

**Alpine Design Review Board
1830 Alpine Blvd.
Alpine, CA 91901**

July 23, 2003

**Alpine Planning Group
1830 Alpine Blvd.
Alpine, CA 91901**

Dear Alpine Planning Group Members:

The members of the Alpine Design Review Board had reviewed the Draft Design Standards for the Community of Alpine dated January 31, 2003 and urge you to support the new Standards with the following clarifications and changes outlined below.

- 1. Alpine deserves a distinct image. The draft Standards use the term "Mountain Village" but does not provide a description. Recommendation: The consultant provides a detailed description of the "Mountain Village" theme.**
- 2. The cover of our new Standards should reflect the vision for Alpine's future cohesive design. Recommendation: The consultants provide a rendering for the cover of our Standards illustrating the vision of our Alpine Mountain Village.**
- 3. These standards emphasize the town's desire to save trees yet the Standards do nothing to conserve paper. Specifically text is single page, text columns are less than half the width of the paper. Recommendation: Text column width is increased to one (1) inch margins and the entire standard is printed as double sided.**
- 4. To clarify. Recommendation: All pages are consecutively numbered.**
- 5. To clarify. Recommendation: All pictures, maps and drawings included in the Standards be as large and as clear to read as possible.**
- 6. Page 2. Last paragraph. This paragraph is inaccurate. A waiver of Site Review is not for non-conforming proposed developments. Recommendation: This paragraph is removed.**
- 7. Page 3. This map is difficult to read. Recommendation: The map is enlarged to a fold out page and the colors are clarified.**

8. Page 4,5,6,8,46,50,51,54. The term "Country Town" has many meanings as a zoning term, a design review term and a community term. In order to clarify the intent of the proposed Standards we recommend: the term "Country Town" is amended throughout the Standards to the term Village Center.
9. Page 5. "F" is incorrectly formatted and should be "E".
10. Page 6 and page 17. Until the APG and County adopt the Circulation Element of 2020, we recommend: the words "two lane" and "continuous" be eliminated from paragraph 1.
11. Page 6 and 7. This is an uninspiring picture of the Village Center. Recommendation: the consultants provide a rendering of the vision for the village center.
12. Page 10, B.1.Site Plan and Page 11, C.1.Site Plan. The term "30 scale" is incorrect. Recommendation the words "a scale of 1"= 30'-0"" be substituted.
13. Page 14. This is not the best sign to illustrate the intent of the new Standards. We recommend: the consultant provide a picture or rendering of a monument sign that conforms to the new Standards.
14. Page 22. The setbacks proposed would place buildings on the property line with no location for landscaping. Recommendation: paragraph 1 is amended to the "setback shall be ten (10) feet from the property line along Alpine Blvd. unless parking is located in the front of the building." Paragraph 2 is amended to setback shall be ten (10) feet, eliminate the words "the right-of-way/" and add unless parking is located in the front of the building. Paragraph 3 is amended to remove the words "of the abutting street". Additionally we recommend an illustration of the above requirements be added to the text.
15. Page 23 illustration. The illustration is incorrect. The property line is typically located 51 feet from the centerline of Alpine Blvd. not 41 feet as shown. Recommendation: The illustration is amended to reflect actual conditions on the Blvd and the 10' setback requirement.
16. Page 23, C.1. It is unclear where the 15-foot wide landscape strip required is to be located. Recommendation: the consultants clarify or remove this requirement. Additional recommendation: Remove the last sentence "a minimum of 25% of the total site must be utilized for landscape improvements" as the requirements for landscaping are covered in the landscaping sections.
17. Page 24, illustration. The illustration is incorrect as described above. Recommendation: The property line is shown at 51-feet from the street centerline and the 10-foot setback line (landscaped) is shown.

18. Page 25,E.2. The landscape area requirement is consistent for all proposed developments. Recommendation: The percentage required be changed to 15%.
19. Page 25, E.4. In order to maintain healthy landscaping we recommend: add the following an “underground permanent” irrigation system. . .
20. Page 28. The 50% landscape side and rear setback areas are a decrease from current Guidelines and are not consistent with the intent of the new Standards. Recommendation: the 50% number is changed to 100%.
21. Page 29.B.1. To clarify, we recommend: the words “at drive through area” is added at the end of the last sentence.
22. Page 30. To clarify, we recommend: item 5 is added, “ landscaped open space in the form of parking islands shall be provided at intervals of every 12 parking spaces. This planted island shall be a minimum of 5 feet wide and the length of the parking space.”
23. Page 31.D. Recommendation: Add the words “or rear” between the words “side” and “elevation”.
24. Page 31 Illustration. The parking areas shown in the illustration are reversed according to the text. Recommendation: The perimeter parking show a maximum of 12 spaces and the interior show a maximum of 6 parking spaces as well as and interior parking space layout with tree wells as described in the text.
25. Page 32.A. The illustration does not reflect the requirements of the text. The second paragraph requires a “set back at least 10 feet from front and side street property lines yet the illustration shows a 10-foot set back from the street not the property line. Recommendation: The consultants amend the illustration to show a 10-foot set back from the property line.
26. Page 38. Recommendation: the word bleached is changed to “stained”.
27. Page 39 E.b. As this is covered elsewhere, we recommend: item b. is removed.
28. Page 42. Illustration. There is no text to match the illustration. Recommendation: Remove “Façade width and symmetry” illustration.
29. Page 44.B. Nail fin windows referenced in the first paragraph are an installation description and do not affect the looks of a building. Recommendation: Remove the words “Nail fin aluminum windows are not acceptable.”
30. Page 46. The Standards do not specifically address re-painting of existing building. Recommendation: Language is added that re-painting of existing buildings must also comply with the Standards.

31. Page 48. 4. To clarify. Recommendation: "all roof top equipment must be totally screened and "clean roofs" are preferred.
32. Page 53.E. To clarify. Recommendation: Add the words "permanent underground" to irrigation.
33. Page 53F. To clarify. Recommendation: Add text requiring replacement of any removed or dead trees, shrubs, vines or groundcover.
34. Page 54.B. To clarify. Recommendation: The consultants provide specifications for the referenced streetlight specifically showing the total height of the fixture and the clearance between the banner supports and the sidewalk. Additionally the light fixture needs to be down lighting only to preserve Alpine's clear night sky. It is unclear if this fixture does this.
35. Page 56. To clarify. Recommendation: The text is highlighted and italicized "NO SIGNS ARE PERMITTED IN THE RIGHT-OF-WAY".
36. Page 56.A. The size of signs is addressed for each of the three sign types. Recommendation: Remove the words "be less than 20 square feet in size to".
37. Page 56. Bottom illustration. This is a plastic internally lit sign that is not permitted. Recommendation: Remove picture.
38. Page 56 and 57. To clarify the three sign types. Recommendation: The words "Monument Signs", Freestanding Pole Hanging Signs", and "Wall Signs" be highlighted.
39. Page 57.3.Illumination. To clarify. Recommendation: Remove the words" internally illuminated with a dark background and add "back-lit letters and channel-lit letters".
40. Page 57 .2.Wall Signs. To clarify. Recommendation: Add the words " Wall signs shall be measured from top to bottom of all letter or graphics times the length of all letters and graphics (spaces between letters and graphics included)."
41. Page 58.G.2. ADRB does not find neon lights to meet the intent of the "Mountain Village" image for Alpine nor do the existing guidelines allow neon signs. Recommendation: Remove the existing text and add " Neon signs are not permitted on the exterior of any building or visible through windows or doors.
42. Page 58. To clarify. Recommendation: Between 3. Projecting Signs and 4. Transit Shelters, add "Section 4. Internally Lit Signs. Internally illuminated plastic signs are not permitted."

