

CHAPTER 1.0 PROJECT DESCRIPTION, LOCATION, AND ENVIRONMENTAL SETTING

1.1 Project Description and Location

1.1.1 Precise Location/Boundary

The Highlands Ranch Project site consists of approximately 176.58 acres in the Spring Valley community of unincorporated San Diego County, California. As depicted on *Figure 1-1, Regional Location*, the Project site is located approximately 10 miles east of downtown San Diego and five miles southwest of El Cajon. More specifically, the site is located about one mile east of Sweetwater Road and one-half mile north of Jamacha Road on the higher elevations of a property locally referred to as “Dictionary Hill” (see *Figure 1-2, Vicinity Map*). Sweetwater Reservoir, a local water supply reservoir, is located about two miles to the south of the proposed Project site.

In terms of local surrounding land use, the Project site is bounded to the west by undeveloped land and residential lots, to the east by The Pointe San Diego Specific Plan with master-planned residential development, to the north by residential development along Ivy Street, and to the south by a grid-pattern of residential lots. The Project site can be seen in context with adjacent surrounding uses on *Figure 1-3, Aerial Photograph*.

1.1.2 Project’s Component Parts

The Highlands Ranch Project (hereafter the “Project”) consists of a proposed Specific Plan Amendment (SPA 02-002), a Tentative Map (TM 5299RPL6), a Major Use Permit (P02-023) and other related implementing actions as more fully described in the following paragraphs. The Project is a proposed residential development involving the construction of 211 detached single-family homes on 5,000 square foot minimum lot sizes. Private streets would provide access into and throughout the proposed development area, with primary site access to be provided by continuation of an existing roadway, Pointe Parkway, located adjacent to and southeast of the Project site.

A copy of the proposed Highlands Ranch entitlement applications are on file with the County of San Diego and can be reviewed by the public at the County Department of Planning and Land Use (DPLU), 5201 Ruffin Road, Suite B, San Diego, CA, 92123.

A. Specific Plan Amendment (SPA 02-002)

The Highlands Ranch SPA would amend and supersede a previously approved Specific Plan for the site, known as the Panorama Ridge Specific Plan Amendment (SPA 83-01). When SPA 83-01 was approved in 1983, it amended and superseded the previously approved 1977 Dictionary Hill Specific Plan (SP 77-02). Please refer to EIR *Section 1.1.3, Technical, Economic, and Environmental Characteristics*, for a detailed description of the Project’s entitlement history.

The Highlands Ranch SPA proposes the development of 211 single-family detached homes, two private parks, supporting roadways and infrastructure, and the preservation of open space. An existing Otay Water District (OWD) water tank is located within the Specific Plan boundary. A separately prepared Highlands Ranch SPA text illustrates the proposed location of land uses and includes development standards for residential development, recreation, open space preservation,

landscaping, roadway construction, public utility service, drainage, grading and Project phasing. The SPA also includes standards for Project implementation.

The proposed Highlands Ranch SPA land use plan is reflected on *Figure 1-4, Proposed Specific Plan Amendment Land Use Plan* and a copy of this report is included as Appendix K to this SEIR. The previously approved SPA is shown on *Figure 1-5, Adopted Panorama Ridge SPA Land Use Plan*. A comparison of the approved Panorama Ridge SPA and the proposed Highlands Ranch SPA can be seen by comparing *Figure 1-4* and *Figure 1-5*.

The comparison is summarized statistically in *Table 1-1, Comparison of Approved and Proposed Specific Plan Statistics*. As shown, the Highlands Ranch SPA proposes the following key changes to the previously approved Panorama Ridge Specific Plan Amendment:

- Modifies the Specific Plan Map to depict the area of proposed development but does not show specific lot lines and finished grading. The purpose of this revision is to allow for some degree of flexibility at implementation and to preclude the need for subsequent Specific Plan Amendments for minor adjustments to the Project.
- Reduces the number of proposed single-family residential lots from a maximum of 355 to a maximum of 211. This change reduces the overall plan density from 1.95 dwelling units per acre (du/ac) to 1.20 du/ac.
- Eliminates previously approved Project access roads from the south and provides main vehicular access via Pointe Parkway. The access will extend from the adjacent Pointe San Diego development at the easterly boundary of the Project site. Secondary access will be provided via Montemar Drive at the Project site's northwest boundary.
- Revises the total site area identified in the SPA from 182.0 acres to 176.58 acres. The need for this revision resulted from a recent survey of the subject property which indicates that the total acreage is somewhat less than what was previously determined.
- Increases natural and graded open space from 103.1 acres to 127.0 acres, reducing disturbances to sensitive biological resources and steep natural slopes.

Table 1-1 COMPARISON OF APPROVED AND PROPOSED SPECIFIC PLAN STATISTICS

Land Use	Panorama Ridge SPA (approved)		Highlands Ranch SPA (proposed)	
	AC	DU	AC	DU
Single Family Residential	55.90	355	35.08	211
Private Parks	2.36	-	1.36	-
Water Tank Site ¹	0.00	-	0.86	-
Private Streets	20.64	-	12.28	-
Natural Open Space	88.10	-	100.65	-
Graded Open Space	15.00	-	26.35	-
Total	182.00	355	176.58	211

¹ Management of the water tank is the responsibility of Otay Water District (OWD). Tank construction in the location shown by the proposed Highlands Ranch SPA was implemented by OWD independent of the approved Panorama Ridge SPA or the proposed Highlands Ranch SPA.

SOURCES: *Panorama Ridge SPA Revised Master Plan, 1983; Highlands Ranch SPA, 2007*

SPA – Land Use Plan Overview

The proposed SPA provides for a maximum of 211 single-family residential lots, two private park sites, a water tank site, supporting roadways and infrastructure, and the preservation of open space. Approximately 75.93 acres, or approximately 43% of the site, would be graded or otherwise disturbed to accommodate development proposed by the SPA, of which 26.35 acres would be revegetated and preserved as open space. The remaining 100.65 acres of the site would be preserved as natural open space. Onsite streets would be private and the vehicular access points are proposed to be gated. Primary site access would be provided by continuation of Pointe Parkway from the southeast. Secondary access would be provided via Montemar Drive from the northwest.

SPA – Residential Plan Description

The proposed SPA calls for the development of a planned residential neighborhood of 211 single-family residential lots. Since its original adoption in 1989 (as amended, 1990), the Spring Valley Community Plan has authorized development of the site with a maximum density of 1.95 du/ac on 5,000 square foot minimum lot sizes, with specific emphasis placed on minimizing impacts to the sensitive species within the Specific Plan area. The proposed SPA represents a reduction in development density as compared to that allowed by the Spring Valley Community Plan and the previously approved Panorama Ridge SPA. The 211, minimum 5,000 square foot lot sizes proposed by the SPA would yield a gross density of 1.20 du/ac.

SPA - Open Space and Recreation Plan Description

The proposed SPA allocates 1.36 acres for two private park sites within the development area. The larger 1.03-acre park site is proposed to include a tot lot, multi-purpose field, shade structures, tennis court and parking area. The smaller 0.35-acre park is proposed to include a tot lot, shade structure and open grass area. The SPA also proposes to include a connection to the County trail system. The proposed trail plan is shown on *Figure 1-6, Trails Plan*.

A total of 127.0 acres of open space would occur within Highlands Ranch. Of these 127.0 acres, 100.65 acres, or roughly 57% of the site, would not be disturbed and would be retained as natural open space. The remaining 26.53 acres would consist of landscaping and revegetated manufactured slope areas. The natural open space areas would preserve steep slopes and sensitive biological resources. Compared to the previously approved Panorama Ridge SPA, the Highlands Ranch SPA would increase open space acreage from 103.1 acres to 127.0 acres.

SPA – Vehicular Circulation Plan Description

The proposed SPA vehicular circulation plan, as depicted on *Figure 1-7, Circulation Plan*, proposes one primary point of access and one secondary point of access. The primary access point would be at the southeastern boundary of the site at Pointe Parkway. The Pointe San Diego development (TM4828) private road system (Pointe Parkway) would be extended into the Highlands Ranch SPA area as part of the Project. A second point of access is proposed at the northwest property boundary which would serve as a connection to Montemar Drive. Off-site improvements necessary to accommodate secondary access are shown on the proposed Tentative Map. The Highlands Ranch community is proposed to be gated and all internal streets would be constructed as private streets designed to meet the County Standards for Private Streets.

SPA - Phasing Plan Description

The proposed SPA states that the Project is planned to be constructed over a period of five years, although market conditions may accelerate or extend this schedule. Mass grading would be accomplished within the first 1.5 years of construction and would occur in three (3) distinct phases. In addition, the proposed Project would be conditioned against the issuance of any Certificates of Occupancy until mass grading efforts are completed.

As described by the proposed SPA and as depicted on *Figure 1-8, Conceptual Phasing Plan*, installation of infrastructure and the construction of homes would occur in three phases. Phase 1 would provide for the extension of Pointe Parkway into the Highlands Ranch site. In addition, the first phase of development would consist of an extension of utility services to the site and the construction of 75 homes. Phases 2 and 3 would consist of the provision of additional points of connection, the additional extension of onsite utilities as necessary to support each development phase, and construction of the remaining 136 homes.

SPA - Grading Plan Description

The proposed SPA specifies that the Project would be developed using traditional grading techniques in accordance with the San Diego County Grading Ordinance. Project grading is depicted on *Figure 1-9, Conceptual Grading Plan*. As shown, a large amount of open space, including steep natural hillsides, would be preserved around the perimeter of the property. A total of approximately 1,066,689 cubic yards of earth would be moved during construction of the Project. Mass grading would be conducted in three (3) phases over a period of approximately 1.5 years. All three phases of the mass grading operations would be completed prior to the issuance of any Certificates of Occupancy (C of O) for any residential unit within the Project. Approximately 43% of the site would be graded or disturbed, with no import or export of material proposed. Project grading would result in the lowering of the peak of the hill in the center of the site by approximately 35 feet. Manufactured slopes would be created at maximum gradients of 1½:1. Further, depending on the density of the rock encountered, drilling, blasting, and/or rock crushing may be required to reduce fill material to a suitable size for use as roadway sub-base. If rock crushing is necessary, a rock crusher would be placed at the proposed eastern park site and be surrounded by a 16 foot high berm. Construction equipment that emits impulsive noise sources (e.g., hoe rams or jack hammers) are not proposed to be used during Project grading operations.

SPA - Landscape Plan Description

The proposed SPA includes a conceptual landscaping plan and recommends the use of native and naturalized plant materials, as identified by three different zones within which individual plant palettes would be developed. Zone 1 would entail the Project's entry monumentation. Zone 2 would consist of streetscapes, usable open space, view pockets, and individual lot plantings. Zone 3 would consist of two sub-zones: Zone 3A and Zone 3B. Zone 3A would consist of the lower portion of the manufactured slopes and plant materials would be native and indigenous to visually blend with the existing onsite Diegan coastal sage scrub. Zone 3B would comprise the remainder of the manufactured slopes, as well as that area located immediately adjacent to dwelling units. This zone would primarily serve as a fuel break against the possible threat of brush fires. A Limited Building Zone (LBZ) is proposed to be dedicated limiting the type of structures that can be built within 100 feet (or more if required) for fire protection purposes in lands adjacent to the proposed biological

open space easement. An Open Space and Fencing Plan (*Figure 1-10*) is proposed as part of the Project to separate the development areas from the proposed natural open space.

SPA - Water Plan Description

The Highlands Ranch Project site is within the service area of Improvement District No. 25 of OWD. The Project site previously contained a 0.39 mg water storage reservoir; however, OWD has constructed a new 1.5 mgd reservoir on the property that replaced the previously existing reservoir to meet the water obligation of existing properties and infill development within their service area. Construction of the new reservoir was the responsibility of OWD and occurred independently of the proposed Highlands Ranch SPA.

A Sub-Area Water Master Plan has been prepared for the Project in coordination with the approved Pointe San Diego subdivision to the east (John Powell & Assoc., 1998). Water distribution lines would be extended onsite to serve the Highlands Ranch Project; no off-site water improvements are proposed. OWD has issued a service availability letter indicating that facilities are or will be available to serve the Project.

SPA - Sewer Plan Description

The Highlands Ranch Project site is located within the Spring Valley Sanitation District, a participating agency in the City of San Diego's Metropolitan Sewer System (MSS). The 15-inch La Presa Trunk Line is located near the northeastern boundary of the Project site. This trunk line will carry the sewage generated at Highlands Ranch to the City of San Diego's MSS Spring Valley Outfall. The Spring Valley Sanitation District's Facilities Master Plan identifies areas within its service area in need of maintenance and upgrades. The District would implement those improvements as they become necessary. The Highlands Ranch Project would be required to install gravity sewage lines, three below-grade package sewer pump stations and force mains to connect to the La Presa Trunk Line. The connection point is proposed at Pointe Parkway. The existing off-site sewer lines and the existing City of San Diego MSS treatment facility have adequate capacity to accommodate the Project's flows, and service would be available concurrent with need.

SPA - Drainage Plan Description

The proposed SPA would maintain the site's existing drainage patterns. A portion of the Whitestone Canyon (Bancroft Creek) drainage crosses the northeastern portion of the site and would be preserved in open space by the SPA. Required temporary and permanent drainage facilities would be constructed on the site concurrently with grading, including storm drains, retention basins, sediment basins and energy dissipaters. The Project proposes to employ state of the art methods of treating urban runoff that are accepted by the County of San Diego and regional agencies. Best Management Practices (BMPs) are proposed, including the use of earthen swales to direct flows, mechanical sedimentation separators, and detention where necessary.

The Highlands Ranch SPA specifies that prior to any construction occurring on the site as detailed by the Tentative Map (TM), a Storm Water Pollution Prevention Plan (SWPPP) must be prepared for the Project. The SWPPP is the focus of the National Pollutant Discharge Elimination System (NPDES) General Permit, which applies to this Project. The NPDES permit objectives for the protection of water quality are to reduce excessive erosion and minimize sedimentation, prevent offsite contamination, eliminate non-storm water discharges from construction sites, and install

appropriate measures to reduce impacts on waterways from the finished Project and ensure future maintenance of the facilities.

B. Tentative Map (5299RPL6)

The Highlands Ranch TM is shown in *Figure 1-11* and *Figure 1-12, Tentative Map*. The TM proposes to create 211 single-family residential lots and 11 additional lots to accommodate the two private parks, common homeowner association landscape lots, and open space. The single-family residential lots are shown to range in size from approximately 5,000 s.f. to 8,000 s.f. Retaining walls are proposed to minimize the height and extent of manufactured slope areas. As shown on the TM and as depicted on *Figure 1-13, Locations of Proposed Walls*, a total of five prominent walls are proposed at the following locations:

- Wall 1: Length = 159'; Maximum Height = 14'; Location: Lots 14 & 15
- Wall 2: Length = 514'; Maximum Height = 8'; Location: Lots 18 through 24
- Wall 3: Length = 150'; Maximum Height = 12'; Location: Lots 52 & 53
- Wall 4: Length = 367'; Maximum Height = 18'; Location: Lots 140 through 145
- Wall 5: Length = 265'; Maximum Height = 18'; Location: Lots 140 through 144

In addition to the retaining walls proposed as part of the TM, two additional fire protection walls also would be constructed as part of the Project's Fire Protection Plan. Although these walls are not depicted on the TM, the proposed heights and locations are depicted on *Figure 1-13*. The proposed fire walls would be constructed of solid block masonry materials and would be provided with fire emergency exterior sprinklers which would irrigate adjacent vegetation in the event of a fire to a distance of 20 feet. As shown on *Figure 1-13*, a total of two fire protection walls would be constructed in the following locations:

- Wall 6: Length = 200'; Maximum Height = 6'; Location: Lots 145 through 148
- Wall 7: Length = 130'; Maximum Height = 6'; Location: northern Project boundary, near Lot 139

The TM also depicts the location of each lot, the location and alignment of on-site roadways and the location of public water, sewer and drainage infrastructure improvements.

The TM has been designed to comply with the grading concept proposed in the Highlands Ranch SPA. Grading or disturbance is proposed on approximately 75.93 acres of the site, including all disturbances such as roads, utility improvements and detention basins. Off-site disturbance would consist of 2.86 acres to construct proposed improvements to Montemar Drive. The off-site improvements to Montemar Drive would consist of the construction of approximately 540 linear feet of new street pavement from existing improvements. The improvement would consist of a crown street section with 28' of paved travel way.

Implementation of the proposed TM would result in approximately 1,066,689 cubic yards of cut and fill, with a net of zero cubic yards of import or export. Limited amounts of import or export may be necessary based on final engineering of the site. Several manufactured slopes would be created along the development area boundaries. These slopes would range from approximately 25 feet to 100 feet in height and be constructed at a gradient of 1½:1. The proposed exterior manufactured slopes would be representative of natural slope heights of the site's existing topography. As part of the grading operations, rock blasting would be undertaken in order to fracture rock in the deeper cut areas of the site. Rock created from the blasting would be used in the deeper fills, and some of the remaining rock may be crushed onsite and used as base materials for the streets. If crushing is done

onsite, the crusher would be located within the eastern park site, immediately south of and adjacent to proposed Lot 1. The blasting operations would be performed in conformance with San Diego County Fire Code, Section 35.37701.1 through 35.37701.8, which regulates blasting operations. The County Fire Code restricts the hours of blasting operations, requires written notice be provided to any property owner within 600 feet of the proposed blasting activities, and requires monitoring during blasting operations.

