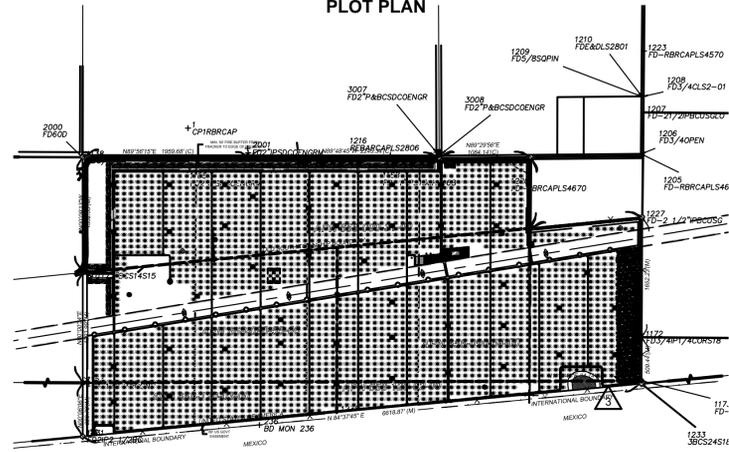


TIERRA DEL SOL LLC SOLAR SYSTEM

TIERRA DEL SOL SOLAR PROJECT PLOT PLAN



GENERAL NOTES:

1. Each tracker assembly is approximately 48 FT wide with a maximum constructed height of 30 FT and spaced approximately 69 FT North to South; 82 FT East to West.
2. Entrance to each gate will be from an improved driveway that shall be designed in accordance with the attached details on C-103 and equipped with an emergency key-operated override switch.
3. At no point does the change of grade, along the primary access road exceed 10%.
4. Detailed cross sections of the roads are provided on the preliminary grading plan.
5. All compaction requirements are listed on the preliminary grading plan.
6. Turnaround shall be designed in accordance with County of San Diego Design Standard DS-06 for a county emergency fire apparatus.
7. The project site is not located in a designated flood plain, therefore lines of inundation are not shown.
8. Temporary and Permanent BMPs are shown on the preliminary grading plan.
9. All coordinates shown are state plane coordinates based on CCS83, Zone 6 (2007.00 Epoch).
10. All dimensions are shown in Decimal Feet.
11. Solar related facilities (panels, electrical connections, transformer / inverter platform, emergency generator, fencing, internal access and switchgear platform, etc.) shown on the plot plan maybe relocated, reconfigured, and / or resized within the solar facility development area (exclusive of any open space areas & undeveloped (future development areas)) with the administrative approval of the director of PDS when found in conformance with the intent and conditions of permit's approval. Transformer / Inverter / Generator size, locations, brand, electrical size can be relocated, replaced or reconfigured without requirement of minor deviation.
12. Areas designated as "SPECIAL FUEL MODIFICATION ZONES" are to be cleared of existing vegetation, then covered with landscaping fabric and weighted down using a surfacing material of crushed stone.
13. Along the length of the perimeter fencing, every 750 feet a pedestrian gate will be located that is 3 feet wide and padlocked with a chain and fire key.
14. Roads moved per fire department.
15. Surveillance cameras will be installed and determined location will be on building plans.

ABBREVIATIONS:

- AC Alternating Current
- ADT Average Daily Trips
- BB Building Block
- BMP Best Management Practice
- CCS California Coordinate System
- CEQA California Environmental Quality Act
- CPV Concentrating Photovoltaic
- CFA County Fire Authority
- DEH Department of Environmental Health
- PDS County of San Diego, Planning and Development Services
- EIR Environmental Impact Report
- EOP Edge of Pavement
- FT Feet
- IOD Irrevocable Offer of Dedication
- kV kilovolt
- kW kilowatts
- MAX Maximum
- MOU Memorandum of Understanding
- MPA Major Use Permit Application
- MUP Major Use Permit
- MW Megawatts
- NTS Not to Scale
- PL Property Lines
- QTY Quantity
- RL Rural Land
- ROW Right of Way
- RPO Resource Protection Ordinance

SHEET INDEX

- C-100 LEGEND, SYMBOLS, ABBREVIATIONS & NOTES
- C-101 PLOT PLAN
- C-102 EASEMENT PLAN
- C-103 ROAD DETAILS
- C-104 ROAD DETAILS
- C-130 1.36 / 2.0 MW INVERTER BOX DESIGN
- C-131 O&M BUILDING
- C-132 FENCE ELEVATION DETAIL
- C-133 TRACKER ELEVATION DETAIL
- C-134 WATER TANK ELEVATION DETAIL
- C-135 LANDSCAPE SCREEN ELEVATION DETAIL
- C-401 GEN-TIE PLOT PLAN NORTH SIDE
- C-402 GEN-TIE PLOT PLAN SOUTH SIDE
- C-405 GEN-TIE POLE & TRENCH DETAIL

RESERVED FOR COUNTY STAMPS



DESIGNER
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Solana Beach, CA 98075
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CLIENT



PARCEL ZONING SETBACK SCHEDULE

APN	SETBACK SCHEDULE DESIGNATION
658-090-31	D
658-090-55	D
658-120-03	D
658-090-54	D
658-120-02	D

* THIS PLAN IS EXEMPT FROM THE SETBACK SCHEDULE PURSUANT TO ZONING ORDINANCE 4813

COVERAGE TABLE

UNIT	# UNITS	ACRES / UNIT
TRACKER	2499	0.026
INVERTER	45	0.005
O&M	1	0.172
SUBSTATION	1	0.126
TOTAL ACRES =		65

VICINITY MAP



OWNER INFORMATION

NAME: Brown Family Trust, Brown & Reynolds Trust
ADDRESS: 1116 W. 7th Street PMB 158
CITY: Columbia
STATE: TN
ZIP: 38401
PHONE:
FAX:
EMAIL:

CONTACT INFORMATION

NAME: Pat Brown
ADDRESS: 16550 Via Esprillo
CITY: San Diego
STATE: CA
ZIP: 92127
PHONE: (858) 748-9000
FAX:
EMAIL: patrick.brown@soitec.com

PARCEL INFORMATION

APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400
SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGNER SIGNATURE REQUIRED DATE

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No. of Inverter Skids: 45
Total Lot Size (Acres): Approx. 420
Estimated Disturbed Acreage: 391
Coverage Ratio Range: 0.4 - 16.7%