43. Page 58. To clarify. Recommendation: Add section "H" Replacement of Existing Signs. Replacement of any existing sign for any reason shall conform to these Standards including size, color and illumination."

44. Non addressed issues. Recommendation: The consultants provide additional text for the following issues:

- a. Awnings, size, shape, location and color.**
- b. "Future Home of" signs**
- c. A "check list" form for applicant and ADRB members to reference when reviewing a proposed project.**

Thank you for your time and consideration as we all work for a better Alpine.

Sincerely,

**Peggy Perry
Secretary of the Alpine Design Review Board**

Rec'd 12-9-11 RW

25-104994-C01

County Reg. Checklist

ALPINE

December 5, 2011

RBF Consulting
Dan Wery
9755 Clairemont Mesa Blvd.
San Diego, CA 92124

Dear Dan:

Enclosed find the 2003 document and the recommendations of the Alpine Design Review Board. I have a few thoughts on what you will review.

First since these documents were put together, Alpine has experienced quite a bit of change. First and foremost is the work being done by SDG&E for the Sunrise Power Link. Alpine Blvd. has been widened, curbs and gutters have been added, utility poles have been removed and placed underground and numerous trees along the Blvd. have been removed.

Therein lies one VERY important fact you will need to research for accuracy. One of Alpine's major issues over the years has been the width of Alpine Blvd. vrs. the Right-of-way and the location of the property line. It is my understanding that the Right-of-way varies from 102 to 104 to 105 feet in width along the "downtown" area. (If correct, this makes a difference to your 51 foot setback.

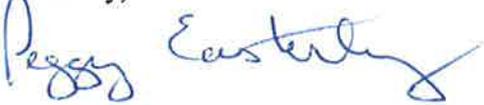
It is also my understanding that the curbs, gutters and sidewalks are placed within the Right-of-way and the edge of the right-of-way is the property line. The 2003 proposed guidelines assume that the property line lays 10' within the right-of-way. See page 23 for an illustration of this. Therefore there is an assumption that from the edge of the curb, there is a 10' sidewalk and the building is set on the edge of the 51' CL setback, not on the property line. This would be incorrect if the width is anything other than 102' and/or the property line is not 10' inside the right-of-way.

Bob Citrano has drawings showing the street and curb parking along the Blvd. and should be able to clarify this. Either way the illustration on page 23 is not accurate showing diagonal parking etc. I do like the idea of 10' sidewalk (inside or outside the right-of-way) with another 5' of space for additional paving, patio seating or landscaping to the

face of the building. This would alter the building being placed on the property line (especially if it is located within the right-of-way as shown in the 2003 document.)

If you have any questions, please feel free to contact me. Thank you for all your work on behalf of Alpine.

Sincerely,



**Peggy Easterling
2904 Via Asoleado
Alpine, CA 91901
619-445-9951
619-445-2754 (Fax)
610-647-7333 (Cell)**

Comments from Alpine Design Review

Re: County of San Diego Design Review Compliance Checklist – Alpine

In general- we request these documents always use the word “property line” which is easy to define, rather than edge of curb, edge of sidewalk, setback, Ultimate right-of-way, etc.

Page 1 Alpine Blvd. Section

Eliminate save the Eucalyptus – most are gone, dangerous and a fire and wind hazard.

Page 1 consistent strip 19 feet (where do you get the 19 feet. Sidewalk is 5 feet, property line is another 5 to 10 away, and you want buildings on this property line.)
Pedestrian oriented streetscape but how wide and how you get it?

Page 2, item 2. Add “when possible”.

Page 2, item 4 request you use the word property line and make it say 75% of each building’s front elevation is located on or not more than 15 feet from the property line. (This would allow for patios, seating, and additional planting and most of the street façade at/or near the street. This would also allow for the “if possible” due to creek, topography or?)

Page 2, item 6. ok

Page 2, item 7. Use the word property line, too confusing using centerline, ultimate right of way etc. Again if the setback is 51 from the centerline, where is the 19 feet referred to on page 1 (This would put the setback one to six feet off the sidewalk)? What is an ultimate right of way line?

Page 3, item 14. Add unless screened with landscaping or other means

Page 3, item 19. Eliminate wood shingles.

Page 4, item 20. High contrast material... more than 1% not 10%

Page 4, item 22. What is deeply recessed, too objective, use the words “strongly detailed”.

Page 4, item 23. Roof pitches 3:12 to 12:12 is preferred.

Page 4, item 27. No wood shingles and shakes. Add “Heavy textured – high profile” composition shingles. Standing seam metal. All in earth tone or natural colors.

Page 4, item 28. Not galvanized sheet metal but “corrugated sheet metal”. Built up is ok if on flat and then screened (item 24).

Page 5, item 31. Probably not necessary as the sidewalk is 5 to 10 feet from the property line.

Page 5 Landscape Design Standards. Again remove the word eucalyptus.

Page 6, item 39. Eliminate the reference to Canary Island and Aleppo pines.

Page 6, item 41. Eliminate word eucalyptus and add “evergreen type”.

Page 6, item 42. Add “if possible. Any removed tree will be replaced at the rate of 3 to 1 with a tree of similar size or maximum size of 24” box size.”

Page 6, item 43. Eliminate the word eucalyptus and add “if possible. Any removed tree will be replaced at the rate of 3 to 1 with a tree of similar size or maximum size of 24” box size.”

Page 6, item 45. Industrial – yes

Page 6, item 49. We find it confusing to require a solid 6 foot fence and yet want continuous flow between residential and commercial. If we must leave a fence in, then the fence 3 foot and not solid with opening to allow the flow of pedestrians and cars. Landscaping is ok to require with flow of pedestrians and vehicles accommodated.

Page 6, item 50. Do not understand where you want to do this if the building is on the setback line. Are you talking about in the county right of way. What about if they put in patio seating or a paved plaza. More definition needed to locate in reference to the property line.

Page 7, Signage. Signage should not identify the products or services it sells, just the name of the Business. (Ie. Mc Donald’s does not get to say “hamburgers, shakes, fries...)

Page 7, item 52. Eliminate first sentence and just lighting levels comply...

Page 7, item 54. Eliminate “of wood construction” with painted, (add) “channel lit” or raised letters and logos. Free standing signs of wood(eliminate the word pole hanging).

Page 8, item 59. Eliminate the word “pole”.

Page 8, item 61. Add to the first sentence “...for each business, nor 24 square feet for the center name, nor a....

Page 9, item 73. Add “if possible”. (Alpine Blvd. running east/west and narrow lots make it almost impossible to orientate any building like this requirement.)

Page 9, item 74. Add “if possible” or “where feasible”. Again this would mean for buildings on the south side of Alpine Blvd. porches, arcades, etc would be in the parking lots and the buildings on the north would all be covered.

Page 9, item 75. Add “if possible” or “where feasible”. This would require deciduous trees all along the north side of Alpine Blvd. which is not the streetscape tree.

Page 9, item 76. Add “if possible” or “where feasible”.

