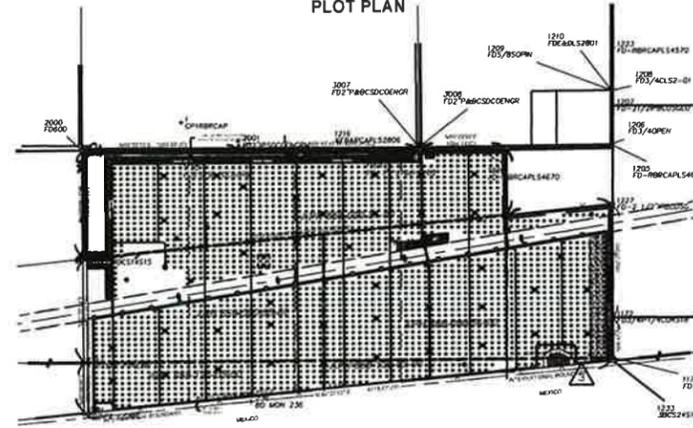


TIERRA DEL SOL LLC SOLAR SYSTEM

TIERRA DEL SOL SOLAR PROJECT PLOT PLAN



GENERAL NOTES:

- Each tracker assembly is approximately 48 FT wide with a maximum constructed height of 30 FT and spaced approximately 69 FT North to South; 82 FT East to West.
- Entrance to each gate will be from an improved driveway that shall be designed in accordance with the attached details on C-103 and equipped with an emergency key-operated override switch.
- At no point does the change of grade, along the primary access road exceed 10%.
- Detailed cross sections of the roads are provided on the preliminary grading plan.
- All compaction requirements are listed on the preliminary grading plan.
- Turnaround shall be designed in accordance with County of San Diego Design Standard DS-06 for a county emergency fire apparatus.
- The project site is not located in a designated flood plain, therefore lines of inundation are not shown.
- Temporary and Permanent BMPs are shown on the preliminary grading plan.
- All coordinates shown are state plane coordinates based on CCS83, Zone 6 (2007.00 Epoch).
- All dimensions are shown in Decimal Feet.
- Solar related facilities (panels, electrical connections, transformer / inverter platform, emergency generator, fencing, internal access and switchgear platform, etc.) shown on the plot plan may be relocated, reconfigured, and / or resized within the solar facility development area (exclusive of any open space areas & undeveloped (future development areas)) with the administrative approval of the director of PDS when found in conformance with the intent and conditions of permit's approval. Transformer / Inverter / Generator size, locations, brand, electrical size can be relocated, replaced or reconfigured without requirement of minor deviation.
- Areas designated as "SPECIAL FUEL MODIFICATION ZONES" are to be cleared of existing vegetation, then covered with landscaping fabric and weighted down using a surfacing material of crushed stone.
- Along the length of the perimeter fencing, every 750 feet a pedestrian gate will be located that is 3 feet wide and padlocked with a chain and fire key.
- Roads moved per fire department.
- Surveillance cameras will be installed and determined location will be on building plans.

ABBREVIATIONS:

- AC Alternating Current
- ADT Average Daily Trips
- BB Building Block
- BMP Best Management Practice
- CCS California Coordinate System
- CEQA California Environmental Quality Act
- CPV Concentrating Photovoltaic
- CFA County Fire Authority
- DEH Department of Environmental Health
- PDS County of San Diego, Planning and Development Services
- EIR Environmental Impact Report
- EOP Edge of Pavement
- FT Feet
- IOD Irrevocable Offer of Dedication
- KV kilovolt
- KW kilowatts
- MAX Maximum
- MOU Memorandum of Understanding
- MPA Major Use Permit Application
- MUP Major Use Permit
- MW Megawatts
- NTS Not to Scale
- PL Property Lines
- QTY Quantity
- RL Rural Land
- ROW Right of Way
- RPO Resource Protection Ordinance

Project # PDS2012-3300-12-010 incl. 22 sheets
 was approved on February 4, 2015 by
 ___ The Director of Planning & Development Services
 ___ The Zoning Administrator
 ___ The San Diego County Planning Commission
 X The San Diego County Board of Supervisors

By MJ077 Planning Manager
 Name Title



SHEET INDEX

- C-100 LEGEND, SYMBOLS, ABBREVIATIONS & NOTES
- C-101 PLOT PLAN
- C-102 EASEMENT PLAN
- C-103 ROAD DETAILS
- C-104 ROAD DETAILS
- C-130 1.36 / 2.0 MW INVERTER BOX DESIGN
- C-131 O&M BUILDING
- C-132 FENCE ELEVATION DETAIL
- C-133 TRACKER ELEVATION DETAIL
- C-134 WATER TANK ELEVATION DETAIL
- C-135 LANDSCAPE SCREEN ELEVATION DETAIL
- C-401 GEN-TIE PLOT PLAN NORTH SIDE
- C-402 GEN-TIE PLOT PLAN SOUTH SIDE
- C-405 GEN-TIE POLE & TRENCH DETAIL

RESERVED FOR COUNTY STAMPS

PARCEL ZONING SETBACK SCHEDULE

APN	SETBACK SCHEDULE DESIGNATION
658-090-31	D
658-090-55	D
658-120-03	D
658-090-54	D
658-120-02	D

* THIS PLAN IS EXEMPT FROM THE SETBACK SCHEDULE PURSUANT TO ZONING ORDINANCE 4813

COVERAGE TABLE

UNIT	# UNITS	ACRES / UNIT
TRACKER	2499	0.026
INVERTER	45	0.005
O&M	1	0.172
SUBSTATION	1	0.126
TOTAL ACRES =		85



DESIGNER

AECOM

AECOM TECHNICAL SERVICES, INC
 440 Stevens Avenue, Suite 250
 Solana Beach, CA 98075
 858.947.7144 tel 858.947.7145 fax
 www.aecom.com

CLIENT



Soitec Solar Development, LLC
 16550 Via Esprillo
 San Diego CA 92127

VICINITY MAP



OWNER INFORMATION

NAME: Brown Family Trust, Brown & Reynolds Trust
 ADDRESS: 1116 W 7th Street PMB 155
 CITY: Columbia
 STATE: TN
 ZIP: 38401
 PHONE:
 FAX:
 EMAIL:

CONTACT INFORMATION

NAME: Pat Brown
 ADDRESS: 16550 Via Esprillo
 CITY: San Diego
 STATE: CA
 ZIP: 92127
 PHONE: (658) 745-9000
 FAX:
 EMAIL: patrick.brown@soitec.com

PARCEL INFORMATION

APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400
 SITE ADDRESS
 796 Tierra del Sol Road,
 Boulevard, CA 91905

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT

DESIGNER SIGNATURE REQUIRED DATE

PROJECT INFORMATION

EXISTING:
 Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.
PROPOSED:
 Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.

PLOT PLAN INFORMATION

CPV System Summary
 Approx. Number of Trackers: 2499
 No. of Inverter Skids: 45
 Total Lot Size (Acres): Approx. 420
 Estimated Disturbed Acreage: 391
 Coverage Ratio Range: 0.4 - 16.7%

SHEET TITLE

**LEGEND, SYMBOLS
 ABBREVIATIONS
 & NOTES**

SHEET NUMBER	REV.
C-100	1

SDC PDS RCVD 12-15-14
 3300-12-010

PRELIMINARY NOT FOR CONSTRUCTION ARCH D 24 X 36

FILE NAME: P:\14 ENERGY\WEST\CLIENTS\11 - CONCENTRATOR SOLAR - CADD FILES\CADD TECHNICAL\01 PRELIMINARY ENGINEERING\PLANS - CADD FILES\CADD SOLAR\PLAN\OUT\TIERRA DEL SOL\CA-100-TDS-PLT\JAN & EASEMENT PLAN.DWG
LAST SAVED BY: PATRICK BROWN
LAST SAVED DATE: 12/09/2014 11:42:27 AM

EXCEPTIONS AND EXCLUSIONS

- 15 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 28, 1979 AS INSTRUMENT NO. 79-085974 OF OFFICIAL RECORDS.
- 16 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 28, 1979 AS INSTRUMENT NO. 79-085975 OF OFFICIAL RECORDS.

EASEMENT LEGEND

- 17 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MAY 6, 1980 AS INSTRUMENT NO. 80-151392 OF OFFICIAL RECORDS.
- 18 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 21, 1982 AS INSTRUMENT NO. 82-017128 OF OFFICIAL RECORDS.
- 19 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JUNE 18, 1982 AS INSTRUMENT NO. 82-187732 OF OFFICIAL RECORDS.

EASEMENT LEGEND

- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MAY 6, 1980 AS INSTRUMENT NO. 80-151391 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 16, 1983 AS INSTRUMENT NO. 83-416580 OF OFFICIAL RECORDS.
- THE TERMS, PROVISIONS AND

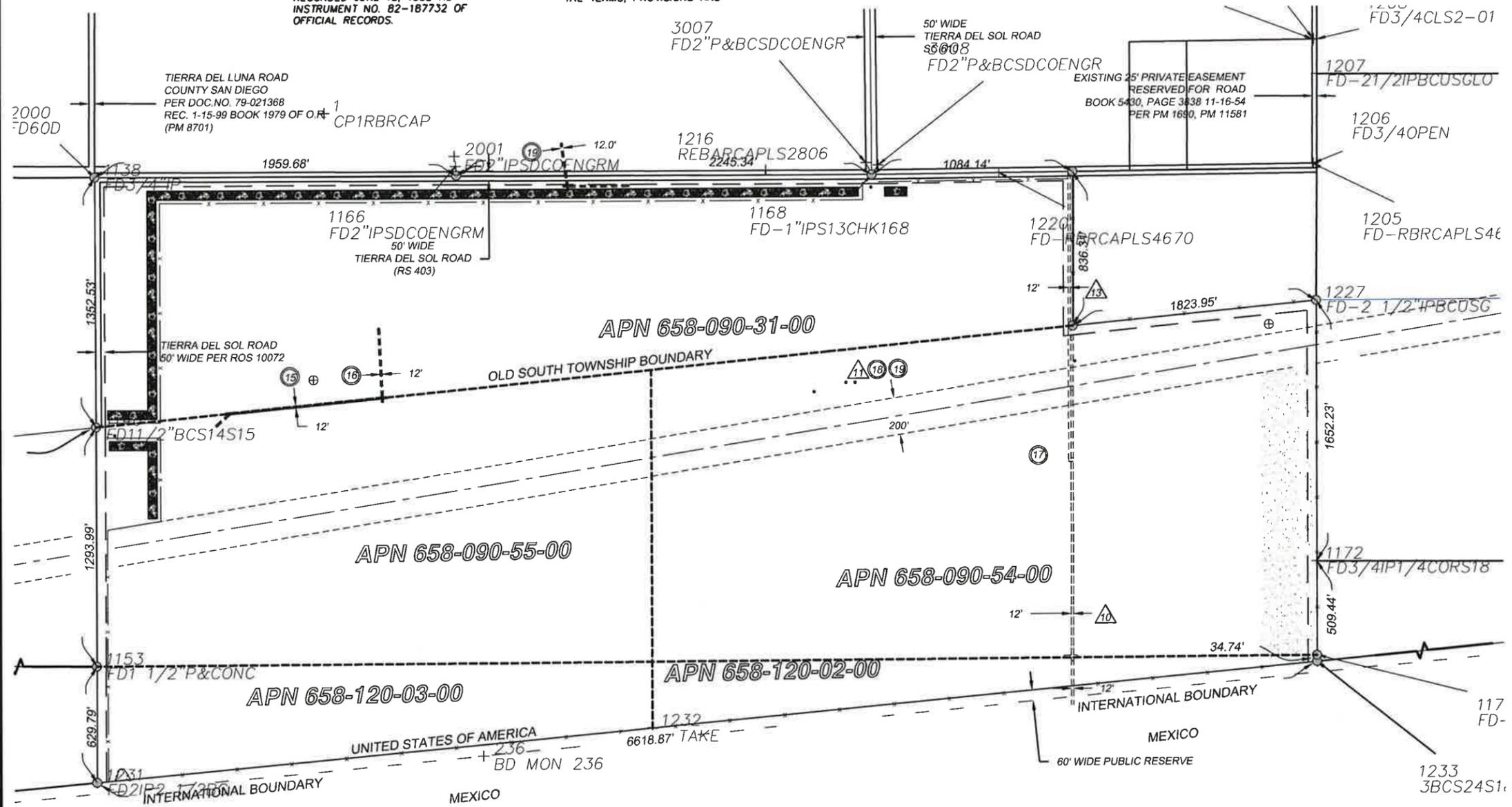
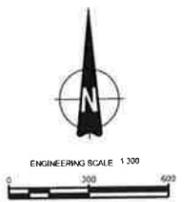
EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT GENERAL" RECORDED FEBRUARY 1, 1995 AS INSTRUMENT NO. 1995-0044962 OF OFFICIAL RECORDS.

EXCEPTIONS AND EXCLUSIONS ARE THE SAME AS THAT SHOWN ON COMMITMENT NO. NCS-474346-S0 SEPTEMBER 09, 2011.

EXCEPTIONS AND EXCLUSIONS ARE THE SAME AS THAT SHOWN ON COMMITMENT NCS-505191-S0 DATED SEPTEMBER 15, 2011.

LEGEND:

- EASEMENT
- PROPERTY LINE
- - - SECURITY FENCE
- EXISTING WATER WELLS, NTS TO BE CAPPED OR DESTROYED
- ⊕ PROPOSED WELL LOCATIONS, NTS
- - - INTERNATIONAL BOUNDARY



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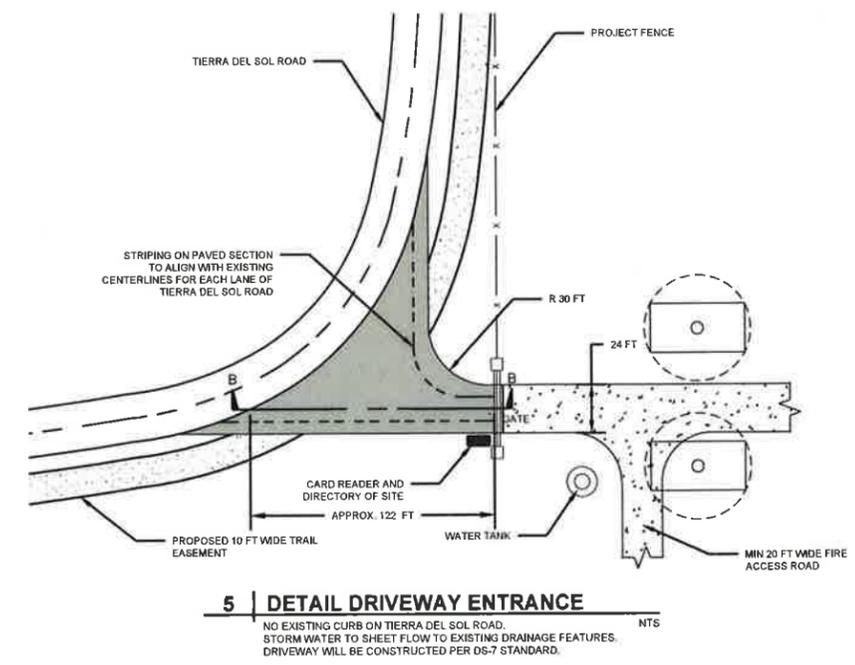
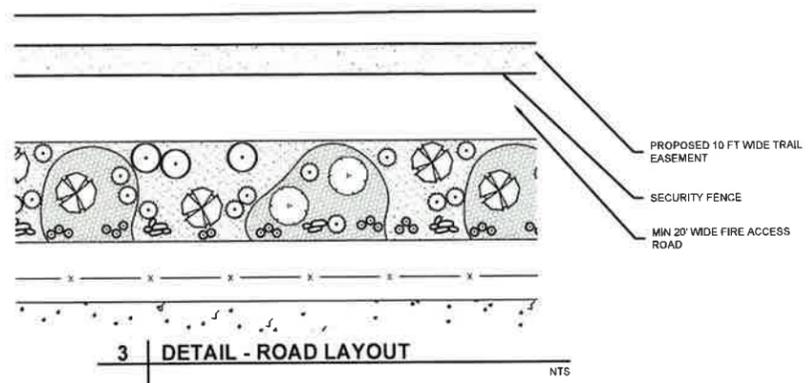
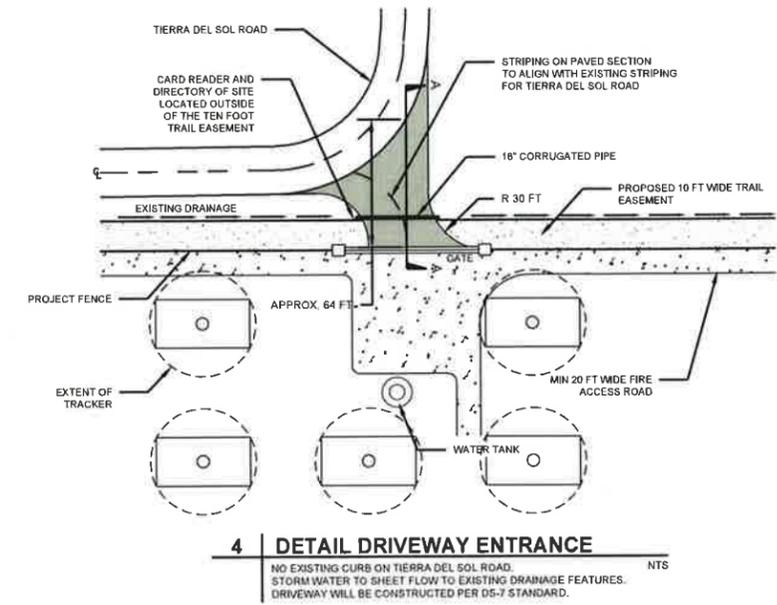
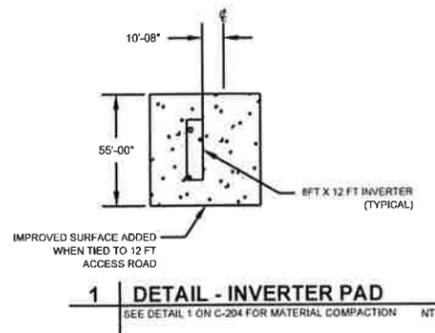
Soitec Solar Development, LLC
 16550 Via Esprillo
 San Diego, CA 92127

