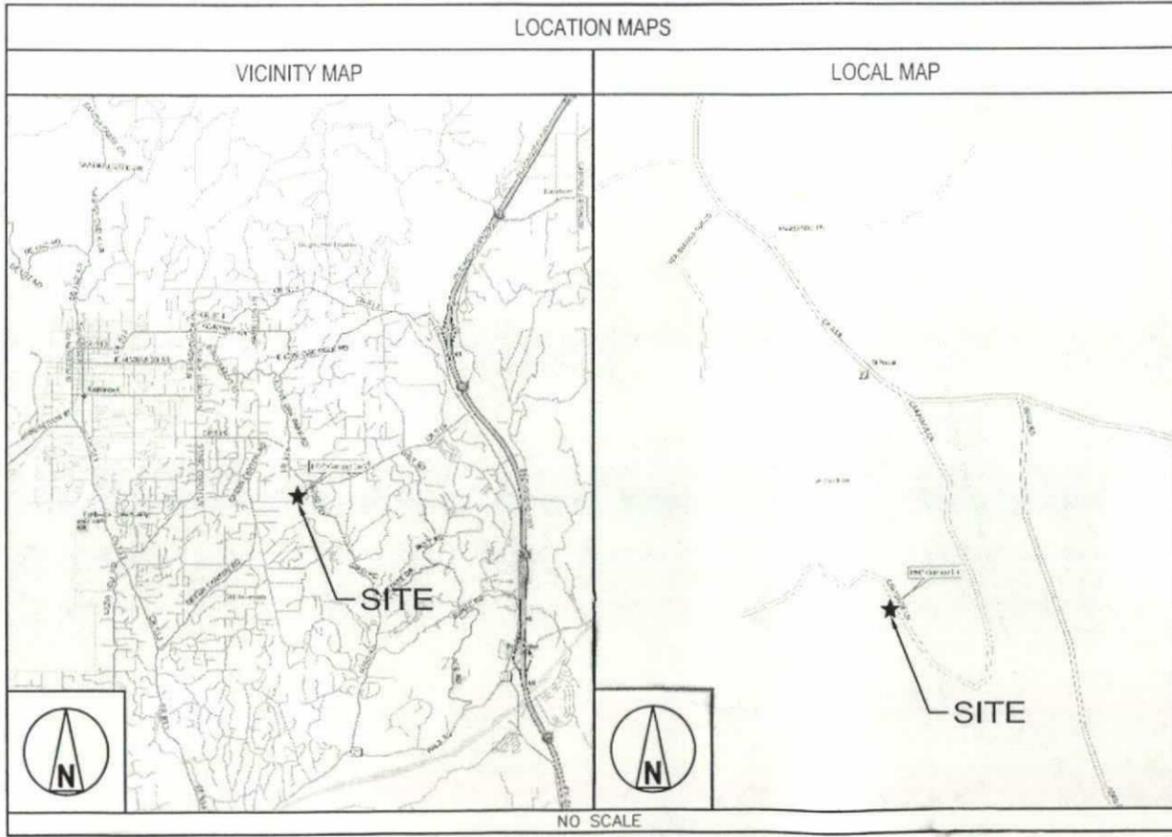




**NS0304**  
**GIRD ROAD**  
 1907 CARRIAGE LANE  
 FALLBROOK, CA 92028

<b>ENGINEERING</b>	
2010 CALIFORNIA BUILDING CODE 2010 CALIFORNIA ELECTRIC CODE TIA-222-G OR LATEST EDITION  CALIFORNIA BUILDING CODE, TITLE 24, 2010 EDITION CALIFORNIA ELECTRICAL CODE, 2010 EDITION BASED ON 2008 N.E.C. CALIFORNIA PLUMBING CODE, 2010 EDITION BASED ON 2009 U.P.C. CALIFORNIA MECHANICAL CODE, 2010 EDITION BASED ON 2009 U.M.C. CALIFORNIA FIRE CODE, 2010 EDITION BASED ON 2009 I.F.C. CALIFORNIA GREEN BLDG CODE, 2010 EDITION CALIFORNIA GREEN BLDG CODE, 2010 EDITION BASED ON 2008 I.F.C. CALIFORNIA RESIDENTIAL CODE, 2010 EDITION BASED ON 2009 I.R.C. IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.	
<b>GENERAL NOTES</b>	
THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.	
<b>PROJECT DESCRIPTION</b>	
AT&T WIRELESS PROPOSES TO INSTALL A NEW FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING: • INSTALL (1) (P) 23" FIF RACK • INSTALL (4) (P) 19" FIF RACK • INSTALL (2) (P) LTE EQUIPMENT CABINET • INSTALL (12) (P) 6"-6" ANTENNAS • INSTALL (24) (P) RRU • INSTALL (5) (P) DC SURGE SUPPRESSOR • INSTALL (2) (P) AT&T GPS ANTENNA • INSTALL (1) (P) CONDUIT FOR FIBER RUN • INSTALL (2) (P) MONO-BROADLEAF TREES	
<b>SITE INFORMATION</b>	
PROPERTY OWNER:	BRAD IHDE
ADDRESS:	1907 CARRIAGE LANE FALLBROOK, CA 92028
SITE NAME:	GIRD ROAD
SITE ADDRESS:	1907 CARRIAGE LANE FALLBROOK, CA 92028
SITE CONTACT:	TBD
COUNTY:	SAN DIEGO
LATITUDE (NAD 83):	33°21'35.25594" N
LONGITUDE (NAD 83):	117°12'18.74496" W
GROUND ELEVATION:	945.28' AMSL
ANTENNA TIP HEIGHT:	19' AGL
ZONING JURISDICTION:	COUNTY OF SAN DIEGO
ZONING DISTRICT:	A-70
EXISTING PERMITS:	TBD
PARCEL #:	107-250-51
EXISTING OCCUPANCY GROUP:	R
NEW OCCUPANCY GROUP:	B
EXISTING CONSTRUCTION TYPE:	V-B
NEW CONSTRUCTION TYPE:	V-B
OTHER WIRELESS FACILITIES:	SPRINT, NEXTEL AND T-MOBILE
POWER COMPANY:	SDG&E
TELEPHONE COMPANY:	AT&T
RF ENGINEER:	RAM JINDAL (925) 922-4394
LEASING AGENT:	DUFFY DAUGHERTY
ZONING AGENT:	KAREN ADLER
CONSTRUCTION MANAGER:	JOHN CAPEBIANCO
<b>CONTACT INFORMATION</b>	
ENGINEER:	BLACK & VEATCH CORPORATION 10089 WILLOW CREEK RD, SUITE 350 SAN DIEGO, CA 92131
CONTACT:	EDGARDO ORTIZ (562) 402-0631
11"X17" DRAWINGS WILL BE HALF SCALE	
SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.	



- DRIVING DIRECTIONS**
- DIRECTIONS FROM AT&T OFFICE:
1. HEAD SOUTHWEST ON PACIFIC CENTER BLVD TOWARD MCKELLAR CT
  2. MAKE A U-TURN AT MCKELLAR CT
  3. TAKE THE 1ST RIGHT ONTO PACIFIC HEIGHTS BLVD
  4. TURN LEFT AT MIRA MESA BLVD
  5. TAKE THE RAMP ONTO I-15 N
  6. TAKE EXIT 51 TOWARD MISSION RD/FALLBROOK
  7. TURN LEFT AT OLD HWY 395
  8. TURN LEFT TO STAY ON OLD HWY 395
  9. TAKE THE 2ND RIGHT ONTO RECHE RD
  10. TURN LEFT AT CARRIAGE LN
- DESTINATION WILL BE ON THE RIGHT

FA NUMBER: 10153265	CASPR NUMBER: 3601275364												
<b>APPROVALS</b>													
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.													
AT&T RF: _____	DATE: _____												
SITE ACQUISITION: _____	DATE: _____												
PROPERTY OWNER: _____	DATE: _____												
CM: _____	DATE: _____												
AT&T PM: _____	DATE: _____												
<b>RF INFORMATION</b>													
	<table border="1"> <tr> <th></th> <th>LTE</th> <th>GSM</th> <th>UMTS</th> </tr> <tr> <td>Tx</td> <td>704.0 - 716.0 MHz</td> <td>890.2 - 891.4 MHz 1950.0 - 1952.4 MHz</td> <td>869.2 - 874.6 MHz 874.6 - 879.8 MHz 1945.0 - 1950.0 MHz 1970.0 - 1980.0 MHz</td> </tr> <tr> <td>Rx</td> <td>734.0 - 746.0 MHz</td> <td>845.2 - 846.4 MHz 1870.0 - 1872.4 MHz</td> <td>824.2 - 829.4 MHz 829.6 - 834.8 MHz 1865 - 1869.8 MHz 1890.2 - 1899.8 MHz</td> </tr> </table>		LTE	GSM	UMTS	Tx	704.0 - 716.0 MHz	890.2 - 891.4 MHz 1950.0 - 1952.4 MHz	869.2 - 874.6 MHz 874.6 - 879.8 MHz 1945.0 - 1950.0 MHz 1970.0 - 1980.0 MHz	Rx	734.0 - 746.0 MHz	845.2 - 846.4 MHz 1870.0 - 1872.4 MHz	824.2 - 829.4 MHz 829.6 - 834.8 MHz 1865 - 1869.8 MHz 1890.2 - 1899.8 MHz
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MAX EIRP:	700 MHz: 500 WATTS 850 MHz: 54 WATTS 1900 MHz: 54.5 WATTS												
<b>DRAWING INDEX</b>													
SHEET NO:	SHEET TITLE	REV											
T-1	TITLE SHEET	4											
A-101	SITE PLAN AND NOTES	4											
A-102	LOW IMPACT DEVELOPMENT PLAN	4											
A-201	EXTERIOR ELEVATIONS	4											
A-202	EXTERIOR ELEVATIONS	4											
A-401	ENLARGED SITE PLAN	4											
D-501	ANTENNA LAYOUT PLAN	4											
D-502	NOTES AND DETAILS	4											
D-503	ANTENNA DETAILS	4											
L-1.0	LANDSCAPE PLAN	4											
L-2.0	IRRIGATION PLAN	4											
LS-1	TOPOGRAPHIC SURVEY	4											
LS-2	TOPOGRAPHIC SURVEY	4											
<b>LEGAL DESCRIPTION</b>													
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: PARCEL 1: THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 28; THENCE ALONG THE WESTERLY LINE THEREOF SOUTH 0°07'10" WEST, 346.47 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED AS PARCEL 1 IN DEED TO DENNY F. COLWELL, ET UX, RECORDED JULY 16, 1975 AS FILE NO. 75-183238 OF OFFICIAL RECORDS; THENCE ALONG THE BOUNDARY THEREOF, SOUTH 86°35'04"EAST, 503.73 FEET; SOUTH 89°59'55"EAST, 106.57 FEET; SOUTH 25°53'23"EAST, 413.59 FEET; SOUTH 18°22'48"EAST, 150.32 FEET; SOUTH 65°29'50"WEST, 135.81 FEET; THENCE LEAVING SAID BOUNDARY, NORTH 24°30'10"WEST, 125.48 FEET TO THE BEGINNING OF A TANGENT 150.00 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH AN ANGLE OF 53°20'50", A DISTANCE OF 139.66 FEET; THENCE NORTH 77°51'WEST, 56.03 FEET; THENCE NORTHERLY, IN A STRAIGHT LINE, TO THE TRUE POINT OF BEGINNING.													
	UNDERGROUND SERVICE ALERT UTILITIES PROTECTION CENTER, INC. 811 48 HOURS BEFORE YOU DIG												

5738 PACIFIC CENTER BLVD.  
SAN DIEGO, CA 92121  
(858) 232-3996

10950 GRANDVIEW DRIVE  
OVERLAND PARK, KANSAS 66210  
(913) 458-2000

MITCHELL J ARCHITECTURE, INC.  
4883 RONSON COURT, SUITE N  
SAN DIEGO, CA 92111  
858.650.3130 (PH) / 858.650.3140 (FAX)

REV	DATE	DESCRIPTION
1	04-20-12	ZD RE-DESIGN
2	07-26-12	ZD REV #1
3	08-07-12	ZD REV #2
4	10-29-12	ZD REV #3

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NS0304  
GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
**T-1**