Page 10, item 77. Add “if possible” or “where feasible”.

Page 10, item 78. Add “if possible” or “where feasible”.

Page 10, item 80. Add “where feasible”.

Page 10, item 81. Add “where feasible”.

Page 10, item 82. Add ...”underground drainage if possible....”

Page 11, item 90. Is this different from Zoning requirements?

Should we have a section like Valley Center’s for Site Furnishings (tables, benches etc?), Dumpsters, Dumpster enclosures, satellite dishes? We like their requirements.

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BONSALL COMMUNITY SPONSOR GROUP

Dedicated to enhancing and preserving a rural lifestyle



September 4, 2012

County of San Diego Design Review Checklist

Site Layout Design Standards

Building Location & Orientation

#1 Please delete the words “ include shared driveways” in the paragraph and leave everything else for approval.

#2 6 is approved by the Sponsor Group.

#7 on page 2 we do not support this in relationship to residential development. Our subdivisions are NOT close enough to each other to make this reasonable. Any pathways would be to no connective project as our proposed subdivisions are infill in rural areas and current subdivisions do not have any relationship to the new subdivisions.

Architectural Design Goals

Architectural Design Standards

#’s 8, 10, 11, 12 and 13 are supported

9 We are concerned about the language as to how clear and apparent you are considering the entrances because we prefer our buildings to be based on courtyard or parking in the middle with building overhangs and/or recesses the idea of a strip mall in Bonsall is not accepted.

#’s 14 through 27 we support.

Design Review Checklist

Landscape Design Standards

Page 6 of 14

#28 support

#29 we do not support trees planted at “regular” intervals... the locations can be regular but the trees must vary in the planters. Nature does not grow trees in a straight line and we would prefer having the variety as a requirement.

#30 through 35 we support.



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Page 7 of 14

#36 we support

37 & 38 both need to include our concern of planting trees in “regular” intervals in the 5 foot perimeter of the parking lot and the building.

#40 support

Page 8 of 14 items 40 through 44 we support

Commercial Development

Page 9 of 14 # 45 we do not support the limitation of only one frontage for each project. If a building is located on a corner and has the opportunity to have two access points we support the idea for emergency evacuation.

Multi-Family Residential Development

#’s 46 through 49 we support.

Lighting Design Standards

#’s 50 through 53 we support

Page 11 of 14

Building Equipment and Services Standards

#54 through 59 we support

Multi-Family Residential Development Standards

Page 12 of 14

#’s 60 through 68 we DO NOT support any of the language in this element and recommend that it be deleted from our Design Review Checklist. We will review any multi- family projects on a case by case basis.

Submitted by:

Margarette Morgan, Chair
Bonsall Sponsor Group



FALLBROOK COMMUNITY PLANNING GROUP
DESIGN REVIEW COMMITTEE MEETING
December 2, 2011

A special meeting of the Design Review Committee to review the Recent County of San Diego Design Review Compliance Checklist was called to order by Committee Chair Eileen Delaney at 10:00 a.m. Those present were Roy Moosa, Ron Miller, Jack Wood, Jackie Heyneman, Bob Sabus and Jean Dooley.

1. Open Forum.

- Jack gave a brief report on his meeting (along with Roy, Eileen and others) with Congressman Darrell Issa and their conversation regarding acquisition of land into Indian Tribal Trust.
- Jack said that he has been invited to attend the Rainbow Water District meeting next Tuesday. Jackie is also planning to attend. Pappas has requested a meeting with the district.

2. Review of the checklist.

Before reviewing the County Checklist document, Eileen explained to the group the meaning of a "B" designator. She also explained the current permitting process, using an example to describe the process of getting County permits. She said the purpose of the proposed checklist is to save time and money for small to mid-size construction projects. Her concerns include the need to first revise the Design Review guidelines and the scarcity in the number of projects actually being helped through the implementation of the checklist (2-3 each year). She stated that the checklist will be helpful to our committee in organizing the information important to us in reviewing each project application as well as in assisting in the waiver process. Today's task is to go through the checklist (from where we left off at our last meeting) and make suggestions on improving it.

- Item #36 Change first bullet to "Native or manufactured stone" (highly encouraged).
- Item #37 Delete "plastic or plastic coated".
- Item #38 OK
- Item #39 OK
- Item #40 Jackie to discuss updated section at next meeting.
- Item #41 OK
- Item #42 Insert "except eucalyptus" in the statement.
- Item #43 OK
- Item #44 List needs to be up-dated. Jackie will provide expanded list. Comment is erroneous.
- Item #45 OK
- Item #46 Delete. Not necessary.
- Item #47 Change "are" to "should be".
- Item #48 OK
- Item #49 OK
- Item #50 OK
- Item #51 Add: "with the exception of eucalyptus trees"
- Item #52 OK
- Item #53 Change "is" to "should be".
- Item #54 Change "is" to "should be".

- Item #55 Change "is" to "should be".
- Item #56 Change "is" to "should be".
- Item #57 OK
- Item #58 OK
- Item #59 Delete "screen at least 80% of the length of the parking area fronting a street" and substitute "provide a visual screen which is 30" high and not obstructing traffic line of sight".
- Item #60 Needs revision. (Revision to be determined).
- Item #61. Delete "along, or".
- Item #62 Needs revision. (Revision to be determined)
- Item #63 OK
- Item #64 OK
- Item #65 Delete. Not needed
- Item #66 OK
- Item #67 Eileen will ask staff.
- Item #68 OK
- Item #69 Delete second and third bullets.
- Item #70 OK
- Item #71 OK
- Item #72 OK
- Item #73 OK
- Item #74 OK
- Item #75 Change to: "All exterior light should be directed downward."
- Item #76 Change "does" to "should".
- Item #77 Unsure. Consider re-write.
- Item #78 Change "surround" to "surrounding" neighborhood.
- Item #79 OK
- Item #80 OK
- Item #81 OK
- Item #82 OK
- Item #83 OK
- Item #84 OK
- Item #85 OK
- Item #86 Change "are" to "should be".
- Item #87 Change "allow shade" to "should allow shade".
- Item #88 Change "protect" to "should protect".
- Item #89 Change "are used" to "should be used".
- Item #90 OK
- Item #91 OK
- Item #92 OK
- Item #93 OK
- Item #94 OK
- Item #95 OK
- Item #96 OK
- Item #97 OK
- Item #98 OK
- Item #99 OK
- Item 100 OK

Item 101 OK
Item 102 OK
Item 103 OK
Item 104 OK
Item 105 ?
Item 106 ?
Item 107 ?
Item 108 ?
Item 109 Change "do not" to "should not".
Item 110 Delete. Not needed.
Item 111 OK
Item 112 OK
Item 113 Change "are designed" to "should be designed".
Item 114 OK
Item 115 OK
Item 116 ?
Item 117 OK
Item 118 OK
Item 119 OK
Item 120 Delete "for employee use".
Item 121 OK
Item 122 OK
Item 123 OK
Item 124 OK
Item 125 Delete. Not needed.
Item 126 OK
Item 127 OK

The meeting was adjourned at 11:40 a.m.

Respectfully submitted,

Jean Dooley, substitute secretary

FALLBROOK COMMUNITY PLANNING GROUP

And

FALLBROOK DESIGN REVIEW BOARD

Regular Meeting

Monday 20 February 2012, 7:00 P.M., Live Oak School, 1978 Reche Road, Fallbrook

MINUTES

The meeting was called to order at 7:00 p.m. by Jim Russell.

