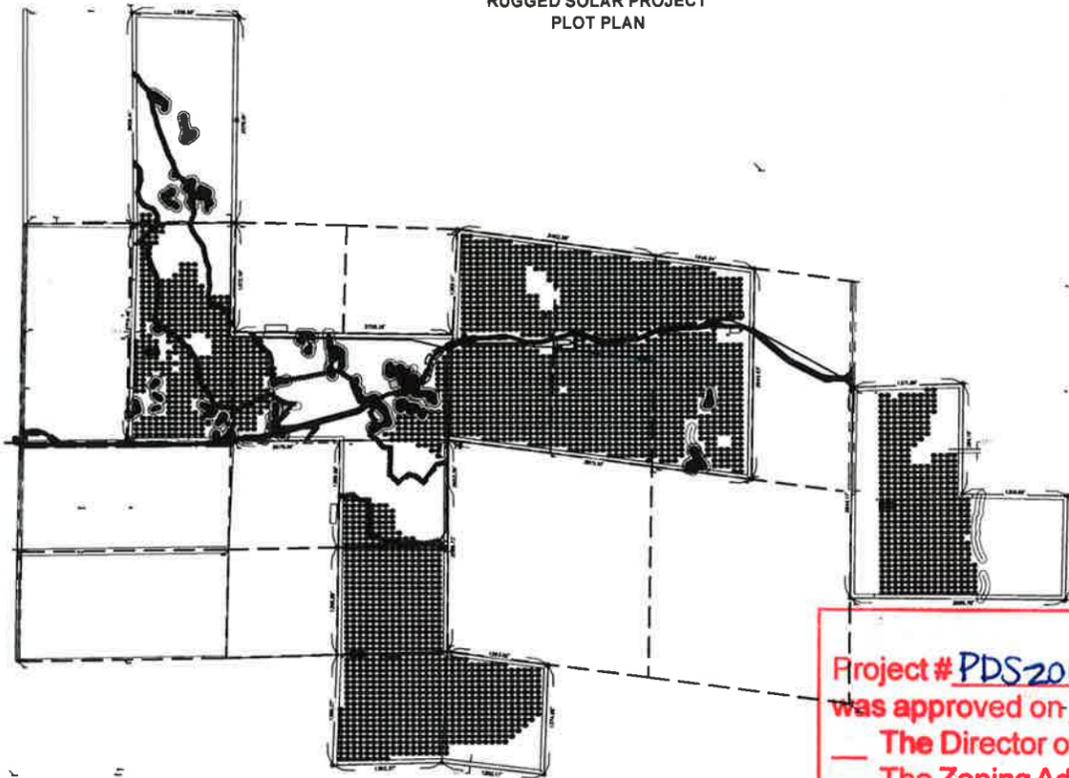
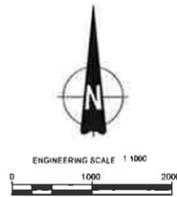


PRELIMINARY NOT FOR CONSTRUCTION ARCH D 24' X 36'

FILE NAME: P:\15 ENERGY\BEST CURRENTLY CONCENTRATED SOLAR - SDC\15251600 TECHNICAL\NOT PRELIMINARY\ENGINEERING\PLANS - CADD\15251600 RUGGED SOLAR CPV\15251600 RUGGED SOLAR CPV COVER DWG LAST SAVED BY: PATTERSONJ PLOT DATE: 12/16/2014 11:33:30 AM

## RUGGED SOLAR LLC RUGGED SOLAR PROJECT PLOT PLAN



### ABBREVIATIONS:

AC	Alternating Current
ADT	Average Daily Trips
BB	Building Block
BMP	Best Management Practice
CEQA	California Environmental Quality Act
CPV	Concentrating Photovoltaic
CFA	County Fire Authority
DPLU	County of San Diego, Department of Planning and Land Usage
DS	Design Standard
EIR	Environmental Impact Report
EOP	Edge of Pavement
FT	Feet
kV	kilovolts
kW	kilowatts
MAX	Maximum
MOU	Memorandum of Understanding
MPA	Major Use Permit Application
MUP	Major Use Permit
MW	Megawatts
NTS	Not to Scale
PL	Property Lines
QTY	Quantity
RL	Rural Land
ROW	Right of Way
RPO	Resource Protection Ordinance
SQFT	Square Feet

### SHEET INDEX

C-100	LEGEND, SYMBOLS, ABBREVIATIONS & NOTES
C-101	PLOT PLAN DRAWING MAP
C-102	PLOT PLAN NORTH WEST
C-103	PLOT PLAN SOUTH
C-104	PLOT PLAN CENTER TOP
C-105	PLOT PLAN CENTER BOTTOM
C-106	PLOT PLAN EAST
C-107	ROAD DETAIL AND LANDSCAPE SCREENING DETAILS
C-110	EASEMENT PLAN DRAWING MAP
C-111	EASEMENT PLAN NORTH WEST
C-112	EASEMENT PLAN EAST
C-120	PLOT PLAN 34.5 KV OVERHEAD
C-130	1.36 / 2.0 MW INVERTER BOX DESIGN / ENERGY STORAGE SYSTEM
C-131	O&M BUILDING
C-132	FENCE ELEVATION DETAIL
C-133	TRACKER ELEVATION DETAIL
C-134	WATER TANK ELEVATION DETAIL, 34.5KV & 34.5KV / 69KV OVERHEAD ELEVATION DETAIL

### RESERVED FOR COUNTY STAMPS



DESIGNER

**AECOM**  
AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT



Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

### PARCEL ZONING SETBACK SCHEDULE

APN	SETBACK SCHEDULE DESIGNATION
611-110-01	C
611-091-07	D
612-030-19	D
612-030-01	D
611-090-04	D
611-091-03	D
611-090-02	D
611-060-04	D
611-100-07	D

Project # PDS2012-3300-12-007 incl. 28 sheets was approved on February 4, 2015 by

The Director of Planning & Development Services  
The Zoning Administrator  
The San Diego County Planning Commission  
The San Diego County Board of Supervisors

By 11V Jory Planning Manager

Name Title



### GENERAL NOTES:

- Each tracker assembly is approximately 48 FT wide with a maximum constructed height of 30 ft and spaced approximately 69 FT North to South; 82 FT East to West.
- Entrance to each gate will be from an improved driveway that shall be designed in accordance with County of San Diego Design Standard DS-19 and equipped with an emergency key-operated override switch.
- At no point does the change of grade, along the primary access road, exceed 10%.
- Detailed cross sections of the roads are provided on the preliminary grading plan.
- All compaction requirements are listed on the preliminary grading plan.
- Turnaround shall be designed in accordance with County of San Diego Design Standard DS-06 for a county emergency fire apparatus.
- The project site is not located in a designated flood plain, therefore lines of inundation are not shown.
- Temporary and Permanent BMPs are shown on the preliminary grading plan.
- All coordinates shown are state plane coordinates based on CCS83, Zone 6 (2007.00 Epoch).
- All dimensions are shown in Decimal Feet.
- The solar related facilities (panels, electrical connections, transformer/inverter platform, O&M buildings, emergency generator, fencing, internal access and switchgear pad, etc.) shown on the plot plans may be relocated, (exclusive of the open space areas & undeveloped (future development area)) with the administrative approval of the director of dplu when found in conformance with the intent and conditions of the permit's approval. Transformer/inverter platform locations can be relocated/reconfigured without requirement of minor deviation.
- Solar related facilities (panels, electrical connections, transformer / inverter platform, emergency generator, fencing, internal access and switchgear platform, etc.) shown on the plot plan maybe relocated, reconfigured, and / or resized within the solar facility development area (exclusive of any open space areas) with the administrative approval of the director of PDS when found in conformance with the intent and conditions of permit's approval. Transformer / inverter / Generator size, locations, brand, electrical size can be relocated, replaced or reconfigured without requirement of minor deviation.
- Areas designated as "SPECIAL FUEL MODIFICATION ZONES" are to be cleared of existing vegetation, then covered with landscaping fabric and weighted down using a surfacing material of crushed stone.
- Along the length of the perimeter fencing, every 750 feet, a pedestrian gate will be located that is 3 feet wide and padlocked with a chain and fire key.
- Roads moved per fire department
- When there is a major storm event all of the trackers in the flood area will be placed in a flat horizontal position (Storm Mode) as required by the plant standard of operations.

### SIGHT DISTANCE: To be submitted under separate cover

OWNER INFORMATION				
NAME:	Waterstone Support Foundation Inc John Gibson	Frankie Thibodeau	Vista Oaks Business Park John Gibson	Harmony Grove Partners John Gibson
ADDRESS:	2925 Professional Pl #200	39990 Roadrunner Ln	1000 Pioneer Way	1000 Pioneer Way
CITY:	Colorado Springs	Boulevard	El Cajon	El Cajon
STATE:	CO	CA	CA	CA
ZIP:	80904	91905	92020	92020
PHONE:	(619) 440-7424	(619) 786-9105	(619) 440-7424	(619) 440-7424
APN#s and (Acreage)	611-110-01 (63.72)	611-091-07 (42.39), 612-030-19 (43.43), 612-030-01 (33.11)	611-090-04 (22.62), 611-091-03 (14.62), 611-090-02 (69.83), 611-060-04 (1.84)	611-100-07 (214.84)
TOTAL TRACKER	434	799	617	1441

### VICINITY MAP



### OWNER INFORMATION

NAME: SEE TABLE AT C-100  
ADDRESS:  
CITY:  
STATE: CA  
ZIP: 92127  
PHONE:  
FAX:  
EMAIL:

### CONTACT INFORMATION

NAME: Pat Brown  
ADDRESS: 16550 Via Esprillo  
CITY: San Diego  
STATE: CA  
ZIP: 92127  
PHONE: (858) 746-0900  
FAX:  
EMAIL: patrick.brown@soitec.com

### PARCEL INFORMATION

APN: 6120300100, 6120301900, 6110910700, 6110910300, 6110900400, 6110600400, 6110900200, 6111000700, 6111100100  
SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road  
I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT  
DESIGNER SIGNATURE REQUIRED DATE

### PROJECT INFORMATION

**EXISTING:** Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.  
**PROPOSED:** Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 inverters Skids and Transformers.

### PLOT PLAN INFORMATION

**CPV System Summary**  
Approx. Number of Trackers: 3291  
No. of Inverter Skids: 57  
Total Lease Area (Acres): 506  
Estimated Disturbed Acreage: 490  
Coverage Ratio Range: 0.3 - 13%

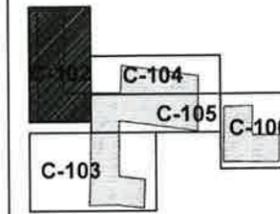
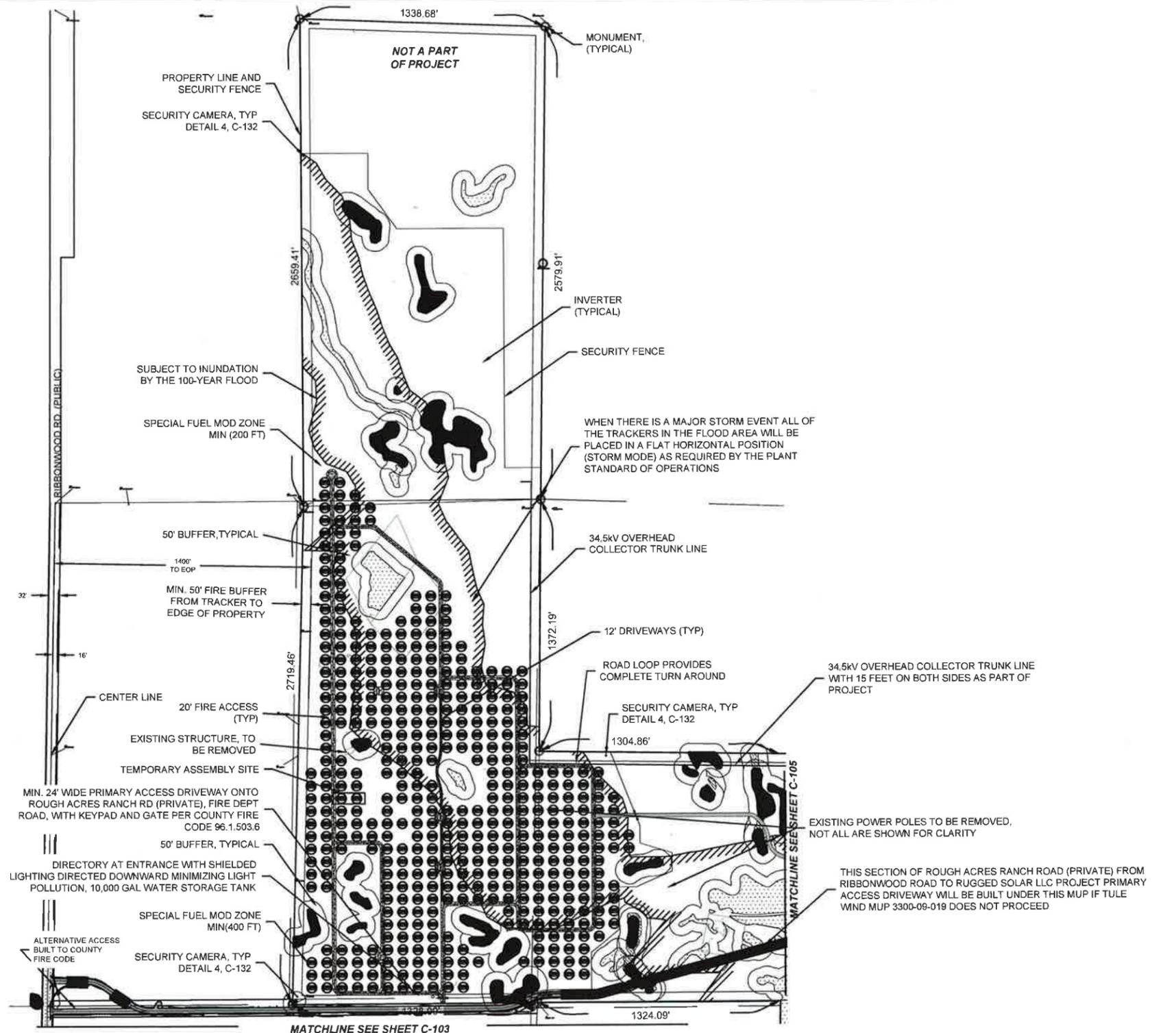
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LEGEND, SYMBOLS ABBREVIATIONS & NOTES	
SHEET NUMBER	REV.
C-100	1



PRELIMINARY NOT FOR CONSTRUCTION  
ARCH D 24' x 36'

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**LEGEND:**

- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
- OAKS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
- JURISDICTIONAL WATER ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
- CPV TRACKER
- INVERTER
- SECURITY FENCE
- TEMPORARY ASSEMBLY SITE
- PROPERTY LINE
- 20' FIRE ACCESS
- 34.5kV OVERHEAD COLLECTOR TRUNK LINE
- 12' DRIVEWAYS
- SPECIAL FUEL MOD ZONE

**AECOM**

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Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT



**APPROVED**

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

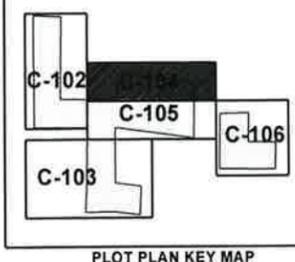
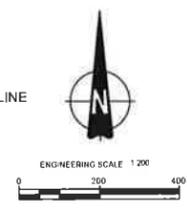
VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: SEE TABLE AT C-100</p> <p>ADDRESS:</p> <p>CITY:</p> <p>STATE:</p> <p>ZIP:</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746-8000</p> <p>FAX:</p> <p>EMAIL: patrick.brown@soitec.com</p>	<p>APN: 6120300100.6120301900.6110910700.6110910300.6110900400.6110600400.6110900200.6111000700.6111100100</p> <p>SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED: _____ DATE: _____</p>	<p><b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.</p> <p><b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.</p>	<p>CPV System Summary</p> <p>Approx. Number of Trackers: 3291</p> <p>No. of Inverter Skids: 57</p> <p>Total Lease Area (Acres): 506</p> <p>Estimated Disturbed Acreage: 490</p> <p>Coverage Ratio Range: 0.3 - 13%</p>	<p><b>PLOT PLAN (NORTH WEST)</b></p> <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>C-102</td> <td>1</td> </tr> </tbody> </table>	SHEET NUMBER	REV.	C-102	1
SHEET NUMBER	REV.									
C-102	1									



PRELIMINARY NOT FOR CONSTRUCTION  
ARCH D 24' x 36'

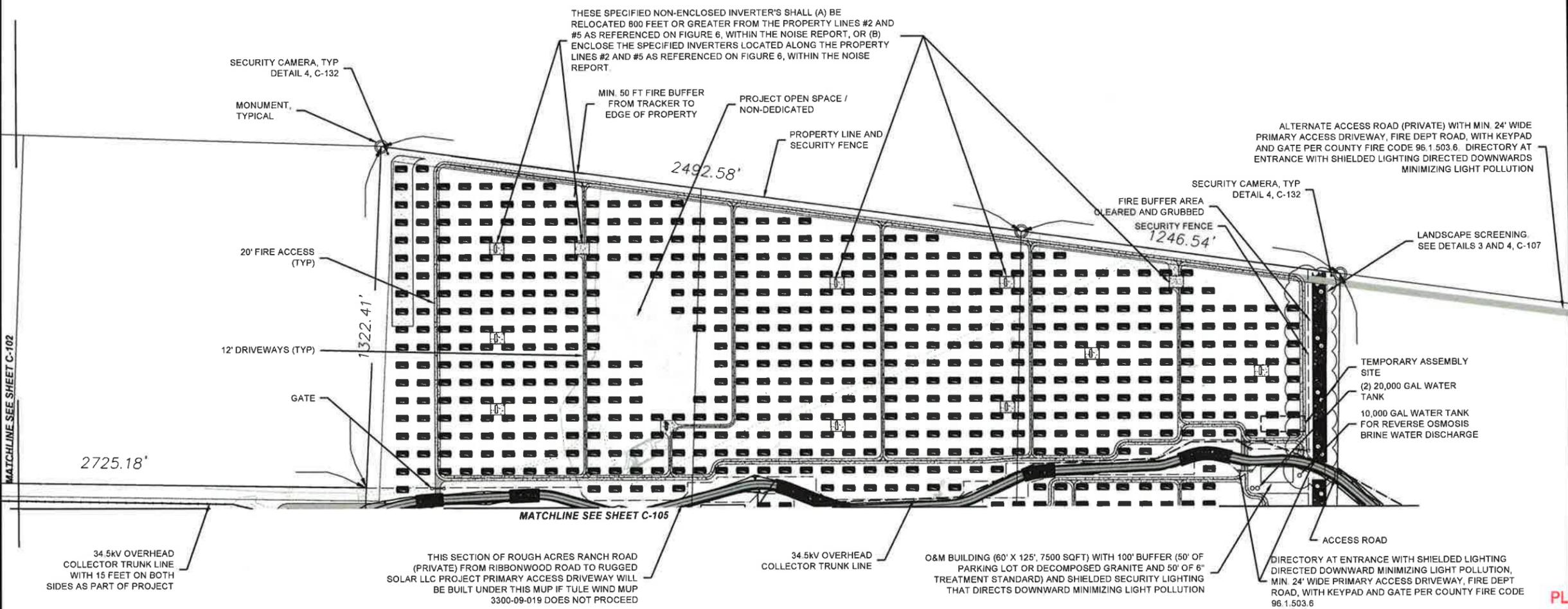
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- LEGEND:**
- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
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  - INVERTER
  - TEMPORARY ASSEMBLY SITE
  - PROPERTY LINE
  - SECURITY FENCE
  - 34.5KV OVERHEAD COLLECTOR / 69KV GEN-TIE CO-LOCATED ON SAME POLES
  - 34.5KV OVERHEAD COLLECTOR TRUNK LINE
  - 20' FIRE ACCESS
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CLIENT  
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16550 Via Esprillo  
San Diego, CA 92127