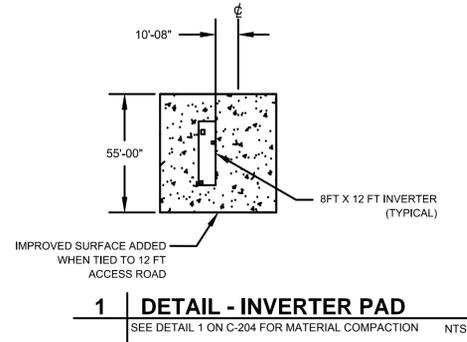
SHEET TITLE

**LEGEND, SYMBOLS
ABBREVIATIONS
& NOTES**

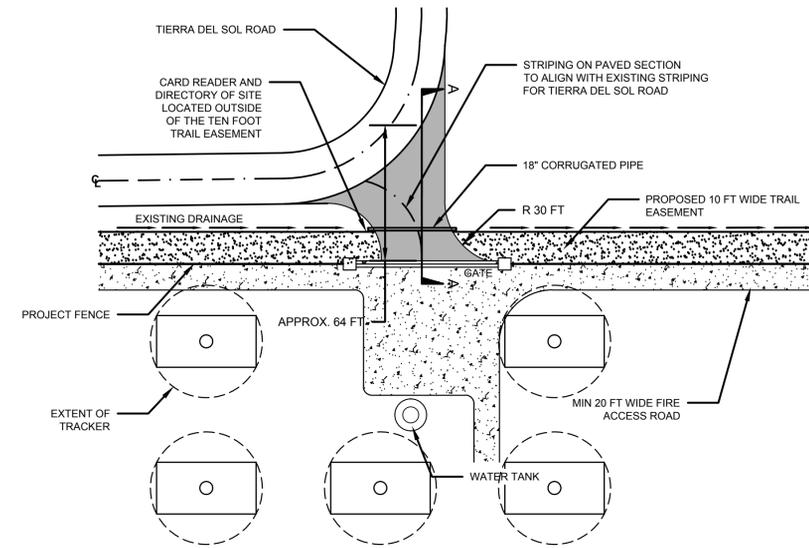
SHEET NUMBER	REV.
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C-100	1
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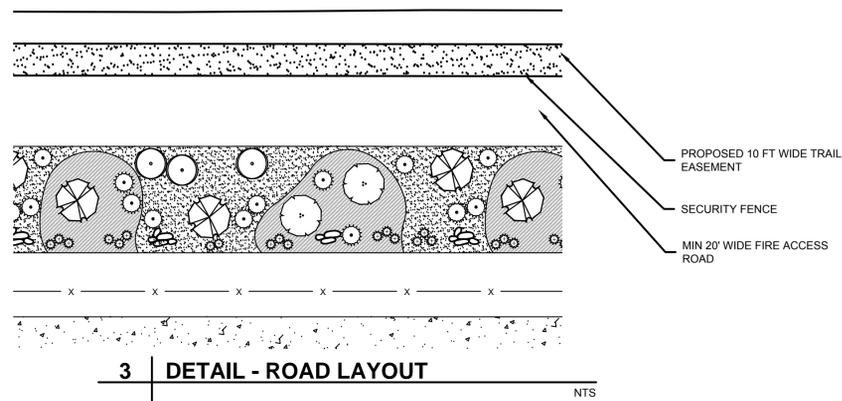
SDC PDS RCVD 12-15-14



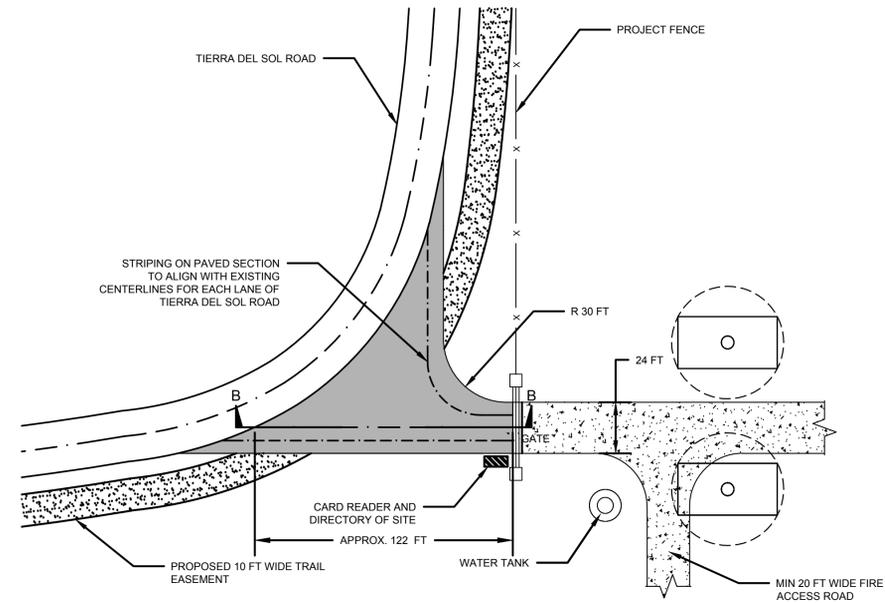
1 | DETAIL - INVERTER PAD
SEE DETAIL 1 ON C-204 FOR MATERIAL COMPACTION NTS



4 | DETAIL DRIVEWAY ENTRANCE
NO EXISTING CURB ON TIERRA DEL SOL ROAD. STORM WATER TO SHEET FLOW TO EXISTING DRAINAGE FEATURES. DRIVEWAY WILL BE CONSTRUCTED PER DS-7 STANDARD. NTS

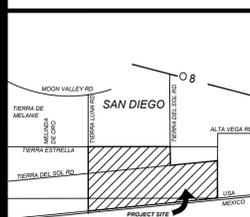


3 | DETAIL - ROAD LAYOUT
NTS



5 | DETAIL DRIVEWAY ENTRANCE
NO EXISTING CURB ON TIERRA DEL SOL ROAD. STORM WATER TO SHEET FLOW TO EXISTING DRAINAGE FEATURES. DRIVEWAY WILL BE CONSTRUCTED PER DS-7 STANDARD. NTS

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PHONE: (858) 746-9000
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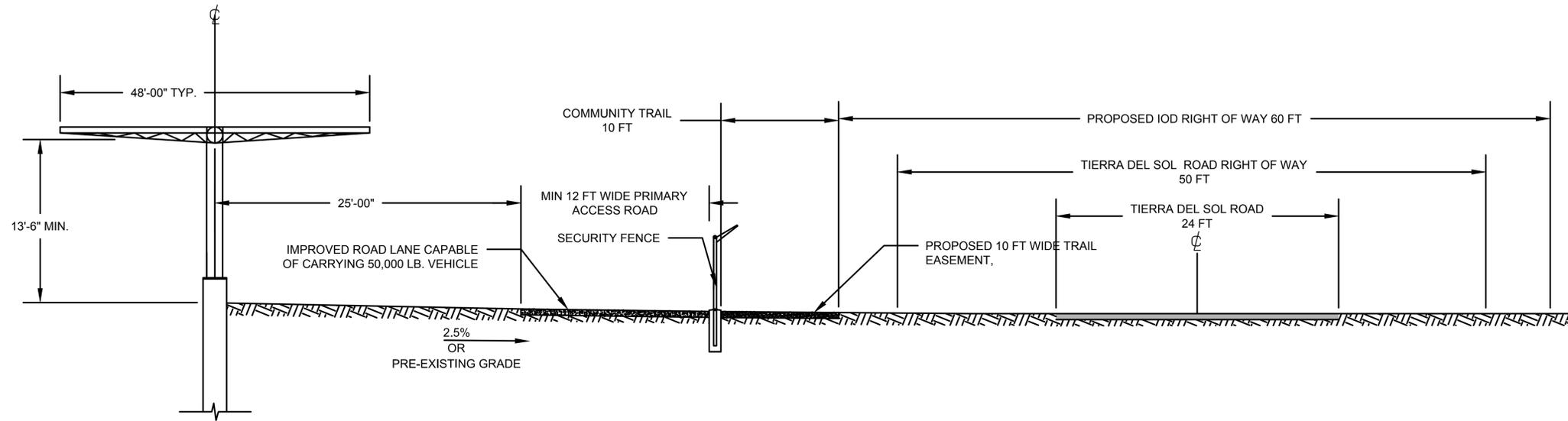
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SHEET TITLE

