

PRELIMINARY GRADING AND DRAINAGE NOTES

GRADING NOTES

- ALL GRADING SHALL CONFORM OF THE REQUIREMENTS OF THE GRADING ORDINANCE SECTIONS 87.101 THROUGH 87.804 OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES.
- A REGISTERED CIVIL ENGINEER IS REQUIRED TO SUPERVISE INSTALLATION OF THE FILL KEYWAY AND ALL FILL BENCHING AND COMPACTION. A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL THAT IS OVER 12" IN DEPTH. DPLU FORM #73, MINOR GRADING CERTIFICATION, AND THREE (3) COPIES OF THE COMPACTION REPORT COMPLETED BY A SOILS ENGINEER SHALL BE SUBMITTED PRIOR TO ROUGH GRADE APPROVAL.
- ALL FILL MATERIAL SHALL BE COMPACTED AS NOTED.
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY.
- MAINTAIN 1% (MINIMUM) SLOPE AWAY FROM ALL BUILDINGS FOR AT LEAST 5'.
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS:
 - DS-8 LOT GRADING
 - DS-10 GRADING OF SLOPES
 - DS-11 REQUIRED SETBACKS
 - D-40 RIP RAP ENERGY DISSIPATER
 - D-82 DEBRIS FENCE
 - DS-09 FENCING CUT BANKS
- BERMS SHALL BE REQUIRED AT THE TOP OF ALL FILL SLOPES AND SWALES OR BROW DITCHES SHALL BE REQUIRED AT THE TOP OF ALL CUT SLOPES. ALL BERMS, SWALES, OR BROW DITCHES SHALL CONFORM TO THE DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS LISTED ABOVE.
- REGARDLESS OF WHICH BMP'S ARE IMPLEMENTED THE FACE OF ALL CUT AND FILL SLOPES IN EXCESS OF 3' VERTICAL HEIGHT SHALL BE PLANTED AND MAINTAINED WITH A GROUND COVER OR OTHER PLANTING TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED. ALL PLANTING MUST HAVE A PERMANENTLY INSTALLED IRRIGATION SYSTEM.
- REQUIRED SLOPE RATIOS ARE AS FOLLOWS:
 - CUTS - 1.5:1 FOR MINOR SLOPES (UP TO 15' VERTICAL HEIGHT)
 - CUTS - 2:1 FOR MAJOR SLOPES (OVER 15' VERTICAL HEIGHT)
 - FILLS - 2:1 (MAXIMUM) FOR ALL FILL SLOPES
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE OWNER AND PERMITEE ARE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTIES. NO PERSON SHALL EXCAVATE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET OR SIDEWALK, OR THE FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY.
- THE DIRECTOR OF PLANNING AND LAND USE MAY IMPOSE CONDITIONS THAT ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. THE DIRECTOR MAY ALSO MODIFY OR ADD CONDITIONS TO ANY VALID GRADING PERMIT WHEN SUCH MODIFICATIONS OR ADDITIONS ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. SUCH CONDITIONS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - IMPROVEMENT OF EXISTING GRADING TO CONFORM WITH THE GRADING ORDINANCE. AND;
 - REQUIREMENTS FOR FENCING OF EXCAVATIONS OR FILLS THAT WOULD OTHERWISE BE HAZARDOUS, AND;
 - ADEQUATE DUST CONTROL MEASURES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM MONDAY THROUGH SATURDAY. NO EARTH MOVING OR GRADING SHALL BE CONDUCTED ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE PROVIDED TO THE FOLLOWING AGENCIES:
 - SAN DIEGO GAS AND ELECTRIC (800) 422-4133
 - PACIFIC BELL (800) 422-4133
 - CATV (800) 422-4133
 - WATER UTILITY (800) 422-4133
 - SEWER UTILITY (800) 422-4133
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PLANNING AND LAND USE DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION IS OBTAINED, RIGHT TO ENTRY FORM COMPLETED AND VALID GRADING PERMIT ISSUED.
- THE ISSUANCE OF A GRADING PERMIT SHALL CONSTITUTE AN AUTHORIZATION TO PERFORM ONLY THAT WORK WHICH IS DESCRIBED OR SHOWN ON THE GRADING PERMIT APPLICATION AND APPROVED GRADING PLANS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ANY CONDITIONS IMPOSED BY THE DIRECTOR OF PLANNING AND LAND USE AND IN ACCORDANCE WITH THE GRADING ORDINANCE.
- ROADS ARE CLASSIFIED ON THE DRAWING AS THE FOLLOWING:
 - PRIMARY ACCESS ROAD - 20FT WIDE GRADED ROAD IMPROVED TO CARRYING A 50,000LBS VEHICLE.
 - SECONDARY ACCESS ROAD - 30FT WIDE GRADED ROAD WITH AN 18FT LANE CAPABLE OF CARRYING A 15,000LBS VEHICLE AND A 12FT LANE CAPABLE OF CARRYING A 50,000LBS VEHICLE.
- THE GRADING FOR THE SITE SHALL INCLUDE THE CLEARING AND GRUBBING FOR A 15,625,095 SQ.FT. AREA
- THE BASIS OF EXISTING CONTOURS WAS PROVIDED IN A DIGITAL TERRAIN MODEL (DTM) TIED TO THE CCS83 GRID. THE DTM WAS CREATED IN CONJUNCTION WITH AN AERIAL TOPOGRAPHICAL SURVEY AT 20-SCALE WITH 0.5 FOOT CONTOUR INTERVALS PREFORMED JANUARY 2012.
- AREAS DESIGNATED AS "SPECIAL FUEL MOD ZONE" ARE TO BE CLEARED OF EXISTING VEGETATION, THEN COVERED WITH LANDSCAPING FABRIC AND WEIGHTED DOWN USING AS SURFACING MATERIAL OF CRUSHED STONE

20. EARTHWORK QUANTITIES:	
EXCAVATION:	9,429 CUBIC YARDS
FILL:	9,429 CUBIC YARDS
IMPORT:	0 CUBIC YARDS
EXPORT:	0 CUBIC YARDS

PRELIMINARY GRADING PLAN NOTE

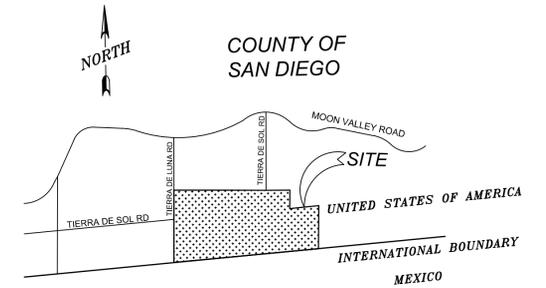
THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSION BEFORE COMMENCING SUCH ACTIVITY.

STORMWATER MANAGEMENT NOTES

- DURING THE RAINY SEASON FROM OCTOBER 1ST TO APRIL 30TH THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED WITHIN 48 HOURS OF A PREDICTED RAIN.
- 125% OF ALL NEEDED BMP MATERIALS SHALL BE STORED ONSITE YEAR-ROUND TO ALLOW FULL DEPLOYMENT AND INSTALLATION WITHIN 48 HOURS OF A PREDICTED RAIN.
- THE PROPERTY OWNER SHALL COMPLY WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT ONSITE EROSION AND TO PREVENT DISCHARGES OF POLLUTANTS FROM LEAVING THE SITE. MAINTENANCE OF BMPs IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO.
- PERIMETER SEDIMENT CONTROL BMPs SHALL BE INSTALLED IMMEDIATELY AFTER THE AREA TO BE GRADED IS BRUSHED OR CLEARED, BUT PRIOR TO THE START OF GRADING OPERATIONS.
- EROSION CONTROL BMPs USED FOR SLOPE STABILIZATION SHALL BE INSTALLED AS SOON AS THE FINISHED SLOPES ARE COMPLETE.
- A PERIMETER BMP INSPECTION IS REQUIRED ON THE FIRST DAY OF GRADING
- WHERE AN EXISTING STORMWATER CONVEYANCE CROSSES OVER A PLANNED SECONDARY SERVICE ROAD, THE ROAD SHALL BE GRADED AND MAINTAINED AS A FORD.
- RIP RAP SHALL BE PLACED AT ALL LOCATIONS WHERE ONE DRAINAGE FEATURE (SUCH AS A DITCH OR A SWALE) DRAINS INTO A LARGER DRAINAGE FEATURE.
- DIP SECTIONS SHALL BE COMPOSED OF 6" OF REINFORCED STRUCTURAL CONCRETE SLABS, WHICH SHALL BE DESIGNED TO WITHSTAND AND CONVEY HUNDRED (100) YEAR FREQUENCY STORM.
- ALL SURFACES THAT ARE NOT IMPROVED ROADS SHOULD BE SEEDED AND REVEGETATED WITH DROUGHT TOLERANT PLANTS.
- INFORMATION REGARDING DIRECTION OF LOT DRAINAGE CAN BE FOUND ON SHEETS C-301 & C-302.

