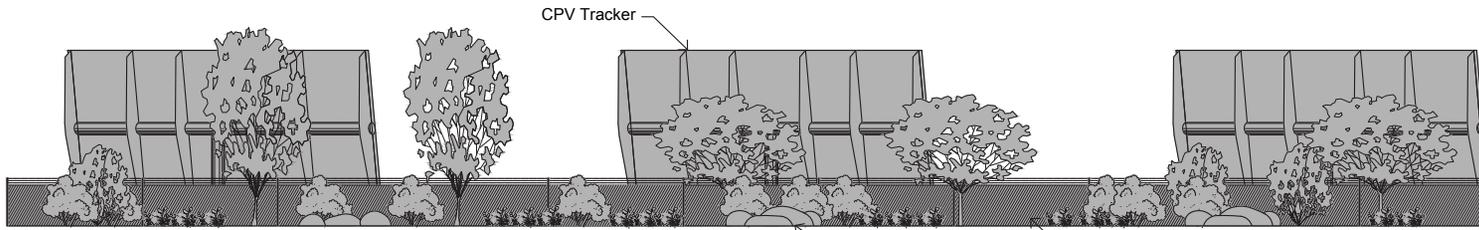
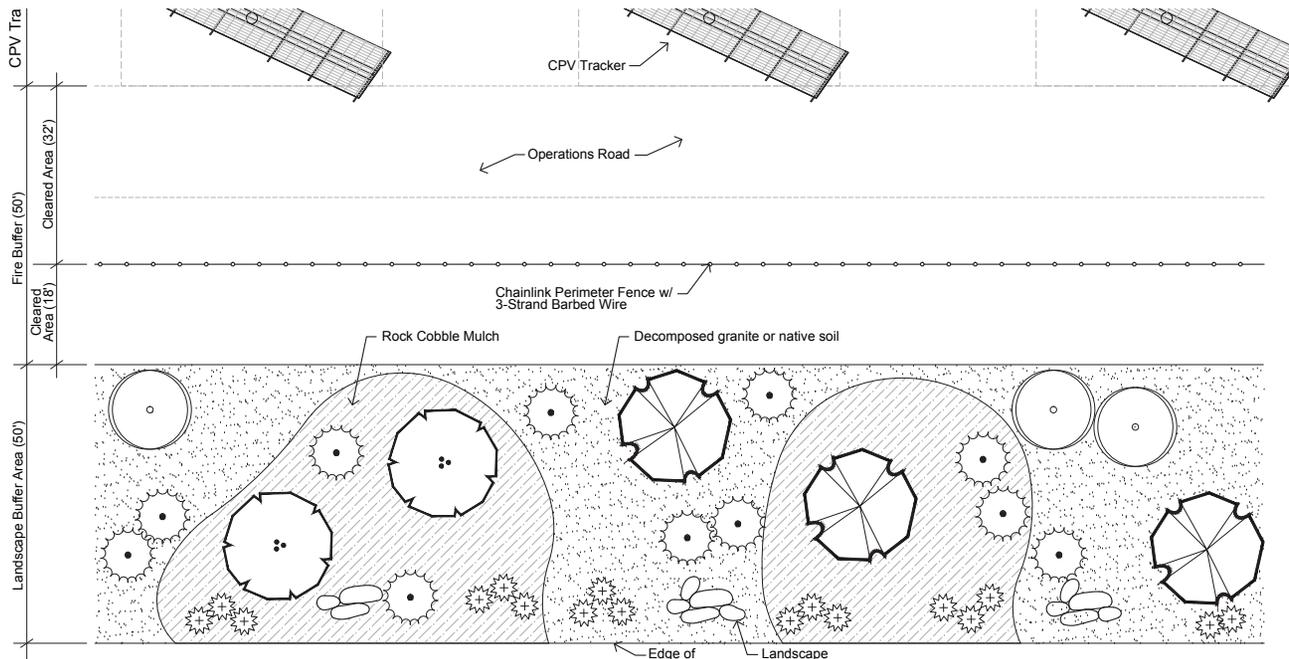


