

PROJECT NO. S04-011/ ER 04-14-006

PROPOSED FLOOR AREA=13,176 S.F. 1STFLR.

1 ST FLOOR PLAN-A / WILLIAMS & SONS
DESIGN BY PROGRESSIVE IMAGES IN ARCHITECTURE & PLANNING

FUTURE MEZZ.=4,182 S.F.
TOTAL FUTURE AREA=17,358 S.F. TOTAL

WALL LEGEND

-  CONCRETE MASONRY WALL
-  NEW STUD WALL WITH 3 5/8" METAL STUDS 25 GAUGE @ 16" O.C. FOR STUDS UP TO 14' HIGH. STUDS OVER 14' HIGH SHALL BE 6" 20 GAUGE @ 16" O.C. WITH 5/8" GYP. OVER EA. SIDE TYPICAL. WALLS SHALL ALSO BE INSULATED WITH R-11 SOUND BATT INSULATION
-  ONE HOUR RATED WALL WITH 3 5/8" METAL STUDS 25 GAUGE @ 16" O.C. FOR STUDS UP TO 14' HIGH. STUDS OVER 14' HIGH SHALL BE 6" 20 GAUGE @ 16" O.C. WITH 5/8" TYPE 'X' GYP. OVER EA. SIDE TYPICAL. WALLS SHALL ALSO BE INSULATED WITH R-11 SOUND BATT INSULATION

- NOTE:
1. TACTILE EXIT FROM EACH ROOM TO A HALL OR CORRIDOR SHALL HAVE THE WORDS "EXIT ROUTE"
 2. EACH GRADE-LEVEL EXIT DOOR THE TACTILE EXIT SIGN SHALL HAVE THE WORD "EXIT"
 3. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL HAVE THE FOLLOWING WORDS AS APPROPRIATE: "EXIT STAIR DOWN"
 4. ALL SIGNAGE REQUIREMENTS OF SECTION III7B.5 WILL BE SATISFIED.
 5. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL ALSO BE PROVIDED AND SHALL BE ACCOMPANIED BY BRALLIE. SECTION III7B.5
 6. ALL ACCESSIBLE COUNTERS SHALL BE 28" TO 34" ABOVE F.F. AND BE AT LEAST 36" WIDE SURFACE.



SCALE: 1/8" = 1'-0"

BLDG. DEPT.	2-6 07
DATE	2-18-07
BY	BWS
NO.	200710



GRADING NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD OR HIGHWAY FOR COUNTY ROAD PURPOSES.
- FINAL APPROVAL OF THIS GRADING PLAN IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THIS PLAN.
- IMPORT MATERIALS SHALL BE OBTAINED FROM A LEGAL SITE.
- A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
- ALL SLOPES OVER 3 FEET IN HEIGHT WILL BE PLANTED IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
SAN DIEGO GAS & ELECTRIC 1-800-428-4133
PACIFIC BELL TELEPHONE 1-800-428-4133
COK CITY 1-800-428-4133
WINTER GARDENS SANITATION 1-800-428-4133
HILLX WATER DISTRICT 1-800-428-4133
- A SOILS REPORT MAY BE REQUIRED PRIOR TO RESUMANCE OF A BUILDING PERMIT.
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNERS PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE DIRECTOR OF PUBLIC WORKS' APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO MATTER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS MADE OR IMPLIED (SECTION 1807 AND 1807.01), ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND LAND USE.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE UNLOADING, STORAGE, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 5:00 A.M. AND 8:00 P.M. EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
- ALL MAJOR SLOPES SHALL BE RECONSTRUCTED INTO EXISTING TERRAIN TO PRODUCE A CONTIGUOUS TRANSITION FROM CUT OR FILL PASSES TO NATURAL GROUND AND ADJUTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJACENT PUBLIC STREET, SIDEWALK ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-COMPLIANCE IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS:**
CUT - 1 1/2:1 FOR MINOR SLOPES; 2:1 FOR MAJOR SLOPES.
FILL - 2:1
EXCAVATION - C.Y. FILL - C.Y. WASTE/IMPORT - C.Y.
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR EITHER WASTE OR IMPORT AREAS.)
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO. ALL GRADING DETAILS WILL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARD DRAWING 25-B, 05-10 DS-11, 0-76.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

EARL PENNY, R.C.E. 20216 EXP. 9-30-06
309 W. DOUGLAS AVE.
EL CAJON, CA 92020
PH: (619) 444-8805



Earl Penny
DATE 9-11-02

SOILS ENGINEER'S STATEMENT

I, CLIFF LAMONTE, A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA, PRINCIPALLY DOING BUSINESS IN THE FIELD OF APPLIED SOIL MECHANICS, HEREBY VERIFY THAT A SAMPLING AND STUDY OF THE SOIL CONDITIONS PREVALENT WITHIN THIS SITE WAS MADE BY ME OR UNDER MY DIRECTION BETWEEN THE DATES OF _____ AND _____.

ONE COMPLETE COPY OF SOILS REPORT COMPILED FROM THIS STUDY, WITH OUR RECOMMENDATIONS, HAS BEEN SUBMITTED TO THE OFFICE OF THE COUNTY ENGINEER. THESE GRADING PLANS HAVE BEEN REVIEWED BY ME OR UNDER MY DIRECTION AND CONFORM TO THE RECOMMENDATIONS MADE IN THE SOILS REPORT.

SIGNED: _____ DATE: _____
CLIFF LAMONTE R.C.E. 28241 EXP. 12-31-05
ADDRESS: 4380 PALM AVENUE, LA MESA, CA. 91941
PHONE NO. 619-482-8081



WORK TO BE DONE

GRADING AND DRAINAGE WORK CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT SAN DIEGO AREA REGIONAL STANDARD DRAWINGS, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1987 EDITION AND PER THE SAN DIEGO COUNTY GRADING ORDINANCE.

ITEM	SDRSD NO.	SYMBOL
GRADING		1 1/2:1 CUT SLOPE 2:1 FILL SLOPE
BROW DITCH	D-75	→ →
CATCH BASIN - TYPE I	D-39	□
12"x12" OAKH BASKET 1/2" PCD DOWN DRAIN	SEE DETAIL	□
GRAVEL BAGS		▨
SILT FENCE		□ □
STABILIZED CONSTRUCTION ENTRANCE		▨
SLOPE STABILIZATION		▨
PAD STABILIZATION		▨
RETAINING WALL	C-4	— — —
STORM DRAIN	D-60	— — —
CURB INLET TYPE C	D-3	□
DRAINAGE PATTERN	1 & MARK	— — —
DAY-LIGHT LINE		— — —
P.C.C.		— — —
PROPOSED CONTOURS		— — —
PROPERTY LINE		— — —
AD BERM		— — —
EXISTING CONTOURS		— — — 250
		FINISH FLOOR ELEVATION F F
		F.P. = FINISH PAD ELEVATION
		PAD ELEVATION = (SLOPE)

NOTE: THE PROPOSED HVAC UNITS ARE 5 TON CARRIER MECHANICAL HVAC UNITS OR EQUIVALENT SIZED UNITS WITH A SINGLE UNIT SOUND POWER LEVEL OF 81 DB. SEE MANUFACTURER'S SPECIFICATIONS FOR SOUND LEVEL MEASUREMENTS IN THE QUIETESTLY OPERATING NOISE REPORT DATED JUNE 21, 2007.

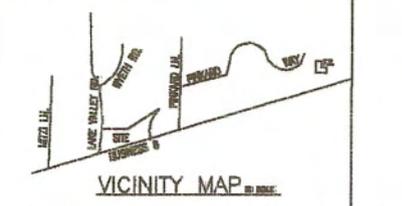
EARTHWORK QUANTITIES:
PHASE 1: CUT 0 C.Y.
FILL 4100 C.Y.
PHASE 2: CUT 0 C.Y.
FILL 3800 C.Y.

SOLAR STATEMENT

THIS IS A SOLAR SUBDIVISION AS REQUIRED BY SECTION 81.401(D) SUBDIVISION ORDINANCE. ALL LOT HAVE AT LEAST 100 S.O. FT. OF UNOBSTRUCTED ACCESS TO SUN LIGHT ON BUILDABLE PORTION OF THE LOT.