The TM depicts vehicular circulation improvements consistent with the proposed Highlands Ranch SPA. Primary access would be from the east through The Pointe San Diego development via Pointe Parkway. Secondary access is planned to be provided via a connection to Montemar Drive. The connection to Montemar Drive is proposed within an existing dedicated right-of-way and is an off-site improvement of the Highlands Ranch TM.

The TM also identifies the location of utility improvements, including water lines, gravity sewer lines, force mains, three below-grade package sewer pump stations and storm drain lines, outlets and headwalls. OWD constructed a 1.5 mgd water reservoir on a 0.86-acre parcel generally in the center of the Project site at an elevation of 970 feet. This tank was constructed as part of OWD's 1004-2 Reservoir Project Capital Improvement Project (CIP) No. 098 and is independent of the Highlands Ranch SPA and its associated actions. OWD prepared its own CEQA document for the water tank and access road construction as part of the OWD Water Master Plan (SCH No. 1995101047) which is herein incorporated by reference and available for public review at OWD, 2554 Sweetwater Springs Boulevard, Spring Valley, CA 91978. The additional water reservoir capacity is projected to serve existing and infill development within the District's current service area.

C. Major Use Permit (P02-023)

A Major Use Permit (MUP) is proposed for the Highlands Ranch Project, pursuant to Section 6600, Planned Development Standards, of the County of San Diego Zoning Ordinance. According to Section 6600, a MUP must be applied for concurrently with tentative maps to implement the County's Planned Residential Development (PRD) standards. According to Zoning Ordinance Section 7350, a use permit may be granted by the County to provide for the accommodation of land uses with special site or design requirements, operating characteristics, or potential adverse effects on surroundings. The proposed Highlands Ranch MUP consists of a plot plan showing building footprints, typical building layouts and setbacks, park amenity plans, and a conceptual landscaping plan. In addition, the MUP includes specific requirements for architectural characteristics and building materials by which future building permit applications would be reviewed. The plot plans of the Project's proposed MUP are depicted on Figure 1-14 and Figure 1-15, and architectural requirements of the Project's proposed MUP are depicted on Figure 1-16 through Figure 1-18, *MUP Architectural Guidelines*.

1.1.3 Technical, Economic, Environmental Characteristics

The following discussion is intended to provide the reader with background information on the history of the property.

A. East San Diego Villa Heights

The Project site is generally located in the northern half of a subdivision called East San Diego Villa Heights (Map 1317), recorded in 1911 by the Interstate Realty and Improvement Company. Upon

purchase of the property, this company and the Millar Publishing Company proceeded to transfer a set of 25 encyclopedias to the purchasers of the 50 x 100-foot lots. Although a misnomer, the area subsequently became known as Dictionary Hill. Over the years, many of these lots were sold for back taxes. In 1964, the streets in the south half of Map 1317 were built by a special improvement district and some of the old 50-foot wide lots have since been developed on a parcel-by-parcel basis. In 1977, approximately 1,150 legal lots and a grid-type street system were recorded on the 207.5 acres, which includes the current Project site.

B. Dictionary Hill Specific Plan

On October 19, 1977, the County Board of Supervisors adopted the Dictionary Hill Specific Plan SP77-02. This plan provided for the development of 316 single-family detached residential units on 207 acres. Of that amount, 277 units were to be constructed within a Planned Residential Development (PRD) on 182 acres, with the remaining 39 units in a standard subdivision of 25.3 acres. The 39 units were topographically separated from the remainder of the project area and were planned to be similar to the existing off-site single-family detached homes to the north. An area of 6.0 acres atop Dictionary Hill and within the overall 182-acre site was excluded from the Dictionary Hill Specific Plan, although the plan noted that this area was expected to be developed for limited commercial uses at some point in the future. The intent was to ultimately provide a revolving restaurant atop the summit of Dictionary Hill.

Subsequent to Board approval of the Dictionary Hill Specific Plan, two Tentative Maps were filed to implement the plan. One map covered the 25.3-acre area in the northeastern corner of the Dictionary Hill Specific Plan area, while the other covered the remainder of the Plan area. The final subdivision map for 39 lots on 25.3 acres was recorded on June 15, 1978, as Map No. 8890. In addition, the County Planning Commission conditionally approved Tentative Map 3581 and accompanying Major Use Permit P77-77, to cover the development of an additional 111 units on the remaining 175 acres of the Dictionary Hill Specific Plan area. These permits expired on July 15, 1981, prior to the recordation of final maps. Additionally, the Board of Supervisors, by Ordinance No. 4999 (New Series), approved a rezone from LC to R-1 (currently R-S-4) over the 25.3 acres covered by Map No. 8890. The remainder of the Specific Plan area was rezoned PRD 2 (currently R-V-2). This ordinance became effective November 11, 1977. The Board of Supervisors subsequently, on August 30, 1978, approved a rezone (R78-27) on the 6.0 acres atop Dictionary Hill omitted from the Dictionary Hill Specific Plan. Ordinance No. 5255 (New Series) created 3.45 acres of provisional open space (currently S-80), 1.0-acre of provisional commercial (currently (P) C-36) and 1.5 acres of provisional parking (currently (P) S-86).

C. Panorama Ridge Specific Plan Amendment

On December 14, 1983, the Board of Supervisors approved the Panorama Ridge Specific Plan Amendment (SPA 83-01), which renamed and amended the Dictionary Hill Specific Plan. The purpose of the amendment was to provide a more environmentally responsive project while further refining the character of development on the site. A project on the site would provide a visual focal point for the community while using the flatter portions of the site for land uses similar to those already existing in the vicinity. The proposed layout minimized access to the south due to the extreme steepness of the existing streets offsite and preserved the summit of Little Dictionary Hill in natural open space. The Panorama Ridge Specific Plan Amendment excluded the 25.3 acres previously subdivided in the northeast and included the six acres previously proposed for a revolving restaurant.

This amendment eliminated the revolving restaurant, which was included in the previous plan, and attempted to utilize the site at a capacity that would neither overburden existing facilities nor cause irreparable harm to the environment. The Panorama Ridge Specific Plan Amendment included 398 single-family detached residences instead of the 277 homes and the 15,000 square-foot restaurant envisioned in the previous plan. When the Board of Supervisors approved the project, however, they reduced the maximum number of residential lots to 355.

The Board of Supervisors certified the Environmental Impact Report (EIR) for Panorama Ridge, SPA 83-01, on December 14, 1983. The certified EIR found that the project would result in significant environmental effects to traffic, visual/grading, schools, biological resources, and hydrology/flooding. All effects were considered to be avoided or mitigated to a level below significance. The EIR also addressed the issues of archaeology, noise, public facilities, air quality, and growth inducement, and determined that the impacts were less than significant.

D. Valle de Oro Community Plan

Initially, the subject property was included within the boundaries of the Valle de Oro Community Planning Area. The Valle de Oro Community Plan, adopted on August 25, 1977, designated the entire project area as a Specific Plan Area, a designation typically used on land that contains environmental constraints or has unique land use concerns which require special land use and/or design controls.

The Specific Plan Area covered approximately 200 acres and was given an overall maximum density of 1.6 units per acre. This area covered the northern portion of the San Diego Villa Heights tract, which was recorded in 1911 as Map No. 1317. The Community Plan required that the property be used primarily for single-family residential uses and that the minimum lot size be 5,000 square feet.

E. Spring Valley Community Plan

On May 15, 1989, the Board of Supervisors approved the Spring Valley Community Plan, which incorporated and superseded portions of the Valle de Oro Community Plan, including the Project site. At that time, the Dictionary Hill Specific Plan Area was renamed Panorama Ridge Specific Plan Area to reflect the specific plan amendment approved in 1983. The Spring Valley Community Plan requires the Panorama Ridge Specific Plan to be developed under the following conditions:

- a. An overall density of 1.95 single-family residential dwelling units per acre;
- b. A minimum lot size of 5,000 square feet;
- c. Compliance with all goals, objectives and policies of the Community Plan;
- d. Compatibility of design with the surrounding area;
- e. Conservation of resources as identified in the Resource Conservation Element through open space and recreation dedication or other means;
- f. Design of public facilities with a minimum of grading; and
- g. Provision of the means by which all necessary public facilities shall be financed.

F. Resource Protection Ordinance Exemption

The Project site is exempt from the requirements of the County's Resource Protection Ordinance (RPO). The RPO exemption, which applies to the Highlands Ranch Specific Plan Amendment

property, is found in Article V, Exemption 8. It allows for the exemption of projects which meet the following requirements:

“Any project located within a Specific Plan, within the Urban Limit Line, and within an approved Revitalization Action Plan established prior to August 10, 1988, where the Board of Supervisors finds that an amendment to that Specific Plan makes the project more clearly conform to the Resource Protection Ordinance and where there is a public benefit beyond the boundaries of the project and it is found that the project would revitalize and/or stimulate revitalization of the community.”

The Highlands Ranch Specific Plan meets these exemption requirements in the following ways:

- The Highlands Ranch Specific Plan (originally named Dictionary Hill) was approved on October 19, 1977, approximately 12 years before adoption of the Resource Protection Ordinance.
- The Highlands Ranch Specific Plan is located within the Current Urban Development Area, which in combination with the Future Urban Development Area, compose the urban lands of the unincorporated area of the County. Properties located outside of these Regional Land Use Categories are considered to be located outside the Urban Limit Line.
- The changes proposed to the Specific Plan resulting from the Highlands Ranch SPA would bring the project into better conformance with the Resource Protection Ordinance by: a) preserving large, contiguous areas of steep slopes in open space; b) reducing grading for streets and building pads; and c) retaining approximately 127.0 acres in open space, including 100.65 acres of undisturbed, natural open space.
- The Revitalization Action Plan describes several ways residential development projects, such as the Highlands Ranch Specific Plan, would create public benefits and revitalize and/or stimulate revitalization of the community. These include:
 1. Contributions to the Spring Valley Flood Control Assessment District for the purposes of completing drainage improvements for the Spring Valley Creek Basin would be made in conformance with the requirements of the County of San Diego Department of Public Works.
 2. Contributions to the Spring Valley Park and Recreation District, which would help provide a stable revenue source for operations and maintenance of existing and future parks. Prior to approval of the Revitalization Action Plan, only a small area of the community contributed to these funds. The Highlands Ranch development would contribute park fees when building permits are issued and additional property tax revenues, once the homes are occupied.
 3. Contribution of funds for improvements to offsite segments of Jamacha Boulevard.
 4. Development of community landscaping plans. The Highlands Ranch SPA includes landscaping plan guidelines for streets and common areas as well for revegetation of manufactured slopes and for fuel modification adjacent to natural open space. The Project’s landscape plan complies with the requirements of the County of San Diego and contributes to Spring Valley’s beautification program.

5. Improved public safety on the Project site, where loitering and illegal dumping have been known to occur. Trash on the site would be removed as part of the Project, and unlawful loitering would be precluded through the provision of Project fencing and implementation of the Project's Habitat Management Plan.

1.2 **Project Objectives**

The Project seeks to achieve the following objectives:

- To provide single-family detached residential housing on the Project site to assist in meeting the region's housing needs for its growing population;
- To cluster development on the least environmentally sensitive portions of the site, leaving a minimum of 50% of the site as undisturbed natural open space.
- To contour grade the development areas to mimic natural landforms and to preserve steep natural hillsides around the perimeter of the property;
- To provide residential lots at a gross density no greater than 1.20 du/ac.
- To provide development standards which will result in a built environment that is compatible with the character of adjacent developed neighborhoods and that is an identifiable subcommunity within the larger Spring Valley Community Plan area;
- To minimize unauthorized activities now occurring on this private property, such as illegal dumping and off-road vehicular use; and
- To provide reasonable economic gain through creation of marketable homes.

1.3 **Intended Uses of the EIR**

This Subsequent EIR (SEIR) is an informational document which will inform public agency decision-makers and the public generally of significant environmental effects of the proposed Project, identify possible ways to minimize the significant effects, and describe a reasonable range of alternatives to the Project. This document has been prepared in accordance with the guidelines for the preparation of EIRs issued by the County of San Diego in compliance with all criteria, standards, and procedures of the California Environmental Quality Act (CEQA) of 1970 as amended (PRC 21000 *et seq*). Per §21067 of CEQA and §15367 and §15050 through §15053 of the State CEQA Guidelines, the County is the *Lead Agency* under whose authority this document has been prepared.

Because a previous EIR was prepared for the original Dictionary Hill Specific Plan project, SP 77-02, this document has been prepared as a SEIR as defined in §15162 of the State CEQA Guidelines. Additionally, a Master EIR was prepared for this project in 1983 when the Panorama Ridge Specific Plan was adopted for the property under GPA 83-03. The Board of Supervisors certified the EIR for Panorama Ridge, SPA 83-01, on December 14, 1983 (County Log No. 82-GP-5). The certified Final EIR found that the project would cause significant effects to traffic, visual/grading, schools, biological resources, and hydrology/flooding. All of these effects were considered to be avoided or mitigated to a level below significance. The Final EIR also discussed archaeology, noise, public facilities, air quality, and growth inducement, and determined that these impacts were less than significant.

The proposed Highlands Ranch SPA will amend and replace the Panorama Ridge Specific Plan. In addition to the main body of the Panorama Ridge Final EIR, several technical reports were prepared, including: a traffic impact analysis, a biological resources inventory and update, an air quality evaluation, an archaeological resource study, a rare plant inventory, and a geotechnical study. Sections of the Panorama Ridge EIR that pertain to the proposed Highlands Ranch Project (Volume II, Section 3, Focused Environmental Analysis; Section 4, Effects Found not to be Significant; and Section 7, Growth Inducing Impact of the Proposed Action) are hereby incorporated by reference per § 15150 of the State CEQA Guidelines. The Panorama Ridge Final EIR (Log No. 82-GP-5) is available for public viewing at the County of San Diego DPLU, 5201 Ruffin Road, Suite B, San Diego, CA 92123.

On the basis of the *Environmental Review Update Checklist Form for Projects with Previously Approved Environmental Documents*, the San Diego County DPLU has determined that impacts from the proposed Highlands Ranch Project could result in new significant environmental effects or impacts that are different from those previously disclosed in the Panorama Ridge Final EIR. The County has further determined that there are substantial changes proposed in the Project or there are substantial changes in the circumstances under which the Project would be undertaken that require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects such that a Subsequent EIR is required (*County of San Diego Request for Environmental Impact Report, letter dated August 3, 2004*). This SEIR has been prepared pursuant to §15162 of the State CEQA Guidelines.

Environmental issues required to be addressed in this SEIR as identified by the County include aesthetics/ visual resources, air quality, biological resources, hazards and hazardous materials, hydrology/water quality, land use/planning, noise, public services, recreation, transportation/traffic, utilities and service systems, and mandatory findings of significance. All of these issues are addressed and impacts are evaluated in this SEIR.

The most recent technical studies, reports, and supporting documentation which were used in preparing this SEIR are bound separately and are available for review at the County of San Diego DPLU, located at 5201 Ruffin Road, Suite B, San Diego, CA 92123. These appendices include an aesthetics/visual quality study, an air quality report, a biological resources study and habitat management plan, a hydrology study, a noise analysis, storm water management plan, and traffic technical report. A list of reports contained in the Technical Appendices is set forth in the Table of Contents to this SEIR.

A Notice of Preparation (NOP) for the Draft SEIR, including a description of potential adverse impacts of the proposed Project, was distributed to the State Clearinghouse, responsible agencies, and other interested parties on August 12, 2004. The NOP was distributed to identify and determine the full range and scope of environmental issues of concern so that these issues could be fully examined in this SEIR. A copy of the NOP and written comments received by the County of San Diego during the NOP process are contained in Appendix A to this SEIR.

1.3.1 Matrix of Project Approvals/Permits

Proposed discretionary actions that are analyzed by this SEIR are addressed in *Table 1-2, Matrix of Project Approvals*:

Table 1-2 MATRIX OF PROJECT APPROVALS

Approvals	Agency/Agencies
Specific Plan Amendment	County of San Diego
Tentative Map	County of San Diego
Major Use Permit	County of San Diego
Environmental Impact Report Certification	County of San Diego
Grading Permit	County of San Diego
Storm Water Management Plan	County of San Diego
Authority to Construct/Permit to Operate (for potential operation of a rock-crushing unit during grading)	Air Pollution Control District
Stormwater Permit	State Regional Water Quality Control Board

1.3.2 Related Environmental Review and Consultation Requirements

State law requires that all EIRs be reviewed by trustee and responsible agencies. A *Trustee Agency* is defined in §15386 of the State CEQA Guidelines as “a state agency having jurisdiction by law over natural resources affected by a project which are held in trust for the people of the State of California.” Per §15381 of the State CEQA Guidelines, “the term ‘Responsible Agency’ includes all public agencies other than the Lead Agency which have discretionary approval of power over the project.” For the Highlands Ranch Project, the California Department of Fish and Game (CDFG) and the Regional Water Quality Control Board (RWQCB) have been identified as Trustee Agencies. The CDFG is responsible for reviewing the proposed Project and this SEIR for consistency with the California Endangered Species Act and State Fish and Game Code. The RWQCB will require a National Pollutant Discharge Elimination System (NPDES) Permit to ensure that during and after construction, on-site water flows do not result in siltation, other erosional actions, or degradation of surface or subsurface water quality. The U.S. Fish and Wildlife Service (USFWS) has been identified as a Responsible Agency in that permits may be required in compliance with the Endangered Species Act.