PRELIMINARY NOT FOR CONSTRUCTION
ARCH'D 24" x 36"



7 TYPICAL CROSS SECTION
NTS



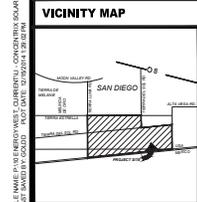
8 TYPICAL PLAN VIEW
NTS

AECOM

DESIGNER
AECOM
AECOM TECHNICAL SERVICES, INC.
440 Stevens Avenue, Suite 250
Solana Beach, CA 98075
858.947.7144 tel 858.947.7145 fax
www.aecom.com

CLIENT
Soitec
Soitec Solar Development, LLC
16550 Via Esprito
San Diego, CA 92127

1 - 94



VICINITY MAP	
[Map showing project location]	

OWNER INFORMATION	
NAME:	Brown Family Trust, Brown & Reynolds Trust
ADDRESS:	1116 W. 7th Street PMB 158
CITY:	Columbia
STATE:	TN
ZIP:	38401
PHONE:	
FAX:	
EMAIL:	

CONTACT INFORMATION	
NAME:	Pat Brown
ADDRESS:	16550 Via Esprito
CITY:	San Diego
STATE:	CA
ZIP:	92127
PHONE:	(858) 748-8000
FAX:	
EMAIL:	patrick.brown@soitec.com

PARCEL INFORMATION	
APN:	6580903100, 6580905500, 6581200300, 6581200200, 6580905400
SITE ADDRESS:	796 Tierra del Sol Road, Boulevard, CA 91905
I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.	
DESIGNER SIGNATURE REQUIRED	DATE

PROJECT INFORMATION	
EXISTING:	Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.
PROPOSED:	Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.

PLOT PLAN INFORMATION	
CPV System Summary	
Approx. Number of Trackers:	2499
No. of Inverter Skids:	45
Total Lot Size (Acres):	Approx. 420
Estimated Disturbed Acreage:	391
Coverage Ratio Range:	0.4 - 16.7%

SHEET TITLE	
LANDSCAPE SCREENING DETAILS	
SHEET NUMBER	REV.
C-135	1

FILE NAME: I:\16 INVENTORY\DESIGN\CONSTRUCTION\SCDM - 02232016\AECOM\TECHNICAL\PRELIMINARY\ENGINE\PROFIT\16-040-FILE\LAND SOLAR CPV\LANDSCAPE SCREENING DETAIL.DWG
DATE PLOTTED: 11/18/2016 10:58:11 AM
PLOT BY: JAC