By: Earl Penny 11-15-04
EARL PENNY, R.C.E. 20216 EXP. 9-30-06 DATE

THOMAS BROS. 1832-FS
ADDRESS: 13794 HIGHWAY 80



OWNER/PERMITTEE
TODD WILLIAMS
8331-A WINTER GARDENS
LAKESIDE, CA 92040
TELEPHONE 619-443-1761

ENGINEER OF WORK
EARL PENNY R.C.E. 20216
309 WEST DOUGLAS AVE.
EL CAJON, CA 92020
PH: (619) 444-8805
FAX: (619) 444-8808

LEGAL DESCRIPTION
PORTION OF LOT B, BLOCK 47, SUBDIVISION OF "B" TRACT OF RANCHO EL CAJON PER MAP BY M.G. WHEELER FILED IN SAN DIEGO COUNTY IN BOOK 170, PG 71 OF DEEDS.

- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
A. SAN DIEGO GAS AND ELECTRIC
B. PACIFIC BELL TELEPHONE
C. THE LOCAL CABLE TELEVISION SERVICE COMPANY
D. THE LOCAL SMOKE UTILITY; AND
E. THE LOCAL WATER UTILITY.
- A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL THAT IS OVER 12 INCHES IN DEPTH. FORM EXP./CO/73 CERTIFICATION OR FILL COMPACTION AND THREE (3) COPIES OF THE COMPACTION REPORT FILLED OUT BY A REGISTERED ENGINEER, ARE TO BE SUBMITTED AFTER THE GRADING HAS BEEN DONE.
- ALL GRADING SHALL BE SUPERVISED BY A REGISTERED CIVIL ENGINEER.
- THE FACE OF ALL CUT AND FILL SLOPES IN EXCESS OF 3 FEET VERTICAL HEIGHT SHALL BE PLANTED AND MAINTAINED WITH A GRASS COVER OR OTHER PLANTING TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY.
A. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED.
B. ALL PLANTING MUST HAVE PERMANENTLY INSTALLED IRRIGATION SYSTEM.
C. ALL PLANTING MUST BE FULLY ESTABLISHED BY OCTOBER 1 OR ARGUMENTED BY INSTALLATION OF APPROVED BEST MANAGEMENT PRACTICES (BMP'S). FULLY ESTABLISHED MEANS NO BARE GROUND ON PLANTED SLOPES.
D. IF HYDROSEEDING IS USED, AN EROSION CONTROL MATX MUST BE SPECIFIED.
E. THE BUILDING PERMIT WILL NOT BE ISSUED UNTIL SLOPES ARE PROTECTED FROM EROSION BY PLANTING OF OTHER METHOD OF EROSION CONTROL APPROVE BY THE BUILDING OFFICIAL.
- THE SEWER IMPROVEMENTS SHOWN ON THIS PLAN ARE CONCEPTUAL ONLY AND SHALL NOT BE CONSTRUCTED PER THIS PLAN.

SITE ADDRESS

OLD HIGHWAY 80

OWNERS CERTIFICATE

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PUBLIC WORKS DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF IMPROVEMENTS.

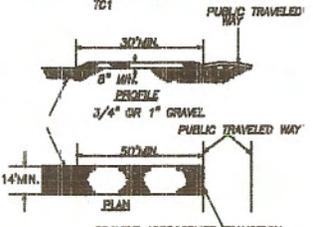
I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING COUNTY RIGHT-OF-WAY WITHIN 90 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, RESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

TODD WILLIAMS
8331-A WINTER GARDENS
LAKESIDE, CA 92040
TELEPHONE: 619-443-1761

APN. 998-280-14,22

WATER DISTRICT HELIX WATER DISTRICT REVIEWED BY: _____ DATE: _____ JOB NUMBER: _____	LAKESIDE FIRE PROTECTION DIST. APPROVED BY: _____ SIGNATURE: _____ DATE: _____	PERMITS REZONE PERMIT NO. _____ SPECIAL USE PERMIT NO. _____ TENTATIVE MAP NO. _____	PRIVATE CONTRACT SHEET 1 OF 3 SHEETS COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS GRADING PLANS FOR: WILLIAMS OFFICES CALIFORNIA COORDINATE INDEX: 246-1803
SEWER DISTRICT WINTER GARDENS SEWER DISTRICT 25832	COUNTY APPROVED CHANGES NO. _____ DESCRIPTION: _____ APPROVED BY: _____ DATE: _____	BENCH MARK DESCRIPTION: U.S.G.S 1" CHISELED SQUARE ON TOP OF CONCRETE THERMAL WALL LOCATION: INTERSECTION OF WHEELER BL & E. LAKESIDE DRIVE AT CORNER OF CORNER ON NORTH SIDE OF WHEELER RECORD FROM: SAN DIEGO COUNTY B.L. DOUGLAS U.S.G.S. ELEVATION: 806.316 DATUM: U.S.G.S.	APPROVED: _____ COUNTY ENGINEER DATE: 11-15-04 SIGNATURE: Earl Penny EXP. 9-30-06 REVISION POINT NO: L-

STABILIZED CONSTRUCTION ENTRANCE
TC1



PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC TRAVELED WAY

LEGEND

GRAVEL BAGS SC 6-8

SILT FENCE SC1

STABILIZED CONSTRUCTION ENTRANCE TC1

PAD STABILIZATION

PAD STABILIZATION NOTES

FLAT AREAS OF LESS THAN 5% (LIKE BUILDING PADS, PARKING AREAS, LEACH FIELDS) SHALL HAVE 100% PROTECTION USING GEOTEXTILES, MATS (SS-7 OR ES220), OR OTHER MATERIAL APPROVED BY THE COUNTY FOR STABILIZING SLOPES, OR USING TRENCHING AND SOIL STABILIZATION METHODS (SS-1), TEMPORARY SEEDING (SS-4), COUNTY FOR STABILIZING SLOPES, OR USING MULCH/WOOD CHIPS (SS-3, SS-6, SS-8) OR WIRE MATTING (SS-7). THE COUNTY MAY WAIVE THIS REQUIREMENT FOR FLAT AREAS AND THE BELOW REQUIREMENT, PROVIDED FULL SEDIMENT CONTROL IS PROVIDED THROUGH CONSTRUCTED AND MAINTAINED REGULATION BASINS (SC-2) AT ALL PROJECT DISCHARGE POINTS.

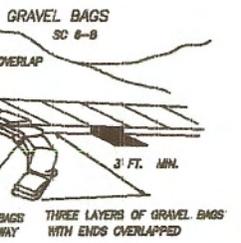
STABILIZED FIBER MATRIX (BFM)

THE USE OF SFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

1. SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 3 HORIZONTAL OR SHALLOWER, INCLUDING PAD AND SEPTIC FIELD AREAS.
2. THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLIED FROM MULTIPLE DIRECTIONS AND ANGLES).
3. THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND OR DIVERSION BERMS AT TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE PROTECTED SLOPE.
4. FOR PERMANENT EROSION CONTROL PURPOSES, SFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION OR HARD PLANTINGS AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL FOR VEGETATION ESTABLISHMENT.
5. COVERAGE AND CONCENTRATION: FOR EACH ACRE COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 10 GALLONS NON-TOXIC WATER SOLUBLE SEA-SALT POLYMER (E.G. POLYACRYLAMIDE) AND GUMMERS TO PREVENT EROSION, AND FLOCCULATE (CLUMP) SEDIMENT.
6. A LETTER FROM HYDROSEED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH APPROVED APPLICATION RATES, COVERAGE AND MAINTENANCE SCHEDULE SHALL BE SUBMITTED TO THE COUNTY INSPECTOR FOR APPROVAL.

STORM WATER PROTECTION NOTES

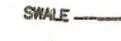
1. DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL LOCATED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL BE OBTAINED AND MAINTAINED TO INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
2. NO AREA BEING DISTURBED SHALL SHALL EXCEED 50 ACRES AT ANY ONE TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY DWP DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY, THE MAINTENANCE OF THE BMP'S IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL AND MAINTAIN THE BMP'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMP'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATIVE WITHIN 24 HOURS OR AS SOON AS SAFE TO DO SO.



