



**RE: MONSERATE HILL TENTATIVE MAP; TM 5489; LOG 06-02-010:  
ADDENDUM TO THE NEGATIVE CULTURAL RESOURCES SURVEY  
REPORT FOR THE MONSERATE HILL TENTATIVE MAP**

The attached report titled "Negative Cultural Resources Survey Report" prepared by Professional Archaeological Services dated May 11, 2007, analyzes the impacts of implementation of a seven lot residential subdivision in accordance with the California Environmental Quality Act (CEQA). The project, TM 5489, has been redesigned to five residential lots, since completion of the report. The surveys and analysis of the property assumed the same limits of site disturbance, as that required by the five-lot Tentative Map. Therefore, the reduction of two lots does not affect the findings, conclusions, or recommended mitigation measures contained in the report. Accordingly, the report provides an adequate analysis pursuant to CEQA and the County of San Diego Guidelines for Determining Significance.

# TENTATIVE TRACT MAP COUNTY OF SAN DIEGO TRACT 5489RPL3

**NOTES**

1. THE ASSASSIN'S PARCEL NO. 124-351-28
2. THE AREA 3107
3. LOCAL DESCRIPTION LOT 14 OF MAP 6326
4. THE AREA 3107
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99. THE AREA 3107
100. THE AREA 3107