ROAD DETAILS	
SHEET NUMBER	REV.
C-103	1



6 | TYPICAL CROSS SECTION
NTS

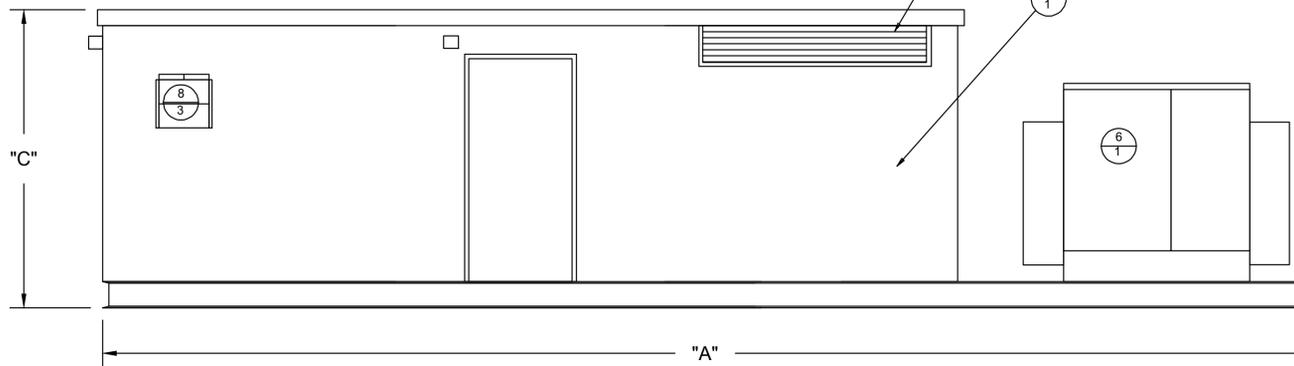
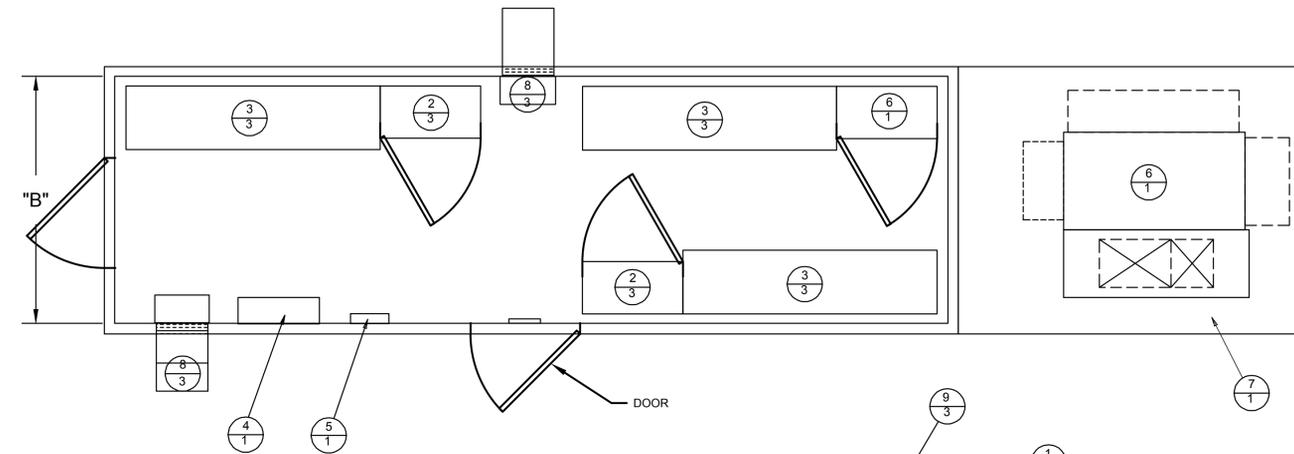
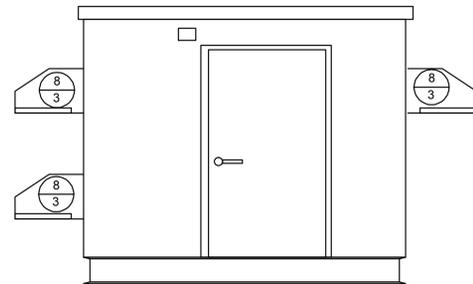
AECOM

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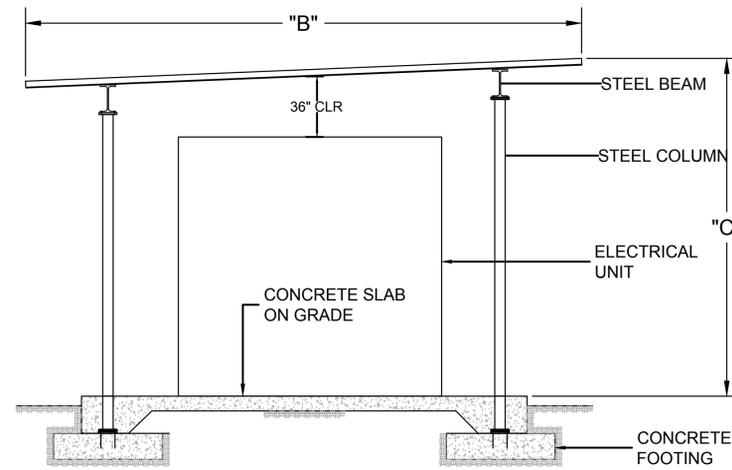
CLIENT
Soitec
Soitec Solar Development, LLC
16550 Via Esprillo
San Diego, CA 92127

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE
	NAME: Brown Family Trust, Brown & Reynolds Trust ADDRESS: 1116 W. 7th Street PMB 158 CITY: Columbia STATE: TN ZIP: 38401 PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400 SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905	<p>EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.</p> <p>PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.</p>	<p>CPV System Summary</p> Approx. Number of Trackers: 2499 No. of Inverter Skids: 45 Total Lot Size (Acres): Approx. 420 Estimated Disturbed Acreage: 391 Coverage Ratio Range: 0.4 - 16.7%	ROAD DETAILS
	C-104	0	DESIGNER SIGNATURE REQUIRED	DATE		

REV	ITEM	QTY	DESCRIPTION
	1	1	PRECAST SHELTER
	2		PRIMARY RE-COMBINER BOX, 16 X 150A MCCC (QTY OF 2 OR 3)
	3		XC 680 INVERTER (QTY OF 2 OR 3)
	4	1	SCADA
	5	1	POWER PANEL
	6	1	TRANSFORMER
	7	1	STEEL SKID
	8	3	INTAKE AIR FANS
	9	3	EXHAUST LOUVERS



