

Montecito Ranch Revised Map

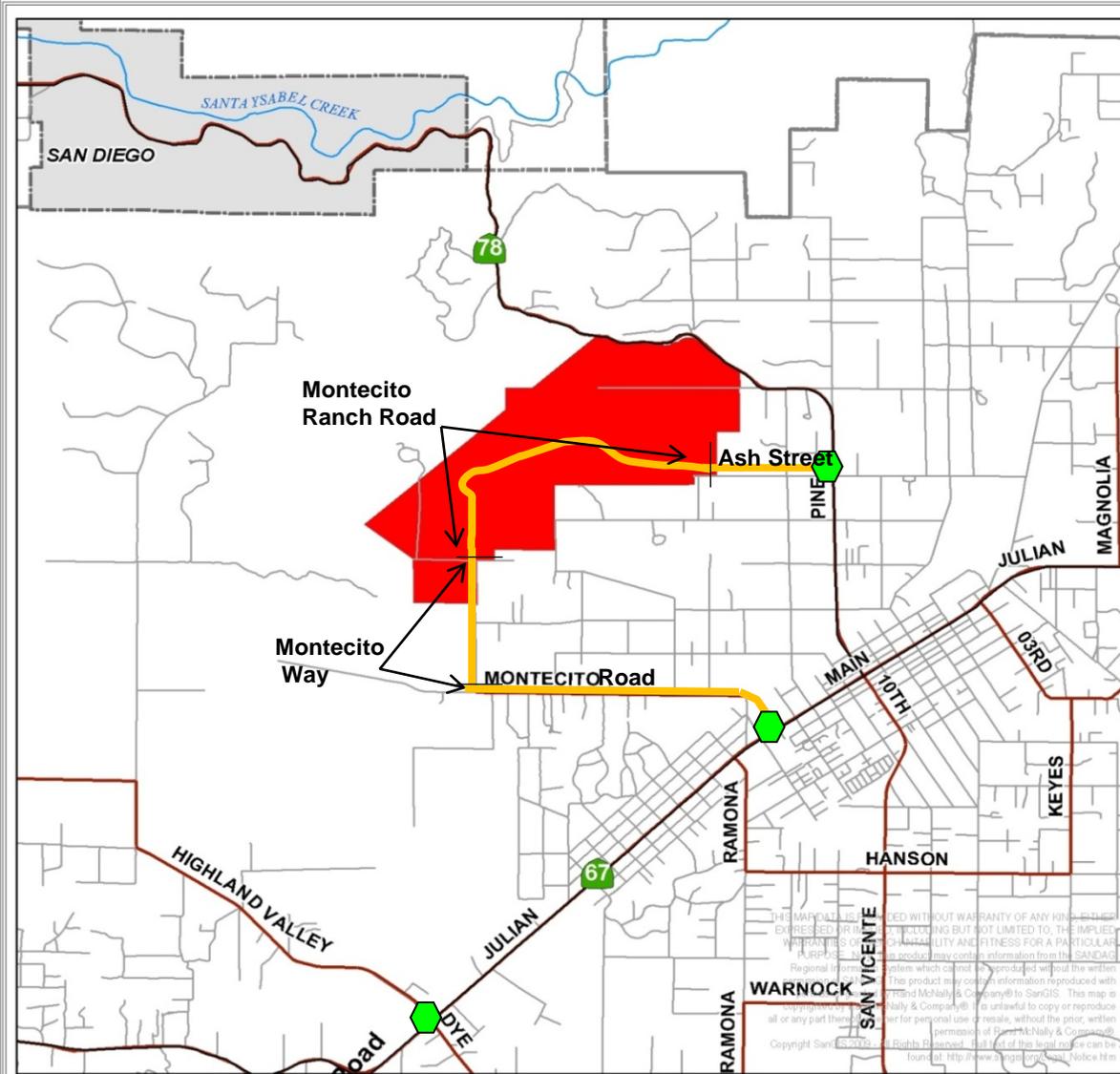
Informational Item

July 12, 2013

Planning Commission Hearing



Montecito Ranch Revised Map



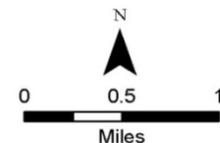
Montecito Ranch
 GPA04-013, SPA 01-001,
 REZ04-22, TM5250 RPL6,
 MUP04-045, MUP09-023
 Vicinity Map
 Ramona Community Plan Area