Twelve (12) members were present: Anne Burdick, Eileen Delaney, Donna Gebhart, Jackie Heyneman, Ron Miller, Roy Moosa, Jim Russell, Jean Dooley, Tom Harrington, Steve Smith, Harry Christiansen, and Jack Wood. Ike Perez and Michele Bain were excused. Paul Schaden was not present. (He has been approved by the Planning Group to replace Chuck Sanacore, but is awaiting formal appointment from the Board of Supervisors.)

1. Open Forum. Opportunity for members of the public to speak to the Planning Group on any subject matter within the Groups jurisdiction but not on today's agenda. Three minute limitation. Non-discussion & Non-voting item.

Ms Burdick informed the Group that the concern brought up last month by a member of the audience requesting a pedestrian crosswalk at the Main and Aviation intersection was being reviewed by the Traffic Advisory Counsel..

2. Approval of the minutes for the meetings of 16 January 2012. Voting item.

Mr. Wood motioned to approve the minutes and the motion passed unanimously.

3. Workshop on the creation of a "Design Review Checklist" for Design Review Projects for Fallbrook. County planners Dixie Switzer, 858.694.3041, Dixie.Switzer@sdcounty.ca.gov and Joseph Farace, Joseph.Farace@sdcounty.ca.gov. **Design Review Committee**. Community input. Voting item. (10/17)

Ms. Dixie Switzer introduced the item. She informed the Group that this checklist was intended to identify projects (with a B designator) that would not require in-depth CEQA review and consequently speed up processing through the County. The checklist was derived by reviewing the Fallbrook Community Plan and CEQA regulations. She outlined the schedule for implementing the checklist. DPLU wanted the Fallbrook Planning Group's input, then the results would be forwarded to County Counsel for review. The result would return to the Planning Group prior to presenting the results to the Board of Supervisors for approval some time this summer. Ms. Delaney reported on the Design Review Committee's recommendations on the checklist.

8) Should the rear parking requirement for Town Center and multi-family be expanded outside the Town Center for commercial and industrial – no.

9) Should the parking access requirements for Town Center and multi-family be expanded to industrial – no.

10) Should minimum curb cut commercial requirement be expanded to industrial and MF- yes.

18) Should the 35 foot height max apply to all – yes.

20) Should the Town Center "clearly apparent entrance" requirement apply to all – yes.

31) Should the muted color and consistent with surrounding development color requirement (earth tones/natural) apply to all "B" Designators – (New) Yes.

32) Delete item 32 – (Remove the gable pitch limits requirement).

39) Do not delete the requirement to follow the Fallbrook Plant Selection Guild Lines.

Ms. Heyneman requested that palm trees over 20 feet in height be restricted in item 39 and that the North County Fire Recommendations for plant materials also be added.

42) Keep the 25 foot mature tree height limit under power poles.

- 45) Apply the Town Center standard for the covered and uncovered textured outdoor spaces to all areas.
- 48) Apply 5 foot buffer between building and parking to industrial – no.
- 51) Apply every parking space within 30 feet of a trunk of a tree to industrial – yes.
- 54) Apply landscape buffer to Town Center – no.
- 56) Apply the roof top equipment screening requirement to Commercial and Manufacturing – yes.

Mr. Voigt complemented DPLU on the checklist concept.

After limited discussion Ms. Delaney motioned to approve the committee's recommendations and forward them to DPLU. The motion passed unanimously.

- 4. Joe Farace, Department of Planning and Land Use will talk about a reorganization of the Zoning Ordinance that will include minor changes to the Fallbrook Village regulations. Community input. Non-voting item.

Mr. Farace informed the Group that due to problems identifying all the urban zones (especially in Ramona) DPLU was intending to re-designate some of the downtown zones in Fallbrook. Mr. Farace assured the audience and the Group that the Fallbrook Village zoning constraints would remain unchanged, only the names would change.

After limited discussion Mr. Russell thanked Mr. Farace for attending and informing the Community about the reorganization of the Zoning Ordinance.

- 5. Presentation by Steve Ron, Project Manager, Department of Public Works, 858-694-2567, Steve.Ron@sdcountry.ca.gov, on updated alternatives for the Fallbrook Street extension from Stage Coach Lane to Reche Road. **Circulation Committee.** Community input. Voting item. (11/7)

Ms. Burdick introduced the subject and informed the Group that DPW had requested that the item be continued until all of the questions brought up at the Committee meeting could be addressed. Ms. Burdick stated that at the committee meeting several issues were brought up concerning the planning that went into the decision to go forward with this project.

A member of the audience stated that she had gone to the southerly site advertised for the field inspection and only a local reporter showed up. Ms. Burdick apologized and stated that the field inspection group never made it to the south end due to the large public attendance at the north end. But that all of the concerns brought up by the public were noted by DPW and were going to be addressed. The lady from the audience asked how she would know that her concerns were in the list. She stated that school pedestrian traffic, school parking, turn lanes on Fallbrook Street at Reche, improvements to that end of Reche, a sound barrier, and traffic studies were of major concern to her. Ms. Burdick informed her that her concerns would be a part of the Group's minutes that would be passed on to DPW but also urged her to contact Mr. Ron directly (the project manager) at DPW to ensure that her concerns were on Mr. Ron's list.

After further discussion Ms. Burdick motioned to continue the item until DPW was prepared to present the subject and the motion passed unanimously.

- 6. AD09-027 Request for an Administrative Permit for a second dwelling unit at 233 Autumn Rose Lane (APN 105-180-92). Owner Alicia Santacroce 760-723-8641. Applicant & Contact person David Allee, 730-723-8641, dalleearchitect@gmail.com. County planner Don Kraft, 858-694-3856, don.kraft@sdcountry.ca.gov. **Land Use Committee.** Community input. Voting item. (1/10)

Mr. Allee (project architect) presented the request. He stated that the improvements on the property had required several modifications to the permits for the buildings on the property. The current request was to switch the primary residence designation from the original house to the additional (unpermitted) unit added to the site. The unpermitted unit will be enlarged to meet the

Lubich, Marcus

From: Harrington, Thomas G
Sent: Friday, February 17, 2012 8:19 AM
To: Switzer, Dixie
Cc: sandysmith_vc@yahoo.com; cdavis45@cox.net; wmcrocker@gmail.com; izararch@cox.net; mikaele97@cox.net; 'Joanthesixth@aol.com'
Subject: I-15 Corridor Checklist
Attachments: 3320_001.pdf

Ms, Switzer:

The I15 Corridor Design Review Board met Thursday evening and reviewed the draft checklist you had provided. The Board members requested the changes highlighted in orange. The requested changes are only minor modifications to the language in items 2 and 21. Also removal of 4, 5 and 18.

The Board also asked for further clarification of the workflow involved in the utilization on the form (who will determine compliance). If the project is determined to be in compliance would the Design Review Board get a chance to review the project?

The Board had another major concern that the current Board practice of inspecting each site to verify the possible conflicts might not be done if a site was deemed to comply with the checklist by County Staff. Would you please comment on these concerns.

Thank You

Tom Harrington
I-15 Corridor Board Member.