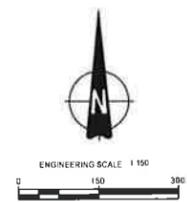
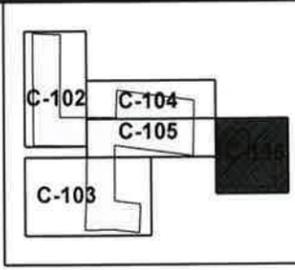
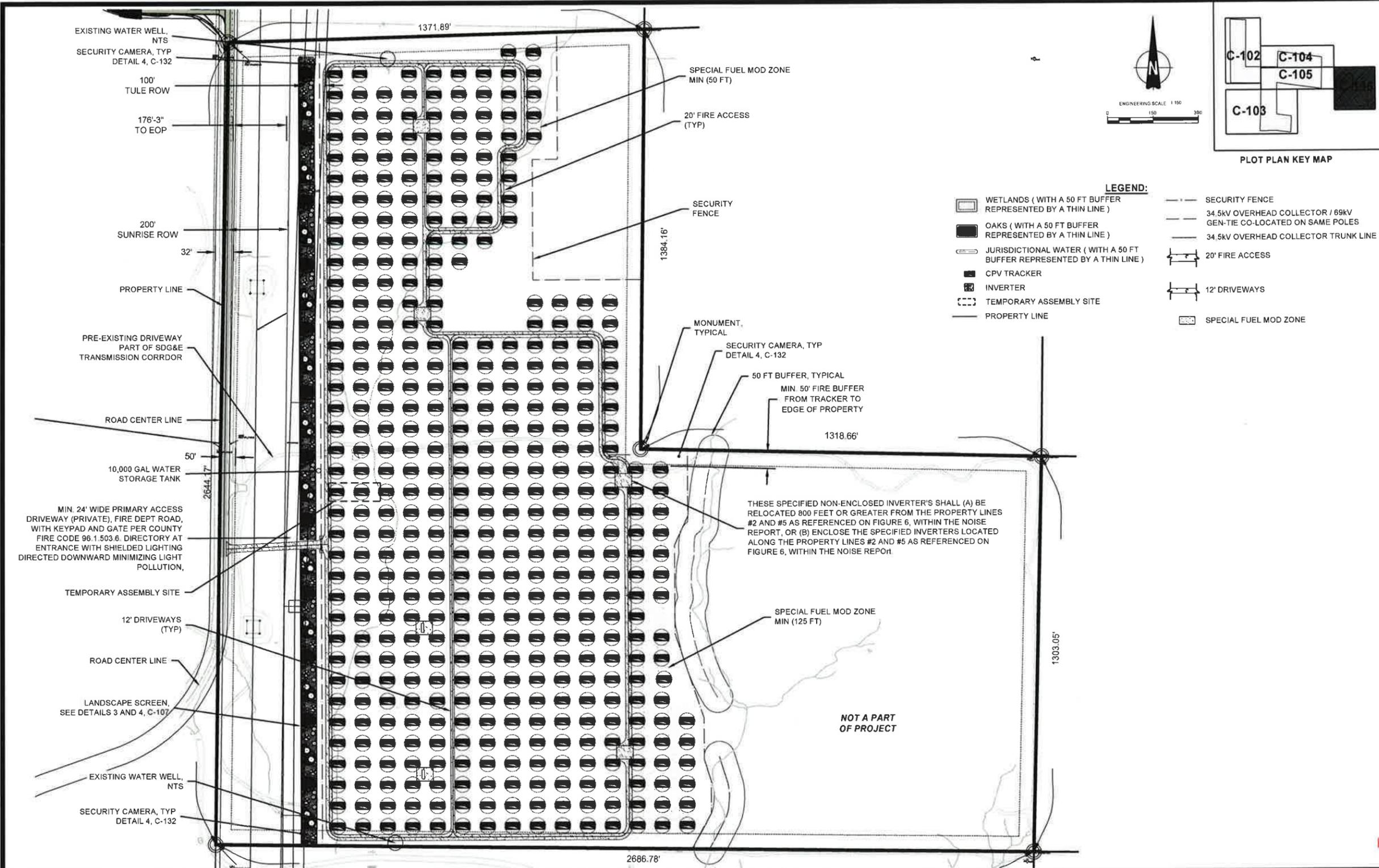
**APPROVED**  
FEB 04 2015  
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: SEE TABLE AT C-100</p> <p>ADDRESS:</p> <p>CITY:</p> <p>STATE:</p> <p>ZIP:</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746-9000</p> <p>FAX:</p> <p>EMAIL: patrick.brown@soitec.com</p>	<p>APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110800400,6110900200,6111000700,6111100100</p> <p>SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED: _____ DATE: _____</p>	<p><b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.</p> <p><b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.</p>	<p><b>CPV System Summary</b></p> <p>Approx. Number of Trackers: 3291</p> <p>No. of Inverter Skids: 57</p> <p>Total Lease Area (Acres): 506</p> <p>Estimated Disturbed Acreage: 490</p> <p>Coverage Ratio Range: 0.3 - 13%</p>	<p><b>PLOT PLAN CENTER TOP</b></p> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-104</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-104	1
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PRELIMINARY NOT FOR CONSTRUCTION  
ARCH'D 24" x 36"

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CHECKED BY: PATTERSON, J.  
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LAST SAVED BY: PATTERSON, J.



- LEGEND:**
- WETLANDS ( WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE )
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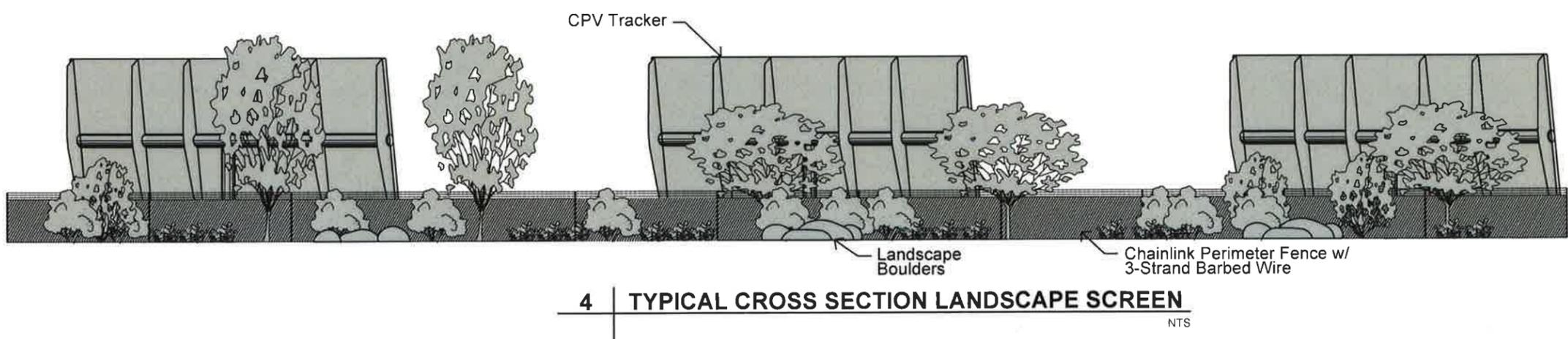
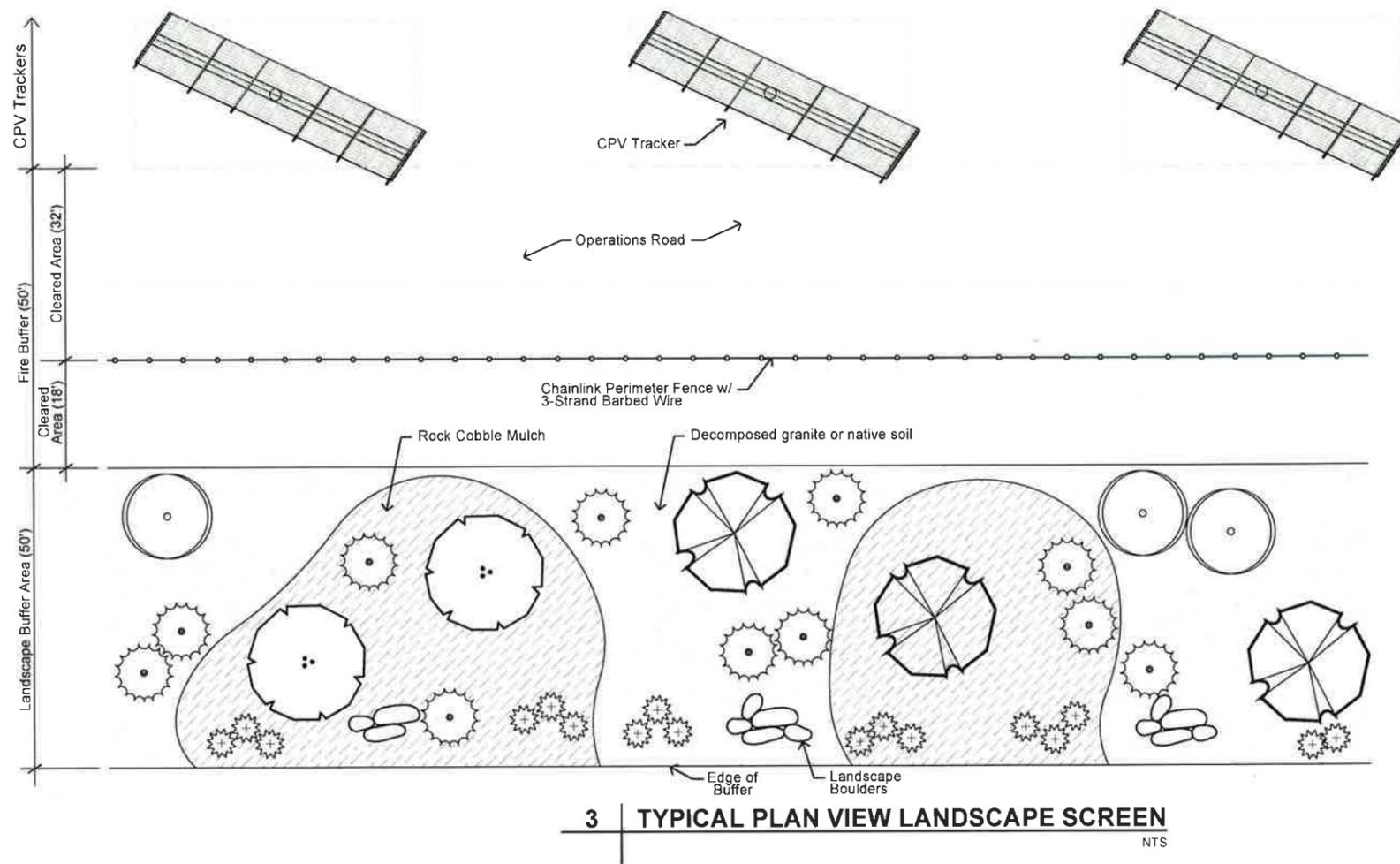
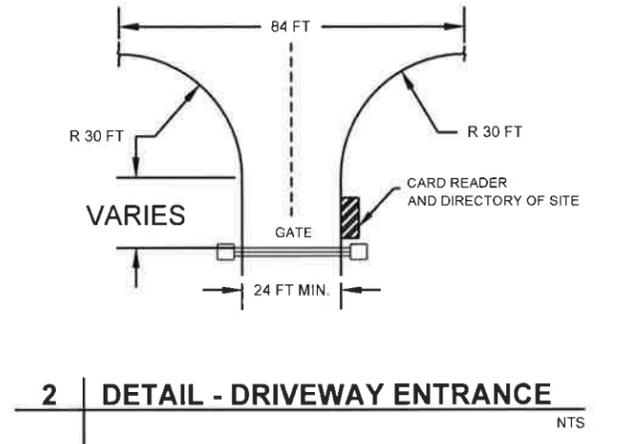
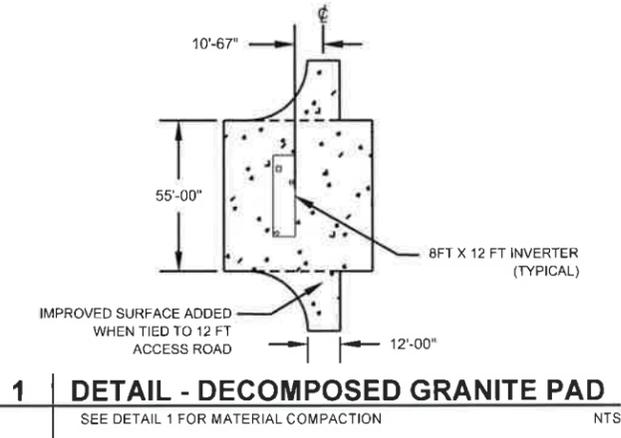
CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

APPROVED

FEB 04 2015 *MD*

PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 748-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road  I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT  DESIGNER SIGNATURE REQUIRED: _____ DATE: _____	<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.  <b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	<b>CPV System Summary</b> Approx. Number of Trackers: 3291 No. of Inverter Skids: 57 Total Lease Area (Acres): 506 Estimated Disturbed Acreage: 490 Coverage Ratio Range: 0.3 - 13%	<b>PLOT PLAN EAST</b>
	<b>SHEET NUMBER</b> C-106	<b>REV.</b> 1				



**AECOM**  
DESIGNER  
AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
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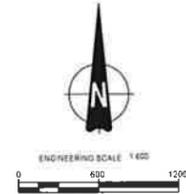
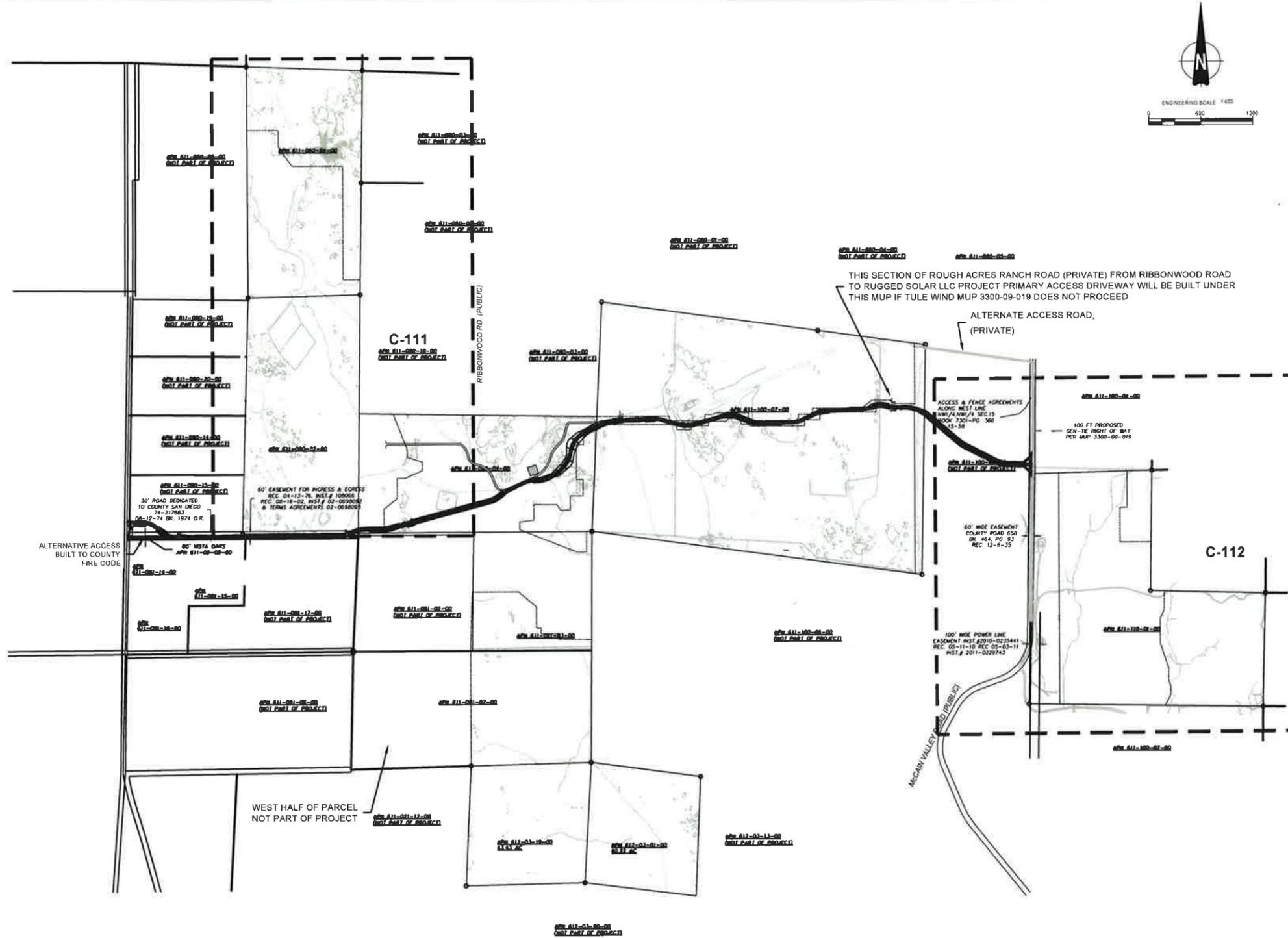
CLIENT  
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San Diego, CA 92127

**APPROVED**  
FEB 04 2015  
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
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	SHEET NUMBER	REV.								
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PRELIMINARY NOT FOR CONSTRUCTION  
ARCH'D 24' x 36'

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LAST SAVED BY: PATESON, E.C.T DATE: 1/15/2014 11:52:20 AM



**AECOM**

DESIGNER  
**AECOM**  
AECOM TECHNICAL SERVICES, INC.  
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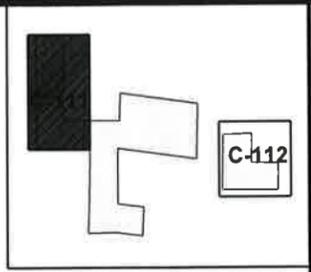
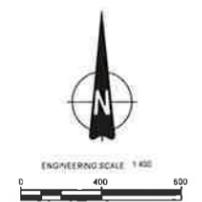
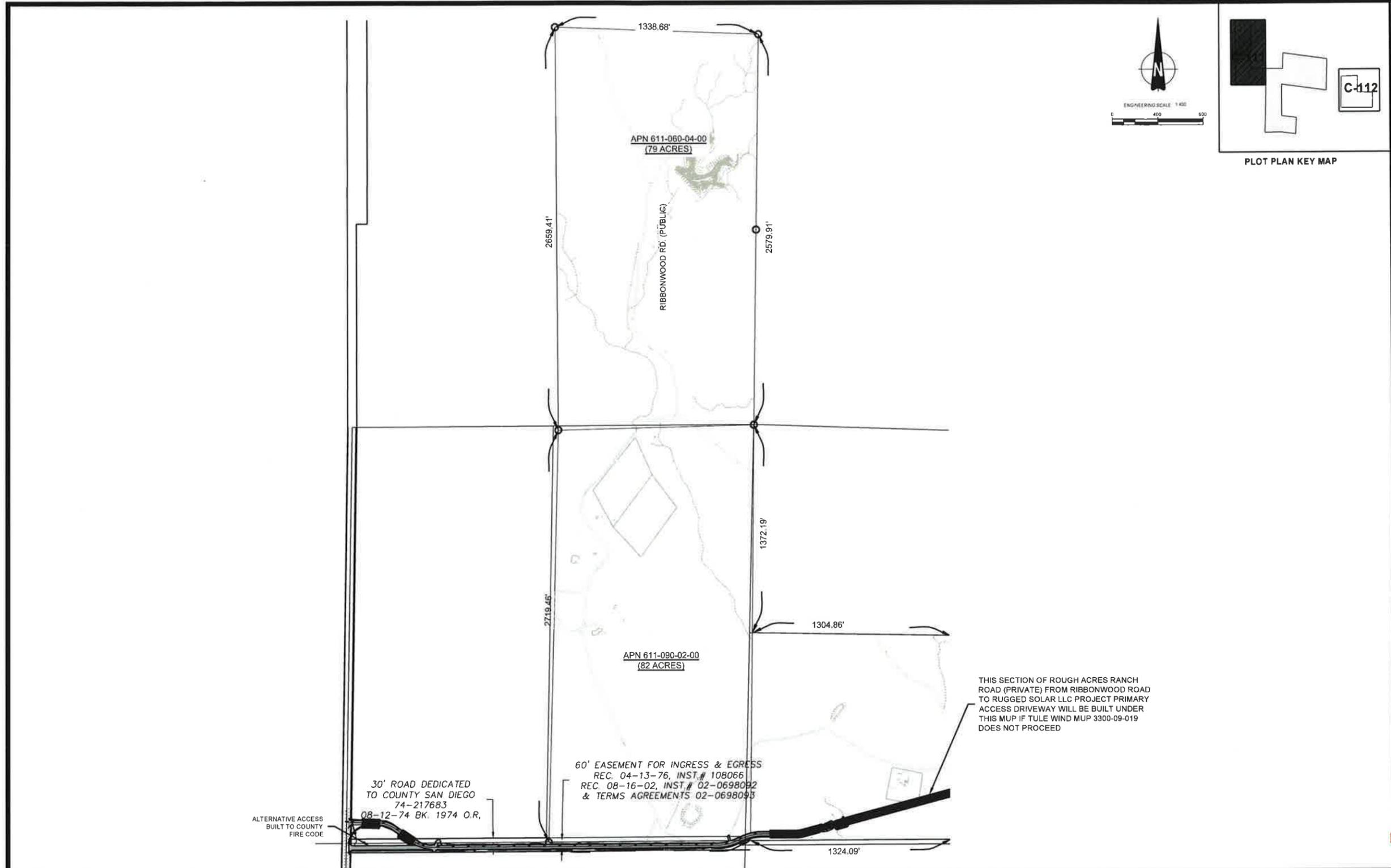
CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