SILT FENCE
SC1



SILT FENCE BMP SC-1

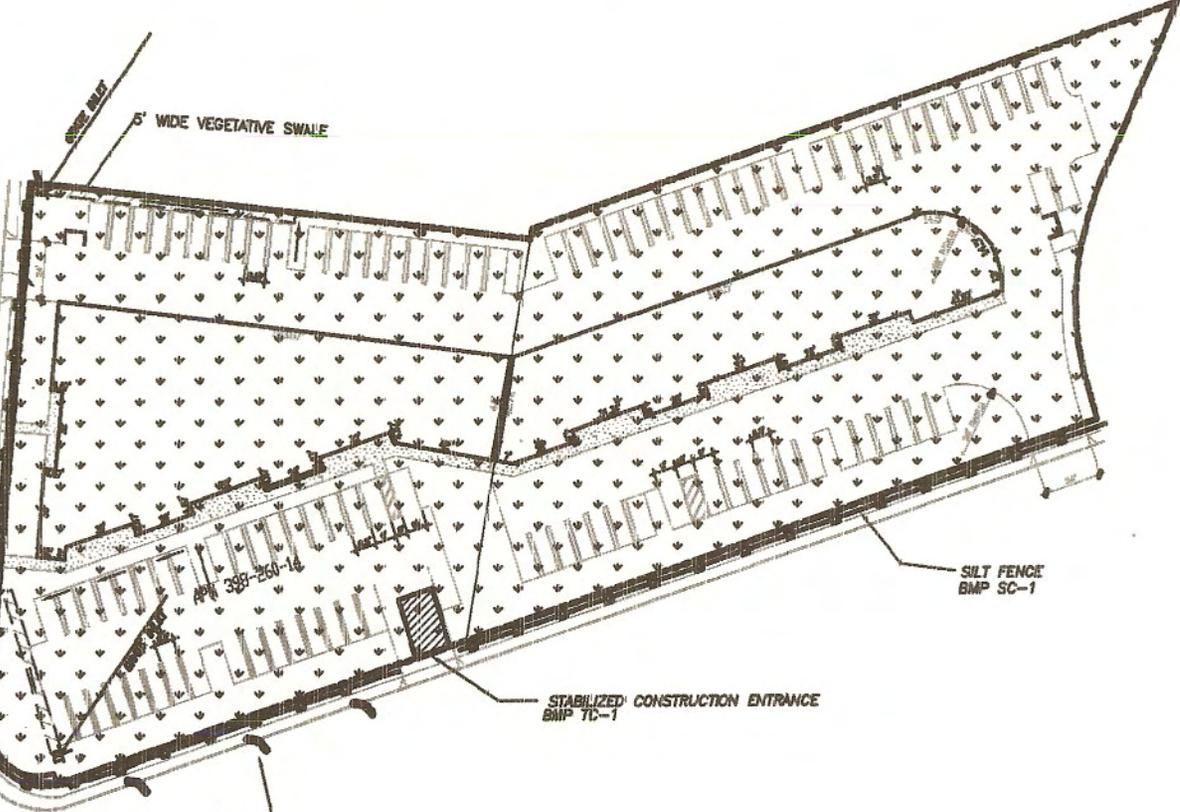


SWALE



SPECIFIC CONDITIONS:

4. THE PROPERTY OWNER MUST ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THIS INCLUDES REQUIREMENTS FOR MATERIALS AND METHODS CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON THE PROJECT SITE.
5. THE PROPERTY OWNER SHALL REPAIR, RESTORE AND/OR REPLACE WITH ACCEPTABLE ALTERNATES, ALL OR PORTIONS OF THE INSTALLED BMP'S THAT FAIL. FAILURE TO PROPERLY INSTALL AND MAINTAIN THE BMP'S WILL RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHER AGENCIES. THE MINIMUM PERFORMANCE GOALS FOR THE POST-CONSTRUCTION BMP'S TO CONTROL POLLUTION FROM THE PROJECT ARE NO NET INCREASE IN POLLUTANTS ABOVE PRE-CONSTRUCTION LEVELS. THE DEVELOPER SHALL INSTALL GROUPE/OIL TRAPS OR OTHER FILTRATION SYSTEMS TO COLLECT POLLUTANTS IN ALL THE STORM DRAIN INLETS. SOURCES OF POTENTIALLY SIGNIFICANT POST-CONSTRUCTION POLLUTANT LOADS SHALL BE IDENTIFIED AND THE INTRODUCTION OF POLLUTANTS FROM THESE SOURCES INTO STORMWATER AND NON-STORMWATER DISCHARGES SHALL BE PREVENTED OR REDUCED TO THE MAXIMUM EXTENT PRACTICABLE. POST-CONSTRUCTION POLLUTANT LOADS IN STORMWATER AND NON-STORMWATER DISCHARGES SHALL NOT CAUSE OR CONTRIBUTE TO THE DEGRADATION OF RECEIVING WATERS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS. POST-CONSTRUCTION PEAK RUNOFF FLOW RATES AND VELOCITIES FROM THE PROJECT SITE SHALL BE MAINTAINED AT LEVELS WHICH WILL NOT CAUSE OR CONTRIBUTE TO THE SCOURING OR EROSION OF RECEIVING WATERS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS (WETLANDS, VERNAL POOLS, ETC.) ABOVE PRE-DEVELOPMENT RATES. POST-CONSTRUCTION MINIMUM RUNOFF FLOW RATES, VELOCITIES, AND VOLUMES FROM THE PROJECT SITE SHALL BE MAINTAINED AS NECESSARY TO PREVENT THE DEGRADATION OF RECEIVING WATERS, OTHER ENVIRONMENTALLY SENSITIVE AREAS, OR FLOW-DEPENDENT BMP'S (E.G., CONSTRUCTED WETLANDS, ETC.). BMP'S WHICH INCORPORATE NATURAL SYSTEMS OR APPROACHES (E.G., CONSTRUCTED WETLANDS, RESTORATION OF EXISTING HABITAT, INCLUSION OF NATURAL BUFFER ZONES, ETC.) SHALL BE CONSIDERED AND SHALL BE UTILIZED TO THE MAXIMUM EXTENT PRACTICABLE. POST-CONSTRUCTION STRUCTURAL BMP'S SHALL BE OPERATED AND MAINTAINED TO ENSURE THEIR LONG-TERM FUNCTIONING AS DESIGNED.

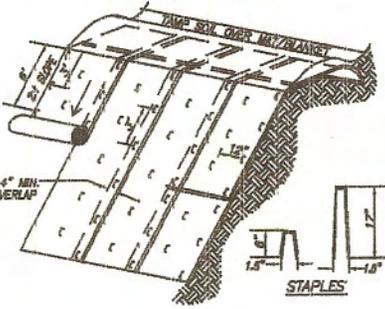


SLOPE STABILIZATION

USE EITHER ONE OF THE CHOICES BELOW OR SHOW BOTH OPTIONS AND LET CONTRACTOR CHOOSE

GEOTEXTILE MAT OR BONDED FIBER MATRIX (BFM)

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE



SILTATION AND SEDIMENT CONTROL MEASURES NOTE:

1. THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEANED TO DESIGN CONTOURS AFTER EVERY RUNOFF - PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL ESTABLISHED ON ALL ERODIBLE SLOPES.
2. SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE COUNTY ENGINEER.
3. UTILITY TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH GRAVEL BAGS FROM TOP OF PIPE TO TOP OF DIKE.
4. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH DOUBLE ROWS OF GRAVEL BAGS WITH A TOP ELEVATION THAT IS TWO GRAVEL BAGS BELOW THE GRADED SURFACE OF THE STREET. GRAVEL BAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN GRAVEL BAG BLOCKINGS SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE BUT SHALL NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	200 FEET MAXIMUM
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

5. AFTER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PREVENT OVER CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT THE CENTERLINE OF A CROWNED STREET.
6. ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAWING INTO THE STREET.
7. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 5%	50 FEET
OVER 5%	25 FEET

8. PROVIDE VELOCITY CHECK DAMS IN ALL PAVED STREET AREAS ACCORDING TO INTERVALS INDICATED BELOW. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF GRAVEL BAGS, TIMBER OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE COUNTY ENGINEER AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. VELOCITY CHECK DAMS MAY ALSO SERVE AS SEDIMENT TRAPS.
- | GRADE OF STREET | INTERVAL | NO. OF BAGS |
|-----------------|----------------------|-------------|
| LESS THAN 2% | AS REQUIRED 200' MAX | 1 |
| 2% TO 4% | 100 FEET | 1 |
| 4% TO 6% | 50 FEET | 1 |
| 6% TO 10% | 30 FEET | 2 |
| MORE THAN 10% | 25 FEET | 2 |

9. PROVIDE A GRAVEL BAG SILT BASIN OR TRAP BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
10. GRAVEL BAGS AND ALL MATERIAL SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
11. ALL EROSION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RAINFALL-PRODUCING STORM. IF POSSIBLE, MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
12. PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOWS THAT MAY BE ANTICIPATED FROM DENuded SLOPES, OR FROM IMPROVED SURFACES.
13. ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE AGENCIES:
 - (1) COUNTY ENGINEER, DEPARTMENT OF SANITATION AND FLOOD CONTROL, OFFICE OF ENVIRONMENTAL MANAGEMENT, ETC.

