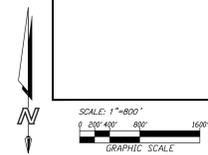
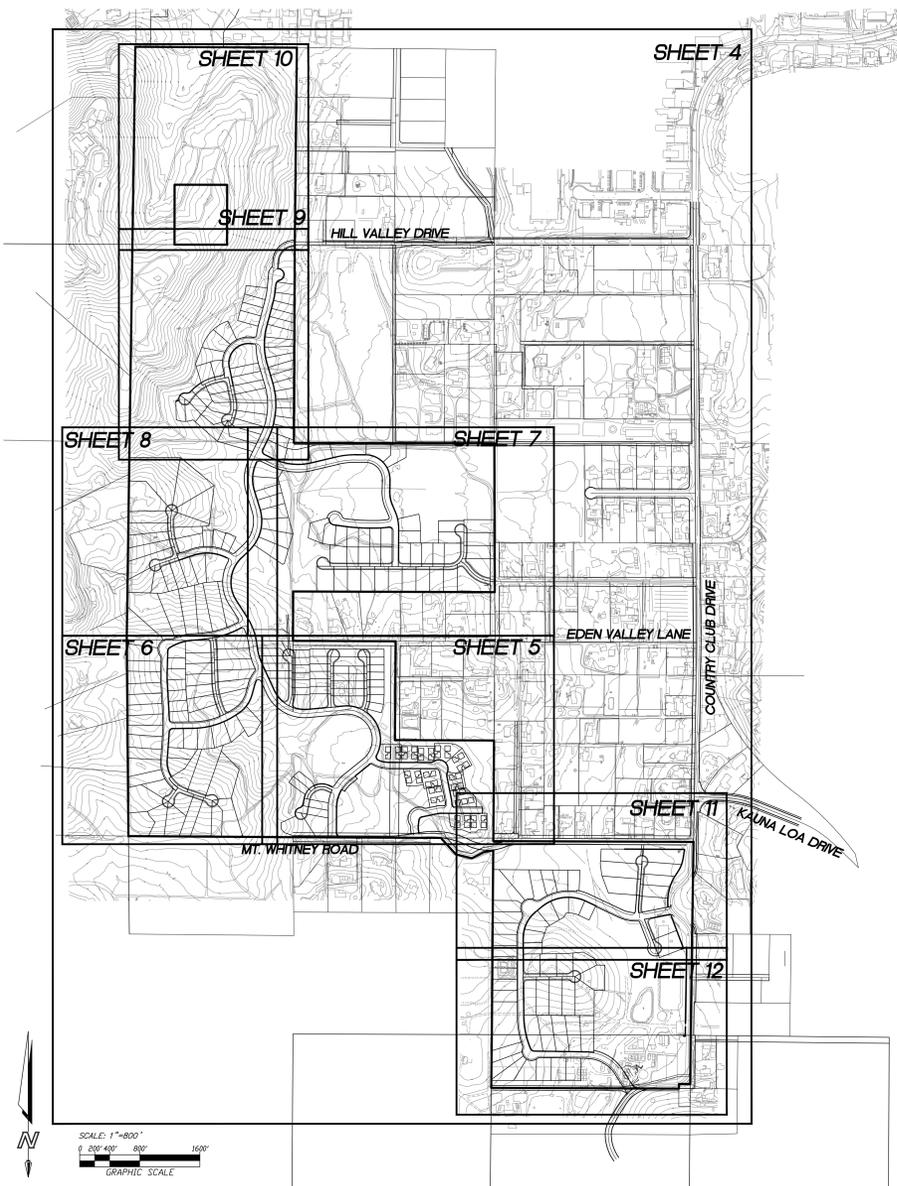


COUNTY OF SAN DIEGO TRACT TM 5575 RPL³

PRELIMINARY GRADING PLAN

VALIANO

NOTE: DESIGN LEVEL, HYDROLOGY AND HYDRAULICS, PIPE SIZES AND LOCATIONS ARE TO BE DETERMINED UPON SUBMITTAL AND APPROVAL OF THE IMPROVEMENT PLANS.



INDEX MAP
SCALE: 1"=800'

TOPOGRAPHY

AERIAL TOPOGRAPHY BY:
SPENCER B. GROSS
3301 LONKLEY LN. #11
RSDO PH 89511
(775)826-4240
PLSRT DATE: 10-08-12

PROPOSED GRADING

CUT: 928,000 CY
FILL: 928,000 CY
ENGINEER'S ESTIMATE ONLY, NOT FOR BID PURPOSES

PROPOSED IMPROVEMENTS

PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF PRIVATE SEWER, WATER AND STORM DRAIN SYSTEMS, AND PRIVATE ROADS AS INDICATED ON THESE PLANS.

OWNER/APPLICANT

THE EDEN HILLS PROJECT OWNER, LLC
2235 ENCINITAS BOULEVARD, SUITE 216
ENCINITAS, CALIFORNIA 92024
(760) 944-7511

ENGINEER

FUSCOE ENGINEERING, SAN DIEGO, INC.
6390 GREENWICH DRIVE, STE. 170
SAN DIEGO, CA 92122
(858)554-1500

OWNER/DEVELOPER

THE EDEN HILLS PROJECT OWNER, LLC
2235 ENCINITAS BOULEVARD, SUITE 216
ENCINITAS, CALIFORNIA 92024
(760) 944-7511

LEGAL DESCRIPTION

PORTIONS OF LOTS 1, 3 AND 5 OF SECTION 19, TOWNSHIP 12 SOUTH, RANGE 2 WEST, SEM IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND A PORTION OF LOT 11 OF SECTION 18, TOWNSHIP 12 SOUTH, RANGE 2 WEST, SEM IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

SOLAR ACCESS NOTE

ALL LOTS WITHIN THIS SUBDIVISION HAVE A MINIMUM OF 100 SQUARE FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT/COMMERCIAL UNIT ALLOWED BY THIS SUBDIVISION.

SPECIAL ASSESSMENT ACT STATEMENT:

THE SUBDIVIDER MAY MAKE A REQUEST TO THE BOARD OF SUPERVISORS FOR PERMISSION TO INITIATE PROCEEDINGS UNDER A SPECIAL ASSESSMENT ACT FOR CONSTRUCTION OF MAJOR UTILITY AND TRANSPORTATION INFRASTRUCTURE.

STREET LIGHT STATEMENT:

STREET LIGHTING SHALL BE DESIGNED TO COMPLY WITH THE DARK SKIES POLICIES OF THE SAN DIEGUITO COMMUNITY PLAN. THIS INCLUDES INSTALLING STREET LIGHTING ONLY WHEN NECESSARY FOR PUBLIC SAFETY AT ROAD INTERSECTIONS, AS WELL AS UTILIZING LIGHTS THAT ARE LOW LEVEL, TIMED, DIRECTED DOWNWARD, AND SCREENED TO MINIMIZE THE IMPACTS ON THE DARK SKY AND TO MINIMIZE SPILLOVER ONTO ADJACENT PROPERTIES. THE REQUIRED LIGHTING SYSTEM SHALL BE INSTALLED ACCORDING TO COUNTY ROAD STANDARDS. THE PUBLIC WORKS DEPARTMENT SHALL ADMINISTER THE COMPLIANCE PROCEDURES TO ASSURE PROPER INSTALLATION AND CONTINUED OPERATION.

PARK LAND DEDICATION STATEMENT:

THE SUBDIVIDER INTENDS TO COMPLY WITH THE PARK LANDS DEDICATION ORDINANCE THROUGH A COMBINATION OF THE DEDICATION OF PARK LAND AND BY THE PAYMENT OF FEES AS ALLOWED AND REQUIRED BY THE ORDINANCE.

ASSESSOR'S PARCEL NUMBERS:

228-313-13
232-013-01
232-013-02
232-013-03
232-020-55
232-492-01
232-500-18
232-500-19
232-500-20
232-500-21
232-500-22
232-500-23
232-031-41

LAND USE DESIGNATION

SEMI-RURAL RESIDENTIAL (SR-2)
SEMI-RURAL RESIDENTIAL (SR-2)
SEMI-RURAL RESIDENTIAL (SR-1)
SEMI-RURAL RESIDENTIAL (SR-1)
SEMI-RURAL RESIDENTIAL (SR-1)
SEMI-RURAL RESIDENTIAL (SR-2)

COMMUNITY PLAN

SAN DIEGUITO

TAX RATE

76011
74035
74035
74094
74094
74035
74094
74094
74094
74035
74035
74035
74035
74228

WATER AND SEWER

WATER:
RINCON DEL DIABLO MUNICIPAL WATER DISTRICT
1820 IRIS LANE
ESCONDIDO, CA 92026
(760)745-5522

SEWER:
ON-SITE SEWER PLANT

SCHOOL DISTRICTS

ESCONDIDO ELEMENTARY
1530 E. GRAND AVENUE
ESCONDIDO, CA 92027
(760)432-2400

HIGH SCHOOL
352 N. MIDWAY DRIVE
ESCONDIDO, CA 92027
(760)291-1300

FIRE DISTRICT

CITY OF SAN MARCOS FIRE PROTECTION DISTRICT
1 CIVIC CENTER DRIVE
SAN DIEGO, CA 92109
(760) 744-1000

EXISTING ZONING

SEE SHEET 2 FOR TABULATION OF EXISTING ZONING FOR EXISTING PARCELS.

PROPOSED ZONING

SEE SHEET 2 FOR TABULATION OF PROPOSED ZONING FOR PROPOSED PLANNING AREAS.

GROSS/NET AREA

238.8 ACRES

NUMBER OF LOTS

SINGLE FAMILY RESIDENTIAL	277
DETACHED CONDOMINIUM	12
OPEN SPACE	20
TOTAL	309

LEGEND

ITEMS	STAD. DWGS.	SYMBOL
WATER		— W —
FIRE HYDRANT	(WF-01)	— FH —
SEWER		— SS —
SEWER MANHOLE	(SM - 02)	— SM —
SEWER LIFT STATION		— L —
STORM DRAIN	(D - 60)	— SD —
RETAINING WALL	(C-1)	— RW —
SOUND BARRIER WALL		— SBW —
EXISTING CONTOUR		— EC —
PROPOSED CONTOUR		— PC —
BROW DITCH	(D-75)	— BD —
CURB INLET	(D - 02)	— CI —
STORM DRAIN CLEANOUT	(D - 09)	— DC —
RIP RAP ENERGY DISSIPATOR	(D - 40)	— RD —
HEADWALL	(D - 34, D - 35)	— HW —
DETENTION BASIN RAISER		— DBR —
TRACT BOUNDARY		— TB —
EASEMENT		— E —
100 YEAR LINE OF INUNDATION		— ILI —
OPEN SPACE EASEMENT		— OSE —
OPEN SPACE LOT		— OSL —
RESIDENTIAL LOT		— RL —
PAD ELEVATION		— PE —
LOT SIZE		— LS —
LOT LINE		— LL —
UNIT / NEIGHBORHOOD BOUNDARY		— UNB —
BRUSH MANAGEMENT EASEMENT		— BME —
PROPOSED ESMT GLE		— PEG —
4" WEDGE CURB TYPE E AND R.O.D.	(G-5)	— WCB —
GRADING LIMIT		— GL —
CUT/FILL SLOPE 2:1 OR AS NOTED		— CFS —
PUBLIC TRAIL		— PT —
EXISTING PUBLIC TRAIL		— EPT —
PRIVATE TRAIL		— PR —
BIOLOGICAL OPEN SPACE EASEMENT		— BOSE —
LIMITED BUILDING ZONE		— LBZ —
R.P.O. SETBACK		— RPS —
AGRICULTURAL PRESERVE		— AP —
STEEP SLOPE EASEMENT		— SSE —
FUEL MANAGEMENT ZONE 1		— FMZ1 —
FUEL MANAGEMENT ZONE 2		— FMZ2 —
6" WIDE BENCH FOR DRAINAGE		— W6B —
FORCED MAIN		— FM —
5' DECOMPOSED GRANITE TRAIL		— DGT —

NOTE:
SAN DIEGO REGIONAL STANDARD DRAWINGS (2012) APPLY FOR THIS PROJECT

MINIMUM PROPOSED LOT SIZE: 5,000 s.f.