PRELIMINARY GRADING AND DRAINAGE NOTES

GRADING NOTES

- ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE GRADING ORDINANCE SECTIONS 87.101 THROUGH 87.804 OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES.
- A REGISTERED CIVIL ENGINEER IS REQUIRED TO SUPERVISE INSTALLATION OF THE FILL KEYWAY AND ALL FILL BENCHING AND COMPACTION. A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL THAT IS OVER 12" IN DEPTH. DPLU FORM #73, MINOR GRADING CERTIFICATION, AND THREE (3) COPIES OF THE COMPACTION REPORT COMPLETED BY A SOILS ENGINEER SHALL BE SUBMITTED PRIOR TO ROUGH GRADE APPROVAL.
- ALL FILL MATERIAL SHALL BE COMPACTED AS NOTED.
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ON ADJACENT PROPERTY.
- MAINTAIN 1% (MINIMUM) SLOPE AWAY FROM ALL BUILDINGS FOR AT LEAST 5'.
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS:
 - A. DS-8 LOT GRADING
 - B. DS-10 GRADING OF SLOPES
 - C. DS-11 REQUIRED SETBACKS
 - D. D-40 RP RAP ENERGY DISSIPATER
 - F. D-42 DEBRIS FENCE
 - G. DS-09 FENCING CUT BANKS
- BERMS SHALL BE REQUIRED AT THE TOP OF ALL FILL SLOPES AND SWALES OR BROW DITCHES SHALL BE REQUIRED AT THE TOP OF ALL CUT SLOPES. ALL BERMS, SWALES, OR BROW DITCHES SHALL CONFORM TO THE DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS LISTED ABOVE.
- REGARDLESS OF WHICH BMPs ARE IMPLEMENTED THE FACE OF ALL CUT AND FILL SLOPES IN EXCESS OF 3' VERTICAL HEIGHT SHALL BE PLANTED AND MAINTAINED WITH A GROUND COVER OR OTHER PLANTING TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED. ALL PLANTING MUST HAVE A PERMANENTLY INSTALLED IRRIGATION SYSTEM.
- REQUIRED SLOPE RATIOS ARE AS FOLLOWS:
 - A. CUTS - 1.5:1 FOR MINOR SLOPES (UP TO 10' VERTICAL HEIGHT)
 - B. CUTS - 2:1 FOR MAJOR SLOPES (OVER 10' VERTICAL HEIGHT)
 - C. FILLS - 2:1 (MAXIMUM) FOR ALL FILL SLOPES
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE OWNER AND PERMITEE ARE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTIES. NO PERSON SHALL EXCAVATE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET OR SIDEWALK, OR THE FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY.
- THE DIRECTOR OF PLANNING AND LAND USE MAY IMPOSE CONDITIONS THAT ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. THE DIRECTOR MAY ALSO MODIFY OR ADD CONDITIONS TO ANY VALID GRADING PERMIT WHEN SUCH MODIFICATIONS OR ADDITIONS ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. SUCH CONDITIONS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A. IMPROVEMENT OF EXISTING GRADING TO CONFORM WITH THE GRADING ORDINANCE, AND,
 - B. REQUIREMENTS FOR FENCING OF EXCAVATIONS OR FILLS THAT WOULD OTHERWISE BE HAZARDOUS, AND,
 - C. ADEQUATE DUST CONTROL MEASURES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 5:00PM MONDAY THROUGH SATURDAY. NO EARTH MOVING OR GRADING SHALL BE CONDUCTED ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE PROVIDED TO THE FOLLOWING AGENCIES:
 - A. SAN DIEGO GAS AND ELECTRIC (800) 422-4133
 - B. PACIFIC BELL (800) 422-4133
 - C. CATV (800) 422-4133
 - D. WATER UTILITY (800) 422-4133
 - E. SEWER UTILITY (800) 422-4133
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PLANNING AND LAND USE DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION IS OBTAINED, RIGHT TO ENTRY FORM COMPLETED AND VALID GRADING PERMIT ISSUED.
- THE ISSUANCE OF A GRADING PERMIT SHALL CONSTITUTE AN AUTHORIZATION TO PERFORM ONLY THAT WORK WHICH IS DESCRIBED OR SHOWN ON THE GRADING PERMIT APPLICATION AND APPROVED GRADING PLANS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ANY CONDITIONS IMPOSED BY THE DIRECTOR OF PLANNING AND LAND USE AND IN ACCORDANCE WITH THE GRADING ORDINANCE.
- ROADS ARE CLASSIFIED ON THE DRAWING AS THE FOLLOWING:
 - A. PRIMARY ACCESS ROAD - 20FT WIDE GRADED ROAD IMPROVED TO CARRYING A 50,000 LBS VEHICLE
 - B. SECONDARY ACCESS ROAD - 30FT WIDE GRADED ROAD WITH AN 11FT LANE CAPABLE OF CARRYING A 15,000 LBS VEHICLE AND A 12FT LANE CAPABLE OF CARRYING A 50,000 LBS VEHICLE
- THE GRADING FOR THE SITE SHALL INCLUDE THE CLEARING AND GRUBBING FOR A 15,625,095 SQ. FT. AREA.
- THE BASIS OF EXISTING CONTOURS WAS PROVIDED IN A DIGITAL TERRAIN MODEL (DTM) TIED TO THE UTM GRID. THE DTM WAS CREATED IN CONJUNCTION WITH AN AERIAL TOPOGRAPHICAL SURVEY AT 20-SCALE WITH 0.5 FOOT CONTOUR INTERVALS PERFORMED JANUARY 2012.
- AREAS DESIGNATED AS "SPECIAL FUEL MOD ZONE" ARE TO BE CLEARED OF EXISTING VEGETATION, THEN COVERED WITH LANDSCAPING FABRIC AND WEIGHTED DOWN USING AS SURFACING MATERIAL OF CRUSHED STONE.
- EARTHWORK QUANTITIES:

EXCAVATION:	9,429	CUBIC YARDS
FILL:	9,429	CUBIC YARDS
IMPORT:	0	CUBIC YARDS
EXPORT:	0	CUBIC YARDS

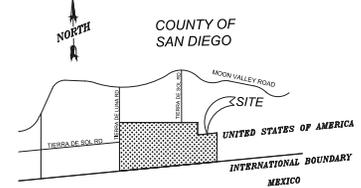
PRELIMINARY GRADING PLAN NOTE

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSION BEFORE COMMENCING SUCH ACTIVITY.

STORMWATER MANAGEMENT NOTES

- DURING THE RAINY SEASON FROM OCTOBER 1ST TO APRIL 30TH THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED WITHIN 48 HOURS OF A PREDICTED RAIN.
- 12% OF ALL NEEDED BMP MATERIALS SHALL BE STORED ONSITE YEAR-ROUND TO ALLOW FULL DEPLOYMENT AND INSTALLATION WITHIN 48 HOURS OF A PREDICTED RAIN.
- THE PROPERTY OWNER SHALL COMPLY WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT ONSITE EROSION AND TO PREVENT DISCHARGES OF POLLUTANTS FROM LEAVING THE SITE. MAINTENANCE OF BMPs IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO.
- PERIMETER SEDIMENT CONTROL BMPs SHALL BE INSTALLED IMMEDIATELY AFTER THE AREA TO BE GRADED IS BRUSHED OR CLEARED, BUT PRIOR TO THE START OF GRADING OPERATIONS.
- EROSION CONTROL BMPs USED FOR SLOPE STABILIZATION SHALL BE INSTALLED AS SOON AS THE FINISHED SLOPES ARE COMPLETE.
- A PERIMETER BMP INSPECTION IS REQUIRED ON THE FIRST DAY OF GRADING.
- WHERE AN EXISTING STORMWATER CONVEYANCE CROSSES OVER A PLANNED SECONDARY SERVICE ROAD, THE ROAD SHALL BE GRADED AND MAINTAINED AS A FORD.
- RP RAP SHALL BE PLACED AT ALL LOCATIONS WHERE ONE DRAINAGE FEATURE (BUSH AS A DITCH OR A WALES DRAINING INTO A LARGER DRAINAGE FEATURE).
- DIP SECTIONS SHALL BE COMPOSED OF 6" OF REINFORCED STRUCTURAL CONCRETE SLABS WHICH SHALL BE DESIGNED TO WITHSTAND AND CONVEY HUNDRED (100) YEAR FREQUENCY STORM.
- ALL SURFACES THAT ARE NOT IMPROVED ROADS SHOULD BE SEEDED AND REVEGETATED WITH DROUGHT TOLERANT PLANTS.
- INFORMATION REGARDING DIRECTION OF LOT DRAINAGE CAN BE FOUND ON SHEETS C-301 & C-302.

VICINITY MAP



SIGHT DISTANCE:

"Physically there is a minimum unobstructed sight distance in both directions along Tierra del Sol Road from the proposed access points, for the prevailing operating speed of traffic on Tierra del Sol Road" per Section 6.1 Table 5 of the County Public Road Standards (approved March 2012)."

"The lines of sight fall within the existing right-of-way and a clear space easement is not required."