APPROVED

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: Brown Family Trust Brown & Reynolds Trust ADDRESS: 1116 W 7th Street PMB 158 CITY: Columbia STATE: TN ZIP: 38401 PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (858) 746-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400 SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91805 I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT. DESIGNER SIGNATURE REQUIRED: _____ DATE: _____	EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads. PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.	CPV System Summary Approx. Number of Trackers: 2499 No. of Inverter Skids: 45 Total Lot Size (Acres): Approx. 420 Estimated Disturbed Acreage: 391 Coverage Ratio Range: 0.4 - 16.7%	EASEMENT PLAN <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-102</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-102	1
SHEET NUMBER	REV.									
C-102	1									



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AECOM TECHNICAL SERVICES, INC
440 Stevens Avenue, Suite 250
Solana Beach, CA 96075
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www.aecom.com

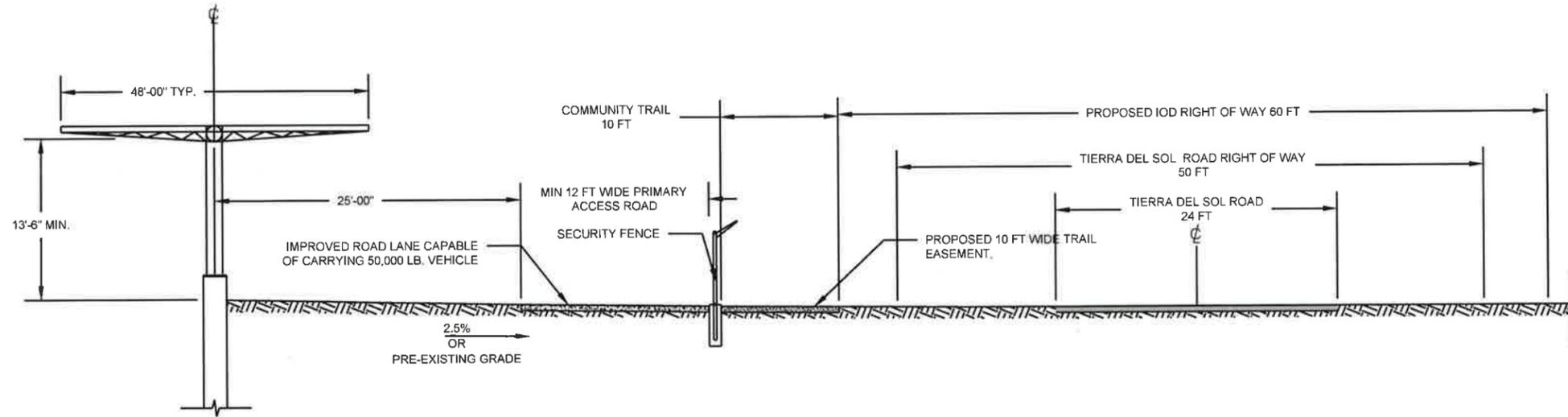
CLIENT
Soitec
Soitec Solar Development, LLC
16550 Via Esprillo
San Diego CA 92127

APPROVED
FEB 04 2015 *md*
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
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SHEET NUMBER	REV.									
C-103	1									

PRELIMINARY NOT FOR CONSTRUCTION
ARCH D 24 x 36

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LAST SAVED BY: PATTERSON
PLOT DATE: 1/15/2014 1:16:58 PM



6 | TYPICAL CROSS SECTION
NTS

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DESIGNER

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440 Stevens Avenue, Suite 250
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858.947.7144 tel 858.947.7145 fax
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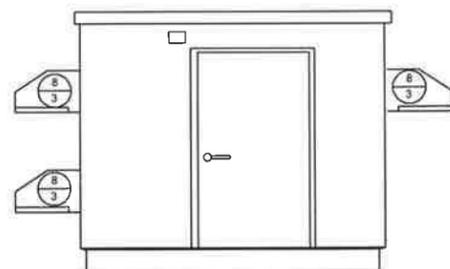
APPROVED

FEB 04 2015 *mt*

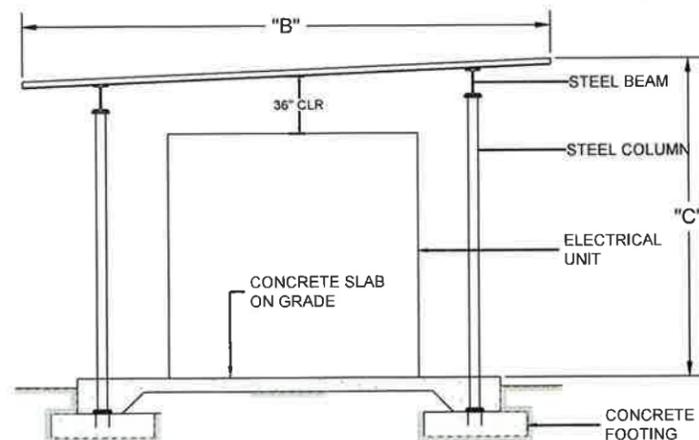
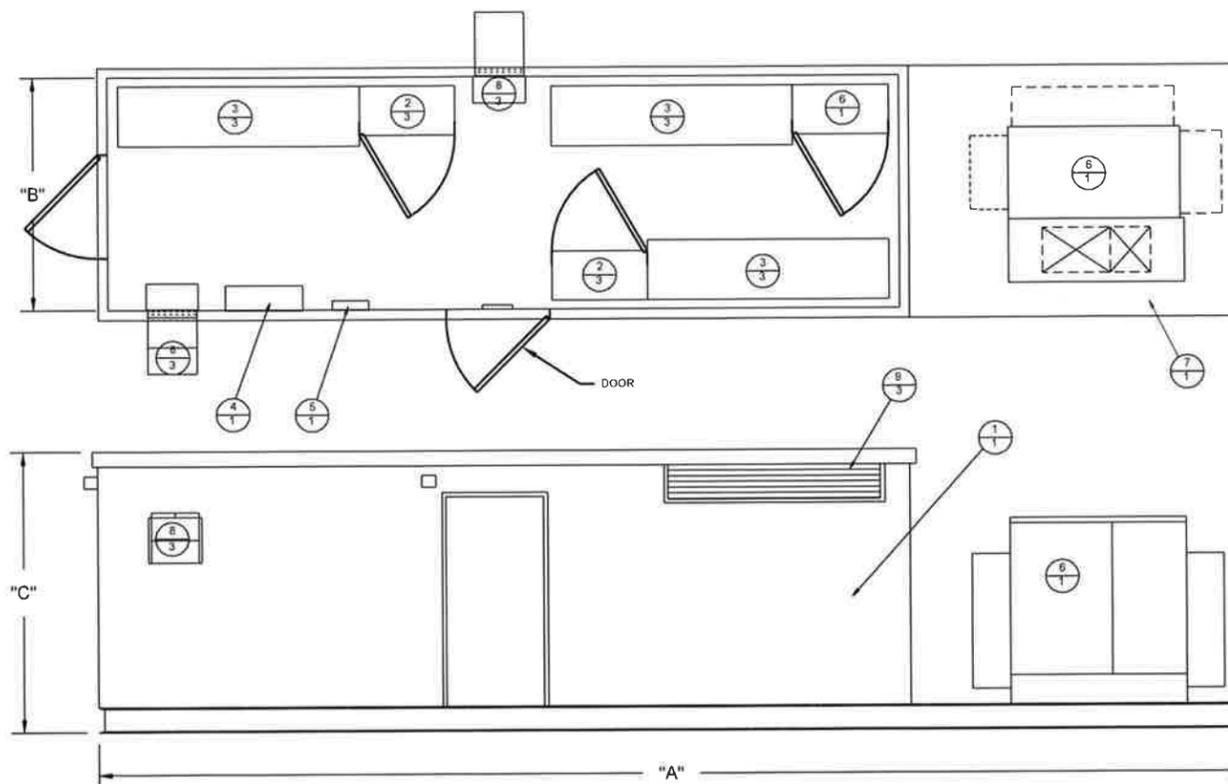
PLANNING AND DEVELOPMENT
SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE		
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SHEET NUMBER	REV.							
C-104	0							

REV	ITEM	QTY	DESCRIPTION
1	1	1	PRECAST SHELTER
2			PRIMARY RE-COMBINER BOX, 16 X 150A MCCC (QTY OF 2 OR 3)
3			XC 680 INVERTER (QTY OF 2 OR 3)
4	1		SCADA
5	1		POWER PANEL
6	1		TRANSFORMER
7	1		STEEL SKID
8	3		INTAKE AIR FANS
9	3		EXHAUST LOUVERS



INVERTER DIMENSION			
INVERTER RATING (MW)	DIMENSION (FT)		
	"A"	"B"	"C"
1.36	25	10	12
2.00	40	10	12



OPEN INVERTER ON SKID WITH SUN SHADE
Scale: NA

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440 Stevens Avenue, Suite 250
Solana Beach, CA 98075
858.947.7144 tel 858.947.7145 fax
www.aecom.com

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Soitec Solar Development, LLC
16550 Via Esprillo
San Diego, CA 92127

APPROVED

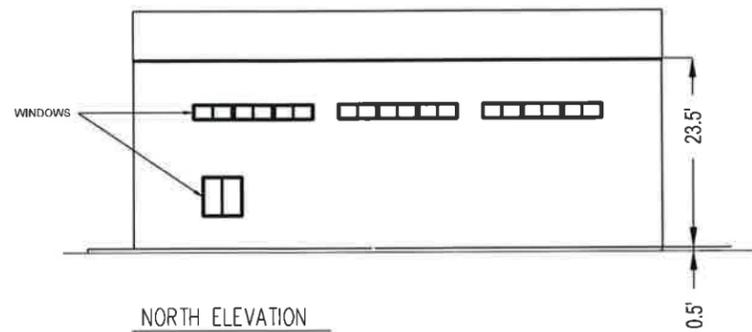
FEB 04 2015 *mja*

PLANNING AND DEVELOPMENT SERVICES

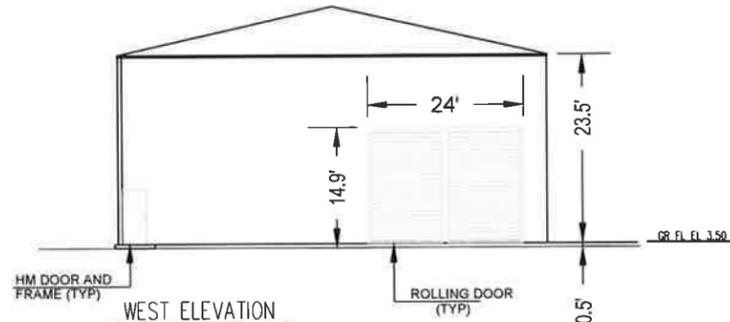
VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: Brown Family Trust, Brown & Reynolds Trust</p> <p>ADDRESS: 1116 W. 7th Street PMB 155</p> <p>CITY: Columbia</p> <p>STATE: TN</p> <p>ZIP: 38401</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746-9000</p> <p>FAX:</p> <p>EMAIL: pat@brown@soitec.com</p>	<p>APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400</p> <p>SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED _____ DATE _____</p>	<p>EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.</p> <p>PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.</p>	<p>CPV System Summary</p> <p>Approx. Number of Trackers: 2499</p> <p>No. of Inverter Skids: 45</p> <p>Total Lot Size (Acres): Approx. 420</p> <p>Estimated Disturbed Acreage: 391</p> <p>Coverage Ratio Range: 0.4 - 16.7%</p>	<p>1.36 / 2.0 MW INVERTER BOX DESIGN</p> <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>C-130</td> <td>1</td> </tr> </tbody> </table>	SHEET NUMBER	REV.	C-130	1
SHEET NUMBER	REV.									
C-130	1									

PRELIMINARY NOT FOR CONSTRUCTION
ARCH-D 24 x 36

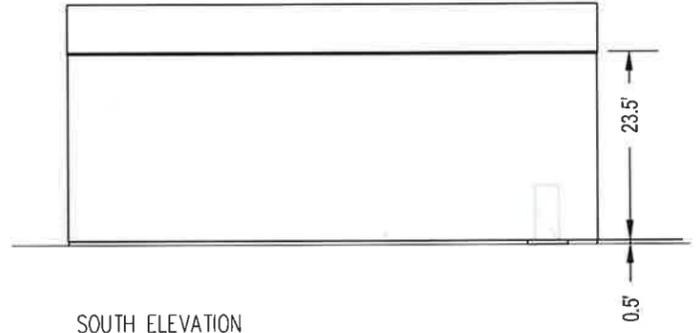
FILE NAME: P:\10 ENERGY WEST CURRENT\CONCENTRATED SOLAR - 621285\340 TECHNICAL\01 PRELIMINARY ENGINEERING\PLANS - CADD\PLANS\O&M BUILDING\O&M BUILDING.dwg
LAST SAVED BY: PATTECONJ
PLOT DATE: 10/20/2014 11:18:33 PM



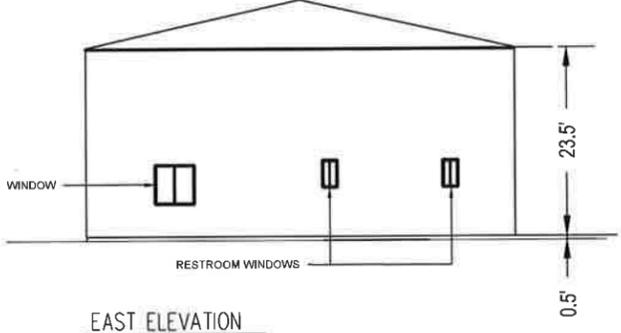
NORTH ELEVATION



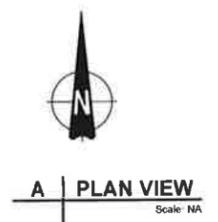
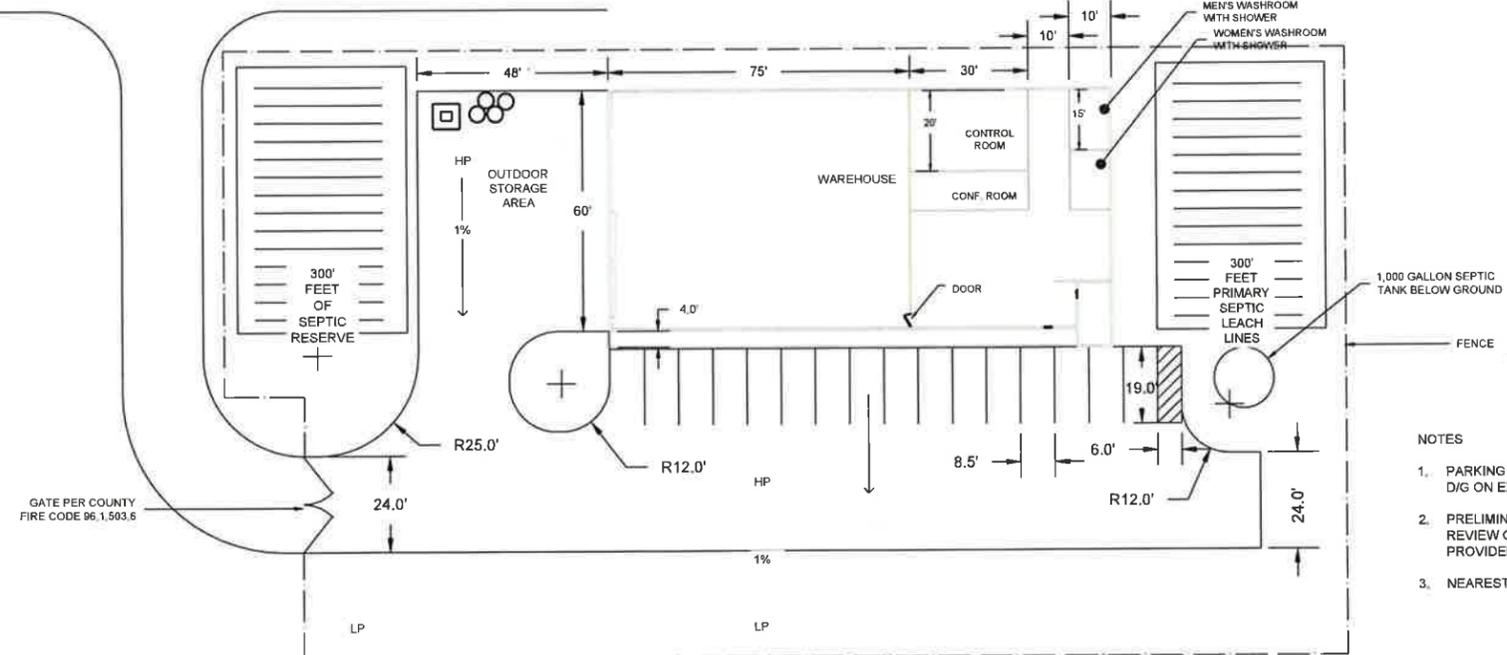
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



A | PLAN VIEW
Scale: NA

- NOTES
1. PARKING LOT WILL BE AN IMPROVED SURFACE OF 6" D/G ON EXISTING SOIL.
 2. PRELIMINARY SEPTIC DESIGN IS FOR DISCRETIONARY REVIEW ONLY. FINAL SEPTIC LAYOUT DESIGN WILL BE PROVIDED WITH BUILDING PLANS.
 3. NEAREST WELL IS 800 FT FROM SEPTIC SYSTEM.