**APPROVED**  
FEB 04 2015  
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-8000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6120300100, 6120301900, 6110910700, 6110910300, 6110900400, 6110600400, 6110900200, 6111000700, 6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road on both sides of McCain Valley Road I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT DESIGNER SIGNATURE REQUIRED: _____ DATE: _____	<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads. <b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	<b>CPV System Summary</b> Approx. Number of Trackers: 3291 No. of Inverter Skids: 57 Total Lease Area (Acres): 506 Estimated Disturbed Acreage: 490 Coverage Ratio Range: 0.3 - 13%	<b>EASEMENT PLAN SHEET MAP</b> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-110</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-110	1
SHEET NUMBER	REV.									
C-110	1									

PRELIMINARY NOT FOR CONSTRUCTION  
ARCH D 24" x 36"

FILE NAME: P:\14 ENERGY\WEST\CURRENT\CONCENTRATOR SOLAR - 6021955460\TECHNICAL\01 PRELIMINARY ENGINEERING\PLANS - CADD FILES\CADD SOLAR CPV LAYOUT\PROJECTED\SCALE\111 EASEMENT PLAN.DWG  
LAST SAVED BY: PATTERSON  
PLOT DATE: 12/09/2014 11:34:25 AM



**AECOM**  
DESIGNER  
**AECOM**  
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440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

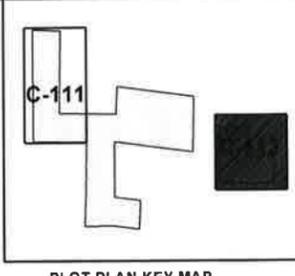
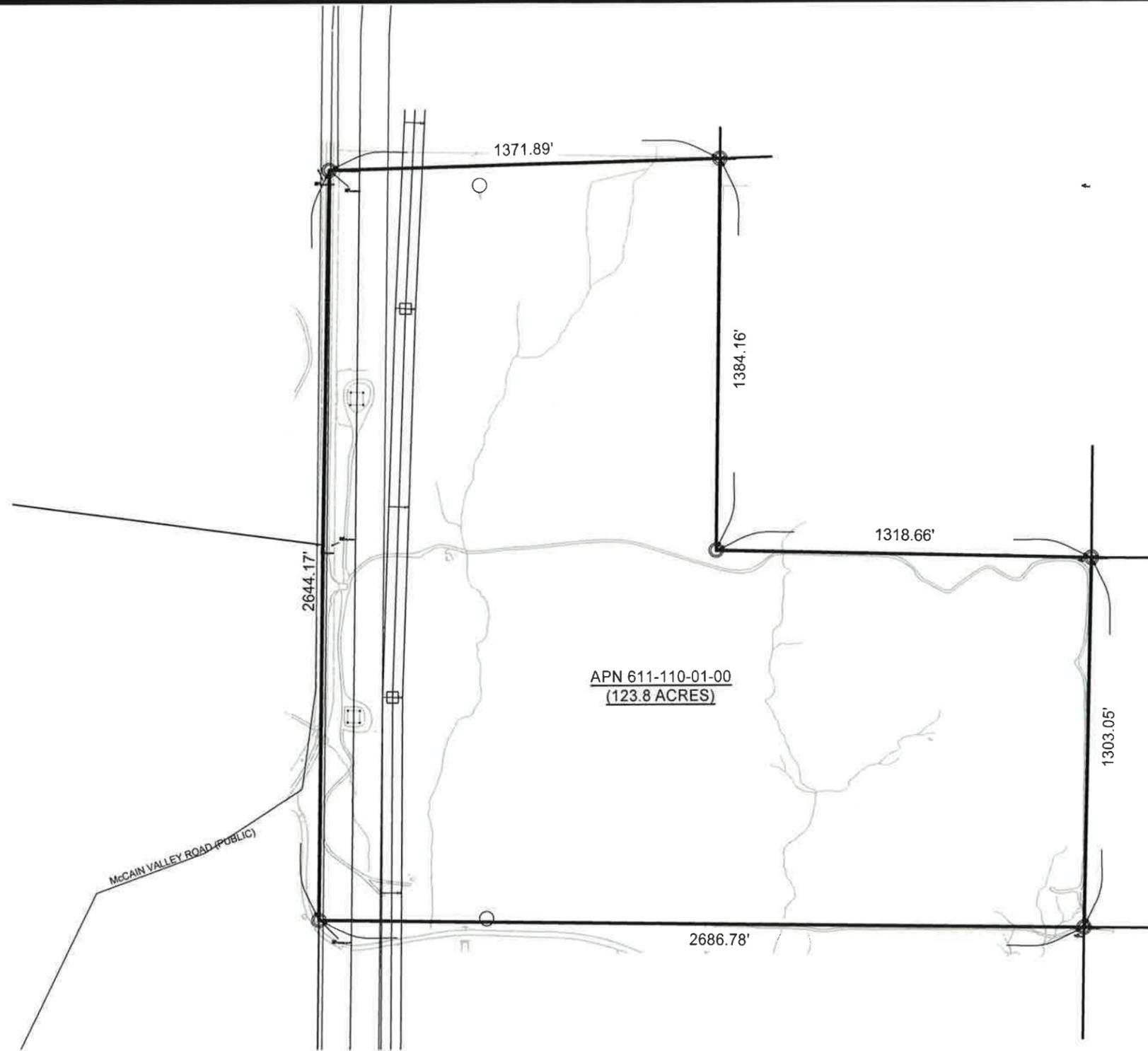
CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

**APPROVED**  
FEB 04 2015  
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME SEE TABLE AT C-100</p> <p>ADDRESS:</p> <p>CITY:</p> <p>STATE:</p> <p>ZIP:</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pal Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746-9000</p> <p>FAX:</p> <p>EMAIL: pal@ck.brown@soitec.com</p>	<p>APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110800400,6110900200,6111000700,6111100100</p> <p>SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED _____ DATE _____</p>	<p><b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.</p> <p><b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.</p>	<p><b>CPV System Summary</b></p> <p>Approx. Number of Trackers: 3291</p> <p>No. of Inverter Skids: 57</p> <p>Total Lease Area (Acres): 506</p> <p>Estimated Disturbed Acreage: 490</p> <p>Coverage Ratio Range: 0.3 - 13%</p>	<p><b>EASEMENT PLAN (NORTH WEST)</b></p> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-111</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-111	1
SHEET NUMBER	REV.									
C-111	1									

PRELIMINARY NOT FOR CONSTRUCTION  
ARCH D 24" x 36"

FILE NAME: I:\110 ENERGY WEST - CURRENTLY - CONCENTRATED SOLAR - 6012839400 TECHNICAL\01 PRELIMINARY ENGINEERING\PLANS - CADD\FILENAMED SOLAR CPV LAYOUT\PLUGGED SOLAR\112 BASEMENT PLAN.DWG  
LAST SAVED BY: PATTERSON  
PLOT DATE: 12/09/2014 11:35:25 AM



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**AECOM**  
AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

**APPROVED**  
FEB 04 2015 *MD*  
PLANNING AND DEVELOPMENT  
SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 745-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6120300100, 6120301900, 6110910700, 6110910300, 6110900400, 6110600400, 6110900200, 6111000700, 6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road  I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.  DESIGNER SIGNATURE REQUIRED: _____ DATE: _____	<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.  <b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	<b>CPV System Summary</b> Approx. Number of Trackers: 3291 No. of Inverter Skids: 57 Total Lease Area (Acres): 506 Estimated Disturbed Acreage: 490 Coverage Ratio Range: 0.3 - 13%	<b>EASEMENT PLAN EAST</b>  <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-112</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-112	1
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C-112	1									

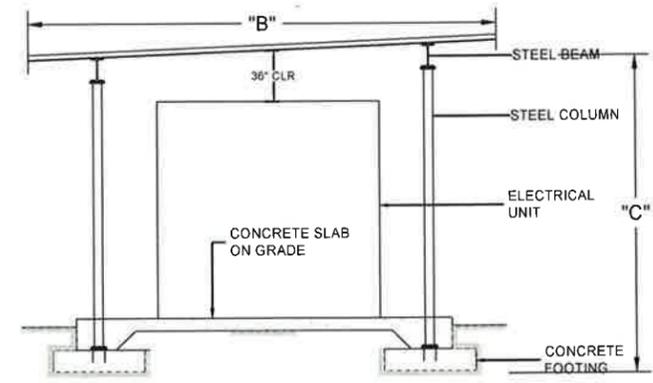
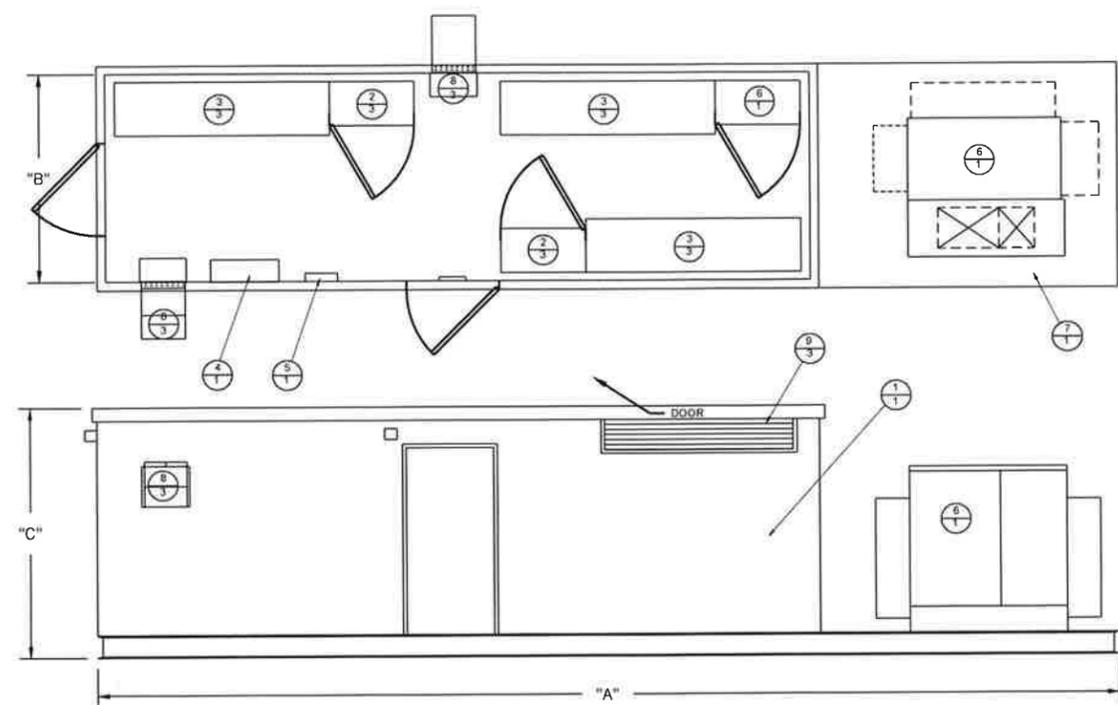
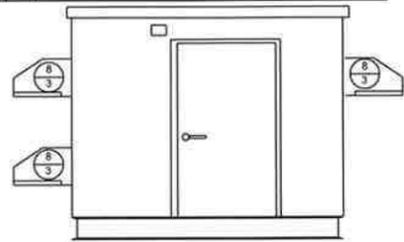


PRELIMINARY NOT FOR CONSTRUCTION ARCH D 24' x 36'

FILE NAME: P:\10 ENERGY WEST - CURRENT\10 - CONCENTRIC SOLAR - 6021863400 - TECHNICAL\01 - PRELIMINARY ENGINEERING\PLANS - CADD FILES\CADD SOLAR CPV LAYOUT\TRUCKED SOLAR\C-130.DWG  
LAST SAVED BY: PATTERSON  
DATE: 12/15/2014 11:28:41 AM

INVERTER DIMENSION			
INVERTER RATING (MW)	DIMENSION (FT)		
	"A"	"B"	"C"
1.36	25	10	12
2.00	40	10	12

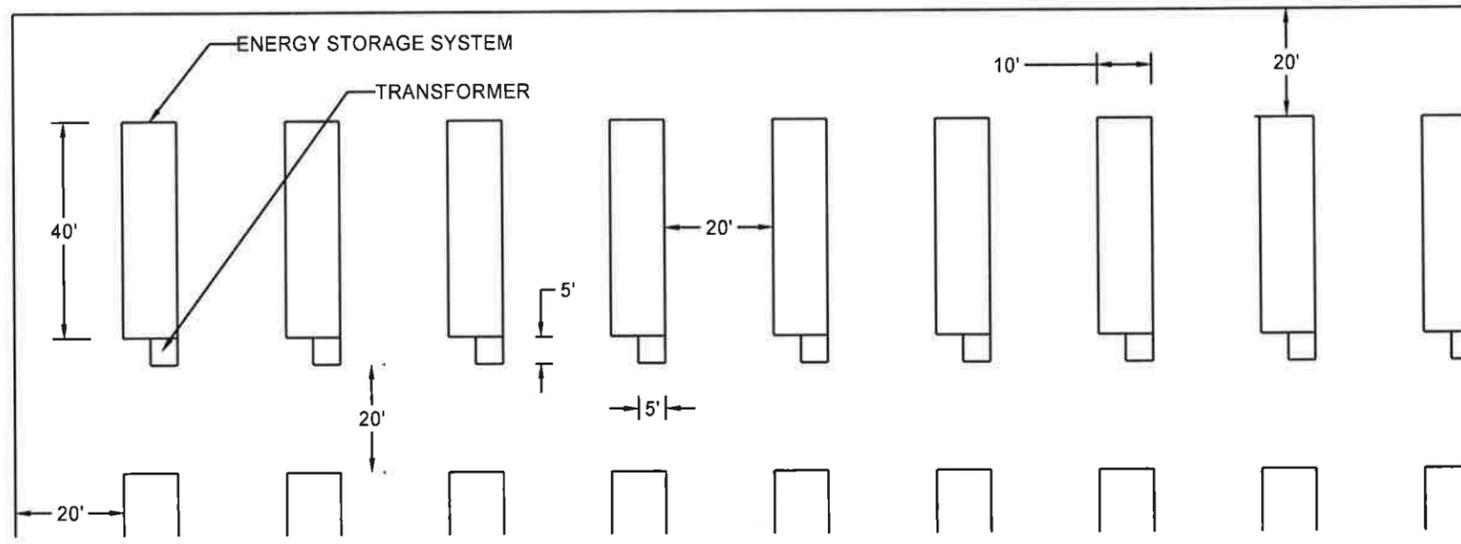
REV	REV	QTY	DESCRIPTION
1	1	1	PRECAST SHELTER
2	1	16 X 150A	PRIMARY RE-COMBINER BOX (QTY OF 2 OR 3)
3	1	XC 680	INVERTER (QTY OF 2 OR 3)
4	1	1	SCADA
5	1	1	POWER PANEL
6	1	1	TRANSFORMER
7	1	1	STEEL SKID
8	3	1	INTAKE AIR FANS
9	3	1	EXHAUST LOUVERS



**1 | OPEN INVERTER ON SKID WITH SUN SHADE**  
Scale: NA

**NOTES:**

- ENERGY STORAGE SYSTEM CONTAINERS SHALL BE PAINTED A COLOR CONSISTENT IN HUE AND INTENSITY WITH CPV TRACKER. MATERIALS COATINGS, OR PAINTS HAVING LITTLE OR NO REFLECTIVITY SHALL BE USED WHENEVER POSSIBLE.
- TO ENSURE NOISE FROM ENERGY STORAGE SYSTEM HVAC UNITS, TRANSFORMERS AND INVERTERS WILL COMPLY WITH COUNTY NOISE ORDINANCE, ONE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED:  
 A) IF THE BATTERY STORAGE CONTAINER UNITS ARE EQUIPPED WITH STANDARD HVAC UNIT (NACO MODEL 30RB120, OR EQUIVALENT), EACH HVAC UNIT SHALL BE SURROUNDED BY A SOLID PERIMETER SCREEN WALL WITH ELEVATION ONE FOOT HIGHER THAN THE TOP ELEVATION OF THE HVAC UNIT. IN ADDITION, EACH STEP-UP TRANSFORMER AND RELATED PAIR (2) OF POWER INVERTERS SHALL BE ENCLOSED WITH AN 8-FOOT HIGH SOLID PERIMETER WALL. B) IF THE BATTERY STORAGE CONTAINER UNITS ARE EQUIPPED WITH A QUIETER HVAC UNIT (DAIKIN MCQUAY 025D, OR EQUIVALENT) EACH HVAC UNIT SHALL BE SURROUNDED BY A SOLID PERIMETER SCREEN WALL WITH ELEVATION ONE FOOT HIGHER THAN THE TOP ELEVATION OF THE CHILLER UNIT. NO TRANSFORMER OR INVERTER SCREEN WALLS ARE NECESSARY IF THE DAIKIN MCQUAY 025D, OR SOUND EQUIVALENT HVAC MODEL IS USED.
- AUTOMATIC FIRE SPRINKLERS ARE NOT REQUIRED IF AN ALTERNATIVE FIRE SUPPRESSION SYSTEM ACCEPTABLE TO THE COUNTY FIRE MARSHALL IS PROVIDED



**2 | ENERGY STORAGE SYSTEM WITH TRANSFORMER**  
Scale: NA

**AECOM**  
DESIGNER  
**AECOM**  
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440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

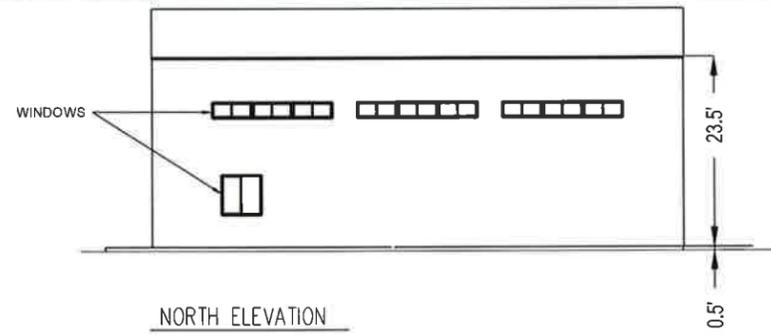
CLIENT  
**Soitec**  
Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

**APPROVED**

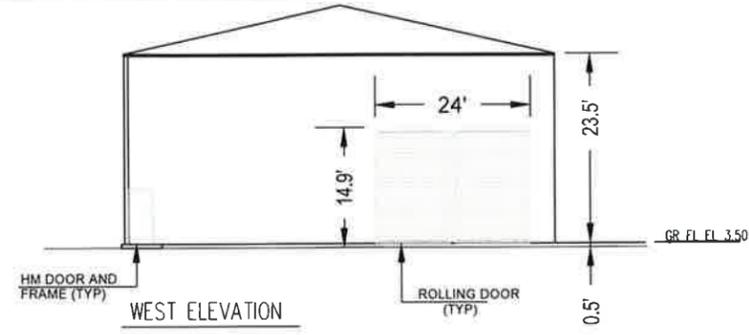
FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