INVERTER DIMENSION			
INVERTER RATING (MW)	DIMENSION (FT)		
	"A"	"B"	"C"
1.36	25	10	12
2.00	40	10	12

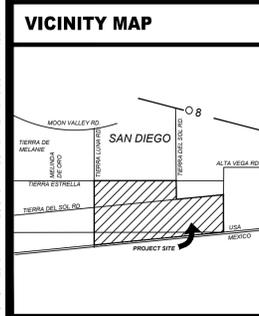


- OPEN INVERTER ON SKID WITH SUN SHADE
Scale: NA

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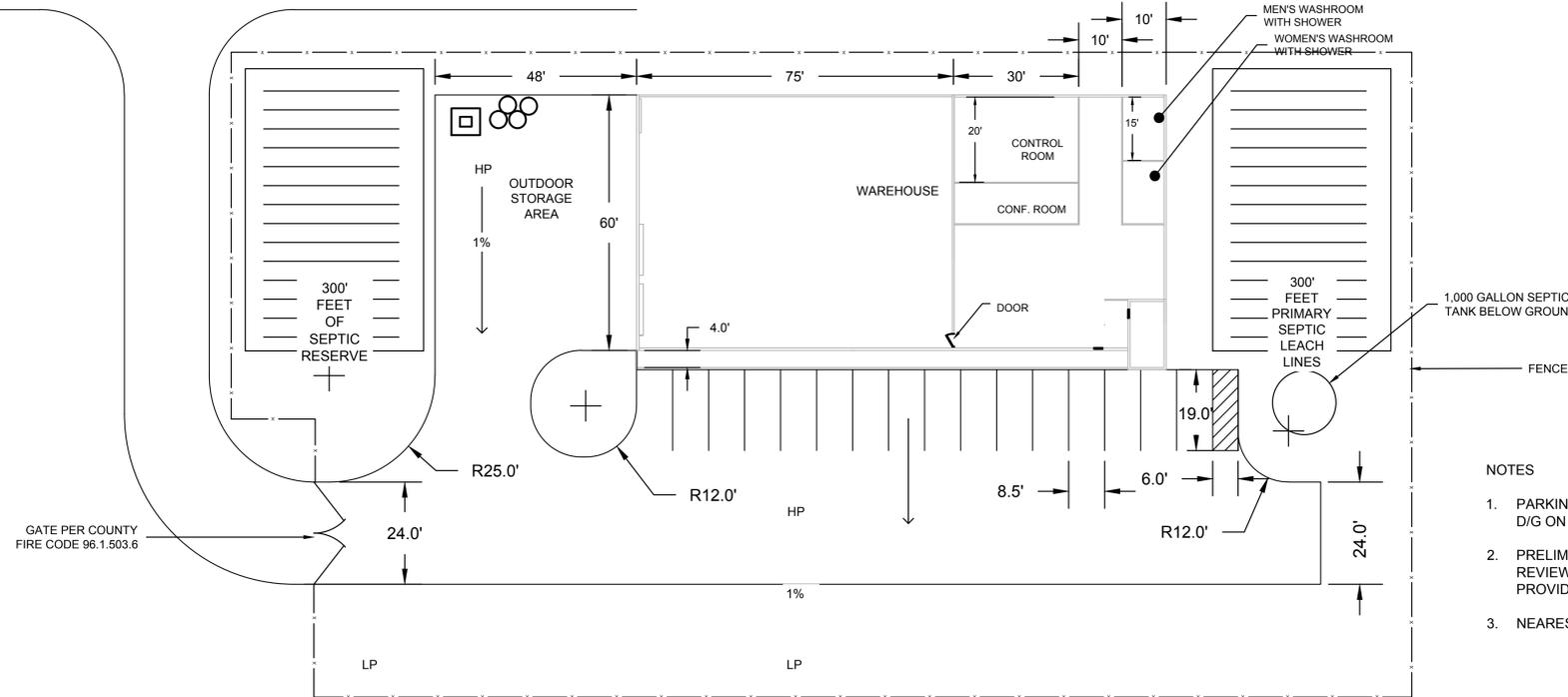
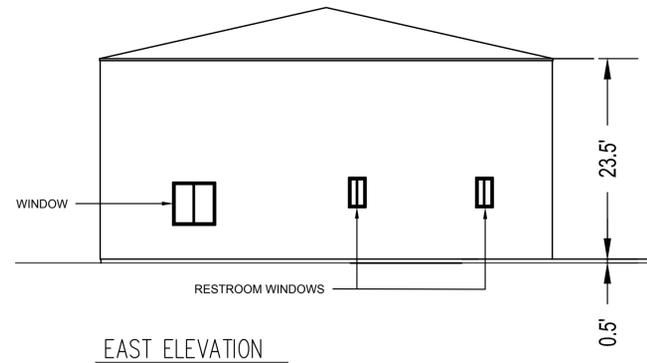
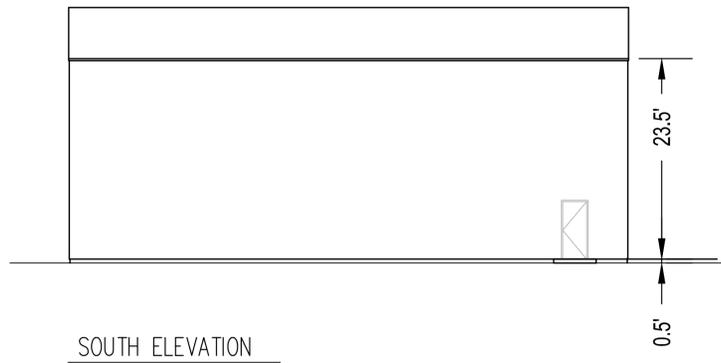
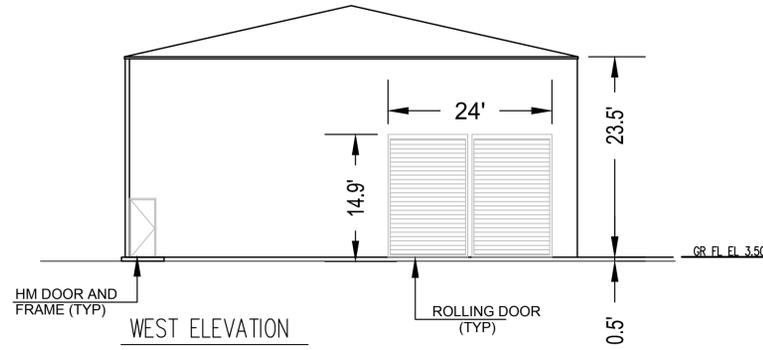
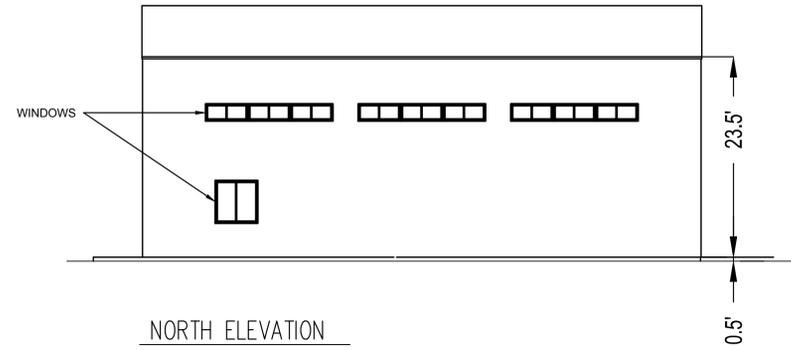
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SHEET NUMBER	REV.
C-130	1



NOTES

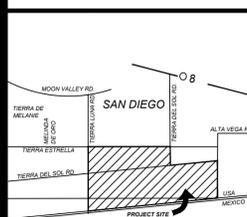
1. PARKING LOT WILL BE AN IMPROVED SURFACE OF 6" D/G ON EXISTING SOIL.
2. PRELIMINARY SEPTIC DESIGN IS FOR DISCRETIONARY REVIEW ONLY. FINAL SEPTIC LAYOUT DESIGN WILL BE PROVIDED WITH BUILDING PLANS.
3. NEAREST WELL IS 800 FT FROM SEPTIC SYSTEM.