1:3,500,000

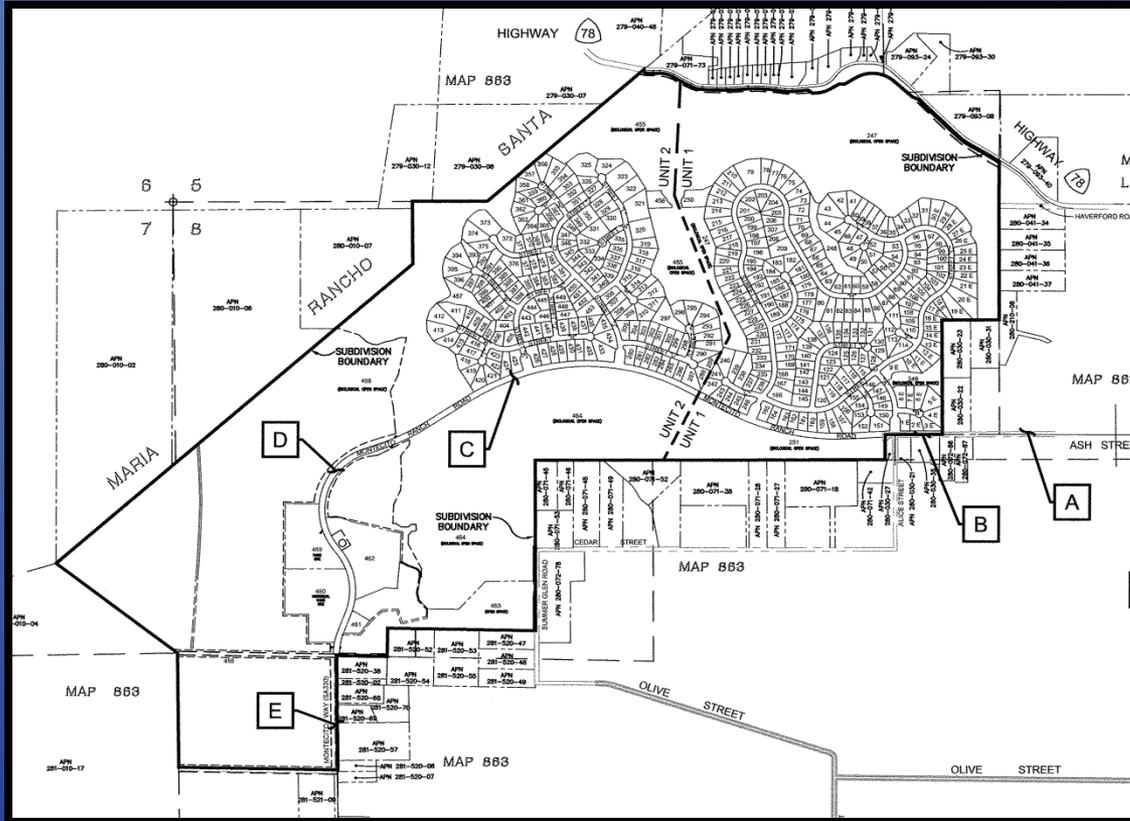
Legend

-  Major Roads
-  Roads
-  Site



Date: 3/23/2010
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Revised Map



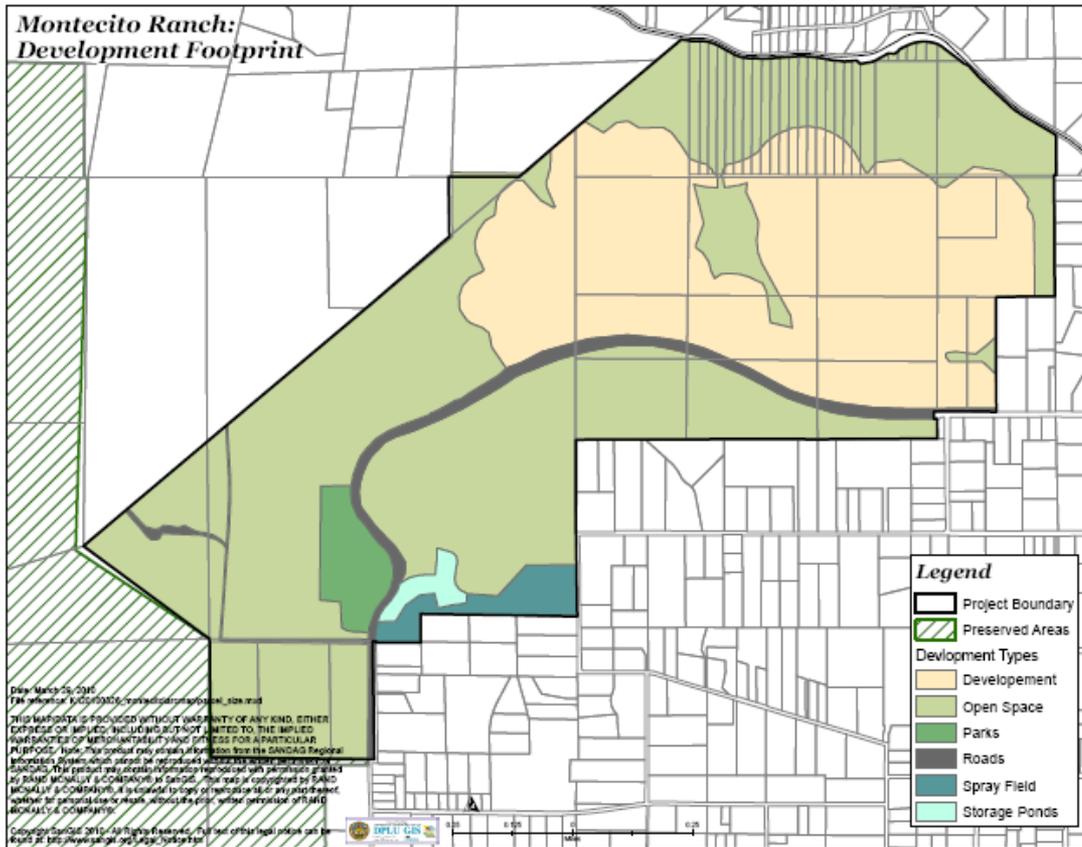
County Subdivision Ordinance

Generally Conforms to Street & Lot Pattern

Preliminary Decision Shall be Issued within 30-days

Planning Director Issued Preliminary Decision to Approve June 25, 2013

Proposed Project



County Subdivision Ordinance

Filed as an Informational Item

Decision to Approve Becomes Final Unless:

- (1) Planning Commission Initiates Hearing
- (2) Request for Public Hearing is Filed

Montecito Ranch Revised Map

Agenda Item #G

July 12, 2013

Planning Commission Hearing



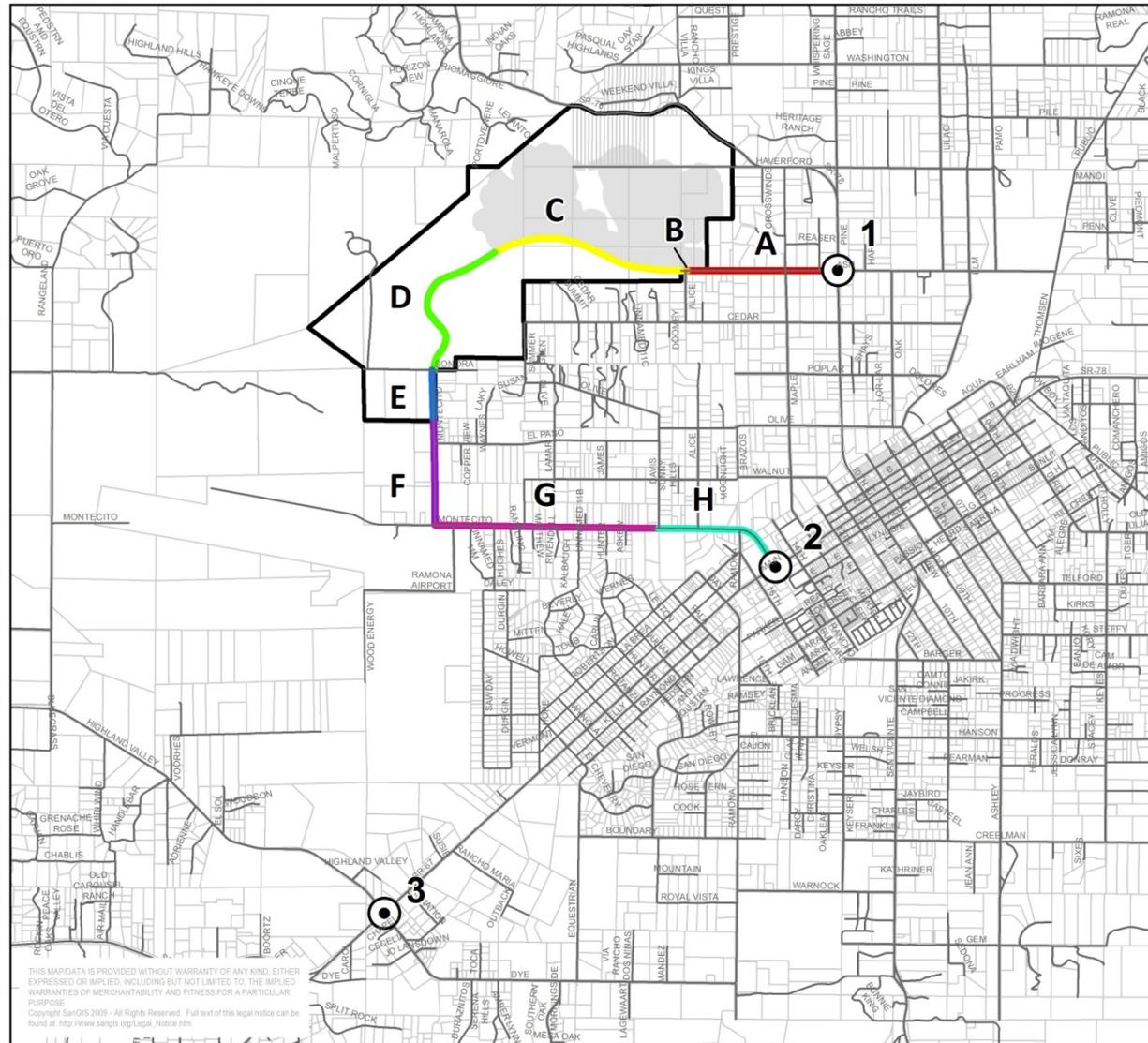
Back-up Slides

Roadway Segments Chart

	A	B	C	D	E	F	G	H	I
Roadway Segment	Ash St	Montecito Ranch Road (from Alice to east property line)	Montecito Ranch Rd (from Alice to end of development)	Montecito Ranch Rd (West)	Montecito Way (on-site)	Montecito Way (off-site)	Montecito Road (Montecito Way to Davis)	Montecito Road (Davis to SR-67)	Private Road (on-site)
Existing Condition	24' – 32' of AC 60' ROW	24' of AC 60' ROW	<i>Does not exist</i>	<i>Does not exist</i>	22' of AC 40' ROW	22' of AC 40' ROW	32-40' of AC 60' ROW	32-40' of AC 60' ROW	<i>Does not exist</i>
2010 Approved VTM	40' of AC 60' ROW 60' Graded width 8' DG pathway north side Design Speed 35 MPH	40' of AC 80' ROW 22' Pkwy North w/ 8' DG pathway 18' Pkwy South w/ 8' DG pathway	40' of AC 20' Landscaped Median 118' ROW 40' Pkwy North w/ 8' DG pathway 18' Pkwy South w/ 5' DG pathway	40' of AC 80' ROW 22' Pkwy North w/ 8' DG Pathway 18' Pkwy South w/ 5' DG pathway	40' of AC 60' ROW 8' DG pathway west side	40' of AC 60' ROW 8' DG pathway west side	40' of AC 60' ROW	40' of AC 60' ROW	36-40' of AC 56-60 ROW