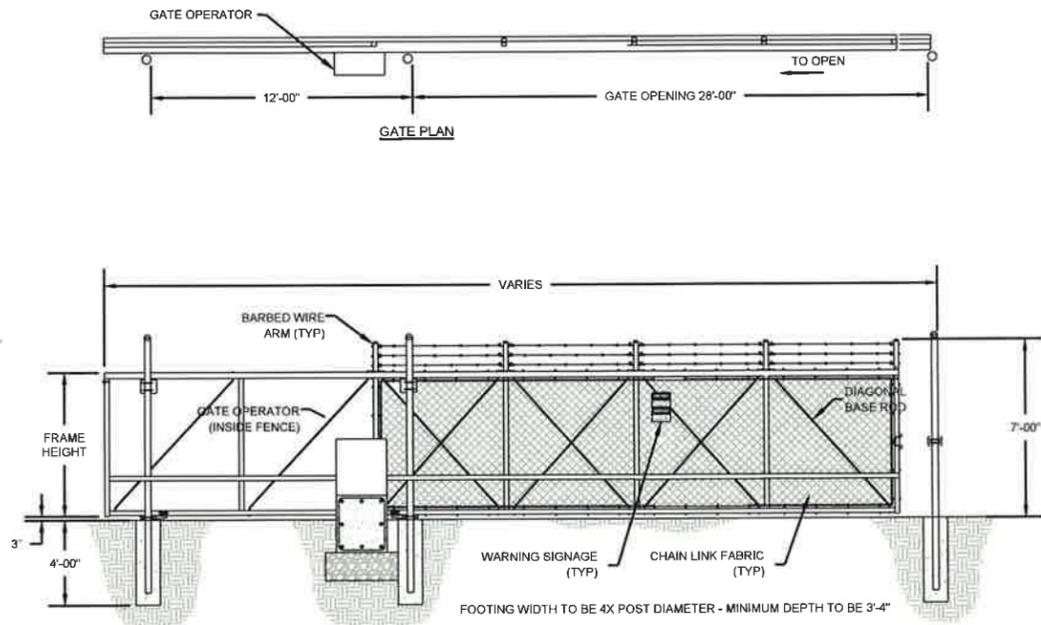
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San Diego, CA 92127

APPROVED
FEB 04 2015
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: Brown Family Trust, Brown & Reynolds Trust</p> <p>ADDRESS: 1116 W 7th Street PMB 158</p> <p>CITY: Columbia</p> <p>STATE: TN</p> <p>ZIP: 38401</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746-9000</p> <p>FAX:</p> <p>EMAIL: pat@ek@soitec.com</p>	<p>APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400</p> <p>SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGNER SIGNATURE REQUIRED _____ DATE _____</p>	<p>EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.</p> <p>PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.</p>	<p>CPV System Summary</p> <p>Approx. Number of Trackers: 2499</p> <p>No. of Inverter Skids: 45</p> <p>Total Lot Size (Acres): Approx. 420</p> <p>Estimated Disturbed Acreage: 391</p> <p>Coverage Ratio Range: 0.4 - 16.7%</p>	<p>O & M BUILDING</p> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-131</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-131	1
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C-131	1									

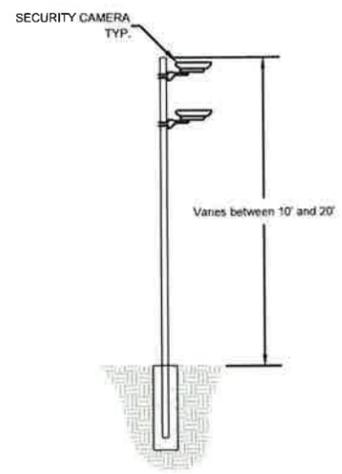


1 | DETAIL - GATE
SINGLE MOTORIZED SLIDING GATE NTS

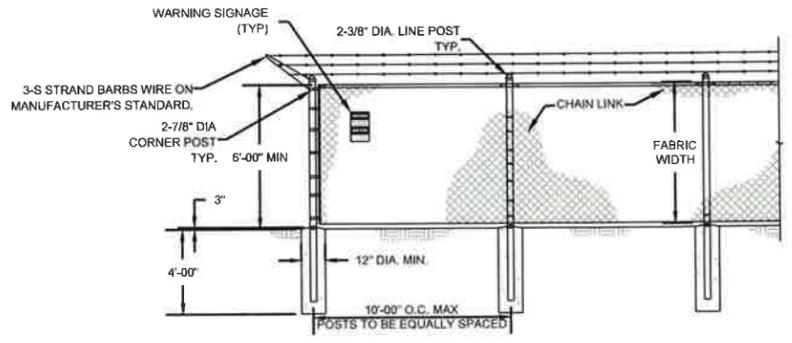
* 4" DIAMETER POST FOR GATE LEAF LENGTH 35'-0" AND LESS



2 | WARNING SIGNAGE
Scale: NTS



4 | DETAIL - SECURITY CAMERA POLE
NTS



3 | DETAIL - CHAIN LINK FENCE
NTS

- FENCE NOTES:
- CHAIN LINK SHALL BE 2" MESH NO. 9 GAGE WERE SECURITY FASTED TO LINE POSTS AND RAILS WIRE FASTENERS AND THE CLIPS SHALL BE NO. 11 GAGE
 - WIRE CONCRETE FOOTINGS SHALL HAVE TOPS CROWNED AT GROUND LEVEL
 - CHAIN LINK FENCE TO BE FITTED WITH UV-RESISTANT MESH FABRIC, COLOR PER CUSTOMER REQUEST.
 - ELECTRICAL SAFETY SIGNAGE TO BE PLACED ALONG PERIMETER

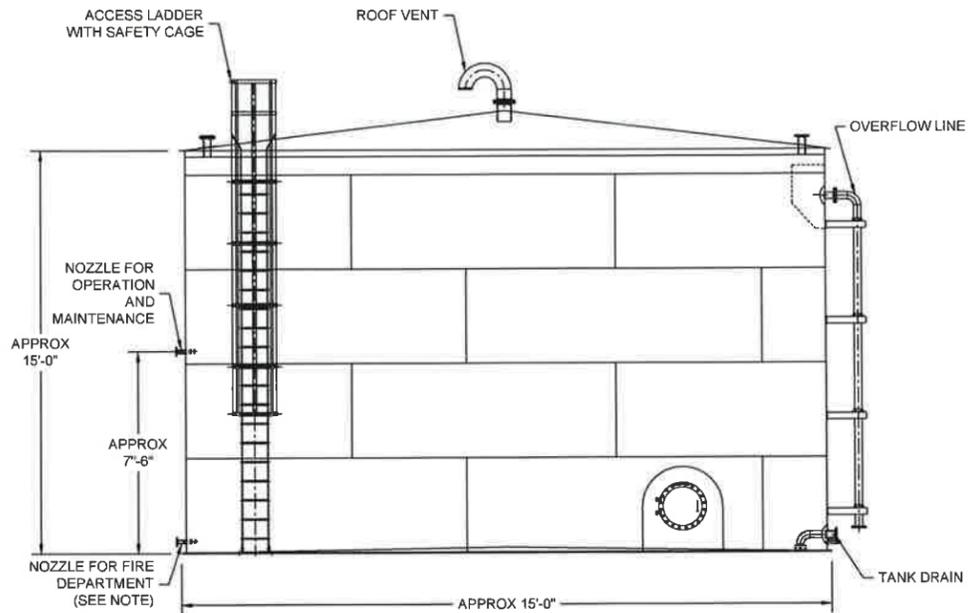
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Soitec Solar Development, LLC
16550 Via Esprillo
San Diego, CA 92127

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FEB 04 2015
PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	<p>NAME: Brown Family Trust, Brown & Reynolds Trust</p> <p>ADDRESS: 111E W 7th Street PMB 158</p> <p>CITY: Colamba</p> <p>STATE: TN</p> <p>ZIP: 38401</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (858) 746-8000</p> <p>FAX:</p> <p>EMAIL: patrick.brown@soitec.com</p>	<p>APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400</p> <p>SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905</p> <p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT</p> <p>DESIGNER SIGNATURE REQUIRED _____ DATE _____</p>	<p>EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.</p> <p>PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.</p>	<p>CPV System Summary</p> <p>Approx. Number of Trackers: 2499</p> <p>No. of Inverter Skids: 45</p> <p>Total Lot Size (Acres): Approx. 420</p> <p>Estimated Disturbed Acreage: 391</p> <p>Coverage Ratio Range: 0.4 - 16.7%</p>	<p>FENCE ELEVATION DETAIL</p> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-132</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-132	1
SHEET NUMBER	REV.									
C-132	1									



NOTE:

IN ACCORDANCE WITH SECTION 507.2.2 IN TITLE 9, DIVISION 6, CHAPTER 1 OF THE SAN DIEGO COUNTY CODE:

1. THE SUPPLY OUTLET SHALL BE AT LEAST 4 INCHES IN DIAMETER FROM THE BASE OF THE TANK TO THE POINT OF OUTLET AT THE FIRE DEPARTMENT CONNECTION. THE FIRE DEPARTMENT CONNECTION SHALL BE AT LEAST ONE 4-INCH NATIONAL STANDARD THREAD (MALE), REDUCE TO ONE 2½ INCH NATIONAL STANDARD THREAD (MALE). ADDITIONAL OUTLETS MAY BE REQUIRED.
2. THE LOCATION OF THE FIRE DEPARTMENT OUTLET TO BE DETERMINED ON THE PLOT PLAN WHEN SUBMITTED TO THE FIRE DEPARTMENT. CONSIDERATION WILL BE GIVEN TO TOPOGRAPHY, ELEVATIONS, AND DISTANCE FROM STRUCTURES, DRIVEWAY ACCESS, PREVAILING WINDS, ETC.
3. THE OUTLET SHALL BE LOCATED ADJACENT TO THE FIRE ACCESS ROAD.

1 | DETAIL - WATER TANK
Scale: NTS

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 858.947.7144 tel 858.947.7145 fax
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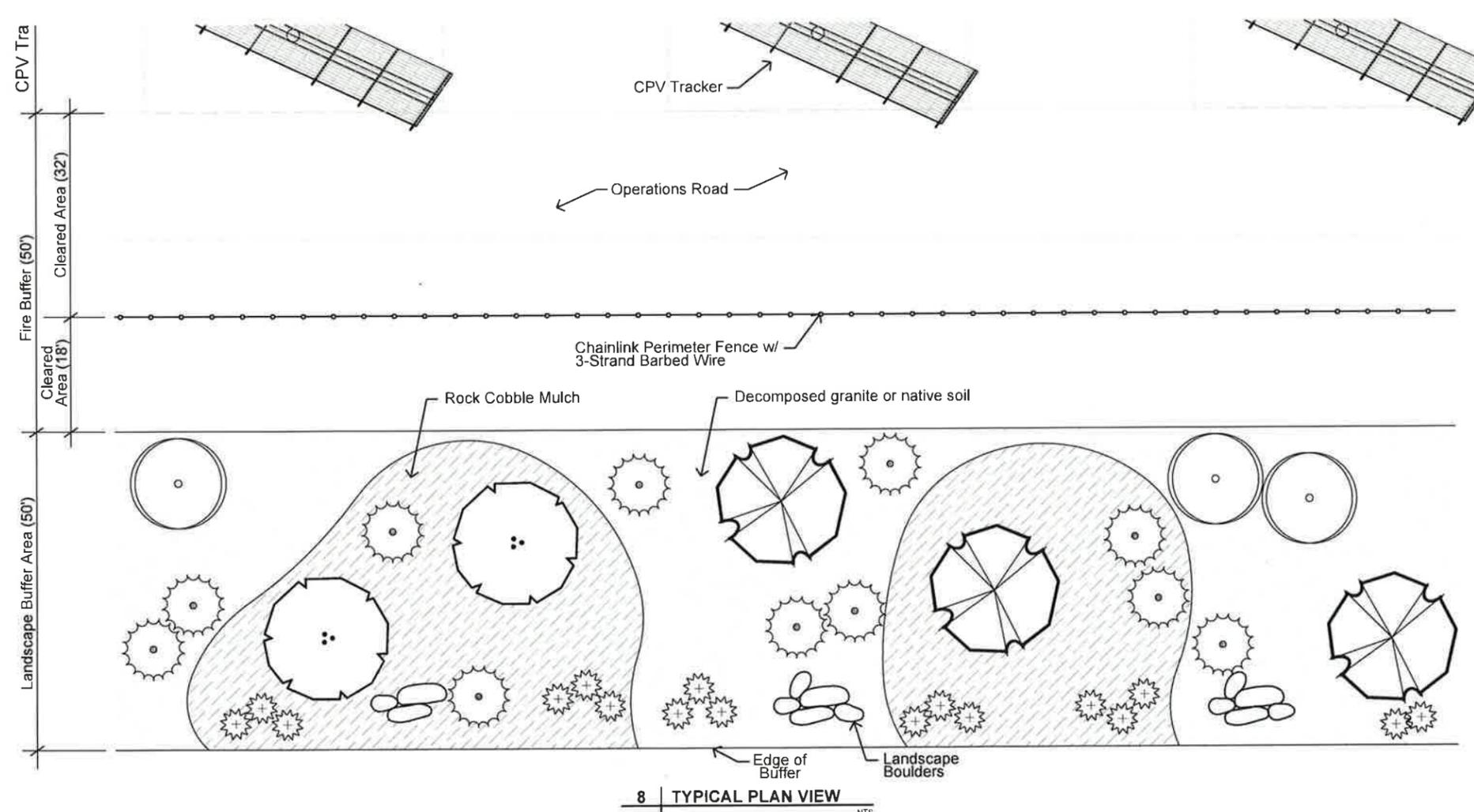
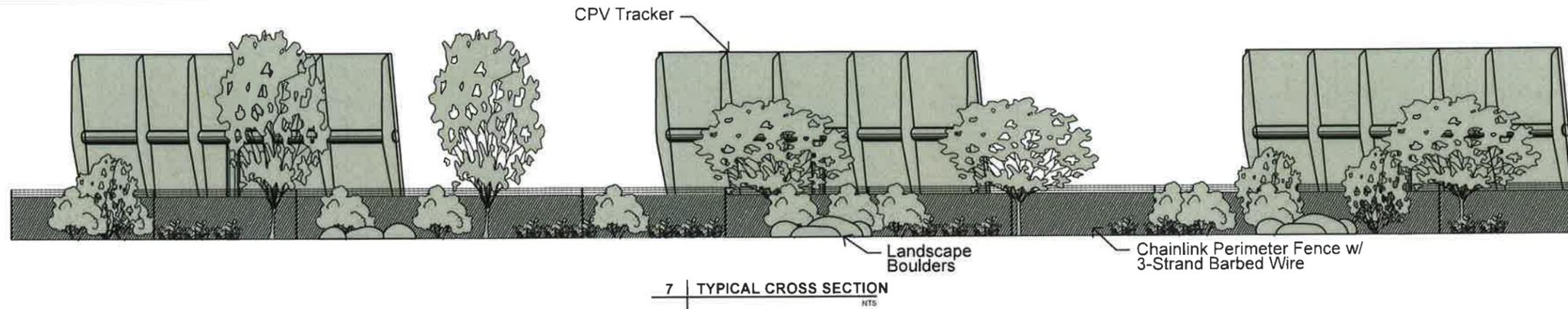
Soitec Solar Development, LLC
 16550 Via Esprillo
 San Diego, CA 92127