**ITEMS CORRESPONDING TO SCHEDULE "B":**

BY: FIDELITY NATIONAL TITLE COMPANY  
 2763 CAMINO DEL RIO SOUTH  
 SAN DIEGO, CA 92108  
 (619) 295-7332

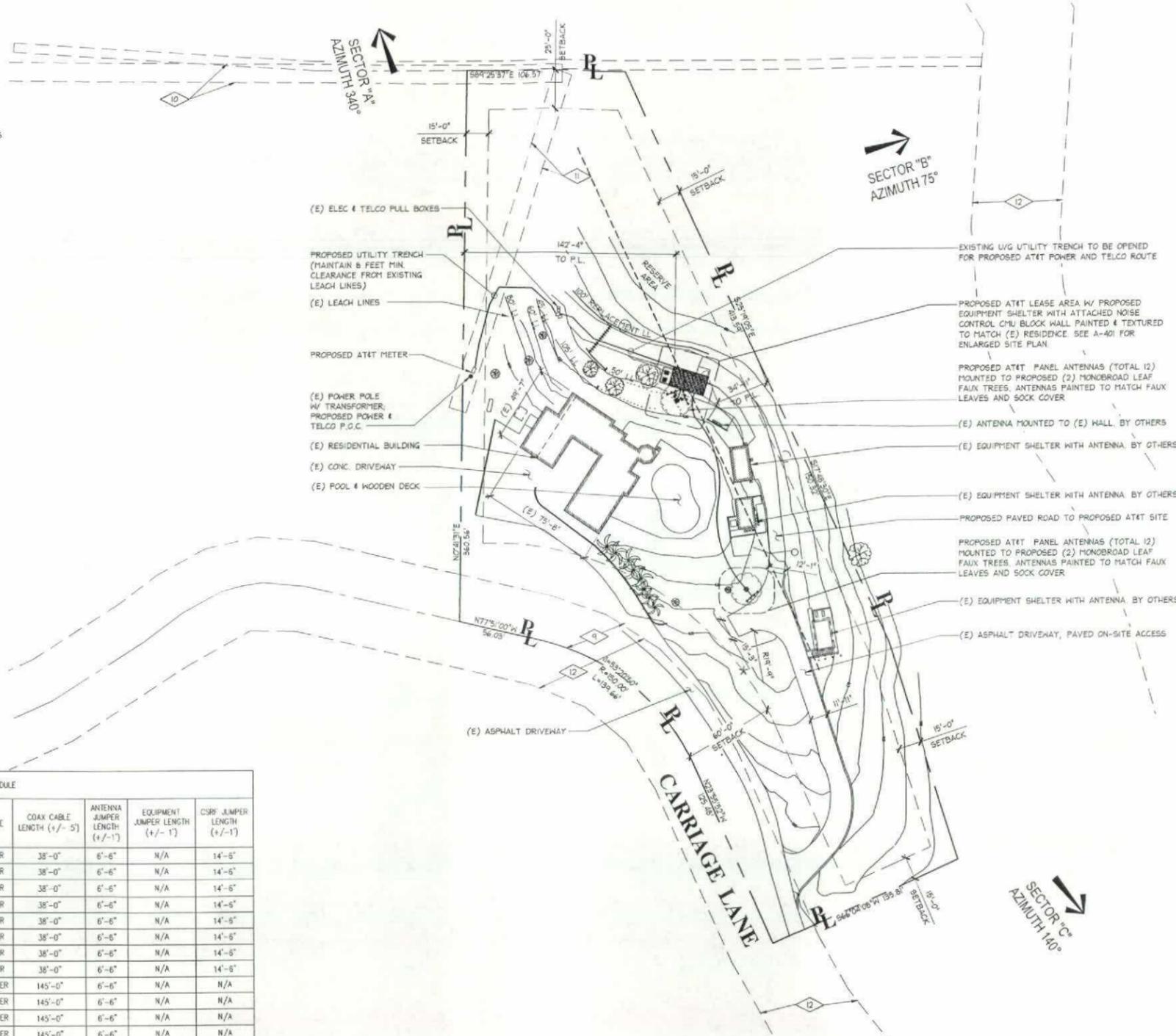
COMMITMENT NO. 10-4309366  
 TITLE OFFICER: DENISA KIRCHOFF  
 DATED: MAY 3, 2010

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DETERMINE SPECIFICS.

- 3 EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 4 ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 5 (A) UNPATENTED MINING CLAIMS, (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF, (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B), OR (C) ARE SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 6 EASEMENT FOR ROAD SEWER, WATER, GAS, POWER AND TELEPHONE LINES, RECORDED DECEMBER 4, 1963 INSTRUMENT NO. 205666, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 10 EASEMENT FOR PUBLIC UTILITIES, RECORDED OCTOBER 21, 1975, INSTRUMENT NO. 75-290602, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 8 EASEMENT FOR PUBLIC UTILITIES, RECORDED JANUARY 20, 1986, INSTRUMENT NO. 86-023737, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 12 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "ROAD MAINTENANCE AGREEMENT" DATED NONE SHOWN, EXECUTED BY AND BETWEEN DRADELEY HIDE, ET AL RECORDED OCTOBER 20, 1986, INSTRUMENT NO. 86-471331, OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 14 TERMS, COVENANTS, CONDITIONS AND PROVISIONS, RECORDED JANUARY 28 2004, INSTRUMENT NO. 2004-0066337, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.

ITEMS #15 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT SAID REPORT IS ASSUMED BY THIS MAP.

AT&T WILL HAVE THEIR OWN METER(S) FOR ALL UTILITIES AT AT&T SOLE COST AND EXPENSE.



ANTENNA HEIGHT AND AZIMUTH SCHEDULE

SECTOR	AZIMUTH	ANTENNA MODEL NUMBER	ANTENNA TIP HEIGHT	COAX TYPE	COAX CABLE LENGTH (+/- 5')	ANTENNA JUMPER LENGTH (+/- 1')	EQUIPMENT JUMPER LENGTH (+/- 1')	CSRF JUMPER LENGTH (+/- 1')
A	1 340°	KATHREIN 800 10765 K	19'-0"	7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
	2 340°	KATHREIN 800 10765 K		7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
	3 340°	KATHREIN 800 10765 K		7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
	4 340°	KATHREIN 800 10765 K		7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
B	1 75°	KATHREIN 800 10765 K	19'-0"	7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
	2 75°	KATHREIN 800 10765 K		7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
	3 75°	KATHREIN 800 10765 K		7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
	4 75°	KATHREIN 800 10765 K		7/8" FIBER	38'-0"	6'-6"	N/A	14'-6"
C	1 140°	KATHREIN 800 10765 K	19'-0"	1 5/8" FIBER	145'-0"	6'-6"	N/A	N/A
	2 140°	KATHREIN 800 10765 K		1 5/8" FIBER	145'-0"	6'-6"	N/A	N/A
	3 140°	KATHREIN 800 10765 K		1 5/8" FIBER	145'-0"	6'-6"	N/A	N/A
	4 140°	KATHREIN 800 10765 K		1 5/8" FIBER	145'-0"	6'-6"	N/A	N/A



**1 SITE PLAN**

SCALE: 1"=40'-0"



5738 PACIFIC CENTER BLVD.  
 SAN DIEGO, CA 92121  
 (858) 232-3996



**BLACK & VEATCH**

10950 GRANDVIEW DRIVE  
 OVERLAND PARK, KANSAS 66210  
 (913) 458-2000



MITCHELL J ARCHITECTURE, INC.  
 4883 RONSON COURT, SUITE N  
 SAN DIEGO, CA 92111  
 858.650.3130 (PH) / 858.650.3140 (FAX)

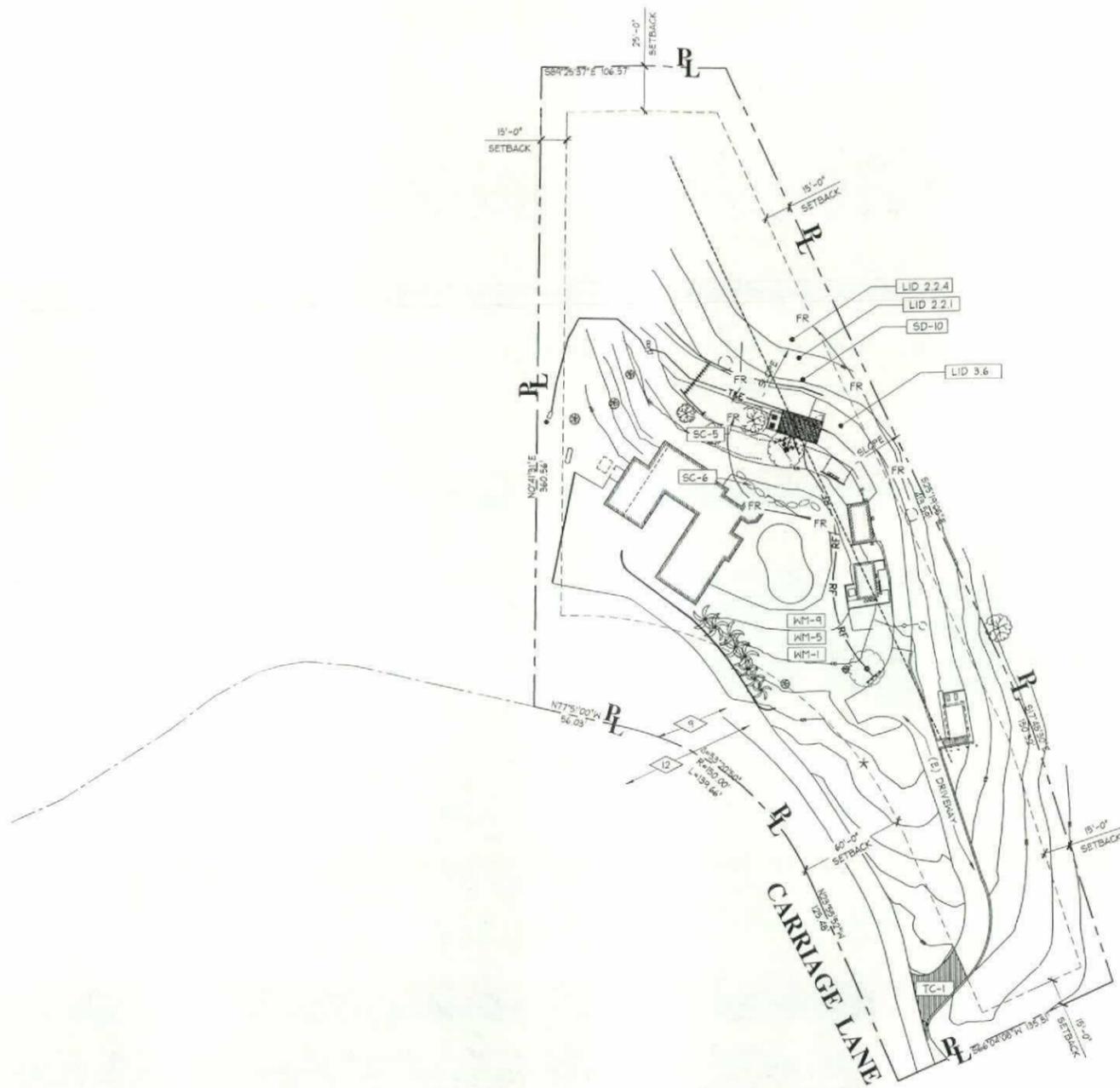
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4	10-29-12	ZD REV #3

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NS0304  
 GIRD ROAD  
 1907 CARRIAGE LANE  
 FALLBROOK, CA. 92028  
 MONO-BROAD TREES

SHEET TITLE  
 SITE PLAN AND NOTES

SHEET NUMBER  
**A-101**



**ANTICIPATED POLLUTANTS:**

TRASH AND DEBRIS  
OIL AND GREASE

**BMP LEGEND**

**MATERIALS & WASTE MANAGEMENT CONTROL BMPs:**

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT

**TEMPORARY RUNOFF CONTROL BMPs:**

- SC-5 FIBER ROLLS — FR — FR —
- SC-6 / SC-8 GRAVEL OR SAND BAGS
- TC-1 STABILIZED CONSTRUCTION ENTRANCE

**PERMANENT BMPs:**

- SD-10 FLAT PAD AREA COVERAGE (PERMANENT LANDSCAPING/ GROUND COVER)

**LOW IMPACT DEVELOPMENT BMPs:**

- LID 2.2.1 CONSERVATION OF NATURAL DRAINAGES, WELL DRAINED SOILS & SIGNIFICANT VEGETATION
- LID 2.2.4 MINIMIZE SOIL COMPACTION
- LID 3.6 L.I.D. BUILDING DESIGN



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NS0304  
GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
LOW IMPACT DEVELOPMENT PLAN