DESIGNER
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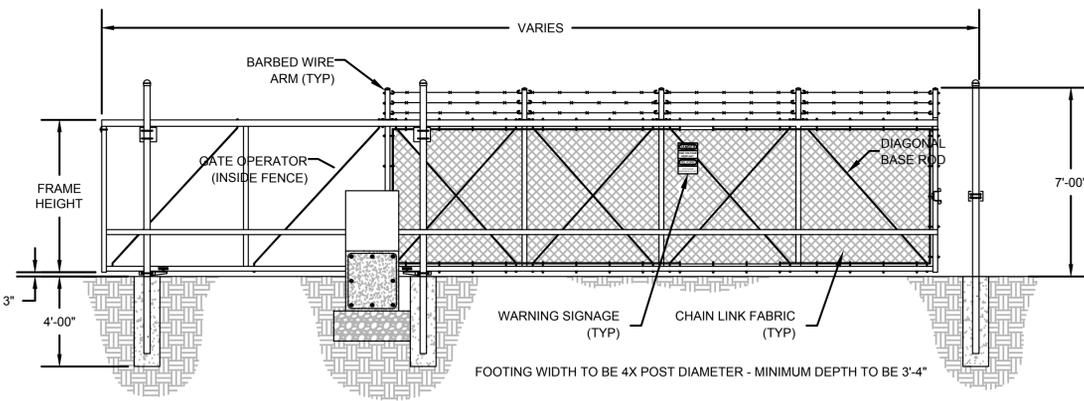
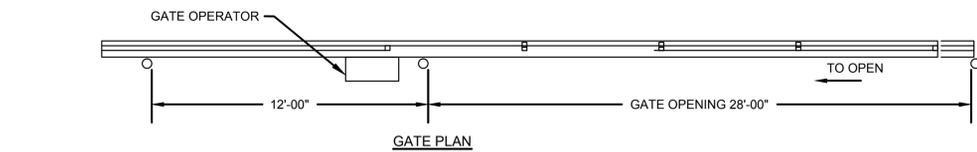
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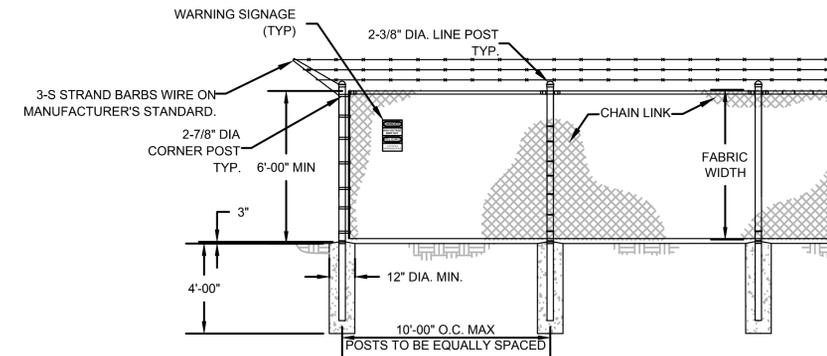
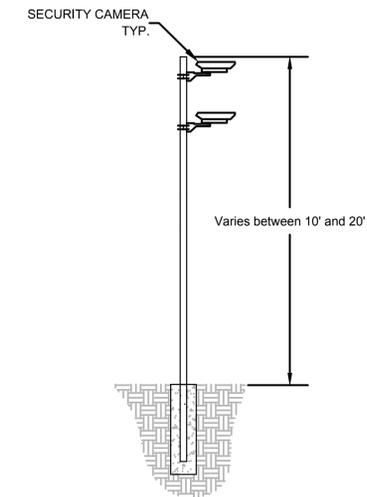
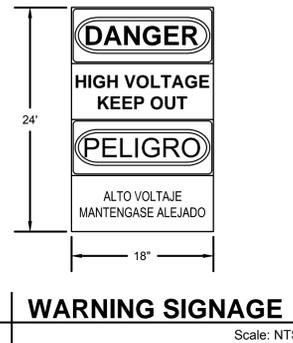
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SHEET TITLE

O & M BUILDING	
SHEET NUMBER	REV.
C-131	1

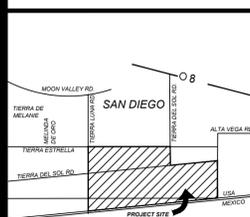


* 4" DIAMETER POST FOR GATE LEAF LENGTH 35'-0" AND LESS



- FENCE NOTES:**
1. CHAIN LINK SHALL BE 2" MESH NO.9 GAGE WERE SECURITY FASTED TO LINE POSTS AND RAILS.WIRE FASTENERS AND THE CLIPS SHALL BE NO.11 GAGE
 2. WIRE CONCRETE FOOTINGS SHALL HAVE TOPS CROWNED AT GROUND LEVEL.
 3. CHAIN LINK FENCE TO BE FITTED WITH UV- RESISTANT MESH FABRIC, COLOR PER CUSTOMER REQUEST.
 4. ELECTRICAL SAFETY SIGNAGE TO BE PLACED ALONG PERIMETER.

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APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400
SITE ADDRESS:
796 Tierra del Sol Road,
Boulevard, CA 91905

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGNER SIGNATURE REQUIRED DATE

PROJECT INFORMATION

EXISTING:
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PROPOSED:
Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.

PLOT PLAN INFORMATION

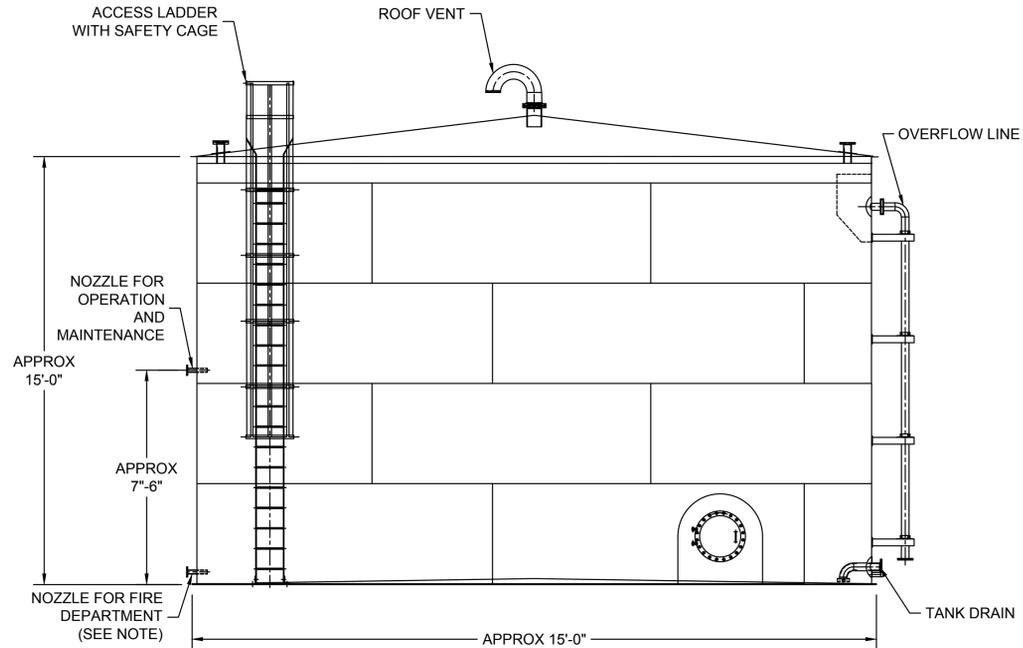
CPV System Summary

Approx. Number of Trackers:	2499
No. of Inverter Skids:	45
Total Lot Size (Acres):	Approx. 420
Estimated Disturbed Acreage:	391
Coverage Ratio Range:	0.4 - 16.7%