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FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE				
	NAME: Brown Family Trust, Brown & Reynolds Trust ADDRESS: 1116 W 7th Street PMB 158 CITY: Columbus STATE: TN ZIP: 38401 PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (658) 745-9000 FAX: EMAIL: patrick.brown@soitec.com	APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400 SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905 I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.	EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads. PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.	CPV System Summary Approx. Number of Trackers: 2499 No. of Inverter Skids: 45 Total Lot Size (Acres): Approx. 420 Estimated Disturbed Acreage: 391 Coverage Ratio Range: 0.4 - 16.7%	WATER TANK <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-134</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-134	1
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			DESIGNER SIGNATURE REQUIRED	DATE						



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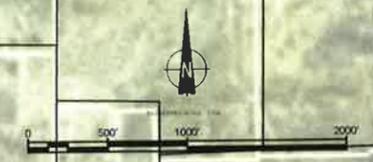
FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT INFORMATION	PLOT PLAN INFORMATION	SHEET TITLE	
	NAME: Brown Family Trust, Brown & Reynolds Trust ADDRESS: 1116 W. 7th Street PMB 156 CITY: Columbia STATE: TN ZIP: 38401 PHONE: FAX: EMAIL:	NAME: Pat Brown ADDRESS: 16550 Via Esprillo CITY: San Diego STATE: CA ZIP: 92127 PHONE: (658) 745-5000 FAX: EMAIL: pat@ckbrown@aol.com	APN: 6580903100, 6580905500, 6581200300, 6581200200, 6580905400 SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905	EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads. PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.	CPV System Summary Approx. Number of Trackers: 2499 No. of Inverter Skids: 45 Total Lot Size (Acres): Approx. 420 Estimated Disturbed Acreage: 391 Coverage Ratio Range: 0.4 - 16.7%	LANDSCAPE SCREENING DETAILS	
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SHEET NUMBER	REV.						
C-135	1						

PRELIMINARY NOT FOR CONSTRUCTION
ARCH D 24' x 36'

FILE NAME: P:\15 ENRCH\WEBE\CONCEPTUAL\PRELIMINARY\ENGINEERING\PLANS - CAD\FILED\CAD SOLAR CPV\AVOUT\TIERRA DEL SOL\C-401-C-002.DWG
LAST SAVED BY: PATRICK BROWN - PLOT DATE: 12/15/2014 1:35:48 PM



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www.aecom.com

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16550 Via Esprillo
San Diego, CA 92127

LEGEND:

- GEN-TIE ABOVE GROUND
- GEN-TIE BELOW GROUND
- APPROXIMATE POLE LOCATIONS

APPROVED

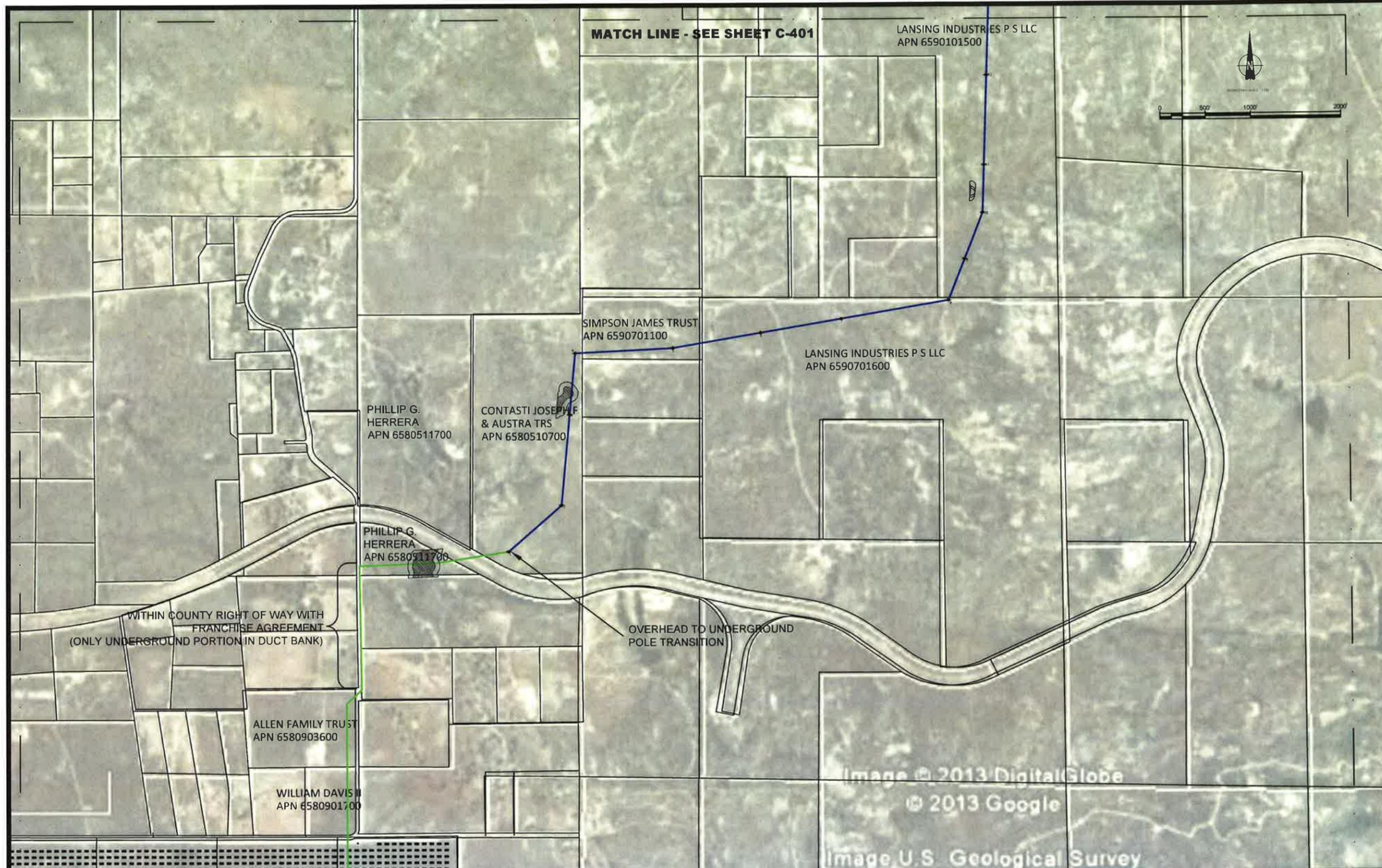
FEB 04 2015 *WJ*

PLANNING AND DEVELOPMENT SERVICES

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	<p>NAME: Brown Family Trust, Brown & Reynolds Trust</p> <p>ADDRESS: 1115 W. 7th Street PMB 158</p> <p>CITY: Columbus</p> <p>STATE: TN</p> <p>ZIP: 38401</p> <p>PHONE:</p> <p>FAX:</p> <p>EMAIL:</p>	<p>NAME: Pat Brown</p> <p>ADDRESS: 16550 Via Esprillo</p> <p>CITY: San Diego</p> <p>STATE: CA</p> <p>ZIP: 92127</p> <p>PHONE: (658) 748-6000</p> <p>FAX:</p> <p>EMAIL: patrick.brown@soitec.com</p>	<p>APN: 6120821300, 6120905800, 6120905700, 6120821200, 6121100200, 6121102000, 6121101800, 6121000100, 6121000200, 6590100100, 6590101500, 6590101500, 6590701100, 6580510700, 6590701600, 6580511700, 6580903600, 6580901700</p> <p>SITE ADDRESS: 796 Tierra del Sol Road, Boulevard, CA 91905</p>	<p>EXISTING: Relatively level land on the southern and central portions of the site with rolling rock and boulder covered hills on the northwestern portion. The site is minimally developed with unpaved roads.</p> <p>PROPOSED: Project constructed in two phases, located on approximately 391 acres and includes the construction and operation of approximately 2499 Concentrated Photovoltaic (CPV) trackers with approximately 45 associated Inverter Skids and Transformer.</p>	<p>CPV System Summary</p> <p>Approx. Number of Trackers: 2499</p> <p>No. of Inverter Skids: 45</p> <p>Total Lot Size (Acres): Approx. 420</p> <p>Estimated Disturbed Acreage: 391</p> <p>Coverage Ratio Range: 0.4 - 16.7%</p>	<p>TDS Gen-Tie Plot Plans North Side</p> <table border="1"> <tr> <th>SHEET NUMBER</th> <th>REV.</th> </tr> <tr> <td>C-401</td> <td>1</td> </tr> </table>	SHEET NUMBER	REV.	C-401	1
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PRELIMINARY NOT FOR CONSTRUCTION
ARCH D 24" x 36"

FILE NAME: P:\15 ENERGY\BEST CURRENT\TDS\CONSTRUCTION\02-14-15\20150300 TECHNICAL\01 PRELIMINARY ENGINEERING\PLANS - CAD\00 FILED\CAD SOLAR CPV\LAYOUT\TIERRA DEL SOL\C-401-C-02.DWG
LAST SAVE BY: BATESON - PLOT DATE: 10/20/14 1:30:07 PM

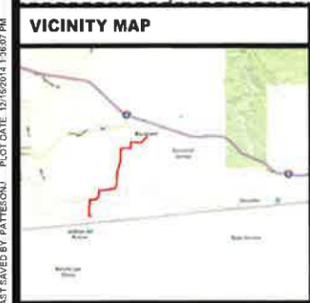


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LEGEND:
— GEN-TIE ABOVE GROUND
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+ APPROXIMATE POLE LOCATIONS

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PLANNING AND DEVELOPMENT SERVICES



OWNER INFORMATION	
NAME:	Brown Family Trust, Brown & Reynolds Trust
ADDRESS:	1116 W. 7th Street PMS 158
CITY:	Columbus
STATE:	TN
ZIP:	38401
PHONE:	
FAX:	
EMAIL:	

CONTACT INFORMATION	
NAME:	Pat Brown
ADDRESS:	16550 Via Esprillo
CITY:	San Diego
STATE:	CA
ZIP:	92127
PHONE:	(658) 746-8000
FAX:	
EMAIL:	pat@brown.com

PARCEL INFORMATION	
APN:	6120921300, 6120905800, 6120905700, 6120821200, 6121100200, 6121102000, 6121101800, 6121000100, 6121000200, 6580100100, 6590101500, 6590101500, 6590701100, 6580510700, 6590701600, 6580511700, 6580903600, 6580901700
SITE ADDRESS:	796 Tierra del Sol Road, Boulevard, CA 91905

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGNER SIGNATURE REQUIRED _____ DATE _____

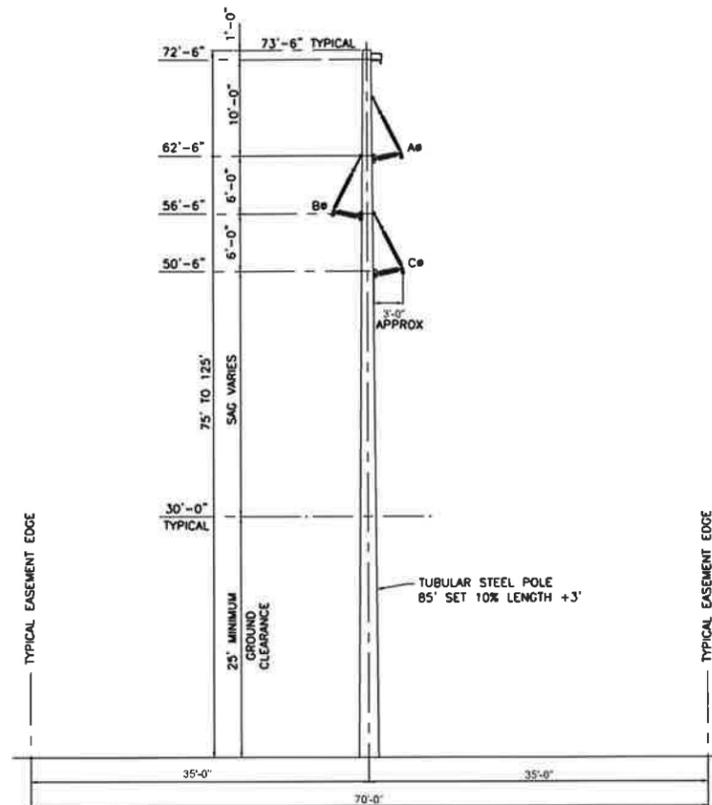
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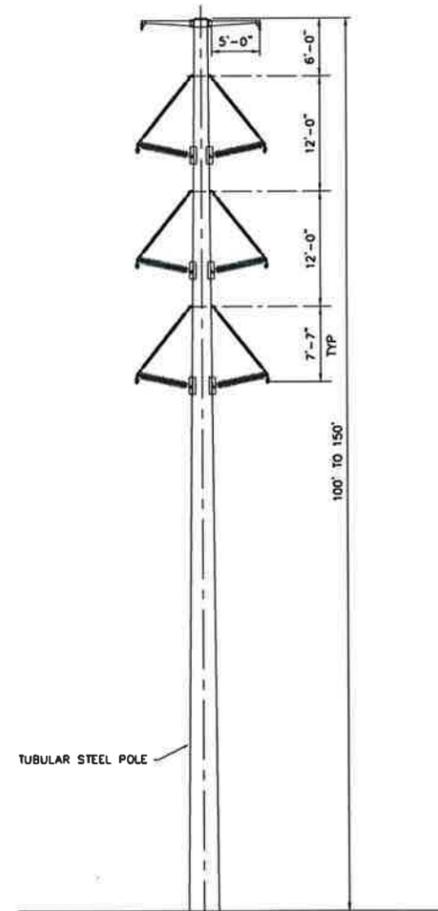
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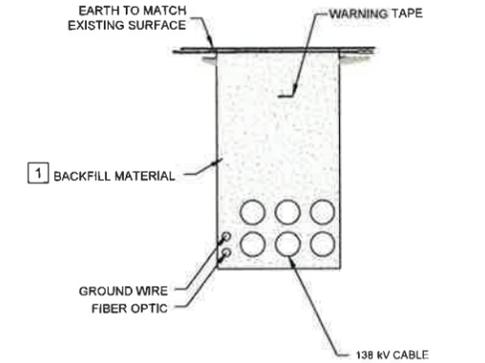
SHEET TITLE	
TDS Gen-Tie Plot Plans South Side	
SHEET NUMBER	REV.
C-402	1



1 | 138 KV STEEL POLE TANGENT CONCEPT - SINGLE CIRCUIT
Scale: NA



2 | 138 KV STEEL POLE - DUAL CIRCUIT
Scale: NA



3 | 138 KV TRENCH DETAIL - DUAL CIRCUIT
Scale: NA

KEYED NOTES:

- 1 NATIVE SOIL AT 90% COMPACTION

GENERAL NOTES:

- 1. FINAL HEIGHT AND POLE TYPE IS SUBJECT TO FINAL DESIGN.