SHEET NUMBER  
**A-102**



**1 LOW IMPACT DEVELOPMENT PLAN**  
SCALE: 1"=40'-0"



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CENTER BLVD.  
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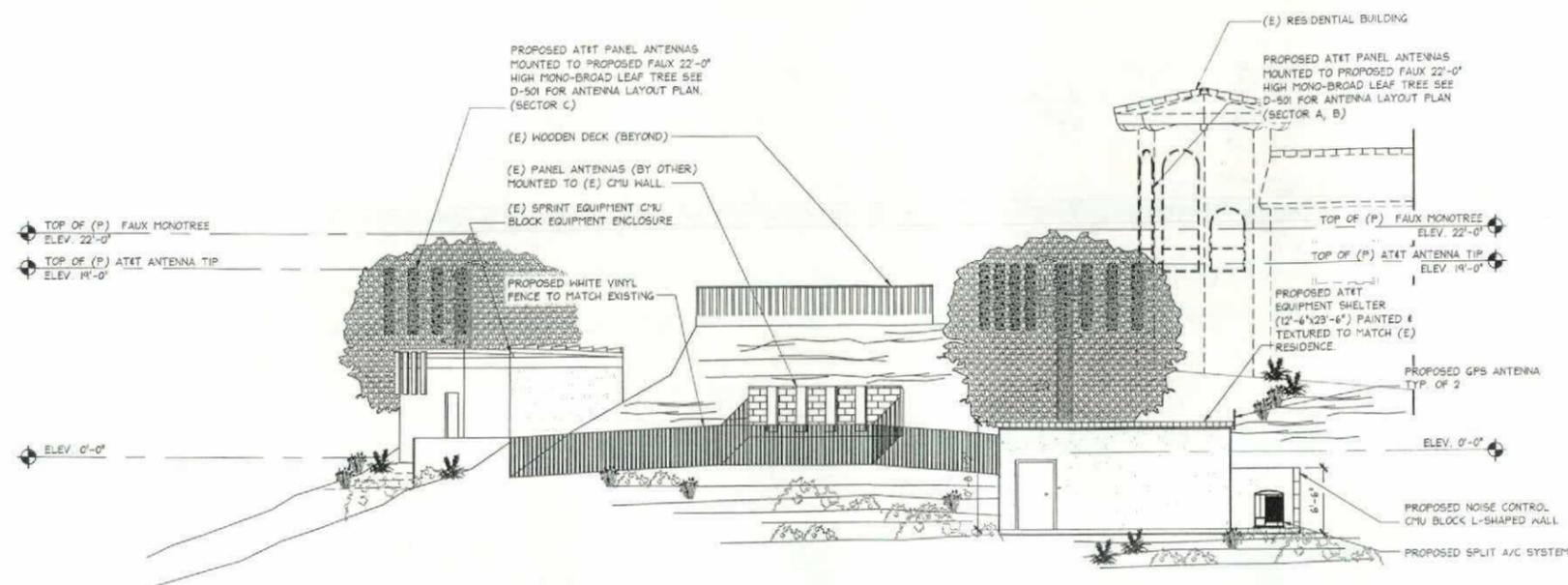
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NS0304  
GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
EXTERIOR ELEVATIONS

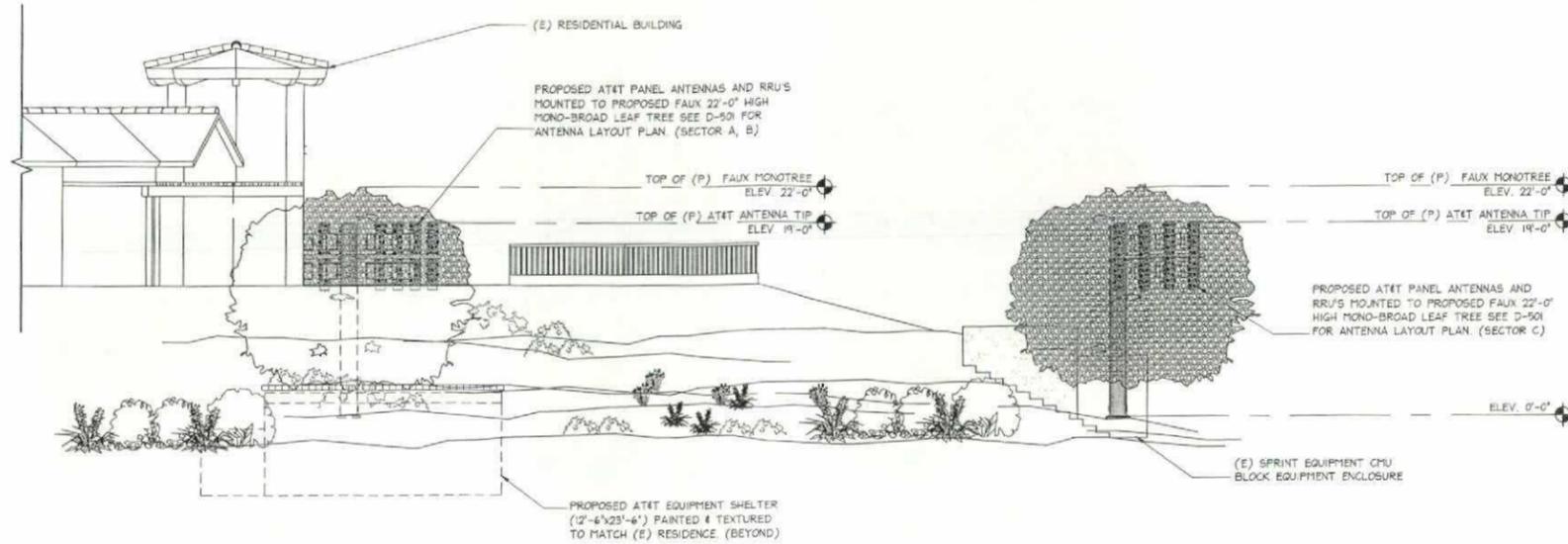
SHEET NUMBER  
**A-201**



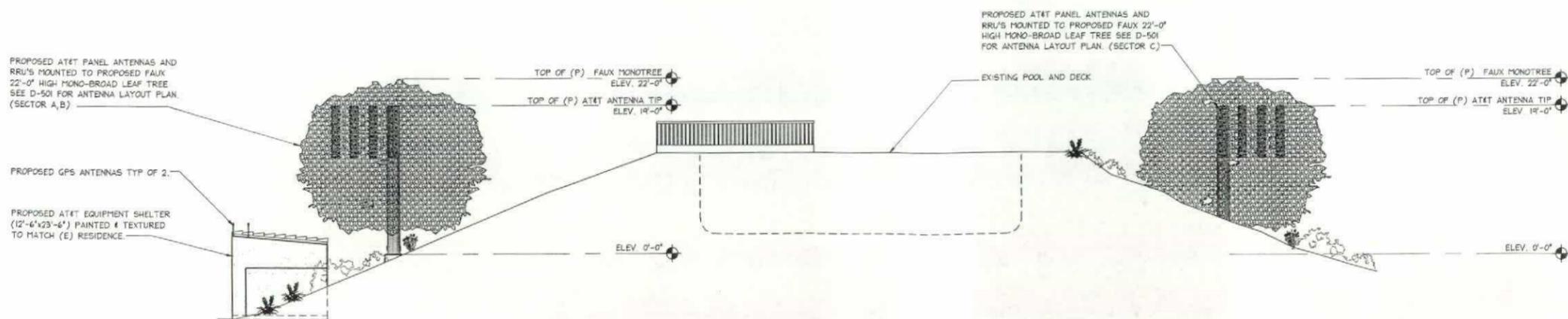
**01 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**02 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



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**BLACK & VEATCH**

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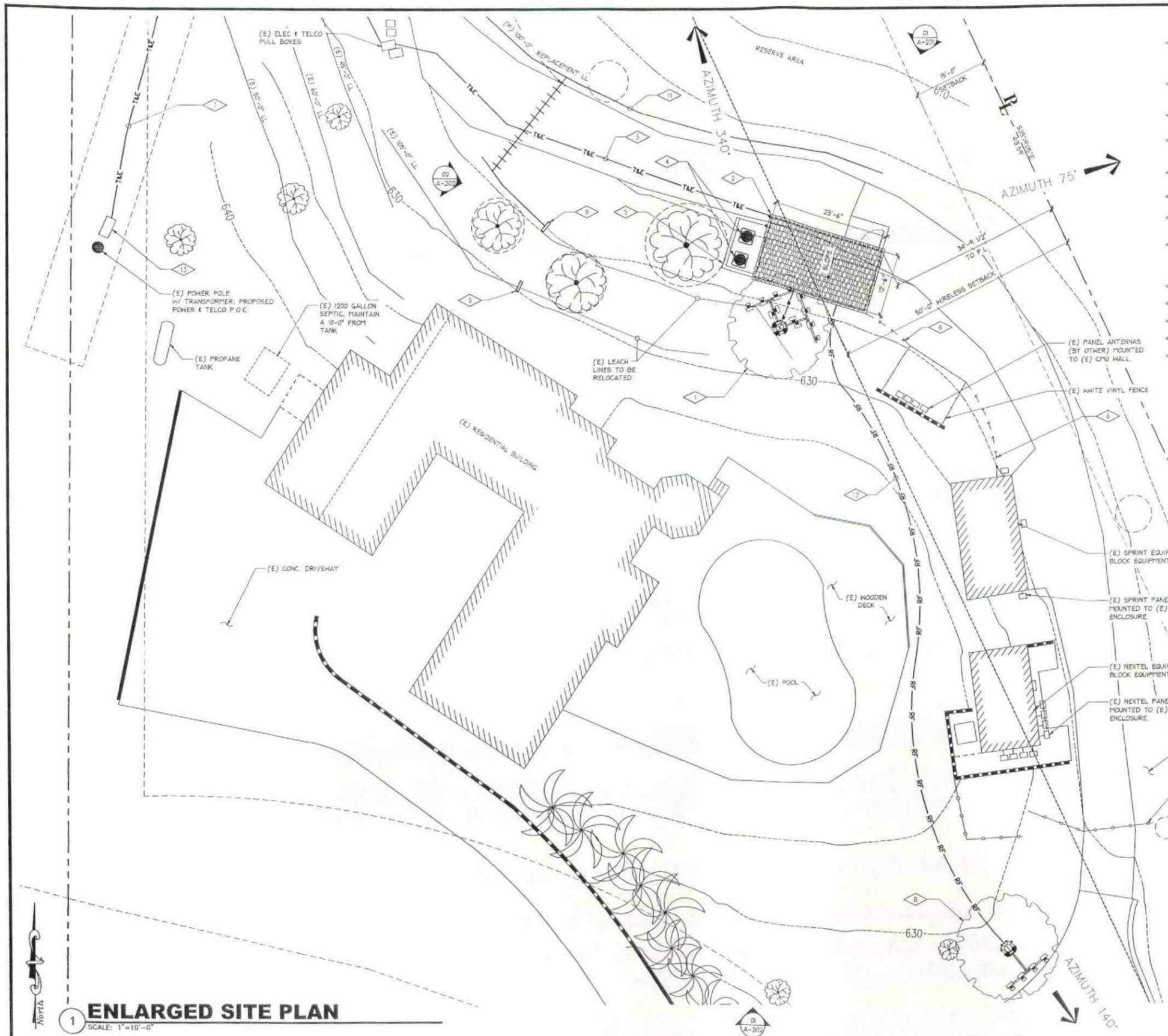
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GIRD ROAD  
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FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER  
**A-202**



- ENLARGED SITE PLAN KEY NOTES**
- 1 PROPOSED AT&T PANEL ANTENNAS (TOTAL 12) MOUNTED TO PROPOSED 22'-0" HIGH MONO-BROAD LEAF FAUX TREE ANTENNAS PAINTED TO MATCH FAUX LEAVES AND SOCK COVER
  - 2 PROPOSED AT&T CPU BLOCK WALL EQUIPMENT SHELTER W/ STUCCO FINISH, CONCRETE ROOF TILE (12'-6"x23'-6") PAINTED & TEXTURED TO MATCH (E) RESIDENCE.
  - 3 EXISTING U/G UTILITY TRENCH TO BE OPENED FOR PROPOSED AT&T POWER AND TELCO ROUTE.
  - 4 PROPOSED (2) OUTDOOR CARRIER COMFORT SERIES HVAC UNITS, MODEL # 24ACA460A003 OR EQUIVALENT SIZED UNITS WITH SINGLE UNIT SOUND POWER LEVEL OF 74 dBA
  - 5 PROPOSED 6'-6" CPU NOISE CONTROL L-SHAPE CPU BLOCK WALL W/ STUCCO SOUND FOR SPRINT SYSTEM A/C UNITS.
  - 6 PROPOSED WHITE VINYL FENCE TO MATCH EXISTING
  - 7 PROPOSED JOINT POWER AND TELCO U/G TRENCH (MAINTAIN 8 FEET MIN. CLEARANCE FROM (E) LEACH LINES)
  - 8 PROPOSED AT&T PANEL ANTENNAS (TOTAL 12) MOUNTED TO PROPOSED 22'-0" HIGH MONO-BROAD LEAF FAUX TREE ANTENNAS PAINTED TO MATCH FAUX LEAVES AND SOCK COVER
  - 9 PROPOSED DAM EXISTING LEACH LINE
  - 10 PROPOSED PAVED ROAD TO PROPOSED AT&T SITE
  - 11 PROPOSED 100 FEET OF REPLACEMENT LEACH LINES
  - 12 PROPOSED COAX ROUTE, COAX LENGTH ±105 FT
  - 13 PROPOSED AT&T METER

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(858) 232-3996

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MITCHELL J. ARCHITECTURE, INC.  
4883 RONSON COURT, SUITE N  
SAN DIEGO, CA 92111  
858.650.3130 (PH) / 858.650.3140 (FAX)