SHEET TITLE

**FENCE ELEVATION
DETAIL**

SHEET NUMBER	REV.
C-132	1

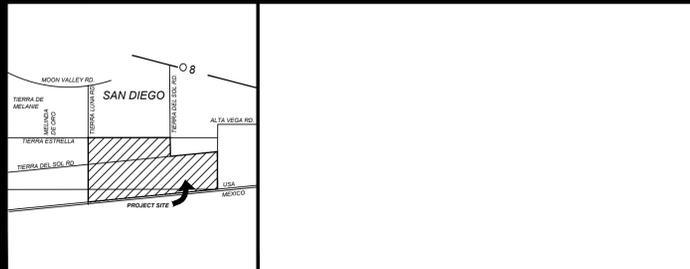


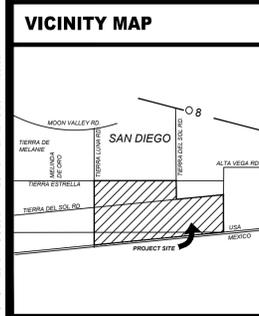
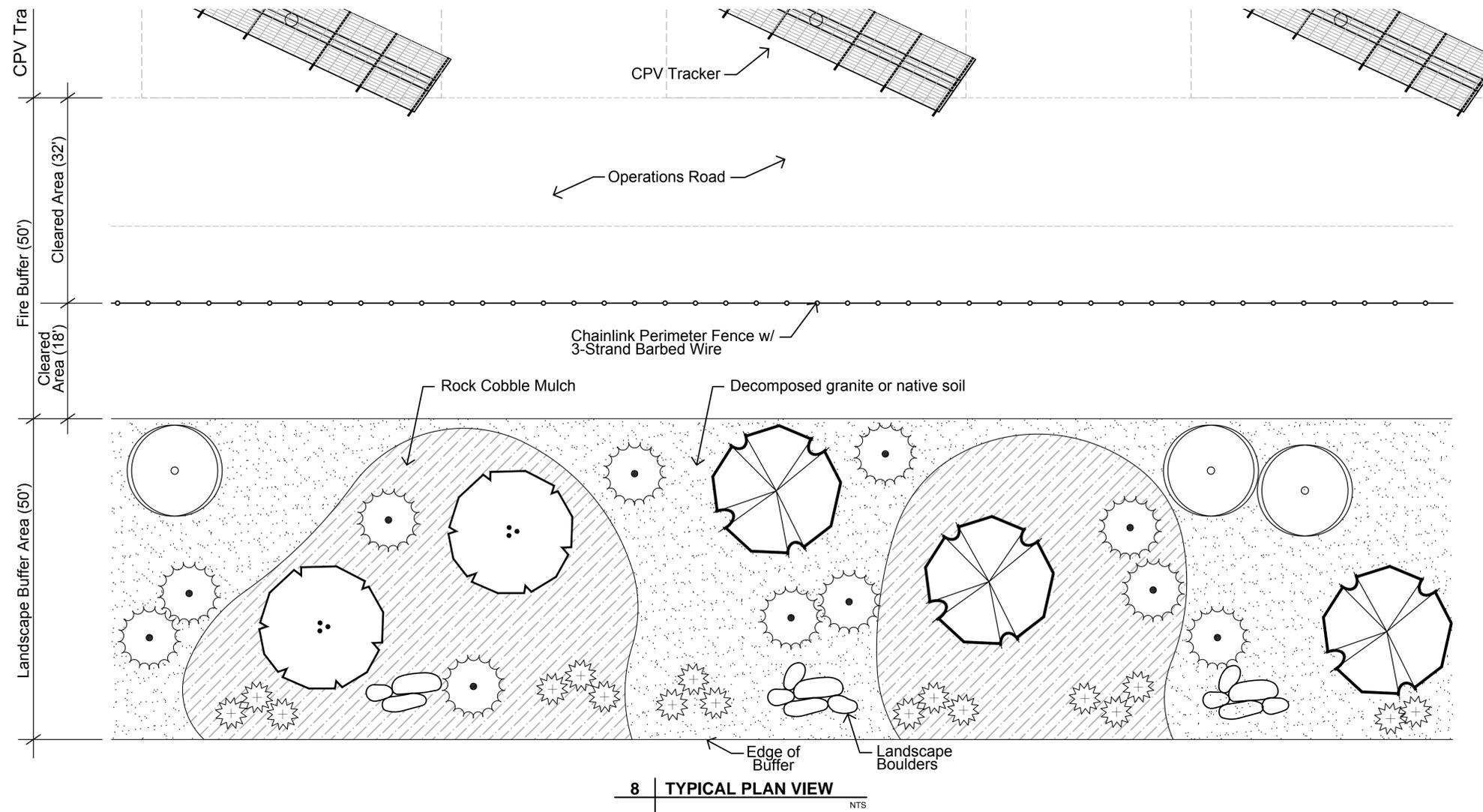
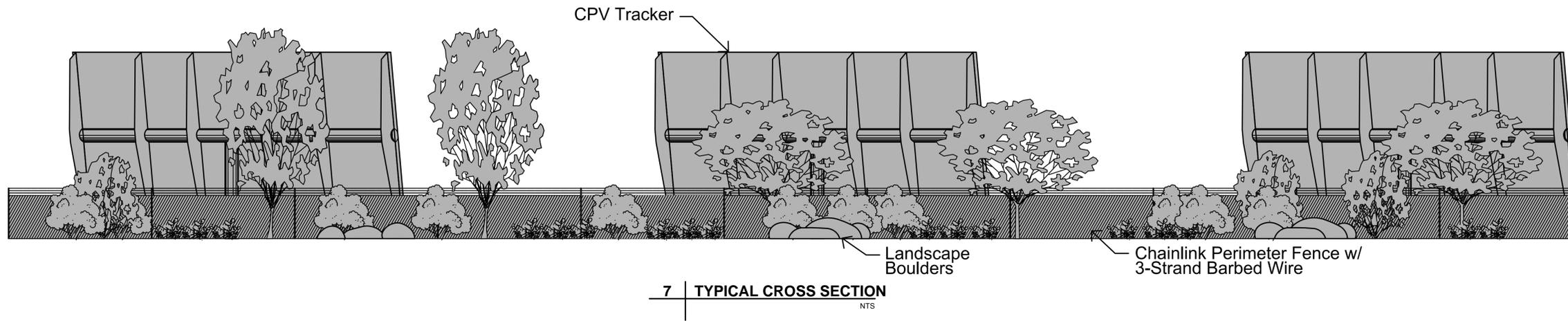
NOTE:

IN ACCORDANCE WITH SECTION 507.2.2 IN TITLE 9, DIVISION 6, CHAPTER 1 OF THE SAN DIEGO COUNTY CODE:

1. THE SUPPLY OUTLET SHALL BE AT EAST 4 INCHES IN DIAMETER FROM THE BASE OF THE TANK TO THE POINT OF OUTLET AT THE FIRE DEPARTMENT CONNECTION. THE FIRE DEPARTMENT CONNECTION SHALL BE AT LEAST ONE 4-INCH NATIONAL STANDARD THREAD (MALE), REDUCE TO ONE 2½ INCH NATIONAL STANDARD THREAD (MALE). ADDITIONAL OUTLETS MAY BE REQUIRED.
2. THE LOCATION OF THE FIRE DEPARTMENT OUTLET TO BE DETERMINED ON THE PLOT PLAN WHEN SUBMITTED TO THE FIRE DEPARTMENT. CONSIDERATION WILL BE GIVEN TO TOPOGRAPHY, ELEVATIONS, AND DISTANCE FROM STRUCTURES, DRIVEWAY ACCESS, PREVAILING WINDS, ETC.
3. THE OUTLET SHALL BE LOCATED ADJACENT TO THE FIRE ACCESS ROAD.