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C-405	1									

PRELIMINARY GRADING AND DRAINAGE NOTES

GRADING NOTES

- ALL GRADING SHALL CONFORM OF THE REQUIREMENTS OF THE GRADING ORDINANCE SECTIONS 87.101 THROUGH 87.804 OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES
- A REGISTERED CIVIL ENGINEER IS REQUIRED TO SUPERVISE INSTALLATION OF THE FILL KEYWAY AND ALL FILL BENCHING AND COMPACTION. A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL THAT IS OVER 12" IN DEPTH. DPLU FORM #73, MINOR GRADING CERTIFICATION, AND THREE (3) COPIES OF THE COMPACTION REPORT COMPLETED BY A SOILS ENGINEER SHALL BE SUBMITTED PRIOR TO ROUGH GRADE APPROVAL.
- ALL FILL MATERIAL SHALL BE COMPACTED AS NOTED
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY
- MAINTAIN 1% (MINIMUM) SLOPE AWAY FROM ALL BUILDINGS FOR AT LEAST 5'
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS
 - A DS-8 LOT GRADING
 - B DS-10 GRADING OF SLOPES
 - C DS-11 REQUIRED SETBACKS
 - D D-40 RIP RAP ENERGY DISSIPATER
 - F D-32 DEBRIS FENCE
 - G DS-09 FENCING CUT BANKS
- BERMS SHALL BE REQUIRED AT THE TOP OF ALL FILL SLOPES AND SWALES OR BROW DITCHES SHALL BE REQUIRED AT THE TOP OF ALL CUT SLOPES. ALL BERMS, SWALES, OR BROW DITCHES SHALL CONFORM TO THE DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS LISTED ABOVE
- REGARDLESS OF WHICH BMP'S ARE IMPLEMENTED THE FACE OF ALL CUT AND FILL SLOPES IN EXCESS OF 3' VERTICAL HEIGHT SHALL BE PLANTED AND MAINTAINED WITH A GROUND COVER OR OTHER PLANTING TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED. ALL PLANTING MUST HAVE A PERMANENTLY INSTALLED IRRIGATION SYSTEM.
- REQUIRED SLOPE RATIOS ARE AS FOLLOWS
 - A CUTS - 1.5:1 FOR MINOR SLOPES (UP TO 15' VERTICAL HEIGHT)
 - B CUTS - 2:1 FOR MAJOR SLOPES (OVER 15' VERTICAL HEIGHT)
 - C FILLS - 2:1 (MAXIMUM) FOR ALL FILL SLOPES
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE OWNER AND PERMITEE ARE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTIES. NO PERSON SHALL EXCAVATE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET OR SIDEWALK, OR THE FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY
- THE DIRECTOR OF PLANNING AND LAND USE MAY IMPOSE CONDITIONS THAT ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. THE DIRECTOR MAY ALSO MODIFY OR ADD CONDITIONS TO ANY VALID GRADING PERMIT WHEN SUCH MODIFICATIONS OR ADDITIONS ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. SUCH CONDITIONS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A IMPROVEMENT OF EXISTING GRADING TO CONFORM WITH THE GRADING ORDINANCE, AND,
 - B REQUIREMENTS FOR FENCING OF EXCAVATIONS OR FILLS THAT WOULD OTHERWISE BE HAZARDOUS, AND,
 - C ADEQUATE DUST CONTROL MEASURES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM MONDAY THROUGH SATURDAY. NO EARTH MOVING OR GRADING SHALL BE CONDUCTED ON SUNDAYS OR HOLIDAYS
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE PROVIDED TO THE FOLLOWING AGENCIES:
 - A SAN DIEGO GAS AND ELECTRIC (800) 422-4133
 - B PACIFIC BELL (800) 422-4133
 - C CATV (800) 422-4133
 - D WATER UTILITY (800) 422-4133
 - E SEWER UTILITY (800) 422-4133
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PLANNING AND LAND USE DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNERS' PERMISSION IS OBTAINED, RIGHT TO ENTRY FORM COMPLETED AND VALID GRADING PERMIT ISSUED
- THE ISSUANCE OF A GRADING PERMIT SHALL CONSTITUTE AN AUTHORIZATION TO PERFORM ONLY THAT WORK WHICH IS DESCRIBED OR SHOWN ON THE GRADING PERMIT APPLICATION AND APPROVED GRADING PLANS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ANY CONDITIONS IMPOSED BY THE DIRECTOR OF PLANNING AND LAND USE AND IN ACCORDANCE WITH THE GRADING ORDINANCE
- ROADS ARE CLASSIFIED ON THE DRAWING AS THE FOLLOWING:
 - A PRIMARY ACCESS ROAD - 20FT WIDE GRADED ROAD IMPROVED TO CARRYING A 50,000LBS VEHICLE
 - B SECONDARY ACCESS ROAD - 30FT WIDE GRADED ROAD WITH AN 18FT LANE CAPABLE OF CARRYING A 15,000LBS VEHICLE AND A 12FT LANE CAPABLE TO CARRYING A 50,000LBS VEHICLE
- THE GRADING FOR THE SITE SHALL INCLUDE THE CLEARING AND GRUBBING FOR A 15,825,095 SQ. FT. AREA
- THE BASIS OF EXISTING CONTOURS WAS PROVIDED IN A DIGITAL TERRAIN MODEL (DTM) TIED TO THE CGS83 GRID. THE DTM WAS CREATED IN CONJUNCTION WITH AN AERIAL TOPOGRAPHICAL SURVEY AT 20 SCALE WITH 0.5 FOOT CONTOUR INTERVALS PERFORMED JANUARY 2012.
- AREAS DESIGNATED AS "SPECIAL FUEL MOD ZONE" ARE TO BE CLEARED OF EXISTING VEGETATION, THEN COVERED WITH LANDSCAPING FABRIC AND WEIGHTED DOWN USING AS SURFACING MATERIAL OF CRUSHED STONE

EARTHWORK QUANTITIES	
EXCAVATION:	9,429 CUBIC YARDS
FILL:	9,429 CUBIC YARDS
IMPORT:	0 CUBIC YARDS
EXPORT:	0 CUBIC YARDS

PRELIMINARY GRADING PLAN NOTE

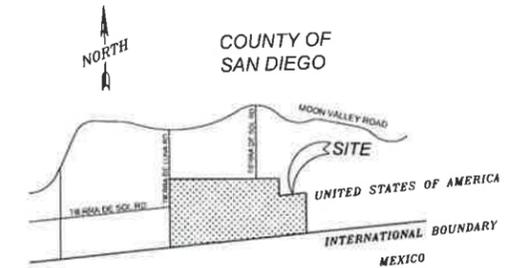
THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSION BEFORE COMMENCING SUCH ACTIVITY.

STORMWATER MANAGEMENT NOTES

- DURING THE RAINY SEASON FROM OCTOBER 1ST TO APRIL 30TH THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED WITHIN 48 HOURS OF A PREDICTED RAIN
- 125% OF ALL NEEDED BMP MATERIALS SHALL BE STORED ONSITE YEAR-ROUND TO ALLOW FULL DEPLOYMENT AND INSTALLATION WITHIN 48 HOURS OF A PREDICTED RAIN
- THE PROPERTY OWNER SHALL COMPLY WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT ONSITE EROSION AND TO PREVENT DISCHARGES OF POLLUTANTS FROM LEAVING THE SITE. MAINTENANCE OF BMPs IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO
- PERIMETER SEDIMENT CONTROL BMPs SHALL BE INSTALLED IMMEDIATELY AFTER THE AREA TO BE GRADED IS BRUSHED OR CLEARED, BUT PRIOR TO THE START OF GRADING OPERATIONS
- EROSION CONTROL BMPs USED FOR SLOPE STABILIZATION SHALL BE INSTALLED AS SOON AS THE FINISHED SLOPES ARE COMPLETE
- A PERIMETER BMP INSPECTION IS REQUIRED ON THE FIRST DAY OF GRADING
- WHERE AN EXISTING STORMWATER CONVEYANCE CROSSES OVER A PLANNED SECONDARY SERVICE ROAD, THE ROAD SHALL BE GRADED AND MAINTAINED AS A FORD
- RIP RAP SHALL BE PLACED AT ALL LOCATIONS WHERE ONE DRAINAGE FEATURE (SUCH AS A DITCH OR A SWALE) DRAINS INTO A LARGER DRAINAGE FEATURE
- DIP SECTIONS SHALL BE COMPOSED OF 6" OF REINFORCED STRUCTURAL CONCRETE SLABS, WHICH SHALL BE DESIGNED TO WITHSTAND AND CONVEY HUNDRED (100) YEAR FREQUENCY STORM
- ALL SURFACES THAT ARE NOT IMPROVED ROADS SHOULD BE SEEDED AND REVEGETATED WITH DROUGHT TOLERANT PLANTS.
- INFORMATION REGARDING DIRECTION OF LOT DRAINAGE CAN BE FOUND ON SHEETS C-301 & C-302.

PROPERTY OWNER INFORMATION	
NAME	TRUSTEE OF THE BROWN & REYNOLDS TRUST CO TRUSTEES OF THE BROWN FAMILY TRUST
ADDRESS	117630 Fire Road #100
CITY	COLUMBIA
STATE	IN
ZIP	34401
PHONE	(817) 470-7424
APNs	658-090-31-00, 658-090-55-00 658-120-02-00, 658-120-03-00 658-090-54-00

VICINITY MAP



SIGHT DISTANCE:

"Physically there is a minimum unobstructed sight distance in both directions along Tierra del Sol Road from the proposed access point, for the prevailing operating speed of traffic on Tierra del Sol Road per Section 6.1 table 5 of the County Public Road Standards (approved March 2012)."

"The lines of sight fall within the existing right-of-way and a clear space easement is not required."

APPROVED

FEB 04 2015 *MS*

PLANNING AND DEVELOPMENT SERVICES

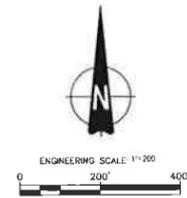
CLIENT	CONTACT INFORMATION	GRADING ON ADJACENT PARCELS	DISTURBED AREA CALCS	PLAN CHECK/PERMITS	PRIVATE CONTRACT
<p>Soitec Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9176</p>	<p>NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (658) 652-4423 (24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A.P.N. NUMBER: SITE ADDRESS: 795 Tierra Del Sol Road, Boulevard 91905</p>	<p>LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED.</p> <p>APN(s):</p> <p>PROPERTY OWNER CERTIFICATION</p> <p>I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:</p> <p>OWNER'S SIGNATURE (REQUIRED) _____ DATE _____</p>	<p>PAD + SLOPES _____ SF DRIVEWAY _____ SF PRIMARY SEPTIC _____ SF FIRE CLEARING _____ SF TOTAL _____ SF IF > 1 AC, PROVIDE WIDTH _____</p>	<p>BUILDING PERMIT _____ PLAN CHECK NUMBER _____ PARCEL MAP NUMBER _____</p> <p>ENGINEER OF WORK</p> <p>I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT</p> <p>NAME: Savas E. Kolanakaya DATE _____ RCE NO: C 43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-6544</p>	<p>COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE</p> <p>PRELIMINARY GRADING PLAN FOR TIERRA DEL SOL SOLAR SYSTEM LLC</p> <p>SHEET NUMBER: C-201 REV: 3 SHEET: 1 OF SHEETS: 5</p> <p>APPROVED: _____ DATE _____ DIRECTION OF PLANNING AND LAND USE _____ GRADING PERMIT NUMBER _____</p>

FILE NAME: C:\USERS\DR2020\DESKTOP\SOLAR PROJECT\TIERRA DEL SOL\GRADING\201 COVER SHEET.DWG PLOT DATE: 01/02/2014 9:49:05 PM LAST SAVED BY: OR02ZC06

PRELIMINARY

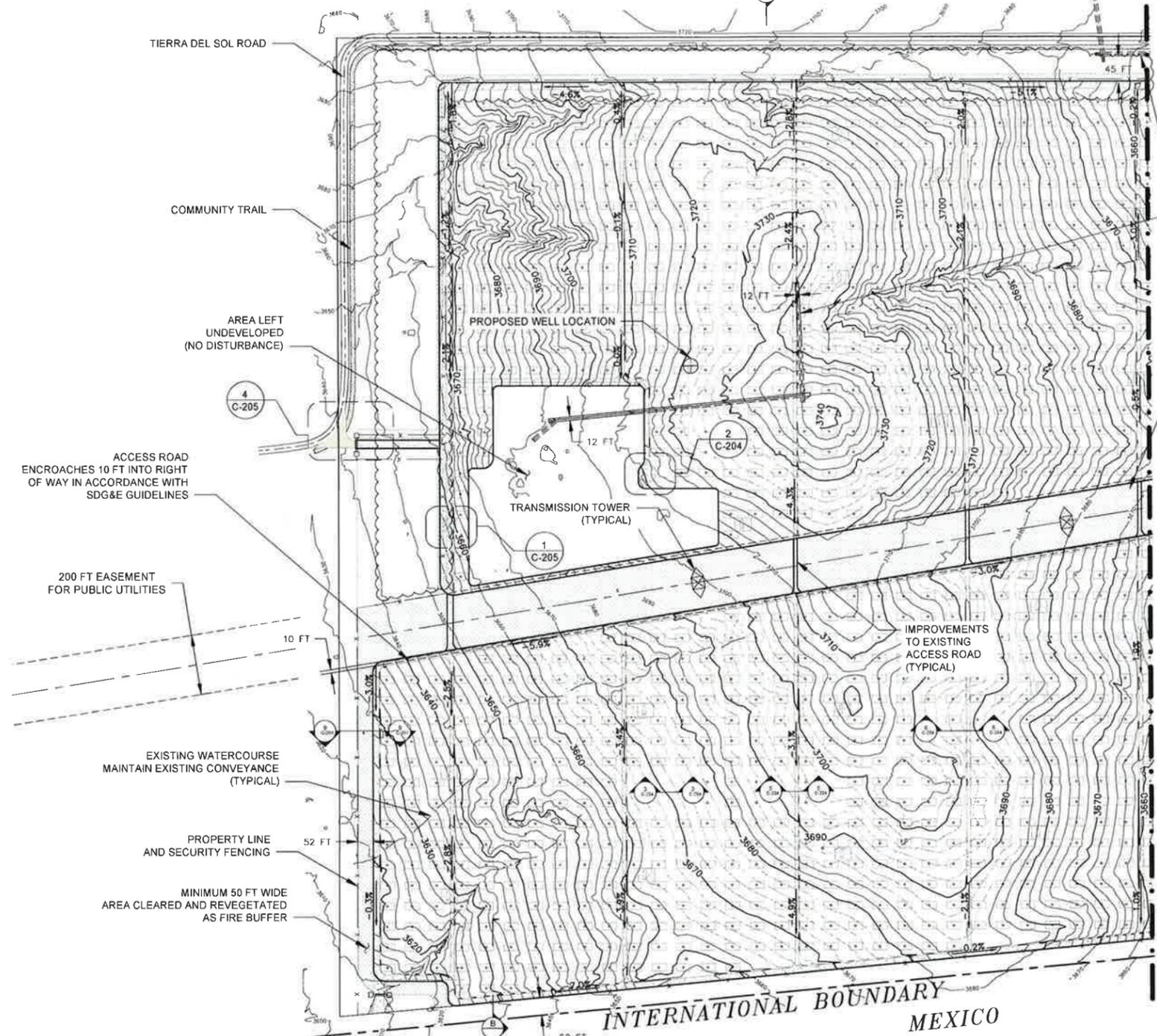
PRELIMINARY GRADING PLAN

VICINITY MAP



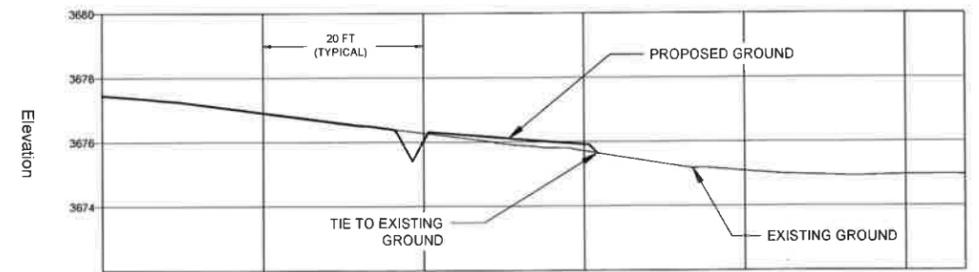
GRADING LEGEND

- SECURITY FENCING — X — X —
- WATERCOURSE ————
- EXISTING CONTOUR ———— 275
- PROPOSED CONTOUR ———— 275
- EXTENT OF GRADING ————
- SURFACING FOR PRIMARY ROAD AND SPECIAL FUEL MOD ZONE [Symbol]
- SURFACE TO BE CLEARED AND REVEGETATED FOR FIRE CLEARING [Symbol]