TOTAL NUMBER OF DWELLING UNITS: 326

GRADING PLAN NOTE:

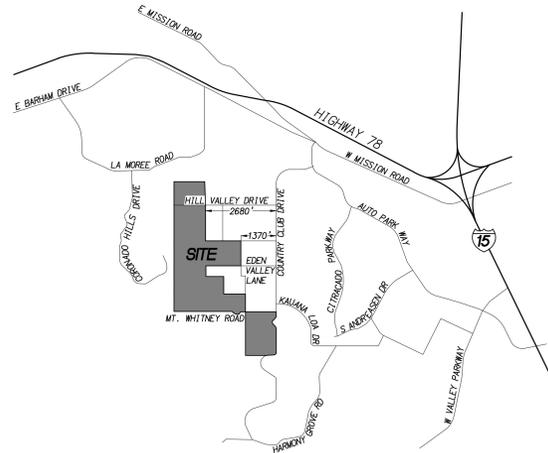
THIS TENTATIVE MAP IS ALSO A PRELIMINARY GRADING PLAN PROVIDED TO ALLOW FOR THE FULL AND ADEQUATE DISCRETIONARY REVIEW OF THE PROPOSED DEVELOPMENT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSION BEFORE COMMENCING SUCH ACTIVITY.

DESIGN STANDARDS:

1. STANDARDS FOR PR ROADWAY DESIGN WITHIN THIS PROJECT SHALL CONFORM WITH THE PARAMETERS LISTED FOR EACH ROADWAY SECTION ON SHEET TWO OF THIS MAP AND THE GUIDELINES OF THE VALIANO SPECIFIC PLAN. ELEMENTS SUCH AS DESIGN SPEED, MAXIMUM GRADE AND MINIMUM HORIZONTAL CURVE RADIUS MAY VARY FROM THE COUNTY OF SAN DIEGO PUBLIC ROAD STANDARDS.

CONSTRUCTION NOISE NOTES:

- IF RIPPING, DRILLING, OR EXCAVATION IS REQUIRED WITHIN 180 FEET OF A RESIDENTIALLY OCCUPIED OFF-SITE OR ON-SITE PROPERTY LINE, A 12-FOOT HIGH BARRIER SHALL BE CREATED ALONG A LENGTH OF THE PROPERTY LINE. THIS BARRIER SHALL BE OF SUFFICIENT LENGTH TO BLOCK THE LINE OF SIGHT BETWEEN THE OCCUPIED PROPERTY AND ANY RIPPING OPERATIONS WITHIN 180 FEET OF THE PROPERTY. ADDITIONALLY, THE BARRIERS SHALL EXTEND AT LEAST 10 FEET BEYOND THE HORIZONTAL LINE OF SIGHT IN EACH DIRECTION. REFER TO THE NOISE STUDY AND CIR FOR TEMPORARY CONSTRUCTION NOISE MITIGATION MEASURES.
- IF A BREAKER IS REQUIRED ON-SITE DURING CONSTRUCTION, THEN IT SHALL NOT BE USED WITHIN 300 FEET.....



VICINITY MAP
NOT TO SCALE

San Diego Gas & Electric Company
Reviewed By: _____ Date: _____
Jeff Sykes
Lead Land Manager
Valid for 18 months from date of signature

ENGINEER OF WORK

FUSCOE ENGINEERING INC.
6390 GREENWICH DRIVE, STE. 170
SAN DIEGO, CA 92122
(858)554-1500



KENNETH T. KOZLUK RCE 71883 DATE _____

PRELIMINARY GRADING PLAN

SHEET 1 OF 13

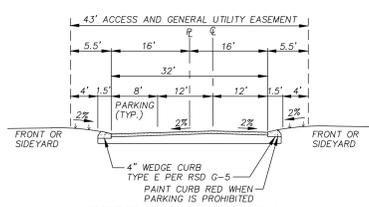
REV.	DATE	REVISION



COUNTY OF SAN DIEGO TRACT TM 5575 RPL³

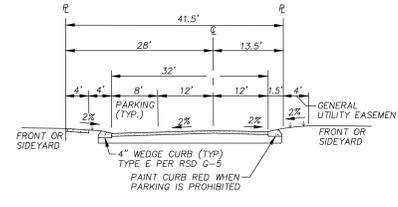
PRELIMINARY GRADING PLAN

VALIANO



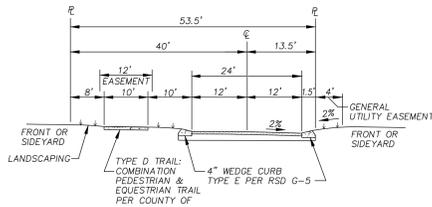
A
RESIDENTIAL ROADWAY NO SIDEWALK

PRIVATE STREET NOT TO SCALE
STREETS 1A,C,D,E,F STREETS 2B,C
STREETS 2C, 3E PORTION OF STREET 2A,4A,4C



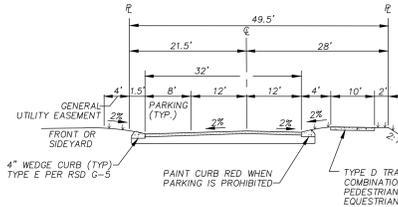
B
RESIDENTIAL ROADWAY SIDEWALK ONE SIDE

PRIVATE STREET NOT TO SCALE
STREET 1B PORTION OF STREET 2A,3B,4A,4C, & 5A
STREET 2B



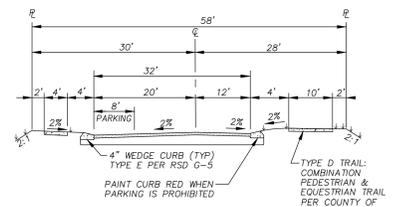
C
TRAILSIDE ROADWAY

PRIVATE STREET NOT TO SCALE
STREET A



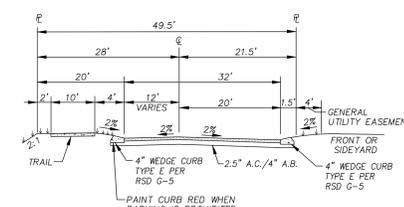
D
TRAIL ROADWAY

PRIVATE STREET NOT TO SCALE
STREET 3A STREET 5D
PORTION OF STREET 1C,3B,5A



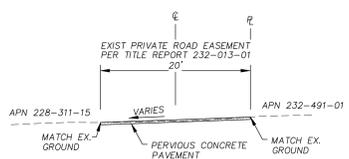
E
TRAIL + WALK ROADWAY

PRIVATE STREET NOT TO SCALE
STREET 5A (PORTION)



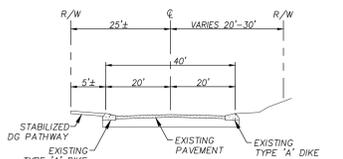
F
EMERGENCY ACCESS ROAD

PRIVATE STREET NOT TO SCALE
ACCESS TO MOUNT WHITNEY ROAD



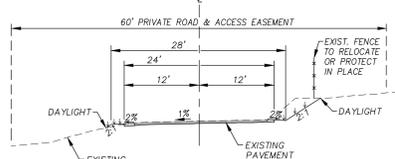
G
HILL VALLEY DRIVE EMERGENCY ACCESS

PRIVATE STREET NOT TO SCALE



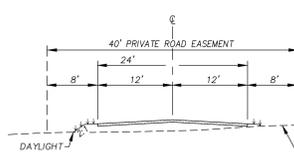
H
COUNTRY CLUB DRIVE AT NEIGHBORHOOD 5

PRIVATE STREET NOT TO SCALE
EX. IMPROVEMENTS PER CG-4779
PUBLIC STREET



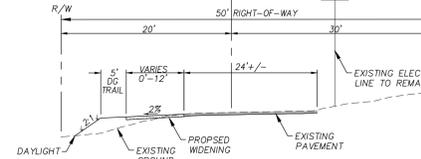
I
EDEN VALLEY LANE

PRIVATE STREET NOT TO SCALE



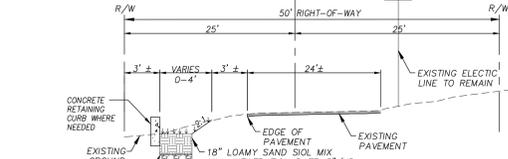
J
MT WHITNEY ROAD

PRIVATE STREET NOT TO SCALE



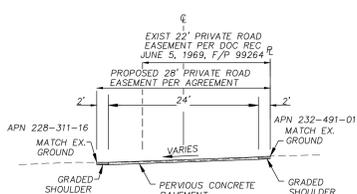
K
COUNTRY CLUB DRIVE AT EDEN VALLEY LANE

PUBLIC ROAD NOT TO SCALE



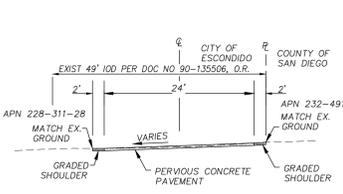
L
COUNTRY CLUB DRIVE AT EDEN VALLEY LANE

PUBLIC ROAD NOT TO SCALE



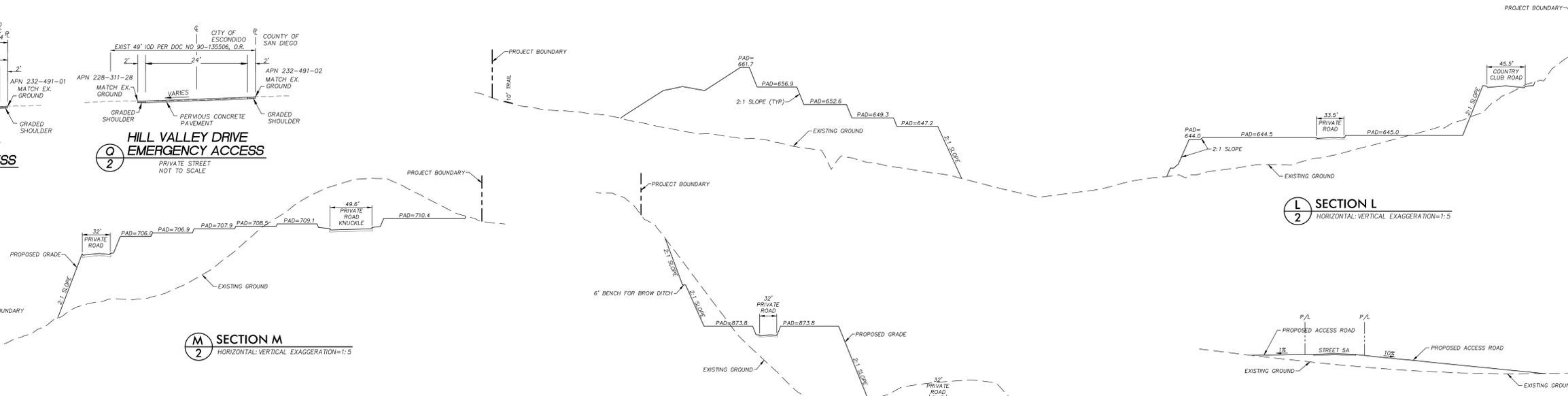
P
HILL VALLEY DRIVE EMERGENCY ACCESS

PRIVATE STREET NOT TO SCALE



Q
HILL VALLEY DRIVE EMERGENCY ACCESS

PRIVATE STREET NOT TO SCALE

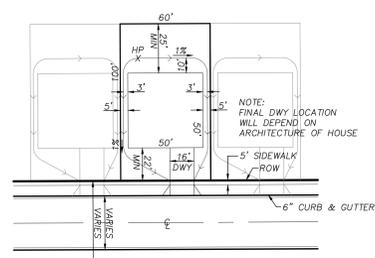


EXISTING ZONING

APN	COMMUNITY PLAN	LAND USE DESIGNATION	ZONE	USE REGULATIONS
APN 232-492-01-00	COMMUNITY PLAN SAN DIEGUITO	SR-2	A70	ANIMAL REGULATIONS L, DENSITY L, LOT SIZE 1.0 AC, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK C, OPEN SPACE C, SPECIAL AREA REGULATIONS -
APN 232-013-02_03 & 232-013-55-00	COMMUNITY PLAN SAN DIEGUITO	SR-1	A70	ANIMAL REGULATIONS L, DENSITY L, LOT SIZE 1.0 AC, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK C, OPEN SPACE C, SPECIAL AREA REGULATIONS -
APN 232-013-01-00	COMMUNITY PLAN SAN DIEGUITO	SR-2	A70	ANIMAL REGULATIONS L, DENSITY L, LOT SIZE 2.0 AC, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK C, OPEN SPACE C, SPECIAL AREA REGULATIONS -
APN 232-500-18 THRU -23-020, 235-031-41	COMMUNITY PLAN SAN DIEGUITO	SR-2	A70	ANIMAL REGULATIONS L, DENSITY L, LOT SIZE 2.0 AC, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK C, OPEN SPACE C, SPECIAL AREA REGULATIONS -
APN 228-313-13	COMMUNITY PLAN SAN DIEGUITO	SR-2	A70	ANIMAL REGULATIONS L, DENSITY L, LOT SIZE 2.0 AC, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK C, OPEN SPACE C, SPECIAL AREA REGULATIONS -