PROPERTY OWNER INFORMATION	
NAME:	TRUSTEE OF THE BROWN & REYNOLDS TRUST CO-TRUSTEES OF THE BROWN FAMILY TRUST
ADDRESS:	1116 W. 7th Street PMB 158
CITY:	COLUMBIA
STATE:	TN
ZIP:	38401
PHONE:	(615) 440-7424
APN's	658-090-31-00,658-090-55-00, 658-120-02-00,658-120-03-00, 658-090-54-00

VICINITY MAP



SIGHT DISTANCE:

"Physically, there is a minimum unobstructed sight distance in both directions along Tierra del Sol Road from the proposed access points, for the prevailing operating speed of traffic on Tierra del Sol Road" per Section 6.1 table 5 of the County Public Road Standards (approved March 2012)."

"The lines of sight fall within the existing right-of-way and a clear space easement is not required."

FILE NAME: C:\USERS\OROZCO\DESKTOP\SOITEC SOLAR PROJECT\TIERRA DEL SOL\GRADING\C-201_COVER SHEET.DWG LAST SAVED BY: OROZCOG PLOT DATE: 9/10/2014 3:48:05 PM

CLIENT

Soitec Solar Development, LLC
4250 Executive Square, Suite 770
San Diego, CA 92037-9178

AECOM
AECOM TECHNICAL SERVICES, INC
440 Stevens Avenue, Suite 250
Solana Beach, CA 98075
858.947.7144 tel 858.947.7145 fax
www.aecom.com

CONTACT INFORMATION

NAME: PAT BROWN
ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770
LA JOLLA, CA
TELEPHONE NUMBER: (858)652-4423
(24 HOUR CONTACT NUMBER) 658-090-31-00,658-090-55-00,
658-120-02-00,658-120-03-00,
SITE A.P.N. NUMBER: 658-090-54-00
SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905

GRADING ON ADJACENT PARCELS

LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED:

APN(s):

PROPERTY OWNER CERTIFICATION

I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:

OWNER'S SIGNATURE (REQUIRED): DATE:

DISTURBED AREA CALCS

PAD + SLOPES: _____ SF
DRIVEWAY: _____ SF
PRIMARY SEPTIC: _____ SF
FIRE CLEARING: _____ SF
TOTAL: _____ SF
IF ≥ 1 AC, PROVIDE WDDID#:

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER: _____
PARCEL MAP NUMBER: _____

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

NAME: Savas E. Kolankaya DATE: _____
RCE NO: C 43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (510) 260-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

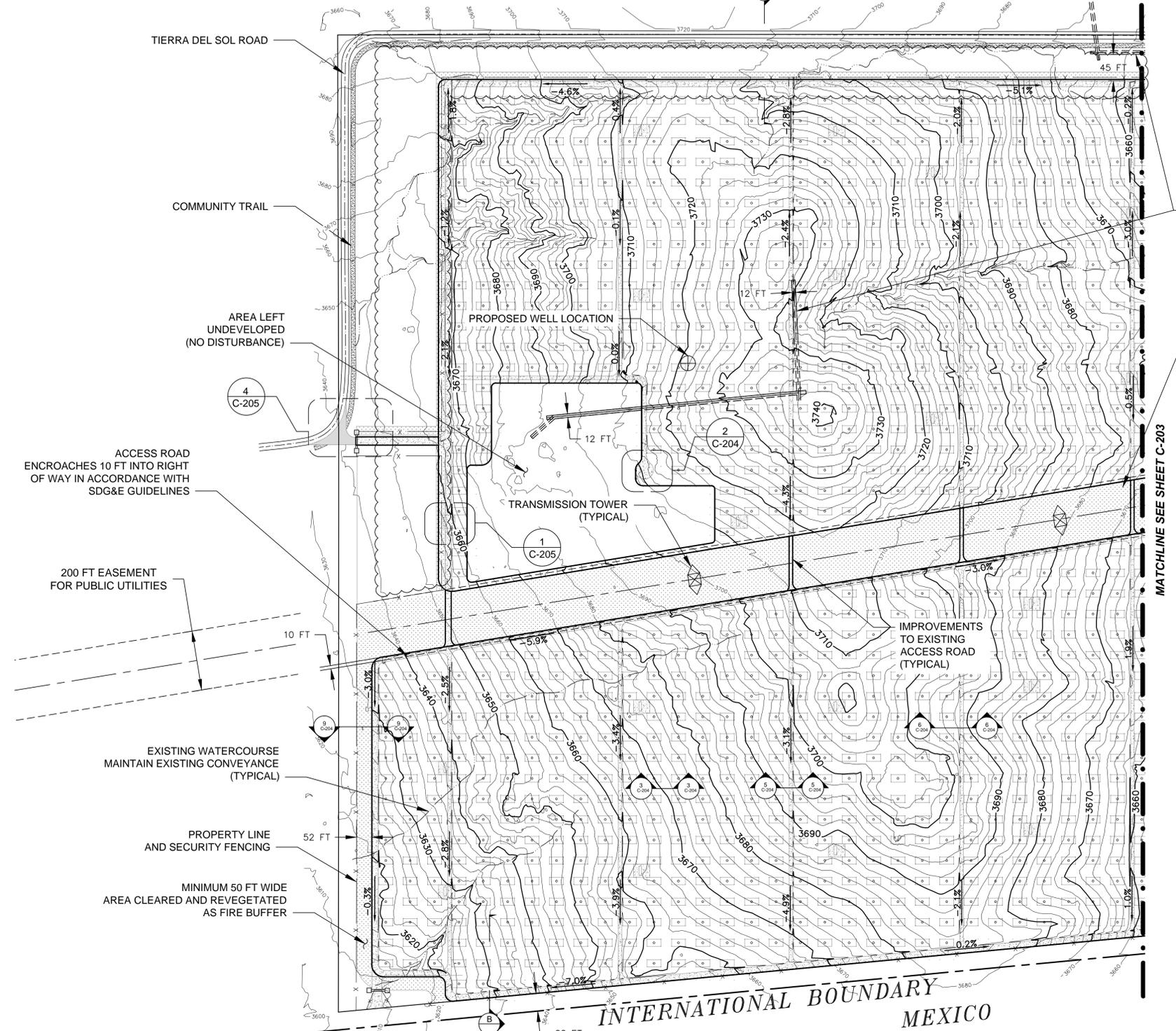
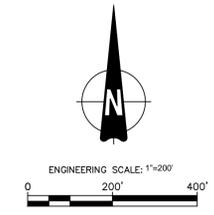
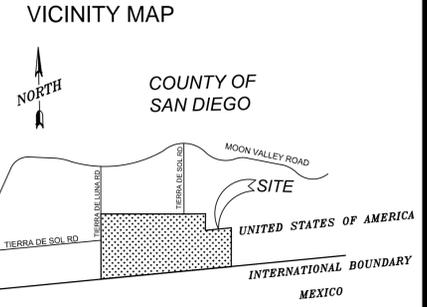
PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR SYSTEM LLC

SHEET NUMBER: C-201 REV: 3 SHEET: 1 OF SHEETS: 5

APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____
BY: _____ DATE: _____