2013 Revised TM	40' of AC 60' ROW 52' Graded width 5' DG Pathway south side Design Speed 25 MPH	40' of AC 68' ROW 18' Pkwy North w/ 8' DG pathway 10' Pkwy South w/ 8' DG pathway	40' of AC No Landscaped Median 68' ROW 10' Pkwy North w/ 5' DG pathway 18' Pkwy South w/ 8' DG pathway	40' of AC 68' ROW 10' Pkwy North w/ 5' DG pathway 18' Pkwy South w/ 8' DG pathway	20' half-street width AC 52' ROW 8' DG pathway west side	28' of AC 40' ROW 5' DG pathway west side	32' of AC 60' ROW	32' of AC 60' ROW	24' of AC 60' ROW
Support Rationale	Constraints due to existing homes and improvements adjacent to the right-of-way. Design exception granted.	Less maintenance costs. Greater conservation of water. Meets PRS.	Less maintenance costs. Greater conservation of water. Meets PRS.	Less maintenance costs. Greater conservation of water. Meets PRS.	Standard ½ width improvement. Meets PRS.	Constraints due to existing homes and improvements next to the ROW. Avoid condemnation of private property. Meets PRS.	Constraints due to existing homes and improvements next to the ROW. Avoid condemnation of private property. Meets PRS.	Constraints due to existing homes and improvements next to the ROW. Avoid condemnation of private property. Meets PRS.	Storm-water benefit. Less impervious surface. Complies with private road standards.

Roadway Segments Map

Montecito Ranch Revised Vesting Tentative Map (VTM 5250R)



Montecito Ranch

Road Improvements

- A
- B
- C
- D
- E
- F
- G
- H

Intersections

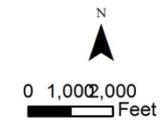
- 1
- 2
- 3

Development footprint

-

Parcels

-

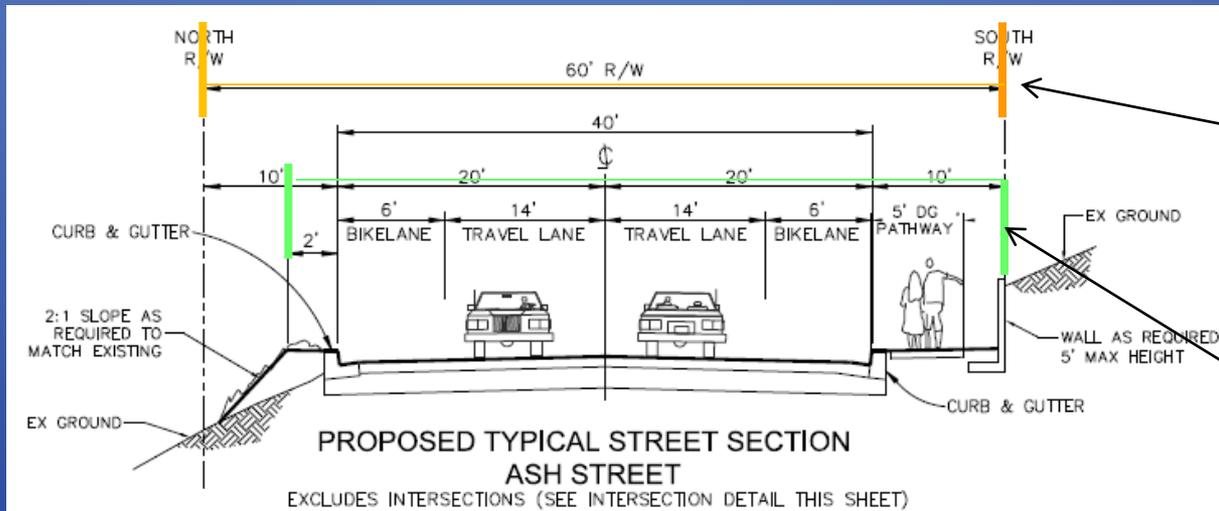


Date: 6/26/2013
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Ash Street: Segment