BFM NOTES

- APPLICATION RATES SHALL BE 3500 POUNDS PER ACRE MAXIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- THE SITE MUST BE PROTECTED WITH BROW DITCHES AND / OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLICATION FROM MULTIPLE ANGLES).
- FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION.
- A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE BFM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO COUNTY INSPECTOR FOR APPROVAL.

PRIVATE CONTRACT

SHEET 3	COUNTY OF SAN DIEGO	3 SHEETS
DEPARTMENT OF PUBLIC WORKS		
LANDSCAPE & EROSION CONTROL PLAN		
WILLIAMS OFFICES		
CALIFORNIA COORDINATE INDEX: 246-1803		

COUNTY APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE

PERMITS

REZONE PERMIT NO.	NONE
SPECIAL USE PERMIT NO.	NONE
TENTATIVE MAP NO.	NONE

BENCH MARK

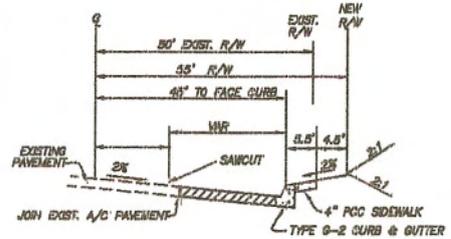
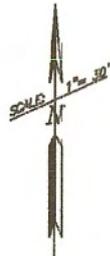
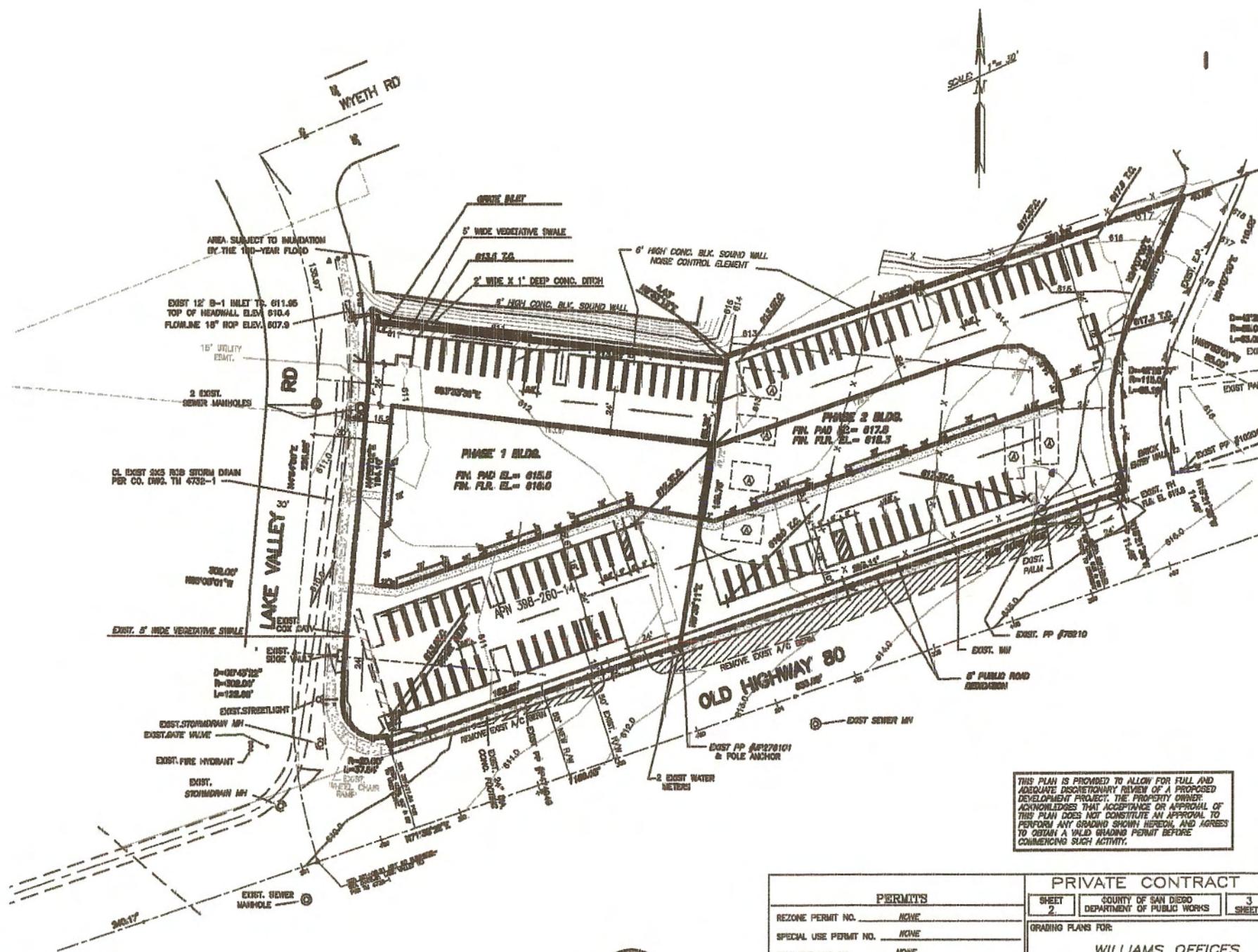
DESCRIPTION:	U.S.G.S. 1" CHASED SQUARE ON TOP OF CONCRETE TIE-BOLTS
LOCATION:	INTERSECTION OF HIGHWAY 20 & E LAKEMAN DRIVE AT CONC. BOX CULVERT ON NORTH HEADWALL
RECORD FROM:	SAN DIEGO COUNTY B.M. 0606-2 U.S.G.S.
ELEVATION:	808.318 DATUM: U.S.G.S.

APPROVED BY: [Signature] COUNTY ENGINEER

DATE:	
PROJECT NO.:	
DRAWING NO.:	L-

LEGEND

- 1 1/2:1 CUT SLOPE: TOP BMP C0249 TOE BMP C025
- 2:1 FILL SLOPE: TOP BMP C0249 TOE BMP C025
- EXISTING CONTOURS: 270
- PROPOSED CONTOURS: 270
- DAY-LIGHT LINE:
- PROPERTY LINE:
- EASEMENT LINE:
- T.C.#1:
- CATCH BASIN PER D-29 W/POSSIL FILTER:
- LOT DRAINAGE (TYPICAL):
- EXIST. BUILDING TO BE REMOVED:
- EXIST. FENCES TO BE REMOVED:



THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN A VALID GRADING PERMIT BEFORE COMMENCING SUCH ACTIVITY.

OWNER/PERMITTEE
 TODD WILLIAMS
 2831-A WINTER GARDENS
 LAKESIDE, CA 92040
 TELEPHONE 619-443-1731

ENGINEER OF WORK
 EARL PENNY R.C.E. 20216
 306 WEST DOUGLAS AVE.
 EL CAJON, CA 92020
 PH: (619)444-8905
 FAX: (619)444-8903



PERMITS		PRIVATE CONTRACT	
REZONE PERMIT NO.	NONE	SHEET 2	3 SHEETS
SPECIAL USE PERMIT NO.	NONE	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	
TENTATIVE MAP NO.	NONE	GRADING PLANS FOR: WILLIAMS OFFICES	
BENCH MARK		CALIFORNIA COORDINATE INDEX: 248-1003	
DESCRIPTION: U.S.G.S. 1" CHISELED SQUARE ON TOP OF CONCRETE HEADWALL		APPROVED: [Signature]	
LOCATION: INTERSECTION OF HIGHWAY 80 & E. LAKEVIEW DRIVE AT CONC. BOX CULVERT ON NORTH HEADWALL		DATE: 8-31-06	
RECORD FROM: SAN DIEGO COUNTY B.M. 0208.2 U.S.G.S.		ELEVATION: 608.316 DATUM: U.S.G.S.	