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GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
ENLARGED SITE PLAN

SHEET NUMBER  
**A-401**

**1 ENLARGED SITE PLAN**  
SCALE: 1"=10'-0"



5738 PACIFIC CENTER BLVD.  
SAN DIEGO, CA 92121  
(658) 232-3996



**BLACK & VEATCH**

10950 GRANDVIEW DRIVE  
OVERLAND PARK, KANSAS 66210  
(913) 458-2000



MITCHELL J ARCHITECTURE, INC.  
4683 RONSON COURT, SUITE N  
SAN DIEGO, CA 92111  
858.650.3130 (PH) / 858.650.3140 (FAX)

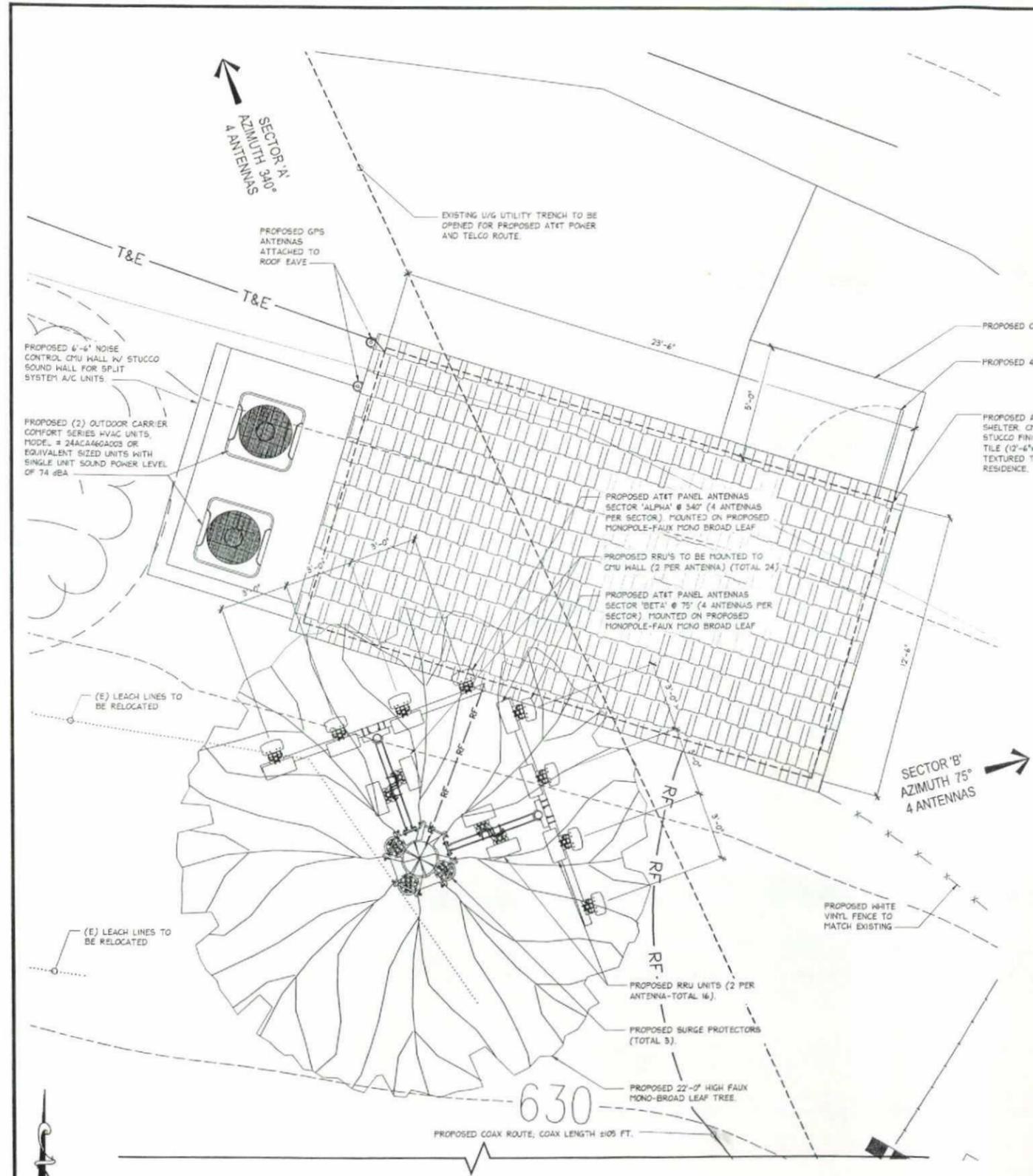
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1	04-20-12	ZD RE-DESIGN
2	07-26-12	ZD REV #1
3	08-07-12	ZD REV #2
4	10-29-12	ZD REV #3

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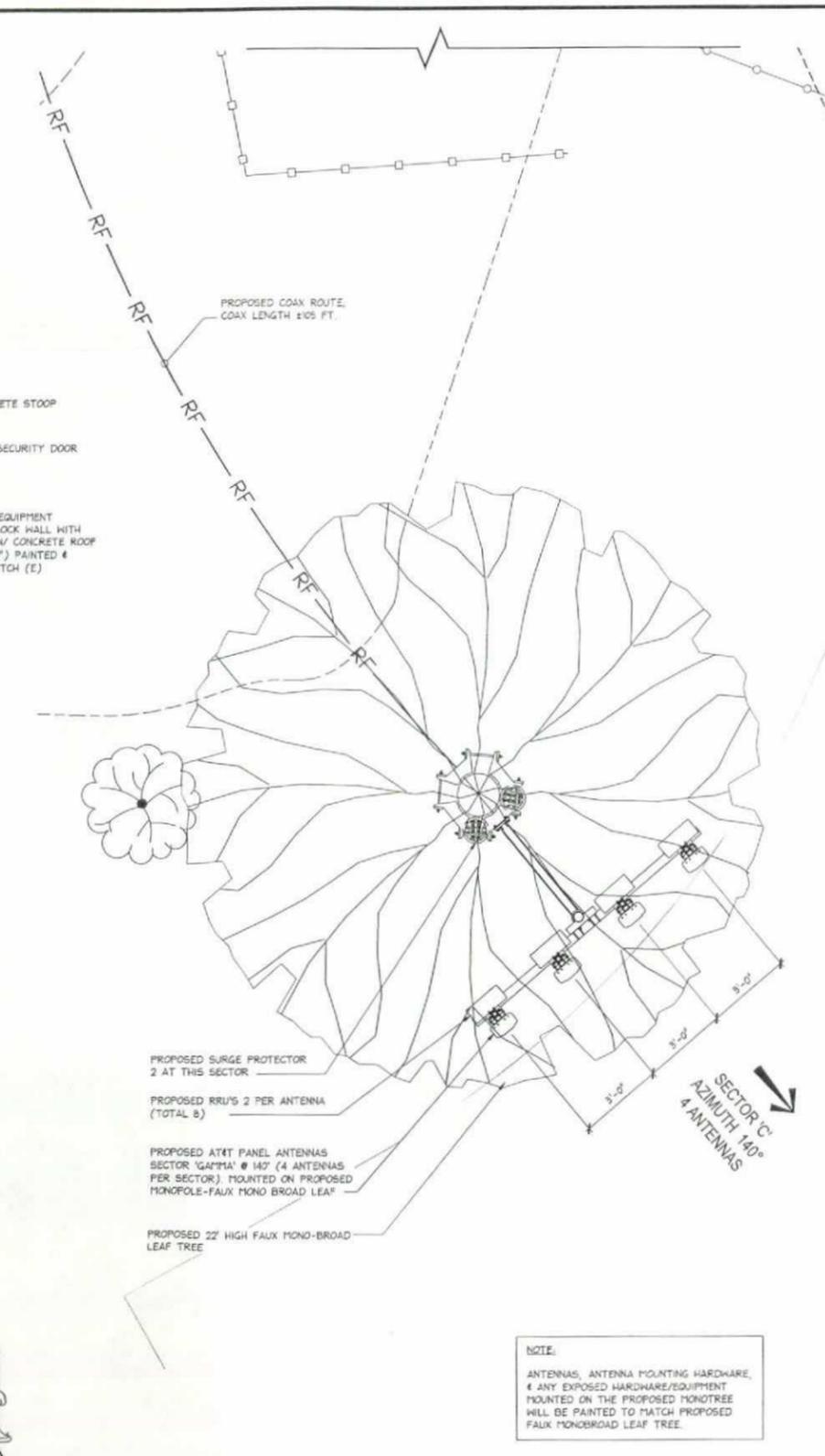
NS0304  
GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
ANTENNA LAYOUT PLAN

SHEET NUMBER  
**D-501**

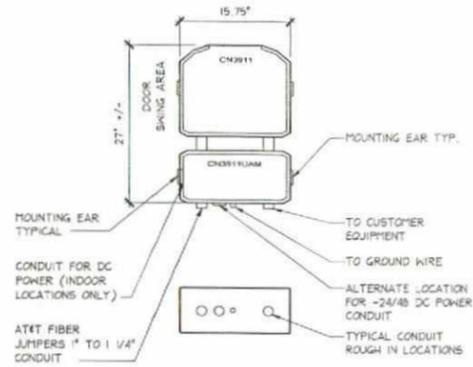


**1 ANTENNA LAYOUT PLAN-SECTOR A - B**  
SCALE: 1/2" = 1'-0"



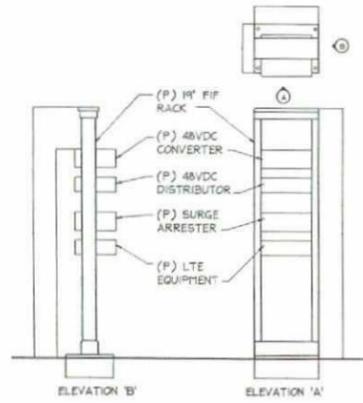
**2 ANTENNA LAYOUT PLAN-SECTOR C**  
SCALE: 1/2" = 1'-0"

NOTE:  
ANTENNAS, ANTENNA MOUNTING HARDWARE, & ANY EXPOSED HARDWARE/EQUIPMENT MOUNTED ON THE PROPOSED MONOTREE WILL BE PAINTED TO MATCH PROPOSED FAUX MONOBROAD LEAF TREE.



### 05 CIENA PANEL

SCALE: NTS

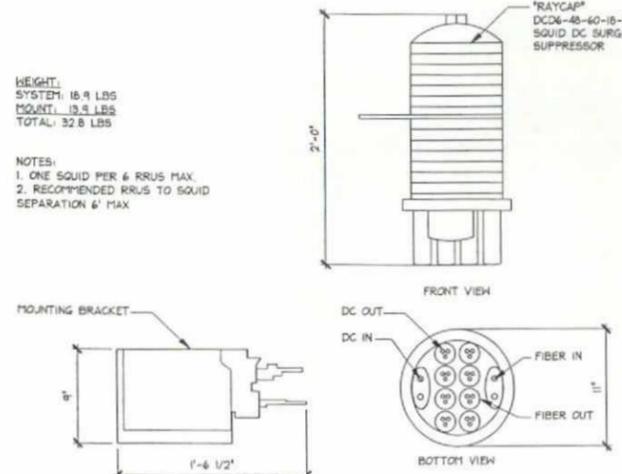


### 06 19" RACK

SCALE: NTS

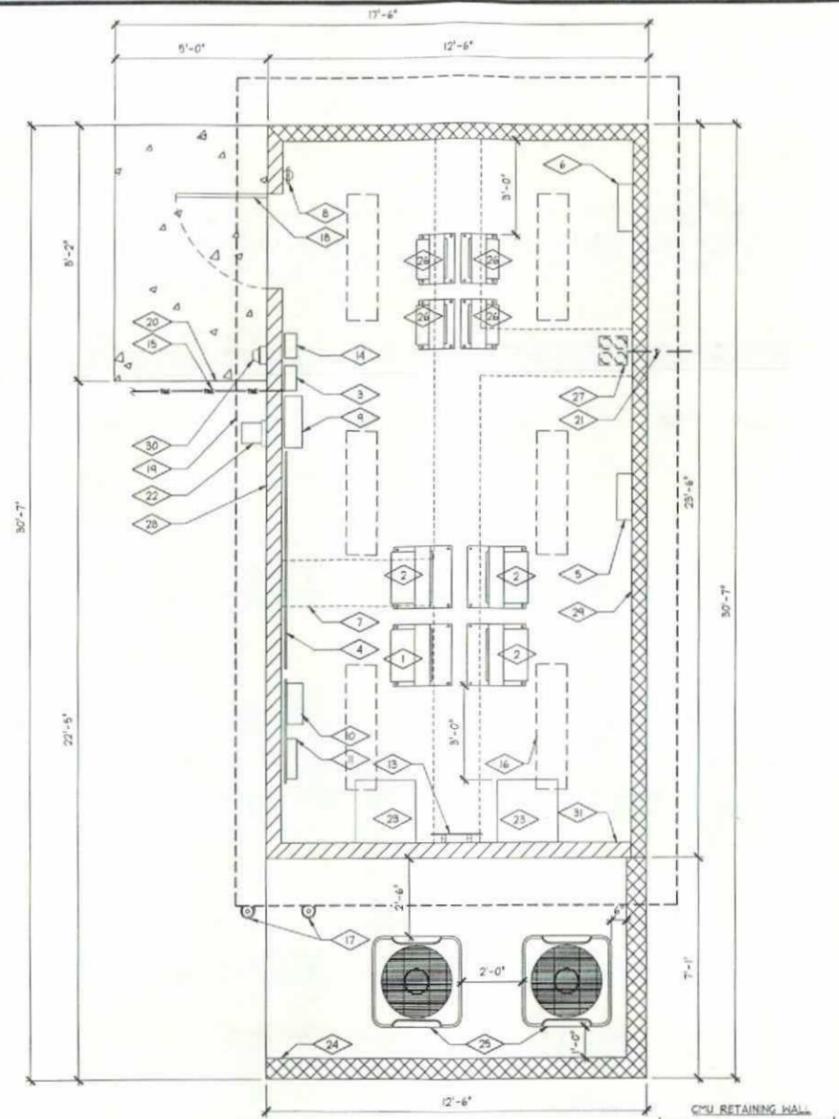
WEIGHT:  
SYSTEM: 18.9 LBS  
MOUNT: 13.9 LBS  
TOTAL: 32.8 LBS

