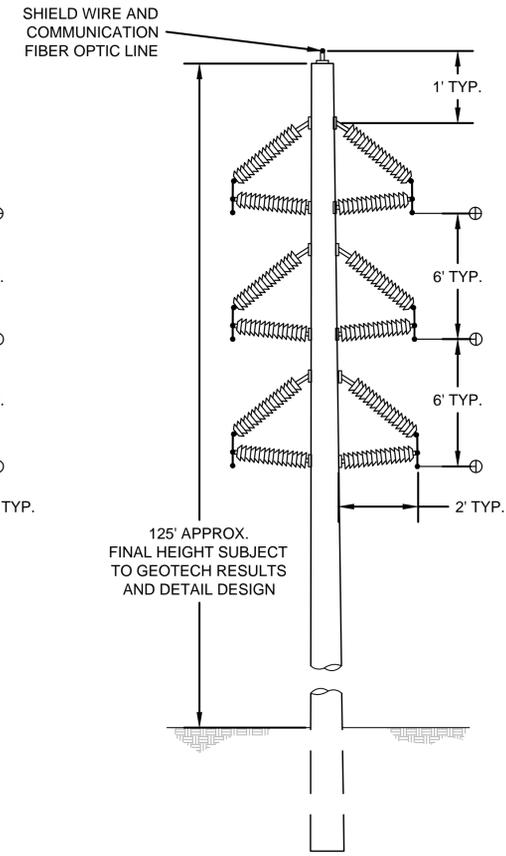
IN ACCORDANCE WITH SECTION 507.2.2 IN TITLE 9, DIVISION 6, CHAPTER 1 OF THE SAN DIEGO COUNTY CODE:

1. THE SUPPLY OUTLET SHALL BE AT EAST 4 INCHES IN DIAMETER FROM THE BASE OF THE TANK TO THE POINT OF OUTLET AT THE FIRE DEPARTMENT CONNECTION. THE FIRE DEPARTMENT CONNECTION SHALL BE AT LEAST ONE 4-INCH NATIONAL STANDARD THREAD (MALE), REDUCE TO ONE 2½ INCH NATIONAL STANDARD THREAD (MALE). ADDITIONAL OUTLETS MAY BE REQUIRED.
2. THE LOCATION OF THE FIRE DEPARTMENT OUTLET TO BE DETERMINED ON THE PLOT PLAN WHEN SUBMITTED TO THE FIRE DEPARTMENT. CONSIDERATION WILL BE GIVEN TO TOPOGRAPHY, ELEVATIONS, AND DISTANCE FROM STRUCTURES, DRIVEWAY ACCESS, PREVAILING WINDS, ETC.
3. THE OUTLET SHALL BE LOCATED ADJACENT TO THE FIRE ACCESS ROAD.

WATER TANK



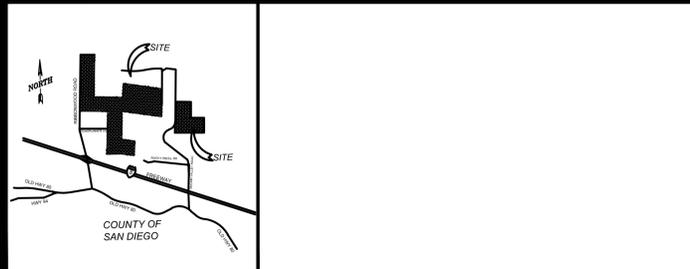
34.5 KV OVERHEAD, DUAL CIRCUIT



34.5 KV / 69 KV OVERHEAD

DESIGNER  
**AECOM**  
 AECOM TECHNICAL SERVICES, INC  
 440 Stevens Avenue, Suite 250  
 Solana Beach, CA 98075  
 858.947.7144 tel 858.947.7145 fax  
 www.aecom.com

CLIENT  
  
**Soitec**  
 Soitec Solar Development, LLC  
 16550 Via Esprillo  
 San Diego, CA 92127

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