SITE DATA:

SITE AREA: 1.920 AC. = 80,607 SF.
 APN - 398-260-14-22
 ZONING: C-37

BUILDING USE: CONSTRUCTION AND STORAGE

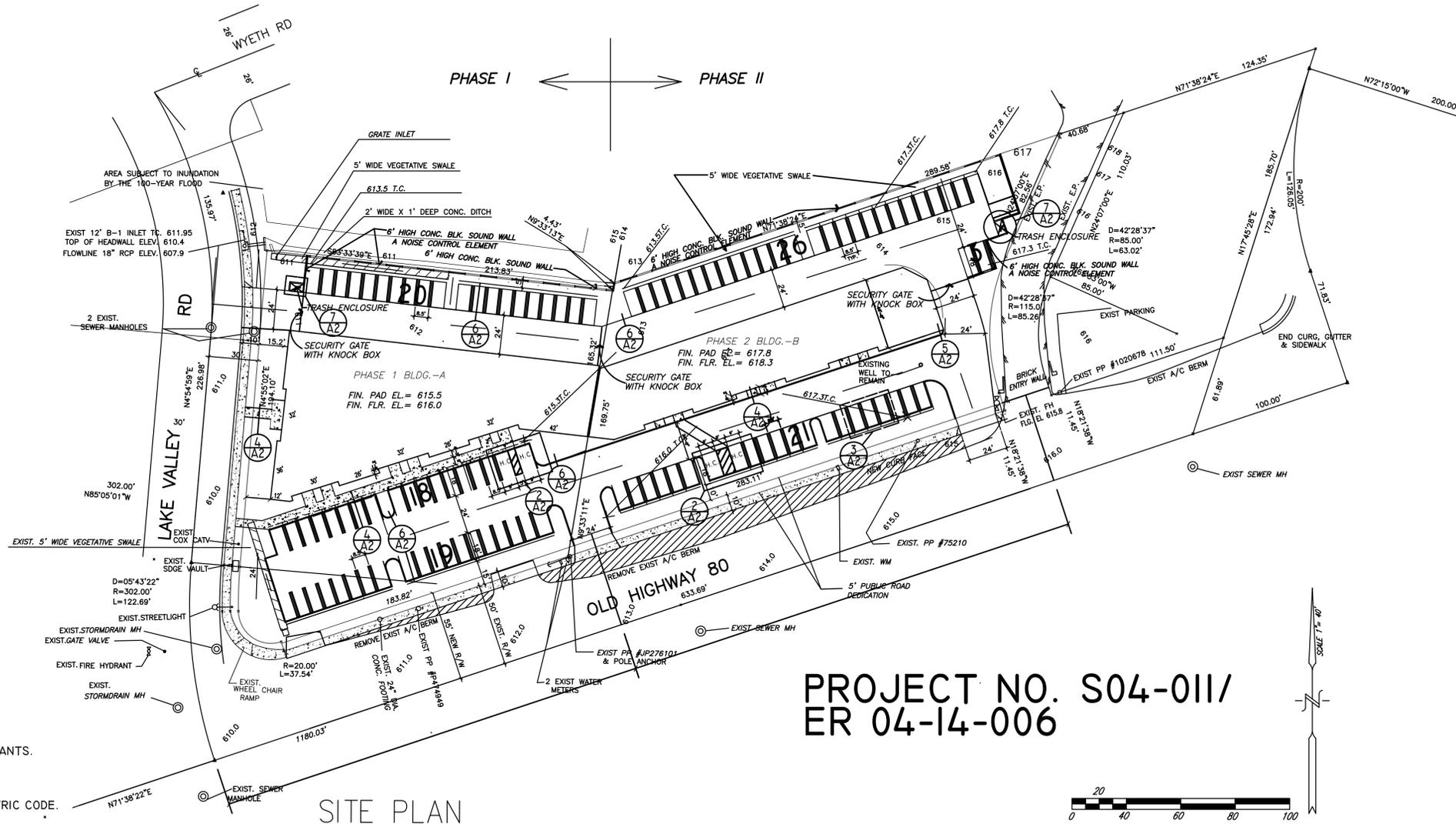
BUILDING-A PARKING : OFFICE 1/200 @ 5,200 SF =26 SP
 BUILDING-A PARKING : WAREHOUSE 1/300 @ 8,200 SF = 27 SP
 BUILDING-B PARKING : OFFICE 1/200 @ 4,000 SF =20 SP
 BUILDING-B PARKING : WAREHOUSE 1/300 @ 8,400 SF = 28 SP

TOTAL PARKING REQUIRED :101 SPACES
 TOTAL PARKING PROVIDED : 106 SPACES = 300(106)= 31,800 SF. ALLOWABLE AREA
 1ST FLOOR BUILDING-A= 13,176 SF.
 1ST FLOOR BUILDING-B = 9,241 SF.
 TOTAL FLOOR AREA = 22,417 SF/36% COVERAGE.
 TOTAL OFFICE AREA ALLOWABLE = 9,200 SF. IMPROVED
 TOTAL WAREHOUSE AREA =16,600 SF. IMPROVED
 TOTAL OFFICE AREA TO BE BUILT = 0,000 SF. IMPROVED
 FUTURE MEZZ. BUILDING-A= 4,182 SF.
 FUTURE MEZZ. BUILDING-B = 5,029 SF.

1. OUTDOOR STORAGE IS ALLOWABLE
2. THE PROPOSED HVAC UNITS AS "STON CARRIER MECHANICAL HVAC UNITS OR EQUIVALENT SIZED UNITS WITH A SINGLE UNIT SOUND POWER LEVEL OF 81 DB". SEE MANUFACTURERS SPECIFICATIONS FOR SOUND LEVEL MEASUREMENTS.
3. THE LAND USE DESIGNATION OF THE PROPERTY IS C37 AND ANY OTHER TENANTS LEASING SPACE SHALL BE AND APPROVED USE FOR THIS ZONE.

FIRE NOTES:

1. FIRE HYDRANTS TO COMPLY WITH COUNTY OF SAN DIEGO ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON SITE FIRE-HYDRANTS.
2. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. PER SECTION 901.2 .2.1 UFC.
3. PROTECTIVE SIGNALING SYSTEMS TO BE INSTALLED IN COMPLIANCE WITH THE APPROPRIATE NFPA#72 STANDARD AND THE NATIONAL ELECTRIC CODE.
4. ROOF NUMBERS TO BE INSTALLED PER LOCAL FIRE DEPARTMENT STANDARDS.
5. KNOX BOX SECURITY SYSTEM REQUIRED. LOCATION TO BE DETERMINED BY THE FIRE DEPARTMENT STAFF (PMC 15.24 AND SEC.902.4UFC)
6. PROVIDE A MIN. 5/8" CONDUIT FROM POST INDICATOR VALVE(PIV) FOR MONITORING OF TAMPER SWITCH
7. NOTE: FIRE SPRINKLER SYSTEM SHALL BE MONITORED
8. FIRE SPRINKLER RISER SHALL BE LOCATED WITHIN 10' OF AN EXTERIOR EXIT MAN DOOR OR SHALL BE LOCATED INSIDE AN ENCLOSED CLOSET WITH EXTERIOR ACCESS - MAN DOOR. DOOR SHALL BE LABELED WITH A SIGN INDICATING "FIRE SPRINKLER RISER"
9. ALL ELECTRICITY OPERATED ACCESS GATES SHALL BE EQUIPED WITH KNOX OVER-RIDE SWITCH. CONTACT THE LOCAL FIRE DEPARTMENT TO ORDER THE OPPROPRIATE HARDWARE.

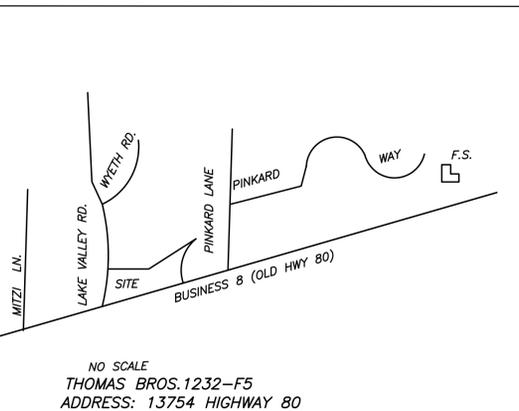


SITE PLAN

**PROJECT NO. S04-011/
 ER 04-14-006**

- SITE NOTES:**
1. ALL YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
 2. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
 3. THIS PROJECT SHALL COMPLY WITH 2001 EDITION OF THE CALIFORNIA BUILDING CODE(TITLE-24) WHICH ADOPTS THE 1997 U.B.C. 2004 EDITION OF THE CALIFORNIA BUILDING/ PLUMBING/ MECHANICAL AND THE 2004 EDITION OF THE CALIFORNIA ELECTRICAL CODE.
 4. NO HAZARDOUS MATERIALS WILL BE STORED OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES LISTED IN TABLES 3-D AND 3-E.
 5. ALL PROPERTY LINE, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.
 6. WHEN SERVING MORE THAN 100 SPINKLER HEADS, AUTOMATIC SPINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE, STATION SERVICE. OR SHALL BE PROVIDED WITH A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION. SECTION 3.
 7. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION OF LANDING. (TYPICAL)
 8. ALL DRAINAGE SHALL BE DIRECTED A MINIMUM OF 5' FEET AWAY FROM THE STRUCTURE TYPICAL.
 9. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED AND THE BUILDING SHALL NOT BE USED FOR ANY PURPOSE UNTIL TOILETS AND EXIT FACILITIES ARE PROVIDED UNDER SEPARATE PERMIT.
 10. AN ADDITIONAL SIGN SHALL BE PLACED AT THE WALL ADJACENT TO THE DOOR AS PER ADA & TITLE - 24 SECTION 3105A(e)10.

12. DECORTIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.
13. BUILDINGS UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87.
14. ALL EXIT SIGNS SHALL PROVIDE TWO SPARATE SOURCES OF POWER.
15. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPINKLERS AND WET AND DRY STANDPIPES, HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS, BASEMENT PIPE INLETS, AND OTHER FIRE-PROTECTION SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALATION.
16. AN APPROVED AUDIBLE SPINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION.
17. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC1007.
18. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH.
19. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLESIGN.
20. FIRE HYDRANTS TO COMPLY WITH THE COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON SITE FIRE HYDRANTS(SECTION 901.2.2.2 UFC.)
21. NOTE: FIRE SPRINKLER PLANS PREPARED BY THE SRINKLER SUB CONTRACTOR SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR AND THE LOCAL FIRE DEPARTMENT PRIOR TO INSTALATION.
22. NO CLASS I,II OR III-A LIQUIDS ARE BEING USED AT THIS BUILDING.
23. NOTE: ANY ROOFING THAT REQUIRES "HOT WORK" ,A PERMIT SHALL BE OBTAINED FROM THE FIRE DEPARTMENT PRIOR TO START OF ROOFING.



NO SCALE
 THOMAS BROS.1232-F5
 ADDRESS: 13754 HIGHWAY 80

PROGRESSIVE IMAGES IN
 ARCHITECTURE & PLANNING

WILLIAMS & SONS MASONRY

13772 OLD HWY 80 ,
 LAKESIDE, CA. 92021

24685 RANCHO SANTA TERESA
 Ramona, Ca. 92085 (760) 789-3269
 FAX (760) 789-2915 E-MAIL bwsaia@hughes.net

CONTENTS
 SITE PLAN

NO.	REVISIONS	DATE
1	BLDG. DEPT.	7/12/07

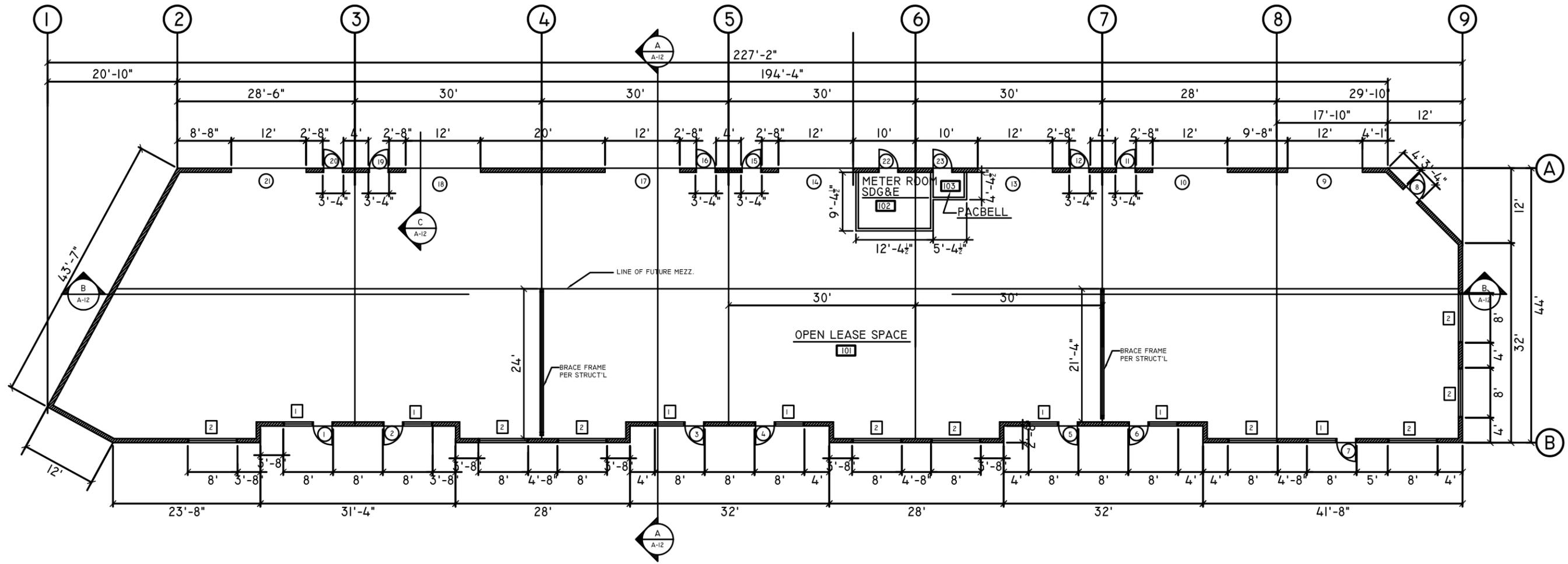


DATE: 7-12-07
 DRAWN: BWS
 JOB NO. 200710
 SHEET

AI

OF

ARCHITECT-BRUCE W. STEINGRABER



PROJECT NO. S04-011/ ER 04-14-006

1 ST FLOOR PLAN-B / WILLIAMS & SONS

PROPOSED FLOOR AREA=9,241 S.F.

DESIGN BY PROGRESSIVE IMAGES IN ARCHITECTURE & PLANNING

FUTURE MEZZ.=5,029 S.F.

FUTURE TOTAL AREA=14,270 S.F.

NOTE:

1. TACTILE EXIT FROM EACH ROOM TO A HALL OR CORRIDOR SHALL HAVE THE WORDS "EXIT ROUTE".
2. EACH GRADE-LEVEL EXIT DOOR THE TACTILE EXIT SIGN SHALL HAVE THE WORD "EXIT".
3. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL HAVE THE FOLLOWING WORDS AS APPROPRIATE: "EXIT STAIR DOWN".
4. ALL SIGNAGE REQUIREMENTS OF SECTION 117B.5 WILL BE SATISFIED.
5. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL ALSO BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE. SECTION 117B.5.
6. ALL ACCESSIBLE COUNTERS SHALL BE 28" TO 34" ABOVE F.F. AND BE AT LEAST 36" WIDE SURFACE.



SCALE: 1/8"=1'-0"

WALL LEGEND

- CONCRETE MASONRY WALL
- NEW STUD WALL WITH 3 5/8" METAL STUDS 25 GAUGE @ 16" O.C. FOR STUDS UP TO 14' HIGH. STUDS OVER 14' HIGH SHALL BE 6" 20 GAUGE @ 16" O.C. WITH 5/8" GYP. OVER EA. SIDE TYPICAL. WALLS SHALL ALSO BE INSULATED WITH R-11 SOUND BATT INSULATION.
- ONE HOUR RATED WALL WITH 3 5/8" METAL STUDS 25 GAUGE @ 16" O.C. FOR STUDS UP TO 14' HIGH. STUDS OVER 14' HIGH SHALL BE 6" 20 GAUGE @ 16" O.C. WITH 5/8" TYPE 'X' GYP. OVER EA. SIDE TYPICAL. WALLS SHALL ALSO BE INSULATED WITH R-11 SOUND BATT INSULATION.