1 | DETAIL - WATER TANK
 Scale: NTS

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: Brown Family Trust, Brown & Reynolds Trust ADDRESS: 1116 W. 7th Street PMB 158 CITY: Columbia STATE: TN ZIP: 38401 PHONE: FAX: EMAIL:</p>	<p>NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com</p>	<p>APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400 SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED DATE</p>	<p>EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.</p> <p>PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.</p>	<p>CPV System Summary</p> <p>Approx. Number of Trackers: 2499 No. of Inverter Skids: 45 Total Lot Size (Acres): Approx. 420 Estimated Disturbed Acreage: 391 Coverage Ratio Range: 0.4 - 16.7%</p>	<p style="text-align: center;">WATER TANK</p> <table border="1" style="width: 100%;"> <tr> <th style="width: 50%;">SHEET NUMBER</th> <th style="width: 50%;">REV.</th> </tr> <tr> <td style="text-align: center;">C-134</td> <td style="text-align: center;">1</td> </tr> </table>	SHEET NUMBER	REV.	C-134	1
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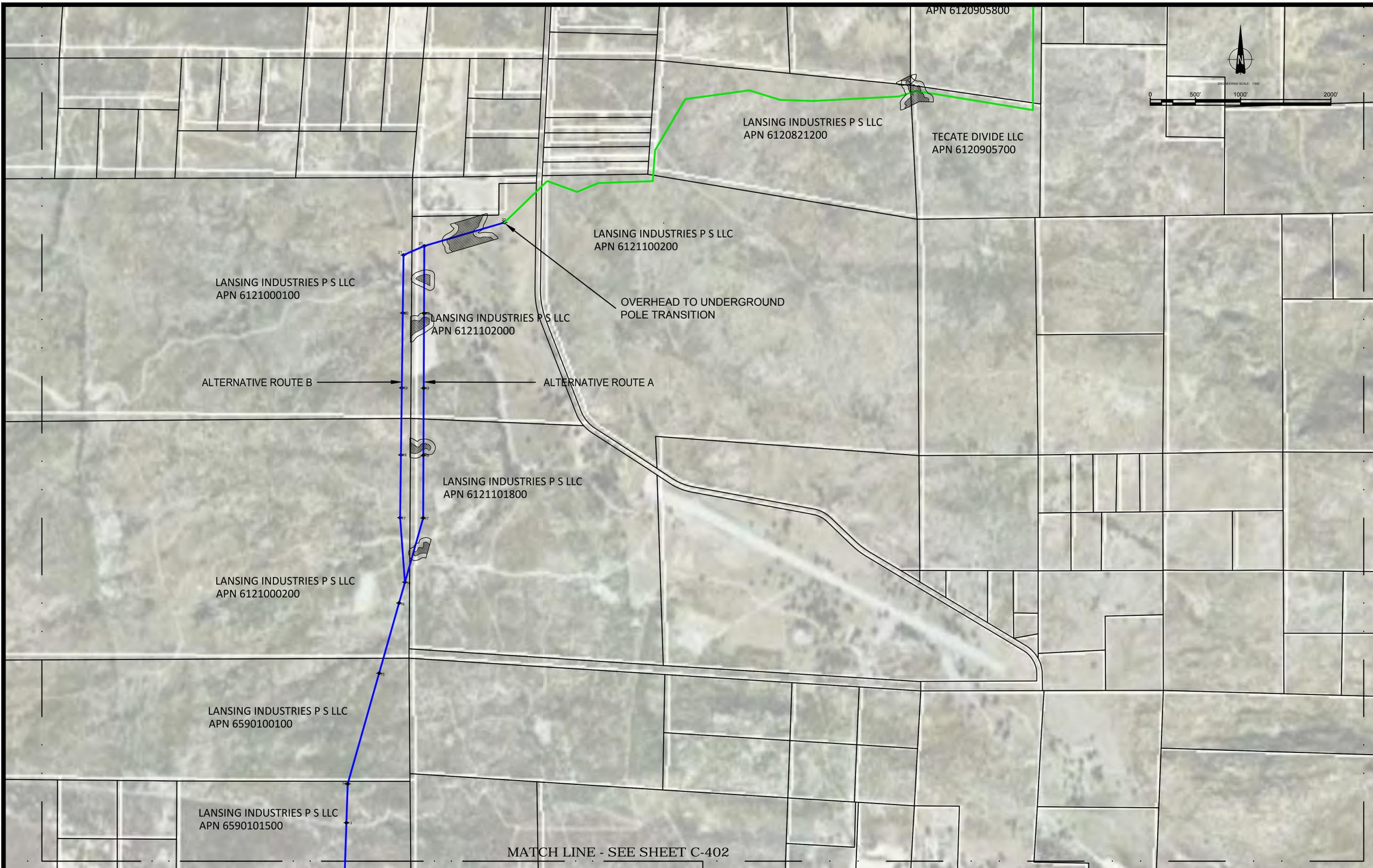
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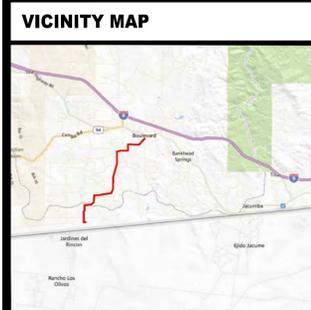


DESIGNER
AECOM
 AECOM TECHNICAL SERVICES, INC
 440 Stevens Avenue, Suite 250
 Solana Beach, CA 98075
 858.947.7144 tel 858.947.7145 fax
 www.aecom.com

CLIENT

Soitec Solar Development, LLC
 16550 Via Esprillo
 San Diego, CA 92127

LEGEND:
 GEN-TIE ABOVE GROUND
 GEN-TIE BELOW GROUND
 APPROXIMATE POLE LOCATIONS



VICINITY MAP	
[Map showing project location]	

OWNER INFORMATION	
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ADDRESS:	1116 W. 7th Street PMB 158
CITY:	Columbia
STATE:	TN
ZIP:	38401
PHONE:	
FAX:	
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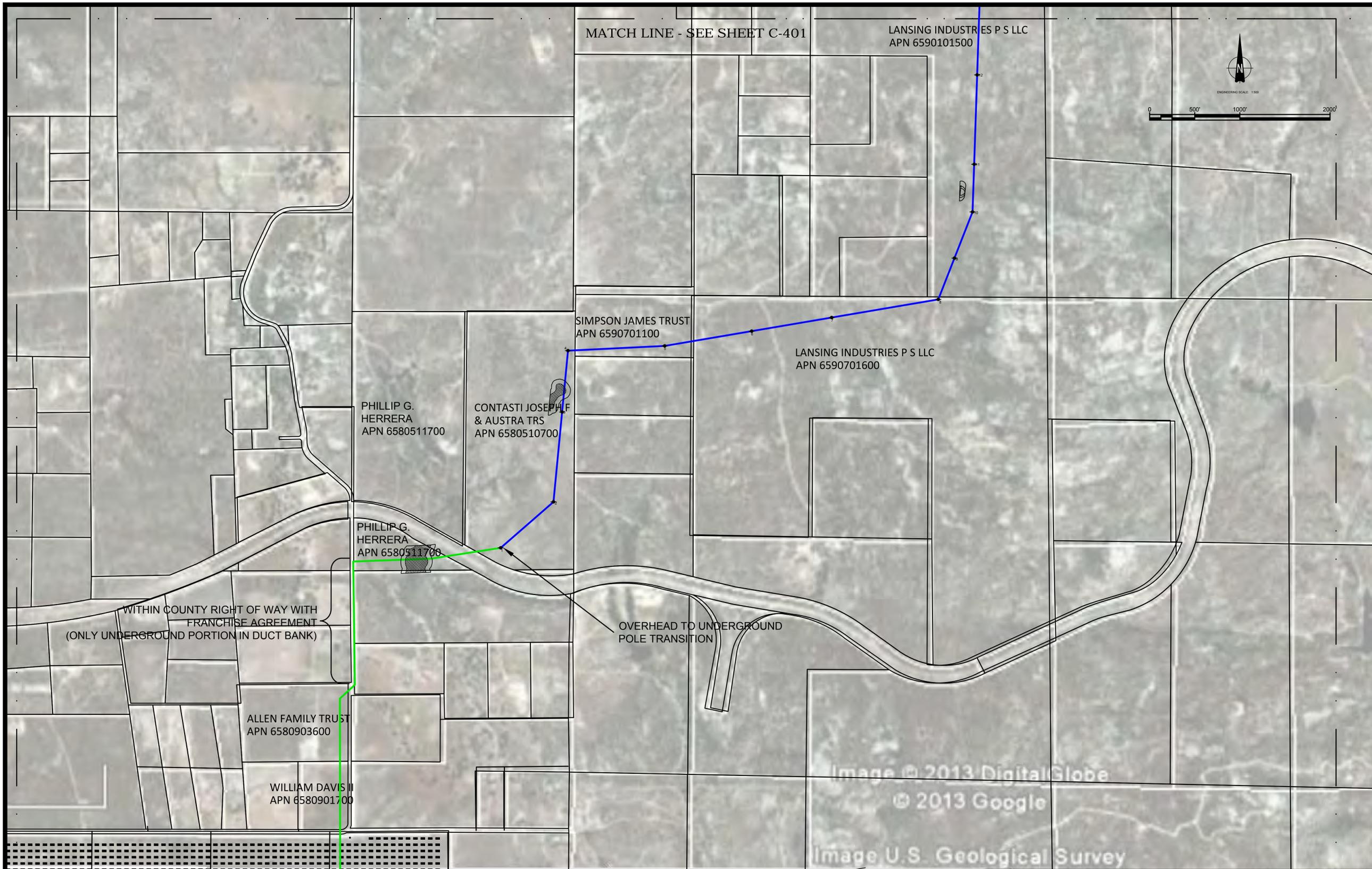
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SHEET TITLE	
TDS Gen-Tie Plot Plans North Side	
SHEET NUMBER	REV.
C-401	1