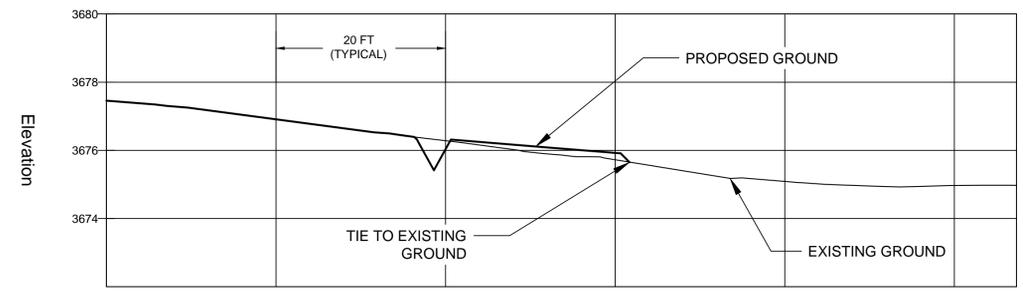
PRELIMINARY

PRELIMINARY GRADING PLAN

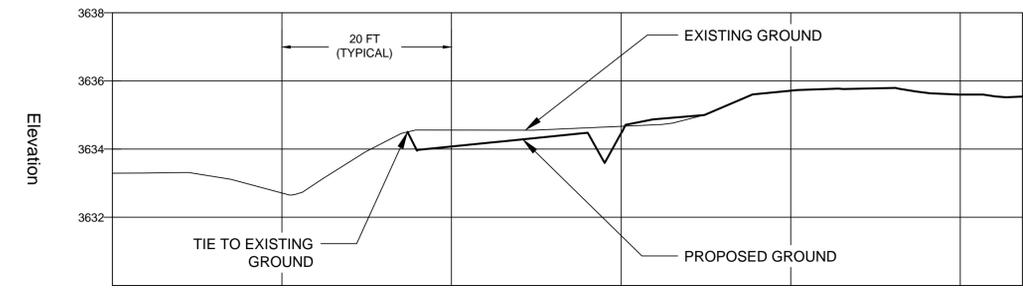


GRADING LEGEND

- SECURITY FENCING: — x — x —
- WATERCOURSE: ————
- EXISTING CONTOUR: ———— 275
- PROPOSED CONTOUR: ———— 275
- EXTENT OF GRADING: ————
- SURFACING FOR PRIMARY ROAD AND SPECIAL FUEL MOD ZONE: [Pattern]
- SURFACE TO BE CLEARED AND REVEGETATED FOR FIRE CLEARING: [Pattern]



A CROSS SECTION
1:10 SCALE



B CROSS SECTION
1:10 SCALE

FILE NAME: C:\USERS\ORZCZCOG\DESKTOP\SOITEC SOLAR PROJECT\TIERRA DEL SOL\GRADING\C-202-203_GRADING.DWG LAST SAVED BY: ORZCZCOG PLOT DATE: 9/15/2014 8:46:24 AM

CLIENT

Soitec
Soitec Solar Development, LLC
4250 Executive Square, Suite 770
San Diego, CA 92037-9178

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440 Stevens Avenue, Suite 250
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CO-TRUSTEES OF THE BROWN FAMILY TRUST
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(24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00,
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PROPERTY OWNER CERTIFICATION
I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:
OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____

DISTURBED AREA CALCS

PAD + SLOPES: 1,345,313 SF
DRIVEWAY: 15,145 SF
COMMUNITY TRAIL: 43,550 SF
FIRE CLEARING: 15,625,095 SF
TOTAL: 17,029,103 SF
IF ≥ 1 AC, PROVIDE WDD#: _____

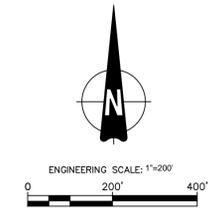
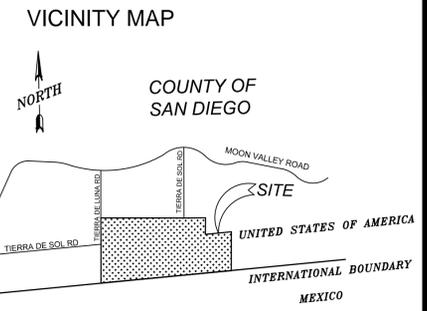
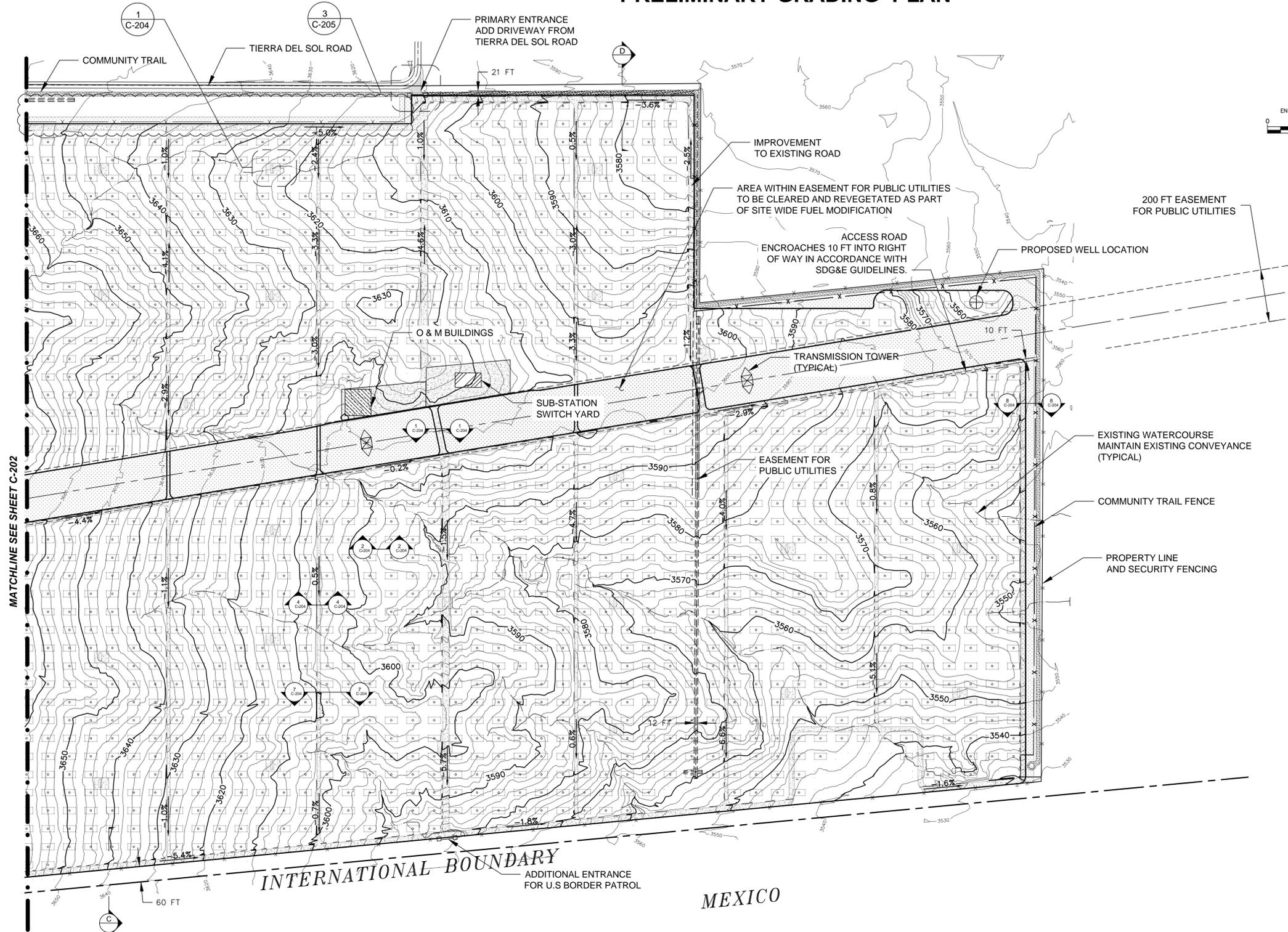
PLAN CHECK/PERMITS
BUILDING PERMIT PLAN CHECK NUMBER: _____
PARCEL MAP NUMBER: _____

ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
NAME: Savas E. Kolankaya DATE: _____
RCE NO: C-43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (610) 260-6544

PRIVATE CONTRACT
COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE
PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR LLC
SHEET NUMBER: C-202 REV: 3 SHEET: 2 OF SHEETS: 6
APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____
DATE: _____