**LOCAL DESCRIPTION**

LOT 14 OF MAP 6326

**PROPOSED STEEP SLOPE**

AS SHOWN ON SHEET 2 OF 1

**PROPOSED GEOTECHNICAL**

AS SHOWN ON SHEET 2 OF 1

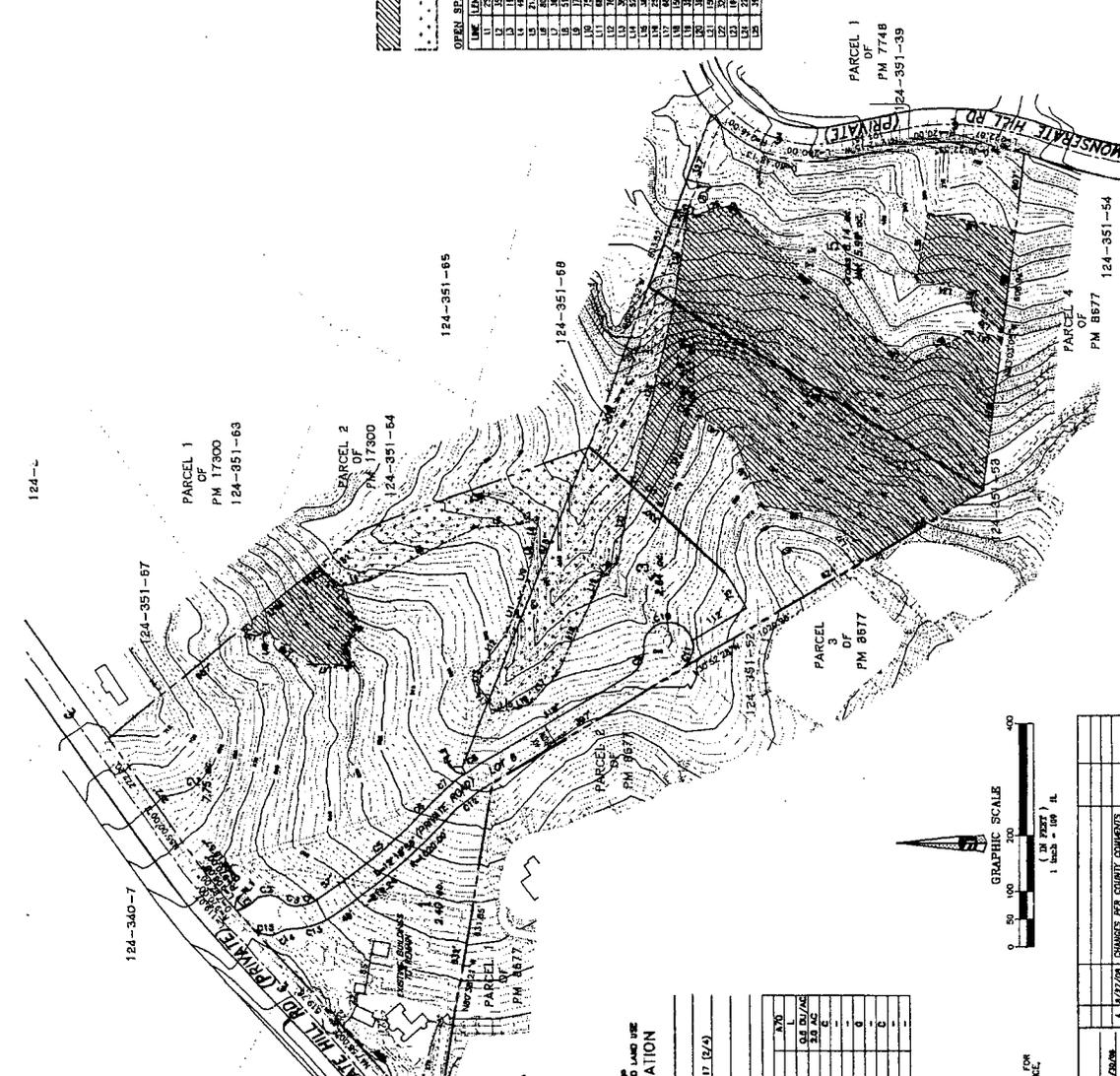
**OPEN SPACE EASEMENT LINE TABLE**

| LINE NUMBER | BEARING         | LINE LENGTH | BEARING         |
|-------------|-----------------|-------------|-----------------|
| 11          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 12          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 13          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 14          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 15          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 16          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 17          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 18          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 19          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 20          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 21          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 22          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 23          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 24          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 25          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 26          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 27          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 28          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 29          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 30          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
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| 33          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 34          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 35          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
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| 41          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 42          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 43          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 44          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 45          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 46          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 47          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 48          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 49          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 50          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 51          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 52          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 53          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 54          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 55          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 56          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 57          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 58          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 59          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 60          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 61          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 62          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 63          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 64          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 65          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 66          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 67          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 68          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 69          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 70          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 71          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 72          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 73          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 74          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 75          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 76          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 77          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 78          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 79          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 80          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
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| 85          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 86          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 87          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 88          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 89          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 90          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 91          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 92          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 93          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
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| 95          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 96          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 97          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 98          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 99          | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 100         | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |

**PROPERTY OWNER/SUBDIVIDER**

PREC HOLDINGS SOUTH, LLC, A DELAWARE LIMITED LIABILITY COMPANY,  
AND JAY ZEPH AND SHERI ZEPH,  
MARINO SANJA, TX, DA 82097  
(800) 796-3800

PREPARED BY:  
JAY R. FOX, P.E.  
SAN DIEGUITO ENGINEERING, INC.  
10000 SANJA, TX, DA 82097  
ENGINEERS IN CHARGE



PARCEL 1  
OF  
PM 17300  
124-351-63

PARCEL 2  
OF  
PM 17300  
124-351-64

PARCEL 3  
OF  
PM 10168  
124-351-67

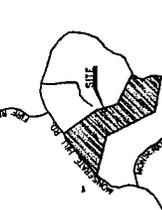
PARCEL 4  
OF  
PM 10168  
124-351-68

PARCEL 1  
OF  
PM 8677  
124-351-52

PARCEL 2  
OF  
PM 8677  
124-351-53

PARCEL 3  
OF  
PM 8677  
124-351-54

PARCEL 4  
OF  
PM 8677  
124-351-55



**GENERAL PLAN**

ANALYSIS: STEEP SLOPE ANALYSIS

LOT # 14 OF MAP 6326

| LINE NUMBER | BEARING         | LINE LENGTH | BEARING         |
|-------------|-----------------|-------------|-----------------|
| 1           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 2           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 3           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 4           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 5           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 6           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 7           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 8           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 9           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 10          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |

**ROAD LOT REFERENCE TABLE**

| LINE NUMBER | BEARING         | LINE LENGTH | BEARING         |
|-------------|-----------------|-------------|-----------------|
| 1           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 2           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 3           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 4           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 5           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 6           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 7           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 8           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 9           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 10          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |

**CURVE TABLES**

| LINE NUMBER | BEARING         | LINE LENGTH | BEARING         |
|-------------|-----------------|-------------|-----------------|
| 1           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 2           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 3           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 4           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 5           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 6           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 7           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 8           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 9           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 10          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |

**PLACETABLES**

| LINE NUMBER | BEARING         | LINE LENGTH | BEARING         |
|-------------|-----------------|-------------|-----------------|
| 1           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 2           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 3           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 4           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 5           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 6           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
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| 8           | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |
| 9           | N 89° 15' 00" E | 15.39       | S 89° 15' 00" W |
| 10          | S 89° 15' 00" W | 15.39       | N 89° 15' 00" E |

County of San Diego  
DEPARTMENT OF PLANNING AND LAND USE  
ZONING INFORMATION

Site: 124-351-63

Community Plan: FALLBROOK

General Plan Designation: STATE 17 (2/4)

Regional Category: DA

Local Regulations:

|                            |             |
|----------------------------|-------------|
| USE REGULATIONS            | 170         |
| MINIMUM REGULATIONS        | L           |
| DENSITY                    | 0.6 DU/AC   |
| LOT SIZE                   | 5,000 SQ FT |
| MINIMUM FRONT YARD SETBACK | 5 FT        |
| MINIMUM SIDE YARD SETBACK  | 5 FT        |
| MINIMUM REAR YARD SETBACK  | 5 FT        |
| MINIMUM FRONT SETBACK      | 5 FT        |
| MINIMUM SIDE SETBACK       | 5 FT        |
| MINIMUM REAR SETBACK       | 5 FT        |

PERMITTED REGULATIONS:

|                            |   |
|----------------------------|---|
| MINIMUM REGULATIONS        | 0 |
| DENSITY                    | 0 |
| LOT SIZE                   | 0 |
| MINIMUM FRONT YARD SETBACK | 0 |
| MINIMUM SIDE YARD SETBACK  | 0 |
| MINIMUM REAR YARD SETBACK  | 0 |
| MINIMUM FRONT SETBACK      | 0 |
| MINIMUM SIDE SETBACK       | 0 |
| MINIMUM REAR SETBACK       | 0 |

PLACETABLES

TITLE # 124-351-63

DESCRIPTION: AN EASEMENT, 20' IN WIDTH, FOR ROAD AND DRIVE MAINTENANCE.

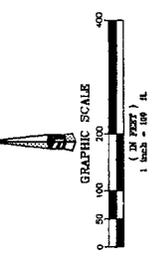
PREP. DOC. NO. 442817

PLACETABLES

TITLE # 124-351-63

DESCRIPTION: AN EASEMENT, 20' IN WIDTH, FOR ROAD AND DRIVE MAINTENANCE.