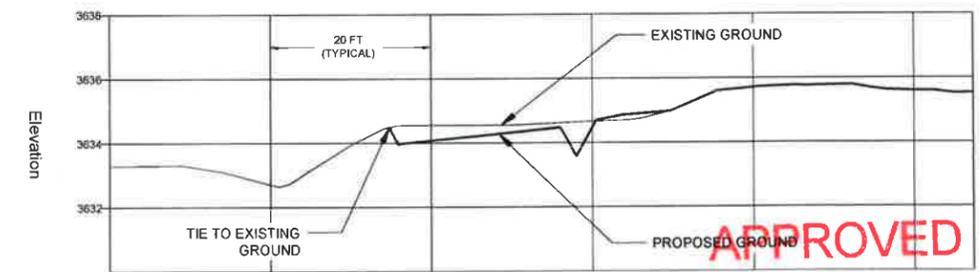


EASEMENT FOR PUBLIC UTILITIES

AREA WITHIN EASEMENT FOR PUBLIC UTILITIES TO BE CLEARED AND REVEGETATED AS PART OF SITE WIDE FUEL MODIFICATION



A CROSS SECTION
1:10 SCALE



B CROSS SECTION
1:10 SCALE

APPROVED

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

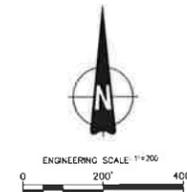
FILE NAME C:\USERS\OROCZ\DESKTOP\SOITEC\SOLAR\PROJECT\TIERRA DEL SOL\GRADING\C-202-203_GRADING.DWG LAST SAVED BY OROZCOG PLOT DATE 9/15/2014 8:46:24 AM

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	AECOM AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	PROPERTY OWNER INFORMATION NAME TRUSTEE OF THE BROWN & REYNOLDS TRUST CO-TRUSTEES OF THE BROWN FAMILY TRUST ADDRESS 1116 W 7th Street PMB 158 Columbia, TN 38401 TELEPHONE NUMBER (619) 440-7424 (24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A.P.N. NUMBER SITE ADDRESS 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED APN(s):	DISTURBED AREA CALCS PAD + SLOPES 1,345,313 SF DRIVEWAY 15,145 SF COMMUNITY TRAIL 43,550 SF FIRE CLEARING 15,625,095 SF TOTAL 17,029,103 SF IF ≥ 1 AC, PROVIDE WIDTH	PLAN CHECK/PERMITS BUILDING PERMIT PLAN CHECK NUMBER PARCEL MAP NUMBER ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT NAME Savas E. Kolankaya DATE RCE NO C 43628 EXPIRES 12/31/14 TELEPHONE NUMBER (510) 280-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR TIERRA DEL SOL SOLAR LLC SHEET NUMBER C-202 REV 3 SHEET 2 OF SHEETS 6 APPROVED DIRECTOR OF PLANNING AND LAND USE GRADING PERMIT NUMBER BY DATE
		PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) DATE				

PRELIMINARY

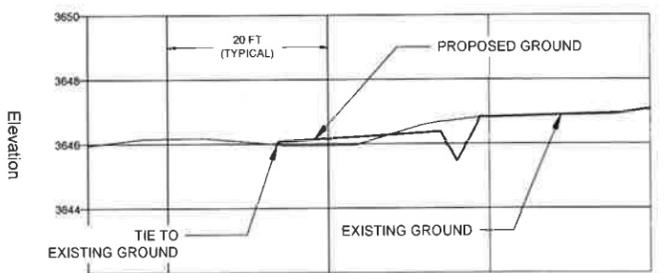
PRELIMINARY GRADING PLAN

VICINITY MAP

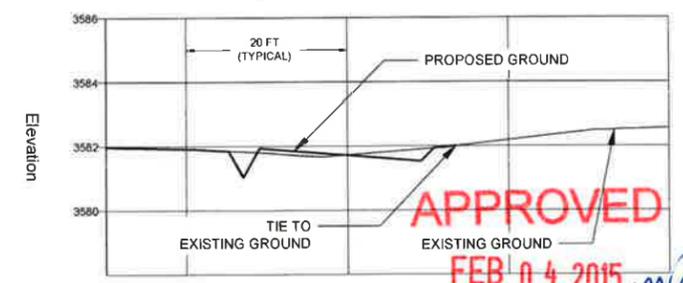


GRADING LEGEND

- SECURITY FENCING — X — X —
- WATERCOURSE ————
- EXISTING CONTOUR ———— 2.75
- PROPOSED CONTOUR ———— 2.75
- EXTENT OF GRADING ————
- GATE ————
- SURFACING FOR PRIMARY ROAD AND SPECIAL FUEL MOD ZONE ————
- SURFACE TO BE CLEARED AND REVEGETATED FOR FIRE CLEARING ————

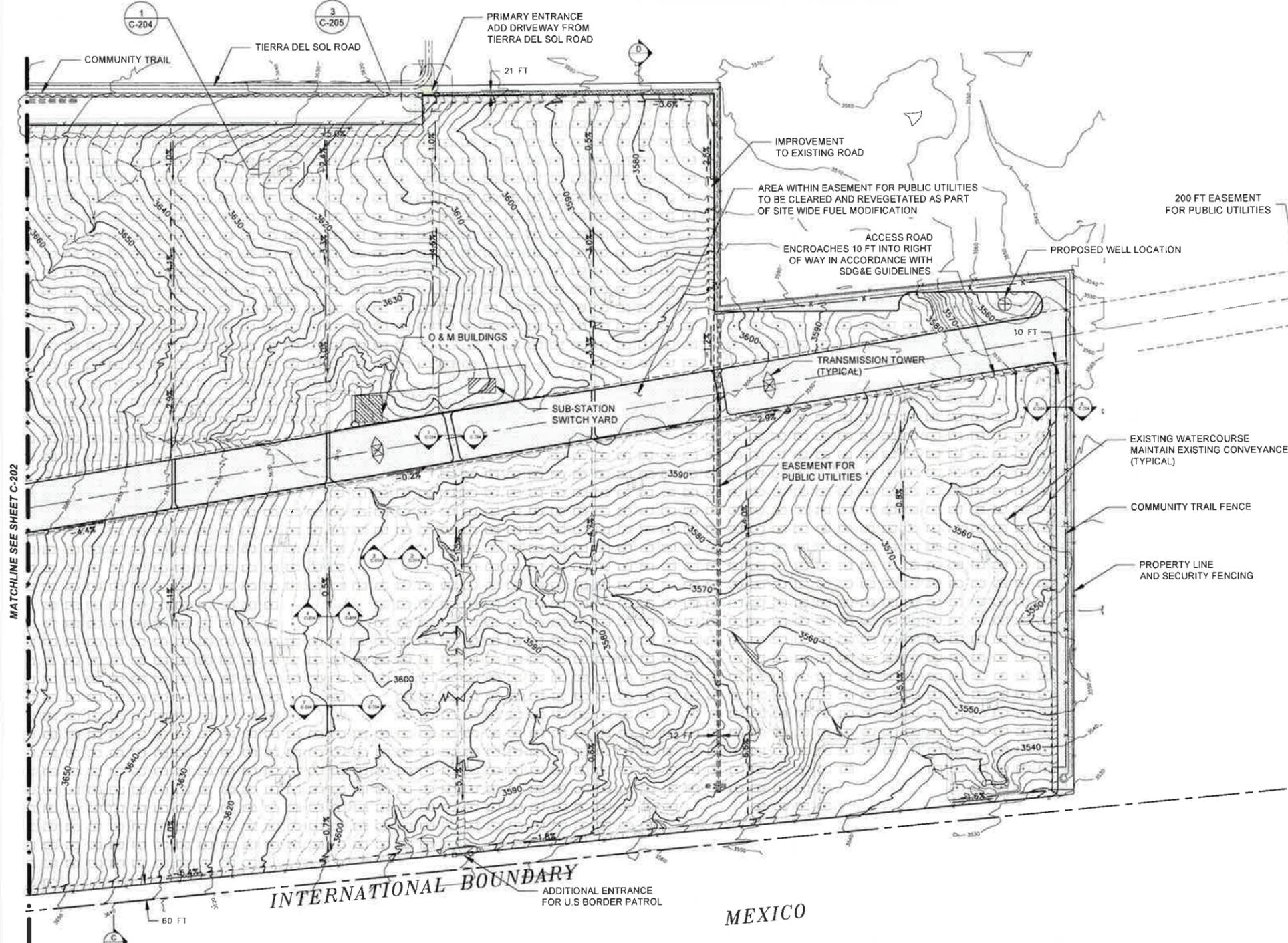


C CROSS SECTION 1:10 SCALE



D CROSS SECTION 1:10 SCALE

APPROVED
FEB 04 2015



MATCHLINE SEE SHEET C-202

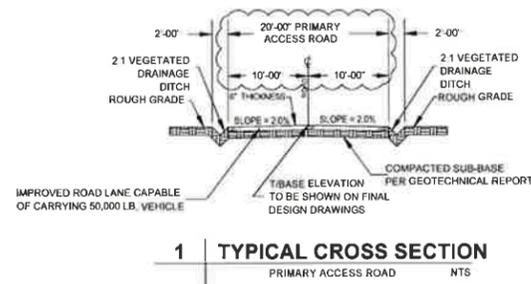
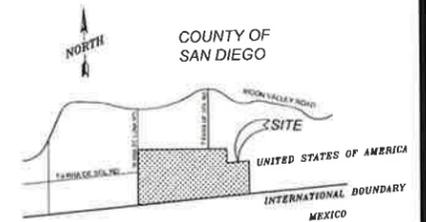
CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	PROPERTY OWNER INFORMATION TRUSTEE OF THE BROWN & REYNOLDS TRUST CO-TRUSTEES OF THE BROWN FAMILY TRUST ADDRESS: 1116 W. 7th Street PMB 158 Columbia, TN 38401 TELEPHONE NUMBER: (619) 440-7424 (24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A P N NUMBER: SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED APN(s): PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	DISTURBED AREA CALCS PAD + SLOPES 1,345,313 SF DRIVEWAY 15,145 SF COMMUNITY TRAIL 43,550 SF FIRE CLEARING 15,625,095 SF TOTAL 17,029,103 SF IF > 1 AC, PROVIDE WIDTH	PLAN CHECK/PERMITS BUILDING PERMIT PLAN CHECK NUMBER _____ PARCEL MAP NUMBER _____ ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT NAME: Savas E. Kolankaya DATE: _____ RCE NO: C-43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 280-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR TIERRA DEL SOL SOLAR LLC SHEET NUMBER: C-203 REV: 3 SHEET: 3 OF SHEETS: 6 APPROVED DIRECTOR OF PLANNING AND LAND USE _____ GRADING PERMIT NUMBER _____ BY: _____ DATE: _____

FILE NAME: C:\USERS\DRCC\DESKTOP\SOITEC SOLAR PROJECT\TIERRA DEL SOL\GRADING\C-202-203 GRADING.DWG LAST SAVED BY: OROZCOG PLOT DATE: 9/15/2014 9:47:10 AM

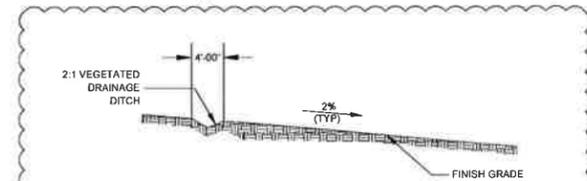
PRELIMINARY

DETAILS

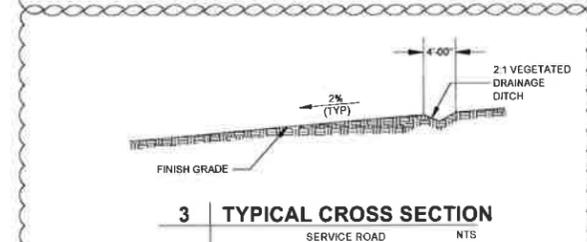
VICINITY MAP



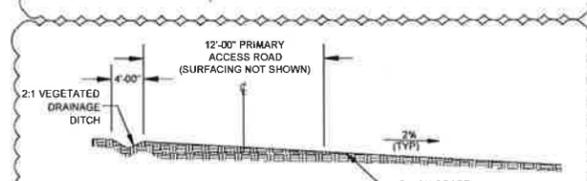
1 TYPICAL CROSS SECTION
PRIMARY ACCESS ROAD NTS



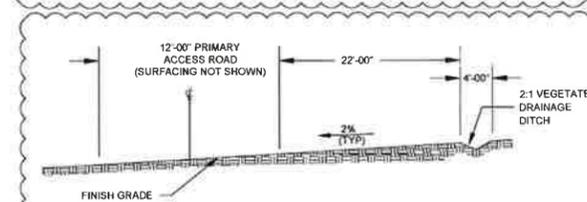
2 TYPICAL CROSS SECTION
SERVICE ROAD NTS



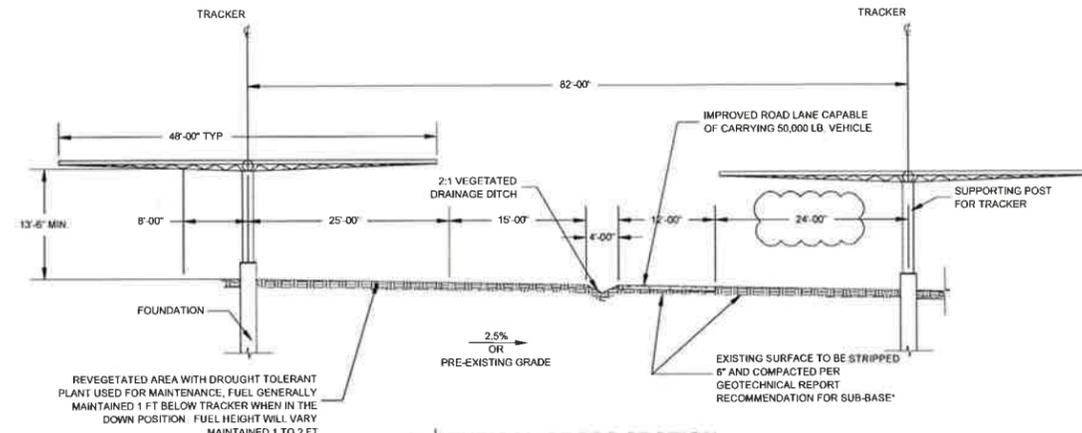
3 TYPICAL CROSS SECTION
SERVICE ROAD NTS



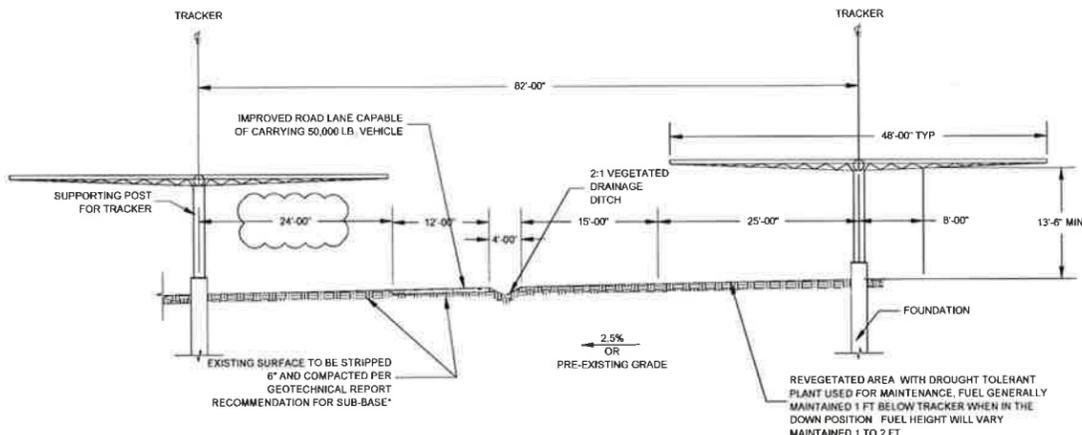
4 TYPICAL CROSS SECTION
SECONDARY ACCESS ROAD NTS



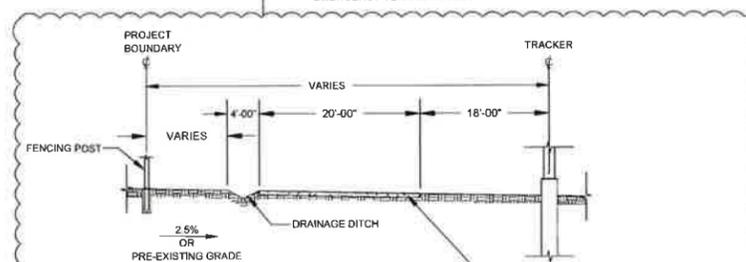
5 TYPICAL CROSS SECTION
SECONDARY ACCESS ROAD NTS



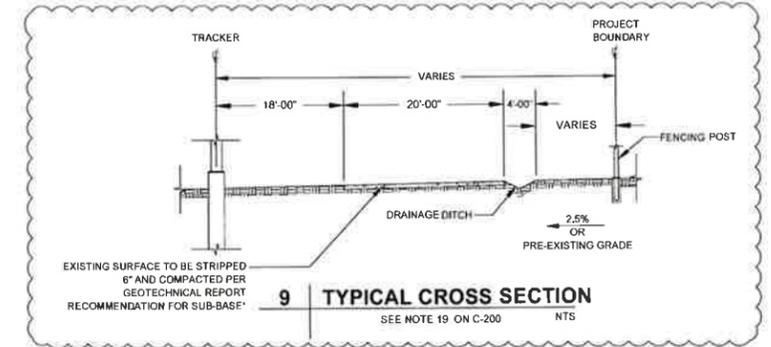
6 TYPICAL CROSS SECTION
EMERGENCY VEHICLE ACCESS NTS



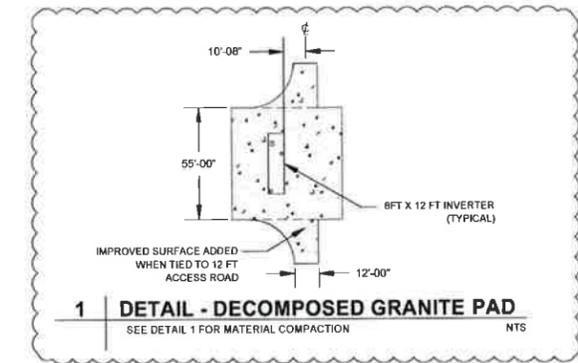
7 TYPICAL CROSS SECTION
EMERGENCY VEHICLE ACCESS NTS



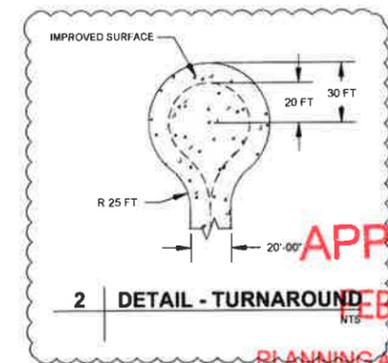
8 TYPICAL CROSS SECTION
COMMUNITY TRAIL NOT SHOWN NTS



9 TYPICAL CROSS SECTION
SEE NOTE 19 ON C-200 NTS



1 DETAIL - DECOMPOSED GRANITE PAD
SEE DETAIL 1 FOR MATERIAL COMPACTION NTS



2 DETAIL - TURNAROUND
NTS

APPROVED

FEB 04 2015

PLANNING AND DEVELOPMENT SERVICES

FILE NAME: C:\USERS\ROZCOG\DESKTOP\SOITEC SOLAR PROJECTS\ERRA DEL SOL\GRADING\C-204-205-206_DETAILS.DWG LAST SAVED BY: OROZCOG PLOT DATE: 9/10/2014 4:00:47 PM