PROPOSED ZONING

NEIGHBORHOOD	COMMUNITY PLAN	LAND USE DESIGNATION	ZONE	USE REGULATIONS
NEIGHBORHOOD 1	COMMUNITY PLAN SAN DIEGUITO	SR.5	S88	ANIMAL REGULATIONS S, DENSITY L, LOT SIZE 4,500, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK V, OPEN SPACE V, SPECIAL AREA REGULATIONS -
NEIGHBORHOOD 2	COMMUNITY PLAN SAN DIEGUITO	SR.5	S88	ANIMAL REGULATIONS S, DENSITY L, LOT SIZE 8,000, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK V, OPEN SPACE V, SPECIAL AREA REGULATIONS -
NEIGHBORHOOD 3	COMMUNITY PLAN SAN DIEGUITO	SR.5	S88	ANIMAL REGULATIONS S, DENSITY L, LOT SIZE 7,000, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK V, OPEN SPACE V, SPECIAL AREA REGULATIONS -
NEIGHBORHOOD 4	COMMUNITY PLAN SAN DIEGUITO	SR.5	S88	ANIMAL REGULATIONS S, DENSITY L, LOT SIZE 7,000, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK V, OPEN SPACE V, SPECIAL AREA REGULATIONS -
NEIGHBORHOOD 5	COMMUNITY PLAN SAN DIEGUITO	SR.5	S88	ANIMAL REGULATIONS S, DENSITY L, LOT SIZE 6,000, BUILDING TYPE C, MAXIMUM FLOOR AREA -, FLOOR AREA RATIO -, HEIGHT G, LOT COVERAGE G, SEBRACK V, OPEN SPACE V, SPECIAL AREA REGULATIONS -



1
TYPICAL LOT LAYOUT AND DRAINAGE

NO SCALE

STREET LANDSCAPING STANDARDS:

- STREET LANDSCAPING SHALL CONFORM WITH THE "STREETSCAPE" SECTION OF THE SPECIFIC PLAN PREPARED FOR THIS PROJECT, WHERE THAT DOCUMENT IS SILENT, PLANTING SHALL CONFORM WITH THE COUNTY OF SAN DIEGO'S LANDSCAPE GUIDELINES.
- FINAL LANDSCAPE PLACEMENT SHALL BE SUBJECT TO APPROVAL OF "CLEAR ZONE" SPACING AT THE TIME OF IMPROVEMENT PLAN REVIEW.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROJECT, AS DESCRIBED IN THE SPECIFIC PLAN.

PRELIMINARY GRADING PLAN SHEET 2 OF 13

DATE: _____ REVISION: _____

ENGINEER OF WORK
FUSCOE ENGINEERING INC.
6390 GREENWICH DRIVE, STE. 170
SAN DIEGO, CA 92122
(858)554-1500

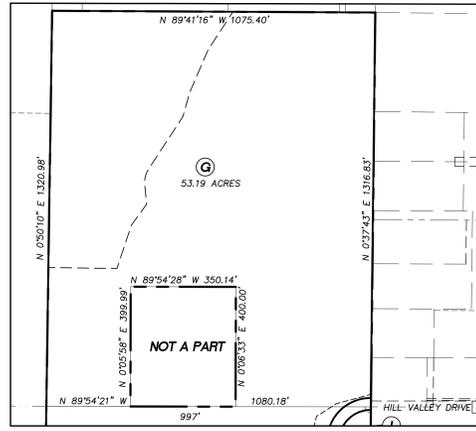
KENNETH T. KOZLIK RCE 71883 DATE: _____

FUSCOE ENGINEERING
6390 Greenwich Drive, Suite 170
San Diego, California 92122
Tel 858.554.1500 • Fax 858.297.0335
www.fuscoeng.com

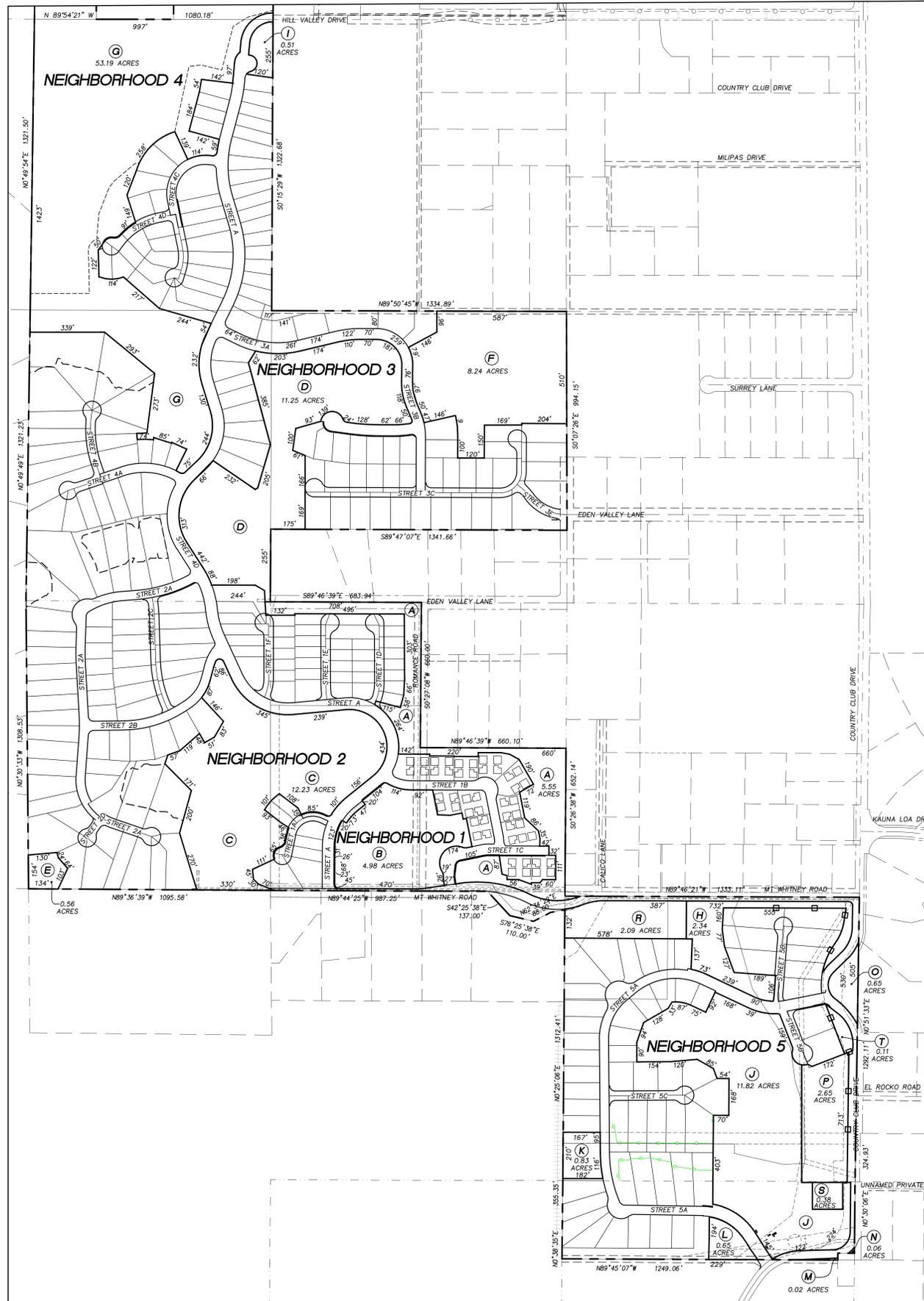
COUNTY OF SAN DIEGO TRACT TM 5575 RPL³

PRELIMINARY GRADING PLAN

VALIANO



MATCHLINE: SEE LEFT



NEIGHBORHOOD 1	
LOT #	AREA (A)
1	12,540
2	14,790
3	14,130
4	15,420
5	12,850
6	18,110
7	12,790
8	16,700
9	16,560
10	12,120
11	12,430
12	18,520
13	23,410
14	18,030
15	7,950
16	7,480
17	12,350
18	7,280
19	7,490
20	6,730
21	5,630
22	5,730
23	5,720
24	5,700
25	5,670
26	6,290
27	6,060
28	11,210
29	15,270
30	6,010
31	6,140
32	6,090
33	6,140
34	9,410
35	5,870
36	6,000
37	5,960
38	6,010
39	8,490
40	7,370
41	6,910
42	6,950
43	6,950
44	6,900
45	6,950
46	6,960
47	6,430
48	5,920
49	6,010
50	5,900
51	5,960
52	5,910
53	11,920
54	19,490
55	10,320
56	8,520
57	10,520
58	9,460
59	8,320

NEIGHBORHOOD 2	
LOT #	AREA (A)
60	17,670
61	13,520
62	15,360
63	14,940
64	12,850
65	12,780
66	12,120
67	12,820
68	21,820
69	41,990
70	44,330
71	25,880
72	14,420
73	24,950
74	20,010
75	17,190
76	21,640
77	20,740
78	32,600
79	16,490
80	16,720
81	20,930
82	16,090
83	19,510
84	16,180
85	16,330
86	16,320
87	16,090
88	16,150
89	17,910
90	16,000
91	21,950
92	32,190
93	32,920
94	33,880
95	29,920
96	24,900
97	31,800
98	10,870
99	8,720
100	8,990
101	8,840
102	8,620
103	8,810
104	9,240
105	16,620
106	13,480
107	13,650
108	14,340
109	15,320
110	16,370
111	17,670
112	24,150
113	16,740
114	18,220
115	17,790
116	16,000
117	20,150

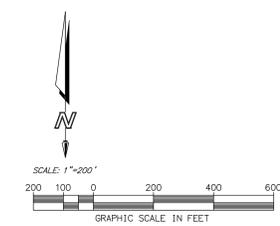
NEIGHBORHOOD 3	
LOT #	AREA (A)
118	15,320
119	16,980
120	15,250
121	16,280
122	15,090
123	13,500
124	10,620
125	10,640
126	10,040
127	9,670
128	9,550
129	9,870
130	9,680
131	9,680
132	9,680
133	9,840
134	15,380
135	19,460
136	15,170
137	15,170
138	15,510
139	15,510
140	15,510
141	15,510
142	15,510
143	15,510
144	15,790
145	30,830
146	24,170
147	17,910
148	17,740
149	17,690
150	17,780
151	12,670
152	18,540
153	11,820
154	11,810
155	11,810
156	12,590
157	12,030
158	13,900

NEIGHBORHOOD 4	
LOT #	AREA (A)
159	9,700
160	8,020
161	8,010
162	10,030
163	12,040
164	16,000
165	14,070
166	9,040
167	12,200
168	9,250
169	9,730
170	11,140
171	10,670
172	13,710
173	9,410
174	11,320
175	12,450
176	15,460
177	16,190
178	15,210
179	12,600
180	15,030
181	14,480
182	17,410
183	12,990
184	11,870
185	11,430
186	24,400
187	8,920
188	8,570
189	8,540
190	9,160
191	9,940
192	13,870
193	11,200
194	11,120
195	10,620
196	9,580
197	8,760
198	8,730
199	7,870
200	7,530
201	7,670
202	8,330
203	9,540
204	8,440
205	15,080
206	12,310
207	10,410
208	12,260
209	13,860
210	16,360
211	17,830
212	19,200
213	7,070
214	8,290
215	7,000
216	18,180
217	13,220
218	16,150
219	33,700
220	45,440
221	21,470
222	40,380
223	22,100
224	19,320
225	20,140
226	21,800
227	30,290
228	21,480
229	12,690
230	14,920
231	12,270
232	13,870
233	15,960
234	23,710

NEIGHBORHOOD 5	
LOT #	AREA (A)
235	10,770
236	12,390
237	12,480
238	16,030
239	26,050
240	26,930
241	13,870
242	14,510
243	12,720
244	12,050
245	12,170
246	12,260
247	12,340
248	12,430
249	12,570
250	15,000
251	15,000
252	15,010
253	15,010
254	15,010
255	15,000
256	15,000
257	15,010
258	21,950
259	21,800
260	21,800
261	21,800
262	22,340
263	21,780
264	22,000
265	22,220
266	22,300
267	22,290
268	22,050
269	17,230
270	17,040
271	17,020
272	17,020
273	9,570
274	10,750
275	14,270
276	12,590
277	11,830
278	9,730
279	8,350
280	25,290
281	26,790
282	24,790
283	25,170
284	20,300
285	15,080
286	15,080
287	16,800
288	22,920
289	22,140