PROGRESSIVE IMAGES IN
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BARRANCO, CA. 92005 (714) 708-3299
FAX (714) 708-2015 E-MAIL: images@progressiveimages.net

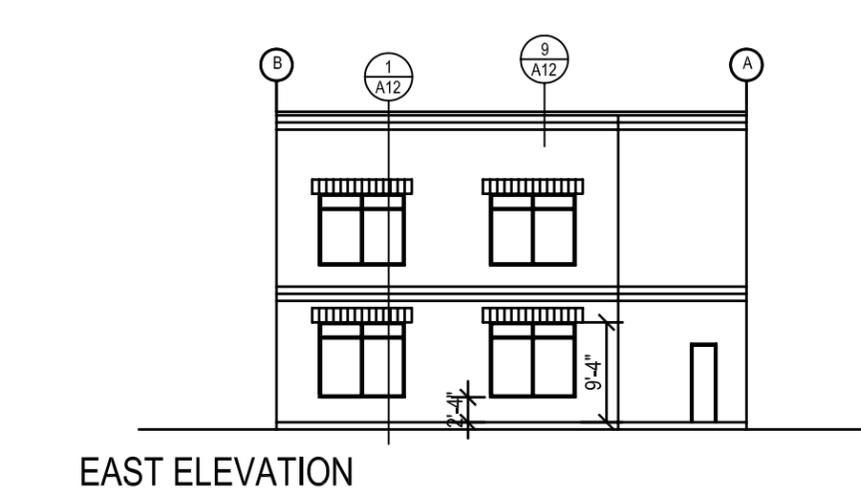
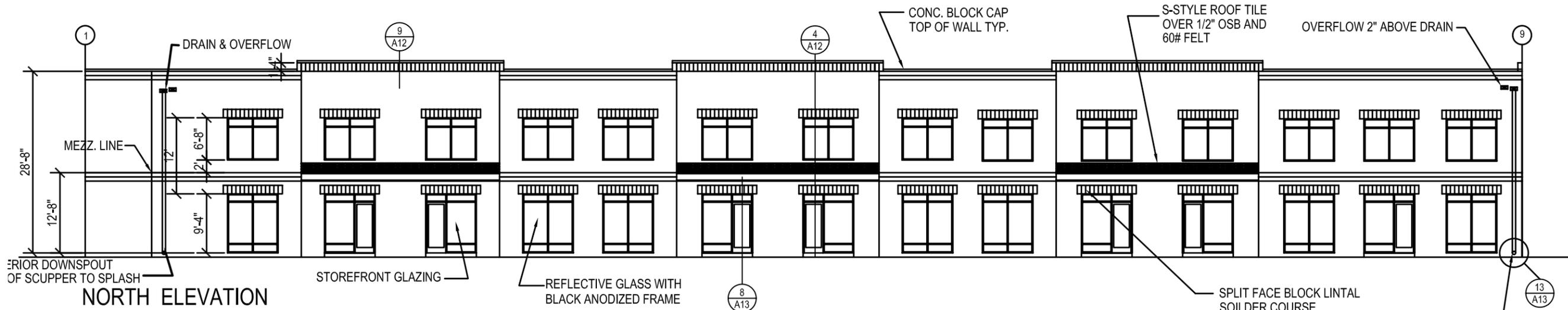
WILLIAMS & SONS MASONRY
13772 OLD HWY 80, LAKESIDE, CA. 92021

1ST FLOOR PLAN
BUILDING - B

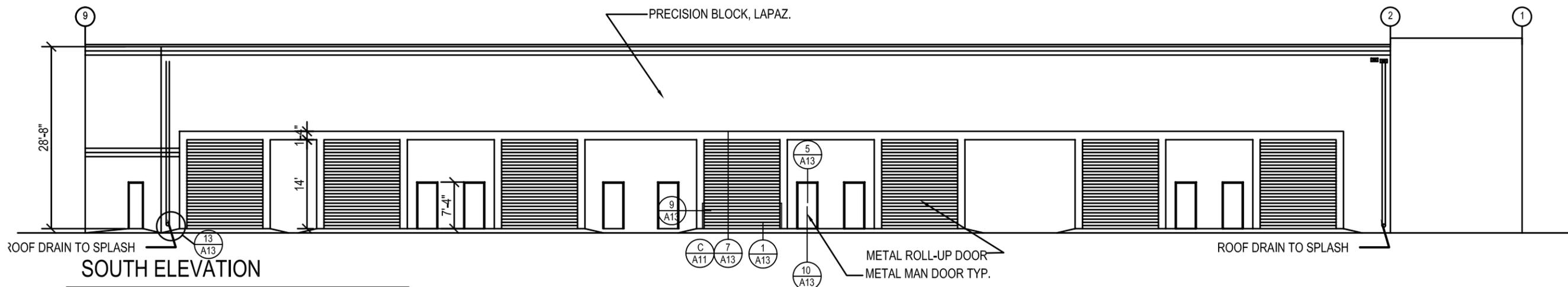
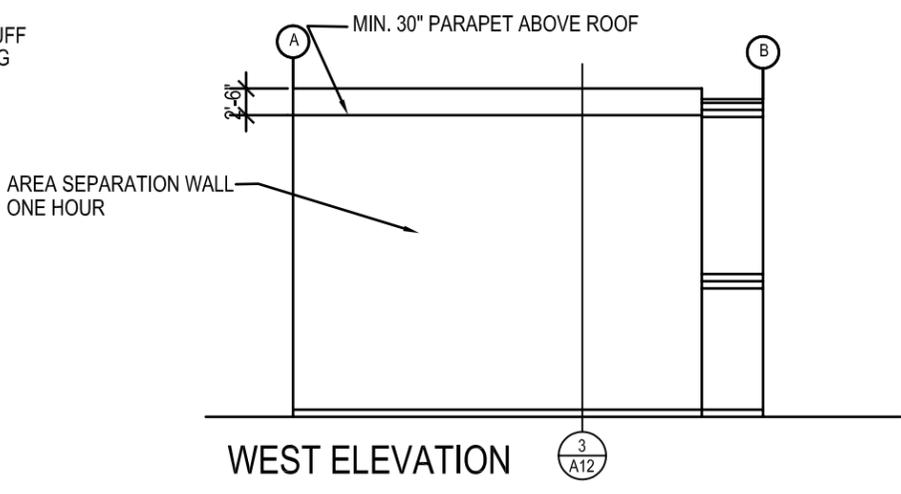
BLDG. DEPT.	2-6 07
DATE	2-18-07
BY	BWS
JOB NO.	200710

A8

ARCHITECT-BRUCE W. STEINBERGER



NOTE: WALL BLOCK COLORS SHALL BE A MIX OF LAPAZ, BUFF AND SAND. REAR OF BUILDING PRECISION BLOCK, LAPAZ.



ELEVATIONS / BUILDING - B

SCALE: 1/8"=1'-0"

PROJECT NO. S04-011/
ER 04-14-006

PROGRESSIVE IMAGES IN
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Rancho, Ca. 92065 (760) 789-3269
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WILLIAMS & SONS MASONRY
13772 OLD HWY 80, LAKESIDE, CA. 92021