CLIENT

Soitec Solar Development, LLC
4250 Executive Square, Suite 770
San Diego, CA 92037-9178

AECOM

AECOM
AECOM TECHNICAL SERVICES, INC.
440 Stevens Avenue, Suite 250
Solana Beach, CA 98075
858.947.7144 tel 858.947.7145 fax
www.aecom.com

CONTACT INFORMATION

NAME: PAT BROWN
ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770
LA JOLLA, CA
TELEPHONE NUMBER: (858) 652-4423
(24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00
SITE A P N NUMBER:
SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 93905

GRADING ON ADJACENT PARCELS

LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED

APN(s):

PROPERTY OWNER CERTIFICATION

I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES

OWNER'S SIGNATURE (REQUIRED): DATE:

DISTURBED AREA CALCS

PAD + SLOPES _____ SF
DRIVEWAY _____ SF
PRIMARY SEPTIC _____ SF
FIRE CLEARING _____ SF
TOTAL _____ SF
IF ≥ 1 AC, PROVIDE WIDTH _____

PLAN CHECK/PERMITS

BUILDING PERMIT PLAN CHECK NUMBER _____
PARCEL MAP NUMBER: _____

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT

NAME: Savas E. Kolanikaya DATE: _____
RCE NO: C 43628 EXPIRES: 12/31/14
TELEPHONE NUMBER: (510) 250-6544

PRIVATE CONTRACT

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

PRELIMINARY GRADING PLAN FOR:
TIERRA DEL SOL SOLAR SYSTEM LLC

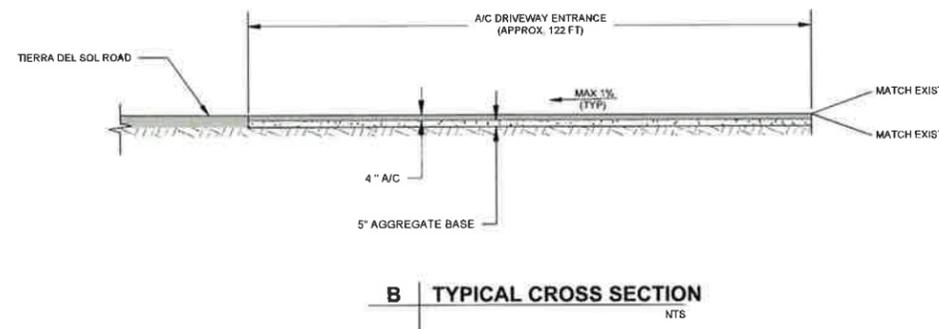
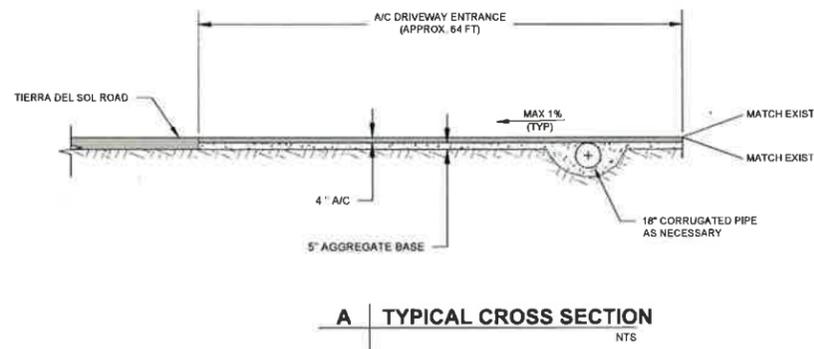
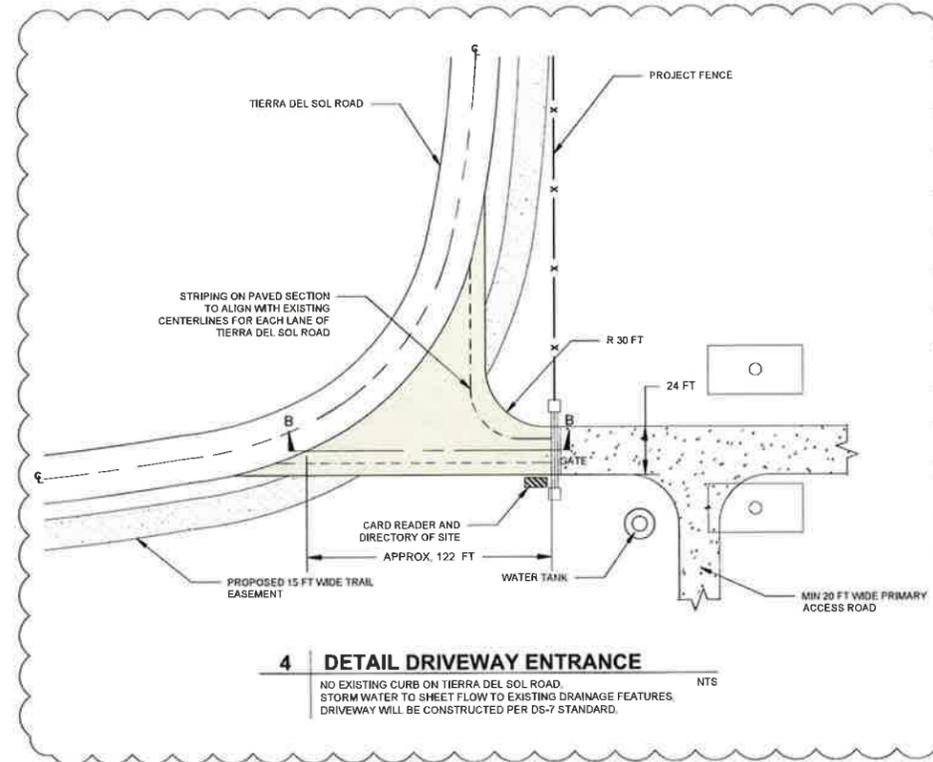
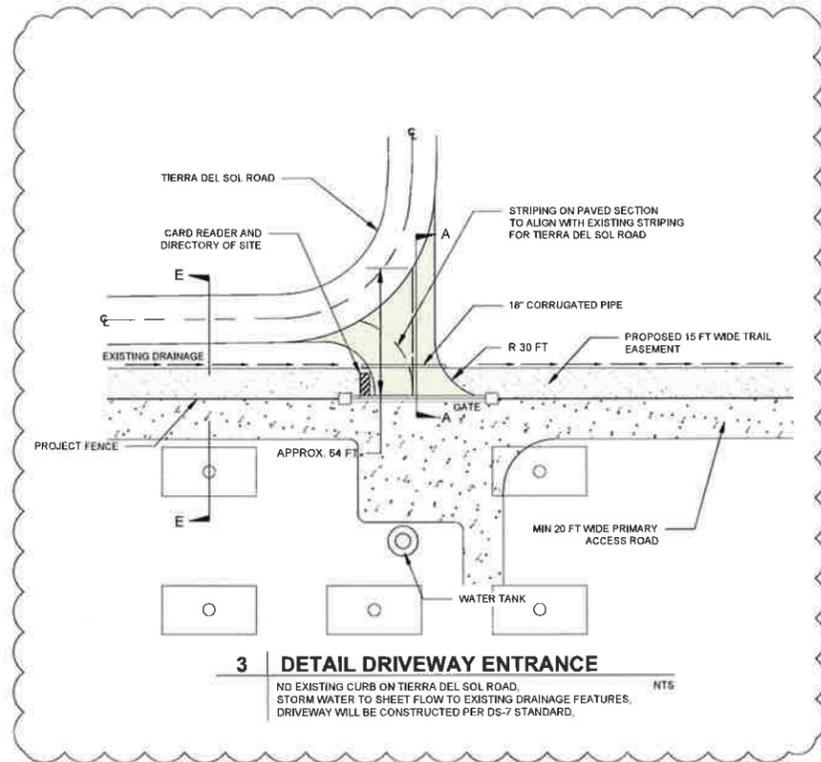
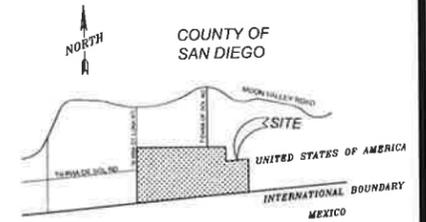
SHEET NUMBER: C-204 REV: 1 SHEET: 4 OF SHEETS: 6

APPROVED: DIRECTOR OF PLANNING AND LAND USE: _____ DATE: _____
DRAWING PERMIT NUMBER: _____

PRELIMINARY

DETAILS

VICINITY MAP



SIGHT DISTANCE:
 "Physically there is a minimum unobstructed sight distance in both directions along Tierra del Sol Road from the proposed access points, for the prevailing operating speed of traffic on Tierra del Sol Road" per Section 6.1 table 5 of the County Public Road Standards (approved March 2012)."
 "The lines of sight fall within the existing right-of-way and a clear space easement is not required."

APPROVED
 FEB 04 2015

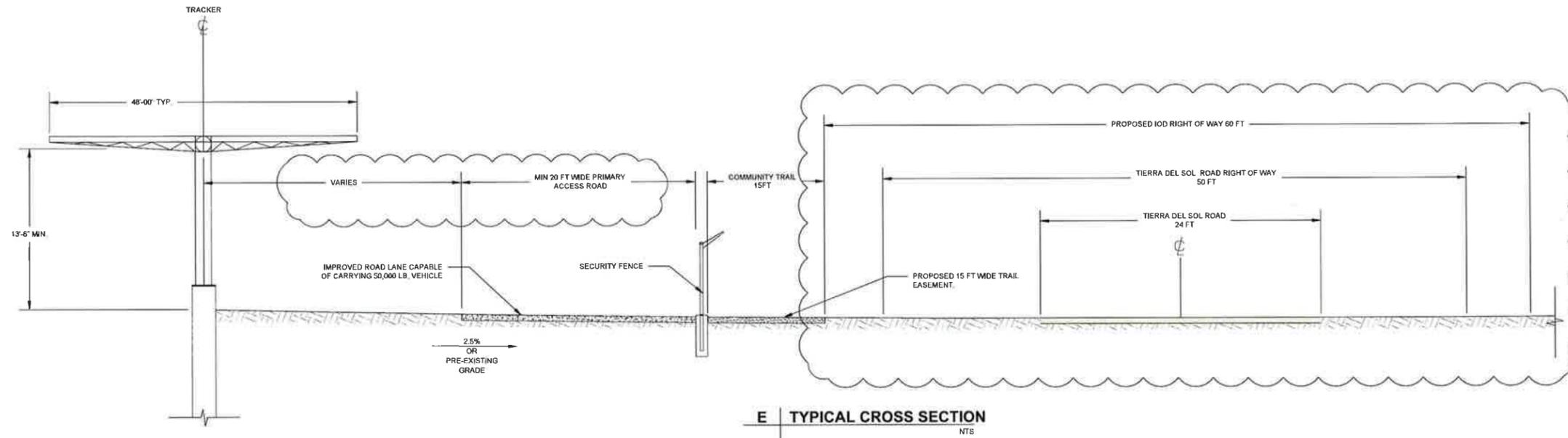
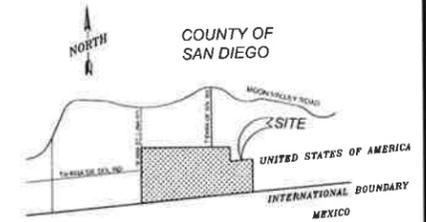
PLANNING AND DEVELOPMENT SERVICES

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	AECOM AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	CONTACT INFORMATION NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (858)652-4423 (24 HOUR CONTACT NUMBER) 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A.P.N. NUMBER: SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED APN(s): PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	DISTURBED AREA CALCS PAD + SLOPES _____ SF DRIVEWAY _____ SF PRIMARY SEPTIC _____ SF FIRE CLEARING _____ SF TOTAL _____ SF IF ≥ 1 AC, PROVIDE WQDF _____	PLAN CHECK/PERMITS BUILDING PERMIT _____ PLAN CHECK NUMBER: _____ PARCEL MAP NUMBER: _____ ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolankaya DATE _____ RCE NO: C-43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 280-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY GRADING PLAN FOR: TIERRA DEL SOL SOLAR SYSTEM LLC SHEET NUMBER: C-205 REV: 1 SHEET: 5 OF SHEETS: 6 APPROVED DIRECTOR OF PLANNING AND LAND USE _____ DATE _____ GRADING PERMIT NUMBER _____
		<p style="text-align: right;">PRELIMINARY</p>				

FILE NAME: C:\USERS\OROCZ\DESKTOP\TIERRA DEL SOL\GRADING\C-204-205-206-DETAILS.DWG PLOT DATE: 9/10/2014 4:02:13 PM LAST SAVED BY: OROZCOG