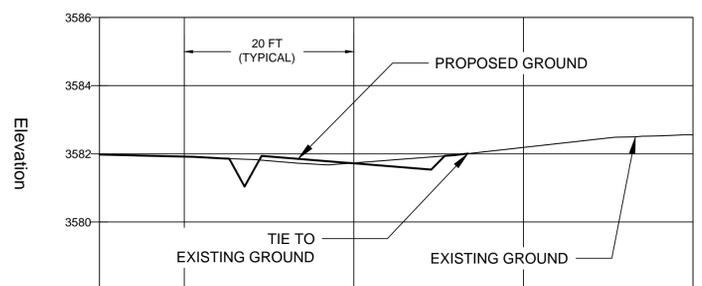
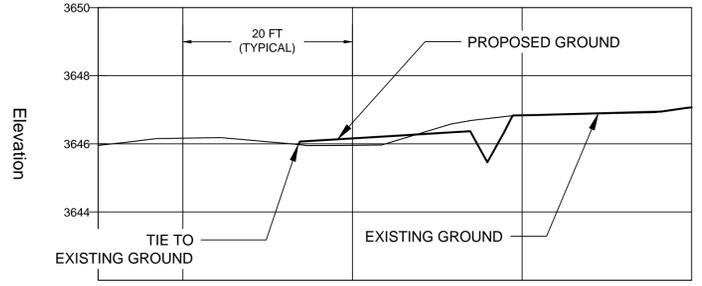
PRELIMINARY

PRELIMINARY GRADING PLAN



GRADING LEGEND

- SECURITY FENCING: — x — x —
- WATERCOURSE: ————
- EXISTING CONTOUR: ———— 275
- PROPOSED CONTOUR: ———— 275
- EXTENT OF GRADING: ————
- GATE: [Symbol]
- SURFACING FOR PRIMARY ROAD AND SPECIAL FUEL MOD ZONE: [Symbol]
- SURFACE TO BE CLEARED AND REVEGETATED FOR FIRE CLEARING: [Symbol]



FILE NAME: C:\USERS\ORZCZCOG\DESKTOP\SOITEC SOLAR PROJECT\TIERRA DEL SOL\GRADING\C-202-203_GRADING.DWG LAST SAVED BY: ORZCZCOG PLOT DATE: 9/15/2014 8:47:10 AM

CLIENT

Soitec

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San Diego, CA 92037-9178

AECOM

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440 Stevens Avenue, Suite 250
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858.947.7144 tel 858.947.7145 fax
www.aecom.com

PROPERTY OWNER INFORMATION

NAME: TRUSTEE OF THE BROWN & REYNOLDS TRUST
CO-TRUSTEES OF THE BROWN FAMILY TRUST

ADDRESS: 1116 W. 7th Street PMB 158
Columbia, TN 38401

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(24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00,
658-120-02-00, 658-120-03-00,
SITE A.P.N. NUMBER: 658-090-54-00

SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905

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APN(s): _____

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OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____

DISTURBED AREA CALCS

PAD + SLOPES:	1,345,313	SF
DRIVEWAY:	15,145	SF
COMMUNITY TRAIL:	43,550	SF
FIRE CLEARING:	15,625,095	SF
TOTAL:	17,029,103	SF

IF ≥ 1 AC, PROVIDE WDD#:

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER: _____

PARCEL MAP NUMBER: _____

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

NAME: Savas E. Kolankaya DATE: _____

RCE NO: C-43628 EXPIRES: 12/31/14

TELEPHONE NUMBER: (510) 260-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR LLC

SHEET NUMBER: C-203 REV: 3 SHEET: 3 OF SHEETS: 6

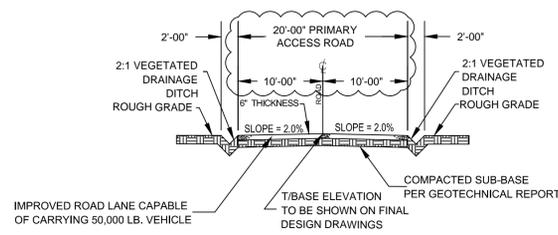
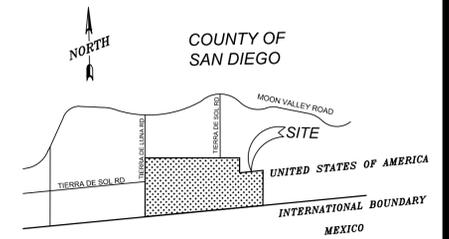
APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____

DATE: _____

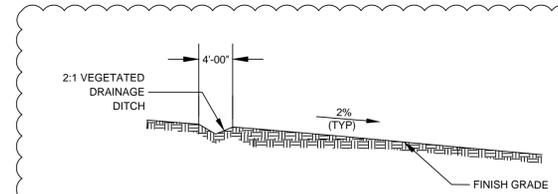
PRELIMINARY

DETAILS

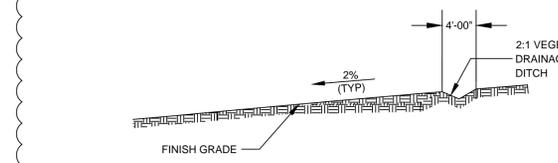
VICINITY MAP



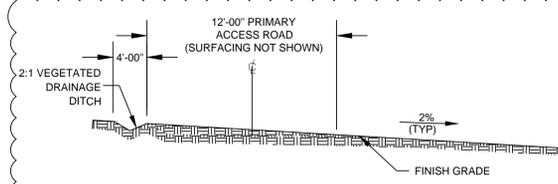
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PRIMARY ACCESS ROAD NTS



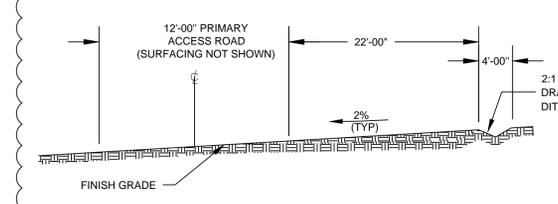
2 TYPICAL CROSS SECTION
SERVICE ROAD NTS



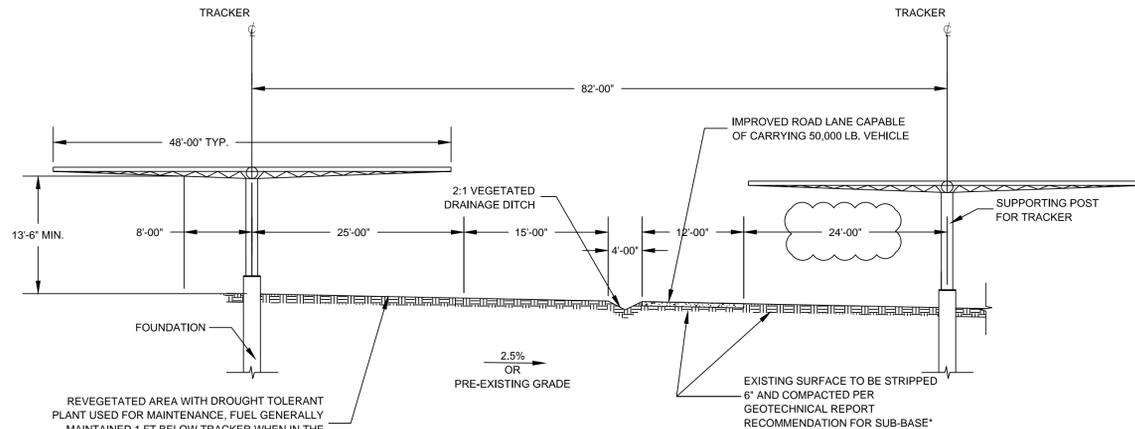
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SERVICE ROAD NTS