Subsequent discretionary actions may include the following:

- *Grading Permits, Road Improvements, and Drainage Improvements* by the County of San Diego, to permit implementation of the Specific Plan Amendment, Tract Map, and Major Use Permit.
- *Water and Sewer Systems* by the Otay Water District to construct the necessary infrastructure to provide domestic service.
- *Section 2081 Compliance* by the California Department of Fish and Game (CDFG) for issues relating to compliance with the State Fish and Game Code on any action that may impact State listed endangered, threatened, or candidate species as defined by Section 2081. The CDFG will issue a Memorandum of Understanding (MOU) or 2081 permit that allows for incidental take if impacts are fully mitigated. A letter of compliance will be issued in the event that impacts are fully avoided.

- *Endangered Species Act Compliance* by the U.S. Fish and Wildlife Service for issues related to compliance with the Federal Endangered Species Act for impacts to federally listed rare, threatened, or endangered species.
- *Encroachment Permits* will be requested of San Diego County to allow access within County rights-of-way, for construction of various roadway/circulation improvements.

1.4 **Environmental Setting**

A. **Land Use**

As depicted on *Figure 1-1, Regional Location*, surrounding the Project site are the cities of Lemon Grove, El Cajon, and La Mesa, and the communities of Spring Valley, La Presa, Rancho San Diego, and Casa de Oro. Regional access to the Project site is provided by State Route 94 (SR 94), State Route 125 (SR-125), Sweetwater Road, Sweetwater Springs Boulevard, Jamacha Road (SR 54) and Jamacha Boulevard.

Located at the top and along the northern slope of Dictionary Hill, site topography includes a small knoll in the southeastern corner of the property known as Little Dictionary Hill, and a drainage crossing the northeastern corner of the Project site, as depicted on *Figure 1-19, Site Topography*. Smaller outcrops are also scattered across the southern portion of the site. On-site elevations range from approximately 1,060 feet above mean sea level (MSL) at the summit of Dictionary Hill to 578 feet above MSL in the northeast corner of the property. The property is characterized by steep topography, with 54.3% of the property having a gradient greater than 25 percent, as depicted on *Figure 1-20, Slope Analysis*.

As depicted on *Figure 1-21, Soil Types and Location*, soil types on the property generally consist of San Miguel-Exchequer rocky silt loam. The San Miguel series consists of well-drained shallow to moderately deep silt loams that have clay subsoil. These soils are derived from metavolcanic rock. For this soil type, fertility is very low, drainage is good, runoff is medium to rapid, and the erosion hazard is moderate to very high. Friant rocky fine sandy loam (30-70% slope) is found in a small southeastern portion of the property. The Friant series consists of shale and very shallow, well-drained fine sandy loams that formed in material weathered from fine-grained metasedimentary rock. This soil occurs on steep to very steep slopes and exists 3 to 12 inches deep over very hard rock. For this soil type, runoff is rapid to very rapid, and the erosion hazard is high to very high. Rock outcrop coverage on the surface of this soil type ranges from 2-10%.

The Project site is located at the high point of four major drainage basins in the center of the Spring Valley Community Plan Area. Two of the four drainage basins drain to the west and southwest toward Spring Valley and into the Sweetwater River immediately downstream of the Sweetwater Reservoir. The other two basins drain to the south and southeast toward the Sweetwater Reservoir. The Sweetwater Reservoir is one of 23 potable water reservoirs in San Diego County and is the only major water retention facility in the area. It is operated by the Sweetwater Authority and is used primarily to store water for distribution to National City and the South Bay Irrigation District. The reservoir supplies, on average, 40% of the Sweetwater Authority's needs.

The Project site formerly contained a 0.39 mg water storage reservoir owned and operated by the Otay Water District. The district constructed a replacement 1.5 mg reservoir on the Project site located generally in the center of the Project site on a 0.86-acre parcel. Construction of the new

reservoir was undertaken by the Otay Water District as a separate project and occurred independently of the proposed Highlands Ranch Project.

Single-family residential neighborhoods almost completely surround Dictionary Hill. The Pointe San Diego project, which is currently under construction and not yet fully developed, borders the Project site on the east. The Pointe San Diego also contains areas that will be permanently preserved as natural open space. A standard subdivision is located just northeast of the Project site, which was originally part of the Dictionary Hill Specific Plan Area. Residences to the north, west, and southwest of the site are mostly developed on 5,000 square foot lots and larger, with some lots undeveloped or larger in size. There are also some equestrian lots and groves along the western and northern boundaries. South of the Project site, 5,000 square foot residential lots are laid out on streets constructed in a grid pattern on very steep terrain. The houses were built individually and have custom designs, presenting a unique character within the community.

The Project site and portions of the immediately surrounding properties are vacant except for water reservoirs, transmission lines, and unimproved access roads. The Project area supports six habitat types: Diegan coastal sage scrub, southern willow scrub, non-native grassland, eucalyptus woodland, disturbed land, and developed land. A majority of the site contains Diegan coastal sage scrub (CSS). CSS, non-native grassland, and wetlands are considered sensitive habitats by the County of San Diego. In the southeast corner of the site and in a small area in the southwestern portion of the site, Munz sage dominates the sage scrub. Some areas of the CSS habitat have been impacted by human activities, such as off-road vehicle use, mechanical clearing for fire protection along the Project boundaries, and illegal dumping. The northeast portion of the site along the drainage also contains another native habitat, southern willow scrub, along with nonnative eucalyptus woodlands. The northwest corner of the site contains non-native grassland. Disturbed and developed land is interspersed throughout the Project site.

The Highlands Ranch Specific Plan property falls within the Multiple Species Conservation Program (MSCP) Subarea Plan for the Metro-Lakeside-Jamul segment and is subject to the requirements of the County's Biological Mitigation Ordinance (BMO). The BMO sets forth the criteria for avoiding impacts to biological resource core areas (BRCAs) and to significant sensitive plant and animal populations. The BMO policy emphasizes directing efforts toward preservation of the largest continuous areas of habitat, linkages between such habitats and significant populations of sensitive species. According to MSCP maps, very high, medium, and low value habitats occur on the Project site, with very high value habitat over most of the property. Medium value habitat is located at the hilltop, and a small area in the northeastern property area is shown as low value habitat (County of San Diego 1996).

Several sensitive plant species are known to occur on the Project site, including: variegated Dudleya, coast barrel cactus, southwestern spiny rush, Munz's sage, San Diego sunflower, San Diego goldenstar and western Dichondra. Sensitive and special-interest wildlife species also occur onsite, including coast horned lizard, orange-throated whiptail, coastal rosy boa, Bell's sage sparrow, California gnatcatcher, Cooper's hawk, loggerhead shrike, northern harrier, prairie falcon, sharp-shinned hawk, southern California rufous-crowned sparrow, turkey vulture, San Diego black-tailed jackrabbit, and southern mule deer. The federally listed Quino checkerspot butterfly was documented on-site in 1983; however, recent surveys have not found this species on the site.

B. Public Services and Facilities

The proposed Project site is located in the La Mesa-Spring Valley School District, the Grossmont Union High School District, the Otay Water District, and the Spring Valley Sanitation District. Electricity and natural gas would be provided to the site by San Diego Gas and Electric Company (SDG&E). Police service is provided by the County Sheriff Department, and the San Miguel Consolidated Fire Protection District provides emergency services to the Project site and vicinity. Disposal of solid waste generated in the vicinity of the Project is the responsibility of the County of San Diego Department of Public Works Solid Waste Division.

C. General Plan Designation and Zoning

The Project site is located within the (21) SPA Specific Planning Area Land Use Designation. The designated density is 1.95 dwelling units per acre, except for a very small internal area with a density of 1.60. The zone is S88, Specific Planning Area Use Regulation.

1.5 Consistency of Project With Applicable Regional and General Plans

State CEQA Guidelines §15125(d) requires that several types of regional plans be assessed for potential project inconsistency. *Table 1-3, Consistency with Applicable Regional and General Plans*, lists the regional plans that were reviewed, provides summary findings and, where necessary due to inconsistencies or public controversy, references the EIR Section in which a comprehensive discussion occurs.

Pursuant to the *Environmental Impact Report Format and General Content Requirements* (County of San Diego, 2004), this subchapter should focus on:

“The project’s INCONSISTENCIES with regional and/or general plans. The inclusion of a discussion on the project’s CONSISTENCY with regional and general plans is not necessary. If no inconsistencies are found, the plans that were reviewed must simply be listed accompanied by a statement that no inconsistencies were found.”

In keeping with County requirements, the following General Plan Elements were reviewed to determine whether any of the elements of the proposed Project were inconsistent with the Open Space; Regional Land Use; Circulation; Recreation; Seismic Safety; Scenic Highway; Public Safety; Noise; Housing; Conservation; Energy; and Public Facilities Elements. No inconsistencies with the General Plan Element policies were identified.

Likewise, the Spring Valley Community Plan, which implements the goals and policies of the Regional Land Use Element of the General Plan, was reviewed to determine whether any aspect of the proposed Project was inconsistent with the Scenic Preservation, Land Use, Public Services and Facilities, Circulation, Conservation, Coordination, and Implementation Elements of the Spring Valley Community Plan. No inconsistencies were identified.

1.6 List of Past, Present, and Reasonably Anticipated Future Projects in the Project Area

Potential cumulative impacts are discussed in each appropriate subject-based analysis in this SEIR. This sub-chapter of the EIR provides a list of cumulative projects in the vicinity of the proposed Project site that could result in cumulative impacts when added to other projects in the vicinity. This

includes information compiled during the Initial Study process, the response period for the Notice of Preparation (August 2004), and during preparation of the Draft EIR (January 2006 through February 2007) through a records search of County DPLU files and a review of the State of California CEQA database, available on-line with the California State Clearinghouse of the Governor's Office of Planning and Research (<http://www.ceqanet.ca.gov/QueryForm.asp>).

Table 1-3 CONSISTENCY WITH APPLICABLE REGIONAL AND GENERAL PLANS

Plan/Policy/Regulation	Consistency
San Diego County General Plan	No inconsistencies found
Spring Valley Community Plan	No inconsistencies found
Spring Valley Design Guidelines	No inconsistencies found
Natural Communities Conservation Planning (NCCP) Program	No inconsistencies found
Multiple Species Conservation Program (MSCP)	Potential inconsistencies alleviated through implementation of biological mitigation measures
Resource Protection Ordinance (RPO)	Exempt under Article V, Exemption #8
Biological Mitigation Ordinance (BMO)	Potential inconsistencies alleviated through implementation of biological mitigation measures
Regional Water Quality Control Board San Diego Region Stormwater Permit	No inconsistencies found
County Watershed Protection, Stormwater Management, and Discharge Control Ordinance	No inconsistencies found
SANDAG Congestion Management Plan	No inconsistencies found
APCD Regional Air Quality Strategy	No inconsistencies found

Information regarding past, present, and reasonably anticipated future projects in the vicinity of the proposed Highlands Ranch Project is provided in *Table 1-4, Cumulative Projects*. The projects listed below in *Table 1-4*, and shown in *Figure 1-22, Cumulative Projects*, were selected based on potential contributions to cumulatively considerable impacts when considered in conjunction with the Highlands Ranch Project and other projects in the Project site vicinity. A summary of CEQA documentation and findings for each cumulative project are shown on *Table 1-5, Cumulative Projects' CEQA Summary*.

1.7 Growth Inducing Effects

CEQA requires that a discussion be prepared in environmental documents regarding the ways in which a proposed project could be growth inducing. The State CEQA Guidelines identify a project as growth-inducing if it would foster economic growth or population growth, or results in the construction of new housing, either directly or indirectly, in the surrounding environment (State CEQA Guidelines, Section 15126.2 (d)). New employees from commercial development, schools, golf courses, and new population from residential development represent direct forms of growth. Indirect forms of growth include the demand for additional goods and services associated with the increase in project population that would reduce or remove barriers to growth in other nearby locations.

Under CEQA, growth inducement is not necessarily considered detrimental, beneficial, or of little significance to the environment. The growth inducing potential of a project could be considered

significant if it fosters growth or results in a concentration of population in excess of what is assumed in adopted master plans, land use plans, or projections made by regional planning agencies, such as the San Diego Association of Governments (SANDAG). Additionally, a project could be considered growth inducing if a project provides infrastructure or service capacity to accommodate growth beyond the levels currently permitted by local or regional plans or policies.

The Project site is located in the County of San Diego's Spring Valley Community Planning Area in an area surrounded by existing suburban development. The site is designated as (21) Specific Plan Area, and has been so designated for over 25 years in anticipation of development for residential uses at a density of 1.95 du/ac per the adopted community plan. Additionally, two previous Specific Plan projects have been approved for the site, the Dictionary Hill Specific Plan in 1977, and the Panorama Ridge Specific Plan Amendment in 1983. As neither Specific Plan has been implemented, the proposed Highlands Ranch SPA Project would supersede previous entitlements granted for the site.

In terms of on-site density, the originally approved Dictionary Hill Specific Plan would have allowed for the construction of 316 single-family homes on the site; the Panorama Ridge SPA would have allowed the development of 355 single-family residences on the property. The present Project proposes the development of 211 single-family dwellings. On-site density would be reduced under the proposed Project than the previously approved development projects for the site because less development would be permitted.

This portion of Dictionary Hill is the last large undeveloped property in this area, and is surrounded on three sides by single-family residential development. Approval of this Project would result in an infill development, as there would be no large developable tracts of land remaining north of Jamacha Boulevard or west of Sweetwater Springs Boulevard in this portion of the Spring Valley community. Thus, the proposed Project would not induce growth in the immediate vicinity of the site because no other large tracts of developable land exist in this area.

In the remainder of the Spring Valley Community Plan Area, the majority of land has been built-out under the allowable densities and intensities of the community plan and zoning of the area. The only remaining large undeveloped tracts are lands owned by the Sweetwater Authority surrounding Sweetwater Reservoir, a public water supply storage area south of the Project site, which are intended to protect the watershed of the reservoir; and, open space lands to the south and east of the reservoir that are intended to conserve sensitive biological resources and habitat lands.

Of the approximately 7,500-acre Spring Valley Community Planning Area, roughly 2,650 acres are currently in residential uses. There are presently 970 vacant acres remaining in the planning area, including about 615 acres that are zoned for single-family residential uses. Therefore, within the context of the Spring Valley Community Planning Area, the Project would not induce growth because the majority of land, approximately 87% of the area, has already been developed. Also, the Project would not extend roads or utilities that could be growth inducing. The Project proposes a private, gated roadway network with a single daily access at Pointe Parkway. Utility connections would be made at Pointe Parkway and utilities would be installed beyond the Project boundary. For the reasons stated above, no significant growth would be induced as a result of the proposed Project (Source: SANDAG 2004).