County of San Diego Design Review Compliance Checklist

		Site Plan Complies (Y/N/NA)	Guideline Reference	Comment/ Explanation
<p>PROJECT PREREQUISITES: CONSISTENT & COMPLIANT</p> <ul style="list-style-type: none"> • Project involves new construction or major renovation of a principal building. • Project is consistent with General Plan. • Project is consistent with the Community Plan. • Project complies with the Zoning Ordinance. • Project does not impact or disturb a floodway or floodplain. • Project does not impact or disturb significant or prominent natural features. 				
<p>I-15 CORRIDOR OBJECTIVES:</p> <ul style="list-style-type: none"> • Protect and enhance scenic resources within the I-15 Corridor planning area while accommodating coordinated planned development which harmonizes with the natural environment. • Establish standard to regulate the visual quality and the environmental integrity of the entire corridor. • Encourage scenic preservation and development practices compatible with the goals and police of the five community and sub regional planning areas encompassed by the I-15 Corridor area. 				
<p>SITE LAYOUT DESIGN STANDARDS</p>				
<p>Building Location & Orientation</p>				
1	The site organization is coordinated with the arrangement of buildings, sidewalks, pedestrian spaces, open spaces, landscape elements and natural features of adjacent sites.		1.A.1-2	
2	The Project coordinates with adjacent lots to create usable site areas between buildings where possible.		1.A.3	Where possible
3	The Project does not alter the natural ridgeline.		1.A.5.a	Inconsistent with #5
4	Buildings on or projecting above the ridgeline as viewed from I-15 are limited to one-story.		1.A.5.b	
5	Graded or disturbed ridgelines are replanted with trees, shrubs and ground cover.		1.A.5.c	
6	Earthen berms are used to reduce the height of wall portion of a noise wall.		1.A.6	"And/or wall?"



County of San Diego
Design Review Compliance Checklist Process

		Site Plan Complies (Y/N/NA)	Guideline Reference	Comment/ Explanation
	Parking & Circulation			
7	The parking lot design complies with the more restrictive of the County Parking Design Manual or these design checklist standards.			New
8	Service loading areas are provided on-site, not in the public right-of-way.		1.B.1	
9	Service and loading areas are separated from main public circulation and parking areas.		1.B.1	
10	Service areas, delivery entrances, loading docks and refuse facilities are not in the front yard, and are separate from building entrances and public access areas.		1.B.1	
11	Entries from major roads into the project site are defined by landforms, open space, landscape plantings, or architectural elements such as walls, signs.		1.B.2.a	
12	The Project provides pedestrian and vehicular linkages to adjacent development through connecting sidewalks, common entrance driveways, linked and aligned streets, driveways and common service/delivery areas where feasible. If not provided, applicant has adequately demonstrated reasonable effort to provide such improvements. (Does this apply to single family residential development?)		1.B.2.b	Similar requirement with more objective language from Fallbrook
13	Views of parking areas or structures are screened.		1.B.2.c	
14	Pedestrian paths are provided separately from vehicular routes.		1.B.5	
15	Pedestrian paths and crossings are defined by differing paving materials or pavement markings.		1.B.6	
	Public Utilities			
16	Utilities are placed underground where possible.		1.E.3	
17	Transformers and related utility components are not located in sidewalks or pedestrian paths. They are placed in underground vaults or are screened with retaining walls or plantings.		1.E.5	
	Steep Slopes & Natural Features			
18	Extensive grading of sloped areas within viewsheds is minimized.			Minor, major grading permits, cut/fill balance?
19	Development on hillsides is integrated with the existing topography and landforms.		1.F.1	More specific?
20	Areas of steep slopes in excess of 25%, tree stands, hillside agricultural activity and rock outcroppings are avoided and preserved; or where impacted, the applicant has adequately demonstrated reasonable efforts to minimize impacts.		1.F.2	
21	The Project does not eliminate significant viewsheds.		1.F.4	How would a project eliminate a viewshed?
22	Public vista viewing locations are preserved.		1.F.5	Define



County of San Diego
Design Review Compliance Checklist Process

		Site Plan Complies (Y/N/NA)	Guideline Reference	Comment/ Explanation
23	Grading of slopes in excess of 25% is contoured and landscaped to mimic and blend with natural contours.		1.F.8	
ARCHITECTURAL DESIGN STANDARDS				
24	The Project complements the building forms, materials and colors with adjacent structures and buildings in the area.		2.A.1	
25	Buildings are not block-like configurations.		2.B	
29	The project uses natural appearing materials.		2.A.1	
30	Colors for primary building forms are coordinated with landscaping materials. Earth tones and muted pastels are used for large areas, while primary colors are limited to accent points and trim.		2.A.2	
31	Mirrored glass is not used on buildings visible from I-15.		2.A.5	
32	Roof top equipment is screened from view and or enclosed in a housing which reflect the architecture of the main building, and/or painted to match the roof color.		2.A.4 2.B.2	
33	Signage is provided in accordance with a comprehensive graphic program for the project.		2.D.4.a	
34	Signs are externally illuminated, do not move, and use primarily natural materials.		2.D.5	
LANDSCAPE DESIGN STANDARDS				
Plant Selection Guide and Landscape Manual				
36	All landscape plans comply with the County Landscape Ordinance and Water Efficient Landscape Design Manual.			New
37	Plant selection follows plant lists, landscape manuals or selection guides applicable to the San Diego region and local climactic, soils and growing conditions.			New
38	Satellite dishes, parking and service areas are screened.		1.D.1	
39	Project boundary landscaping compliments adjacent landforms and plant materials.		1.D.2	
40	Trees do not block minimum intersection sight lines.		1.D.4.a	
41	At least 10% of the internal parking areas are planted with trees and shrubs.		1.D.4.c	
42	Common open space spaces and recreational areas are linked by pedestrian pathways to individual lots.		1.D.5	
43	A greenbelt is provided in viewshed areas for bikeways and/or footpaths.		1.D.6	"greenbelt"
44	Earth berms are rounded and have naturalized contours.		1.D.8	
45	Major stands of trees are preserved.		1.D.9	Where possible



County of San Diego
Design Review Compliance Checklist Process

		Site Plan Complies (Y/N/NA)	Guideline Reference	Comment/ Explanation
LIGHTING DESIGN STANDARDS				
	Prevent Glare, Preserve Night Sky			
46	All light is directed downward.			New
47	Service area lighting does not spill onto adjacent areas.			New
48	All lighting fixtures are full cutoff and fully shielded to prevent direct view of the light source and keep the light out of the viewer's line of sight. At least 90% of the light is projected below an angle of 80 degrees. No light is projected above the horizontal plane passing through the lowest light-emitting point of the fixture.			New
	Low, Even Levels			
49	Lighting levels comply with the County Light Pollution Code (51.201-209, aka Dark Sky Ordinance), Section 6324 of the Zoning Ordinance, and the County Guidelines for Determining Significance For Dark Skies and Glare.		1.C.1	New
50	The amount and intensity of lighting is limited to that necessary for safety, security and is integrated with the project landscape design, and does not interfere with the character of the surround neighborhood.		1.C.1.a	
51	Where provided, lighting levels are generally even and balanced to avoid high contrast between more and less brightly lighted or unlighted areas as recommended by IESNA. (IESNA recommends that the ratio between the brightest and minimum lighting levels should not exceed 10:1, and 4:1 between the average and minimum lighting levels. For example, IESNA recommends a minimum level of 0.2 footcandles for commercial parking areas. Therefore the average should be approximately 0.8 and the maximum illuminance should be approximately 2.0 footcandles.)			New; Significance Guide
52	Externally lighted signs use only fully shielded top mounted, downward directed light sources. Lighting levels do not exceed 3.0 footcandles on any vertical sign surface and have a ratio of not more than 2:1 between brightest and darkest portions of the sign. (IESNA)			New; Significance Guide