NOTES:  
1. ONE SQUID PER 6 RRUS MAX.  
2. RECOMMENDED RRUS TO SQUID SEPARATION 6' MAX



### 07 SURGE PROTECTOR SPECIFICATIONS

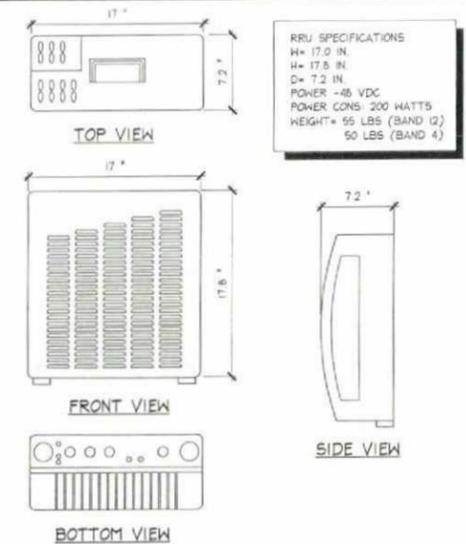
SCALE: NTS



- KEYNOTES:**
- 1 PROPOSED 24V RECTIFIER AND BATTERY RACK
  - 2 PROPOSED 24V EXPANSION BATTERY RACK (MAXIMUM 20 BATTERIES)
  - 3 PROPOSED ELEC. PANEL
  - 4 PROPOSED TELCO BOARD
  - 5 PROPOSED ENVIRONMENTAL CONTROL PANEL
  - 6 PROPOSED FIRST-AID/BATTERY SAFETY KIT AND PORTABLE EYEWASH KIT
  - 7 PROPOSED OVERHEAD COAX CABLE LADDER
  - 8 PROPOSED FIRE EXTINGUISHER
  - 9 PROPOSED PANEL BOARD TRANSFER SWITCH
  - 10 PROPOSED ETHERNET PANEL
  - 11 PROPOSED FTE CABINET
  - 12 NOT USED
  - 13 PROPOSED MASTER GROUND BAR
  - 14 PROPOSED ALARM PANEL
  - 15 PROPOSED (2) 2" POWER AND TELCO CONDUITS
  - 16 PROPOSED FLUORESCENT CEILING LIGHTS TYP OF 6
  - 17 PROPOSED GPS ANTENNAS TYP. OF 2
  - 18 PROPOSED 3'-0" x 6'-8" STEEL DOOR
  - 19 PROPOSED OVERHANG
  - 20 PROPOSED CONCRETE STOOP
  - 21 PROPOSED UNDERGROUND (6) 4" x 4" (6) 6" x 6" SCHEDULE 40 PVC COAXIAL CABLE CONDUITS TO MONOBROAD LEAF TREE
  - 22 PROPOSED WALL MOUNTED GENERATOR RECEPTACLE
  - 23 PROPOSED AIR HANDLERS
  - 24 PROPOSED 4'-6" HIGH L-SHAPED NOISE CONTROL CMU BLOCK WALL FOR HVAC UNITS
  - 25 PROPOSED OUTDOOR CARRIER COMFORT SERIES HVAC UNITS, MODEL # 24AC46A003 OR EQUIVALENT SIZED UNITS WITH SINGLE UNIT SOUND LEVEL OF 74 dBA (TOTAL 2)
  - 26 PROPOSED 19" DATA RACK (TOTAL 4)
  - 27 PROPOSED 4-4" CONDUITS ENTRY PORT AT FLOOR
  - 28 PROPOSED (12'-6"x25'-6") AT&T CMU BLOCK HALL EQUIPMENT SHELTER WITH STUCCO FINISH AND CONCRETE ROOF TILE PAINT AND TEXTURE TO MATCH EXISTING RESIDENCE.
  - 29 PROPOSED CMU-RETAINING WALL
  - 30 PROPOSED EXTERIOR LIGHT

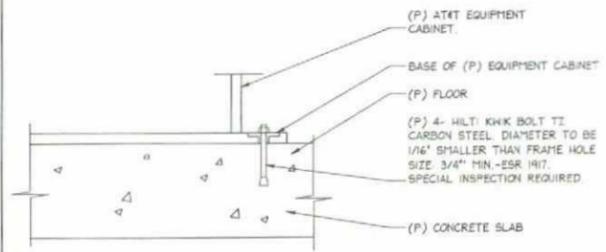
### 04 EQUIPMENT ENCLOSURE

SCALE: 3/8"=1'-0"



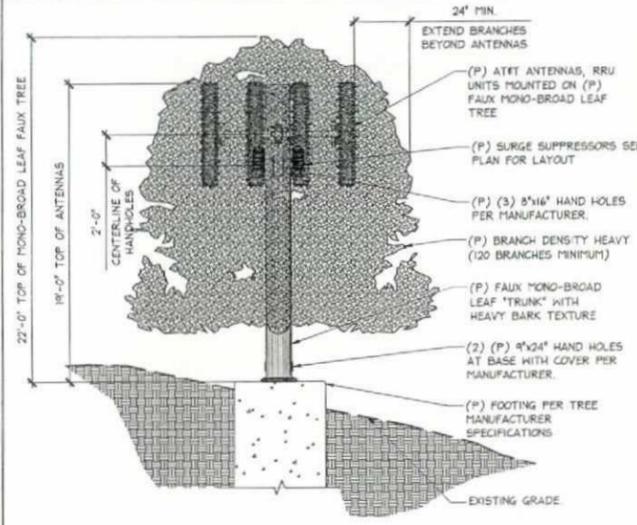
### 01 RADIO REMOTE UNIT

SCALE: 1 1/2"=1'-0"



### 02 EQUIPMENT ANCHORAGE

SCALE: 1 1/2"=1'-0"



### 03 MONOBROAD LEAF FAUX TREE

SCALE: 1-1/2"=1'-0"

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MITCHELL J ARCHITECTURE, INC.  
4883 RONSON COURT, SUITE N  
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858.650.3130 (PH) / 858.650.3140 (FAX)

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NS0304  
GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
NOTES AND DETAILS

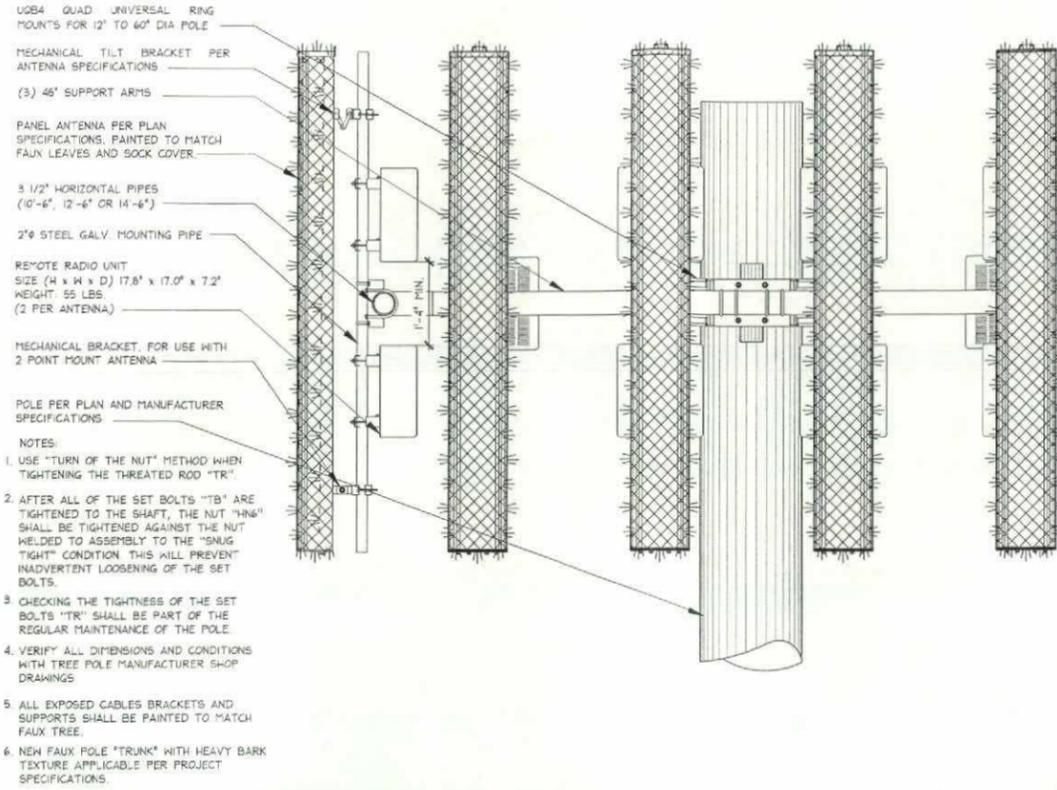
SHEET NUMBER  
**D-502**

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SCALE: NTS

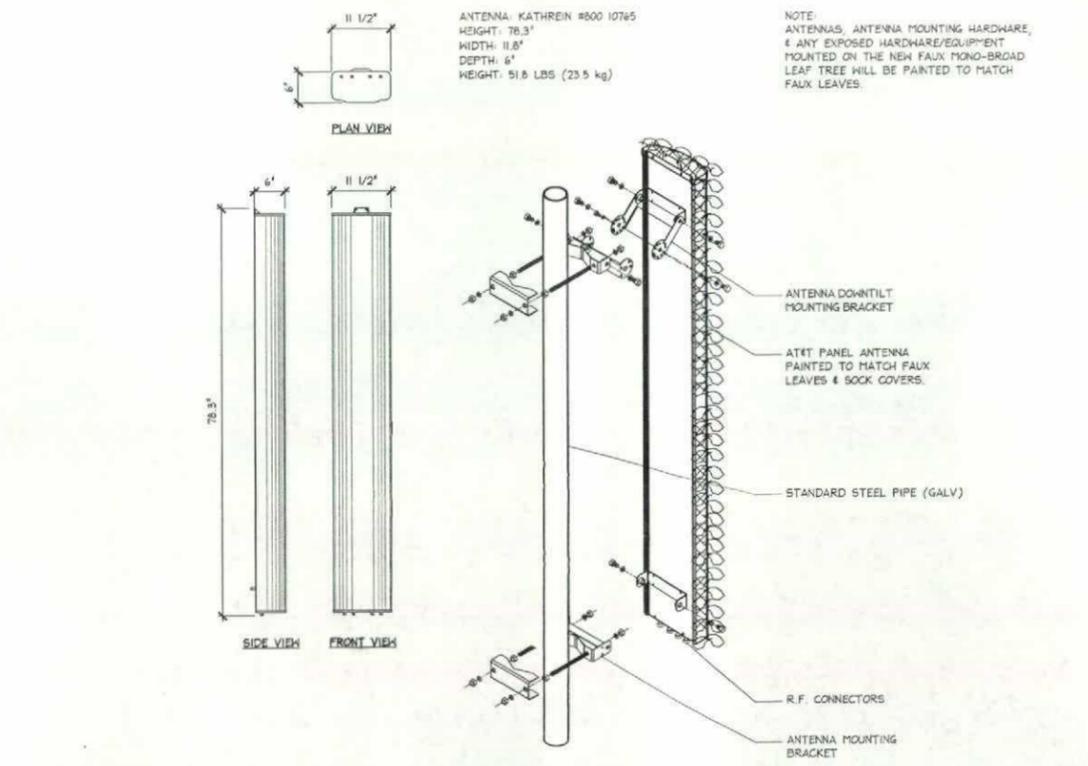
14 NOT USED  
SCALE: NTS

15 NOT USED  
SCALE: NTS

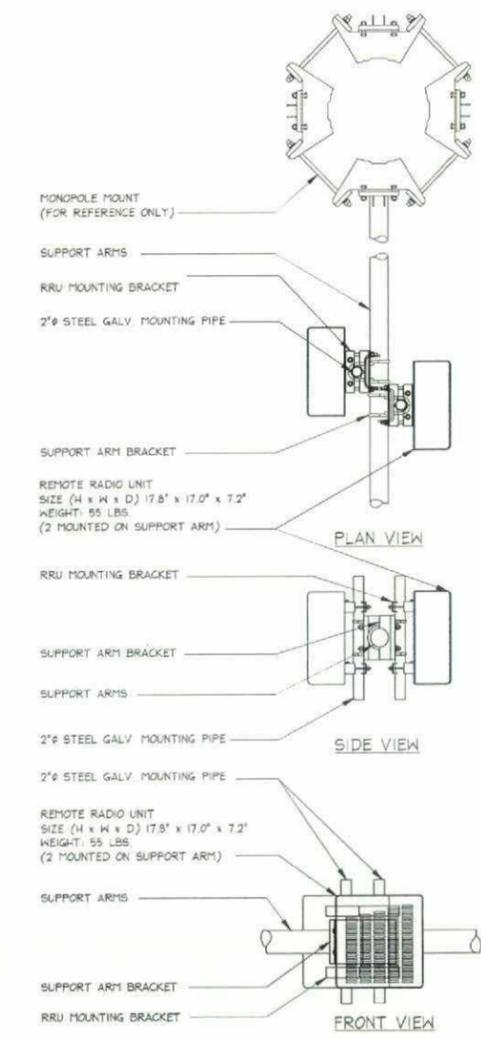
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SCALE: NTS