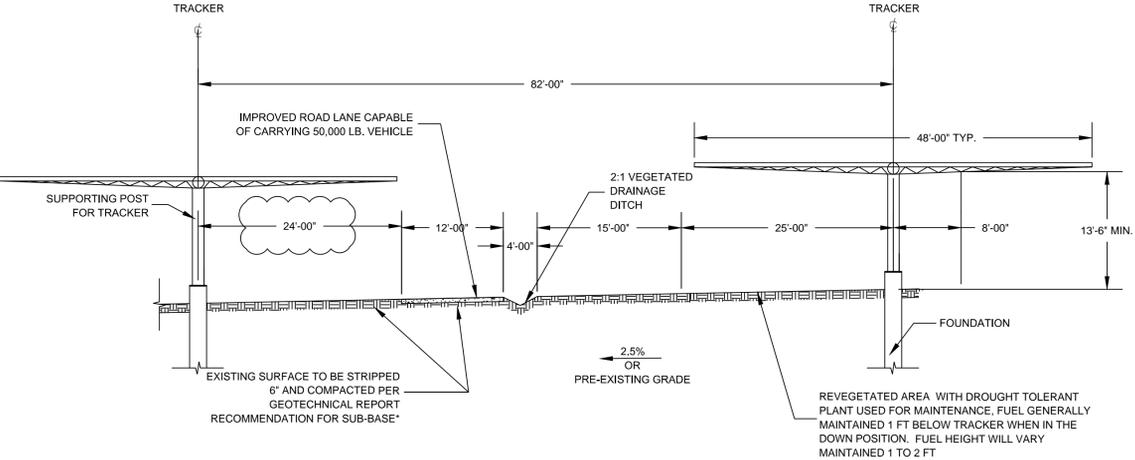
4 TYPICAL CROSS SECTION
SECONDARY ACCESS ROAD NTS



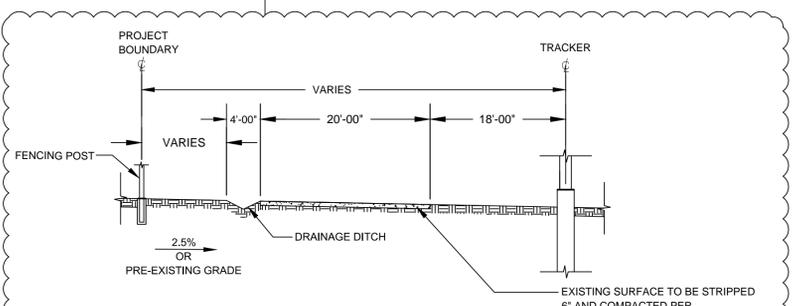
5 TYPICAL CROSS SECTION
SECONDARY ACCESS ROAD NTS



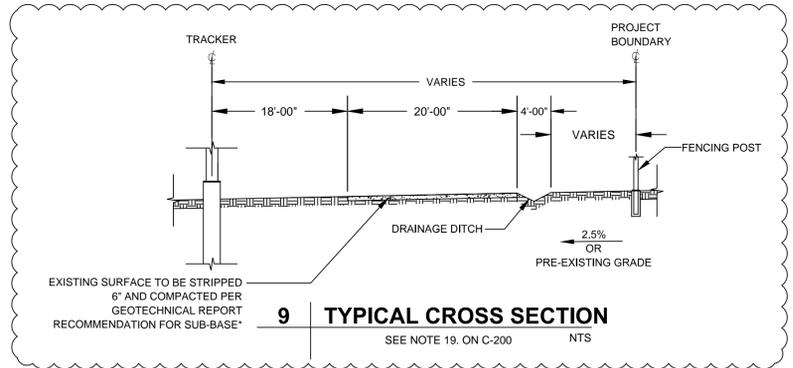
6 TYPICAL CROSS SECTION
EMERGENCY VEHICLE ACCESS NTS



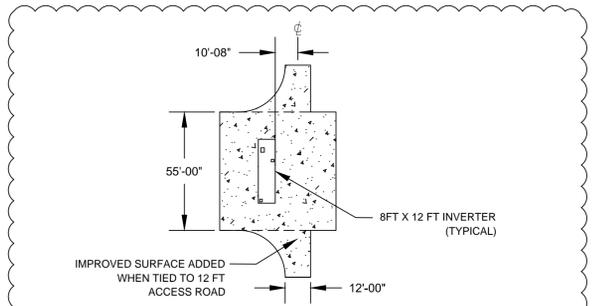
7 TYPICAL CROSS SECTION
EMERGENCY VEHICLE ACCESS NTS



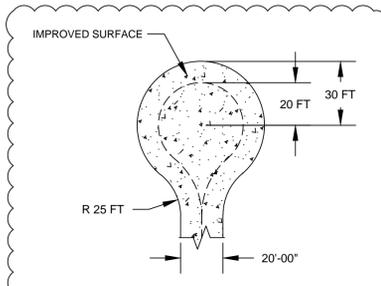
8 TYPICAL CROSS SECTION
COMMUNITY TRAIL NOT SHOWN NTS



9 TYPICAL CROSS SECTION
SEE NOTE 19. ON C-200 NTS



1 DETAIL - DECOMPOSED GRANITE PAD
SEE DETAIL 1 FOR MATERIAL COMPACTION NTS



2 DETAIL - TURNAROUND
NTS

FILE NAME: C:\USERS\OROCZOG\DESKTOP\SOITEC SOLAR PROJECT\TIERRA DEL SOL\GRADING\C-204-205-206_DETAILS.DWG LAST SAVED BY: OROZCOG PLOT DATE: 9/10/2014 4:00:47 PM

CLIENT

Soitec
Soitec Solar Development, LLC
4250 Executive Square, Suite 770
San Diego, CA 92037-9178

AECOM

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AECOM TECHNICAL SERVICES, INC
440 Stevens Avenue, Suite 250
Solana Beach, CA 98075
858.947.7144 tel 858.947.7145 fax
www.aecom.com

CONTACT INFORMATION

NAME: PAT BROWN
ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770
LA JOLLA, CA
TELEPHONE NUMBER: (858)652-4423
(24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00
SITE A.P.N. NUMBER: 658-090-54-00
SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905

GRADING ON ADJACENT PARCELS

LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED:

APN(s):

PROPERTY OWNER CERTIFICATION

I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:

OWNER'S SIGNATURE (REQUIRED): DATE:

DISTURBED AREA CALCS

PAD + SLOPES: SF
DRIVEWAY: SF
PRIMARY SEPTIC: SF
FIRE CLEARING: SF
TOTAL: SF
IF ≥ 1 AC, PROVIDE WDI# :

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER:
PARCEL MAP NUMBER:

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

NAME: Savas E. Kolanakaya DATE:
RCE NO: C 43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (510) 260-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR SYSTEM LLC

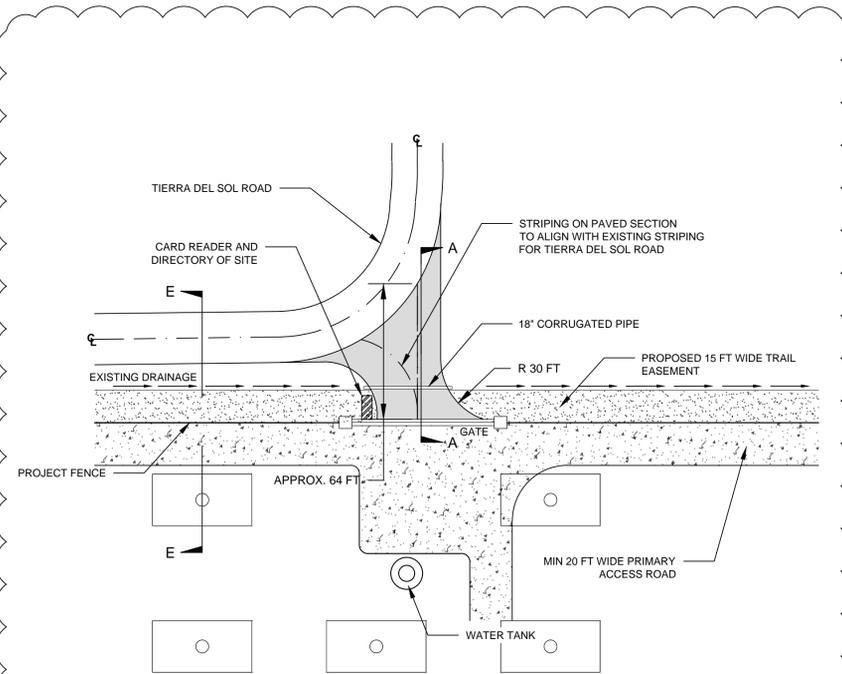
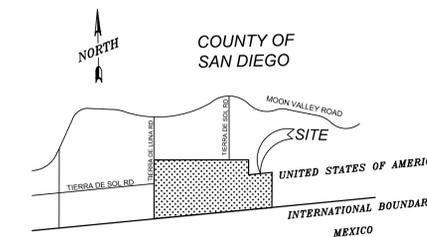
SHEET NUMBER: C-204 REV: 1 SHEET: 4 OF SHEETS: 6

APPROVED DIRECTOR OF PLANNING AND LAND USE: GRADING PERMIT NUMBER:

PRELIMINARY

DETAILS

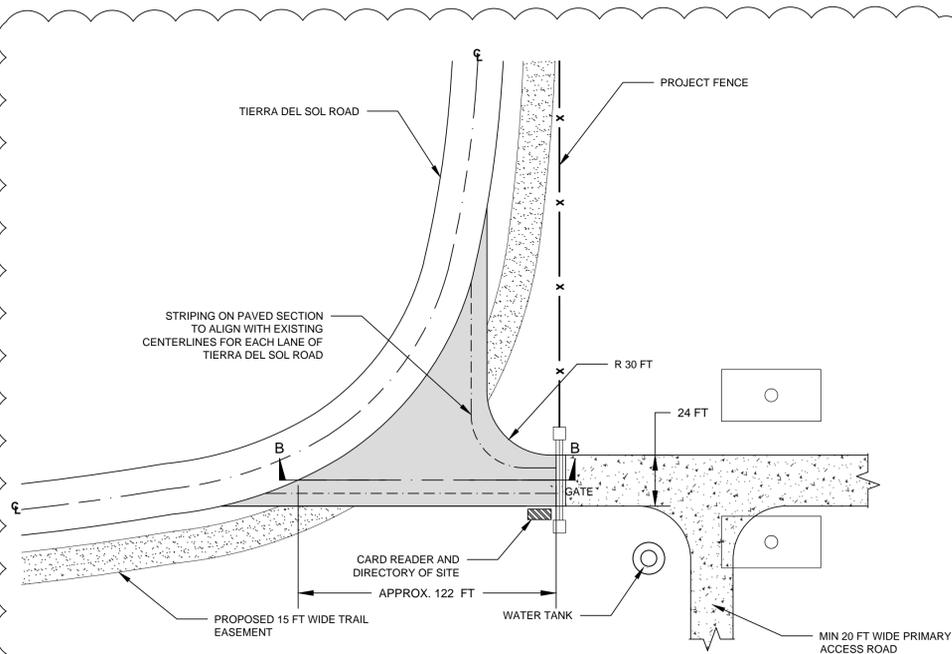
VICINITY MAP



3 | DETAIL DRIVEWAY ENTRANCE

NO EXISTING CURB ON TIERRA DEL SOL ROAD.
STORM WATER TO SHEET FLOW TO EXISTING DRAINAGE FEATURES.
DRIVEWAY WILL BE CONSTRUCTED PER DS-7 STANDARD.

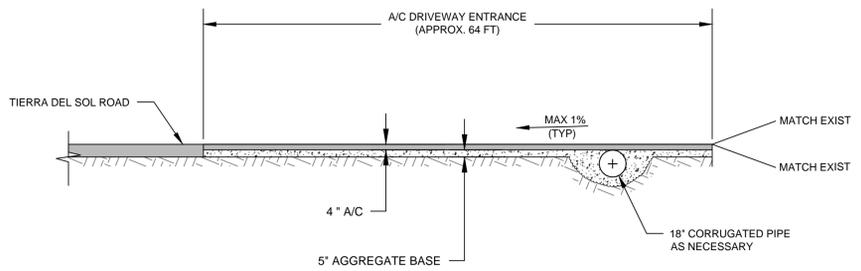
NTS



4 | DETAIL DRIVEWAY ENTRANCE

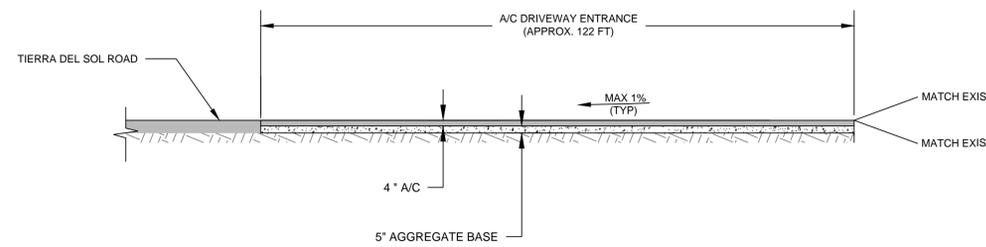
NO EXISTING CURB ON TIERRA DEL SOL ROAD.
STORM WATER TO SHEET FLOW TO EXISTING DRAINAGE FEATURES.
DRIVEWAY WILL BE CONSTRUCTED PER DS-7 STANDARD.

NTS



A | TYPICAL CROSS SECTION

NTS



B | TYPICAL CROSS SECTION

NTS

SIGHT DISTANCE:

"Physically, there is a minimum unobstructed sight distance in both directions along Tierra del Sol Road from the proposed access points, for the prevailing operating speed of traffic on Tierra del Sol Road" per Section 6.1 table 5 of the County Public Road Standards (approved March 2012)."

"The lines of sight fall within the existing right-of-way and a clear space easement is not required."

CLIENT

Soitec

Soitec Solar Development, LLC
4250 Executive Square, Suite 770
San Diego, CA 92037-9178

AECOM

AECOM
AECOM TECHNICAL SERVICES, INC
440 Stevens Avenue, Suite 250
Solana Beach, CA 98075
858.947.7144 tel 858.947.7145 fax
www.aecom.com

CONTACT INFORMATION

NAME: PAT BROWN
ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770
LA JOLLA, CA
TELEPHONE NUMBER: (858)652-4423
(24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00
SITE A.P.N. NUMBER: 658-090-54-00
SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905

GRADING ON ADJACENT PARCELS

LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED:

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OWNER'S SIGNATURE (REQUIRED): DATE:

DISTURBED AREA CALCS

PAD + SLOPES: SF
DRIVEWAY: SF
PRIMARY SEPTIC: SF
FIRE CLEARING: SF
TOTAL: SF
IF ≥ 1 AC, PROVIDE WDID# :

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER:
PARCEL MAP NUMBER:

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

NAME: Savas E. Kolankaya DATE:
RCE NO: C 43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (510) 260-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR SYSTEM LLC

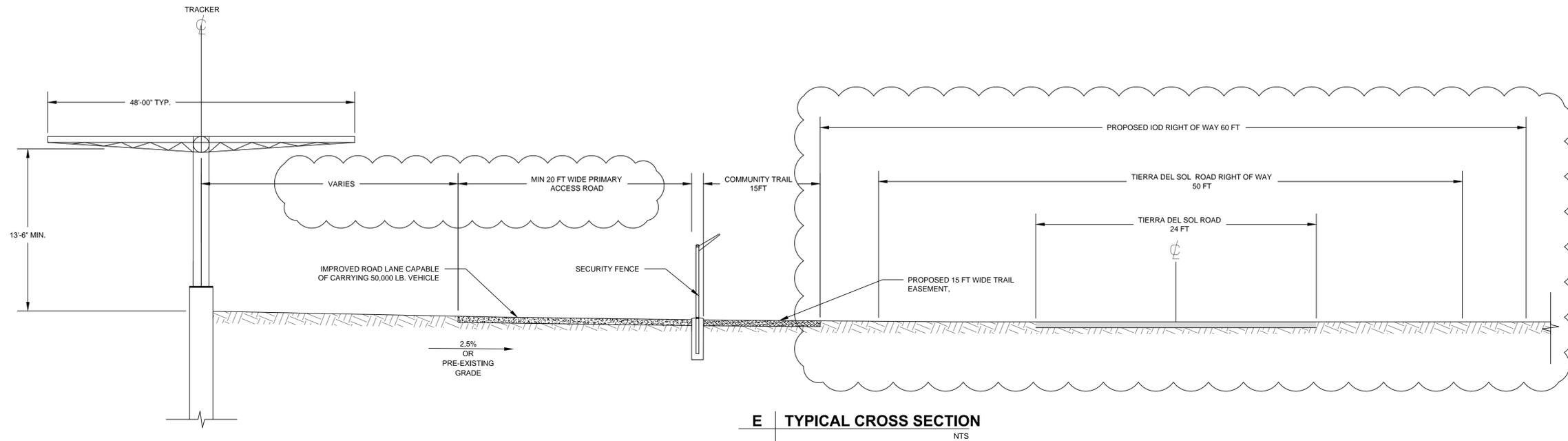
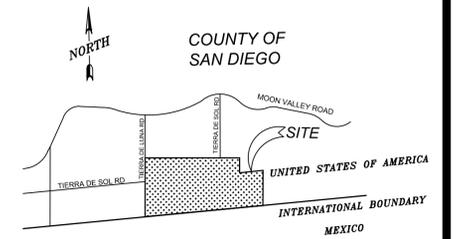
SHEET NUMBER: C-205 REV: 1 SHEET: 5 OF SHEETS: 6