**Lakeside Design Review Board
Minutes of August 8, 2012
Lakeside Community Center
9841 Vine Street Lakeside CA 92040**

1. **Call to order:** Chair Robin Clegg called the meeting to order at 7:05pm Members present: Robin Clegg, Duane Dubbs, Janis Shackelford, and Frank Hilliker. Member Excused: Chad Enniss & Russ Rodvold.
2. **Open Forum:** None
3. **Approval of Minutes:** Motion to approve the minutes of June 13, 2012, was made by Frank Hilliker and seconded by Robin Clegg. Vote: 4-0-0
4. **Administrative Announcements:**
 - a). announcement confirming board member Duane Dubbs for additional 2 years.
 - b). Janis Shackelford was informed her seat is coming up for renewal and she would need to take action to be reappointed.
 - c). Board of Supervisors will consider adoption of a Zoning Ordinance Amendment creating a community design review checklist procedure intended to simplify and streamline the "B" Designator community design review process by providing an exemption to the Site Plan Permit process for applicants that meet specific qualifying design standards and criteria. Possible action. Duane Dubbs made a **motion to approve, Vote 4-0-0 the amendment as long as County Staff accepts the board's recommendation to go with the condition and questions based on this letter submitted by Janis Shackelford**, the letter is dated July 30, 2012. To Marcus Lubich see letter below:

July 30, 2012

To: Marcus Lubich
From: Janis Shackelford
Subject: Draft Checklists for Lakeside

Hello Marcus,
I have the following comments and questions regarding the Draft Checklists for Lakeside.

The following abbreviations have been used:
LDG = Lakeside Design Guidelines
DCTC = Draft Checklist Town Center and Side streets
DCC = Draft Checklist for Commercial outside Town Center
DCI = Draft Checklist for Industrial

Approved site plans have on-going conditions, such as requiring maintenance of landscaping, replacing trees, etc.. Will the Checklist procedure also have on-going conditions for maintaining landscaping, consistent with the submitted plans?

LDG pg 28:

All public right-of-way areas between a newly-developed property and the existing sidewalk or street edge should be fully landscaped. However, trees should not be planted in the right-of-way.

This criteria has been left out of all checklists.

General question- **The County's Offstreet Parking Manual has been updated. Are the LDG criteria for parking lots and parking lot landscaping consistent with the new manual? Which will apply?**

Draft Checklist for the Town Center and Town Center side streets.

LDG pg 40: Parking lot setback should be at least 10 feet from property line.

LDG pg 45: Parking lot setback should be at least 15 feet from property line.

DCTC #9, #53: Other than Maine Avenue in the Town Center, a parking lot that abuts a public street is set back at least 10 feet from the property line. **B1-A.1(p39)**

DCTC has significantly reduced the setback for parking lots in Sub-District B1-B, inconsistent with the LDG.

No comments on DCC or DCI.

Draft Checklist for Multifamily

• All multi-family projects should provide at least 100 square feet of Private Useable Open Space per dwelling unit. For upper level units entirely above grade, Group Open Space may be substituted for up to 50 square feet of this requirement.

LDG pg 50:

The substitution criteria, for above grade units, has been left off of the checklist.

5. Site Plans:

a) S07-022, 9668 Riverview Avenue. Not reviewed at this time.

b) STP12-013, 12306 Lakeshore Dr. Not reviewed at this time.

c) STP12-014, APN-374-010-37-00, Marathon Parkway, The primary building will have a lower floor of 61,800 square feet and an upper floor of 8,768 square feet for a total of 70,568 square feet. There will be approximately 17,271 square feet of office area with the balance being production. This building will be concrete tilt-up construction. The building will have two bridge cranes, one of which will project outside of the building to facilitate the loading of trucks. Frank Hilliker **made a motion to approve, 2nd by Duane Dubbs vote 4-0-0.**

6. Waiver Requests:

7. a). Not reviewed at this time.

b). 9732 Winter Gardens Blvd., O'Reilly's Auto Parts sign request. Janis Shackelford made a **motion to approve, with the condition** that there not be the huge Red sign on the Face of the Building. The Signage Stating **O'Reilly's Auto Parts are accepted as long as the face of the building remains the existing colors.** 2nd by Frank Hilliker. **Vote 4-0-0.**

c). Royal Road, APN 388-260-71/72: Temporary Fire Station-site is located on the south side of Royal Road, behind the small convenience center located on the southeast corner of Royal Rd and Winter Gardens Blvd. Janis Shackelford made a **motion to approve**, with the understanding that this is temporary with approximately a 5 year site for the fire district till they find a new site. 2nd by Frank Hilliker **Vote 4-0-0**.

d). 12584 Mapleview Street, Rodeo Grounds Free Standing sign. Don Hickle made the new presentation for the sign with some help from Terry Kitaen of Sign Tech. **The new sign will be approved as submitted** by a motion from Frank Hilliker and 2nd by Janis Shackelford with the condition that they try to have the name Lakeside for the community recognition. This sign is stepping out of DRB guidelines but has been considered due to the long standing work of the non-profit work by the stadium association and the good community connection that this sign can provide. **Vote 4-0-0**.

e). 12701-12721 Mapleview Street, Roof Mounted Solar and Fenced area for Tank at apartment complex. Frank Hilliker made a **motion to approve** as submitted 2nd by Janis Shackelford. **Vote 4-0-0**.

8. **Adjournment:** 9:05pm

By Secretary Duane Dubbs.

From: j-gshackel@cox.net
To: [Lubich, Marcus](#)
Subject: Draft Checklists for Lakeside
Date: Monday, July 30, 2012 1:33:49 PM
Attachments: [Comments on draft Checklists.docx](#)

Hi Marcus,
I generally support the proposed Checklist procedure being developed and the Checklists in general.
I have attached my comments and questions.
Janis Shackelford

July 30, 2012

To: Marcus Lubich
From: Janis Shackelford
Subject: Draft Checklists for Lakeside

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DCTC has significantly reduced the setback for parking lots in Sub-District B1-B, inconsistent with the LDG.

No comments on DCC or DCI.

Draft Checklist for Multifamily

LDG pg 50:

- **All multi-family projects should provide at least 100 square feet of Private Useable Open Space per dwelling unit. For upper level units entirely above grade, Group Open Space may be substituted for up to 50 square feet of this requirement.**

The substitution criteria, for above grade units, has been left off of the checklist.

Ramona Design Review

Thursday - March 29, 2012 - 7:30 P.M.