A



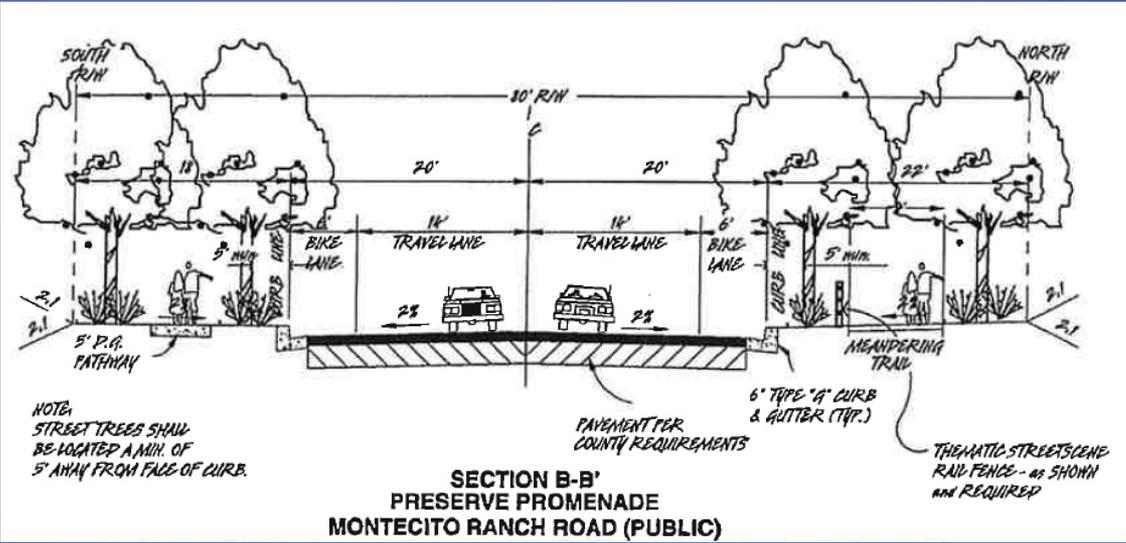
2010 Requirements

- **60' Graded Width**

2013 Requirements

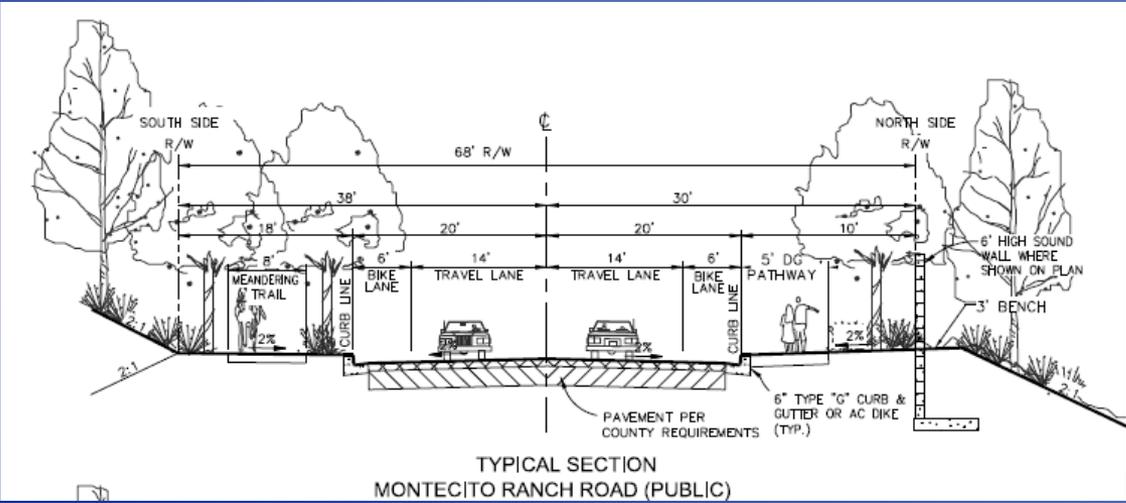
- **52' Graded Width**

Montecito Ranch Road: Segment



2010 Requirements