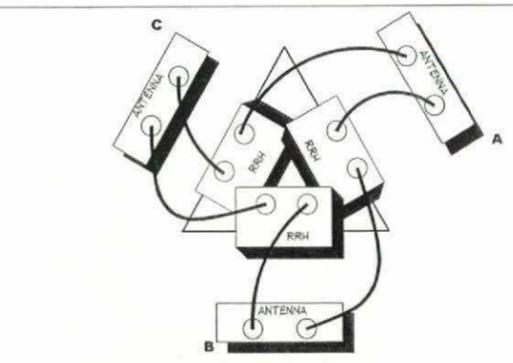
10 ANTENNA ATTACHMENT  
SCALE: 3/4" = 1'-0"



12 ANTENNA SPECIFICATIONS  
SCALE: 3/4" = 1'-0"



03 RRU ATTACHMENT DETAIL  
SCALE: NTS



04 CSR DIAGRAM DETAIL  
SCALE: NTS

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NS0304  
GIRD ROAD  
1907 CARRIAGE LANE  
FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
ANTENNA DETAILS

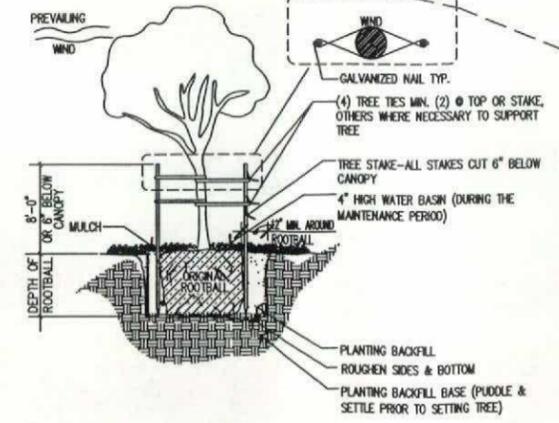
SHEET NUMBER  
**D-503**

**PLANTING SPECIFICATIONS:**

1. ALL PLANTING MATERIALS AND PROCEDURES SHALL CONFORM TO THE COUNTY OF SAN DIEGO SPECIFICATIONS AND REQUIREMENTS.
2. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL.
3. LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, INCLUDING ALL SLOPE GROUND COVER, TRASH, CLIPPINGS, ROCK OVER TWO (2) INCHES IN DIAMETER AND OTHER DEBRIS FROM ALL PLANTING AREAS ON THE SITE AND DISPOSE OF IT AT AN APPROVED DISPOSAL AREA.
4. LANDSCAPE CONTRACTOR SHALL RAKE AND FINE GRADE ALL AREAS TO BE PLANTED PRIOR TO THE COMMENCEMENT OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE FINISH GRADING OF THE SITE. SITE SHALL BE RECEIVED AT PLUS OR MINUS ONE (1) INCH.
5. ALL NEW PLANTING AREAS AND SLOPES ARE TO BE WATERED FOR FIFTEEN (15) DAYS PRIOR TO HERBICIDE APPLICATION. "ROUND-UP" HERBICIDE TO BE SPRAYED ON WEEDS PER MANUFACTURER'S DIRECTIONS. REPEAT APPLICATIONS MAY BE NECESSARY AFTER REQUIRED MINIMUM OF TWO (2), DEPENDING UPON WEED GROWTH. PLANTING TO COMMENCE TWELVE (12) DAYS AFTER LAST APPLICATION.
6. PRIOR TO THE INCORPORATION OF THE AMENDMENTS, ALL PLANTING AREAS ARE TO BE THOROUGHLY WATERED IN A MANNER THAT WILL PASS A MINIMUM OF TWELVE (12) INCHES OF WATER THROUGH THE SURFACE SOIL ZONE. THIS PROCEDURE IS CALLED LEACHING AND ONLY WHEN COMPLETED AND SOLUBLE SALTS ARE ADEQUATELY LOW SHALL THE ABOVE AMENDMENTS BE INCORPORATED.
7. PLANT PITS SHALL BE SQUARE AND TWO (2) TIMES GREATER IN DIAMETER THAN THE PLANT CONTAINER AND AT LEAST TWELVE (12) INCHES BELOW THE BOTTOM OF THE CONTAINER.
8. ALL WATERING BASINS SHALL RECEIVE A MINIMUM OF TWO (2) INCHES OF SHREDDED BARK MULCH. A ONE (1) CUBIC YARD SAMPLE OF MULCH TO BE USED SHALL BE DELIVERED TO THE SITE FOR INSPECTION BY THE OWNER/LANDSCAPE ARCHITECT.
9. ALL STANDARD TREES SHALL BE DOUBLED STAKED AS PER DETAIL.
10. TWENTY FOUR (24) HOURS PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT OWNER/LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL AND ITS INTENDED LOCATION ON SITE. PHOTOGRAPHS ARE REQUIRED FOR ALL 24" BOX OR LARGER TREES.
11. THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION REMOVING ALL USED MATERIALS, TRASH, AND TOOLS ON A DAILY BASIS.
12. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL TREES FOR A PERIOD OF NINETY (90) DAYS. GUARANTEE PERIOD FOR ALL TREES SHALL BE 90 DAYS, REPLACE ANY TREES NOT IN HEALTHY CONDITION. PERIOD FOR ALL TREES AND SHALL COMMENCE UPON WRITTEN APPROVAL OF THE OWNER AT THE END OF THE MAINTENANCE PERIOD OR EXTENSION THEREOF.
13. LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENT OF MATERIALS MADE NECESSARY THROUGH THE ACTION OR NEGLIGENCE OF HIS CREW.
14. UPON COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER/LANDSCAPE ARCHITECT AND ARRANGE FOR A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS AND MUST BE COMPLETED IN A GOOD WORKMANSHIP LIKE MANNER AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE COMMENCEMENT OF THE MAINTENANCE PERIOD.

**IRRIGATION SPECIFICATIONS:**

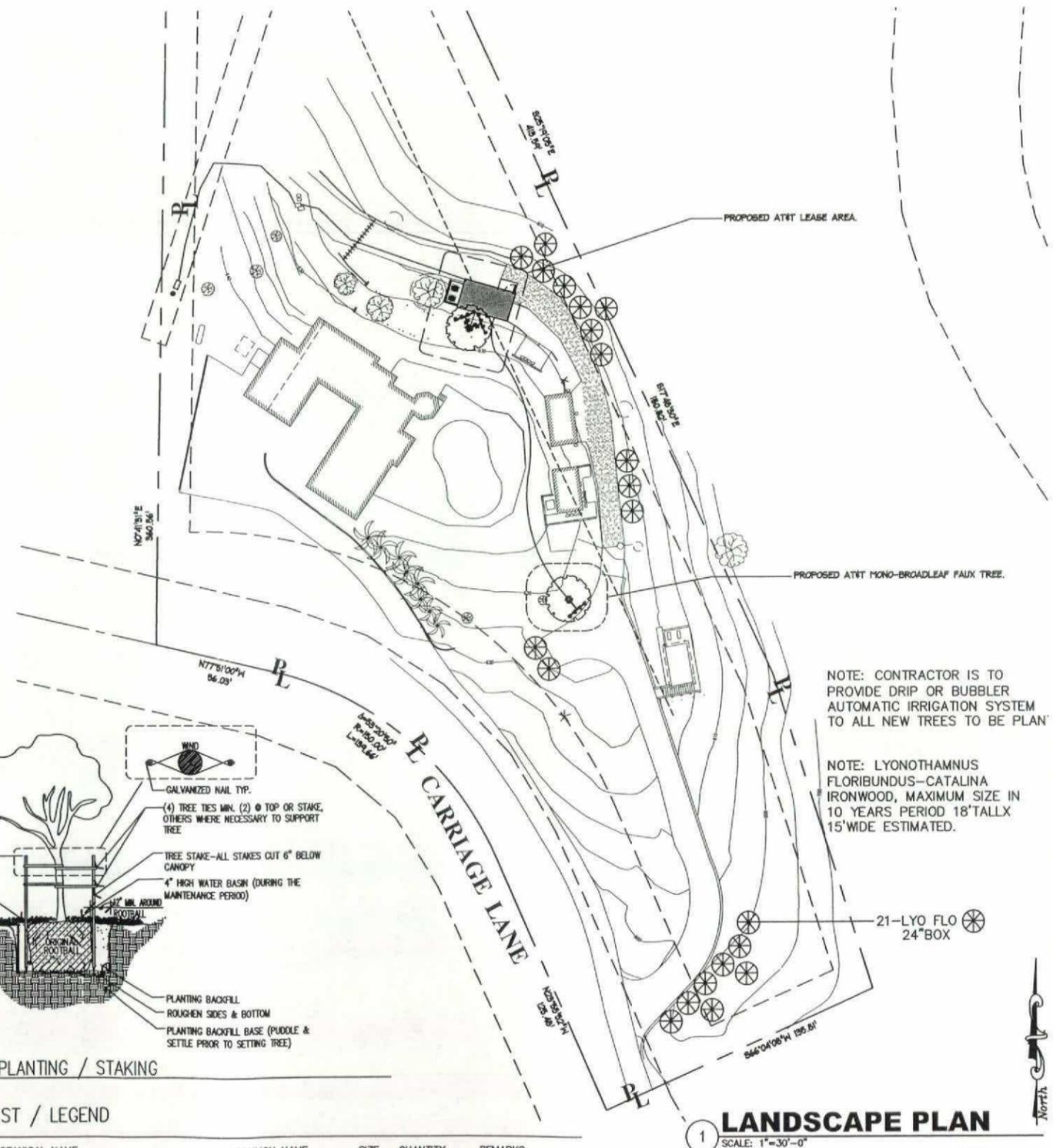
1. ALL IRRIGATION MATERIALS AND PROCEDURES SHALL CONFORM TO THE COUNTY OF SAN DIEGO SPECIFICATIONS AND REQUIREMENTS.
2. IRRIGATION PLAN IS DIAGRAMATIC ONLY.
3. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF ALL EXISTING SITE CONDITIONS.
4. WHEN THE IRRIGATION SYSTEMS ARE COMPLETED, THE CONTRACTOR, IN THE PRESENCE OF THE OWNER/THE LANDSCAPE ARCHITECT, SHALL PERFORM A TEST OF COVERAGE OF WATER AFFORDED THE TREES TO ENSURE THAT IT IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE.
5. LATERAL LINES: ALL PIPING UNDER INTERMITTENT PRESSURE, DOWN STREAM OR CONTROL VALVES SHALL BE RIGID PVC 1120, SDR 21 OR CLASS 200 PVC UNLESS OTHERWISE SHOWN ON THE DRAWINGS, DETAILS, OR LEGEND.
6. ALL PLASTIC FITTINGS SHALL BE RIGID POLYVINYL CHLORIDE, STANDARD SCHEDULE 40 TYPE I AND II. ALL RISERS AND NIPPLES SHALL BE REAMED SCHEDULE 80 PVC.
7. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO THE WORK OF THIS SECTION ON A DAILY BASIS.
8. THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR TO GIVE COMPLETE AND SATISFACTORY SERVICES AS TO MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER/DEVELOPER.