Table 1-4 CUMULATIVE PROJECTS

Number	Permit	Name	Land Use	Intensity	Status
1	ER01-18-006	Environmental Review	Unknown	1.72 acres	Last Action 5/20/2001
2	L-14312	Luther Drive	Residential	8 units	Last Action 8/18/2003
3	P-04-010	Torres	Unknown	15,950 sq. ft.	Last Action 3/15/2004
4	P-76-085-W3	Mt. Miguel Convenant Village	Nursing Facility	5 guest units	Approved 12/18/1998
5	P-76-085-W4				
6	P-98-018, WUP-98-018	San Martin de Porres	Multi family residential	116 units	Approved 4/29/1999
7	P-98-013	Villa Palladio	Residential	124 units	Approved 5/7/1998
8	S-03-041	Atefi	Multi family residential	11 units	Last Action 5/22/2003
9	S-03-074, TM-5170	Mt. Miguel Commerce Community	Commercial	1.77 AC	Last Action 10/17/2003
	<i>Implementing Action: STP-01-072, LP-02-049</i>	Casa de Oro Travel	Commercial	10 employees 3,367 sq. ft.	Approved 10/10/2002
10	S-04-030	Brown Tools	Industrial	0.8 AC	Last Action 5/25/2004
11	S-04-034	Spring Valley Auto	Commercial	19,845 sq. ft.	Last Action 6/21/2004
12	S-98-056	Monte Vista Apts.	Multi family residential	52 units	Approved 10/1/1999
13	STP-00-034	Kenneth Scholz Cars	Commercial	1,790 sq. ft.	Approved 10/12/2000
14	STP-00-072	Agua Dulce Apartments	Multi family residential	8 units	Last Action 11/05/2001
15	STP-01-008	Abow Used Car	Commercial	1,299 sq. ft.	Approved 10/9/2001
16	STP-01-041	Kenwood Apts.	Multi family residential	11 units	Approved 3/14/2003
17	STP-01-052	Tran Sweetwater Duplex	Residential	2 duplexes	Approved 3/18/2003
18	STP-02-042, S-02-044	Robinson Electric	Industrial	10,000 sq. ft.	Approved 7/31/2003
19	TM-4761 RPL	Hidden Valley Estates	Single family residential	472 units	Last Action 5/3/1999
20	TM-4870	Upland Street Subdivision	Single family residential	10 units	Approved 12/13/03
21	TM-5052	M.H. subdivision	Multi family residential	89 lot subdivision	Last Action 3/28/1994
22	TM-5092	Rancho S.D. Town Center	Commercial/Roadway	Campo and Jamacha Road Improvements	Last Action 11/21/1997
23	TM-5092, HLP-97-011				
24	TM-5221, TM-4719E	Spring View/ Benitez	Residential	6 units	Last Action 10/12/2004
25	TM-5252	Birdwell Commercial	Commercial	2 lots	Approved 7/18/2002
26	SPA 88-001, GPA 90-02	The Pointe San Diego Specific Plan	Residential./Resort/Resort Amenities/Commercial/ Golf Course	614 guest suites, 73,050 s.f. convention facility, 3	Approved July 1990
	<i>Implementing</i>	Pointe Mountaintop			<i>Last Action</i>

Number	Permit	Name	Land Use	Intensity	Status
	Actions: TM-5281, TM-5296, TM-5297, SPA-01-003	Condos, Lake Pointe Luxury Apartments, Lakeview Phases I and II		restaurants, 708,300 s.f. office, 619 single family units, 236 multi-family units, and golf course	11/5/2004
27	TM-5316	Montemax Estates	Residential	12 units	Last Action 11/3/2003
28	TM-5397	SS-Sandstone	Multi family residential	30 units	Last Action 9/15/2004
29	TM-5400	West-One	Multi family residential	16 units, 0.56 AC	Last Action 6/15/2004
30	TM-5200	Simpson Farms	Residential/Commercial	98 units 1 commercial lot	Last Action 5/2/2002
31	TPM-20349	Baumann	Residential	3 units	Approved 7/8/1999
32	TPM-20535	Takahashi	Residential	3 units	Last Action 11/16/2001
33	TPM-20535 RPL 1				
34	TPM-20589, WE-0998	Hugley	Residential	2 units	Approved 9/25/2001
35	TPM-20652	McCarthy	Residential	3 units	Last Action 3/20/2003
36	TPM-20694	Kaye Parcel Map	Residential	3 units	Last Action 9/3/2003
37	TPM-20711	Reed Parcel Map	Residential	2 units	Last Action 2/11/2003
38	TPM-20757	Rollins Family	Residential	5 units	Approved 3/20/2003
39	TPM-20869	RSD Austin	Industrial	2 lots, 21,800 sq. ft.	Last Action 8/18/2004
40	TPM-20880	Cantwell	Unknown	2 lots, 0.53 AC	Last Action 10/4/2004
41	ZAP-99-005	Elwell	Residential	2 units	Approved 3/26/1999
42	TM-5040 Site 04-076	Valencia Square Condo Conversion	Residential	20 units	Approved 6/15/1994
43	TPM-20935	Lamar Street	Residential	3 units (1 existing)	Last Action 4/10/2006
44	TPM-20939	Kvaas Project	Residential	4 units	Last Action 9/15/2005
45	MUP-97-011	Family Day Care	Day Care	Conversion of 1 unit to Day Care	Approved 9/11/1997
46	ZAP-05-001	Secondary Dwelling Unit	Residential	1 unit	Last Action 10/6/2005
47	TM-5420 Site-05-005	Condo Conversion	Residential	2 existing units, 17 proposed units	Last Action 6/15/2006

*Lots are the same as dwelling units, so 3 lots would be equivalent to 3 single-family dwelling units unless otherwise noted.

Table 1-5 CUMULATIVE PROJECTS' CEQA SUMMARY

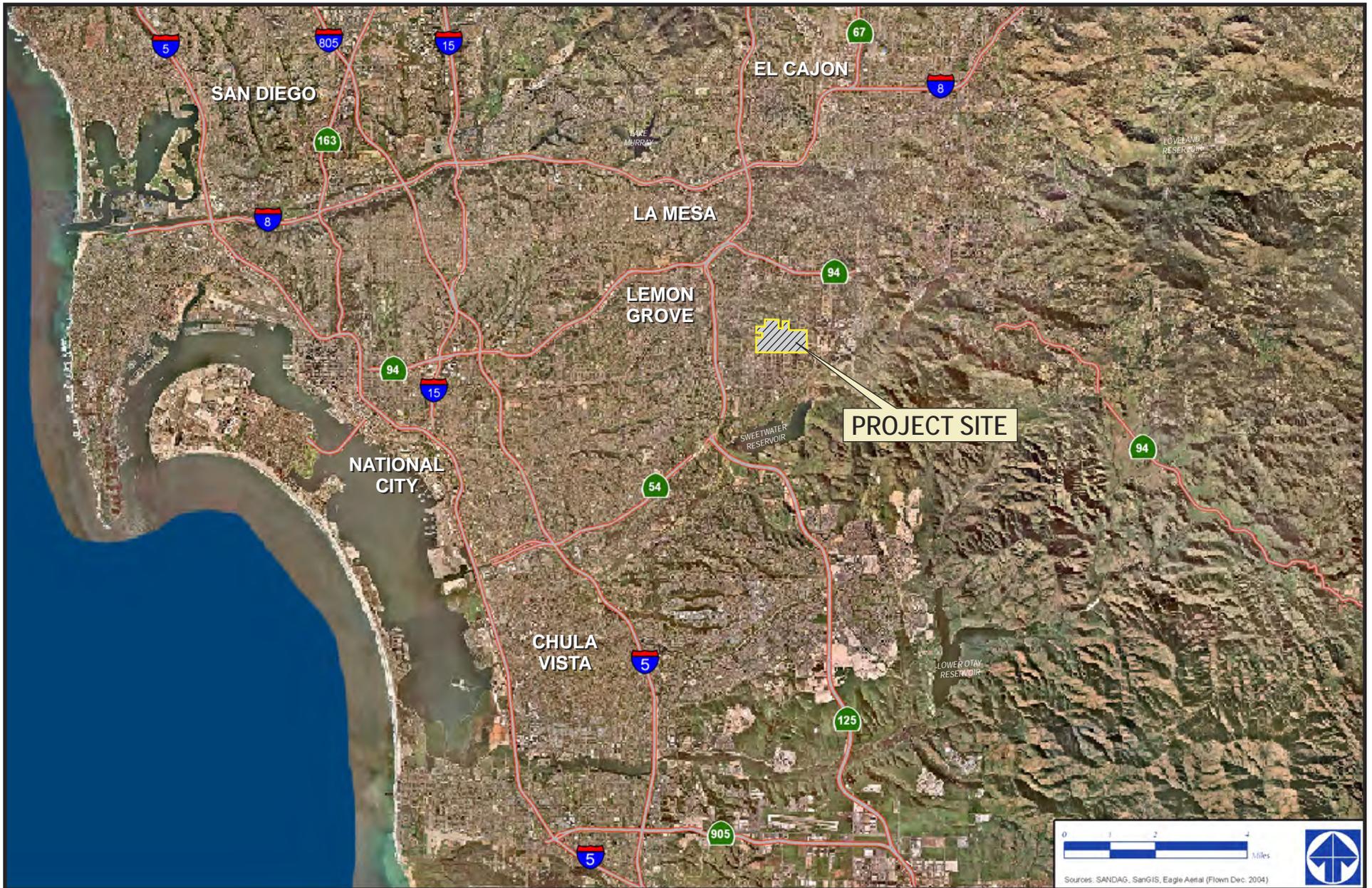
COUNTY CASE NUMBER	PROJECT NAME	CEQA DOCUMENT TYPE	ENVIRONMENTAL IMPACTS													
			Traffic	Biology	Visual Quality	Air Quality	Noise	Hazards	Hydrology, Water Quality	Land Use, Planning	Public Services	Recreation	Utilities and Services	Agriculture	Geology	Cultural Resources
ER01-18-006	Environmental Review	Negative Declaration	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	No Impact	Less than Significant	Less than Significant
L-14312, Log # 02-19-024	Luther Drive	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
P-04-010	Torres	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
P-76-085-W3 & W4	Mt. Miguel Covenant Village	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
P-98-018, WUP-98-018	San Martin de Porres	MND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
P-98-013	Villa Palladio	EIR Addendum	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
S-03-041	Atefi	Negative Declaration	Less than Significant	No Impact	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	No Impact	Less than Significant	No Impact
S-03-074, TM-5170	Charles Turner	MND	Significant and Mitigated	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
			Impacts to the intersections of Sweetwater Springs Blvd/Del Rio Rd & Jamacha /Sweetwater Springs Blvd. mitigated by improvement construction and fee payments.	Impacts to 0.43-acre of jurisdictional waters mitigated by revegetation and Resource Agency Permits. Edge effect impacts mitigated by fencing, perimeter walls and lighting restrictions.					Potential degradation of water quality in Sweetwater Reservoir mitigated by BMPs and a SWPPP. Potential impacts to onsite wetland water quality mitigated by solid wall construction and drainage system filters							
Implementing Action: STP-01-072, LP-02-049	Casa de Oro Travel	MND Addendum	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts	No Additional Impacts
S-04-030	Brown Tools	EIR Addendum	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
S-04-034	Spring Valley Auto	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD

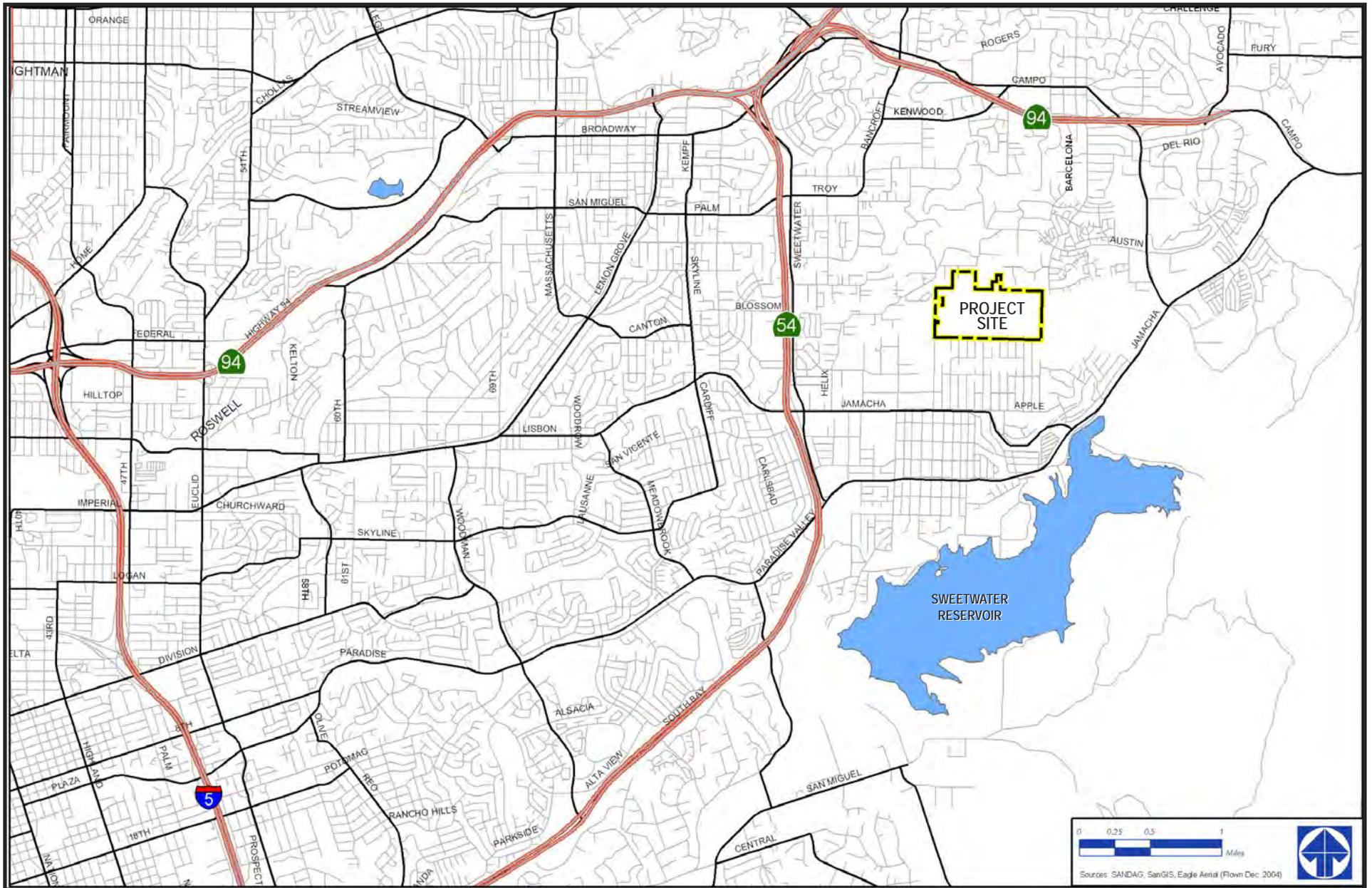
COUNTY CASE NUMBER	PROJECT NAME	CEQA DOCUMENT TYPE	ENVIRONMENTAL IMPACTS													
			Traffic	Biology	Visual Quality	Air Quality	Noise	Hazards	Hydrology, Water Quality	Land Use, Planning	Public Services	Recreation	Utilities and Services	Agriculture	Geology	Cultural Resources
S-98-056	Monte Vista Apts.	MND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
							Interior noise attenuation required for units facing Jamacha Blvd.									
STP-00-034	Kenneth Scholz Cars	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
STP-00-072	Agua Dulce Apartments	MND	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
				Loss of 0.59 acre of non-native grass-land mitigated by purchase of 0.3 acres at the San Vicente Conservation Bank.			Interior and exterior noise attenuation required.									
STP-01-008	Abow Used Car	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
STP-01-041	Kenwood Apts.	MND & MND Addendum	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated
							Interior and exterior noise attenuation required for units facing Kenwood Dr.									Monitoring required during grading. No artifacts found.
STP-01-052	Tran Sweetwater Duplex	MND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
							Noise attenuation barrier required along north property line, and behind the eastern duplex.									
STP-02-042, S-02-044	Robinson Electric	ND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TM-4761 RPL	Hidden Valley Estates	EIR and Addenda	Significant and Mitigated	Significant	Significant	Significant and Mitigated	Significant and Mitigated	Less than Significant	Significant and Mitigated	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Significant and Mitigated
			Impacts to SR94 and Campo Road mitigated by improvement construction and	Impacts to 331 acres Diegan CSS, 161 acres mixed chaparral, 1.4 acres wetland with	Significant impacts to landform modification due to 3.2 million	Long term impacts from vehicle emissions and energy consumption	Mitigation required for residential lots impacted by noise on		Alteration of surface runoff and water quality mitigated by		Demand for 266,000 gallons of water daily required additions to				Potential for boulder rolling, soil settlement, erosion, moderate	Mitigation required for CA-SDI-4937, Gibson Dairy and Indian

COUNTY CASE NUMBER	PROJECT NAME	CEQA DOCUMENT TYPE	ENVIRONMENTAL IMPACTS													
			Traffic	Biology	Visual Quality	Air Quality	Noise	Hazards	Hydrology, Water Quality	Land Use, Planning	Public Services	Recreation	Utilities and Services	Agriculture	Geology	Cultural Resources
			fee payments.	San Diego marsh elder, and 0.06-acre vernal pool, in addition to indirect edge effects. Many mitigating measures were required. All impacts were reduced to below significant except impacts to California gnatcatcher which remained significant and unmitigated.	c.y. of grading; to community character due to suburban lots adjacent to rural areas; & to aesthetics from Echo Valley and Proctor Valley views. Not mitigated.	mitigated by SDAPCD compliance. Short-term impacts mitigated through dust and erosion control.	Miller Ranch Road and from operation of the wastewater treatment plant.		water quality controls. Potential for minor onsite flooding mitigated by storm drain improvements.		water supply system on and off-site. Wastewater generation required construction of an onsite wastewater treatment plant.				seismic groundshaking and impacts due to high groundwater mitigated by geotechnical measures and UBC compliance.	Dam.
TM-4870	Upland Street Subdivision	MND	Less than Significant	Significant and Mitigated Loss of 1.4-acre of CSS and 2.7 acres of non-native grassland mitigated by onsite open space easements and signage.	Significant and Mitigated Visual impacts from constructing 10 homes mitigated by split level building pads & landscaping.	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TM-5052	M.H. subdivision	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
TM-5092, HLP 97-011	Rancho S.D. Town Center	Subsequent EIR and Addenda	Significant and Mitigated Impacts to SR94, SR54, Jamacha Blvd, Millar Ranch Rd and Steele Canyon Rd. mitigated by improvement construction.	Significant and Mitigated Loss of 0.25 acre Diegan CSS, 1.14 acres of riparian forest, 0.52-acre southern riparian scrub, 0.6-acre mulefat scrub, 0.3-acre unvegetated channel and 0.25-acre disturbed wetland, in addition to loss of raptor nesting habitat and indirect impacts to Sweetwater River. Numerous mitigating measures were required.	Significant and Mitigated Significant impact to scenic highways Campo and Jamacha Rds. mitigated by landscaping, rooftop equipment screening and a graffiti abatement program.	Less than Significant	Significant and Mitigated Interior noise attenuation required for onsite day care center along Campo Road. Exterior and interior noise abatement required for onsite areas adjacent to Campo and Jamacha Rds.	Less than Significant	Significant and Mitigated Erosion and sediment transport to Sweetwater River and Reservoir mitigated by an erosion control plan and SWPPP.	Significant and Mitigated Land use compatibility impacts associated with indirect biological impacts to Sweetwater River, mitigated by a lighting, signage, and security management plan.	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated Compressible and expansive soils present; liquefaction potential in SW portion of the site. Mitigated by remedial geotechnical measures and	Significant and Mitigated Preservation plan required for CA-SDI-4782/III.