PRELIMINARY NOT FOR CONSTRUCTION ARCH'D 24" x 36"

FILE NAME: P:\10 ENERGY WEST - CURRENT\10 - CONCENTRIX SOLAR - C-402.DWG
 LAST SAVED BY: PATTESONJ PLOT DATE: 12/15/2014 1:38:07 PM
 6027859400 TECHNICAL\401 PRELIMINARY ENGINEERING\7 PLANS - CADD FILES\ACAD SOLAR CPV LAYOUT\TIERRA DEL SOL\C-401-C-402.DWG



AECOM

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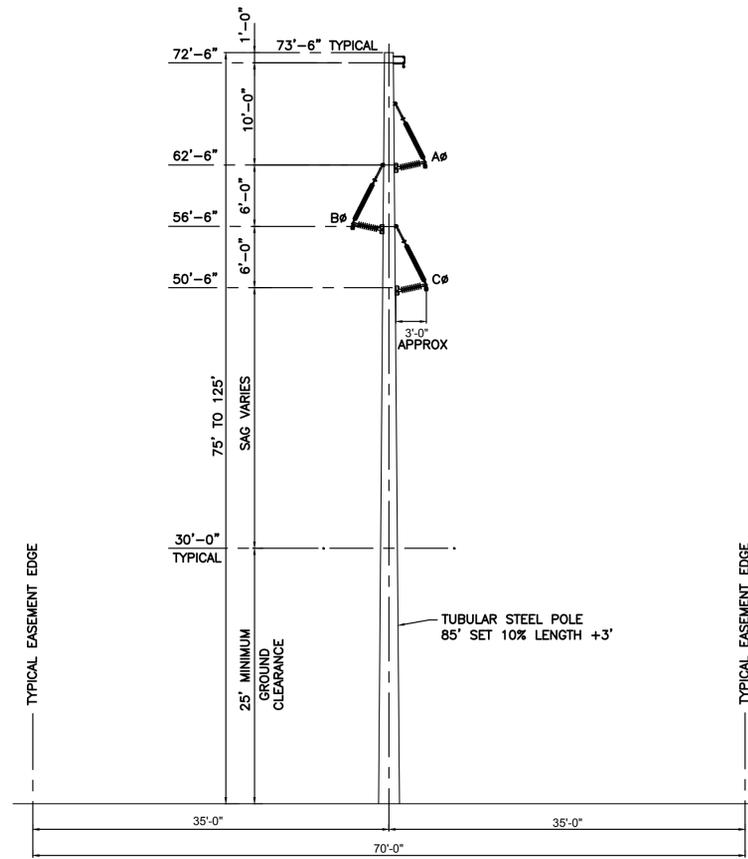
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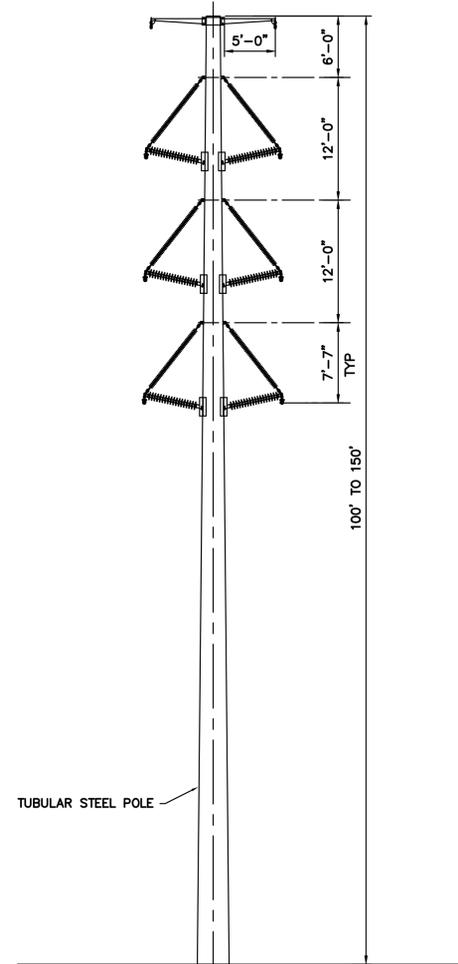
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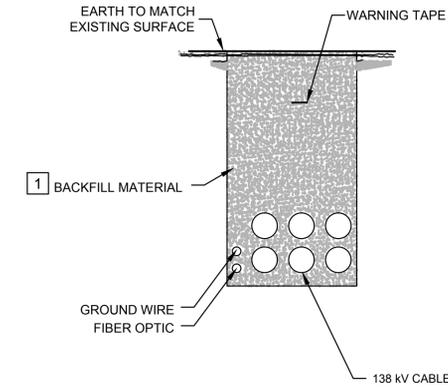
SHEET TITLE	
TDS Gen-Tie Plot Plans South Side	
SHEET NUMBER	REV.
C-402	1



1 | 138 KV STEEL POLE TANGENT CONCEPT - SINGLE CIRCUIT
Scale: NA



2 | 138 KV STEEL POLE - DUAL CIRCUIT
Scale: NA



3 | 138 KV TRENCH DETAIL - DUAL CIRCUIT
Scale: NA

KEYED NOTES:

- 1 NATIVE SOIL AT 90% COMPACTION

GENERAL NOTES:

- 1. FINAL HEIGHT AND POLE TYPE IS SUBJECT TO FINAL DESIGN.

VICINITY MAP



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SHEET TITLE

POLE & TRENCH DETAIL

SHEET NUMBER REV.

C-405 1