**A TREE PLANTING / STAKING**  
SCALE:

**PLANT LIST / LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
<b>TREES</b>					
(Symbol)	LYO FLO LYONOTHAMNUS FLORIBUNDUS 'ASPLENIFOLIUS'	CATALINA IRONWOOD	24"BOX	21	STANDARD FORM (Symbol)
<b>GROUNDCOVERS</b>					
2" DEEP BARK CHIP MULCH AROUND ALL TREES					



NOTE: CONTRACTOR IS TO PROVIDE DRIP OR BUBBLER AUTOMATIC IRRIGATION SYSTEM TO ALL NEW TREES TO BE PLANT

NOTE: LYONOTHAMNUS FLORIBUNDUS-CATALINA IRONWOOD, MAXIMUM SIZE IN 10 YEARS PERIOD 18'TALLX 15'WIDE ESTIMATED.

**LANDSCAPE PLAN**  
SCALE: 1"=30'-0"

**Darsono Design Associates, Inc.**  
LANDSCAPE ARCHITECTURE PLANNING  
5014 MOUNT LA PLATTA DRIVE SAN DIEGO, CA 92117  
PHONE (858) 541-2007 FAX (858) 541-2008



5738 PACIFIC CENTER BLVD. SAN DIEGO, CA 92121  
(858) 232-3996



10950 GRANDVIEW DRIVE OVERLAND PARK, KANSAS 66210  
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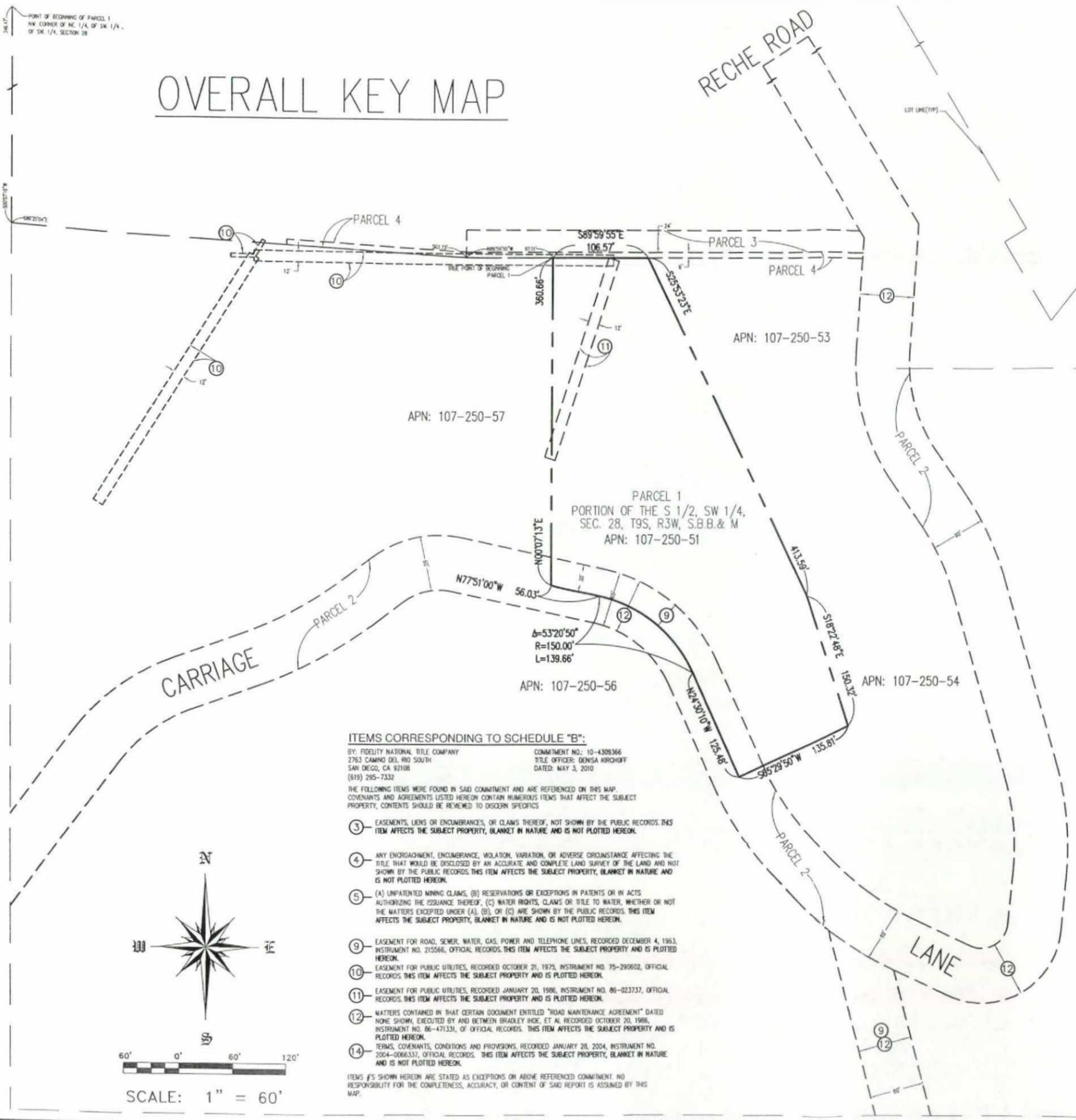
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FALLBROOK, CA. 92028  
MONO-BROAD TREES

SHEET TITLE  
LANDSCAPE PLAN

SHEET NUMBER  
**L-1.0**



# OVERALL KEY MAP



**ITEMS CORRESPONDING TO SCHEDULE "B":**

BY: FIDELITY NATIONAL TITLE COMPANY  
 2763 CAMINO DEL RIO SOUTH  
 SAN DIEGO, CA 92108  
 (619) 295-7332

COMMITMENT NO.: 10-4309366  
 TITLE OFFICER: DENISA KROHOF  
 DATED: MAY 3, 2010

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS.

③ EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE, AND IS NOT PLOTTED HEREON.

④ ANY ENDOGAGEMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.

⑤ (A) UNPATENTED MINING CLAIMS, (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF, (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B), OR (C) ARE SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE, AND IS NOT PLOTTED HEREON.

⑨ EASEMENT FOR ROAD, SEWER, WATER, GAS, POWER AND TELEPHONE LINES, RECORDED DECEMBER 4, 1963, INSTRUMENT NO. 215566, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

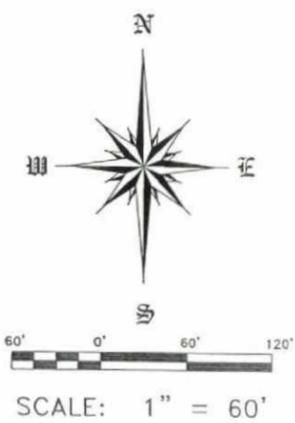
⑩ EASEMENT FOR PUBLIC UTILITIES, RECORDED OCTOBER 21, 1975, INSTRUMENT NO. 75-290602, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

⑪ EASEMENT FOR PUBLIC UTILITIES, RECORDED JANUARY 20, 1986, INSTRUMENT NO. 86-023737, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

⑫ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "ROAD MAINTENANCE AGREEMENT" DATED NONE SHOWN, EXECUTED BY AND BETWEEN BRADLEY IHDE, ET AL RECORDED OCTOBER 20, 1986, INSTRUMENT NO. 86-471331, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

⑭ TERMS, COVENANTS, CONDITIONS AND PROVISIONS, RECORDED JANUARY 28, 2004, INSTRUMENT NO. 2004-0066337, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.

ITEMS #5 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



**LEGAL DESCRIPTION:**  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

**PARCEL 1:**  
 THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 28; THENCE ALONG THE WESTERLY LINE THEREOF SOUTH 07° 10' WEST, 346.47 FEET TO THE NORTHWEST CORNER OF THE LAND DESCRIBED AS PARCEL 1 IN DEED TO DENNY F. COLWELL, ET UX, RECORDED JULY 16, 1975 AS FILE NO. 75-183228 OF OFFICIAL RECORDS; THENCE ALONG THE BOUNDARY THEREOF, SOUTH 80° 33' 04" EAST, 503.73 FEET; SOUTH 89° 59' 55" EAST, 97.11 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG THE BOUNDARY OF SAID COLWELL LAND, SOUTH 89° 59' 55" EAST, 106.57 FEET; SOUTH 25° 33' 23" EAST, 413.59 FEET; SOUTH 18° 22' 48" EAST, 156.32 FEET; SOUTH 85° 29' 50" WEST, 135.81 FEET; THENCE LEAVING SAID BOUNDARY NORTH 24° 30' 10" WEST, 125.48 FEET TO THE BEGINNING OF A TANGENT 150.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH AN ANGLE OF 53° 20' 50" A DISTANCE OF 139.66 FEET; THENCE NORTH 77° 51' WEST, 56.03 FEET; THENCE NORTHERLY, IN A STRAIGHT LINE, TO THE TRUE POINT OF BEGINNING.

**PARCEL 2:**  
 AN EASEMENT AND RIGHT OF WAY, FOR ROAD, SEWER, WATER, GAS, POWER AND TELEPHONE LINES, AND APPURTENANCES THEREOF, OVER, UNDER, ALONG AND ACROSS A STRIP OF LAND 6.00 FEET IN WIDTH, LYING WITHIN THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, THE CENTER LINE OF SAID EASEMENT BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EAST LINE OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER WITH THE NORTHERLY FENCE LINE OF THE RANCHO MONSIEUR, AS DESCRIBED IN DEED TO DANIEL AUSTIN, RECORDED JANUARY 16, 1892 IN BOOK 196, PAGE 33 OF DEEDS, RECORDS OF SAID COUNTY, SAID POINT OF INTERSECTION BEING DESIGNATED "SOUTH QUARTER CORNER OF SECTION 28" ON RECORD OF SURVEY MAP NO. 4872, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY; THENCE ALONG SAID EAST LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER, NORTH 00° 12' 05" EAST, 621.38 FEET (RECORD 622.00 FEET) TO THE NORTHEAST CORNER OF SAID AUSTIN'S LAND; THENCE ALONG THE NORTHERLY LINE OF SAID LAND NORTH 89° 54' 30" WEST, 553.37 FEET (RECORD 553.00 FEET) TO THE NORTHEAST CORNER OF LAND DESCRIBED IN DEED TO TED EDWIN DRIGGS, RECORDED MARCH 26, 1955 AS DOCUMENT NO. 44242 IN BOOK 5583, PAGE 196 OF OFFICIAL RECORDS; THENCE NORTH 89° 54' 30" WEST, 178.85 FEET; THENCE NORTH 16° 28' 00" WEST, 208.65 FEET TO A POINT WHICH IS DISTANT NORTH 89° 54' 30" WEST, 238.60 FEET FROM THE NORTHEAST CORNER OF SAID DRIGGS' LAND; THENCE NORTH 16° 28' 00" WEST, 102.71 FEET TO THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO, RECORDED JUNE 27, 1955 AS DOCUMENT NO. 82752 IN BOOK 5694, PAGE 390 OF OFFICIAL RECORDS; THENCE ALONG SAID SOUTHEAST CORNER LINE SOUTH 38° 47' 00" WEST 58.46 FEET TO THE MOST SOUTHERLY CORNER OF SAID LAND; THENCE NORTH 31° 14' 00" WEST, 102.00 FEET TO THE MOST WESTERLY CORNER THEREOF; THENCE ALONG THE NORTHWESTERLY LINE OF SAID COUNTY LAND, NORTH 26° 46' 00" EAST, 28.50 FEET TO THE SOUTHWESTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO, RECORDED APRIL 1, 1929 AS DOCUMENT NO. 15258 IN BOOK 1088, PAGE 18 OF DEEDS, RECORDS OF SAID COUNTY; THENCE ALONG SAID SOUTHWESTERLY LINE NORTH 31° 14' 00" WEST, 401.54 FEET TO THE NORTH LINE OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER; THENCE WESTERLY ALONG SAID NORTH LINE NORTH 89° 59' 55" WEST, 158.06 FEET TO THE TRUE POINT OF BEGINNING; AND THE NORTHEAST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO KENNETH H. SIMPSON, ET UX, RECORDED APRIL 27, 1960 AS DOCUMENT NO. 87125 OF OFFICIAL RECORDS; THENCE ALONG THE BOUNDARY OF SAID LAND OF SIMPSON, SOUTH 31° 56' 55" EAST, 408.33 FEET; THENCE LEAVING THE BOUNDARY OF SAID SIMPSON, SOUTH 03° 38' 00" WEST, 132.96 FEET TO THE BEGINNING OF A TANGENT 200.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 38° 36' 10" A DISTANCE OF 134.75 FEET; THENCE TANGENT TO SAID CURVE SOUTH 34° 58' 10" EAST, 54.59 FEET TO THE BEGINNING OF A TANGENT 300.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 18° 46' 10" A DISTANCE OF 98.27 FEET; THENCE TANGENT TO SAID CURVE SOUTH 16° 12' 00" EAST, 208.47 FEET TO THE BEGINNING OF A TANGENT 300.00 FOOT RADIUS CURVE, CONCAVE WESTERLY; THENCE SOUTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 21° 52' 00" A DISTANCE OF 114.49 FEET; THENCE TANGENT TO SAID CURVE SOUTH 05° 40' 00" WEST, 57.93 FEET TO THE BEGINNING OF A TANGENT 60.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 10° 00' 00" A DISTANCE OF 114.14 FEET; THENCE TANGENT TO SAID CURVE NORTH 65° 20' 00" WEST, 66.70 FEET TO THE BEGINNING OF A TANGENT 300.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 11° 30' 00" A DISTANCE OF 70.25 FEET TO POINT "A" OF THIS DESCRIPTION; THENCE CONTINUING ALONG SAID CURVE THROUGH AN ANGLE OF 08° 17' 00" A DISTANCE OF 56.71 FEET; THENCE TANGENT TO SAID CURVE NORTH 44° 33' 00" WEST, 36.84 FEET TO THE BEGINNING OF A TANGENT 300.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 20° 02' 00" A DISTANCE OF 104.97 FEET; THENCE TANGENT TO SAID CURVE NORTH 24° 30' 10" WEST, 125.48 FEET TO THE BEGINNING OF A TANGENT 150.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 53° 20' 50" A DISTANCE OF 139.66 FEET; THENCE NORTH 77° 51' 00" WEST, 162.71 FEET TO THE BEGINNING OF A TANGENT 100.00 FOOT RADIUS CURVE, CONCAVE SOUTHERLY; THENCE WESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 48° 53' 30" A DISTANCE OF 85.33 FEET; THENCE TANGENT TO SAID CURVE SOUTH 53° 15' 30" WEST, 31.49 FEET TO THE BEGINNING OF A TANGENT 500.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 16° 43' 20" A DISTANCE OF 145.83 FEET; THENCE TANGENT TO SAID CURVE SOUTH 89° 59' 55" WEST, 78.54 FEET TO THE BEGINNING OF A TANGENT 200.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 33° 18' 10" A DISTANCE OF 116.25 FEET; THENCE TANGENT TO SAID CURVE SOUTH 36° 40' 40" WEST, 160.11 FEET.