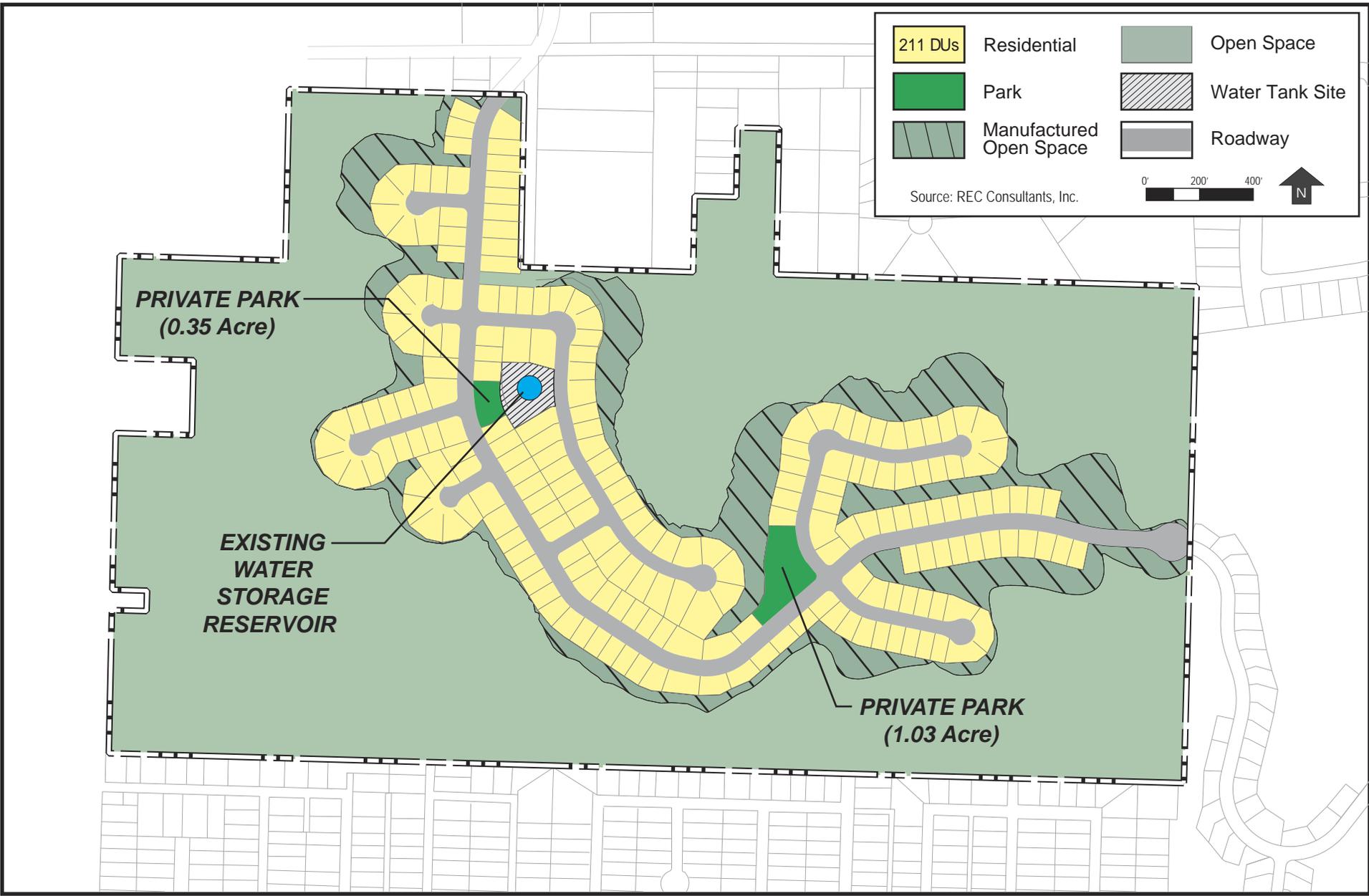
COUNTY CASE NUMBER	PROJECT NAME	CEQA DOCUMENT TYPE	ENVIRONMENTAL IMPACTS													
			Traffic	Biology	Visual Quality	Air Quality	Noise	Hazards	Hydrology, Water Quality	Land Use, Planning	Public Services	Recreation	Utilities and Services	Agriculture	Geology	Cultural Resources
TM-5221, TM-4719E	Spring View/ Benitez	ND and ND Addendum	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TM-5252	Birdwell Commercial	ND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
SPA 88-001	The Pointe San Diego Specific Plan	EIR	Significant and Mitigated	Significant	Significant	Significant	Significant and Mitigated	Less than significant	Significant and Mitigated	Significant	Significant and Mitigated	Less than Significant	Significant and Mitigated	Less than Significant	Significant	Significant and Mitigated
Implementing Actions: TM-5281, TM-5296, TM-5297, SPA-01-003	Pointe Mountaintop Condos, Lake Pointe Luxury Apartments, Lakeview Phases I and II	EIR Addenda	Impacts to onsite and offsite roadway segments and intersections mitigated by improvement construction and funding of several onsite and off-site public roads and bridges.	Impacts identified to upland habitats and sensitive plant and wildlife species. All impacts were reduced to below significant except impacts to California gnatcatcher and Otay tarplant which remained significant and unmitigated.	Impacts identified to landform alteration, visual quality & community character due to loss of aquatic and riparian habitat and change in the site's character as a focal point of Spring Valley. Not mitigated.	Significant impacts identified for carbon monoxide, hydrocarbons and nitrogen oxides. Not mitigated.	Interior and exterior noise attenuation required for onsite uses.		Water quality impacts identified and mitigated by protections to Sweetwater Reservoir and participation in the Urban Runoff Diversion System	Impacts identified to extensive grading and development of steep hillsides, and development in livestock watering ponds. Not mitigated.	Increased demand for public services mitigated by fee payments and adherence to special district requirements.		Water service impacts mitigated by construction and operation of a water treatment facility and required irrigation of golf course and common areas with treated water.		Impacts identified to excess stockpiled materials between phases. Not mitigated.	Impacts mitigated by adherence to a cultural resources preservation plan, construction and operation of an exhibit center, and nomination of Isham's Springs to the NRHP.
TM-5316	Montemax Estates	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
TM-5397	SS-Sandstone	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
TM-5400	West-One	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
TM-5200	Simpson Farms	EIR (not yet released for public review)	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined	Undetermined
TPM-20349	Baumann	ND	MND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20535	Takahashi	MND	MND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20535 RPL 1	Takahashi	MND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Significant and Mitigated	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
							Mitigation includes granting the County a Noise Protection									

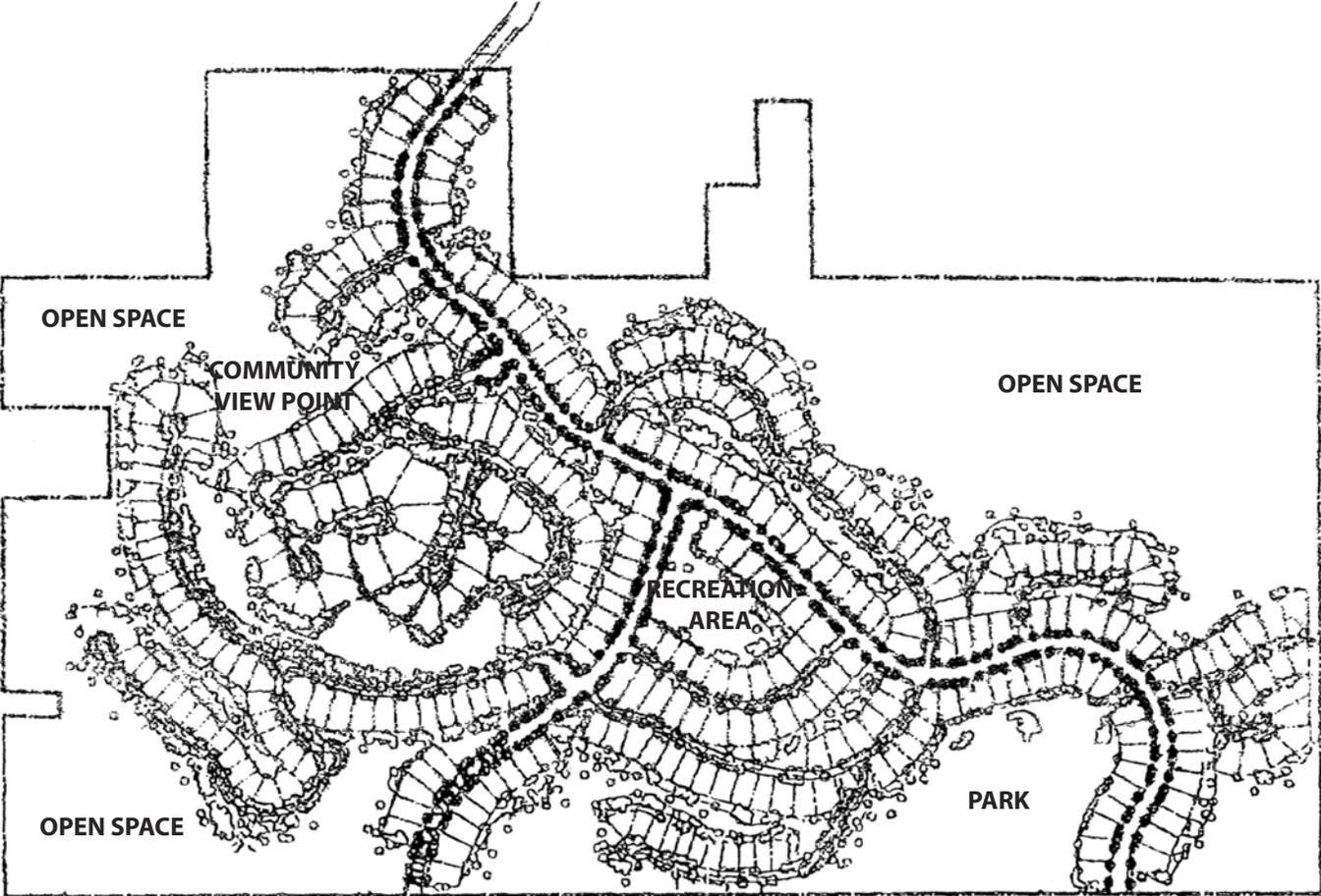
COUNTY CASE NUMBER	PROJECT NAME	CEQA DOCUMENT TYPE	ENVIRONMENTAL IMPACTS													
			Traffic	Biology	Visual Quality	Air Quality	Noise	Hazards	Hydrology, Water Quality	Land Use, Planning	Public Services	Recreation	Utilities and Services	Agriculture	Geology	Cultural Resources
								Easement for present and future anticipated excess noise levels.								
TPM-20589, WE-0998	Hugley	MND	Less than Significant	Significant and Mitigated Impacts to 0.5-acre of non-native grassland mitigated by onsite open space buffer, easement and signage.	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20652	McCarthy	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
TPM-20694	Kaye Parcel Map	ND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20711	Reed Parcel Map	ND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20757	Rollins Family	MND	Cumulatively Significant and Mitigated through Payment of TIF Fees	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20869	RSD Austin	Negative Declaration	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
TPM-20880	Cantwell	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
ZAP-99-005	Elwell	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact
TM-5040 Site 04-076	Valencia Square Condo Conversion	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
TPM-20935	Lamar Street	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
TPM-20939	Kvaas Project	Unknown – AEIS Pending	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
MUP-97-011	Family Day Care	ND	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant	Less than Significant
ZAP-05-001	Secondary Dwelling Unit	Notice of Exemption	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact	No Impact