Ramona Community Center - 434 Aqua Lane - Ramona

DRAFT MINUTES

1. CALL TO ORDER by McCormick -7:35 pm
2. PLEDGE OF ALLEGIANCE
3. DETERMINATION OF QUORUM -Klingner, McCormick, Lewallen, Roberson, Close, Kirkpatrick & Anderson present. Absent: Vengler Not yet seated but present: Jim Cooper
4. APPROVAL OF MINUTES: Motion to approve minutes by Anderson, 2nd by Lewallen unanimous approval
5. * PRESENTATIONS FROM THE FLOOR, NON-AGENDA ITEMS:
6. ANNOUNCEMENTS -
 - Discussion on signage violations.
 - Village Design Update: The finished copy of the plan still needs revision. It is heavy in zoning and we feel the document is lacking in details that mirror the Ramona Design Review Guidelines and Village Design work that Howard has been facilitating. Still a work in progress. Discussion regarding forming a hybrid body that is made up of Design Review Board and Planning and zoning people, traffic and landscaping to review future project with this code.
7. SITE PLAN REVIEW
 - a. Main Street and Letton - Site Plan Review for a feed store (Russell Rumansoff). One of the colonnade trees is proposed to be removed. The hay barns will be 3 sided open facing towards the main building. The main building is 180 feet long to the columns (eave to eave). One curb cut proposed on Main Street. We need complete landscaping planting plan with list of plants and size, lighting, & signage details. Zero lot line may make it an issue. The back side of the barn needs to be addressed. A 5 foot landscape buffer? **No. that's 180 feet long. It needs to have a plane shift even only 2 feet. The ridge line needs to be broken up approximately every 50 feet. This will require bio-swales and drainage to be addressed.** The asphalt is extensive and non-permeable which creates a heat island. We need to have details on the fencing proposed. We need a color board. We need signage particulars but those are not required to approve the site plan but you would have to come back and have one approved prior to installing any signs. North and South elevations look great. DG meandering sidewalk is desired. Place on the April 26th meeting agenda.
8. WAIVER REQUESTS
 - a. Dollar Tree 1855-1863 Main Street (Kmart Center) Signage and minor frontage changes
Tony Rector presenting- they have 90 sf allowed. They are farther back than 100 feet from Main Street so **they are allowed 18" maximum high letters.** They decided to stay within the design of the current mall (siding) to be complimentary to the complex (have the details match the center and the materials). Roberson prefers the dormers to be further out (like K-Mart's). **If you make it 2 feet deep so it pops and it will look better.** Signage **looks good at 18" high and not internally illuminated,** With GREEN (dark hunter green as presented) led illumination Channel Letters with a beige background (to match the complex). The non illuminated two sided hanging blade sign is white letters.
Approval as presented with the exception of the flat vertical portion between the 2 dormers to be recessed a minimum of 24 inches. The front sign between the dormers to be GREEN (dark hunter green as presented) led illumination Channel Letters with a beige background (to match the complex). Motion by Lewallen, 2nd by Roberson. Unanimous Approval.
9. PRELIMINARY REVIEW
10. OTHER BUSINESS
 - a. ROW standards support letter to CalTrans. Motion to Approve by Lewallen, 2nd by Roberson. Unanimous approval.
 - b. Process of Review and Approvals (Dixie from County presented in December):

Discussion regarding changes: a number of checklist items that will create conflict because they are mutually exclusive requirements. This document is at odds with what we have been working on for the Village Design (for the Ramona Community Plan). We have been told that these guidelines pertain outside of the "Village Core" (Village Design Purview Area) area and we do not understand how that can possibly be. There are 3 separate county projects dealing specific with the Ramona Planning Design Guidelines and standards. First one is this project which creates a check list from our current Guidelines. The second is the Ramona Village Core Plan. The third one is the proposed residential community character. These 3 projects are in conflict with each other and mandate different requirements for the same parcel. The terminology is the same but the definition is different for each of the three projects. Specifically if the Ramona Core was excluded there are virtually no commercial properties that would be affected by this checklist (except for the 3 legal non-conforming). This system is flawed and needs to be addressed. Motion to send comments to the county along with the groups concerns (that have been sent to the Chair) as Ramona Design Review Board comments by Lewallen, 2nd by Roberson. Unanimous Approval.

11. ADJOURNMENT - 9:45 pm

Respectfully Submitted by Chris Anderson, Ramona DRB Secretary

SPRING VALLEY COMMUNITY PLANNING GROUP & DESIGN REVIEW BOARD

P.O. BOX 1637 SPRING VALLEY, CA 91979-1637

Phone: 619-670-6932 Fax 619-670-6932, email: scottmontgomery@cox.net

RECOMMENDATION - MOTION FORM

Project No: * D Title: Spring Valley Design

Location: Review Complexon Chulley Date: 2/14/12

Project Team Members: Marilyn Wilkerson / Lon Jones / Jim Comeau

Issues & Concerns Identified: Request following changes:

#76 - Add: senior housing must conform to the same open space requirements substitute a picnic area for playground. Add new item #84 - availability of street parking shall not be used in calculating required resident or visitor parking in multi-unit residential. All multiple unit residential with the exception of permanent senior housing shall have a minimum of 2 parking spaces per unit plus required guest & handicapped parking. Senior housing that is built for only a fixed amount of time shall also contain 2 parking spots per unit to accommodate a change of occupancy in the future.
 Final Motion - Accept document with additions

Planner Email: marcus.lubich@sdcounty.ca.gov

	Y	N	A		Y	N	ABSENT
1. Eble	(✓)	()	()	9. Cunningham	()	()	(✓)
2. Lowes	(✓)	()	()	10. Comeau	(✓)	()	()
3. vacant	()	()	()	11. Flynn	(✓)	()	()
4. Wilkenson	(✓)	()	()	12. Lake	(✓)	()	()
5. Montgomery	(✓)	()	()	13. Woodruff	(✓)	()	()
6. Eugenio	(✓)	()	()	14. Hackney	(✓)	()	()
7. Preuss	(✓)	()	()	15. Simms	()	()	(✓)
8. Daly	(✓)	()	()				

Project Manager: Marilyn Wilkerson

Chair's Signature: Scott Montgomery

Vote: 12-0-0

*For B & D waivers only; we are to be informed if there is any deviation from our recommendation

SPRING VALLEY COMMUNITY PLANNING GROUP & DESIGN REVIEW BOARD

P.O. BOX 1637 SPRING VALLEY, CA 91979-1637

Phone: 619-670-6932 Fax 619-670-6932, email: scottmontgomery@cox.net

RECOMMENDATION - MOTION FORM

Project No: * C Title: zoning Ordinance Amendment

Location: Spring Valley Date: 4/10/12

Project Team Members: Lowes / Wilkinson

Issues & Concerns Identified: many changes are suggested - please see matrix - plan really needs updating -

Motion: approve Group's Comments
Carried? Yes No

Planner Email: marcus.lubiche@county.ca.gov

	Yes	No	Abstain		Y	N	Abstain
1. Eble	(<input checked="" type="checkbox"/>)	()	()	9. Cunningham	(<input checked="" type="checkbox"/>)	()	()
2. Lowes	(<input checked="" type="checkbox"/>)	()	()	10. Comeau	(<input checked="" type="checkbox"/>)	()	()
3. Hansen	(<input checked="" type="checkbox"/>)	()	()	11. Flynn	(<input checked="" type="checkbox"/>)	()	()
4. Wilkinson	(<input checked="" type="checkbox"/>)	()	()	12. Lake	(<input checked="" type="checkbox"/>)	()	()
5. Montgomery	(<input checked="" type="checkbox"/>)	()	()	13. Woodruff	(<input checked="" type="checkbox"/>)	()	()
6. Eugenio A	()	()	()	14. Hackney	(<input checked="" type="checkbox"/>)	()	()
7. Preuss	(<input checked="" type="checkbox"/>)	()	()	15. Vacant	()	()	()
8. Daly A	()	()	()				

Project Manager: Lopa Lowes

Chair's Signature: S. Montgomery

Vote: 12-0-0

*For B & D waivers only; we are to be informed if there is any deviation from our recommendation

DPLU had this extremely out of date.