LOT	AREA (Ac)	BIO-SPACE AREA (Ac)	PURPOSE	MAINTAINED BY
A	5.55	0.20	DRAINAGE BASIN & BIOLOGICAL OPEN SPACE	HOA
B	2.95	1.40	RECREATION AREA & BIOLOGICAL OPEN SPACE	HOA
C	12.23	1.63	BIOLOGICAL OPEN SPACE	HOA
D	11.25	4.14	BIOLOGICAL OPEN SPACE & DRAINAGE BASIN	HOA
E	0.56	---	DRAINAGE BASIN	HOA
F	8.24	3.43	BIOLOGICAL OPEN SPACE & DRAINAGE BASIN	HOA
G	53.19	11.43	AGRICULTURE & BIOLOGICAL OPEN SPACE	HOA
H	2.14	---	RECREATION AREA & DRAINAGE BASIN	HOA
I	0.51	---	DRAINAGE BASIN	HOA
J	11.83	3.02	BIOLOGICAL OPEN SPACE & DRAINAGE BASIN	HOA
K	0.65	---	SAN DIEGO GAS & ELECTRIC TREATMENT	HOA
L	0.65	---	LANDSCAPE	HOA
M	0.06	---	UNDEVELOPED	HOA
N	0.06	---	UNDEVELOPED	HOA
O	0.65	---	UNDEVELOPED	HOA
P	2.65	---	PUBLIC COMMUNITY PARK	COUNTY
Q	0.65	---	UNDEVELOPED	HOA
R	0.09	---	UNDEVELOPED	HOA
S	0.39	---	WATER TREATMENT	COUNTY
T	0.11	---	LANDSCAPE	HOA

San Diego Gas & Electric Company
 Reviewed By: _____ Date: _____
 Jeff Sykes
 Lead Land Manager
 Valid for 18 months from date of signature



ENGINEER OF WORK
 FUSCOE ENGINEERING INC.
 6390 GREENWICH DRIVE, STE. 170
 SAN DIEGO, CA 92122
 (858)554-1500



PRELIMINARY GRADING PLAN
 SHEET 3 OF 13

REVISIONS

NO.	DATE	REVISION

FUSCOE ENGINEERING
 6390 Greenwich Drive, Suite 170
 San Diego, California 92122
 tel 858.554.1500 • fax 858.597.0335
 www.fuscoe.com

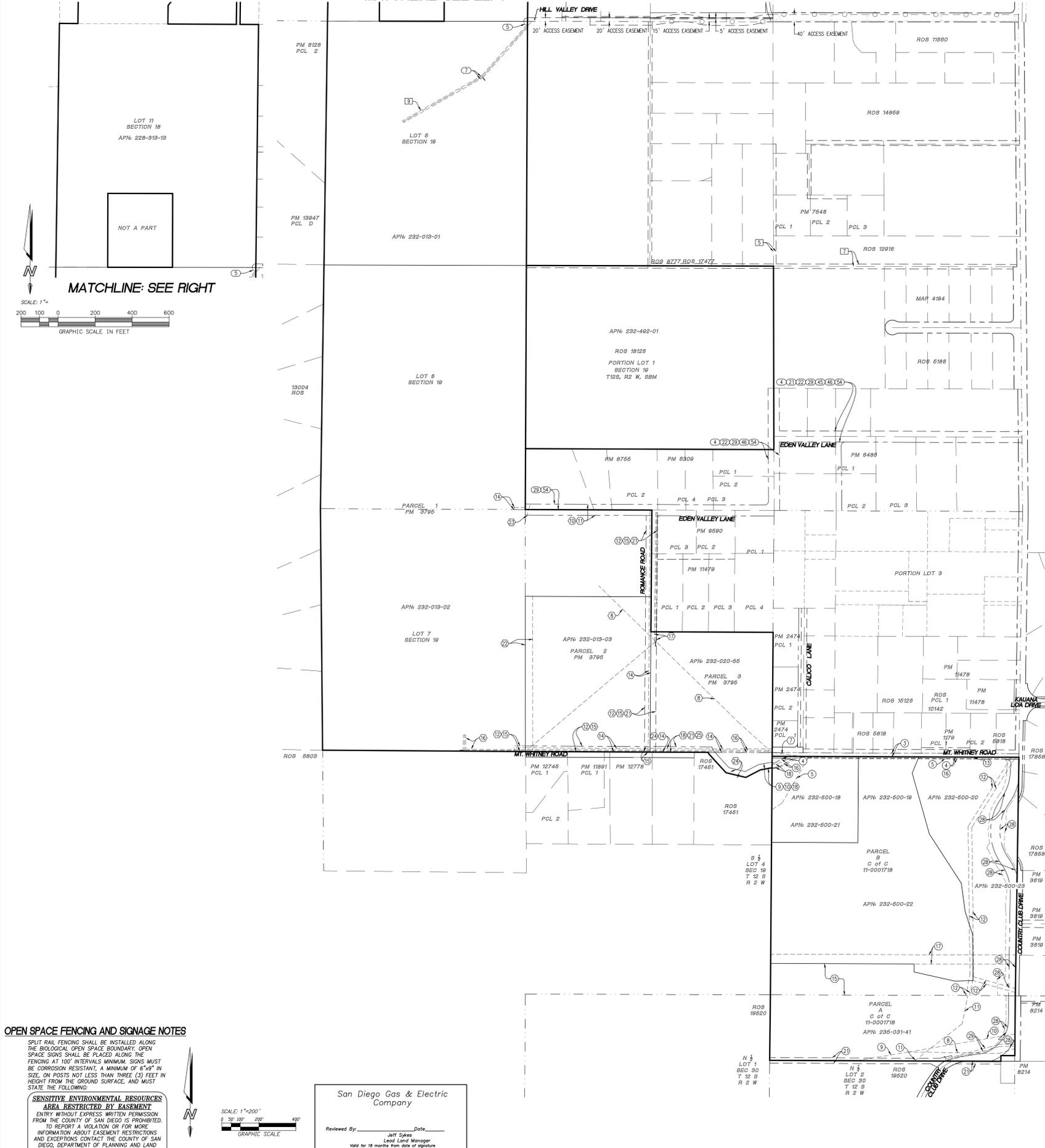
KENNETH T. KOZLIK RCE 71883 DATE _____

COUNTY OF SAN DIEGO TRACT TM 5575 RPL³

PRELIMINARY GRADING PLAN

VALIANO

MATCHLINE: SEE LEFT



EASEMENT NOTES:

EXCEPTIONS

- ITEMS 1 AND 2 RELATE TO TAXES AND ASSESSMENTS
1. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO CAROL A. BOOK, A WIDOW. PURPOSE: RIGHT OF WAY FOR TRAVEL. RECORDED: JANUARY 18, 1987 IN BOOK 260, PAGE 3 OF DEEDS. AFFECTS: THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD. SAID EASEMENT HAS BEEN CONVEYED AND/OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. SUBSEVER'S NOTE: THIS DOCUMENT RESERVES A 20 FOOT RIGHT-OF-WAY ALONG AN EXISTING ROAD, BUT DOES NOT PROVIDE A LOCATION FOR THE ROAD THAT CAN BE PLOTTED FROM RECORD. THIS DOCUMENT ALSO GRANTS A RIGHT-OF-WAY FOR TRAVEL TO THE 30 FEET IMMEDIATELY NORTH OF THE SUBJECT PROPERTY AND IT WOULD APPEAR ALLOWING THE PROPERTY TO ACCESS AT LEAST A PORTION OF MT. WHITNEY ROAD. THE MT. WHITNEY ACCESS RIGHTS ARE THE PORTION PLOTTED ON THIS SURVEY.
 2. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO L. M. CARASHAN. PURPOSE: DRIVE. RECORDED: SEPTEMBER 5, 1919 IN BOOK 794, PAGE 191 OF DEEDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 3. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 4. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 5. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 6. THE RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE HEREIN DESCRIBED LAND LYING WITHIN COUNTRY CLUB DRIVE AND MISCELLANEOUS SURVEY 459.
 7. INTENTIONALLY OMITTED.
 8. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 9. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 10. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 11. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO RINCON DEL DIABLO MUNICIPAL WATER DISTRICT. PURPOSE: PIPELINE. RECORDED: OCTOBER 24, 1955 IN BOOK 5841, PAGE 499 AND 504, BOTH OF OFFICIAL RECORDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 12. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO RINCON DEL DIABLO MUNICIPAL WATER DISTRICT. PURPOSE: PIPELINE. RECORDED: OCTOBER 24, 1955 IN BOOK 5842, PAGE 16 OF OFFICIAL RECORDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 13. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 14. INTENTIONALLY OMITTED.
 15. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 16. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO LLOYD C. THIEL AND ANA M. THIEL. PURPOSE: ROAD AND PUBLIC UTILITIES. RECORDED: MAY 12, 1972 AS INSTRUMENT NO. 120034 OF OFFICIAL RECORDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 17. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 18. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO RINCON DEL DIABLO MUNICIPAL WATER DISTRICT. PURPOSE: PIPELINE. RECORDED: MARCH 6, 1985 AS INSTRUMENT NO. 85-74313 OF OFFICIAL RECORDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 19. ANY RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY INFORMATION PROVIDED BY RINCON DEL DIABLO MUNICIPAL WATER DISTRICT.
 20. INTENTIONALLY OMITTED.
 21. AN AGREEMENT, AND THE TERMS AND CONDITIONS AS CONTAINED THEREIN DATED: FEBRUARY 27, 2009. GRANTED BY AND BETWEEN NEW D RANCH, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND RANCHO PACIFIC GROUP LLC, A DELAWARE LIMITED LIABILITY COMPANY. RECORDED: FEBRUARY 27, 2009 AS INSTRUMENT NO. 2009-0100273 OF OFFICIAL RECORDS REGARDING: ACCESS EASEMENT AGREEMENT. REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
 22. INTENTIONALLY OMITTED.
 23. INTENTIONALLY OMITTED.
 24. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
 25. A DOCUMENT ENTITLED "ROADWAY IMPROVEMENT EASEMENT AGREEMENT", DATED, MARCH 20, 2012, EXECUTED BY NEW D RANCH, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AND DEERFIELD LAND INVESTMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND STANBARD PACIFIC CORP., A CALIFORNIA CORPORATION, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED SEPTEMBER 10, 2012, AS INSTRUMENT NO. 2012-0542161 OF OFFICIAL RECORDS.
 26. ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING FACTS SHOWN ON A SURVEY PLAT ENTITLED "VALIANO LAND TITLE SURVEY" DATED DECEMBER 4, 2012 PREPARED BY FUSCOE ENGINEERING:
 - A) THE FACT THAT A FENCE MEASURES ACROSS THE WESTERLY BOUNDARY OF THE LAND.
 - B) THE FACT THAT THE FENCE ALONG THE SOUTHERLY BOUNDARY IS LOCATED NORTH OF THE SOUTH PROPERTY LINE.
 - C) ENCROACHMENT OF A DRIVEWAY ONTO LAND ADJACENT ON THE SOUTH.
 - D) ENCROACHMENT OF A RETAINING WALL, FENCE AND CONCRETE DRIVEWAY ONTO THE SOUTHEASTERLY CORNER OF THE LAND.
 - E) ENCROACHMENT OF A FENCED YARD ONTO THE NORTHWESTERLY CORNER OF THE LAND.
 27. INTENTIONALLY OMITTED.
 28. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO COUNTY OF SAN DIEGO. PURPOSE: PUBLIC HIGHWAY, EXCAVATION, EMBANKMENT SLOPES AND DRAINAGE STRUCTURES RECORDED: NOVEMBER 2, 2012, AS INSTRUMENT NO. 2012-0084657 OF OFFICIAL RECORDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT. SUBSEVER'S NOTE: RECORD OF SURVEY 19520 SHOWS THE LOCATION OF A 40 FOOT RIGHT-OF-WAY BASED ON EXISTING PUBLICLY MAINTAINED ROAD IMPROVEMENTS. NOT SHOWN ON THIS SURVEY FOR CLARITY.
 29. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY. PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
 30. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
- ④ INDICATES PLOTTED EASEMENTS
 ⑤ INDICATES LOCATION OF EXCEPTION FROM PREVIOUS SURVEY, SEE SHEETS 2 AND 3 FOR LOCATION.