PROPERTY OWNER INFORMATION

NAME:	TRUSTEE OF THE BROWN & REYNOLDS TRUST
ADDRESS:	1116 W. 7th Street PMB 100
CITY:	COLUMBIA
STATE:	TX
ZIP:	78403
PHONE:	(817) 443-7424
APR#:	658-090-31-00-658-090-05-05, 658-120-02-00-658-120-03-00, 658-090-54-00

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92137-9178	CONTACT INFORMATION NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (658)652-4423 (OR HOUR CONTACT NUMBERS) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A.P.N. NUMBER: 658-090-54-00 SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91305	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APR#(S): PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES: OWNERS SIGNATURE (REQUIRED): _____ DATE: _____	DISTURBED AREA CALCCS PAD + SLOPES: _____ SF DRIVEWAY: _____ SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: _____ SF TOTAL: _____ SF IF > 1 AC, PROVIDE WORDS: _____	PLAN CHECK/PERMITS BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolarkaya DATE: _____ RECE NO: C-43828 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR: TIERRA DEL SOL SOLAR SYSTEM LLC SHEET NUMBER: C-201 REV: 3 SHEET: 1 OF SHEETS: 5 APPROVED: _____ DIRECTOR OF PLANNING AND LAND USE GRADING PERMIT NUMBER: _____ DATE: _____
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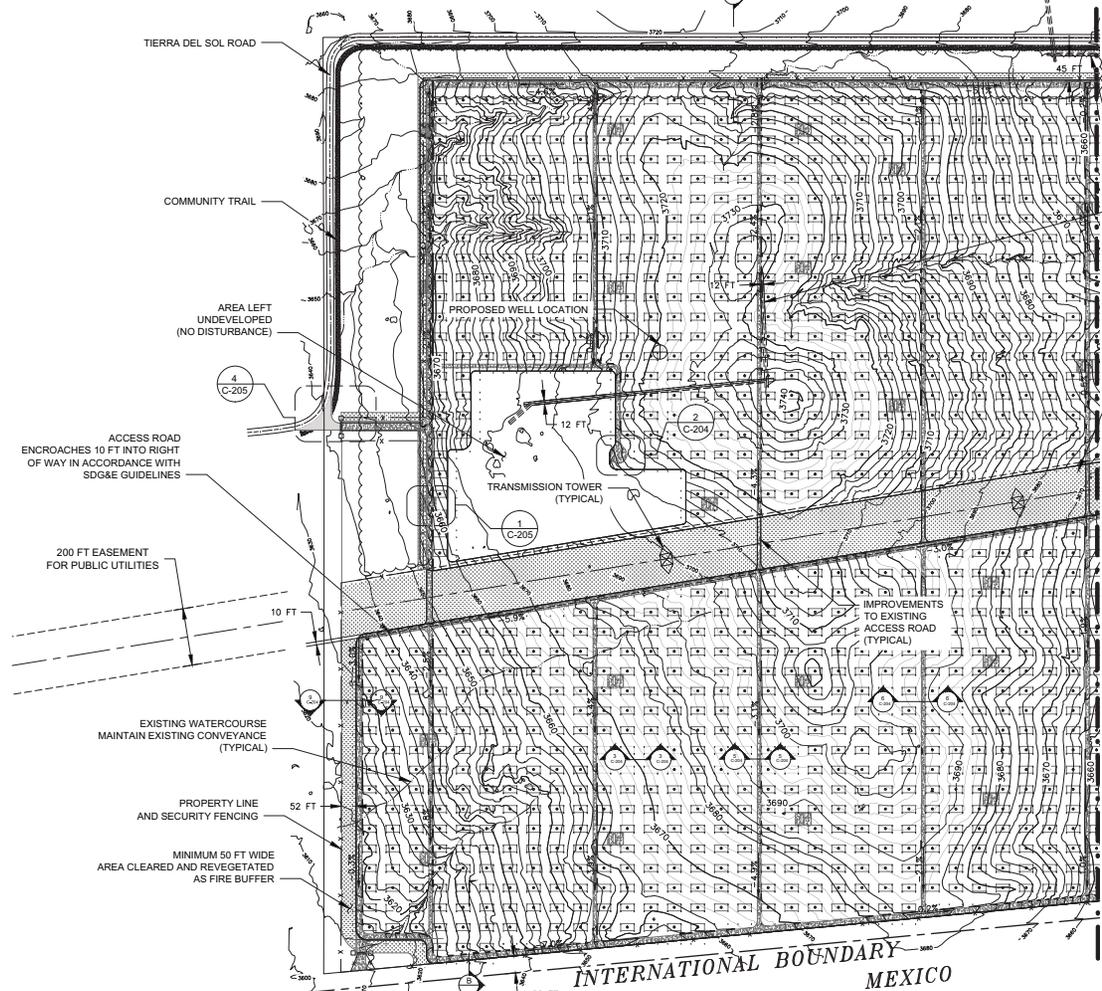
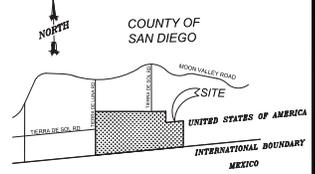
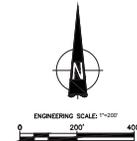
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PRELIMINARY