DETAILS

VICINITY MAP



APPROVED

FEB 04 2015 *md*

PLANNING AND DEVELOPMENT SERVICES

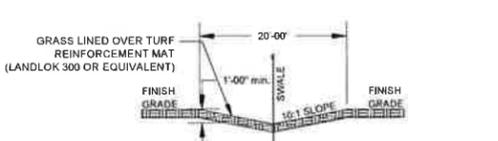
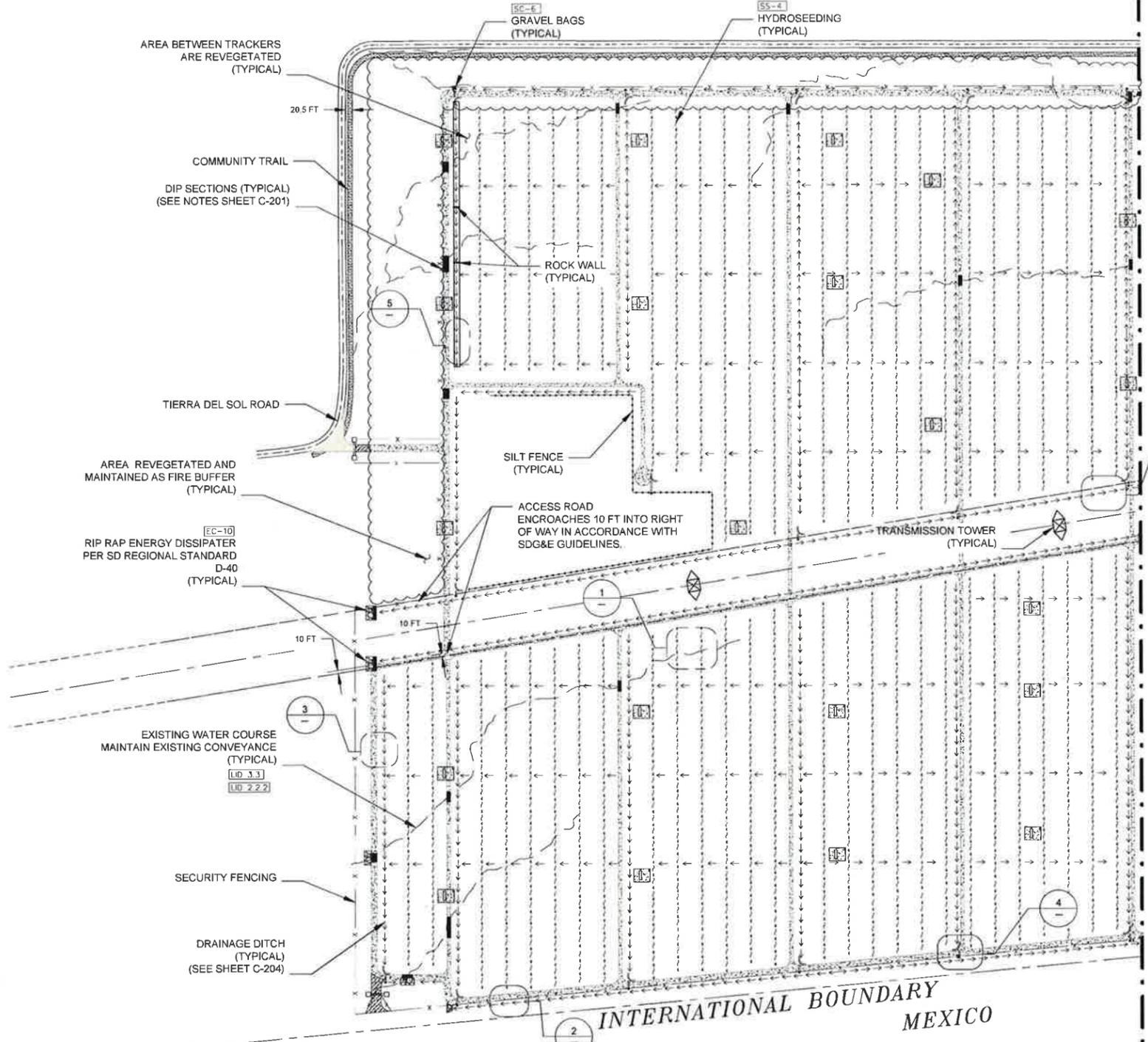
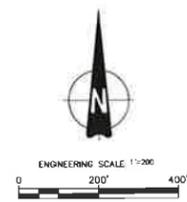
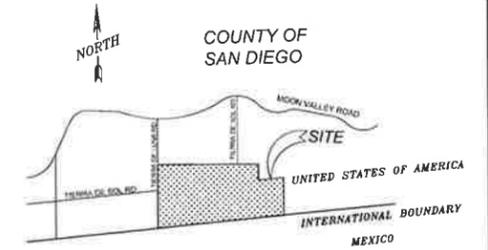
<p>CLIENT</p>  <p>Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-8178</p>	<p>AECOM</p> <p>AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com</p>	<p>CONTACT INFORMATION</p> <p>NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (659)652-4423 (24 HOUR CONTACT NUMBER): 658-090-31-00, 658-090-55-00, 658-120-02-00, 658-120-03-00, 658-090-54-00 SITE A.P.N. NUMBER: SITE ADDRESS: 795 Tierra Del Sol Road, Boulevard 91905</p>	<p>GRADING ON ADJACENT PARCELS</p> <p>LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED.</p> <p>APN(s):</p> <hr/> <p>PROPERTY OWNER CERTIFICATION</p> <p>I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES.</p> <p>OWNER'S SIGNATURE (REQUIRED) _____ DATE _____</p>	<p>DISTURBED AREA CALCS</p> <p>PAD + SLOPES _____ SF DRIVEWAY _____ SF PRIMARY SEPTIC _____ SF FIRE CLEARING _____ SF TOTAL _____ SF IF ≥ 1 AC, PROVIDE WIDTH _____</p>	<p>PLAN CHECK/PERMITS</p> <p>BUILDING PERMIT PLAN CHECK NUMBER _____ PARCEL MAP NUMBER: _____</p> <p>ENGINEER OF WORK</p> <p>I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.</p> <p>NAME: Savas E. Kolankaya DATE _____ RCE NO. C-43628 EXPIRES 12/31/14 TELEPHONE NUMBER (619) 260-6544</p>	<p>PRIVATE CONTRACT</p> <p>COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE</p> <p>PRELIMINARY GRADING PLAN FOR: TIERRA DEL SOL SOLAR SYSTEM LLC</p> <p>SHEET NUMBER: C-206 REV: 1 SHEET: 6 OF SHEETS: 6</p> <p>APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ DATE: _____</p>
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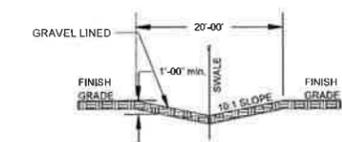
PRELIMINARY

PRELIMINARY DRAINAGE AND BMP PLAN

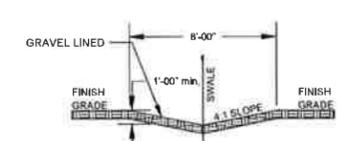
VICINITY MAP



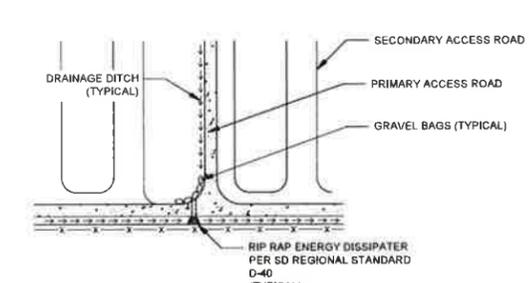
1 DETAIL - VEGETATED SWALE
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



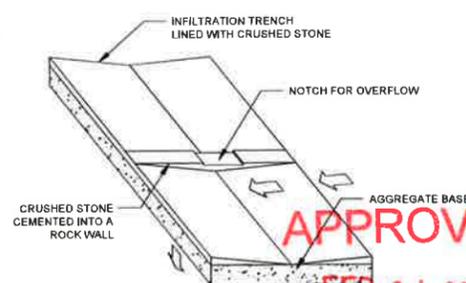
2 DETAIL - VEGETATED SWALE
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



3 DETAIL - VEGETATED SWALE
TYPICAL FOR MAINTAINING EXISTING WATERCOURSE NTS



4 DETAIL - DIFFUSER
NTS



5 DETAIL - INFILTRATION TRENCH
NOTE 1: TRENCH FOR SETTLEMENT AND INFILTRATION NTS
NOTE 2: DIMENSIONS FOR TRENCH PLAN

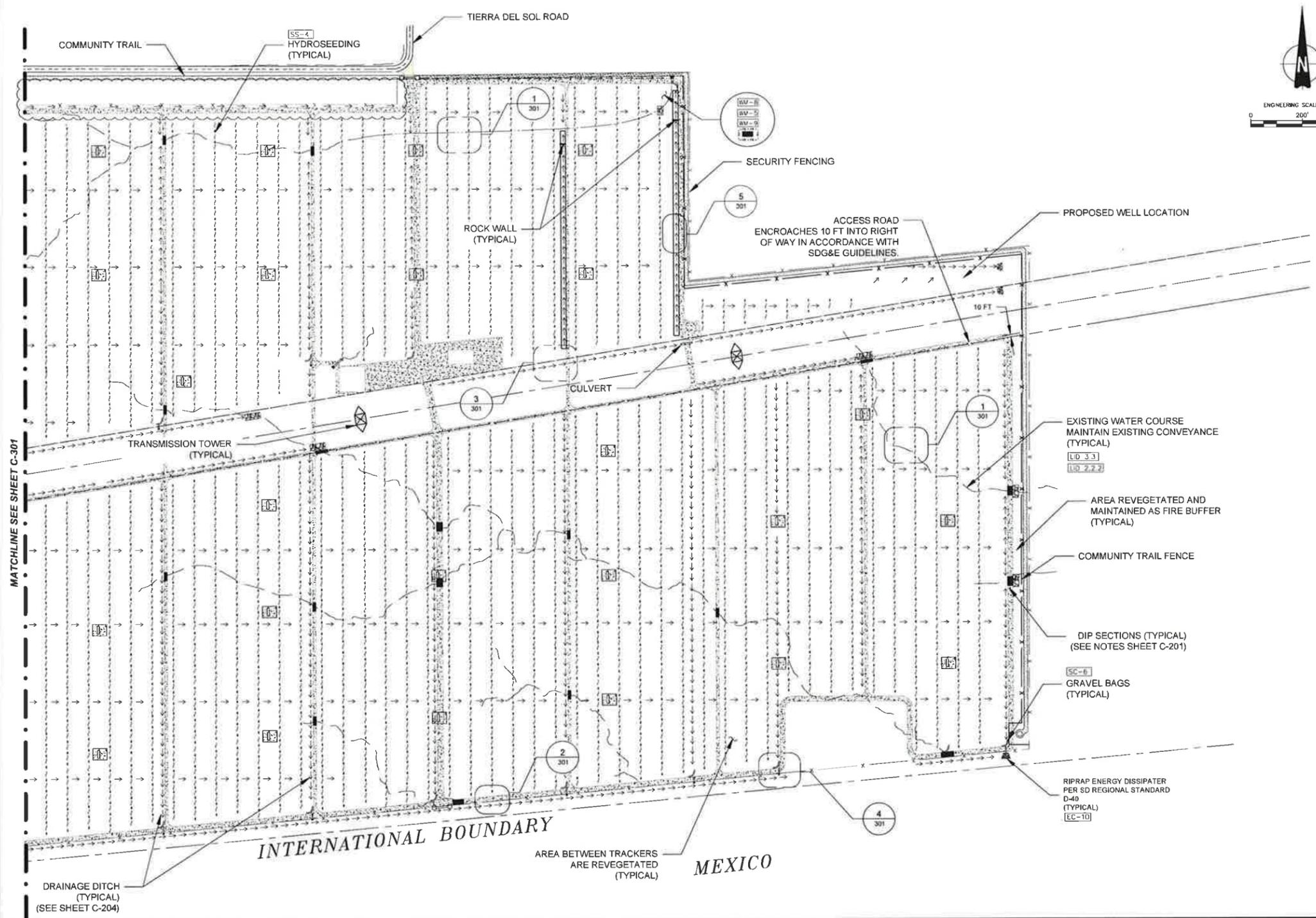
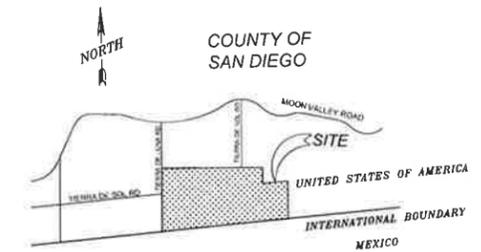
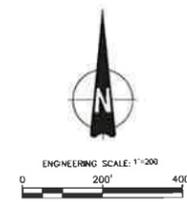
- LEGEND**
- SECURITY FENCING
 - EXISTING WATERCOURSE
 - SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS
 - ASPHALT CONCRETE PAVING
 - COMMUNITY TRAIL
 - GATE
- BMP LEGEND**
- DIRECTION OF LOT DRAINAGE
 - TEMPORARY RUNOFF CONTROL BMPs
 - SS-4 HYDROSEEDING (SUMMER)
 - SS-10 ENERGY DISSIPATOR
 - SC-1 SILT FENCE
 - SC-6/SC-8 GRAVEL OR SAND BAGS
 - PERMANENT BMPs
 - SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
 - EC-10 OUTLET PROTECTION
 - LOW IMPACT DEVELOPMENT BMPs
 - LD 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
 - LD 2.2.4 MINIMIZE SOIL COMPACTION
 - LD 3.3 ROAD DESIGN FOR DEVELOPMENTS

APPROVED
FEB 04 2015
PLANNING AND DEVELOPMENT SERVICES

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	AECOM AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	CONTACT INFORMATION NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (858)852-4423 (24 HOUR CONTACT NUMBER) 658-090-31-00 658-090-55-00 658-120-02-00 658-120-03-00 658-090-54-00 SITE A.P.N. NUMBER: SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED. APN(s): PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES. OWNER'S SIGNATURE (REQUIRED) _____ DATE _____	DISTURBED AREA CALCCS PAD + SLOPES: 1,345,313 SF DRIVEWAY: 15,145 SF COMMUNITY TRAIL: 43,550 SF FIRE CLEARING: 15,825,095 SF TOTAL: 17,029,103 SF IF ≥ 1 AC, PROVIDE WIDTH _____	PLAN CHECK/PERMITS BUILDING PERMIT PLAN CHECK NUMBER _____ PARCEL MAP NUMBER _____ ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Syvas E. Kolanbaya DATE _____ RCE NO: C-43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-5544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR: TIERRA DEL SOL SOLAR SYSTEM LLC SHEET NUMBER: C-301 REV: 2 SHEET: 1 OF SHEETS: 2 APPROVED DIRECTOR OF PLANNING AND LAND USE _____ GRADING PERMIT NUMBER _____ BY: _____ DATE _____
		CLIENT: Soitec Solar Development, LLC PROJECT: TIERRA DEL SOL SOLAR SYSTEM LLC SHEET: C-301 OF 2 DATE: FEB 04 2015				

PRELIMINARY DRAINAGE AND BMP PLAN

VICINITY MAP



- LEGEND**
- SECURITY FENCING: -X-X-X-
 - EXISTING WATERCOURSE: - - - - -
 - NEW WATERCOURSE: ————
 - SURFACING FOR PRIMARY AND SECONDARY ACCESS ROADS: [Pattern]
 - ASPHALT CONCRETE PAVING: [Pattern]
 - COMMUNITY TRAIL: [Pattern]
 - GATE: [Symbol]
- BMP LEGEND**
- DIRECTION OF LOT DRAINAGE: → →
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs**
- WM-8 PORTABLE CONCRETE WASTE MANAGEMENT
 - WM-5 SOLID WASTE MANAGEMENT
 - WM-9 SANITARY WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs**
- SS-4 HYDROSEEDING (SUMMER)
 - SS-10 ENERGY DISSIPATOR
 - SC-1 SILT FENCE
 - SC-6 / SC-8 GRAVEL OR SAND BAGS
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
- PERMANENT BMPs**
- SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
 - EC-10 OUTLET PROTECTION
- LOW IMPACT DEVELOPMENT BMPs**
- LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
 - LID 2.2.4 MINIMIZE SOIL COMPACTION
 - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS

APPROVED
FEB 04 2015
 PLANNING AND DEVELOPMENT SERVICES

CLIENT Soitec Solar Development, LLC 4250 Executive Square, Suite 770 San Diego, CA 92037-9178	AECOM AECOM TECHNICAL SERVICES, INC 440 Stevens Avenue, Suite 250 Solana Beach, CA 98075 858.947.7144 tel 858.947.7145 fax www.aecom.com	CONTACT INFORMATION NAME: PAT BROWN ADDRESS: 4250 EXECUTIVE SQUARE, SUITE 770 LA JOLLA, CA TELEPHONE NUMBER: (858)652-4423 (24 HOUR CONTACT NUMBER) 858-090-31-00, 858-090-55-00, 858-120-02-00, 858-120-03-00, 858-090-54-00 SITE A.P.N. NUMBER: SITE ADDRESS: 796 Tierra Del Sol Road, Boulevard 91905	GRADING ON ADJACENT PARCELS LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED APN(x):	DISTURBED AREA CALCS PAD + SLOPES: 1,345.313 SF DRIVEWAY: 15,145 SF COMMUNITY TRAIL: 43,550 SF FIRE CLEARING: 15,825.085 SF TOTAL: 17,029.103 SF IF ≥ 1 AC, PROVIDE WQID#	PLAN CHECK/PERMITS BUILDING PERMIT PLAN CHECK NUMBER: PARCEL MAP NUMBER: ENGINEER OF WORK I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT. NAME: Savas E. Kolankaya DATE: RCE NO: C 43628 EXPIRES: 12/31/14 TELEPHONE NUMBER: (510) 260-6544	PRIVATE CONTRACT COUNTY OF SAN DIEGO DEPARTMENT OF PLANNING AND LAND USE PRELIMINARY DRAINAGE PLAN FOR: TIERRA DEL SOL SOLAR SYSTEM LLC SHEET NUMBER: C-302 REV: 2 SHEET: 2 OF SHEETS: 2 APPROVED DIRECTOR OF PLANNING AND LAND USE: _____ GRADING PERMIT NUMBER: _____ BY: _____ GATE: _____
		PROPERTY OWNER CERTIFICATION I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES OWNER'S SIGNATURE (REQUIRED): _____ DATE: _____				