PREP. DOC. NO. 442817



**SAN DIEGUITO ENGINEERING, INC.**

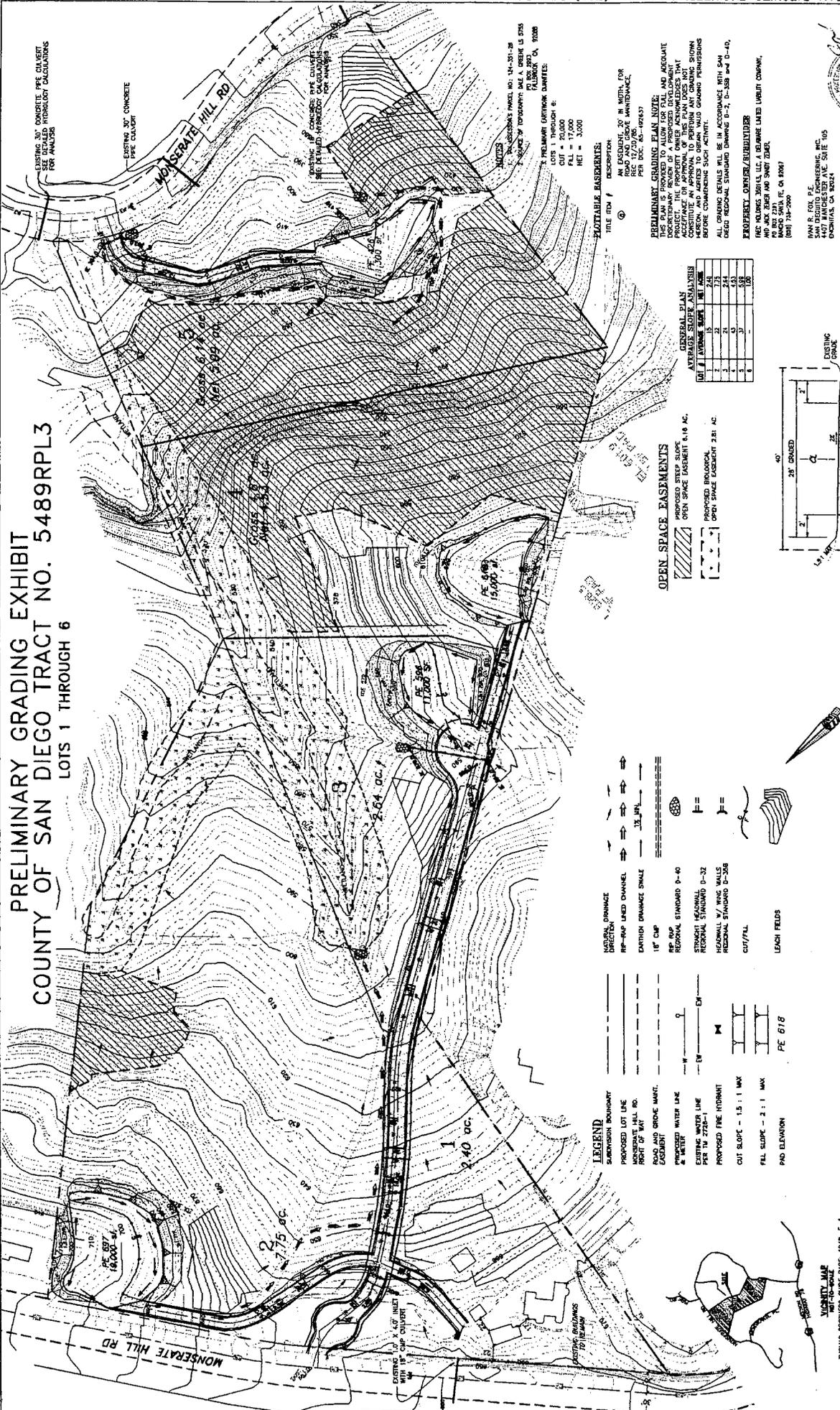
10000 SANJA, TX, DA 82097  
PHONE (800) 796-3800

**CIVIL ENGINEERING • PLANNING**

**LAND SURVEYING**

| REV | DATE  | DESCRIPTION | DATE | APPROVAL |
|-----|-------|-------------|------|----------|
| 1   | 12/14 |             |      |          |

PRELIMINARY GRADING EXHIBIT  
 COUNTY OF SAN DIEGO TRACT NO. 5489RPL3  
 LOTS 1 THROUGH 6



EXISTING 30" CONCRETE PIPE CULVERT  
 FOR ANALYSIS

EXISTING 24" CONCRETE  
 PIPE CULVERT

EXISTING 18" CONCRETE PIPE CULVERT  
 BEING REINFORCED FOR WASTEWATER

NOTES:  
 1. PROPOSER'S PANEL NO. 124-312-28  
 2. SOURCE OF INFORMATION: DAVE A. GERRITZ, C.S. 2755  
 3. PRELIMINARY LAYOUT QUANTITIES:  
 LOTS 1 THROUGH 6:  
 CUT = 20,000  
 FILL = 10,000  
 NET = 10,000

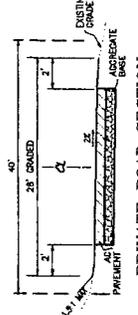
FLATTABLE BASEMENTS:  
 TITLE ID# / DESCRIPTION  
 ① AN EXISTING 20" IN DIAMETER, FOR  
 REINFORCEMENT, WITH ANCHORAGE,  
 PER DOC. 65-496657