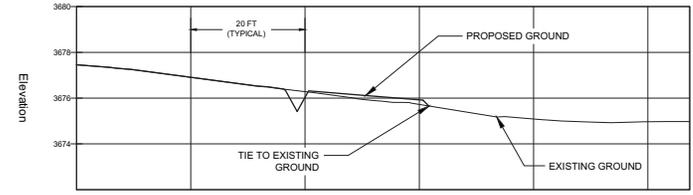
PRELIMINARY GRADING PLAN

VICINITY MAP

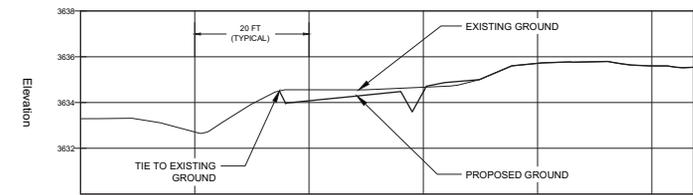


GRADING LEGEND

- SECURITY FENCING: — X — X —
- WATERCOURSE: ————
- EXISTING CONTOUR: ———— 2.75
- PROPOSED CONTOUR: ———— 2.75
- EXTENT OF GRADING:
 - SURFACING FOR PRIMARY ROAD AND SPECIAL FUEL MOD ZONE: [Pattern]
 - SURFACE TO BE CLEARED AND REVEGETATED FOR FIRE CLEARING: [Pattern]



A | CROSS SECTION
1/10 SCALE



B | CROSS SECTION
1/10 SCALE

FILE NAME: C:\USERS\KORZOC\BENTON\SOITEC\SOLAR PROJECTS\TIERRA DEL SOL\GRADING\C-202_203_GRADING.DWG PLOT DATE: 11/15/2014 9:46:24 AM LAST SAVED BY: KORZOC200

66 - 1

PRELIMINARY

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92137-9175	PROPERTY OWNER INFORMATION TRUSTEE OF THE BROWN & REYNOLDS TRUST CO-TRUSTEES OF THE BROWN FAMILY TRUST NAME: _____ ADDRESS: 1116 W. 7th Street PMB 158 Columbia, TN 38401 TELEPHONE NUMBER: (615) 440-7424 (24-HOUR CONTACT NUMBER): 658-090-31-00/658-090-55-00 658-120-02-00/658-120-03-00 658-090-54-90 SITE A.P.N. NUMBER: _____ SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APRN: _____ PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____	DISTURBED AREA CALCS PAD + SLOPES: 1,345,313 SF DRIVEWAY: 15,145 SF COMMUNITY TRAIL: 43,550 SF FIRE CLEARING: 15,625,095 SF TOTAL: 17,029,103 SF IF > 1 AC, PROVIDE WIDTH: _____	PLAN CHECK/PERMITS BUILDING PERMIT _____ PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kotarikaya DATE: _____ RCE NO.: C-43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (610) 260-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR: TIERRA DEL SOL SOLAR LLC SHEET NUMBER: C-202 REV: 3 SHEET: 2 OF SHEETS: 6 APPROVED: _____ DIRECTOR OF PLANNING AND LAND USE GRADING PERMIT NUMBER: _____ DATE: _____