EASEMENT NOTES:

- ITEM NO. THE FOLLOWING EASEMENT DATA WAS OBTAINED FROM CHICAGO TITLE COMPANY PRELIMINARY TITLE REPORT ORDER NO. 83002389-0456, DATED JANUARY 19, 2012, REVISED.
5. EASEMENT TO THE COUNTY OF SAN DIEGO FOR COUNTY ROAD PURPOSES RECORDED IN BOOK 14, PAGE 299 OF MISCELLANEOUS RECORDS HAS NO SPECIFIC LOCATION SET FORTH AND IS NOT PLOTTED HEREON.
 7. LINE EASEMENT (NO WIDTH GIVEN) FOR PUBLIC UTILITIES, INGRESS AND EGRESS TO SAN DIEGO GAS AND ELECTRIC COMPANY PER DOCUMENT RECORDED JULY 29, 1946 IN BOOK 2187, PAGE 416 OF OFFICIAL RECORDS.
 8. LINE EASEMENT (NO WIDTH GIVEN) FOR PUBLIC UTILITIES, INGRESS AND EGRESS TO SAN DIEGO GAS AND ELECTRIC COMPANY PER DOCUMENT RECORDED JULY 29, 1946 IN BOOK 2187, PAGE 231 OF OFFICIAL RECORDS.
 9. EASEMENT FOR ROAD AND PUBLIC UTILITIES, INGRESS AND EGRESS AS GRANTED /RESERVED BY VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED AUGUST 27, 1956 IN BOOK 6235, PAGE 106 OF OFFICIAL RECORDS.
 10. EASEMENT FOR ROAD AND PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED FEBRUARY 26, 1959 IN BOOK 7518 PAGE 94 OF OFFICIAL RECORDS.
 11. ROAD AND PUBLIC UTILITIES AND INGRESS AND EGRESS AS GRANTED/RESERVED BY VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED MAY 7, 1959 IN BOOK 7648, PAGE 538 OF OFFICIAL RECORDS DOES NOT INCLUDE PLAT AND LEGAL REFERENCED THEREIN AND CANNOT BE PLOTTED.
 12. EASEMENT FOR ROAD, SEWER, WATER, GAS, POWER AND TELEPHONE LINES AS GRANTED AND RESERVED IN VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED AUGUST 2, 1963 AS INSTRUMENT NO. 63-138778 OF OFFICIAL RECORDS.
 14. EASEMENT FOR PIPELINE TO RINCON DEL DIABLO MUNICIPAL WATER DISTRICT PER DOCUMENT RECORDED OCTOBER 21, 1983 AS INSTRUMENT NO. 63-188146 OF OFFICIAL RECORDS.
 15. EASEMENT OF RIGHT OF WAY FOR ROAD, SEWER, WATER, GAS, POWER, AND TELEPHONE LINES GRANTED TO RANCHO ESTATES PER DOCUMENT RECORDED MAY 27, 1965 AS INSTRUMENT NO. 65-94927 OF OFFICIAL RECORDS.
 16. EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS TO SAN DIEGO GAS AND ELECTRIC COMPANY PER DOCUMENT RECORDED SEPTEMBER 25, 1972 AS INSTRUMENT NO. 75-25442 OF OFFICIAL RECORDS.
 17. EASEMENT FOR ROAD AND PUBLIC UTILITIES, INGRESS AND EGRESS TO SAN DIEGO GAS & ELECTRIC COMPANY RECORDED MARCH 14, 1975 AS INSTRUMENT NO. 75-058164 OF OFFICIAL RECORDS.
 18. IRREVOCABLE OFFER OF DEDICATION FOR PUBLIC HIGHWAY PER DOCUMENT RECORDED APRIL 21, 1975 AS INSTRUMENT NO. 75-232238 OF OFFICIAL RECORDS.
 21. EASEMENT FOR ROAD AND PUBLIC UTILITIES TO AS GRANTED/RESERVED BY VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED FEBRUARY 7, 1980 AS INSTRUMENT NO. 80-043831 OF OFFICIAL RECORDS.
 22. EASEMENT FOR UTILITY, WATER SUPPLY, INGRESS AND EGRESS RECORDED OCTOBER 14, 1977 AS INSTRUMENT NO. 77-42357 OF OFFICIAL RECORDS.
 23. EASEMENT FOR PUBLIC UTILITIES, INGRESS, AND EGRESS TO SAN DIEGO GAS AND ELECTRIC COMPANY PER DOCUMENT RECORDED JUNE 27, 1978 AS INSTRUMENT NO. 78-25726 OF OFFICIAL RECORDS.
 24. EASEMENT FOR ROAD WATER PIPELINE TO RINCON DEL DIABLO MUNICIPAL WATER DISTRICT PER DOCUMENT RECORDED ON MAY 16, 1985 AS INSTRUMENT NO. 85-172518 OF OFFICIAL RECORDS.
 25. PROPOSED PRIVATE ROAD EASEMENT PER PM 3795
 26. EASEMENT FOR ROAD WATER DITCHES OR CANALS RESERVED BY THE UNITED STATES OF AMERICA PER DOCUMENT RECORDED ON APRIL 20, 1995 IN BOOK 14, PAGE 304 OF PATENTS HAS NO SPECIFIC LOCATION SET FORTH AND IS NOT PLOTTED HEREON.

EASEMENT NOTES:

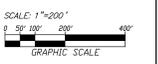
- EASEMENT LEGEND
 BASED ON DATA FROM TITLE REPORT BY CHICAGO TITLE COMPANY, ORDER NO. 83002428-0450, DATED FEBRUARY 28, 2008.
- | ITEM NO. | EASEMENT |
|----------|---|
| 5 | EASEMENT FOR INGRESS AND EGRESS FOR ROAD RECORDED FEBRUARY 17, 1953 IN BOOK 4751, PAGE 579 OF OFFICIAL RECORDS. |
| 7 | EASEMENT FOR ROAD AND UTILITY PURPOSES RECORDED NOVEMBER 1, 1955 IN BOOK 5852, PAGE 46 OF OFFICIAL RECORDS. |
- EASEMENT LEGEND
 BASED ON DATA FROM TITLE REPORT BY LANDAMERICA COMMONWEALTH ORDER #663005-54, DATED DECEMBER 15, 2004
- | ITEM NO. | EASEMENT |
|-----------|--|
| 4, 21, 25 | ROAD AND PUBLIC UTILITIES AND INGRESS AND EGRESS AS GRANTED/RESERVED BY VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED MAY 7, 1959 IN BOOK 7648, PAGE 538 OF OFFICIAL RECORDS. |
| 22, 26 | EASEMENT FOR ROAD, SEWER, WATER, GAS, POWER AND TELEPHONE LINES AS GRANTED AND RESERVED IN VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED AUGUST 22, 1963 AS FILE 63-138778 OF OFFICIAL RECORDS. |
| 28, 29 | EASEMENT FOR ROAD AND PUBLIC UTILITIES, INGRESS AND EGRESS AS GRANTED /RESERVED BY VARIOUS INSTRUMENTS OF RECORD, ONE OF WHICH WAS RECORDED SEPTEMBER 8, 1977 AS FILE 77-367875 OF OFFICIAL RECORDS. |
- EASEMENT LEGEND
 BASED ON DATA FROM TITLE REPORT BY LANDAMERICA COMMONWEALTH ORDER NO. 460005-54, DATED DECEMBER 15, 2004
- | ITEM NO. | EASEMENT |
|----------|---|
| 5 | EASEMENT FOR PIPELINE TO RINCON DEL DIABLO MUNICIPAL WATER DISTRICT PER DOCUMENT RECORDED SEPTEMBER 25, 1959 IN BOOK 7897 PAGE 239 OF OFFICIAL RECORDS. |
| 7 | EASEMENTS FOR INGRESS AND EGRESS PER DOCUMENT RECORDED OCTOBER 7, 1955 IN BOOK 5822, PAGE 150 OF OFFICIAL RECORDS. |
| 8 | EASEMENT TO SAN DIEGO GAS AND ELECTRIC FOR POWER POLES RECORDED DECEMBER 12, 1968 AS 68-218141 OF OFFICIAL RECORDS |

OPEN SPACE FENCING AND SIGNAGE NOTES

SPLIT RAIL FENCING SHALL BE INSTALLED ALONG THE BIOLOGICAL OPEN SPACE BOUNDARY. OPEN SPACE SIGNS SHALL BE PLACED ALONG THE FENCING AT 100' INTERVALS. MINIMUM SIGNS MUST BE CORROSION RESISTANT, A MINIMUM OF 6"x9" IN SIZE, ON POSTS NOT LESS THAN THREE (3) FEET IN HEIGHT FROM THE GROUND SURFACE, AND MUST STATE THE FOLLOWING:

SENSITIVE ENVIRONMENTAL RESOURCES AREA RESTRICTED BY EASEMENT

ENTRY WITHOUT EXPRESS WRITTEN PERMISSION FROM THE COUNTY OF SAN DIEGO IS PROHIBITED. TO REPORT A VIOLATION OR FOR MORE INFORMATION ABOUT EASEMENT RESTRICTIONS AND EXCEPTIONS CONTACT THE COUNTY OF SAN DIEGO, DEPARTMENT OF PLANNING AND LAND USE. REFERENCE: PD02013-SP-13-001



San Diego Gas & Electric Company

Reviewed By: _____ Date: _____
 Jeff Sykes
 Lead Land Manager
 Valid for 18 months from date of signature

DISPOSITION OF EXISTING EASEMENTS

ALL EXISTING EASEMENTS SHALL BE OBTAINED, VACATED OR RECONVEYED TO MORE PRACTICALLY CONFORM TO THE FINAL PROJECT DESIGN AS NECESSARY.

ENGINEER OF WORK

FUSCOE ENGINEERING INC.
 6390 GREENWICH DRIVE, STE. 170
 SAN DIEGO, CA 92122
 (619)554-1500

KENNETH T. KOZLIK RCE 71883 DATE: _____



PRELIMINARY GRADING PLAN

SHEET 4 OF 13

NO.	DATE	REVISION

6390 Greenwich Drive, Suite 170
 San Diego, California 92122
 Tel: 619.554.1500 • Fax: 619.554.1500
 www.fuscoe.com

COUNTY OF SAN DIEGO TRACT TM 5575 RPL³
 PRELIMINARY GRADING PLAN
 VALIANO

SEE SHEET 7

EDEN VALLEY LANE

ROMANCE ROAD

CALICO LANE

NEIGHBORHOOD 1

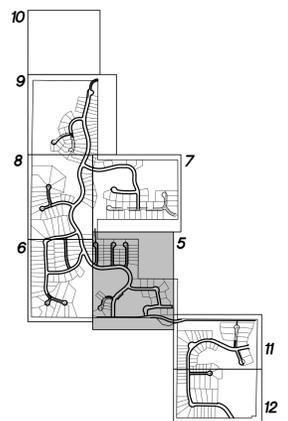
RECREATION AREA
 PAD 720.0

NEIGHBORHOOD 1

OPEN SPACE FENCING AND SIGNAGE NOTES

SPLIT RAIL FENCING SHALL BE INSTALLED ALONG THE BIOLOGICAL OPEN SPACE BOUNDARY. OPEN SPACE SIGNS SHALL BE PLACED ALONG THE FENCING AT 100' INTERVALS MINIMUM. SIGNS MUST BE CORROSION RESISTANT, A MINIMUM OF 6" x 9" IN SIZE, ON POSTS NOT LESS THAN THREE (3) FEET IN HEIGHT FROM THE GROUND SURFACE, AND MUST STATE THE FOLLOWING:

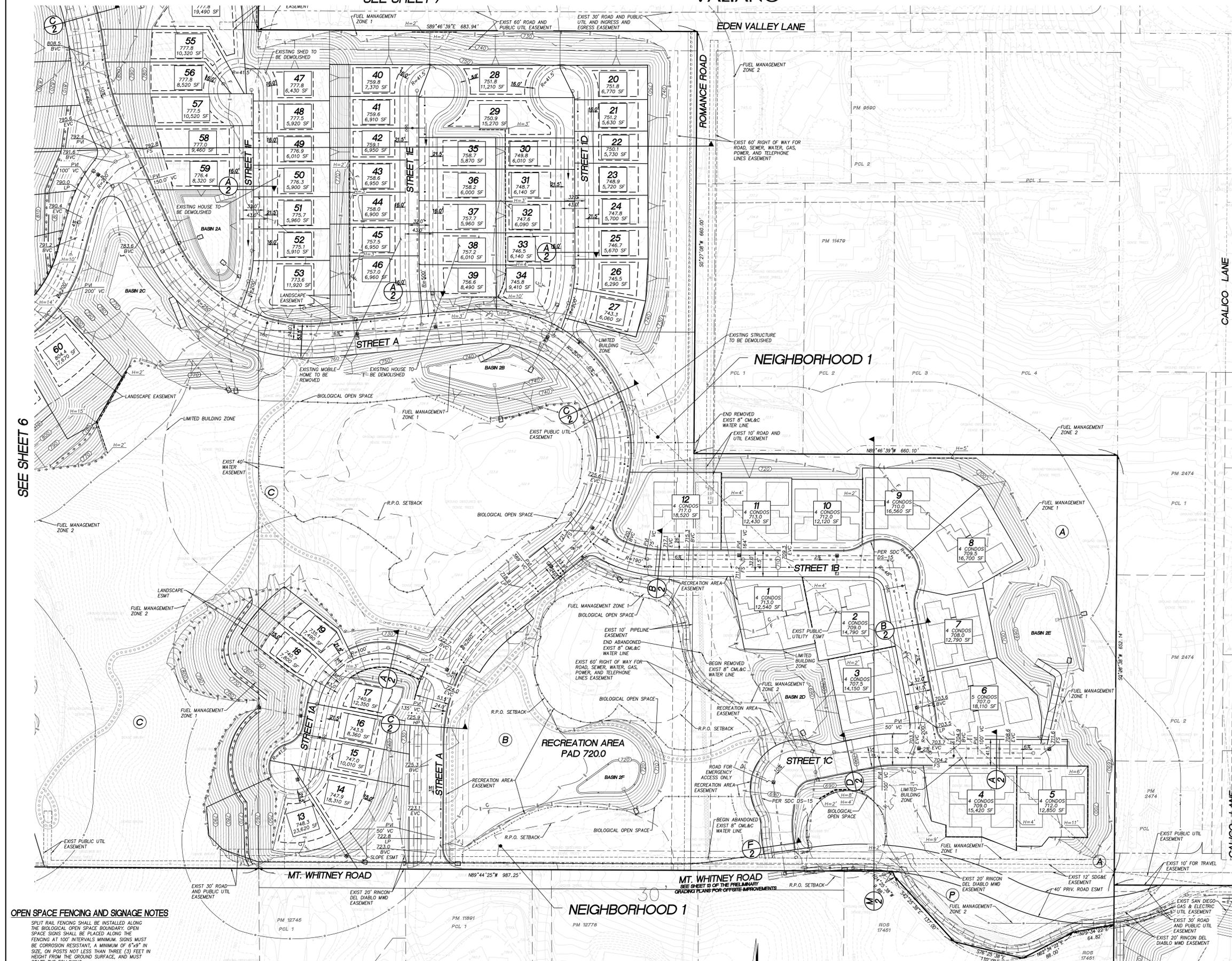
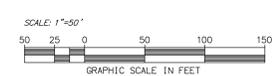
**SENSITIVE ENVIRONMENTAL RESOURCES
 AREA RESTRICTED BY EASEMENT**
 ENTRY WITHOUT EXPRESS WRITTEN PERMISSION FROM THE COUNTY OF SAN DIEGO IS PROHIBITED. TO REPORT A VIOLATION OR FOR MORE INFORMATION ABOUT EASEMENT RESTRICTIONS AND EXCEPTIONS CONTACT THE COUNTY OF SAN DIEGO, DEPARTMENT OF PLANNING AND LAND USE. REFERENCE: FUSCO'S-SP-13-001



INDEX MAP
 NO SCALE
 PRELIMINARY GRADING PLAN
 SHEET 5 OF 13

ENGINEER OF WORK

FUSCO ENGINEERING INC.
 6390 GREENWICH DRIVE, STE. 170
 SAN DIEGO, CA 92122
 (858)554-1500



SEE SHEET 6

SEE SHEET 11

KENNETH T. KOZLUK RCE 71883 DATE

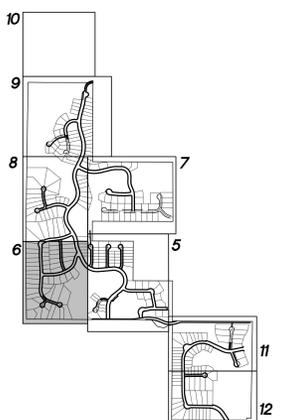
COUNTY OF SAN DIEGO TRACT TM 5575 RPL³
 PRELIMINARY GRADING PLAN
 VALIANO

SEE SHEET 8



SEE SHEET 5

NEIGHBORHOOD 2



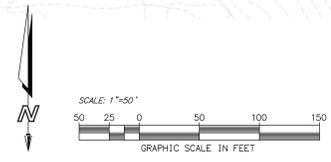
INDEX MAP
 NO SCALE
 PRELIMINARY GRADING PLAN
 SHEET 6 OF 13

OPEN SPACE FENCING AND SIGNAGE NOTES
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ENGINEER OF WORK
 FUSCOE ENGINEERING INC.
 6390 GREENWICH DRIVE, STE. 170
 SAN DIEGO, CA 92122
 (619)554-1500



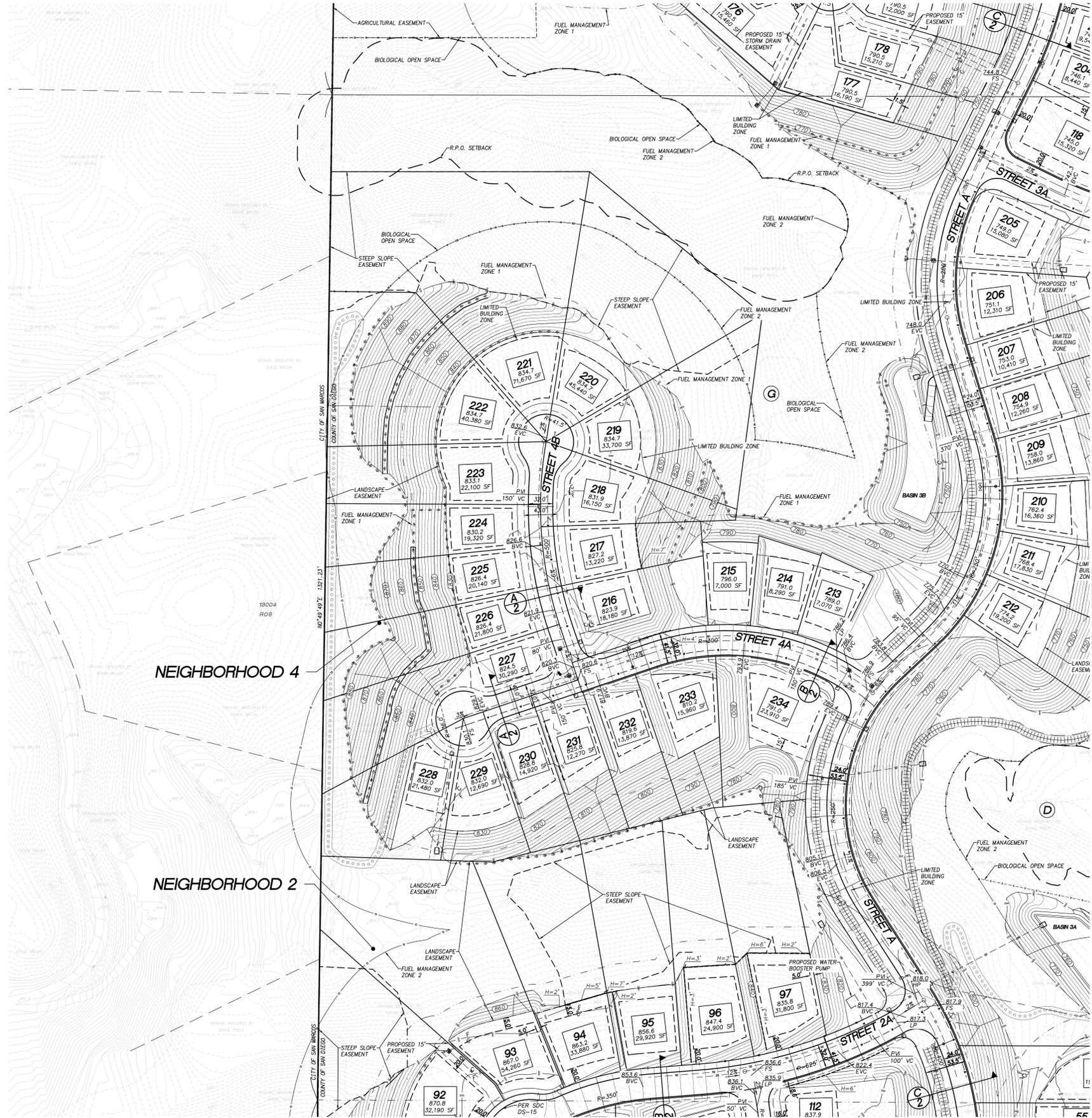
FUSCOE ENGINEERING
 6390 Greenwich Drive, Suite 170
 San Diego, California 92122
 tel 619.554.1500 • fax 619.597.0335
 www.fuscoe.com



KENNETH T. KOZLUK RCE 71883 DATE

COUNTY OF SAN DIEGO TRACT TM 5575 RPL³
 PRELIMINARY GRADING PLAN
 VALIANO

SEE SHEET 9



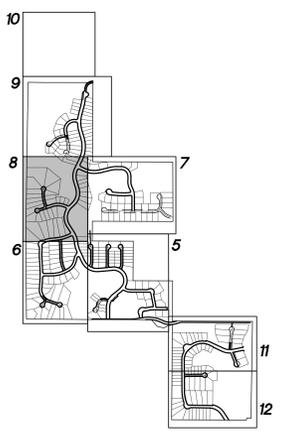
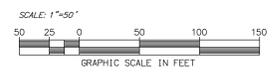
SEE SHEET 7

SEE SHEET 6

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PRELIMINARY GRADING PLAN
 SHEET 8 OF 13

NO.	DATE	REVISION

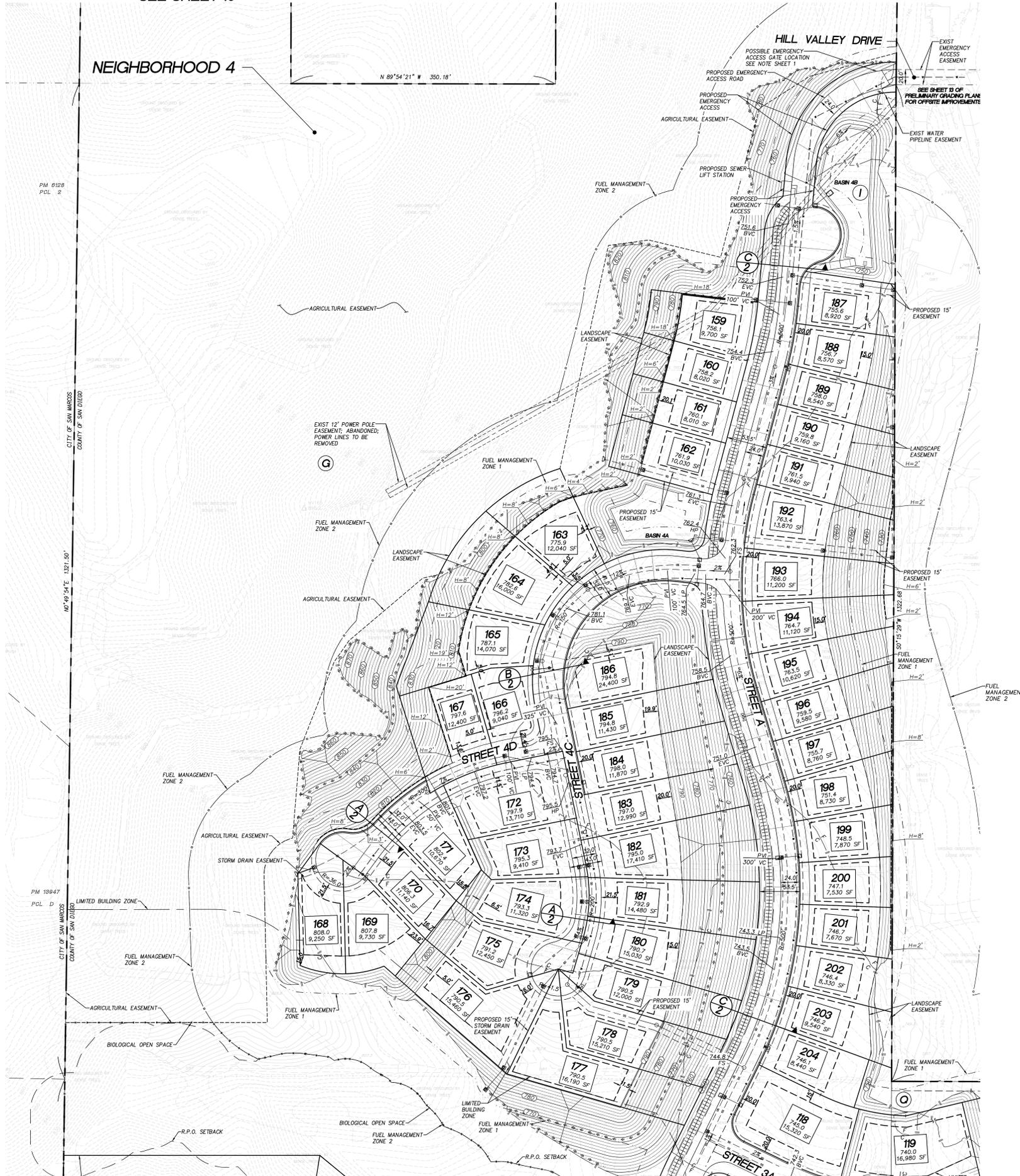
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COUNTY OF SAN DIEGO TRACT TM 5575 RPL³ PRELIMINARY GRADING PLAN VALIANO