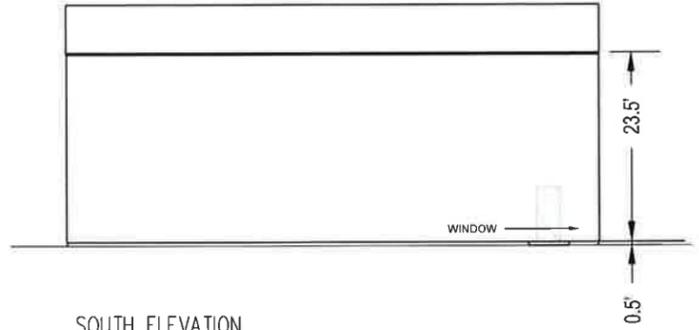
VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 8120300100, 6120301900, 6110910700, 6110910300, 6110900400, 6110600400, 6110900200, 6111000700, 6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road  I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.  DESIGNER SIGNATURE REQUIRED: _____ DATE: _____	<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads. <b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	<b>CPV System Summary</b> Approx. Number of Trackers: 3291 No. of Inverter Skids: 57 Total Lease Area (Acres): 506 Estimated Disturbed Acreage: 490 Coverage Ratio Range: 0.3 - 13%	<b>1.36 / 2.0 MW INVERTER BOX DESIGN / ENERGY STORAGE SYSTEM</b> <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>C-130</td> <td>1</td> </tr> </tbody> </table>	SHEET NUMBER	REV.	C-130	1
SHEET NUMBER	REV.									
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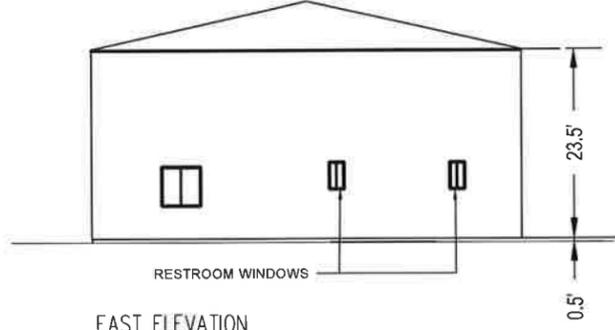
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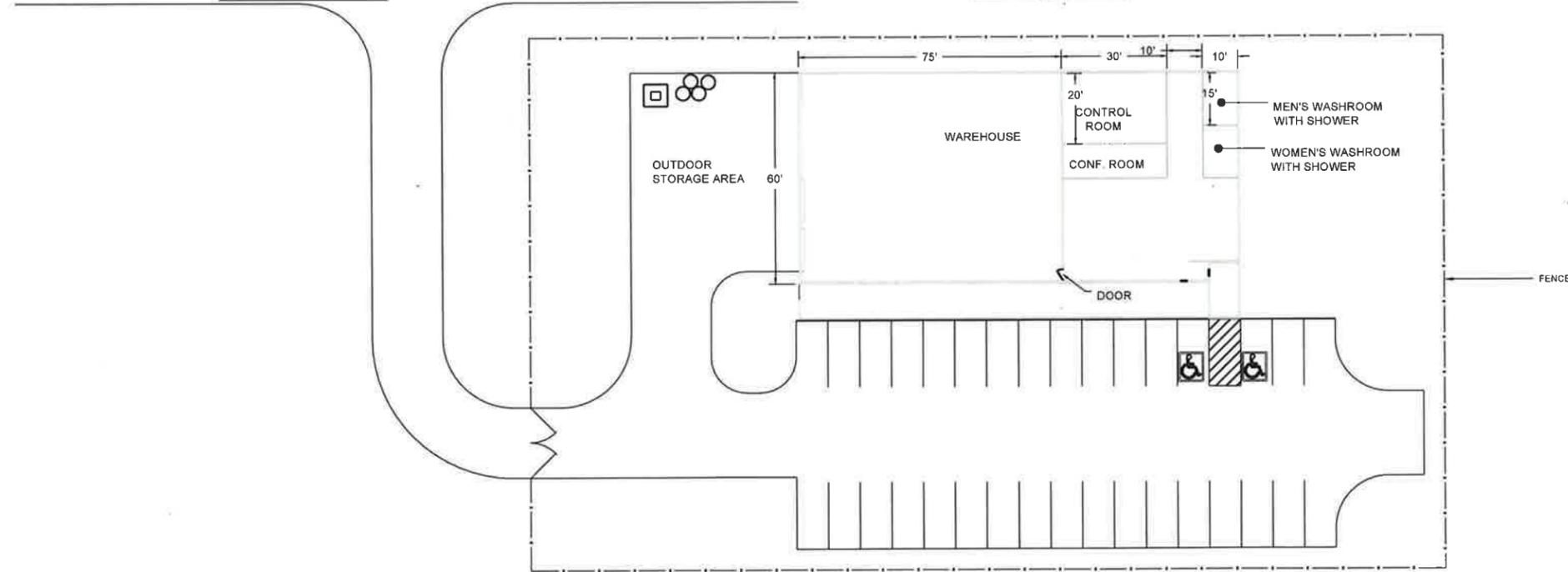
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



A | PLAN VIEW  
Scale: NA

**AECOM**

DESIGNER

**AECOM**

AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT



Soitec Solar Development, LLC

18550 Via Esprillo  
San Diego, CA 92127

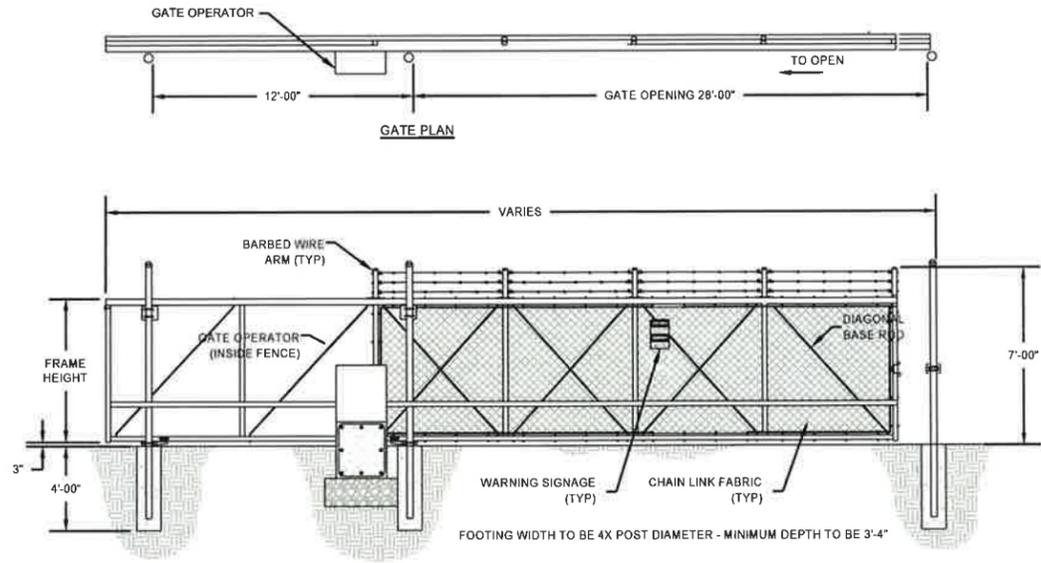
**APPROVED**

FEB 04 2015 *MB*

PLANNING AND DEVELOPMENT SERVICES

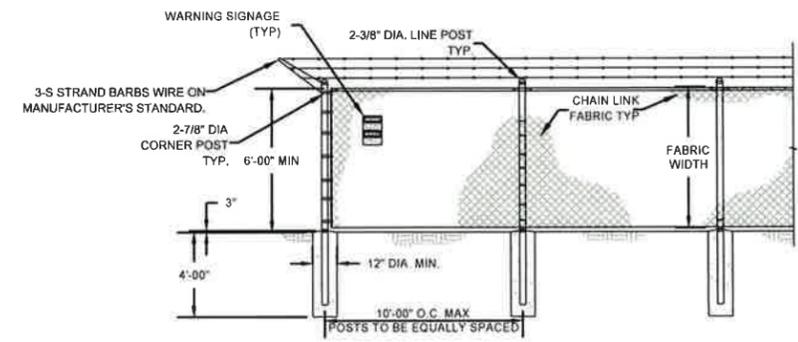
VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
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	SHEET NUMBER	REV.								
C-131	1									

PRELIMINARY NOT FOR CONSTRUCTION  
ARCH D 24 x 36



**1 | DETAIL - GATE**  
SINGLE MOTORIZED SLIDING GATE NTS

\* 4" DIAMETER POST FOR GATE LEAF LENGTH 35'-0" AND LESS

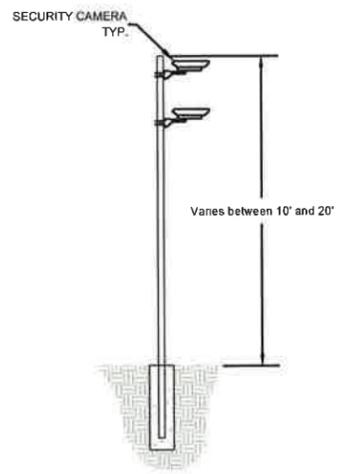


**3 | DETAIL - CHAIN LINK FENCE**  
NTS

- FENCE NOTES:
- CHAIN LINK FABRIC SHALL BE 2" MESH NO 9 GAGE WERE SECURITY FASTED TO LINE POSTS AND RAILS WIRE FASTENERS AND THE CLIPS SHALL BE NO 11 GAGE
  - WIRE CONCRETE FOOTINGS SHALL HAVE TOPS CROWNED AT GROUND LEVEL.
  - CHAIN LINK FENCE TO BE FITTED WITH UV- RESISTANT MESH FABRIC, COLOR PER CUSTOMER REQUEST
  - ELECTRICAL SAFETY SIGNAGE TO BE PLACED ALONG PERIMETER



**2 | WARNING SIGNAGE**  
Scale: NTS



**4 | DETAIL - SECURITY CAMERA POLE**  
NTS

**AECOM**

DESIGNER  
**AECOM**  
AECOM TECHNICAL SERVICES, INC  
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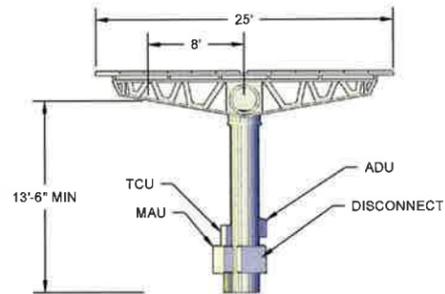
**APPROVED**

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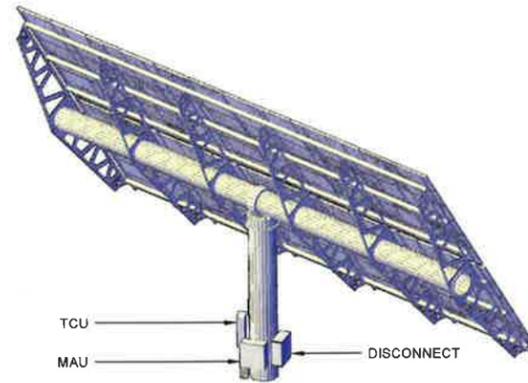
PLANNING AND DEVELOPMENT SERVICES

FILE NAME: P:\10 ENERGY WEST - CURRENT\10 - CONCENTRIX SOLAR - 6021852402 TECHNICAL\01 PRELIMINARY ENGINEERING\PLANS - CAD\FILES\CAD SOLAR CPV LAYOUT\LOGGED\_SCLAR\_13.DWG  
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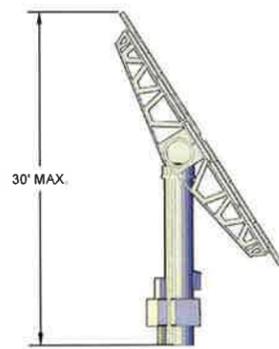
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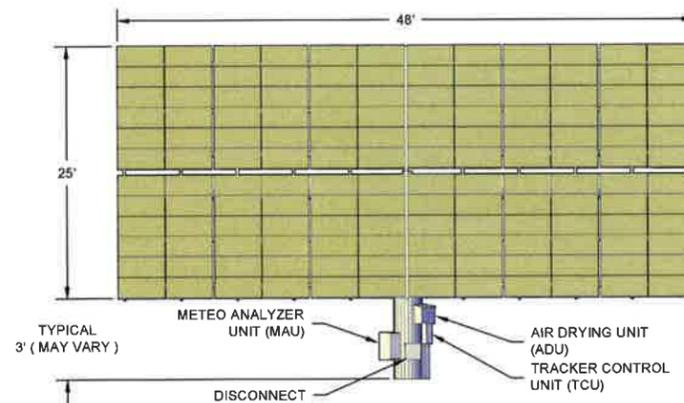
1 STOW MODE VIEW  
Scale: NTS



2 ISOMETRIC VIEW  
Scale: NTS



3 SIDE VIEW  
Scale: NTS



4 FRONT VIEW  
Scale: NTS

**AECOM**

DESIGNER

**AECOM**

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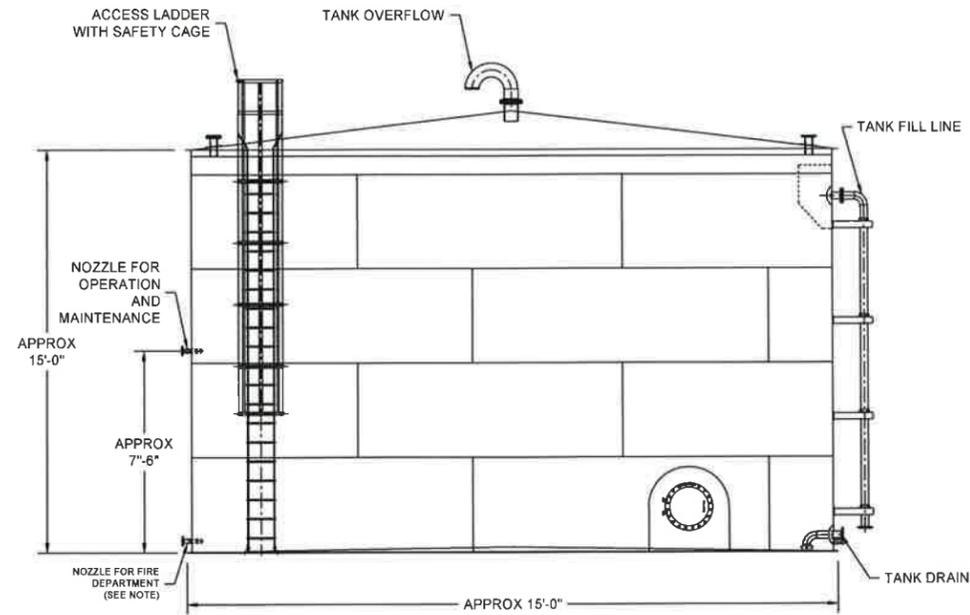
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PLANNING AND DEVELOPMENT SERVICES

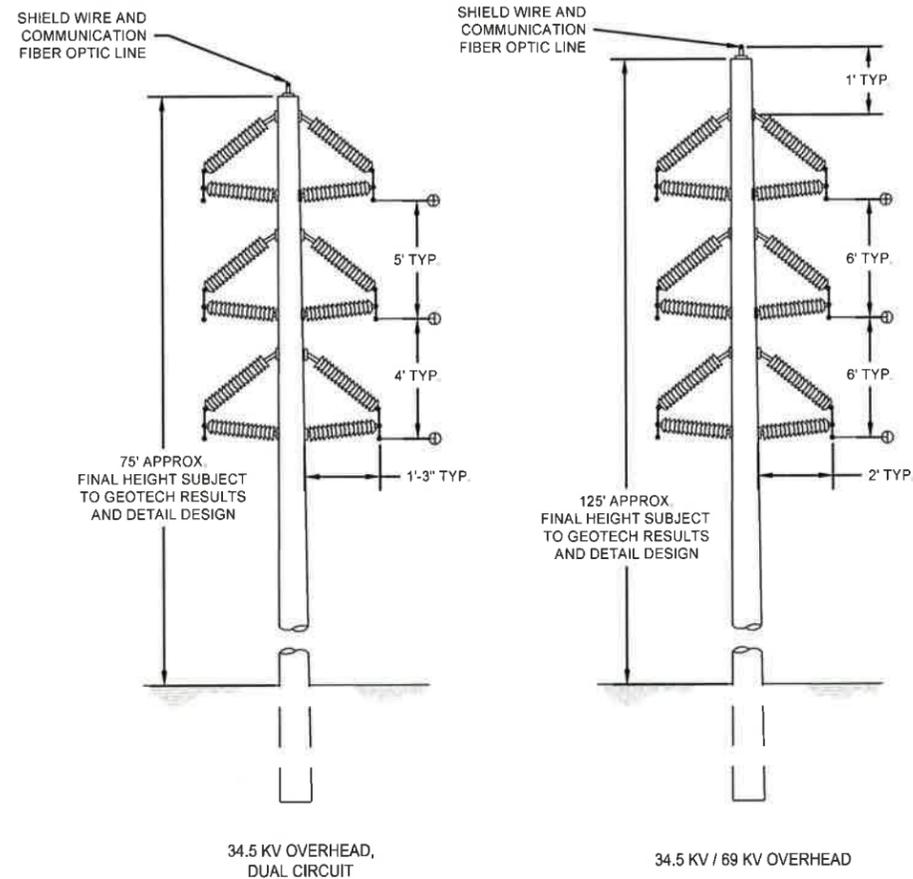
VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: SEE TABLE AT C-100 ADDRESS: CITY: STATE: ZIP: PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6120300100,6120301900,6110910700,6110910300,6110900400,6110600400,6110900200,6111000700,6111100100 SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road  I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT  DESIGNER SIGNATURE REQUIRED      DATE	<b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.  <b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.	<b>CPV System Summary</b> Approx. Number of Trackers: 3291 No. of Inverter Skids: 57 Total Lease Area (Acres): 506 Estimated Disturbed Acreage: 480 Coverage Ratio Range: 0.3 - 13%	<b>TRACKER ELEVATION DETAIL</b>  <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>C-133</td> <td>1</td> </tr> </tbody> </table>	SHEET NUMBER	REV.	C-133	1
	SHEET NUMBER	REV.								
C-133	1									



**NOTE:**

- IN ACCORDANCE WITH SECTION 507.2.2 IN TITLE 9, DIVISION 6, CHAPTER 1 OF THE SAN DIEGO COUNTY CODE:
1. THE SUPPLY OUTLET SHALL BE AT LEAST 4 INCHES IN DIAMETER FROM THE BASE OF THE TANK TO THE POINT OF OUTLET AT THE FIRE DEPARTMENT CONNECTION. THE FIRE DEPARTMENT CONNECTION SHALL BE AT LEAST ONE 4-INCH NATIONAL STANDARD THREAD (MALE), REDUCE TO ONE 2½ INCH NATIONAL STANDARD THREAD (MALE). ADDITIONAL OUTLETS MAY BE REQUIRED.
  2. THE LOCATION OF THE FIRE DEPARTMENT OUTLET TO BE DETERMINED ON THE PLOT PLAN WHEN SUBMITTED TO THE FIRE DEPARTMENT. CONSIDERATION WILL BE GIVEN TO TOPOGRAPHY, ELEVATIONS, AND DISTANCE FROM STRUCTURES, DRIVEWAY ACCESS, PREVAILING WINDS, ETC.
  3. THE OUTLET SHALL BE LOCATED ADJACENT TO THE FIRE ACCESS ROAD.