PRELIMINARY GRADING PLAN NOTE:  
 THE PROPOSER HAS PROVIDED ALL NECESSARY  
 DISSEMINATION RECORDS TO THE PUBLIC AND ASSOCIATE  
 PROJECT. THE PROPOSER ACKNOWLEDGES THAT  
 THIS PLAN IS A PRELIMINARY GRADING PLAN AND  
 CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN  
 HEREON AND AGREES TO OBTAIN NECESSARY PERMITS  
 FROM ALL AGENCIES SUCH AS THE CALIFORNIA DEPARTMENT OF  
 WATER RESOURCES, CALIFORNIA HIGHWAY PATROL, AND  
 OTHER AGENCIES AS MAY BE REQUIRED.  
 SHEET 1 OF 1

GENERAL PLAN ANALYSIS

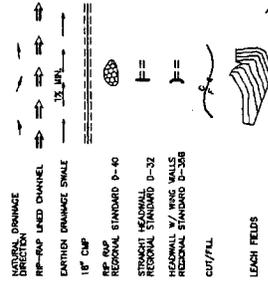
| LOT # | AVERAGE SLOPE | NET AREA |
|-------|---------------|----------|
| 1     | 3%            | 7.14     |
| 2     | 2%            | 2.84     |
| 3     | 3%            | 4.53     |
| 4     | 2%            | 1.00     |
| 5     | 3%            | 1.00     |
| 6     | 2%            | 1.00     |

OPEN SPACE EASEMENTS  
 PROPOSED STEEP SLOPE  
 OPEN SPACE EASEMENT 6.10 AC.  
 PROPOSED BRADSHAW  
 OPEN SPACE EASEMENT 2.81 AC.

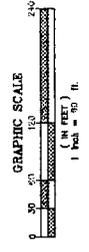


PRIVATE ROAD SECTION  
 24' AC. PAVED/28' GRADED

NOTE: NO BEAMS OR CULVERTS ARE PROPOSED SO THAT  
 NATURAL DRAINAGE PATTERNS ON-SITE ARE BETTER PRESERVED



LEGEND  
 SUBDIVISION BOUNDARY  
 PROPOSED LOT LINE  
 MONSERATE HILL RD.  
 RIGHT OF WAY  
 ROAD AND GRADE MARK.  
 CASHEM  
 PROPOSED WATER LINE  
 4" WATER  
 EXISTING WATER LINE  
 4" WATER  
 PROPOSED FIRE HYDRANT  
 CUT SLOPE - 1.5 : 1 MAX  
 FILL SLOPE - 2 : 1 MAX  
 PAD ELEVATION  
 PE 618



| REV. | DATE     | DESCRIPTION                 | DATE | APPROVAL |
|------|----------|-----------------------------|------|----------|
| 1    | 8/20/08  | CHANGES PER COUNTY COMMENTS |      |          |
| 2    | 9/15/08  | CHANGES PER COUNTY COMMENTS |      |          |
| 3    | 9/25/07  | CHANGES PER COUNTY COMMENTS |      |          |
| 4    | 11/27/07 | CHANGES PER COUNTY COMMENTS |      |          |

SAN DIEGO ENGINEERING, INC.  
 THOMAS BROTHERS CLERK PAGE 1048, E-4



# **Negative Cultural Resources Survey Report**

**for a 24.61-Acre Parcel at 3624 Monserate Hill Road  
Fallbrook, San Diego County, California**

**APN 124-351-026**

**Monserate Tentative Map  
TM 5489/ER 06-02-010**

## **Lead Agency:**

**County of San Diego  
Department of Planning and Land Use  
Contacts: Jarrett Ramaiya, Gail Wright  
5201 Ruffin Road, Suite B  
San Diego, CA 92123-1666  
858-694-3003**

## **Preparer:**

**Philip de Barros, Ph.D., SOPA, RPA  
Professional Archaeological Services  
13730 Via Cima Bella  
San Diego, CA 92129  
760-807-9489**

## **Project Proponent:**

**Kachay Homes  
P. O. Box 2391  
Rancho Santa Fe, CA 92067  
858-756-2000**

**May 11, 2007**

## To Whom It May Concern:

Please be advised that an archaeological survey has been conducted on the above referenced project. The survey was conducted on April 22, 2007, and it was determined there are no cultural resources present. The project has been plotted on the attached USGS 7.5' 1968 (photorevised 1975) *Bonsall* topographic map for your information.