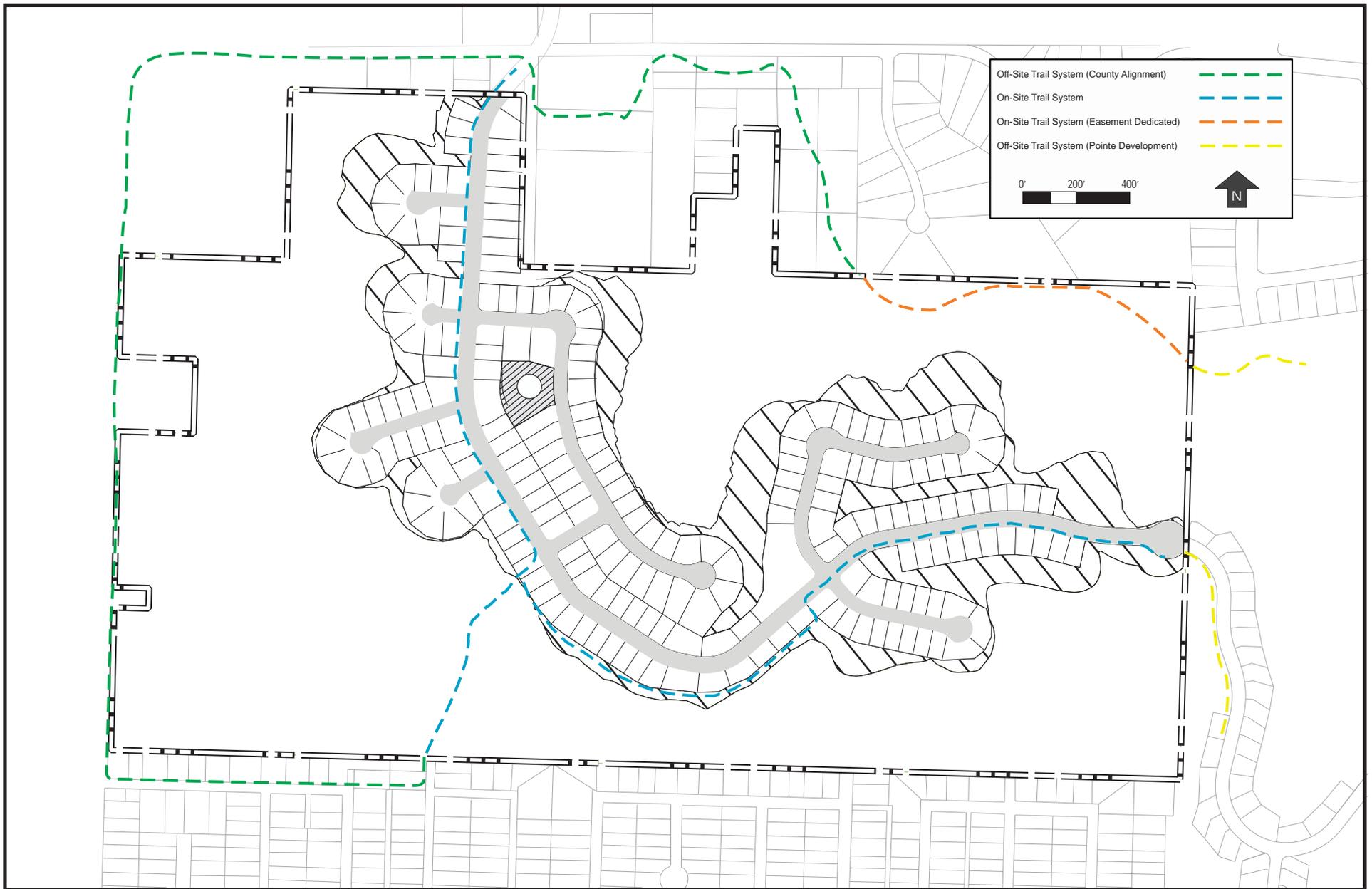


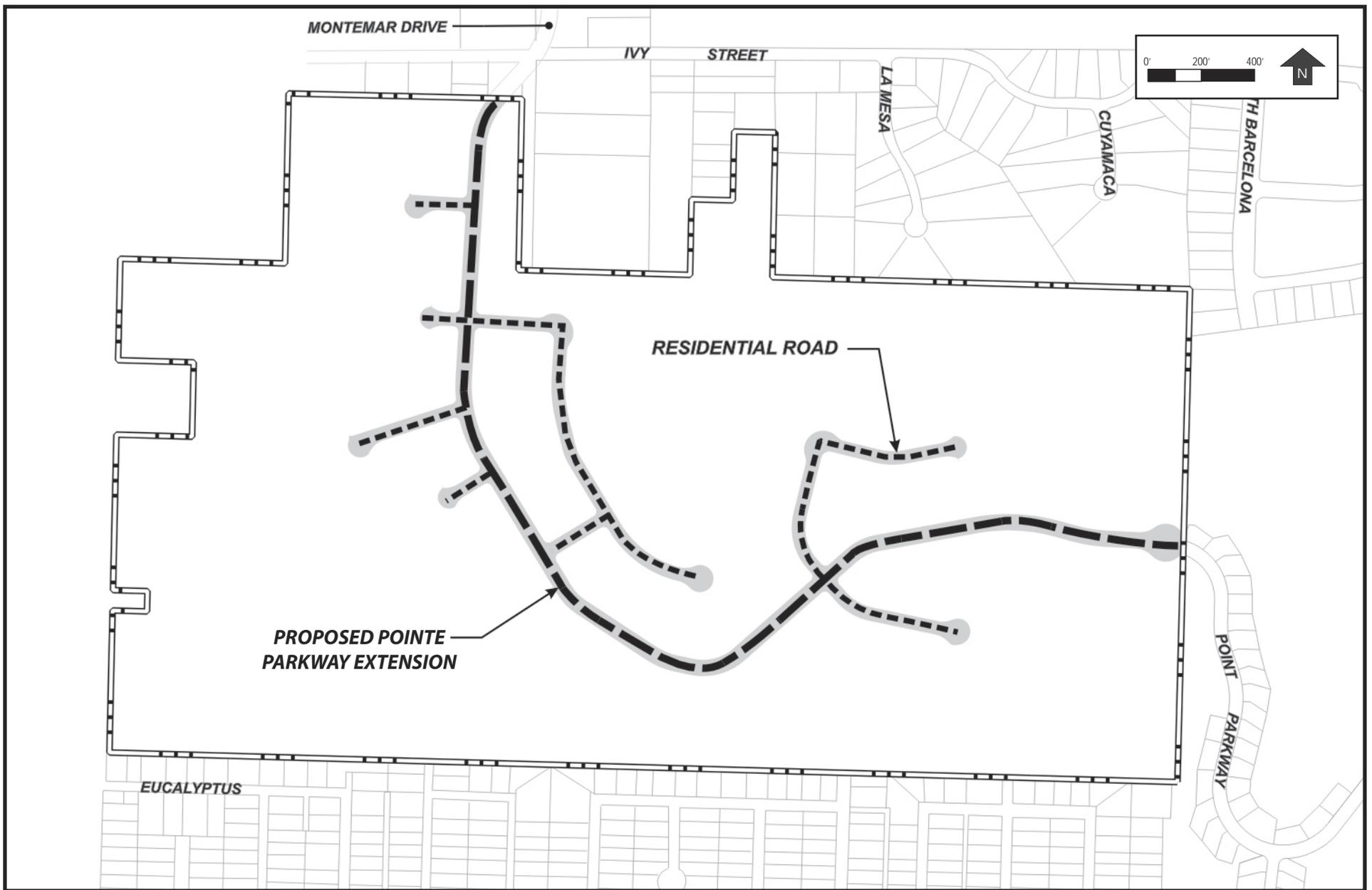


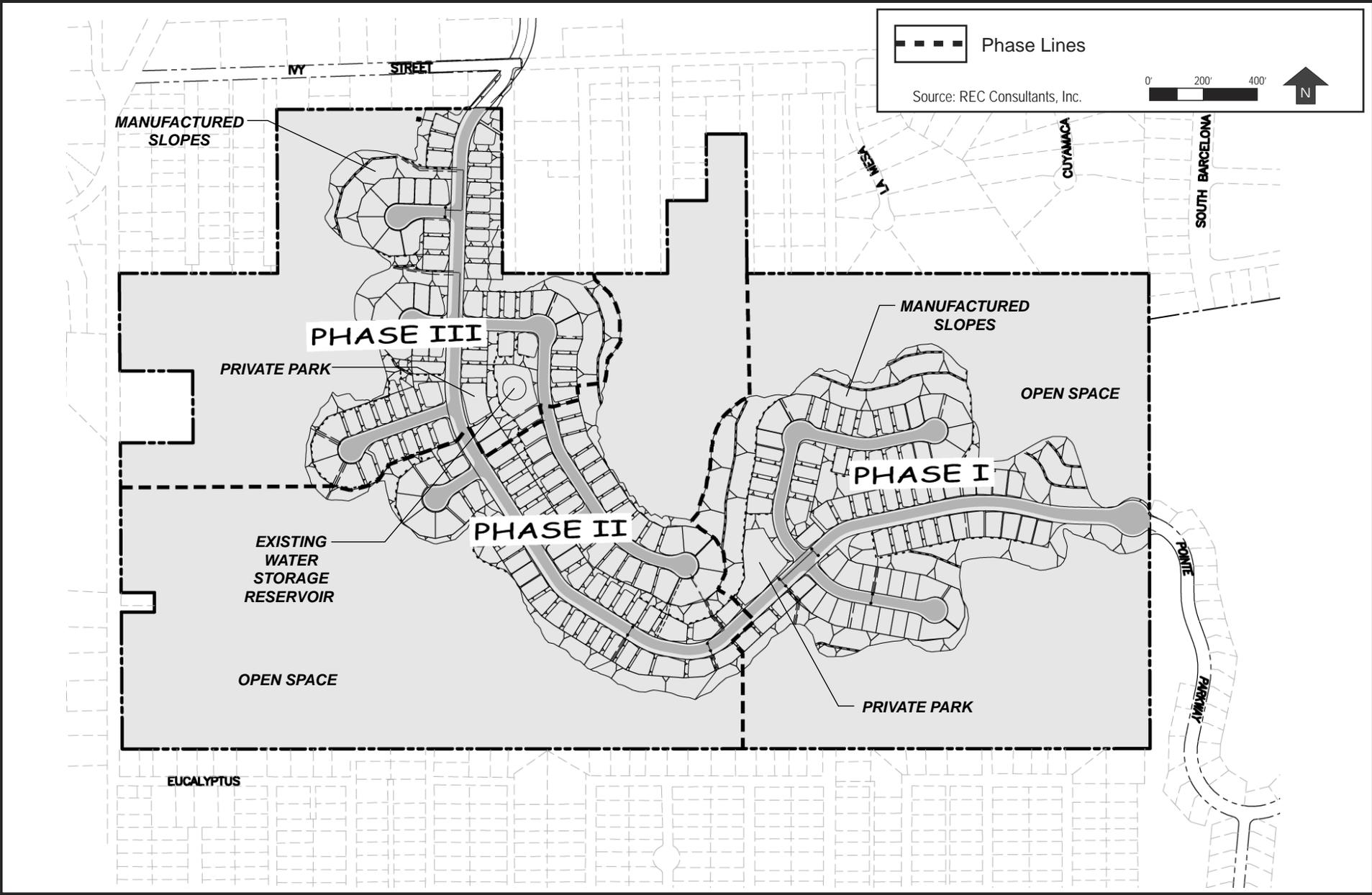




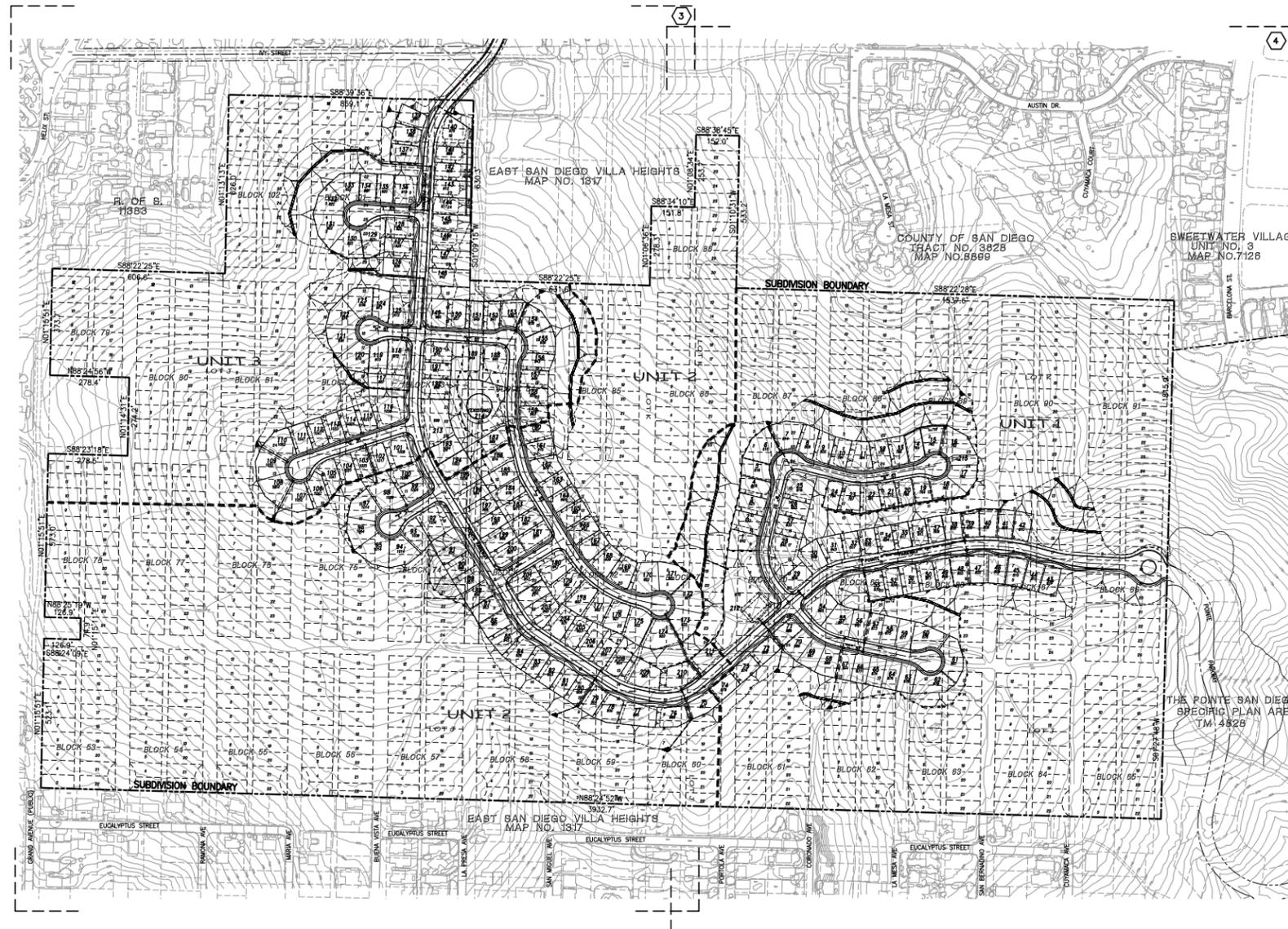
Source: County of San Diego







PRELIMINARY GRADING PLAN COUNTY OF SAN DIEGO TRACT NO. 5299RPL6 "HIGHLANDS RANCH"



LEGEND

SUBDIVISION BOUNDARY	
PROPOSED SLOPE	
EXISTING CONTOUR	
STORM DRAIN STRUCTURE	
EXISTING EASEMENT	
STREET GRADE	
SPOT ELEVATION	
DAYLIGHT CUT OR FILL	
RETAINING WALL WALL	
SHEET NUMBER	

NOTES
THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGE THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMITS BEFORE COMMENCING SUCH ACTIVITY.

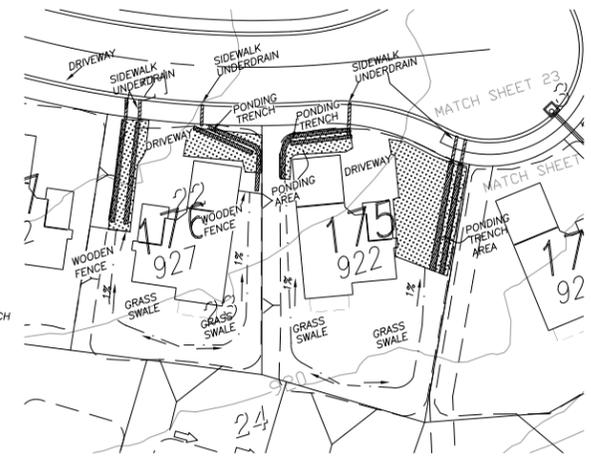
- DEVELOPMENT NOTES**
- 1) ALL GRADING IS PROPOSED TO CONFORM TO THE PRELIMINARY SOILS REPORT PREPARED FOR THIS PROJECT. SETBACKS FOR NEW GRADING WILL BE PER THE COUNTY OF SAN DIEGO STANDARDS AND MAY BE MODIFIED BY FURTHER GEOLOGY STUDIES
 - 2) PROPOSED PIPE SIZES, WHERE SHOWN, ARE APPROXIMATE.
 - 3) ALL MAJOR SLOPES, COMMON AREAS, PRIVATE STREETS, FENCES, GATES, ETC. WILL BE MAINTAINED BY A MASTER HOMEOWNERS ASSOCIATION. FURTHER MAINTENANCE OF THESE AND ADDITIONAL FACILITIES MAY BE PROVIDED BY SUB-ASSOCIATIONS WITHIN SPECIFIC PLANNING AREAS.
 - 4) UNLESS DELINEATED HEREON, SLOPES OF 5' IN HEIGHT OR LESS ARE NOT SHOWN.
 - 5) A SOILS REPORT MAY BE NECESSARY TO JUSTIFY EXCESSIVE HEIGHTS OF CUTS AND FILLS.
 - 6) APPROXIMATE GRADING QUANTITIES:
 EXCAVATION 1,066,689 CY
 EMBANKMENT 1,066,689 CY
 IMPORT / EXPORT 0 CY

OWNER
WVI PROPERTIES
23852 PACIFIC COAST HWY
MALIBU, CA 90265
TEL: (310) 456-0800

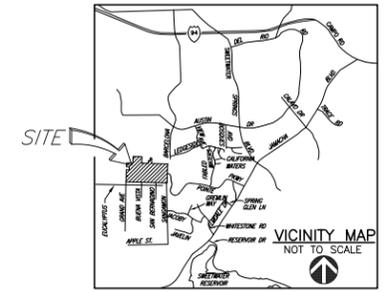
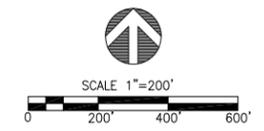


ENGINEER OF WORK
REC CONSULTANTS, INC.
2442 Second Avenue
SAN DIEGO, CALIFORNIA 92101
TEL: (619) 232-9200

ENGINEER _____ DATE _____



TYPICAL LOT GRADING & DRAINAGE
SCALE 1"=30'



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Civil Engineering - Environmental
2442 Second Avenue
San Diego, CA 92101
(619) 232-9200 (619) 232-9210 Fax

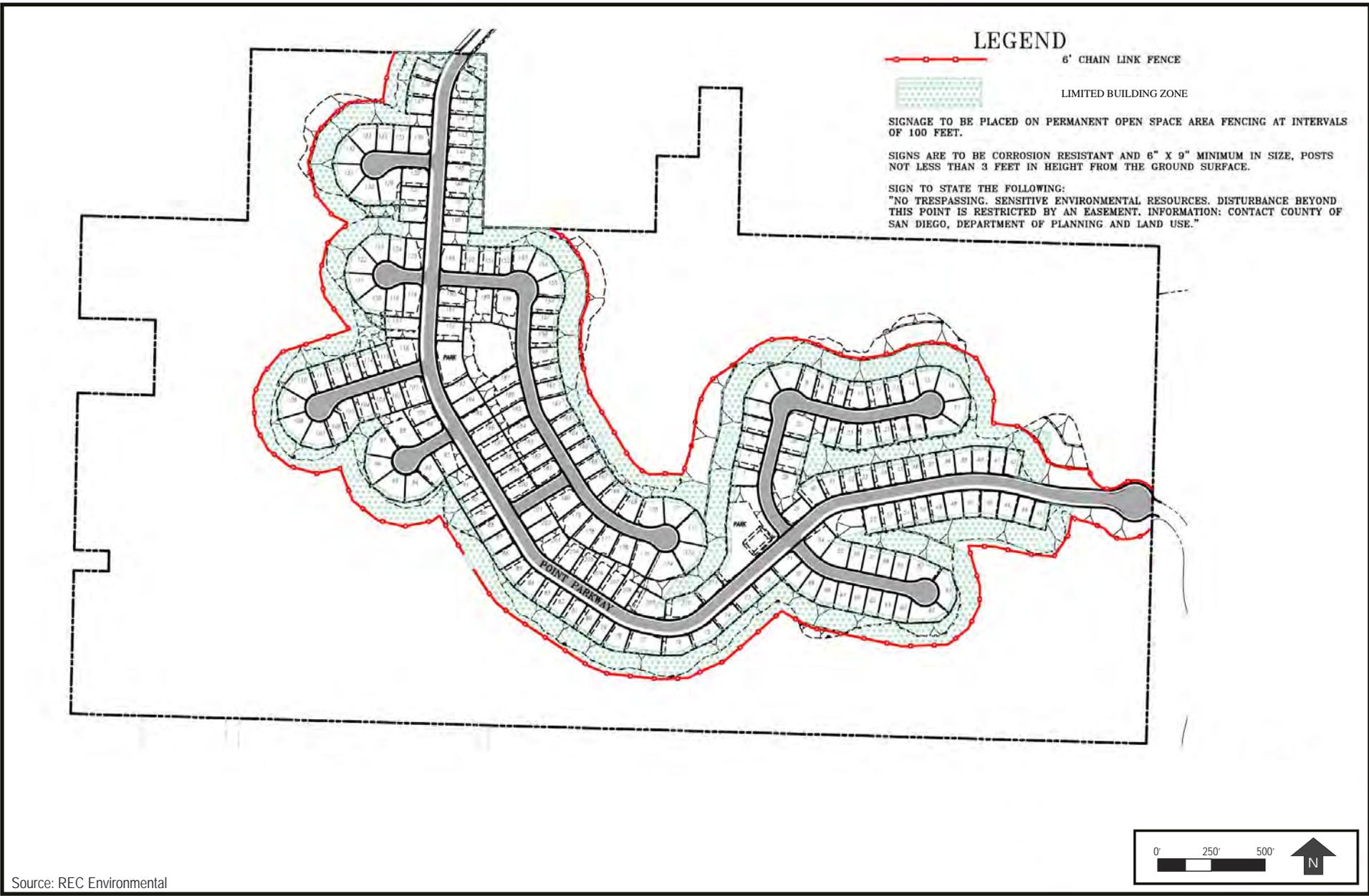
Consultants, Inc.