WATER TANK



**AECOM**

DESIGNER

**AECOM**  
AECOM TECHNICAL SERVICES, INC  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

CLIENT



Soitec Solar Development, LLC  
16550 Via Esprillo  
San Diego, CA 92127

**APPROVED**

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: SEE TABLE AT C-100</p> <p>ADDRESS:</p> <p>CITY:</p> <p>STATE:</p> <p>ZIP:</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746 9000</p> <p>FAX:</p> <p>EMAIL: patrick.brown@aecom.com</p>	<p>APN: 8120300100, 8120301900, 6110810700, 6110810300, 6110900400, 6110600400, 6110900200, 6111000700, 6111100100</p> <p>SITE ADDRESS: North of I-8, east of Ribbonwood Road, on both sides of McCain Valley Road</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED _____ DATE _____</p>	<p><b>EXISTING:</b> Rolling, rugged land with two detached land sections made up of many parcels. All land is randomly populated by boulders. The site is minimally developed with unpaved roads.</p> <p><b>PROPOSED:</b> Project located on approximately 506 acres and includes construction and operation of approximately 3291 Concentrated Photovoltaic (CPV) trackers with associated approximately 57 Inverters Skids and Transformers.</p>	<p><b>CPV System Summary</b></p> <p>Approx. Number of Trackers: 3291</p> <p>No. of Inverter Skids: 57</p> <p>Total Lease Area (Acres): 506</p> <p>Estimated Disturbed Acreage: 490</p> <p>Coverage Ratio Range: 0.3 - 13%</p>	<p><b>WATER TANK &amp; 34.5KV / 69KV OVERHEAD ELEVATION DETAIL</b></p> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-134</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-134	1
SHEET NUMBER	REV.									
C-134	1									

# PRELIMINARY GRADING AND DRAINAGE NOTES

## VICINITY MAP



### GRADING NOTES

- ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE GRADING ORDINANCE SECTIONS 87.101 THROUGH 87.804 OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES
- A REGISTERED CIVIL ENGINEER IS REQUIRED TO SUPERVISE INSTALLATION OF THE FILL KEYWAY AND ALL FILL BENCHING AND COMPACTION. A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL THAT IS OVER 12" IN DEPTH. DPLU FORM #73, MINOR GRADING CERTIFICATION, AND THREE (3) COPIES OF THE COMPACTION REPORT COMPLETED BY A SOILS ENGINEER SHALL BE SUBMITTED PRIOR TO ROUGH GRADE APPROVAL.
- ALL FILL MATERIAL SHALL BE COMPACTED AS NOTED
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY
- MAINTAIN 1% (MINIMUM) SLOPE AWAY FROM ALL BUILDINGS FOR AT LEAST 5'
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS:
  - A. DS-8 LOT GRADING
  - B. DS-10 GRADING OF SLOPES
  - C. DS-11 REQUIRED SETBACKS
  - D. D-40 RIP RAP ENERGY DISSIPATER
  - F. D-82 DEBRIS FENCE
  - G. DS-09 FENCING CUT BANKS
- BERMS SHALL BE REQUIRED AT THE TOP OF ALL FILL SLOPES AND SWALES OR BROW DITCHES SHALL BE REQUIRED AT THE TOP OF ALL CUT SLOPES. ALL BERMS, SWALES, OR BROW DITCHES SHALL CONFORM TO THE DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS LISTED ABOVE.
- REGARDLESS OF WHICH BMP'S ARE IMPLEMENTED THE FACE OF ALL CUT AND FILL SLOPES IN EXCESS OF 3' VERTICAL HEIGHT SHALL BE PLANTED AND MAINTAINED WITH A GROUND COVER OR OTHER PLANTING TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED. ALL PLANTING MUST HAVE A PERMANENTLY INSTALLED IRRIGATION SYSTEM.
- REQUIRED SLOPE RATIOS ARE AS FOLLOWS:
  - A. CUTS - 1.5:1 FOR MINOR SLOPES (UP TO 15' VERTICAL HEIGHT)
  - B. CUTS - 2:1 FOR MAJOR SLOPES (OVER 15' VERTICAL HEIGHT)
  - C. FILLS - 2:1 (MAXIMUM) FOR ALL FILL SLOPES
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE OWNER AND PERMITEE ARE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTIES. NO PERSON SHALL EXCAVATE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET OR SIDEWALK, OR THE FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY.
- THE DIRECTOR OF PLANNING AND LAND USE MAY IMPOSE CONDITIONS THAT ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. THE DIRECTOR MAY ALSO MODIFY OR ADD CONDITIONS TO ANY VALID GRADING PERMIT WHEN SUCH MODIFICATIONS OR ADDITIONS ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. SUCH CONDITIONS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - A. IMPROVEMENT OF EXISTING GRADING TO CONFORM WITH THE GRADING ORDINANCE, AND,
  - B. REQUIREMENTS FOR FENCING OF EXCAVATIONS OR FILLS THAT WOULD OTHERWISE BE HAZARDOUS, AND,
  - C. ADEQUATE DUST CONTROL MEASURES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM MONDAY THROUGH SATURDAY. NO EARTH MOVING OR GRADING SHALL BE CONDUCTED ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE PROVIDED TO THE FOLLOWING AGENCIES:
  - A. SAN DIEGO GAS AND ELECTRIC (800) 422-4133
  - B. PACIFIC BELL (800) 422-4133
  - C. CATV (800) 422-4133
  - D. WATER UTILITY (800) 422-4133
  - E. SEWER UTILITY (800) 422-4133
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PLANNING AND LAND USE DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION IS OBTAINED, RIGHT TO ENTRY FORM COMPLETED AND VALID GRADING PERMIT ISSUED.
- THE ISSUANCE OF A GRADING PERMIT SHALL CONSTITUTE AN AUTHORIZATION TO PERFORM ONLY THAT WORK WHICH IS DESCRIBED OR SHOWN ON THE GRADING PERMIT APPLICATION AND APPROVED GRADING PLANS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ANY CONDITIONS IMPOSED BY THE DIRECTOR OF PLANNING AND LAND USE AND IN ACCORDANCE WITH THE GRADING ORDINANCE.
- ROADS ARE CLASSIFIED ON THE DRAWING AS THE FOLLOWING:
  - A. PRIMARY ACCESS ROAD - 20FT WIDE GRADED ROAD IMPROVED TO CARRYING A 50,000LBS VEHICLE.
  - B. SECONDARY ACCESS ROAD - 30FT WIDE GRADED ROAD WITH AN 18FT LANE CAPABLE OF CARRYING A 15,000LBS VEHICLE AND A 12FT LANE CAPABLE TO CARRYING A 50,000LBS VEHICLE.

### PRELIMINARY GRADING PLAN NOTE

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSION BEFORE COMMENCING SUCH ACTIVITY.

### STORMWATER MANAGEMENT NOTES

- DURING THE RAINY SEASON FROM OCTOBER 1ST TO APRIL 30TH THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED WITHIN 48 HOURS OF A PREDICTED RAIN.
- 125% OF ALL NEEDED BMP MATERIALS SHALL BE STORED ONSITE YEAR-ROUND TO ALLOW FULL DEPLOYMENT AND INSTALLATION WITHIN 48 HOURS OF A PREDICTED RAIN.
- THE PROPERTY OWNER SHALL COMPLY WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMP'S THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT ONSITE EROSION AND TO PREVENT DISCHARGES OF POLLUTANTS FROM LEAVING THE SITE. MAINTENANCE OF BMP'S IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMP'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMP'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO.
- PERIMETER SEDIMENT CONTROL BMP'S SHALL BE INSTALLED IMMEDIATELY AFTER THE AREA TO BE GRADED IS BRUSHED OR CLEARED, BUT PRIOR TO THE START OF GRADING OPERATIONS.
- EROSION CONTROL BMP'S USED FOR SLOPE STABILIZATION SHALL BE INSTALLED AS SOON AS THE FINISHED SLOPES ARE COMPLETE.
- A PERIMETER BMP INSPECTION IS REQUIRED ON THE FIRST DAY OF GRADING.
- WHERE AN EXISTING STORMWATER CONVEYANCE CROSSES OVER A PLANNED SECONDARY SERVICE ROAD, THE ROAD SHALL BE GRADED AND MAINTAINED AS A FORD.
- RIP RAP SHALL BE PLACED AT ALL LOCATIONS WHERE ONE DRAINAGE FEATURE (SUCH AS A DITCH OR A SWALE) DRAINS INTO A LARGER DRAINAGE FEATURE.
- DIP SECTIONS SHALL BE COMPOSED OF 6" OF REINFORCED STRUCTURAL CONCRETE SLABS, WHICH SHALL BE DESIGNED TO WITHSTAND AND CONVEY HUNDRED (100) YEAR FREQUENCY STORM.
- ALL SURFACES THAT ARE NOT IMPROVED ROADS SHOULD BE SEEDED AND REVEGETATED WITH DROUGHT TOLERANT PLANTS.

PROPERTY OWNER INFORMATION				
NAME	Waterstone Support Foundation Inc. John Gibson	Frankie Thibodeau	Vista Data Business Park John Gibson	Harmony Grove Partners John Gibson
ADDRESS	2925 Professional Pl #200	3990 Goodwin Ln	1000 Pioneer Way	1000 Pioneer Way
CITY	Colorado Springs	Boulevard	Escondido	Escondido
STATE	CO	CA	CA	CA
ZIP	80904	91905	92020	92020
PHONE	(303) 445-1424	(619) 756-5105	(619) 440-7424	(619) 440-7424
APNs (Acres)	811-110-01 (82.71)	811 091-07 (42.39) 812-030-19 (43.43) 812-030-01 (33.10)	811 090-04 (32.07) 811 091-03 (14.62) 811-096-02 (89.63) 811-090-04 (1.83)	811-100-01 (254.84)

17. THE GRADING FOR THE SITE SHALL INCLUDE THE CLEARING AND GRUBBING FOR A 19,698,600 SQ. FT. AREA.

18. THE BASIS OF EXISTING CONTOURS WAS PROVIDED IN A DIGITAL TERRAIN MODEL (DTM) TIED TO THE CGS83 GRID. THE DTM WAS CREATED IN CONJUNCTION WITH AN AERIAL TOPOGRAPHICAL SURVEY AT 20-SCALE WITH 0.5 FOOT CONTOUR INTERVALS PERFORMED JANUARY 2012.

19. AREAS DESIGNATED AS "SPECIAL FUEL MOD ZONE" ARE TO BE CLEARED OF EXISTING VEGETATION, THEN COVERED WITH LANDSCAPING FABRIC AND WEIGHTED DOWN USING AS SURFACING MATERIAL OF CRUSHED STONE.

EARTHWORK QUANTITIES:	
EXCAVATION	28,410 CUBIC YARDS
FILL	28,410 CUBIC YARDS
IMPORT	0 CUBIC YARDS
EXPORT	0 CUBIC YARDS

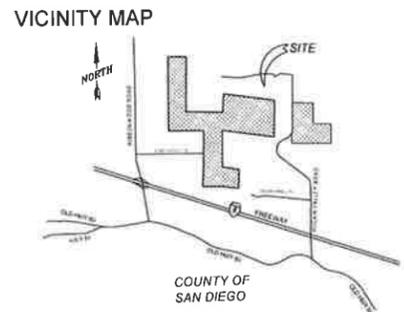
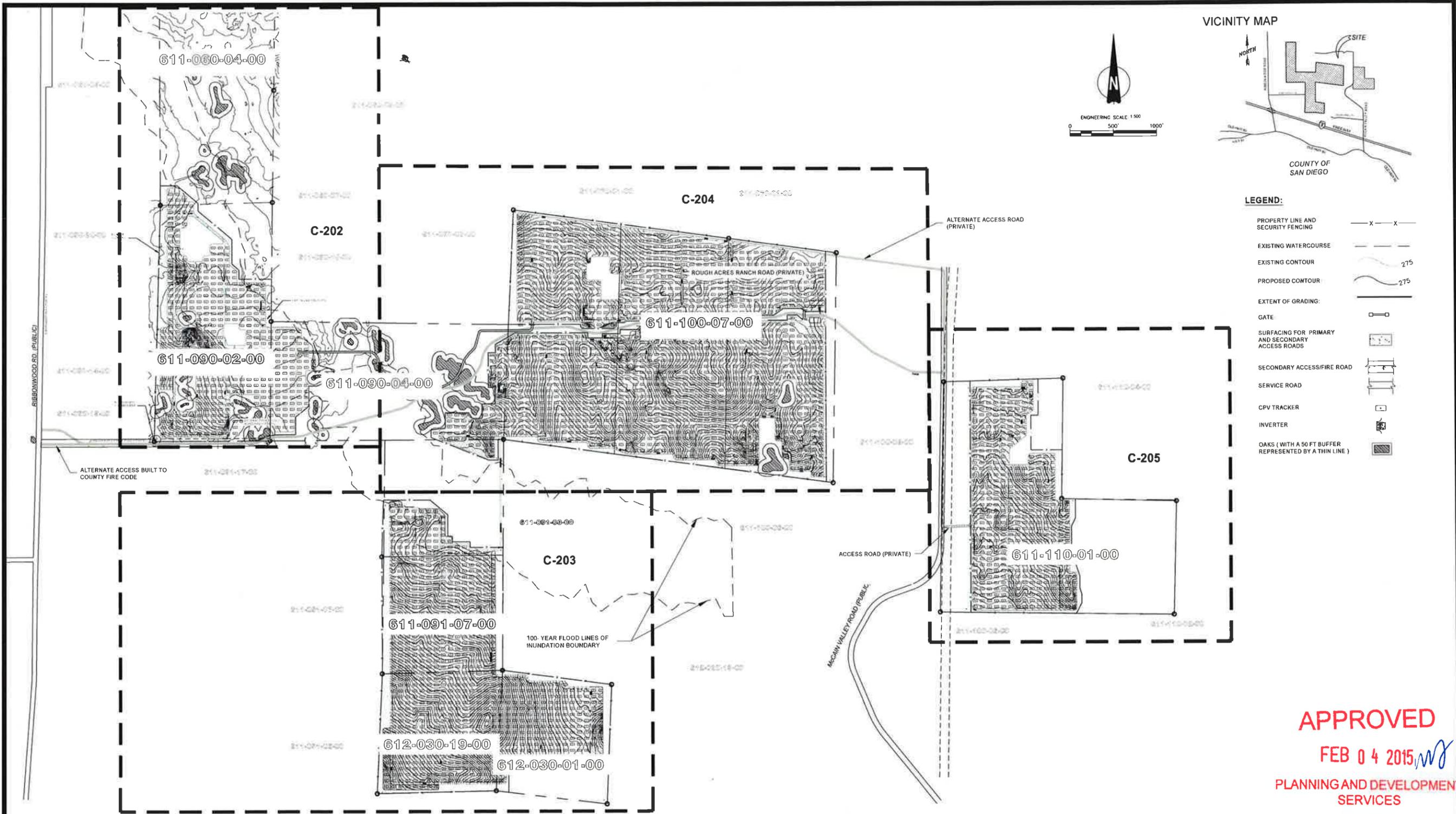
**APPROVED**  
 FEB 04 2015  
 PLANNING AND DEVELOPMENT SERVICES

<b>CLIENT</b>  Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	<b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>CONTACT INFORMATION</b> NAME: PAT BROWN ADDRESS: 4250 Executive Square, Suite 770 La Jolla, CA TELEPHONE NUMBER: (858) 652-4423 (24 HOUR CONTACT NUMBER) SITE A P N NUMBER: SEE DRAWINGS C-202 THROUGH C-205 ADJACENT A P N NUMBERS: SEE DRAWINGS C-202 THROUGH C-205	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APN(s): <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: _____ SF DRIVEWAY: _____ SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: _____ SF TOTAL: _____ SF IF ≥ 1 AC, PROVIDE WIDTH _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: <u>Sivasan E. Kolankaya</u> DATE: _____ RCE NO: <u>C-43928</u> EXPIRES: 12/31/14	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR <b>80 MW SOLAR SYSTEM                  RUGGED SOLAR LLC</b> SHEET NUMBER: <u>C-200</u> REV: <u>3</u> SHEET <u>1</u> OF <u>7</u> SHEETS APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____
		PRELIMINARY				

SDC PDS RCVD 12-16-14  
 3300-12-007

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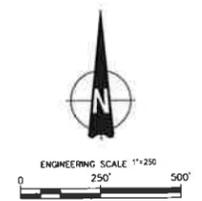
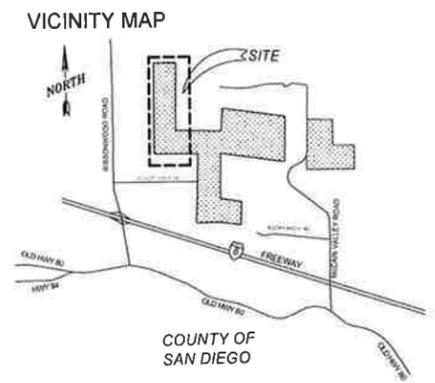
PROPERTY LINE AND SECURITY FENCING	— X — X —
EXISTING WATERCOURSE	— — — — —
EXISTING CONTOUR	— 275 —
PROPOSED CONTOUR	— 275 —
EXTENT OF GRADING:	
GATE	— O —
SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS	— [Symbol] —
SECONDARY ACCESS/FIRE ROAD	— [Symbol] —
SERVICE ROAD	— [Symbol] —
CPV TRACKER	— [Symbol] —
INVERTER	— [Symbol] —
OAKS (WITH A 50 FT BUFFER REPRESENTED BY A THIN LINE)	— [Symbol] —

**APPROVED**  
**FEB 04 2015**  
 PLANNING AND DEVELOPMENT SERVICES

<b>CLIENT</b>  Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	<b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>CONTACT INFORMATION</b> NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (858) 652-4423 (24 HOUR CONTACT NUMBER) 611-090-04, 611-091-03, 611-090-02, 611-090-04, 611-091-07, 612-030-19 SITE A.P.N. NUMBER: 612-030-01, 611-100-07, 611-110-01 SITE ADDRESS:	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APN(s): <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES _____ SF DRIVEWAY _____ SF PRIMARY SEPTIC _____ SF FIRE CLEARING _____ SF TOTAL _____ SF IF ≥ 1 AC, PROVIDE WIDTH# _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER _____ PARCEL MAP NUMBER _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. Savvas E. Kolankaya DATE _____ RCE NO: C-43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-0544	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR 80 MW SOLAR SYSTEM RUGGED SOLAR LLC SHEET NUMBER: C-201 REV: 3 SHEET: 2 OF SHEETS: 7 APPROVED DIRECTOR OF PLANNING AND LAND USE _____ GRADING PERMIT NUMBER _____ BY: _____ DATE: _____
		<b>PRELIMINARY</b>				

FILE NAME: C:\USERS\ORCZCOC\DESKTOP\SOITEC SOLAR PROJECT\DRUGGED\GRADING AND DRAINAGE\GRADING & DRAINAGE DRAWINGS\WORKING GRADING-C-202-CAD\C-202\_GRADING\_REV3.DWG LAST SAVED BY: ORCZCOC PLOT DATE: 12/2/2014 2:43:05 PM

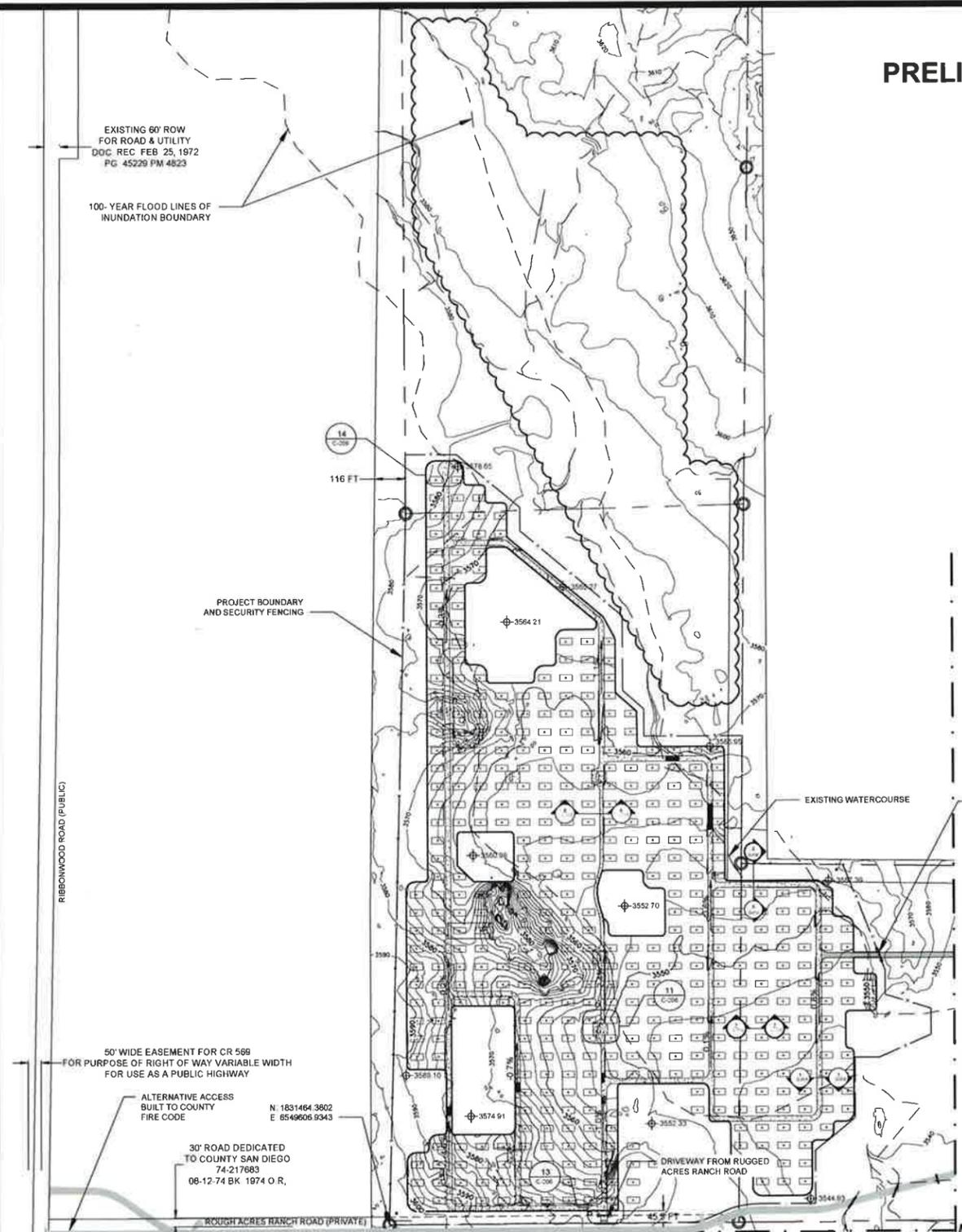
# PRELIMINARY GRADING PLAN



### GRADING LEGEND

- PROPERTY LINE AND SECURITY FENCING: - X - X -
- EXISTING WATERCOURSE: - - - - -
- EXISTING CONTOUR: - - - - - 275
- PROPOSED CONTOUR: - - - - - 275
- EXTENT OF GRADING: [Symbol]
- GATE: [Symbol]
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROAD: [Symbol]

VISTA OAKS EARTHWORK	
BASE SURFACE	EXISTING GROUND
COMPARISON SURFACE	FUTURE GROUND
AREA SQ FT	3,177,251
AREA acres	75.0
CUT Cu Yd	4856
FILL Cu Yd	4556
NET Cu Yd	0