**County:** San Diego

**USGS 7.5' Quad:** 1968 (photorevised 1975) *Bonsall* quad, unsectioned portion of the Monserrate Land Grant in Township 10 South, Range 3 West.

**Address:** 3624 Monserate Hill Road

**City and State:** unincorporated community of Fallbrook, CA 92028

**Thomas Brothers:** Page 1048 (2005 edition)

**Other Locational Data:** The property is bounded by existing residences to the north and south and Monserate Hill Road to the west and east.

**Assessor Parcel Number(s):** 124-351-026

**UTMs:** 482916 mE/ 3686892 mN – NW corner of project (GPS NAD 27)

**Elevation:** 350-718 feet AMSL

**Owner and Address:** Kachay Homes, P. O. Box 2391, Rancho Santa Fe, CA 92067. 858-756-2000; Fax 858-756-6320

**Survey Type:** Intensive Pedestrian

**Date of Survey:** April 22, 2007

**Field Personnel:** Philip de Barros, Ph.D., R.P.A. with Perry Kroh and Scot Golia, advanced students of the Palomar College Archaeology Program

**Description:** The proposed project consists of a major residential subdivision of 24.61 acres consisting of seven parcels ranging from 2.0 to 6.14 acres in size. The field survey was conducted using north-south or east-west transects spaced 10 m apart depending upon vegetation and terrain conditions. The western part of the property consists of portions of a ridge top with moderately undulating topography. Ground visibility ranged from fair to good and it was surveyed in its entirety. Except for the end of a ridge top in the south central edge of the property which is relatively flat, much of the eastern part of the property is dissected by a major drainage and the terrain is generally steep and difficult to survey. Nonetheless, all areas where slopes were not too steep to survey (<20-25%), and all road cuts and trails, were examined for cultural features and artifacts. Visibility was excellent along roads and trails, and ranged from fair to poor on the slopes. In addition, all bedrock outcrops were examined for bedrock milling features or rock art. The bedrock is of poor quality and unsuitable for bedrock milling features. No cultural artifacts or features were encountered during the survey of the entire property.

A study of historic maps (1853-1869 GLO Plat Map, 1872 San Diego Assessor's Map; the 1901 30' *San Luis Rey*, the 1942 15' *Temecula*, and the 1948 and 1968 (1975) 7.5' *Bonsall* USGS quads) as well as 1928-29 aerial photos did not show any evidence of structures within the project area. There is one historic structure to the west along Gird Road. The existing structures (residence and auxiliary structures) on the property were built in the late 1970s and the main residence has been extensively remodeled. Previous archaeological surveys focused primarily along river bottom lands and adjacent slopes and all previously recorded sites within one mile are located along the San Luis Rey River. A sacred lands check with the Native American Heritage Commission was negative. A Native American from the Pauma Indian Reservation, Joda Molina of Native Ground Monitoring and Research, was scheduled to participate in the survey, but the day of the survey she was unable to come.

Given the relatively good visibility in the western portion of the property and on the ridge top in the south central area, given that the steep slopes in much of the eastern portion are unsuitable for habitation or encampment, given that the bedrock is unsuitable for bedrock milling features, and given that the less steep areas, road cuts, trails, and bedrock outcrops were examined, and given that no cultural resources or isolates were encountered, grading monitoring is not recommended.

Sincerely,

Philip de Barros, Ph.D., R.P.A.  
Professional Archaeological Services

Attachments:

- Figure 1: Project Vicinity Maps
- Figure 2: USGS Topo Map – 1968 (photorevised 1975) *Bonsall*
- Figure 3: Site Plan Map
- Proof of Records Search Form
- NAHC Sacred Lands Check Letter Response

## NATIONAL ARCHAEOLOGICAL DATA BASE INFORMATION

**Author:** Philip de Barros, Ph.D., SOPA, R.P.A.

**Firm:** Professional Archaeological Services

**Client/Project Proponent:** Kachay Homes, P. O. Box 2391, Rancho Santa Fe, CA 92067.

**Report Date:** May 11, 2007

**Report Title:** Negative Cultural Resources Survey Report for a 24.61-Acre Parcel at 3624 Monserate Hill Road, Fallbrook, San Diego County, California