APPROVED DIRECTOR OF PLANNING AND LAND USE: GRADING PERMIT NUMBER:
BY: DATE:

PRELIMINARY

DETAILS

VICINITY MAP



FILE NAME: C:\USERS\ORZOZCO\DESKTOP\SOITEC SOLAR PROJECT\TIERRA DEL SOL\GRADING\C-204-205-206_DETAILS.DWG LAST SAVED BY: ORZOZCO PLOT DATE: 9/10/2014 4:03:03 PM

CLIENT

Soitec
Soitec Solar Development, LLC
4250 Executive Square, Suite 770
San Diego, CA 92037-9178

AECOM
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AECOM TECHNICAL SERVICES, INC
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858.947.7144 tel 858.947.7145 fax
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CONTACT INFORMATION

NAME: PAT BROWN
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LA JOLLA, CA
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(24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00,
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OWNER'S SIGNATURE (REQUIRED): DATE:

DISTURBED AREA CALCS

PAD + SLOPES: SF
DRIVEWAY: SF
PRIMARY SEPTIC: SF
FIRE CLEARING: SF
TOTAL: SF
IF ≥ 1 AC, PROVIDE WDI#: SF

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER:
PARCEL MAP NUMBER:

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
NAME: Savas E. Kolankaya DATE:
RCE NO: C 43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (510) 260-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR SYSTEM LLC

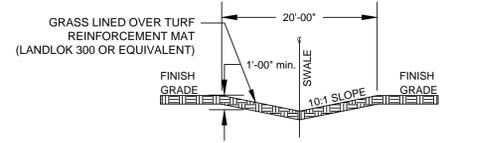
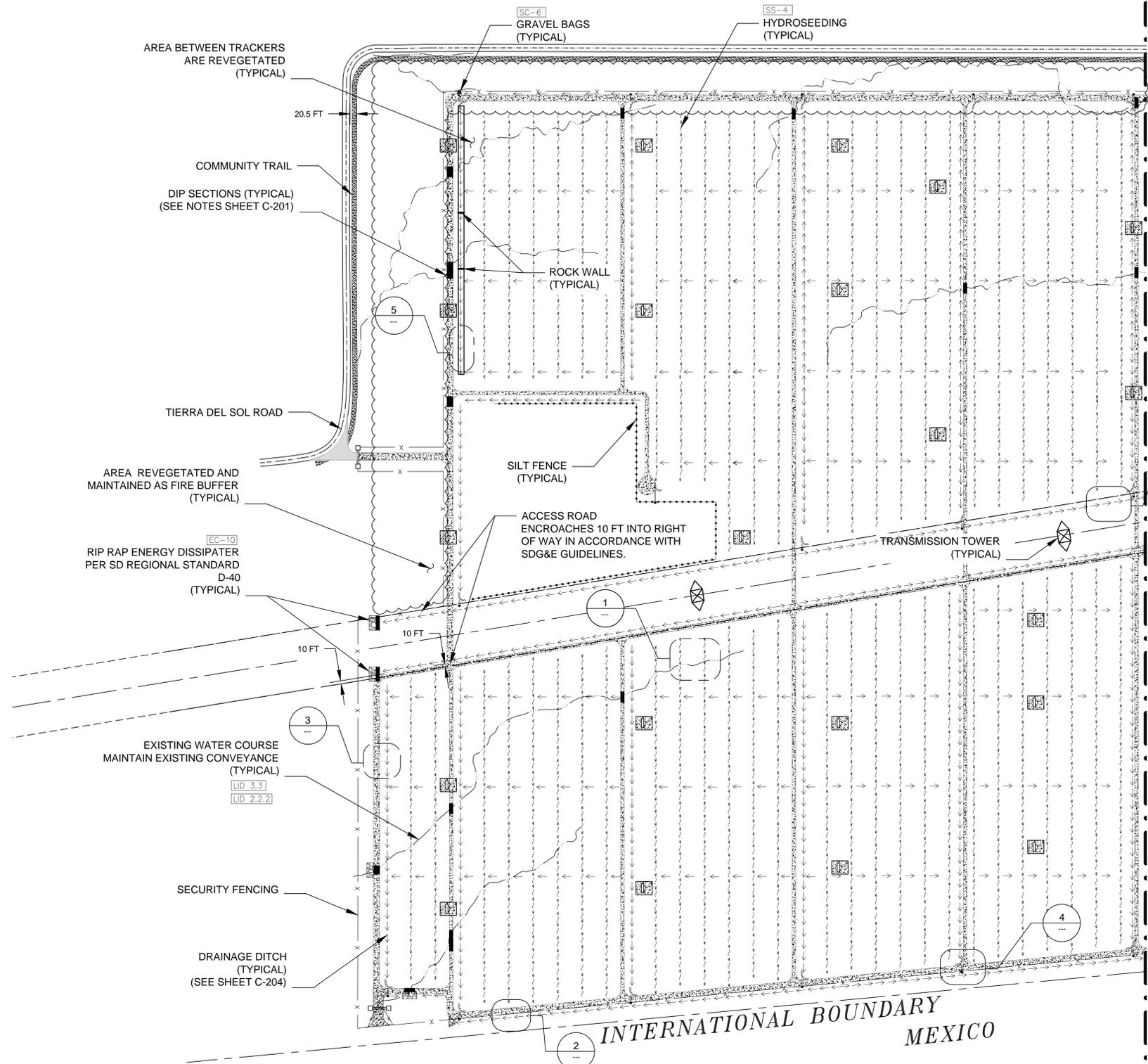
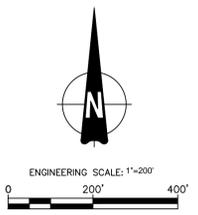
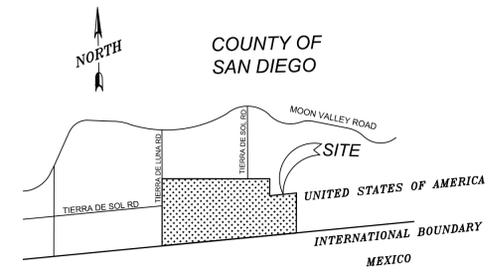
SHEET NUMBER: C-206 REV: 1 SHEET: 6 OF SHEETS: 6

APPROVED DIRECTOR OF PLANNING AND LAND USE: GRADING PERMIT NUMBER:
BY: DATE:

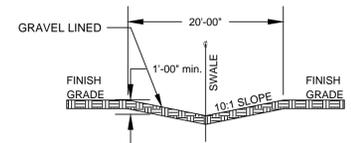
PRELIMINARY

PRELIMINARY DRAINAGE AND BMP PLAN

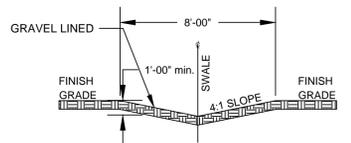
VICINITY MAP



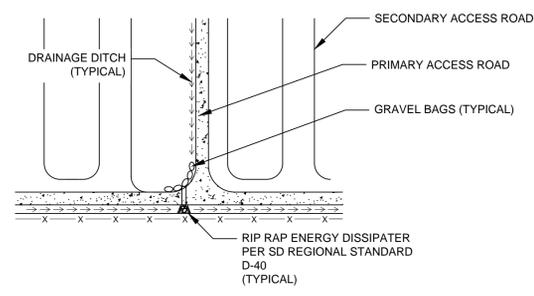
1 DETAIL - VEGETATED SWALE
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



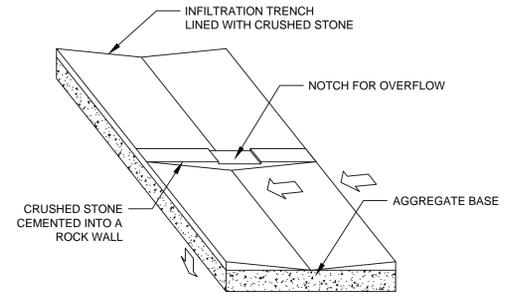
2 DETAIL - VEGETATED SWALE
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