APPROVED

FEB 04 2015 *md*

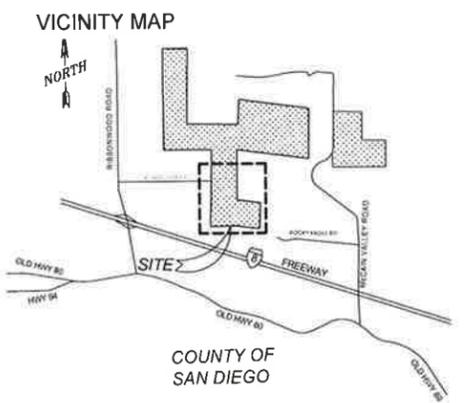
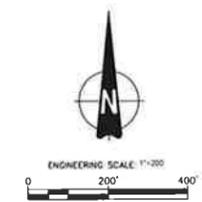
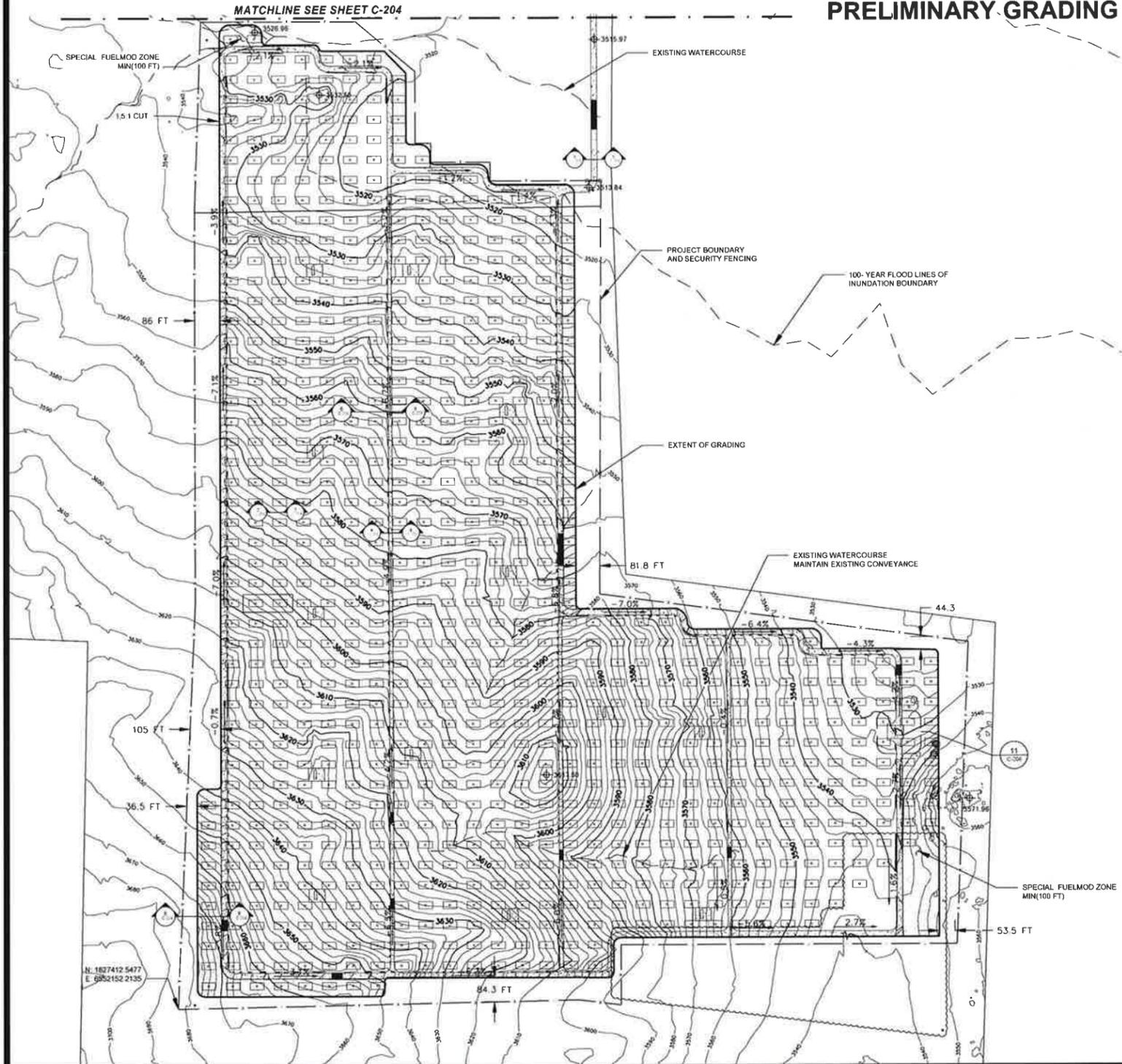
PLANNING AND DEVELOPMENT SERVICES

<b>CLIENT</b>  <b>Soitec</b> Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9176	 <b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>PROPERTY OWNER INFORMATION</b> NAME: Vista Oaks Business Park, John Gibson ADDRESS: 1000 Pioneer Way, El Cajon, CA 92020 TELEPHONE NUMBER: (619) 440-7424 (24 HOUR CONTACT NUMBER) 611-090-04, 611-091-03 611-090-02, 611-080-04 SITE A.P.N. NUMBER: 611-090-04, 611-090-18, 611-060-07 611-090-14, 611-090-115, 611-091-17 ADJACENT A.P.N. NUMBERS: 611-060-03, 611-060-04, 611-060-05, 611-090-19, 611-090-20, 611-090-20	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED: APN(s): <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES: OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: 390,942 SF DRIVEWAY: 1,424 SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: 2,784,885 SF TOTAL: 3,177,251 SF IF ≥ 1 AC, PROVIDE WIDTH _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER _____ PARCEL MAP NUMBER _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolanikaya DATE _____ RCE NO: C-43628 EXPIRES: 12/31/14	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR <b>80 MW SOLAR SYSTEM</b> <b>RUGGED SOLAR LLC</b> SHEET NUMBER: C-202 REV: 3 SHEET: 3 OF SHEETS: 7 APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____
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PRELIMINARY

FILE NAME: C:\USERS\OROCZOC\DESKTOP\SOITEC SOLAR PROJECTS\RUGGED\GRADING & DRAINAGE\DRAWINGS\WORKING\GRADING-C-203\ADIC-203\_Grading\_REV3.DWG LAST SAVED BY: OROZCOC PLOT DATE: 12/29/2014 2:46:36 PM

# PRELIMINARY GRADING PLAN



### GRADING LEGEND

- PROPERTY LINE AND SECURITY FENCING — x — x —
- EXISTING WATERCOURSE ————
- EXISTING CONTOUR ———— 2.75
- PROPOSED CONTOUR ———— 2.75
- EXTENT OF GRADING ————
- GATE ————
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS ————

FRANKIE THIDODEAU EARTHWORK	
BASE SURFACE	EXISTING GROUND
COMPARISON SURFACE	FUTURE GROUND
AREA SQ FT	5,796,179
AREA acres	133.6
CUT Cu Yd	3780
FILL Cu Yd	1780
NET Cu Yd	0

APPROVED

FEB 04 2015 *ms*

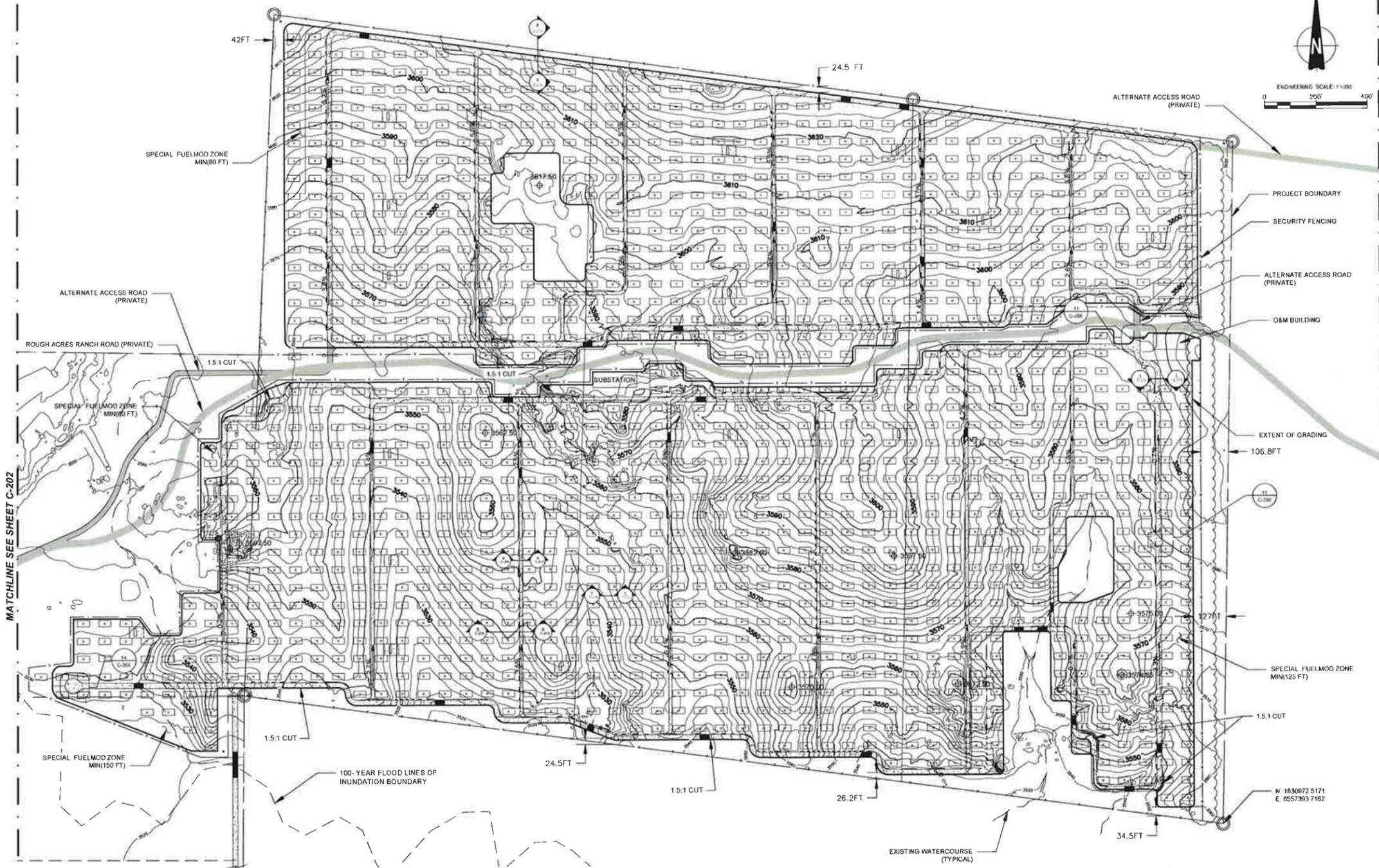
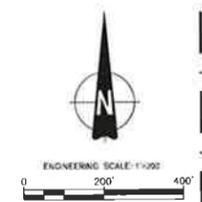
PLANNING AND DEVELOPMENT SERVICES

<b>CLIENT</b>  <b>Soitec</b> Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	 <b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 90075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>PROPERTY OWNER INFORMATION</b> NAME: Frankie Thibodeau ADDRESS: 39990 Roadrunner Ln Boulevard, CA 91905 TELEPHONE NUMBER: (619) 766-9105 (24 HOUR CONTACT NUMBER) SITE A P N NUMBER: 611-091-07, 612-030-19, 612-030-01 ADJACENT A P N NUMBERS: 611-091-07, 612-030-02, 612-030-21 612-030-13, 611-100-006, 611-091-03, 611-091-02	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APN(s): <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: 381,751 SF DRIVEWAY: _____ SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: 5,414,428 SF TOTAL: 5,796,179 SF IF ≥ 1 AC, PROVIDE WIDTH _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT _____ PLAN CHECK NUMBER _____ PARCEL MAP NUMBER: _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. Savvas E. Kolankaya _____ DATE _____ RCE NO: C-43620 EXPIRES: 12/31/14 TELEPHONE NUMBER: (610) 260-6544	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR: <b>80 MW SOLAR SYSTEM</b> <b>RUGGED SOLAR LLC</b> SHEET NUMBER: C-203 REV: 3 SHEET: 4 OF SHEETS: 7 APPROVED DIRECTOR OF PLANNING AND LAND USE _____ GRADING PERMIT NUMBER _____ DATE _____
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PRELIMINARY

# PRELIMINARY GRADING PLAN

## VICINITY MAP



### GRADING LEGEND

- SECURITY FENCING: — X — X —
- EXISTING WATERCOURSE: ————
- EXISTING CONTOUR: 2.75
- PROPOSED CONTOUR: 2.75
- EXTENT OF GRADING: [Symbol]
- GATE: [Symbol]
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS: [Symbol]

HARMONY GROVE EARTHWORK	
BASE SURFACE	EXISTING GROUND
COMPARISON SURFACE	FUTURE GROUND
AREA SQ. FT.	9,568,780
AREA ACRES	220.0
CUT Cu. Yd.	14156
FILL Cu. Yd.	14156
NET Cu. Yd.	0

APPROVED

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

FILE NAME: C:\USERS\ORCZC\DESKTOP\SOITEC\PROJECTS\RUGGED\GRADING AND DRAINAGE\WORKING GRADING-C-204\CAD\C-204\_GRADING\_REV3.DWG LAST SAVED BY: ORCZC DATE: 12/31/14 2:51:23 PM

**CLIENT**

**Soitec Solar Development, LLC**  
4250 Executive Square, Suite 770  
San Diego, CA 92037-9178

**AECOM**

**AECOM TECHNICAL SERVICES, INC**  
440 Stevens Avenue, Suite 250  
Solana Beach, CA 98075  
858.947.7144 tel 858.947.7145 fax  
www.aecom.com

**PROPERTY OWNER INFORMATION**

NAME: Harmony Grove Partners John Gibson  
ADDRESS: 1000 Pioneer Way  
El Cajon, CA 92020  
TELEPHONE NUMBER (24 HOUR CONTACT NUMBER): (619) 440-7424  
SITE A.P.N. NUMBER: 611-100-07  
ADJACENT A.P.N. NUMBERS: 611-100-06, 611-091-03, 611-070-03, 611-070-01, 611-060-03, 611-090-03, 611-090-04

**GRADING ON ADJACENT PARCELS**

LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED

APN(s):

**PROPERTY OWNER CERTIFICATION**

I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES

OWNER'S SIGNATURE (REQUIRED) \_\_\_\_\_ DATE \_\_\_\_\_

**DISTURBED AREA CALCCS**

PAD + SLOPES	837,935	SF
DRIVEWAY	4,058	SF
PRIMARY SEPTIC		SF
FIRE CLEARING	6,726,789	SF
TOTAL	9,568,780	SF
IF ≥ 1 AC, PROVIDE WIDTH		

**PLAN CHECK/PERMITS**

BUILDING PERMIT PLAN CHECK NUMBER: \_\_\_\_\_

PARCEL MAP NUMBER: \_\_\_\_\_

**ENGINEER OF WORK**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT

Savvas E. Kolanikaya DATE: 12/31/14  
RCE NO: C-43628 EXPIRES: 12/31/14  
TELEPHONE NUMBER: (619) 280-6544

**PRIVATE CONTRACT**

COUNTY OF SAN DIEGO  
DEPARTMENT OF PLANNING AND LAND USE

PRELIMINARY GRADING PLAN FOR  
**80 MW SOLAR SYSTEM  
RUGGED SOLAR LLC**

SHEET NUMBER: C-204 REV: 3 SHEET: 5 OF SHEETS: 7

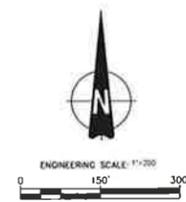
APPROVED DIRECTOR OF PLANNING AND LAND USE: \_\_\_\_\_ DATE: \_\_\_\_\_  
GRADING PERMIT NUMBER: \_\_\_\_\_

PRELIMINARY

FILE NAME: C:\USERS\ORCZCOG\DESKTOP\SOITEC SOLAR PROJECTS\RUGGED\GRADING AND DRAINAGE\DRAWINGS\WORKING GRADING\C-205\GRADING\_REV3.DWG LAST SAVED BY: ORCZCOG PLOT DATE: 12/20/14 2:52:19 PM

# PRELIMINARY GRADING PLAN

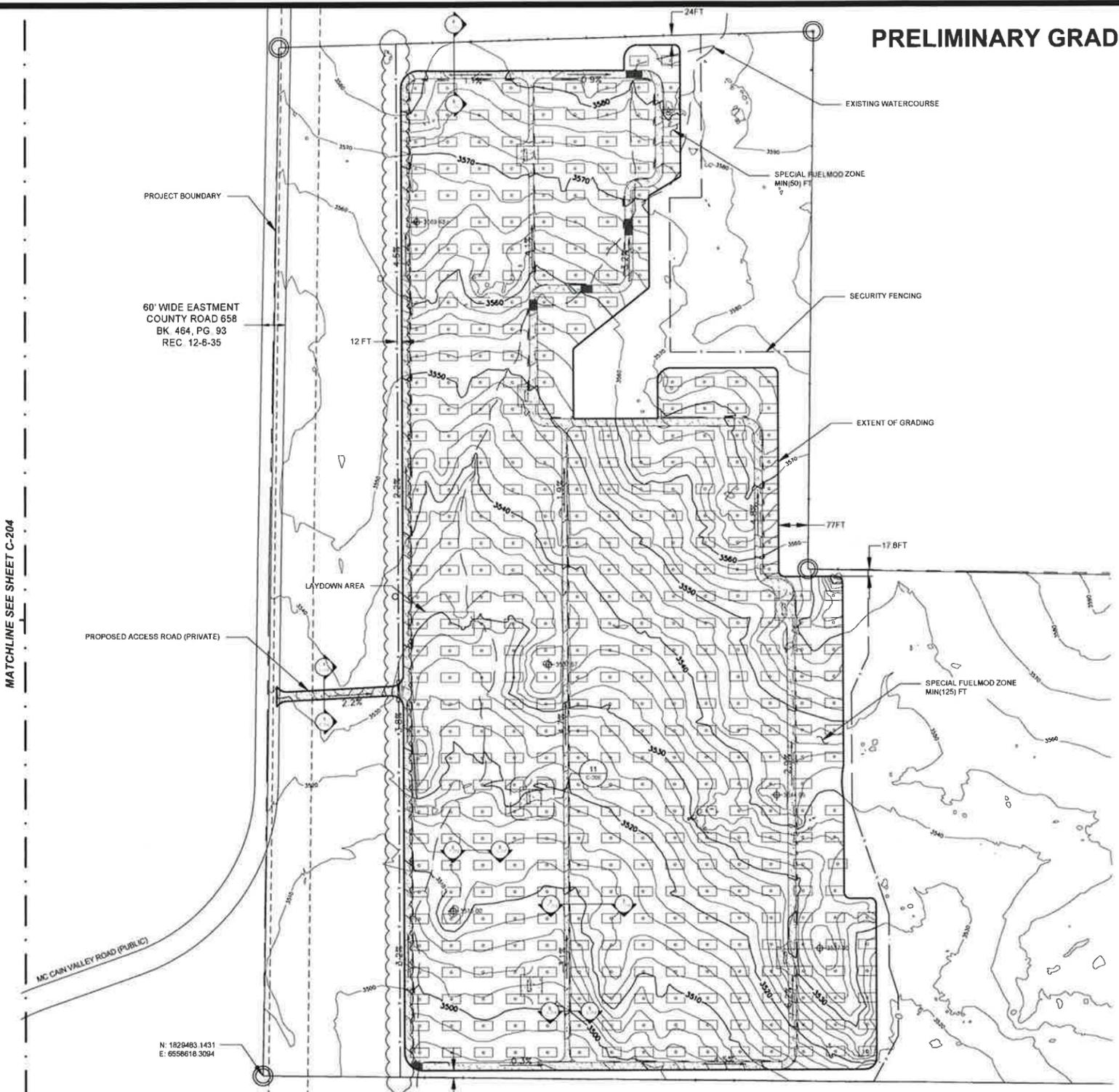
## VICINITY MAP



### GRADING LEGEND

- SECURITY FENCING: — X — X —
- EXISTING WATERCOURSE: ————
- EXISTING CONTOUR: ———— 2.75
- PROPOSED CONTOUR: ———— 2.75
- EXTENT OF GRADING: ————
- GATE: — O —
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS: [Symbol]

WATERSTONE EARTHWORK	
BASE SURFACE	EXISTING GROUND
COMPARISON SURFACE	FUTURE GROUND
AREA SQ. FT.	2,787,979
AREA ACRES	64
CUT CU. YD.	5819
FILL CU. YD.	5819
NET CU. YD.	0