THE SIDE LINES OF SAID EASEMENT ARE TO BE PROLONGED OR SHORTENED SO AS TO TERMINATE ON THE NORTH AT THE NORTH LINE OF SAID SOUTH HALF OF THE NORTHWEST QUARTER AND ON THE WEST AT A LINE WHICH BEARS NORTH 00° 10' EAST THROUGH THE WESTERLY TERMINUS OF THE HEREINABOVE DESCRIBED CENTER LINE.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN PARCEL 1 ABOVE DESCRIBED.

**PARCEL 3:**  
 AN EASEMENT AND RIGHT OF WAY FOR INGRESS, EGRESS AND ROAD PURPOSES OVER, UNDER, ALONG AND ACROSS A STRIP OF LAND 6.00 FEET IN WIDTH, LYING WITHIN THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, THE SOUTHERLY LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF PARCEL 1 ABOVE DESCRIBED; THENCE NORTH 89° 59' 55" WEST, 97.11 FEET TO THE TRUE POINT OF BEGINNING; THENCE RETRACING SOUTH 89° 59' 55" EAST, 475.94 FEET.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN PARCEL 2 ABOVE DESCRIBED.

ALSO EXCEPTING THAT PORTION, IF ANY, LYING WITHIN THE LAND DESCRIBED IN DEED TO KENNETH H. SIMPSON, ET UX, RECORDED APRIL 27, 1960 AS FILE NO. 87125 OF OFFICIAL RECORDS.

**PARCEL 4:**  
 AN EASEMENT FOR WATER LINE PURPOSES AND APPURTENANCES THERETO OVER, UNDER, ALONG AND ACROSS A STRIP OF LAND 6.00 FEET IN WIDTH, LYING WITHIN THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 9 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, THE SOUTHERLY LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF PARCEL 1 ABOVE DESCRIBED; THENCE NORTH 89° 59' 55" WEST, 97.11 FEET; THENCE NORTH 86° 25' 04" WEST, 203.23 FEET TO THE TRUE POINT OF BEGINNING; THENCE RETRACING SOUTH 86° 25' 04" EAST, 203.23 FEET; THENCE SOUTH 89° 59' 55" EAST, 475.94 FEET.

ASSESSOR'S PARCEL NO. 107-250-51



5738 PACIFIC CENTER BLVD  
 SAN DIEGO, CA 92121



10950 GRANDVIEW DRIVE  
 OVERLAND PARK, KANSAS 66210  
 (913) 458-2000

PROJECT NO: SD-948-01  
 DRAWN BY: JUO  
 CHECKED BY: MAM

REV	DATE	DESCRIPTION
0	04/06/2010	ISSUED FOR ZONING

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**IHDE RESIDENCE**  
 1907-B CARRIAGE LANE  
 FALLBROOK, CA 92028  
 SD-948-01  
 ZONING

SHEET TITLE  
 TOPOGRAPHIC SURVEY

SHEET NUMBER  
 LS-1

MIGUEL A. MARTINEZ  
 L.S. 7443



**DATUM STATEMENT:**

STATION: 093MCCS3  
 ELEVATION: 945.28  
 DESCRIPTION: SET 3/4 POLE WITH 2 DIA. CH. OF SD SURVEYOR BRASS DISK STAMPED 093MCCS3. FENCE POST WITNESS SET 3 SLY.

LOCATION: NLY OF THE PALA MESA VILLAGE AREA, FROM THE INTERSECTION OF PEONY DR AND CITRUS DR, FOLLOW CITRUS DR E'LY TO LOOKED GATE (BECK RESERVOIR IS TO THE SOUTH), THRU GATE AND FOLLOW RD TO LOCATED GATE ON THE LEFT, FOLLOW RD E'LY THRU GATE TO LARGE GRADED PAD FOR RADIO ANTENNAS. STA IS LOCATED IN THE NWLY PORTION OF THE PAD 104 NLY OF UTILITY POLE#16270 AND 117 WLY OF UTILITY POLE#16271 (REF ROS 16718)

**LEGEND:**

- BTM BOTTOM
- EP EDGE OF PAVEMENT
- EPB ELECTRIC PULLBOX
- FF FINISHED FLOOR
- FS FINISHED SURFACE
- FL FLOW LINE
- GB GRADE BREAK
- NG NATURAL GROUND
- PP POWER POLE
- TR TOP OF AC BERM
- TC TOP OF CURB
- TN TOP OF NATURAL GROUND
- TPB TELEPHONE PULLBOX
- TOS TOP OF SLOPE
- TOE TOP OF SLOPE
- TW TOP OF WALL
- WD WOOD DECK
- CB CONCRETE
- ★ PINE TREE
- ☼ TREE
- ☼ PALM TREE
- BUSH
- ⊕ LEECH LINE FLAG
- [ ] TREE HEIGHTS AS OF 05/23/2012

**ASSESSOR'S PARCEL NUMBER:**

107-250-51

**COORDINATES:**

LATITUDE: 33°21'35.25564" N  
 LONGITUDE: 117°12'18.74496" W  
 DATUM: NAD83

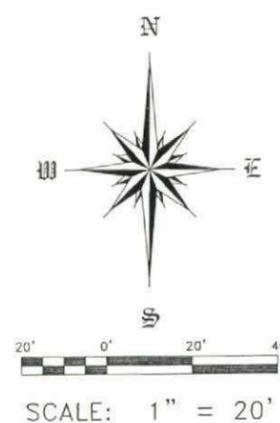
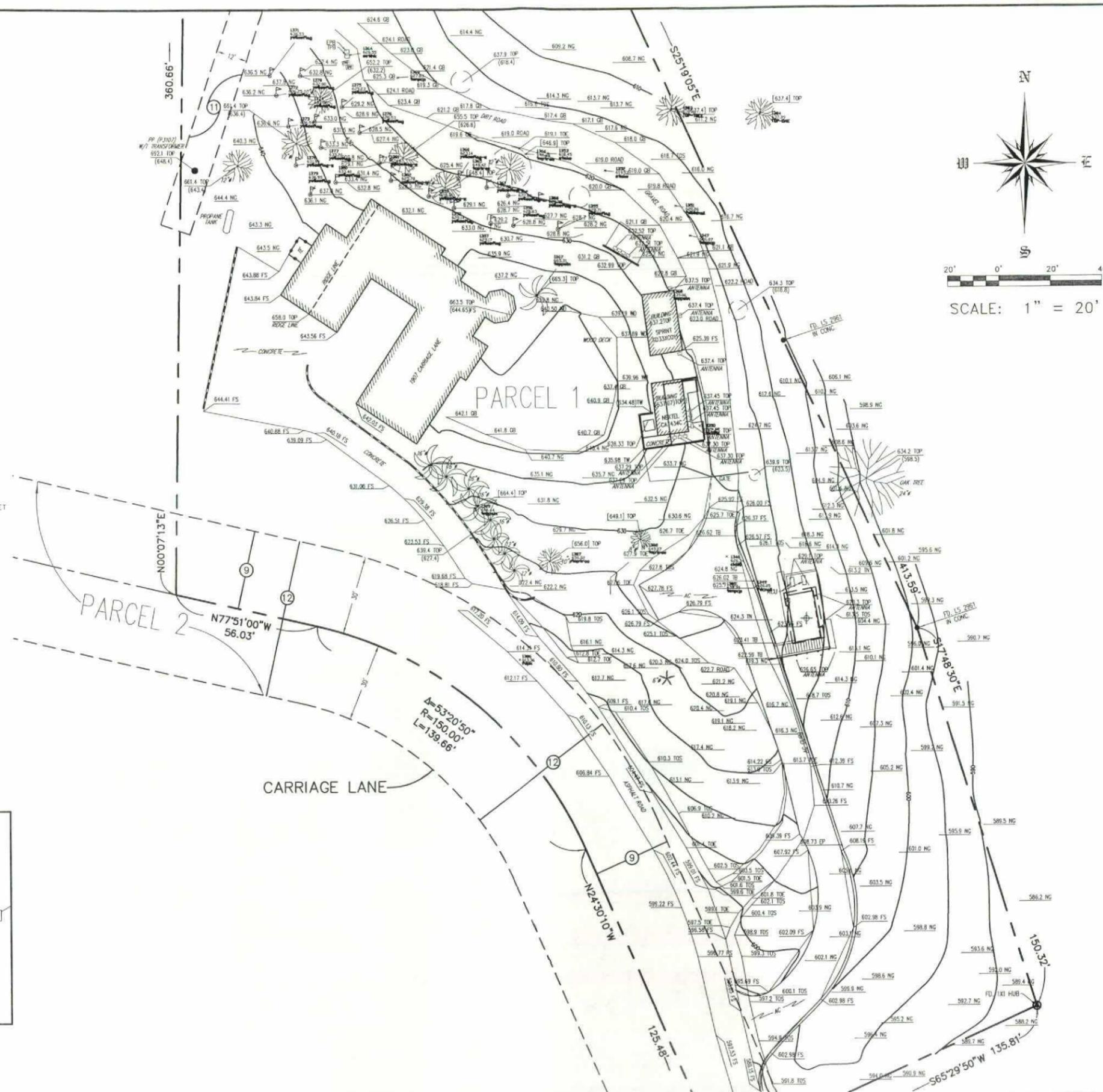
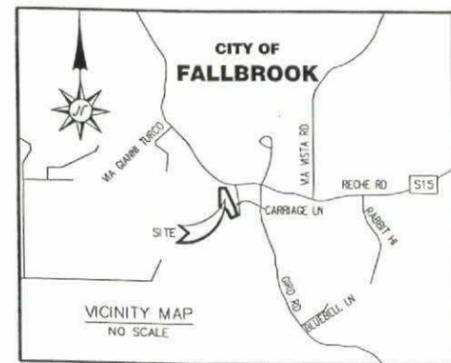
**LAND AREA:**  
 101,223 SQUARE FEET  
 2.32 ACRES

**DATE OF SURVEY:**

APRIL 30, 2010

**BASIS OF BEARINGS:**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35 ADJUSTED, GRID BEARING BETWEEN FIRST ORDER STATION 093MCCS3 AND 46-41-XP58 AS PUBLISHED BY THE SAN DIEGO COUNTY DEPARTMENT OF PUBLIC WORKS.  
 L=+N 49°47'43"E



5738 PACIFIC CENTER BLVD  
 SAN DIEGO, CA 92121

10950 GRANDVIEW DRIVE  
 OVERLAND PARK, KANSAS 66210  
 (913) 458-2000

PROJECT NO:	SD-948-01
DRAWN BY:	JJO
CHECKED BY:	MAM

REV	DATE	DESCRIPTION
0	04/06/2010	ISSUED FOR ZONING

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**IHDE RESIDENCE**  
 1907-B CARRIAGE LANE  
 FALLBROOK, CA 92028  
 SD-948-01  
 ZONING

SHEET TITLE  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER  
**LS-2**