REVISIONS	BY	DATE	DESCRIPTION

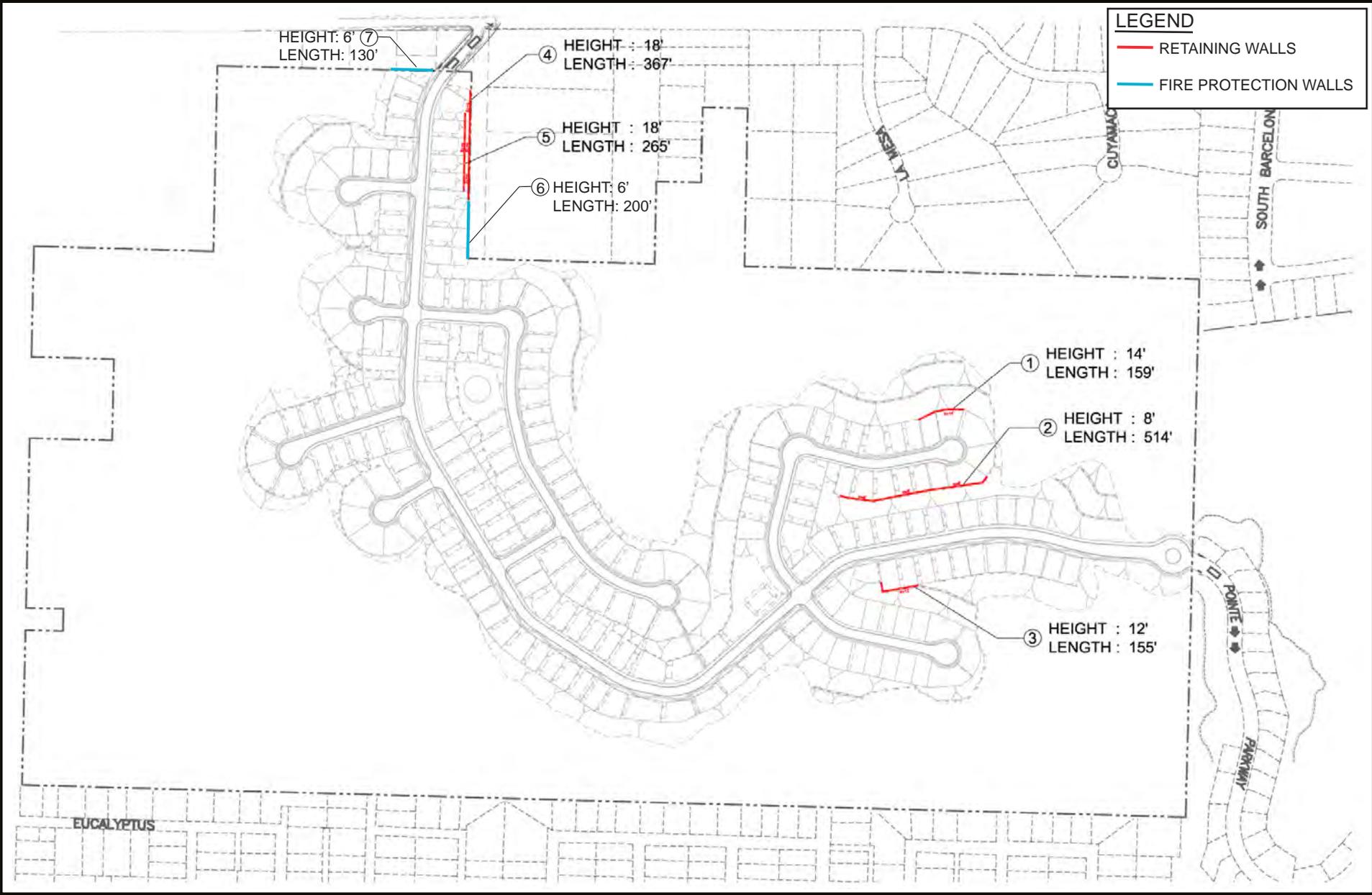
JOB NO. 379

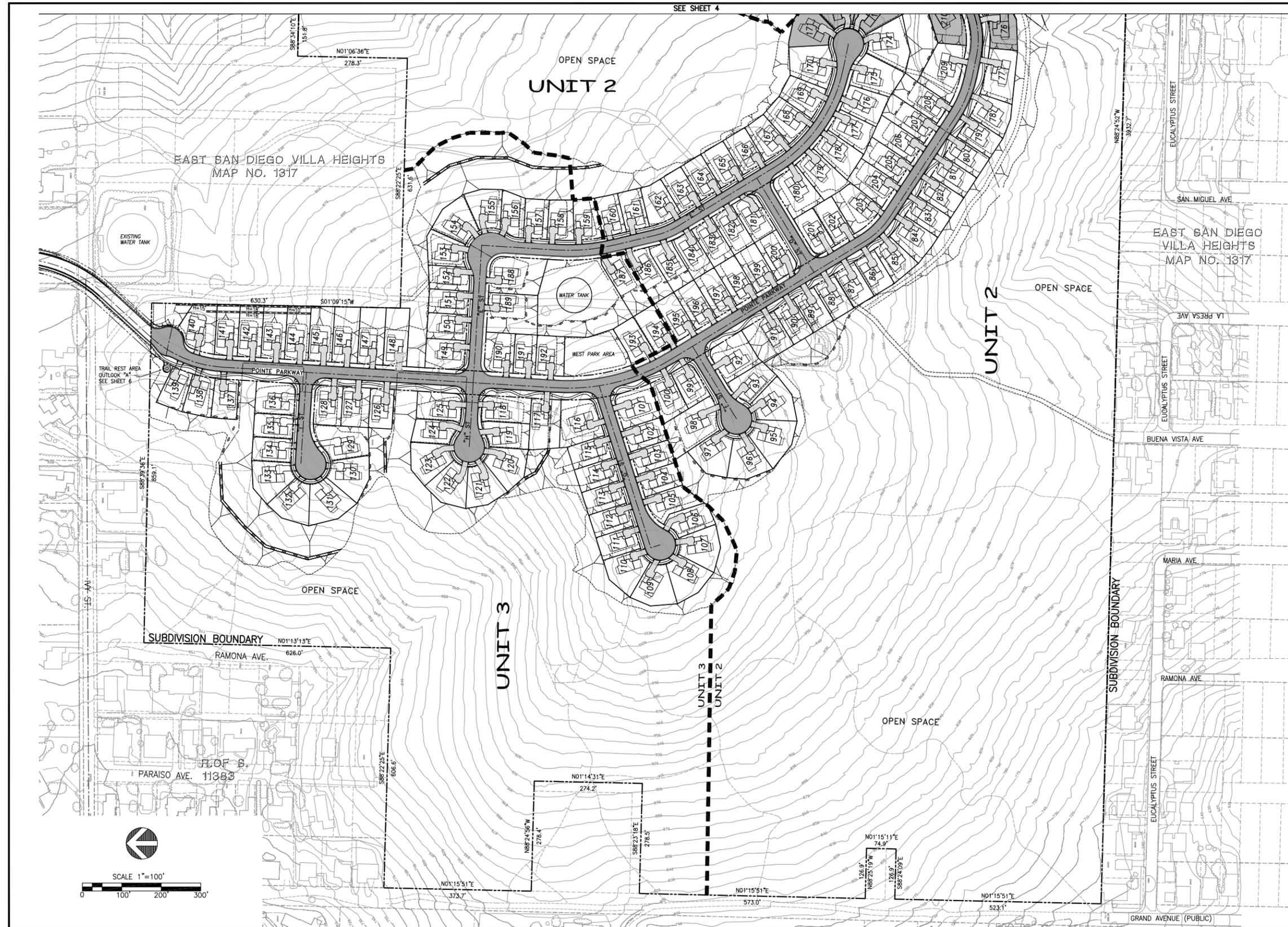
PRELIMINARY GRADING PLAN FOR
"HIGHLANDS RANCH"
COUNTY OF SAN DIEGO
TRACT NO. 5299RPL6 SFA 02-002 P02-023 ER 02-19-021

SHEET NO.
1 OF 4



Source: REC Environmental





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 2442 Second Avenue
 San Diego, CA 92101
 (619)232-9200 (619)232-9210 Fax



REVISIONS	BY	DATE	DESCRIPTION

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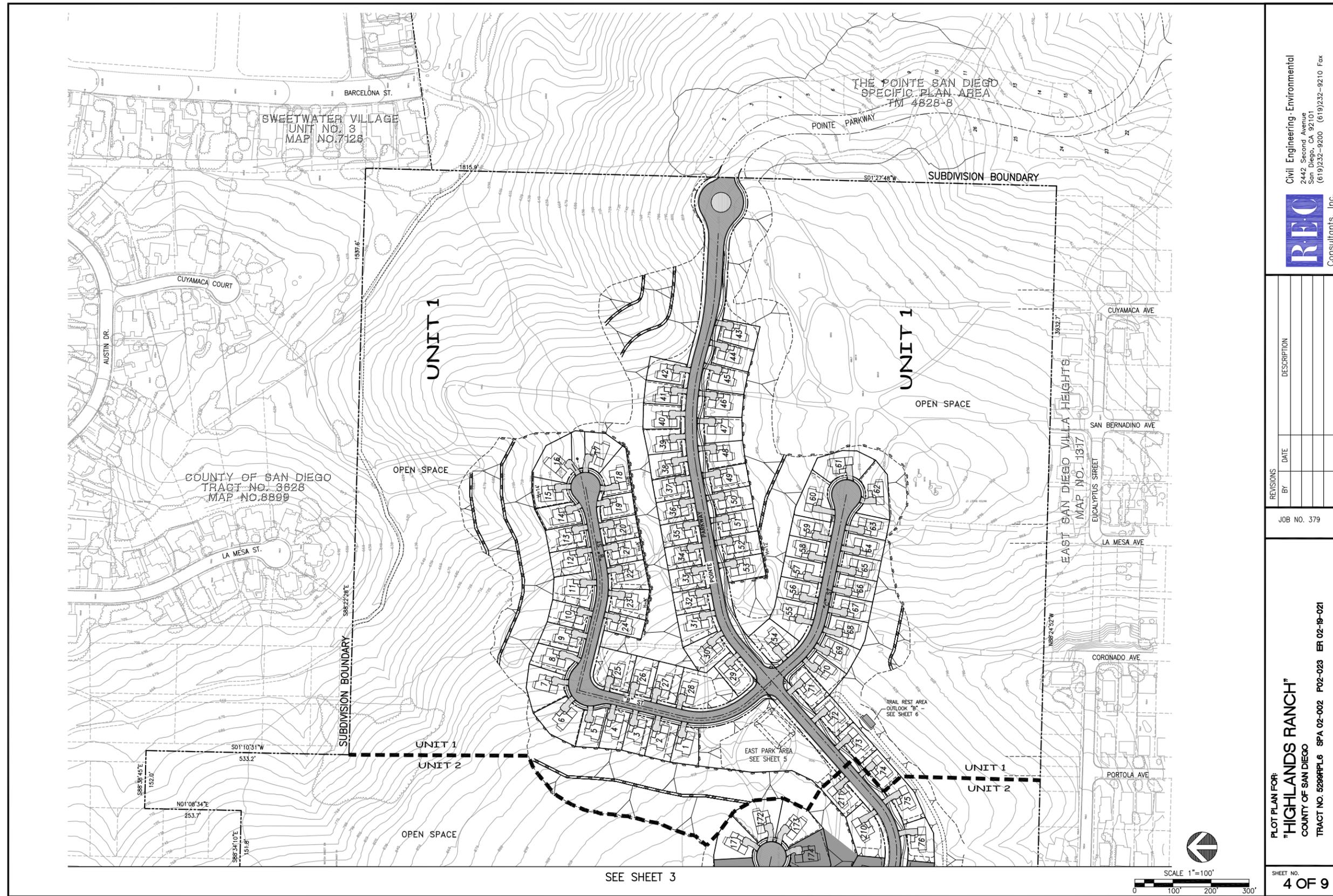
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"HIGHLANDS RANCH"
 COUNTY OF SAN DIEGO
 TRACT NO. 5298RFL6 SPA 02-002 P02-023 ER 02-R-021

SHEET NO.
3 OF 9

Source: REC Environmental

Highlands Ranch SEIR

Figure 1-14
MUP PLOT PLAN SHEET 1



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 San Diego, CA 92101
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REVISIONS	BY	DATE	DESCRIPTION

JOB NO. 379

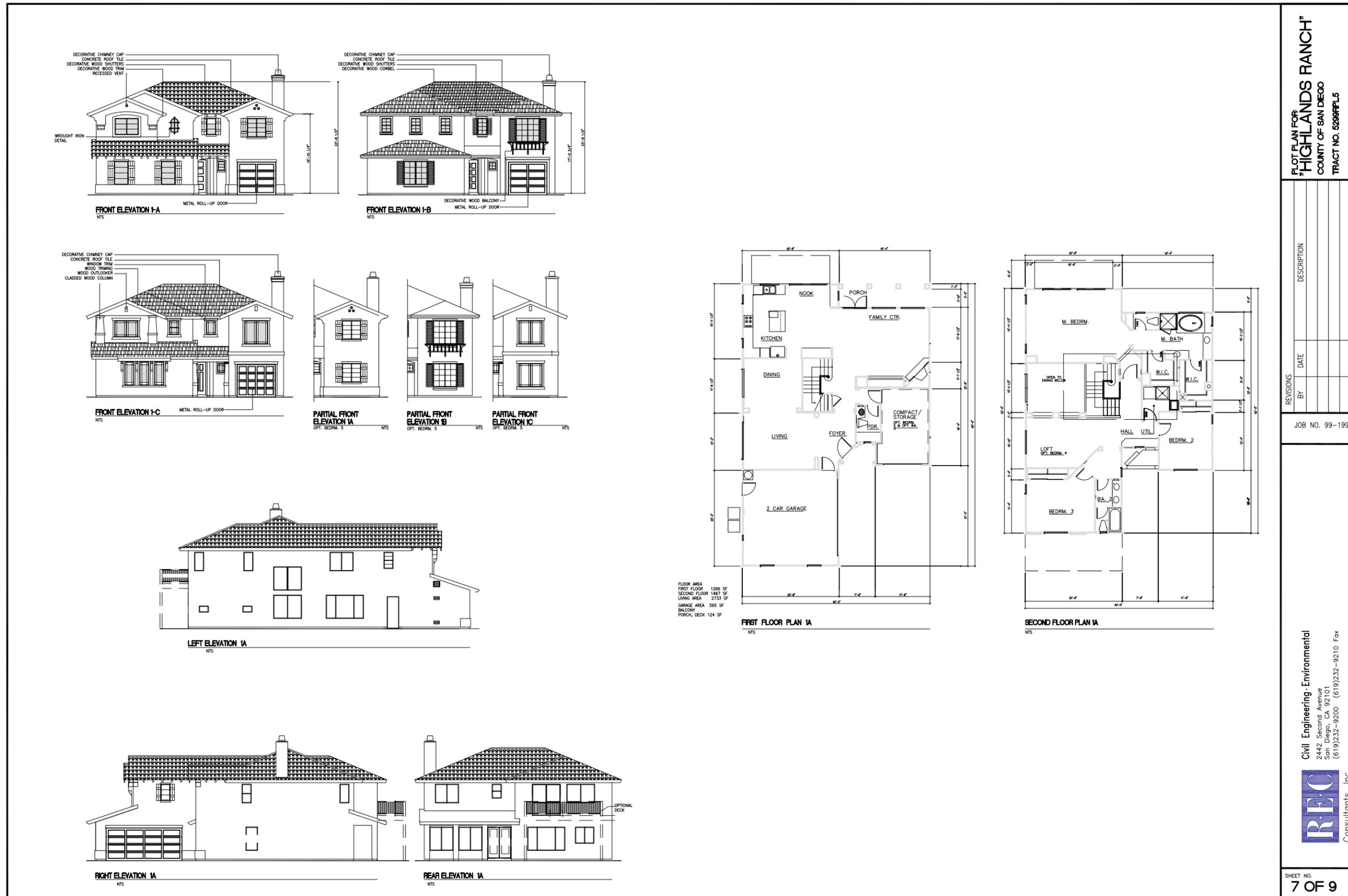
PLOT PLAN FOR:
"HIGHLANDS RANCH"
 COUNTY OF SAN DIEGO
 TRACT NO. 5299RPL6 SPA 02-002 P02-023 ER 02-19-021