APPROVED

FEB 04 2015 *md*

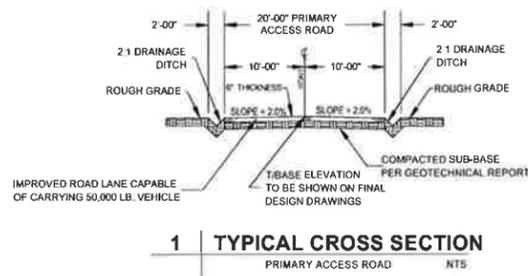
PLANNING AND DEVELOPMENT SERVICES

<p><b>CLIENT</b></p> <p><b>Soitec</b></p> <p>Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92131-9178</p>	<p><b>AECOM</b></p> <p><b>AECOM</b></p> <p>AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 94075 858.947.7144 tel 858.947.7145 fax www.aecom.com</p>	<p><b>PROPERTY OWNER INFORMATION</b></p> <p>NAME: Waterstone Support Foundation Inc. John Gibson ADDRESS: 2925 Professional Pl #200 Colorado Springs, CA 80904 TELEPHONE NUMBER: (619) 440-7424 (24 HOUR CONTACT NUMBER) SITE A.P.N. NUMBER: 611-110-01 ADJACENT A.P.N. NUMBERS: 611-110-04, 611-100-06, 611-110-02</p>	<p><b>GRADING ON ADJACENT PARCELS</b></p> <p>LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED.</p> <p>APN(s): _____</p> <p><b>PROPERTY OWNER CERTIFICATION</b></p> <p>I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES.</p> <p>OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____</p>	<p><b>DISTURBED AREA CALCS</b></p> <p>PAD + SLOPES: 214,904 SF DRIVEWAY: 8,370 SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: 2,564,705 SF TOTAL: 2,787,979 SF IF ≥ 1 AC, PROVIDE WIDTH: _____</p>	<p><b>PLAN CHECK/PERMITS</b></p> <p>BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____</p> <p><b>ENGINEER OF WORK</b></p> <p>I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.</p> <p>Savas E. Kolanikaya DATE: _____ RCE NO: C-43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 280-8544</p>	<p><b>PRIVATE CONTRACT</b></p> <p>COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE</p> <p>PRELIMINARY GRADING PLAN FOR 80 MW SOLAR SYSTEM RUGGED SOLAR LLC</p> <p>SHEET NUMBER: C-205 REV: 3 SHEET: 6 OF SHEETS: 7</p> <p>APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ DATE: _____</p>
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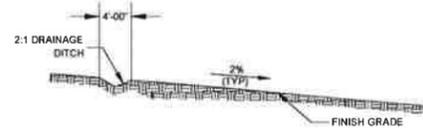
PRELIMINARY

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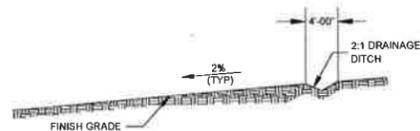
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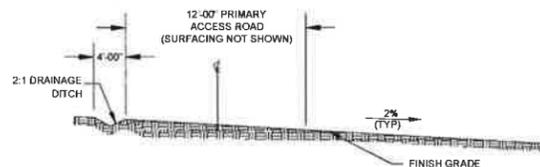
**1 TYPICAL CROSS SECTION**  
PRIMARY ACCESS ROAD NTS



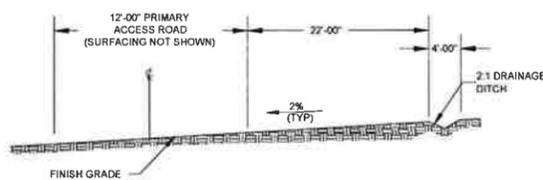
**2 TYPICAL CROSS SECTION**  
NTS



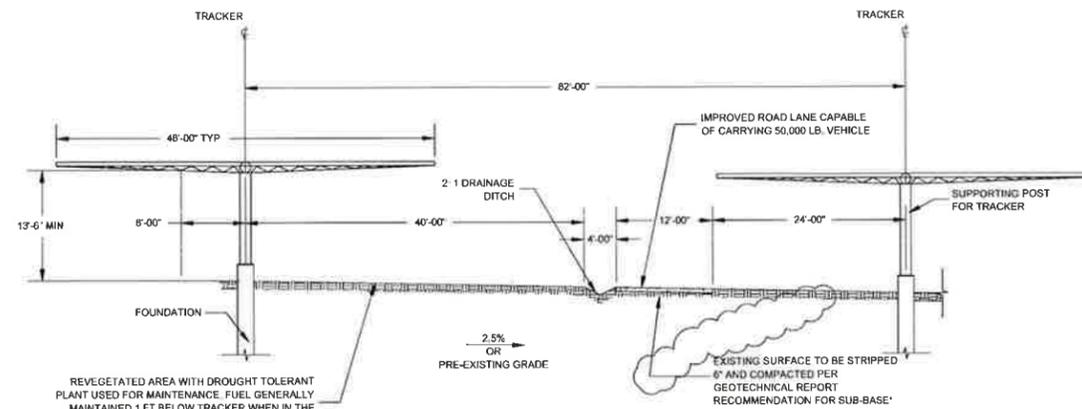
**3 TYPICAL CROSS SECTION**  
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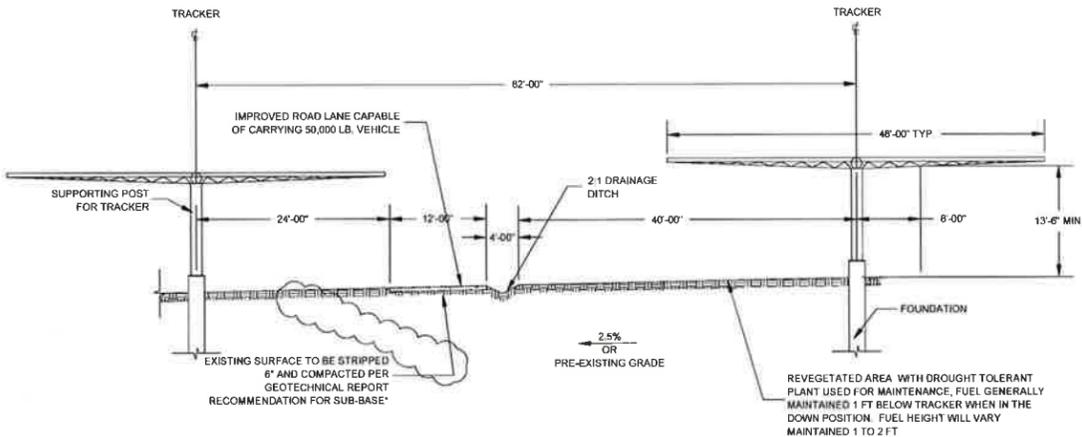
**4 TYPICAL CROSS SECTION**  
SECONDARY ACCESS ROAD NTS



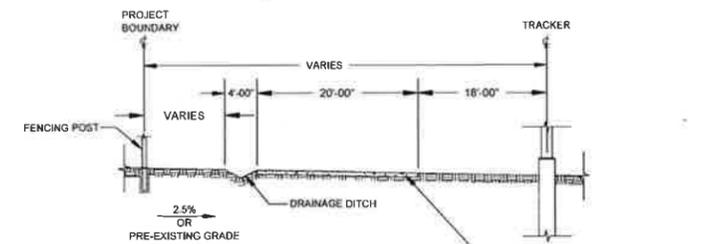
**5 TYPICAL CROSS SECTION**  
SECONDARY ACCESS ROAD NTS



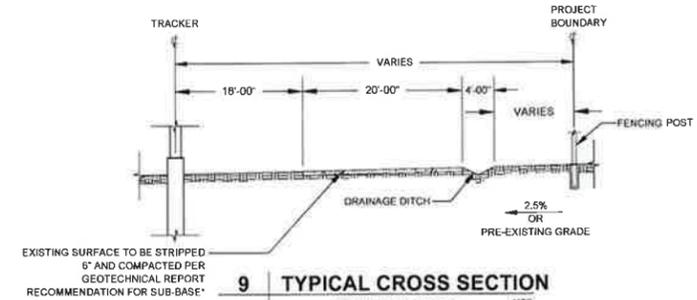
**6 TYPICAL CROSS SECTION**  
EMERGENCY VEHICLE ACCESS NTS



**7 TYPICAL CROSS SECTION**  
EMERGENCY VEHICLE ACCESS NTS



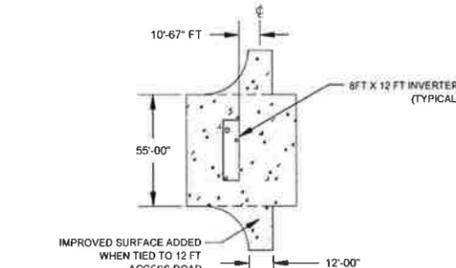
**8 TYPICAL CROSS SECTION**  
SEE NOTE 19 ON C-200 NTS



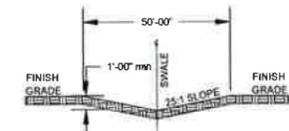
**9 TYPICAL CROSS SECTION**  
SEE NOTE 19 ON C-200 NTS



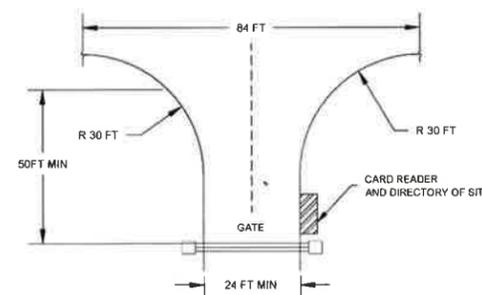
**10 DETAIL - FIBER ROLL**  
NTS



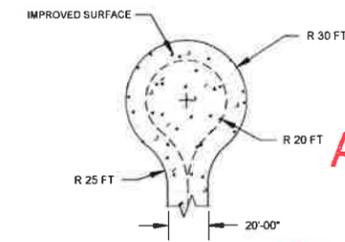
**11 DETAIL - DECOMPOSED GRANITE PAD**  
SEE DETAIL 1 FOR MATERIAL COMPACTION NTS



**12 DETAIL - SWALE**  
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



**13 DETAIL - DRIVEWAY ENTRANCE**  
NTS



**14 DETAIL - TURNAROUND**  
NTS

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FEB 04 2015  
PLANNING AND DEVELOPMENT SERVICES

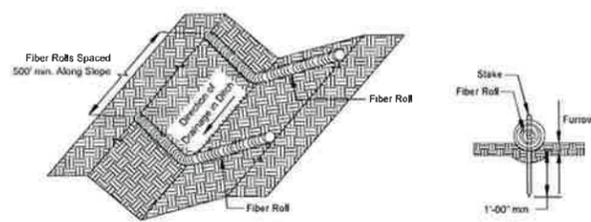
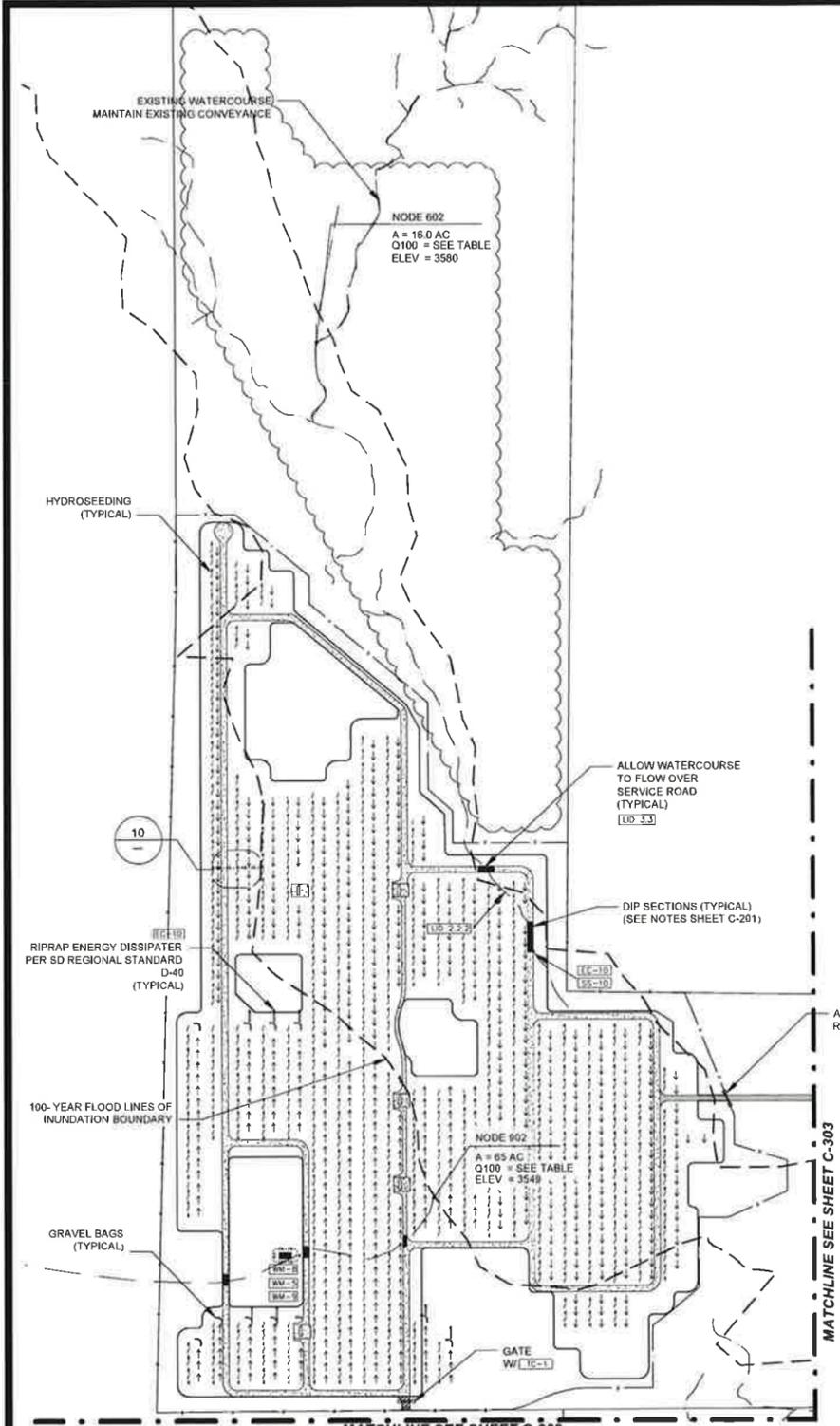
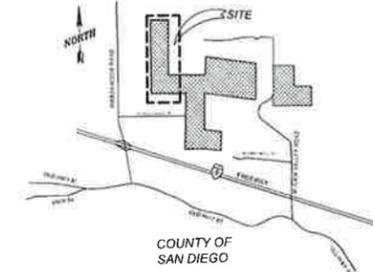
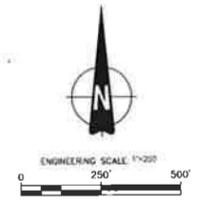
<p><b>CLIENT</b></p> <p><b>Soitec</b> Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178</p>	<p><b>AECOM</b></p> <p><b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com</p>	<p><b>PROPERTY OWNER INFORMATION</b></p> <p>NAME: SEE SHEETS C-202 THROUGH C-205 ADDRESS: _____ TELEPHONE NUMBER (24 HOUR CONTACT NUMBER): _____ SITE A.P.N. NUMBER: _____ ADJACENT A.P.N. NUMBERS: _____</p>	<p><b>GRADING ON ADJACENT PARCELS</b></p> <p>LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED:</p> <p>APN(s): _____</p> <p><b>PROPERTY OWNER CERTIFICATION</b></p> <p>I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:</p> <p>OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____</p>	<p><b>DISTURBED AREA CALCLS</b></p> <p>PAD + SLOPES _____ SF DRIVEWAY _____ SF PRIMARY SEPTIC _____ SF FIRE CLEARING _____ SF TOTAL _____ SF IF ≥ 1 AC, PROVIDE WDI# _____</p>	<p><b>PLAN CHECK/PERMITS</b></p> <p>BUILDING PERMIT _____ PLAN CHECK NUMBER _____ PARCEL MAP NUMBER _____</p> <p><b>ENGINEER OF WORK</b></p> <p>I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT</p> <p>NAME: Savvas E. Kolankaya DATE: _____ RCE NO: C 43628 EXPIRES: 12/31/14</p>	<p><b>PRIVATE CONTRACT</b></p> <p>COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE</p> <p>PRELIMINARY GRADING PLAN FOR: <b>80 MW SOLAR SYSTEM</b> <b>RUGGED SOLAR LLC</b></p> <p>SHEET NUMBER: C-206 REV: 2 SHEET 7 OF SHEETS 7</p> <p>APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____</p>
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PRELIMINARY

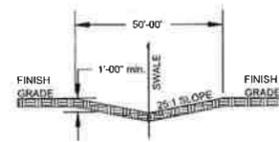
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# PRELIMINARY DRAINAGE AND BMP PLAN

## VICINITY MAP



10 DETAIL - FIBER ROLL NTS



12 DETAIL - SWALE NTS

Watercourse No.	Dip Crossing Down Stream Node.	100-year Design Flow Rate cfs	Flow Depth		Flooded Width ft
			ft	ft	
200	204	444	1.37	47.4	47.4
	444	1.37	47.4		
600	602	96	0.61	32.2	32.2
	96	0.61	32.2		
900	902	70	0.51	30.2	30.2
	1303	44	0.39	27.80	
1300	1303	44	0.39	27.80	27.80
	1402	15	0.21	24.20	
1400	1402	15	0.21	24.20	24.20
	1502	73	0.51	30.20	
1500	1502	73	0.51	30.20	30.20
	1803	71	0.51	30.20	
1800	1803	71	0.51	30.20	30.20
	1803	71	0.51	30.20	
1900	1902	122	0.69	33.8	33.8
	2004	374	1.25	45.00	
2000	2004	374	1.25	45.00	45.00
	374	1.25	45.00		

\*Assume a 10% road slope down into the crossing

- LEGEND**
- PROPERTY LINE AND SECURITY FENCING: — X — X — X —
  - EXISTING WATERCOURSE: ————
  - LINES OF INUNDATION BOUNDARY: - - - - -
  - SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS: [Symbol]
  - GATE: [Symbol]
- BMP LEGEND**
- DIRECTION OF LOT DRAINAGE: → → →
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs**
- WM-8 PORTABLE CONCRETE WASTE MANAGEMENT
  - WM-9 SOLID WASTE MANAGEMENT
  - WM-9 SANITARY WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs**
- SS-4 HYDROSEEDING (SUMMER) ~TSP~TSP~
  - SS-10 ENERGY DISSIPATOR [Symbol]
  - SC-1 SILT FENCE [Symbol]
  - SC-5 FIBER ROLLS FR—FR—
  - SC-6/SC-8 GRAVEL OR SAND BAGS [Symbol]
  - TC-1 STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- PERMANENT BMPs**
- SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
  - EC-10 OUTLET PROTECTION
- LOW IMPACT DEVELOPMENT BMPs**
- LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
  - LID 2.2.3 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACE
  - LID 2.2.4 MINIMIZE SOIL COMPACTION
  - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS

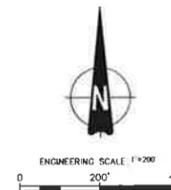
**APPROVED**  
**FEB 04 2015**  
 PLANNING AND DEVELOPMENT SERVICES

<b>CLIENT</b>  Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92137-8178	<b>PROPERTY OWNER INFORMATION</b> NAME: Vista Oaks Business Park, John Gibson ADDRESS: 1000 Pioneer Way, El Cajon, CA 92020 TELEPHONE NUMBER: (619) 440-7424 SITE A.P.N. NUMBER: 611-090-04, 611-090-02, 611-090-04, 611-090-04, 611-090-18, 611-090-07, 611-090-14, 611-090-115, 611-091-17 ADJACENT A.P.N. NUMBER: 611-090-03, 611-090-04, 611-090-05, 611-090-19, 611-090-20, 611-090-20	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED APN(s): _____ <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: 3,390,942 SF DRIVEWAY: 1,425 SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: _____ SF TOTAL: 3,177,251 SF IF ≥ 1 AC, PROVIDE WIDTH: _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolanikaya DATE: _____ RCE NO: C 43828 EXPIRES: 12/31/14 TELEPHONE NUMBER: (619) 280-8544	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR 80 MW SOLAR SYSTEM RUGGED SOLAR LLC SHEET NUMBER: C-301 REV: 3 SHEET: 1 OF SHEETS: 4 APPROVED: _____ GRADING PERMIT NUMBER: _____ BY: _____ DATE: _____