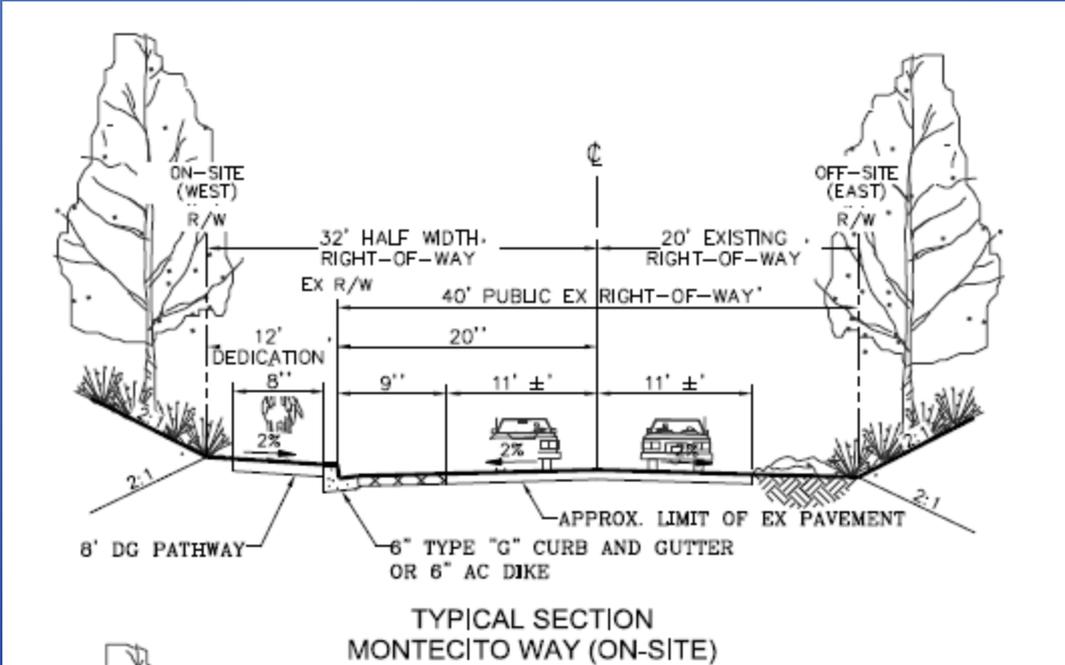
- 80' Right of Way
- 22' Parkway



2013 Proposal

- 68' Right of Way
- 10' Parkway

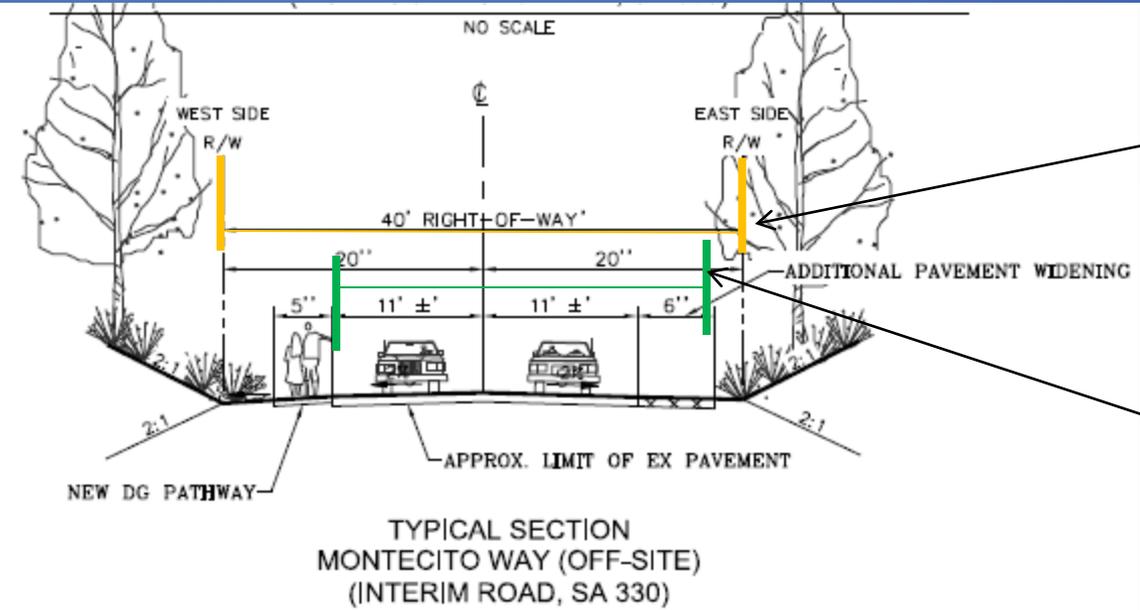
Montecito Way: On-site Segment



2013 Proposal

- 1/2 Width Improvements on-site