SEE SHEET 10



NEIGHBORHOOD 4

PM 0128
PCL 2

CITY OF SAN MARCOS
COUNTY OF SAN DIEGO

107°49'54"E 1321.50'

PM 19847
PCL D

CITY OF SAN MARCOS
COUNTY OF SAN DIEGO

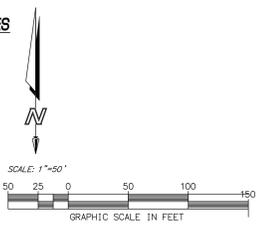
LIMITED BUILDING ZONE

FUEL MANAGEMENT ZONE 2

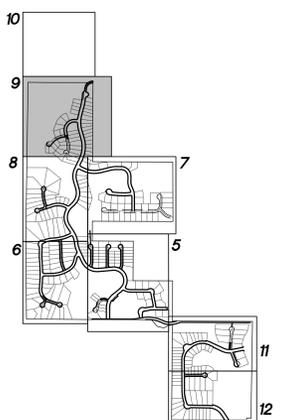
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SEE SHEET 8



INDEX MAP
NO SCALE

PRELIMINARY GRADING PLAN

SHEET 9 OF 13

NO.	DATE	REVISION

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(619)554-1500

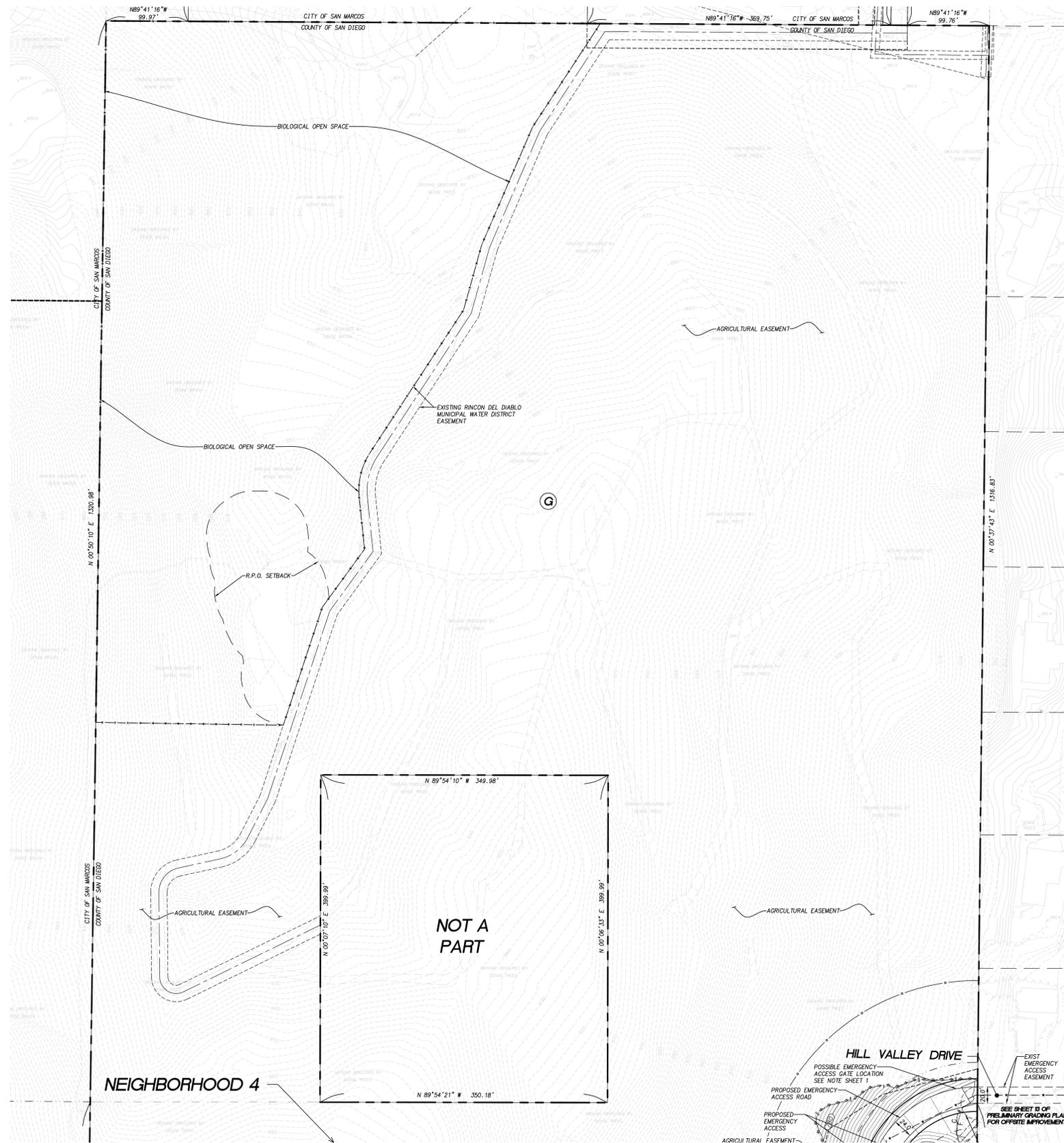


KENNETH T. KOZLUK REC 71883 DATE

COUNTY OF SAN DIEGO TRACT TM 5575 RPL³

PRELIMINARY GRADING PLAN

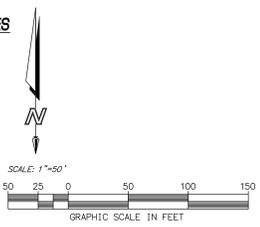
VALIANO



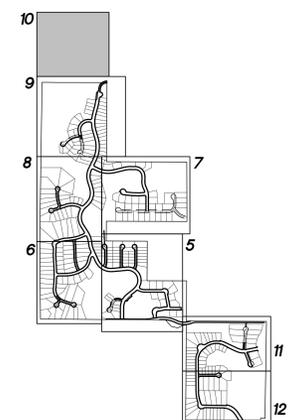
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SEE SHEET 9



INDEX MAP
NO SCALE

PRELIMINARY GRADING PLAN

SHEET 10 OF 13

NO.	DATE	REVISION

ENGINEER OF WORK

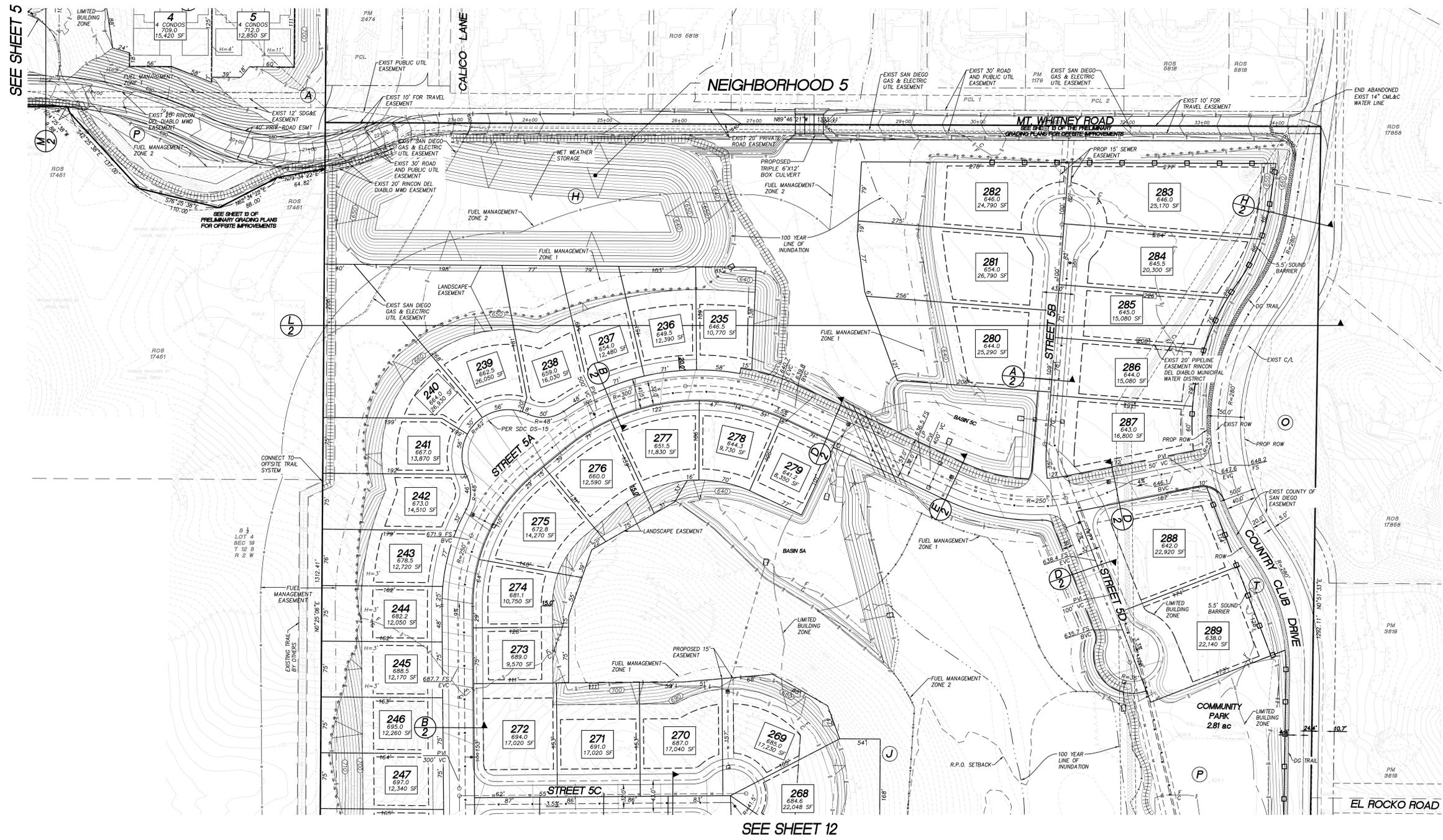
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 SAN DIEGO, CA 92122
 (619)554-1500

KENNETH T. KOZLIK RCE 71883 DATE



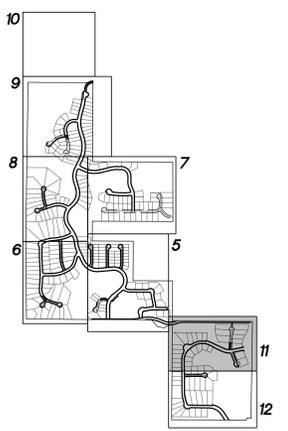
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COUNTY OF SAN DIEGO TRACT TM 5575 RPL³
 PRELIMINARY GRADING PLAN
 VALIANO