PRELIMINARY

# PRELIMINARY DRAINAGE AND BMP PLAN

## VICINITY MAP

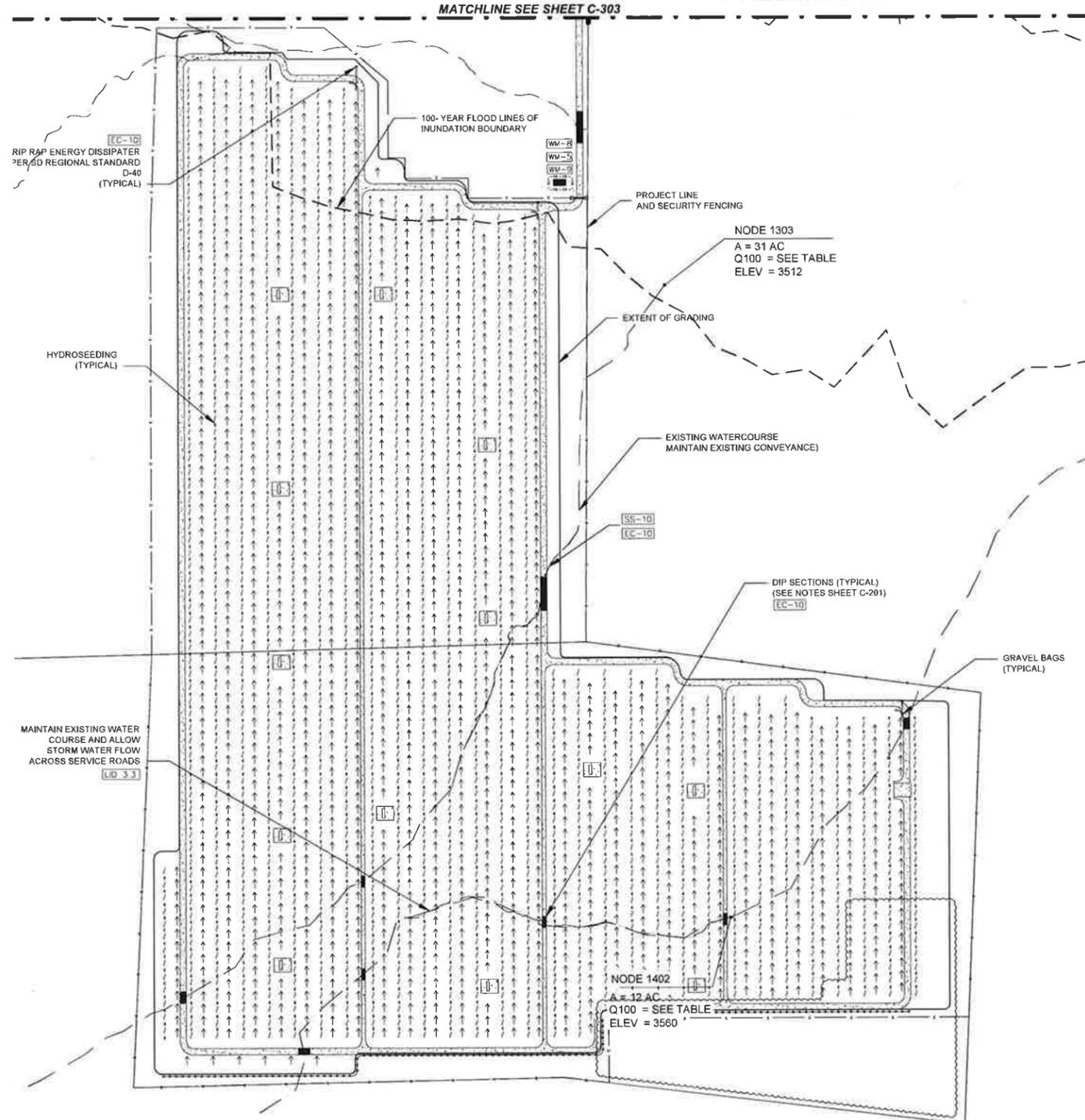


### LEGEND

- PROPERTY LINE AND SECURITY FENCING — X — X — X —
- EXISTING WATERCOURSE — — — — —
- LINES OF INUNDATION BOUNDARY - - - - -
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS [Symbol]
- GATE [Symbol]

### BMP LEGEND

- DIRECTION OF LOT DRAINAGE → → →
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs**
  - WM-8 PORTABLE CONCRETE WASTE MANAGEMENT
  - WM-9 SOLID WASTE MANAGEMENT
  - WM-9 SANITARY WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs**
  - SS-4 HYDROSEEDING (SUMMER) ~TSP~TSP~
  - SS-10 ENERGY DISSIPATOR [Symbol]
  - SC-1 SILT FENCE [Symbol]
  - SC-5 FIBER ROLLS — FR — FR —
  - SC-6 / SC-8 GRAVEL OR SAND BAGS [Symbol]
  - TC-1 STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- PERMANENT BMPs**
  - SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
  - EC-10 OUTLET PROTECTION
- LOW IMPACT DEVELOPMENT BMPs**
  - LD 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
  - LD 2.2.5 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACE
  - LD 2.2.4 MINIMIZE SOIL COMPACTION
  - LD 3.3 ROAD DESIGN FOR DEVELOPMENTS



APPROVED

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

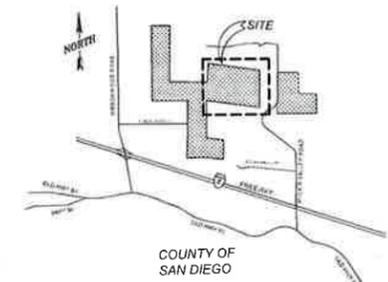
FILE NAME: C:\USERS\ORCZC\DESKTOP\SITE\SOLAR PROJECTS\RUGGED\SOLAR PROJECTS\RUGGED\GRADING AND DRAINAGE\DRAWING\DRAINAGE\CAD\C-304\_DRAINAGE\_RUGGED.DWG PLOT DATE: 12/29/2014 4:01:38 PM LAST SAVED BY: ORCZC

<b>CLIENT</b>  Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	 <b>AECOM</b> AECOM TECHNICAL SERVICES, INC. 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>PROPERTY OWNER INFORMATION</b> NAME: Frankie Thibodeau ADDRESS: 38990 Roadrunner Ln, Boulevard, CA 91905 TELEPHONE NUMBER: (619) 766-9105 SITE A.P.N. NUMBER: 611-091-07, 612-030-19, 612-030-01 ADJACENT A.P.N. NUMBER: 611-091-07, 612-030-02, 612-030-21, 612-030-13, 611-100-006, 611-091-03, 611-091-02	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APN(s): <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: 3,817,751 SF DRIVEWAY: 2,562 SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: _____ SF TOTAL: 5,796,179 SF IF ≥ 1 AC, PROVIDE WIDTH: _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Sayas E. Kolankaya DATE: _____ RCE NO: C 43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (619) 280-6544	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR: <b>80 MW SOLAR SYSTEM RUGGED SOLAR LLC</b> SHEET NUMBER: C-302 REV: 3 SHEET: 2 OF SHEETS: 4 APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ DATE: _____
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PRELIMINARY

# PRELIMINARY DRAINAGE AND BMP PLAN

## VICINITY MAP

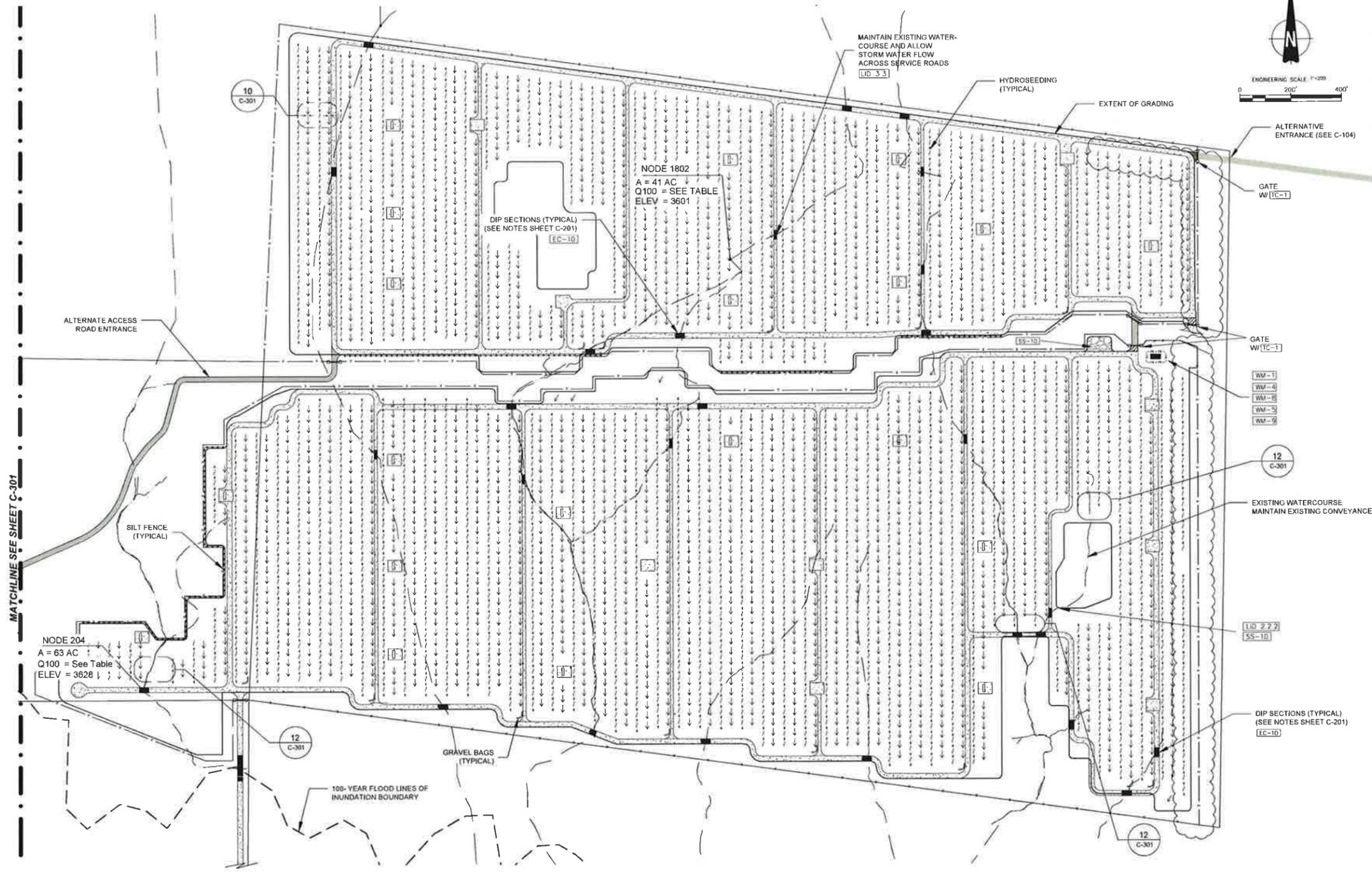


### LEGEND

- SECURITY FENCING — X — X — X —
- EXISTING WATERCOURSE ————
- LINE OF INUNDATION BOUNDARY - - - - -
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS [Symbol]
- GATE [Symbol]

### BMP LEGEND

- DIRECTION OF LOT DRAINAGE → → →
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs**
  - WM-8 PORTABLE CONCRETE WASTE MANAGEMENT
  - WM-9 SOLID WASTE MANAGEMENT
  - WM-9 SANITARY WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs**
  - SS-4 HYDROSEEDING (SUMMER) — TSP — TSP —
  - SS-10 ENERGY DISSIPATOR [Symbol]
  - SC-1 SILT FENCE ————
  - SC-5 FIBER ROLLS — FR — FR —
  - SC-6 / SC-8 GRAVEL OR SAND BAGS [Symbol]
  - TC-1 STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- PERMANENT BMPs**
  - SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
  - EC-10 OUTLET PROTECTION
- LOW IMPACT DEVELOPMENT BMPs**
  - LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
  - LID 2.2.3 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACE
  - LID 2.2.4 MINIMIZE SOIL COMPACTION
  - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS



APPROVED

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

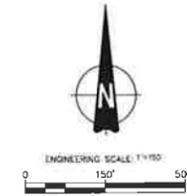
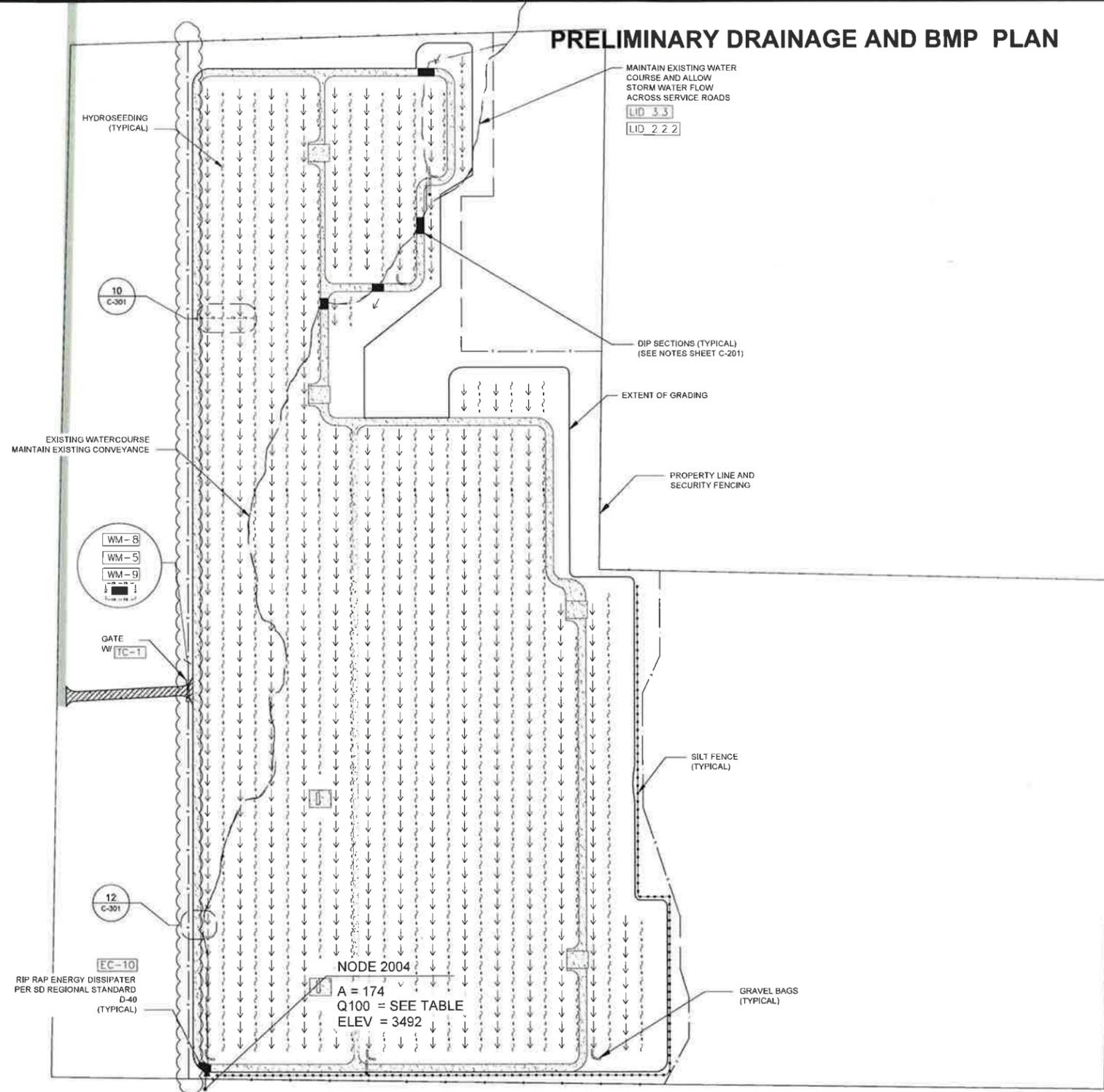
FILE NAME: C:\USERS\ORCZCOG\BESKTO\SOITEC SOLAR PROJECTS\RUGGED SOLAR PROJECTS\RUGGED GRADING & DRAINAGE DRAWINGS\WORKING DRAINAGE\C-301-C-304\_DRAINAGE\_RUGGED.DWG LAST SAVED BY: ORCZCOG PLOT DATE: 12/29/2014 4:03:28 PM

<b>CLIENT</b>  Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92137-9178	<b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>PROPERTY OWNER INFORMATION</b> NAME: Harmony Grove Partners John Gibson ADDRESS: 1000 Pioneer Way, El Cajon, CA 92020 TELEPHONE NUMBER: (619) 440-7424 SITE A.P.N. NUMBER: 611-100-07 ADJACENT A.P.N. NUMBER: 611-100-06, 611-091-03, 611-070-03, 611-070-01, 611-060-03, 611-090-03, 611-090-04	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED: APN(s): <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: 837.835 SF DRIVEWAY: 4.056 SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: _____ SF TOTAL: 9,568.780 SF IF ≥ 1 AC, PROVIDE WORDS: _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolankaya DATE: _____ RCE NO: C.43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-6544	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR: <b>80 MW SOLAR SYSTEM RUGGED SOLAR LLC</b> SHEET NUMBER: C-303 REV: 3 SHEET: 3 OF SHEETS: 4 APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ BY: _____ DATE: _____
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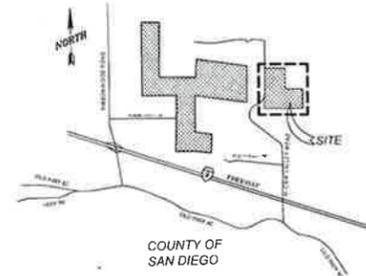
PRELIMINARY

FILE NAME: C:\USERS\ROZCOG\DESKTOP\SOITEC SOLAR PROJECT\SURGED\GRADING AND DRAINAGE\DRAWINGS\WORKING\DRAINAGE\CAD\C-304\_DRAINAGE\_RUGGED.DWG LAST SAVED BY: OROZCOG PLOT DATE: 12/31/14 04:22 PM

# PRELIMINARY DRAINAGE AND BMP PLAN



## VICINITY MAP



### LEGEND

- SECURITY FENCING — X — X — X —
- EXISTING WATERCOURSE — — — — —
- SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS [Symbol]
- GATE [Symbol]

### BMP LEGEND

- DPLU 659** BERM —> B —>
- DIRECTION OF LOT DRAINAGE —> —>
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs**
- WM-8 PORTABLE CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT

### TEMPORARY RUNOFF CONTROL BMPs

- SS-4 HYDROSEEDING (SUMMER) ~ TSP ~ TSP ~
- SS-10 ENERGY DISSIPATOR [Symbol]
- SC-1 SILT FENCE — ■ — ■ —
- SC-5 FIBER ROLLS — FR — FR —
- SC-6 / SC-8 GRAVEL OR SAND BAGS [Symbol]
- TC-1 STABILIZED CONSTRUCTION ENTRANCE [Symbol]

### PERMANENT BMPs

- SO-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
- EC-10 OUTLET PROTECTION

### LOW IMPACT DEVELOPMENT BMPs

- LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
- LID 2.2.3 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACE
- LID 2.2.4 MINIMIZE SOIL COMPACTION
- LID 3.3 ROAD DESIGN FOR DEVELOPMENTS

**APPROVED**  
 FEB 04 2015 *MD*  
 PLANNING AND DEVELOPMENT SERVICES

<b>CLIENT</b>  Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92131-9178	<b>AECOM</b> AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	<b>PROPERTY OWNER INFORMATION</b> NAME: Watersstone Support Foundation Inc. John Gibson ADDRESS: 2825 Professional Pl #200 Colorado Springs, CA 80904 TELEPHONE NUMBER (24 HOUR CONTACT NUMBER): (619) 440-7424 SITE A.P.N. NUMBER: 611-110-01 ADJACENT A.P.N. NUMBER: 611-110-04, 611-100-06, 611-110-02	<b>GRADING ON ADJACENT PARCELS</b> LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APN(s): _____ <b>PROPERTY OWNER CERTIFICATION</b> I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____	<b>DISTURBED AREA CALCS</b> PAD + SLOPES: 214,904 SF DRIVEWAY: 8,370 SF PRIMARY SEPTIC: _____ SF FIRE CLEARING: _____ SF TOTAL: 2,787,979 SF IF ≥ 1 AC, PROVIDE WQID# _____	<b>PLAN CHECK/PERMITS</b> BUILDING PERMIT PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ <b>ENGINEER OF WORK</b> I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolankaya DATE: _____ RCE NO: C 43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 280-6544	<b>PRIVATE CONTRACT</b> COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR: <b>80 MW SOLAR SYSTEM</b> <b>RUGGED SOLAR LLC</b> SHEET NUMBER: C-304 REV: 3 SHEET: 4 OF SHEETS: 4 APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ BY: _____ DATE: _____
		<b>PRELIMINARY</b>				