SHEET NO.
4 OF 9

Source: REC Environmental

Highlands Ranch SEIR

Figure 1-15
MUP PLOT PLAN SHEET 2



Source: REC Environmental

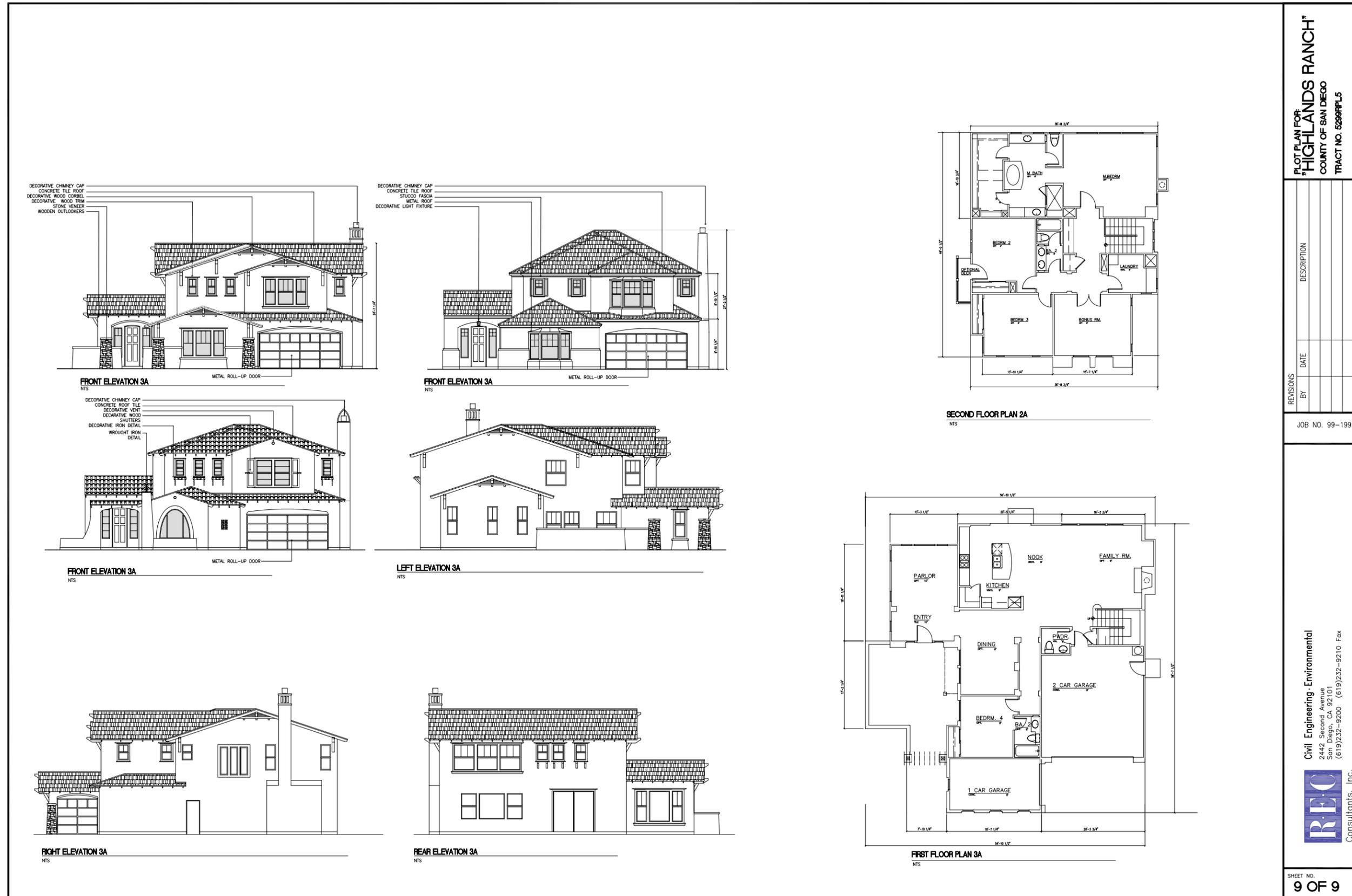
Highlands Ranch SEIR



Source: REC Environmental

Highlands Ranch SEIR

Figure 1-17
 MUP ARCHITECTURAL GUIDELINES (2 OF 3)



PLOT PLAN FOR:
HIGHLANDS RANCH
COUNTY OF SAN DIEGO
TRACT NO. 6269PPL5

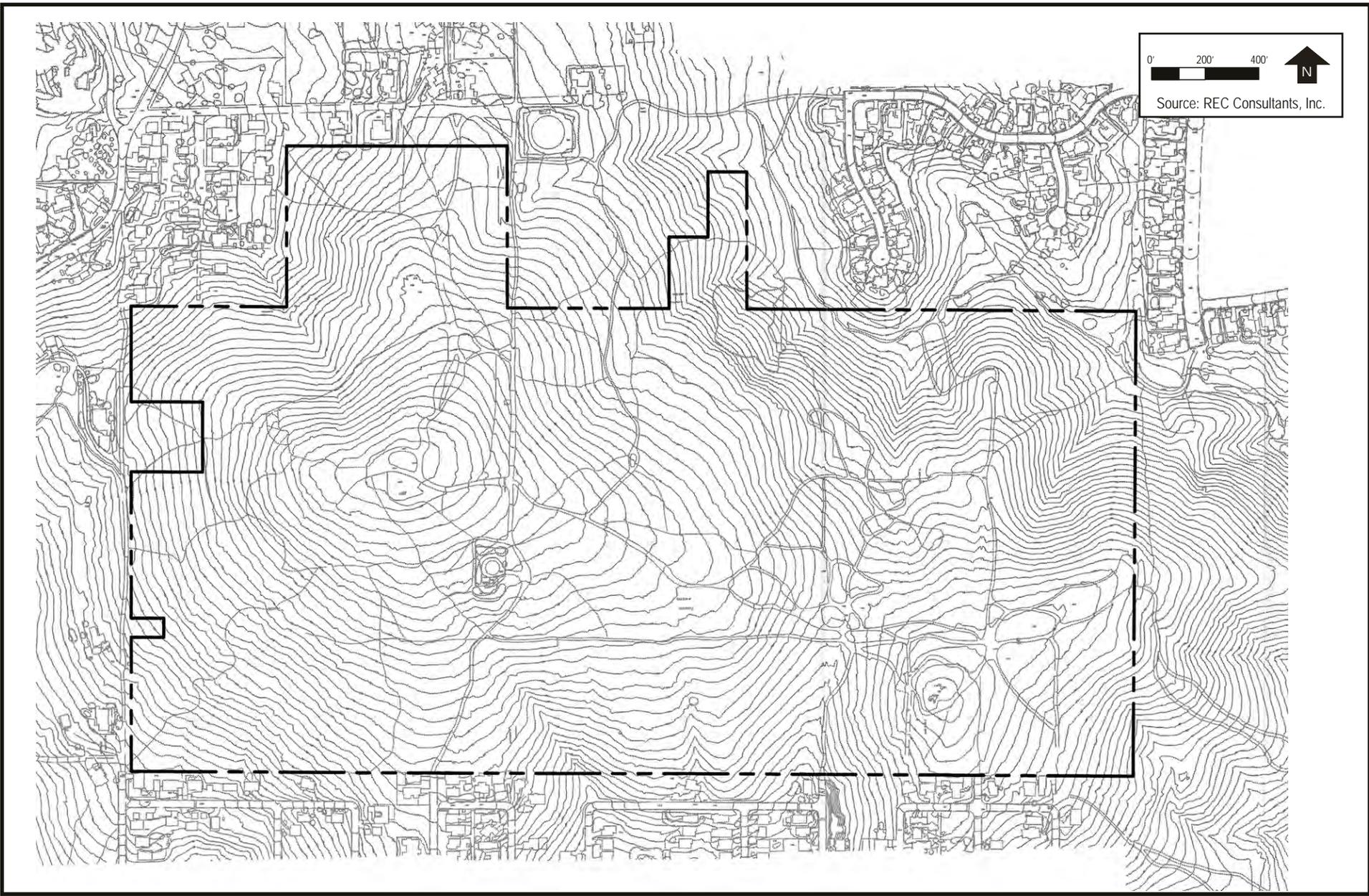
REVISIONS	BY	DATE	DESCRIPTION

JOB NO. 99-199

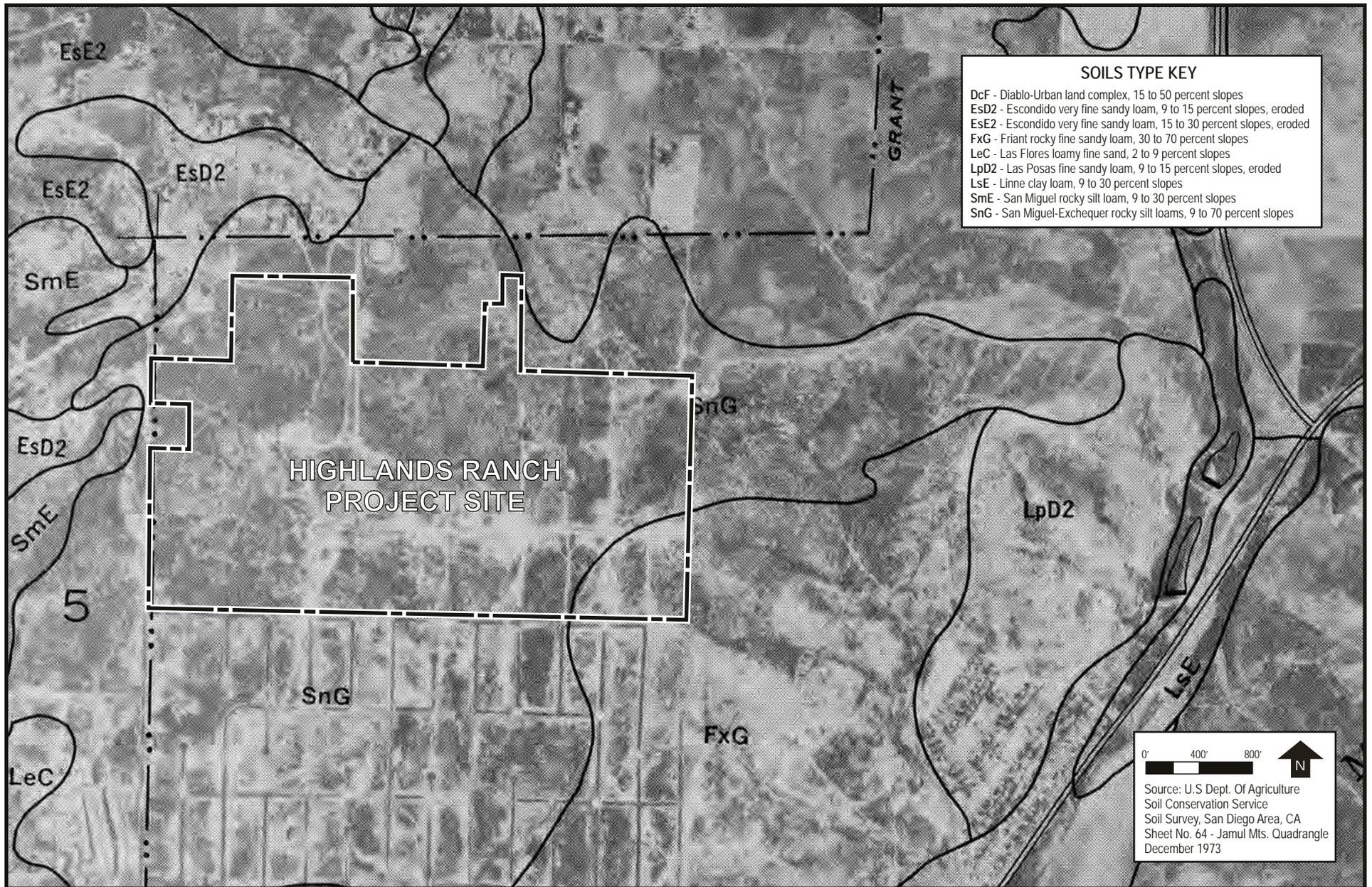
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REC
Consultants, Inc.

SHEET NO.
9 OF 9

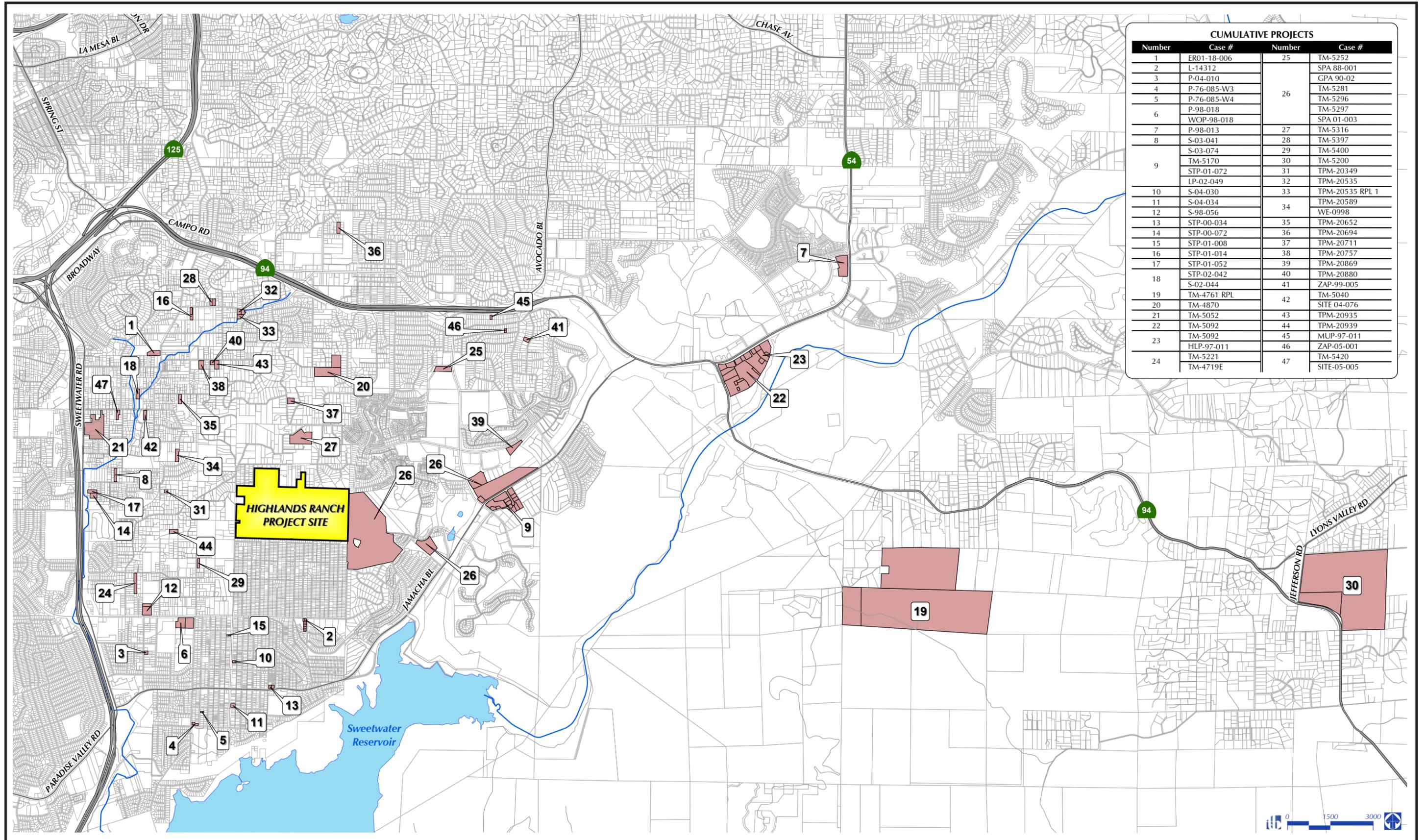






Highlands Ranch SEIR

Figure 1-21
SOIL TYPES AND LOCATIONS



Highlands Ranch SEIR

Figure 1-22
CUMULATIVE PROJECTS MAP