Montecito Way: Off-site Segment



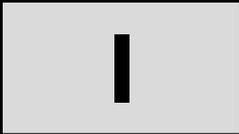
2010 Proposal

- 40' Asphalt Concrete
- 8' Pathway

2013 Proposal

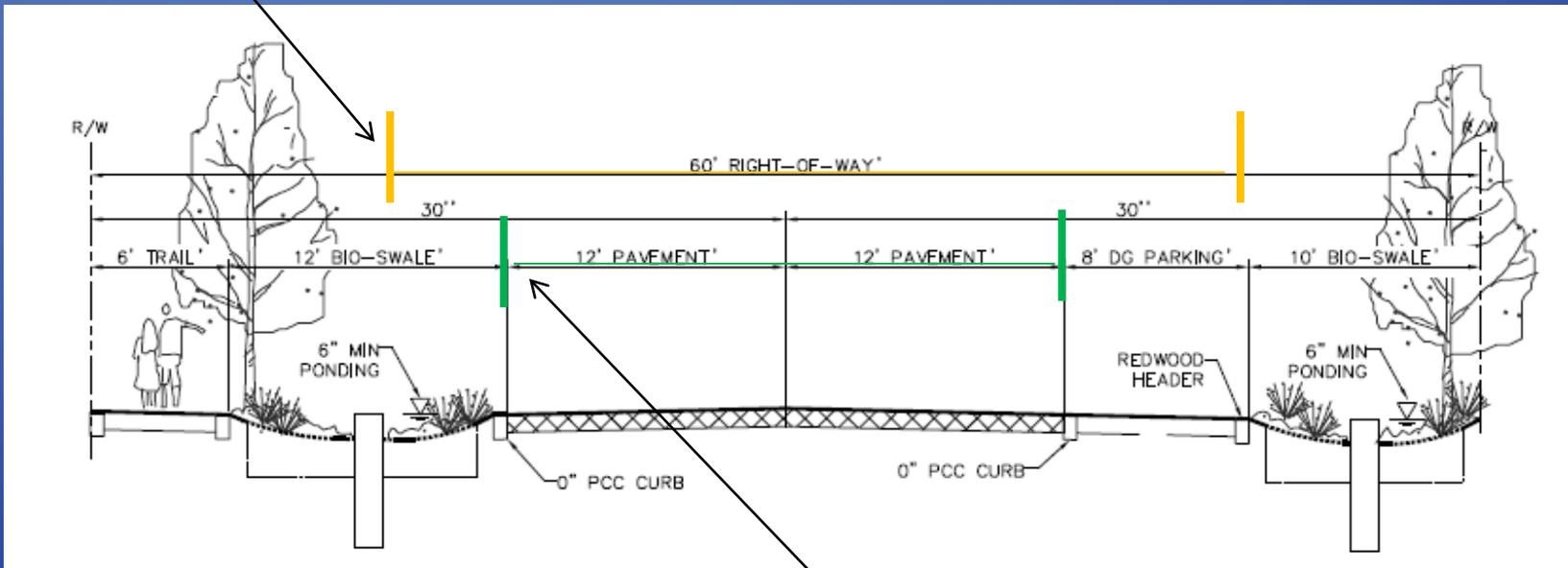
- 28' Asphalt Concrete
- 5' Pathway

Private Roads: Typical



2010 Proposal