**Type of Study:** survey report

**New Sites:** none

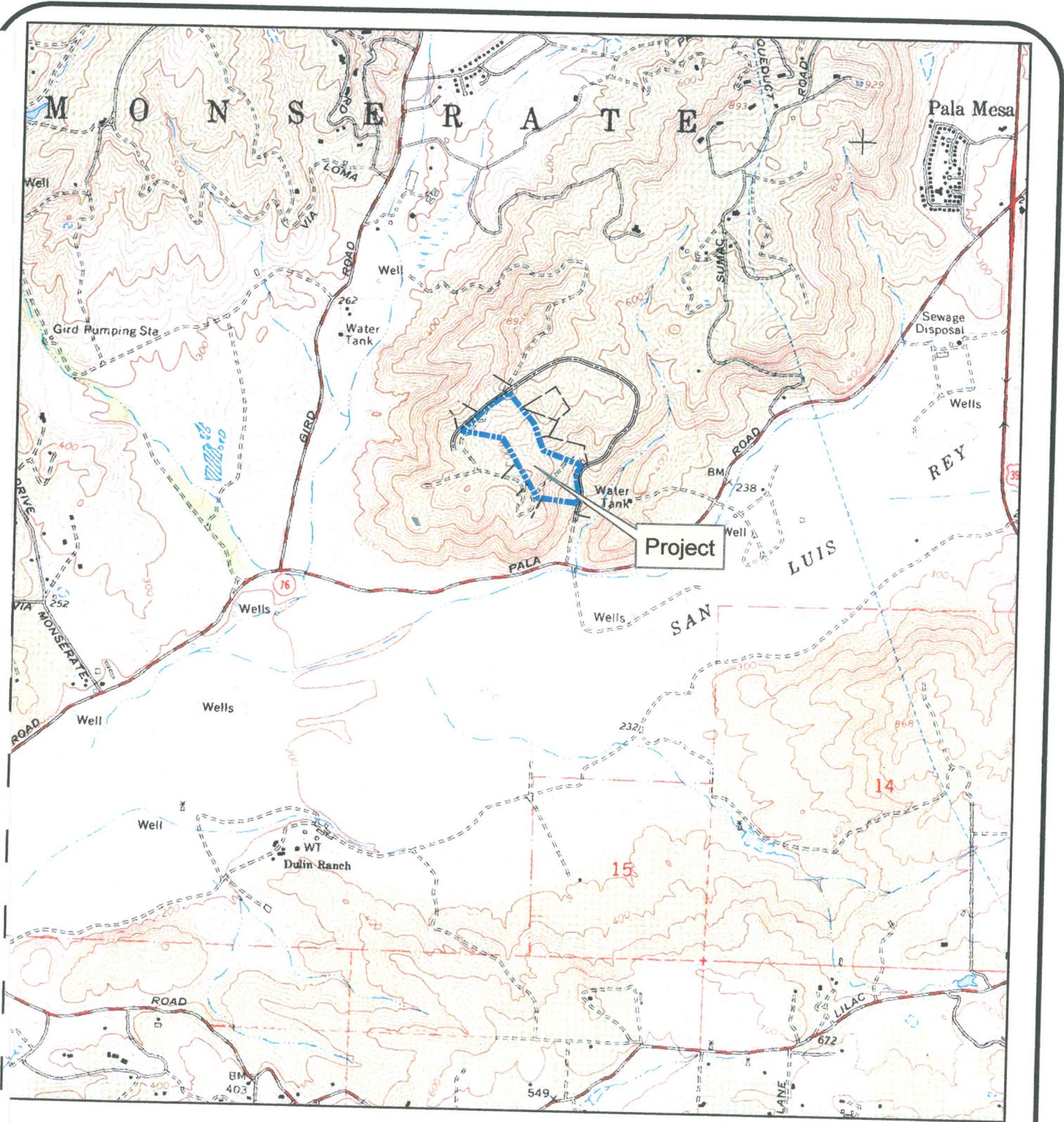
**Updated Sites:** none

**USGS Quad:** 1968 (photorevised 1975) 7.5' *Bonsall* quad

**Acreage:** 24.61- acres

**Key Words:** Monserate Hill Road, Monserate Rancho or Land Grant, Fallbrook, survey, South Coastal Information Center.

**RE: Cultural Resources – Negative Findings**



Bonsall Quad