3 DETAIL - VEGETATED SWALE
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



4 DETAIL - DIFFUSER
NTS



5 DETAIL - INFILTRATION TRENCH
NOTE 1: TRENCH FOR SETTLEMENT AND INFILTRATION
NOTE 2: DIMENSIONS FOR TRENCH VARY NTS

- LEGEND**
- SECURITY FENCING
 - EXISTING WATERCOURSE
 - SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS
 - ASPHALT CONCRETE PAVING
 - COMMUNITY TRAIL
 - GATE:
- BMP LEGEND**
- DIRECTION OF LOT DRAINAGE
 - TEMPORARY RUNOFF CONTROL BMPs
 - SS-4 HYDROSEEDING (SUMMER)
 - SS-10 ENERGY DISSIPATOR
 - SC-1 SILT FENCE
 - SC-6 / SC-8 GRAVEL OR SAND BAGS
 - PERMANENT BMPs
 - SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
 - EC-10 OUTLET PROTECTION
 - LOW IMPACT DEVELOPMENT BMPs
 - LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
 - LID 2.2.4 MINIMIZE SOIL COMPACTION
 - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS

CLIENT

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OWNER'S SIGNATURE (REQUIRED): DATE:

DISTURBED AREA CALCS

PAD + SLOPES: 1,345,313 SF
DRIVEWAY: 15,145 SF
COMMUNITY TRAIL: 43,550 SF
FIRE CLEARING: 15,625,095 SF
TOTAL: 17,029,103 SF

IF ≥ 1 AC, PROVIDE WDIID#:

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER:
PARCEL MAP NUMBER:

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

NAME: Savas E. Kolankaya DATE:
RCE NO: C 43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (510) 260-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

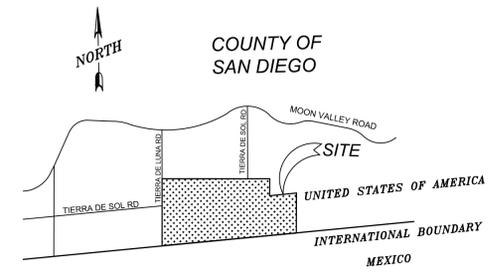
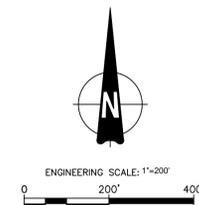
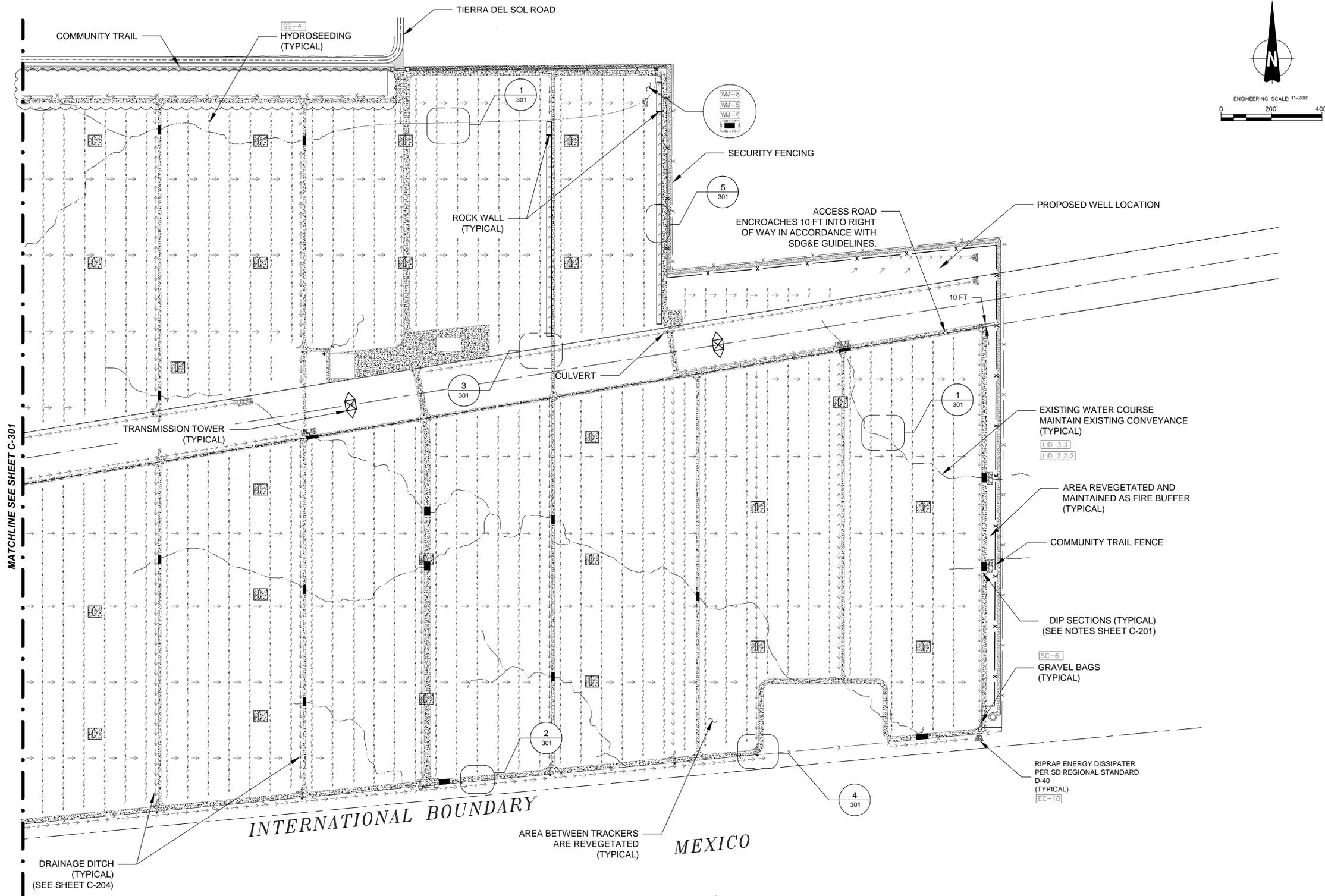
PRELIMINARY DRAINAGE PLAN FOR:
TIERRA DEL SOL SOLAR SYSTEM LLC

SHEET NUMBER: C-301 REV: 2 SHEET: 1 OF SHEETS: 2

APPROVED DIRECTOR OF PLANNING AND LAND USE: GRADING PERMIT NUMBER:

PRELIMINARY DRAINAGE AND BMP PLAN

VICINITY MAP



- ### LEGEND
- SECURITY FENCING: X-X-X
 - EXISTING WATERCOURSE: ---
 - NEW WATERCOURSE: - - -
 - SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS: [Pattern]
 - ASPHALT CONCRETE PAVING: [Pattern]
 - COMMUNITY TRAIL: [Pattern]
 - GATE: [Symbol]
- ### BMP LEGEND
- DIRECTION OF LOT DRAINAGE: → →
- #### MATERIALS & WASTE MANAGEMENT CONTROL BMPs
- WM-8 PORTABLE CONCRETE WASTE MANAGEMENT
 - WM-9 SOLID WASTE MANAGEMENT
 - WM-9 SANITARY WASTE MANAGEMENT
- #### TEMPORARY RUNOFF CONTROL BMPs
- SS-4 HYDROSEEDING (SUMMER) TSP-TSP
 - SS-10 ENERGY DISSIPATOR [Pattern]
 - SC-1 SILT FENCE [Symbol]
 - SC-6 / SC-8 GRAVEL OR SAND BAGS [Symbol]
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- #### PERMANENT BMPs
- SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
 - EC-10 OUTLET PROTECTION
- #### LOW IMPACT DEVELOPMENT BMPs
- LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
 - LID 2.2.4 MINIMIZE SOIL COMPACTION
 - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS

MATCHLINE SEE SHEET C-301

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	AECOM AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	CONTACT INFORMATION NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (858)652-4423 (24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A.P.N. NUMBER: SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED: APN(s): PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES: OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____	DISTURBED AREA CALCS PAD + SLOPES: 1,345,313 SF DRIVEWAY: 15,145 SF COMMUNITY TRAIL: 43,550 SF FIRE CLEARING: 15,625,095 SF TOTAL: 17,029,103 SF IF ≥1 AC, PROVIDE WIDID#: _____	PLAN CHECK/PERMITS BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolankaya DATE: _____ RCE NO: C 43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR: TIERRA DEL SOL SOLAR SYSTEM LLC SHEET NUMBER: C-302 REV: 2 SHEET: 2 OF SHEETS: 2 APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ BY: _____ DATE: _____
		MATCHLINE SEE SHEET C-204				