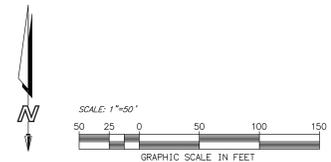


SEE SHEET 5

SEE SHEET 12



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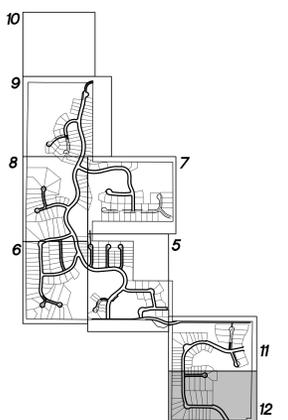
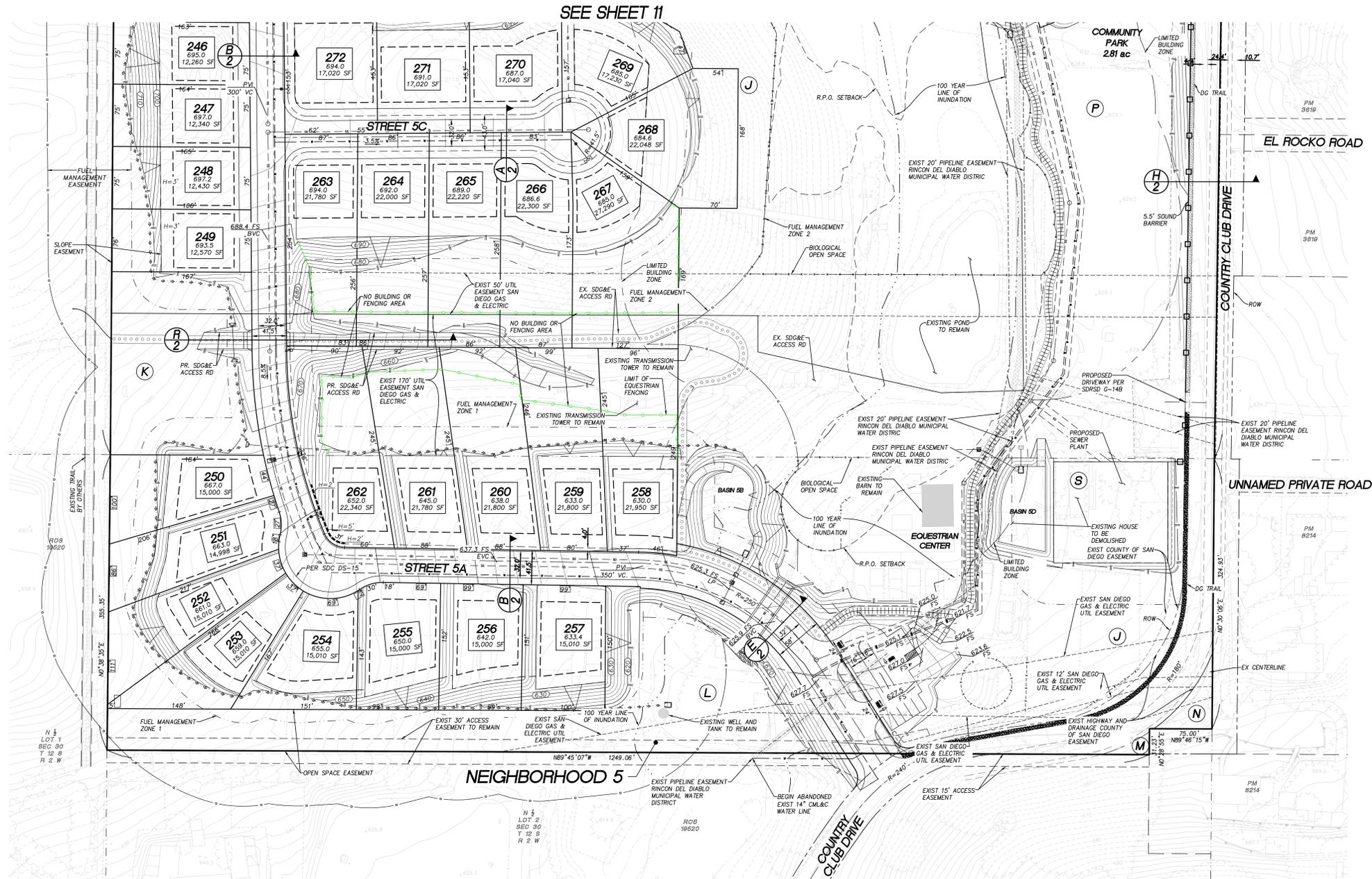
INDEX MAP
 SCALE: 1"=1000'

PRELIMINARY GRADING PLAN
SHEET 11 OF 13

NO.	DATE	REVISION

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COUNTY OF SAN DIEGO TRACT TM 5575 RPL³
 PRELIMINARY GRADING PLAN
 VALIANO



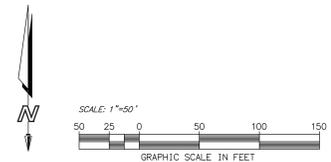
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San Diego Gas & Electric Company

Reviewed By: _____ Date: _____
 Jeff Sykes
 Lead Land Manager
 valid for 18 months from date of signature



ENGINEER OF WORK

FUSCOE ENGINEERING INC.
 6390 GREENWICH DRIVE, STE. 170
 SAN DIEGO, CA 92122
 (619)554-1500

KENNETH T. KOZLIK RCE 71883 DATE



FUSCOE ENGINEERING

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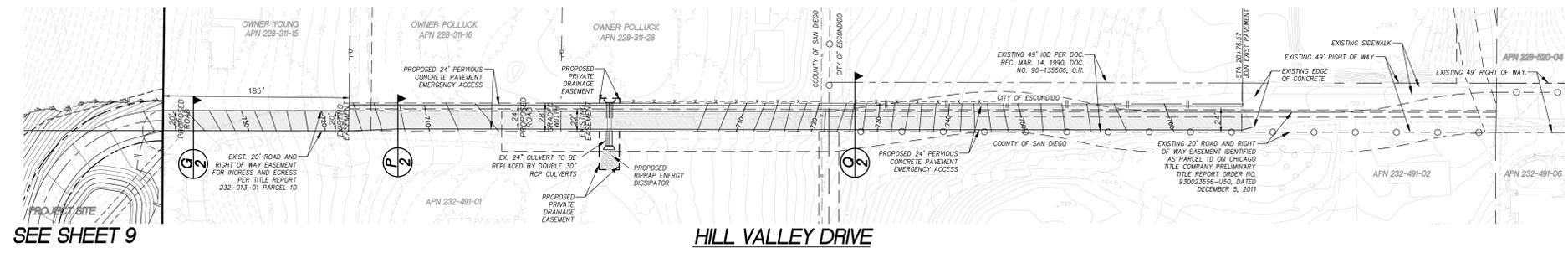
PRELIMINARY GRADING PLAN
 SHEET 12 OF 13

COUNTY OF SAN DIEGO TRACT TM 5575 RPL³

PRELIMINARY GRADING PLAN

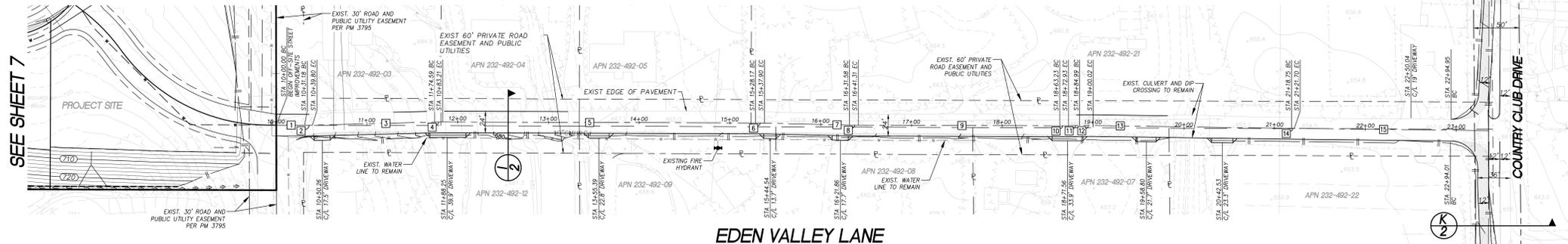
VALIANO

LEGEND
 PROPOSED PAVEMENT WIDENING 
 PROPOSED STRIPING 



SEE SHEET 9

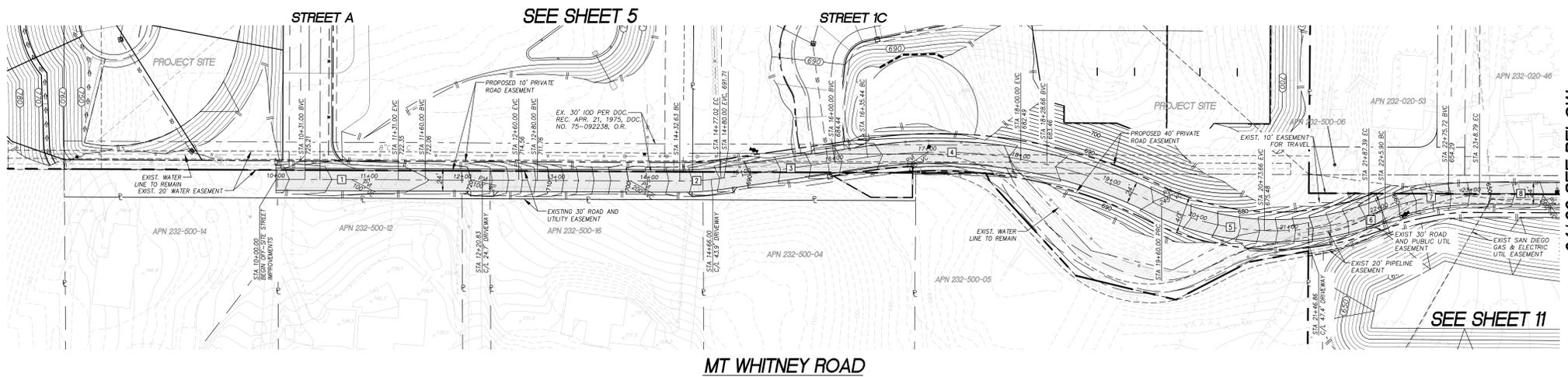
HILL VALLEY DRIVE



SEE SHEET 7

EDEN VALLEY LANE

EDEN VALLEY CENTERLINE DATA				
NO.	DELTA/BRG	RADIUS	LENGTH	REMARKS
1	N89°48'27"W	—	31.18'	C/L
2	Δ= 1°38'45"	300.00'	8.62'	C/L
3	N88°32'49"E	—	134.79'	C/L
4	Δ= 1°38'45"	300.00'	8.62'	C/L
5	N89°48'27"W	—	344.96'	C/L
6	Δ= 1°6'56"	500.00'	9.73'	C/L
7	N88°41'31"W	—	93.68'	C/L
8	Δ= 1°6'56"	500.00'	9.73'	C/L
9	N89°48'27"W	—	221.92'	C/L
10	Δ= 1°6'42"	500.00'	9.70'	C/L
11	N89°04'52"W	—	12.06'	C/L
12	Δ= 1°43'18"	500.00'	15.02'	C/L
13	N89°11'51"W	—	218.74'	C/L
14	Δ= 0°10'8"	1000.00'	2.95'	C/L
15	N89°21'59"W	—	214.01'	C/L



SEE SHEET 5

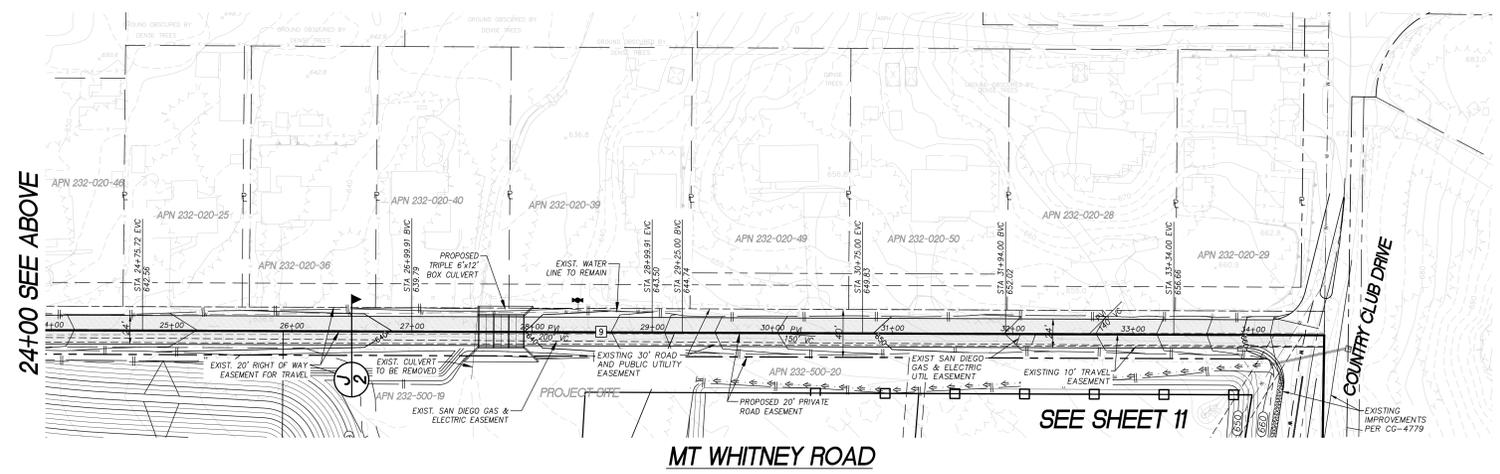
STREET 1C

MT WHITNEY ROAD

24+00 SEE BELOW

MY WHITNEY CENTERLINE DATA				
NO.	DELTA/BRG	RADIUS	LENGTH	REMARKS
1	N89°44'25"W	—	432.63'	C/L
2	Δ= 08°29'44"	300.00'	44.40'	C/L
3	N81°46'51"E	—	158.41'	C/L
4	Δ= 35°37'0"	522.09'	324.54'	C/L
5	Δ= 43°25'53"	300.00'	277.41'	C/L
6	N70°34'35"E	—	18.51'	C/L
7	Δ= 19°39'05"	300.00'	102.89'	C/L
8	N89°46'21"W	—	91.21'	C/L
9	N89°46'21"W	—	1032.94'	C/L

SEE SHEET 11

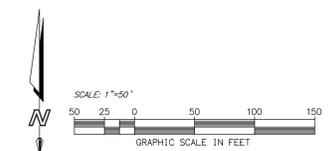


24+00 SEE ABOVE

MT WHITNEY ROAD

SEE SHEET 11

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OFFSITE IMPROVEMENTS
 PRELIMINARY GRADING PLAN
 SHEET 13 OF 13

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