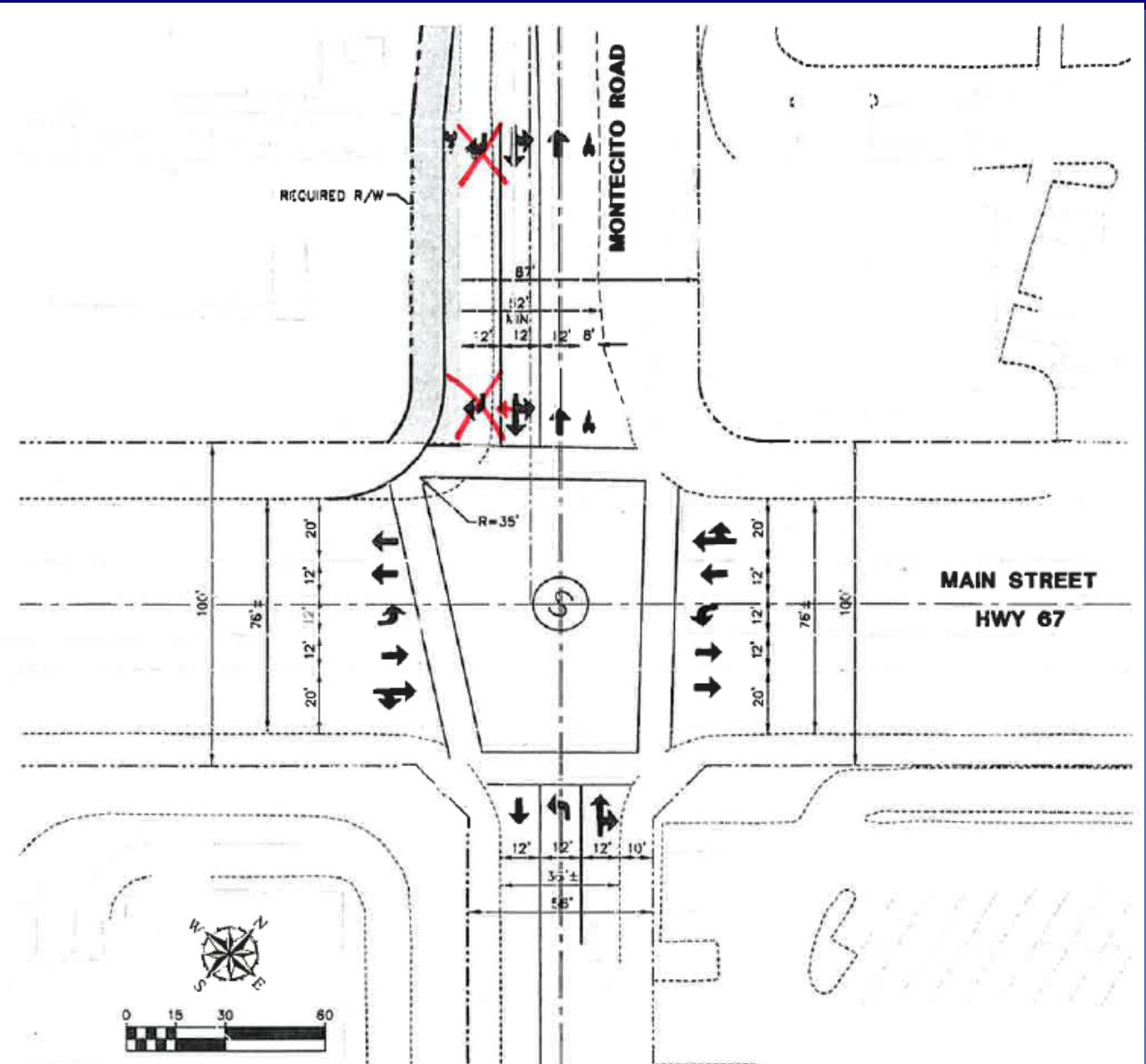
- 36' – 40' Asphalt Concrete



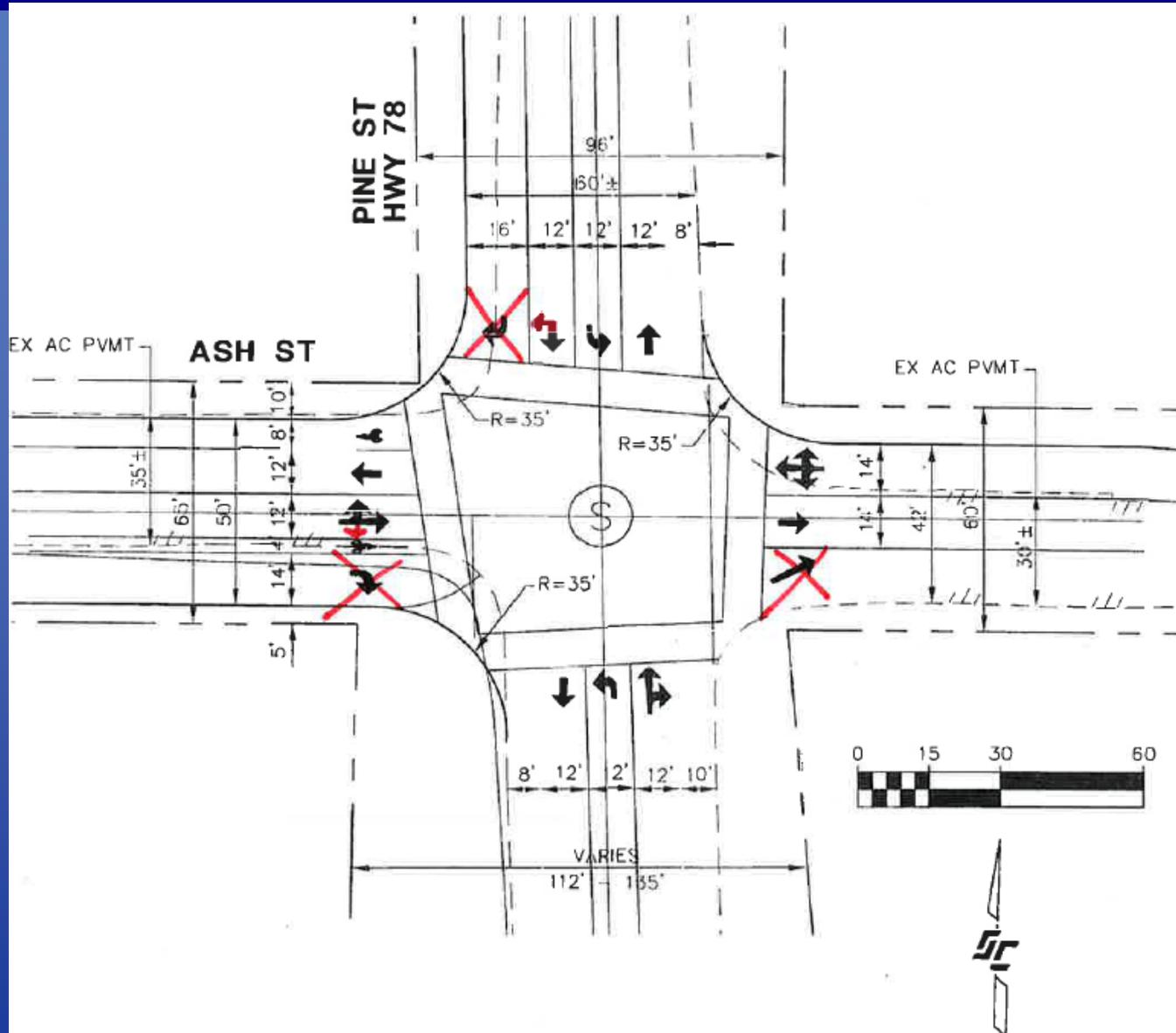
2013 Proposal

- 24' Asphalt Concrete

Montecito Road / SR-67 Intersection



Ash Street / SR-78



Highland Valley Road / SR-67