PROJECT
CONTENTS
EXT. ELEVATIONS
PHASE 2 BUILDING

NO.	REVISIONS	DATE
1	OWNER CHANGE	4-17-07



DATE: 7-18-07
DRAWN: BWS
JOB NO: 200710
SHEET

A10

ARCHITECT-BRUCE W. STEINGRABER

PLANT LIST

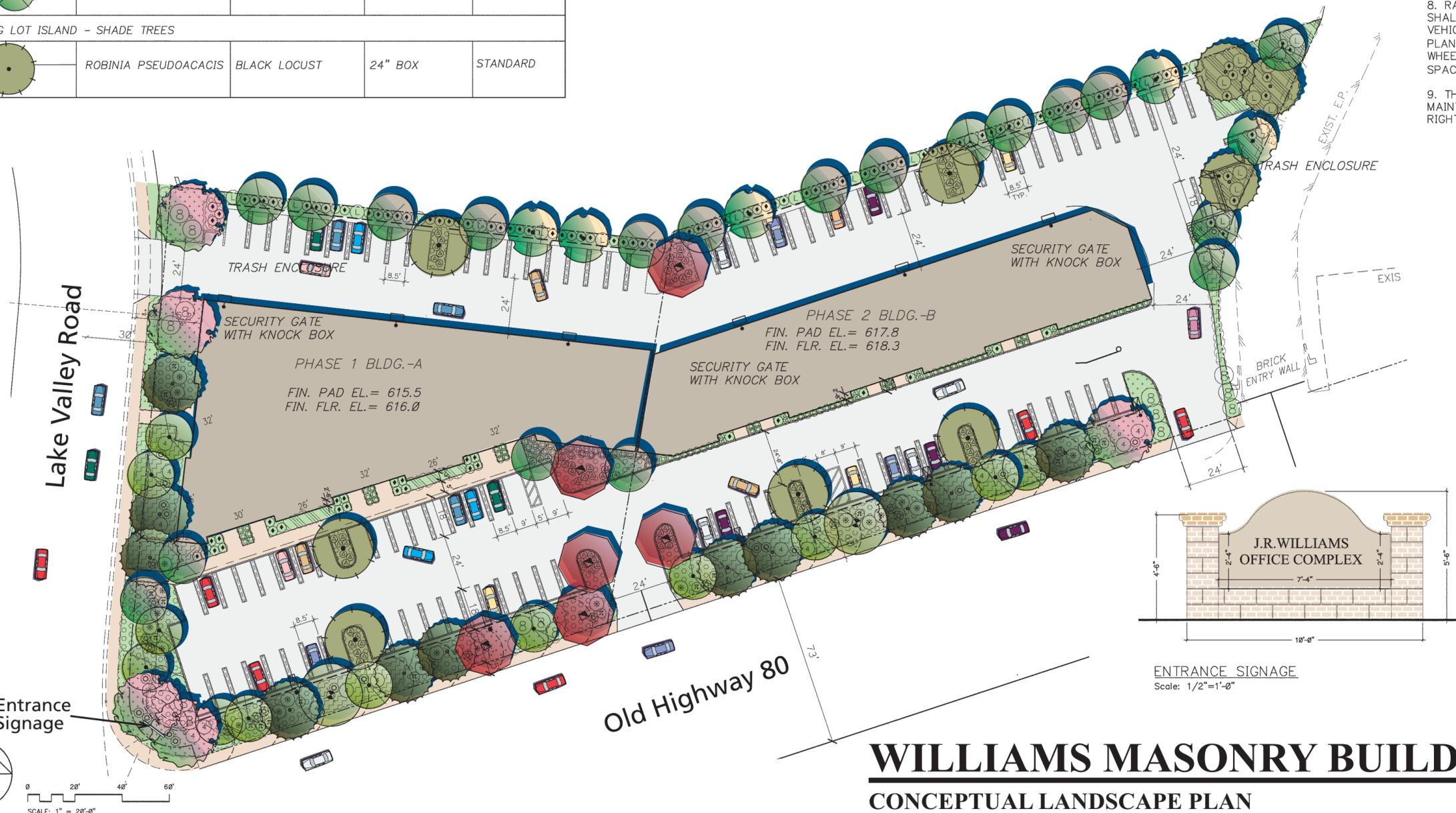
SYMBOL REFERENCE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	REMARKS
TREES				
STREET TREES				
	SCHINUS MOLLE	CALIFORNIA PEPPER	15 GAL.	MULTI-TRUNK
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	STANDARD
	ROBINIA PSEUDOACACIA	BLACK LOCUST	24" BOX	STANDARD
ENTRANCE - FLOWERING TREES				
	ALBIZIA JULIBRISSIN "ROSEA"	ROSEA SILK TREE	36" BOX	STANDARD
	CALODENDRON CAPENSE	CAPE CHESTNUT	36" BOX	STANDARD
BUILDING FOUNDATION/ NORTH PERIMETER - SMALL SCALE TREES				
	PYRUS CALLERYANA "BRADFORD"	BRADFORD PEAR	24" BOX	STANDARD
	FRAXINUS UHDEI "MONUS"	MAJESTIC BEAUTY EVERGREEN ASH	24" BOX	STANDARD
	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	24" BOX	STANDARD
PARKING LOT ISLAND - SHADE TREES				
	ROBINIA PSEUDOACACIAS	BLACK LOCUST	24" BOX	STANDARD

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUBS & GROUNDCOVERS				
	ARBUTUS UNEDO "COMPACTA"	COMPACT HYBRID STRAWBERRY BUSH	5 GALLON	PER PLAN
	BACCHARIS PILULARIS "PIEGON POINT"	DWARF COYOTE BRUSH	1 GALLON	8' O.C.
	BERBERIS THUNBERGII "CHERRY BOMB"	CHERRY BOMB JAPANESE BARBERRY	5 GALLON	PER PLAN
	CARISSA MACROCARPA "GREEN CARPET"	GREEN CARPET	1 GALLON	4' O.C.
	CISTUS X PURPUREUS	ORCHID ROCKROSE	1 GALLON	PER PLAN
	COTONEASTER DAMMERI "LOWFAST"	LOWFAST HYBRID BARBERRY COTONEASTER	1 GALLON	4' O.C.
	COTONEASTER LACTEUS	PARNEY COTONEASTER	5 GALLON	PER PLAN
	LANTANA SELLOWIANA	TRAILING LANTANA	1 GALLON	4' O.C.
	LEPTOSPERMUM SCOPARIUM "HELENE STRYBING"	NEW ZEALAND TEA TREE	5 GALLON	PER PLAN
	RIBES SPECIOSUM	FUCHSIA-FLOWERING GOOSEBERRY	5 GALLON	PER PLAN
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GALLON	PER PLAN
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GALLON	PER PLAN
ORNAMENTAL GRASSES				
	MUHLENBERGIA RIGENS	DEER GRASS	1 GALLON	PER PLAN
	PENNISETUM SETACEUM "RUBRUM"	RED HYBRID FOUNTAIN GRASS	1 GALLON	PER PLAN

LANDSCAPE DESIGN CRITERIA

1. PLANTING WILL BE DESIGNED TO OBSCURE UNDESIRABLE VIEWS (DRIVEWAYS, PARKING AREAS, ALL TRASH AREAS ETC.) AND ADD VISUAL INTEREST TO THE SITE.
2. ARCHITECTURAL ELEMENTS (SUCH AS ENTRANCE SIGNAGE) OF THE SITE WILL BE ENHANCED WITH LANDSCAPE ELEMENTS OF SIMILAR DESIGN CHARACTER.
3. ALL OUTDOOR STORAGE, LOADING, REFUSE AND UTILITY AREAS WILL BE VISUALLY SCREENED ON ALL SIDES (EXCEPT AT ACCESS POINTS). PLANTING WILL BE USED TO SOFTEN HARD MATERIALS WHERE SUCH ARE USED FOR SCREENING.
4. VEHICULAR ENTRANCES WILL BE IDENTIFIED AND ACCENTED WITH SPECIAL GROUPINGS OF TREES, SHRUBS AND/OR GROUNDCOVERS. PROJECT SIGNAGE WILL BE LOCATED AT INTERSECTION OF OLDE HIGHWAY 80 AND LAKE VALLEY ROAD.
5. MULCH REQUIREMENTS - ALL PLANTING AREAS AND SLOPE LESS THAN 3:1 SHALL BE COVERED WITH ORGANIC MULCH TO A MINIMUM DEPTH OF 2". ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
6. IRRIGATION SYSTEMS WILL BE PERMANENT, BELOW GROUND, AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION. AREAS ADJACENT TO STRUCTURES, ROADWAYS, ENTRIES AND ACTIVITY AREAS WILL BE IRRIGATED WITH PERMANENT BELOW GRADE AUTOMATED SYSTEMS.
7. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED SHRUB SPRAY HEADS FOR ALL PLANTING AREAS AND ADJACENT TO WALKS, DRIVES AND ACTIVITY AREAS. A CENTRALLY CONTROLLED AUTOMATIC IRRIGATION SYSTEM ALONG WITH A RAIN-SENSING DEVICE WILL BE UTILIZED.
8. RAISED CONCRETE CURB - A CURB OF AT LEAST 6" IN HEIGHT SHALL BE PROVIDED TO ALL LANDSCAPE AREAS IN OR ADJACENT TO VEHICULAR USE AREAS. WHERE A PARKING SPACE ABUTS A PLANTING AREA THAT IS LESS THAN 5'-0" IN WIDTH, A 6" HIGH WHEEL STOP OR CURB SHALL BE PLACED WITHIN THE PARKING SPACE, 2'-0" FROM THE EDGE OF THE PLANTING AREA.
9. THE BUILDING OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTING AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.



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BUILDING USE: CONSTRUCTION AND STORAGE

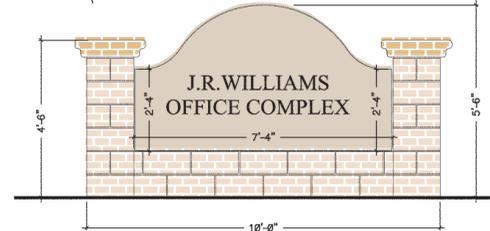
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ENTRANCE SIGNAGE
 Scale: 1/2"=1'-0"

WILLIAMS MASONRY BUILDING

CONCEPTUAL LANDSCAPE PLAN

DATE: August 1, 2007



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 San Diego
 1133 Columbia Street, Suite 205
 619.696.9913
 San Diego, CA 92101
 fax 619.696.7935