Plan page 2 Col. 1 last para.

It is intended, in the review of the above specified projects, that the Community Planning Group will work with the Design Review Board and the applicant to encourage consistency of Major Use Permits with applicable Design Guidelines.

It is intended, in the Review of the above specified projects, the Planning Group will work with Design Review Plan and the applicant to ensure consistency of Major Use Permit requirements and with the Spring Valley Community Plan. (the Planning Group and Design Review Boards are merged and not separate entities)

Page 5 Cp0; 3 2nd para.

The County, in conjunction with the local business community, has been actively studying revitalization issues in Spring Valley. Blighted areas in southwest Spring Valley include the future Route 125 corridor, Swap Meet area, the Birch Street industrial area, and the Grand Avenue commercial corridor. In the northwest, blighted areas exist in the Bancroft/Troy commercial corridor and the Olive Drive industrial area. The County is currently in the process of considering how the provision of public facilities (roads, flood control and sewers) can be improved in these areas to deal with existing blight conditions.

Highway 125 has been completed and should be so noted

Page 7, col. 2 2nd para

When reviewing projects located in blighted areas previously described, first priority attention will be given to the project's overall impact on the elimination of blight. It is understood that in some circumstances this may require relaxation of individual guidelines contained in this document.

Eliminate last sentence

page 16, first column, 1st paragraph.

Today, many local residents would refer to this area as "North Spring Valley" or "Historical Spring Valley". Of the three proposed districts, this is the most rural in flavor, reminiscent of many small towns of rural and semi-rural America, although some of this quality has been lost in recent years. Most of the natural water courses running through the area have been boxed and covered. Bancroft Drive is to be widened to four lanes with traffic signals, and many mature trees have been lost as a result. Other important characteristics remain, however, and these should become points of reference for future development in the District.

page 16 col. 1 last paragraph

There are two primary points of entry into the District: 1) the intersection of Troy/Sweetwater Road (Future State Route 125), and 2) the intersection of Bancroft/State Route 94. These are points at which there is a physical or perceptual change which identifies entry into the District, or the potential to create

Page 16, Col. 2, Para. 2

location. The development of consistent street tree plantings, and the encouragement of additional pedestrian-oriented, low-scale commercial buildings along the Bancroft/Troy corridor would further strengthen the identity of the District and supplement the "Main Street" qualities already present.

North Spring Valley is heavily urbanized and contains many heavy industrial and commercial sites along with multi-family apartments. Lots are slightly larger than minimum in many places but most are minimum lot size for construction. Bancroft Dr. will remain three lanes. There is great need for wider and new sidewalks to allow for pedestrian traffic. This area also contains the most historic sites, i.e. Bancroft Ranch House, the rock House and the Oalla.

(Future site of Route 125) will not have a connection to Troy/ Sweetwater Rds. Remove parentheses.
Plan

This area has been re-zoned to Light Industrial and Mixed Use to accommodate housing units above businesses.

Again, Lamar park is fully developed with play equipment and picnic grounds. It will also contain the County's first Dog Park with caretaker's unit.

Page 16, Col 3, last para.

The ⁴three parks (public recreation areas) in the District are: the Bancroft County Park (associated with the Ranch House), Lamar County Park (an undeveloped Riparian open space), and the Goodland Acres County Park (a

See above.

There are also paths built around Lamar Park and the prospect of paths going over to Goodland Acres Park.

Page 18, Col. 1, Para. 1

California pepper trees. Lamar County Park offers no improvements—just enjoyable footworn trails along Spring Valley Creek. It is recommended that these parks be maintained in their present state, although Lamar County Park could benefit from the installation of benches and interpretive signs.

Again, Spring Valley is not a rural environment. It is heavily urbanized with suburban residential.

DESIGN GUIDELINES

Page 18, Col. 2, Para. 1

of new architecture compatible with rural settings, palm tree accents consistent with the existing tree theme along Bancroft Drive, and community signage. The initial impression of the community would be greatly enhanced where projects make sense of entry a specific goal of project design.

Curbs and gutters are very important to this urban area. Their development is integral to improve the vision of the community as modern and well constructed.

Because of the heavy density of apartments, condos and small lot developments, curbs, gutters and sidewalks are imperative to encourage pedestrian foot traffic. Sidewalks should be of maximum width to allow parents with children to walk side by side. Developments have been required to install sidewalks, but it is piecemeal and needs cohesive connection.

Page 18, col. 3, Para 1.

Where have YOU been? Spring Valley is almost entirely developed. It is a suburban/urban environment with minimal provision for the needs of the

Page 20, Col. 3

and adjacent properties. In the Bancroft District, this means that the architectural and landscape design of such projects should reflect the semi-rural character of the District, with an emphasis on retaining and supplementing the mature vegetation which is characteristic of many of the older apartment buildings.

Page 20, Col. 3. Last para.

- On streets where no parking, or only inadequate parking, is currently allowed, cars often park on planted areas. On-site parking should be provided, and barrier plantings and garden walls installed to deter such behavior. In all new development, parking should not be allowed in the required Landscape Zones (see Part IV).

Page 30, Col.1 2nd para.

ent-day Spring Valley Swap Meet (at the corner of Sweetwater and Pleasant Valley Roads) from the early 1900s to the 1950s.

Page 30, 3rd. Col., 1st para.

Jamacha Road/Sweetwater Road), the "Big T" shopping center west of K-Mart, Vons shopping center (northeast corner of Jamacha Boulevard/Sweetwater Road), general commercial south of Vons, and the intersecting Grand Avenue and Jamacha Boulevard commercial corridors.

This is now the Albertson's Shopping Center. All signs are oversized due to a previous agreement between the Planning Group and the site owner. Rte. 54 is not going to be built and the property has reverted to the county as a Special Interest area that the Group wants to use for trails, recreation and possible development as City Centre type venues.

This area has been paved with curb and gutter. There are also sidewalks. It is still industrial but check the Zoning map for exact.

The community Center is fully developed with a Teen Center and computer center. It has an entryway sign to Spring Valley done by an Eagle Scout candidate.

Page 32, col. 3, middle para.

renovated Vone Shopping Center on the northeast corner of the intersection, and blighted commercial zones near the Swap Meet. The mostly undeveloped Swap Meet grounds are zoned for industrial use, but have served as an outdoor marketplace for the last twenty years. Vone shopping center, on the other hand, is a good example of how a thirty year-old mall can be successfully renovated. The future Route 125 right-of-way lies along the alignment of Sweetwater Road, including its junction with future Route 54. Although this land will ultimately be incorporated into the freeway system, for many years it has produced nothing but tumbleweeds and a sense of blight in the community.

Sweetwater Lane Park has been well developed with the exception of parking. It is highly used and has been upgraded already for drainage and artificial turf. Take out the last sentence of the paragraph.....

Repetitive paragraph Birch St. is paved and improved.

Page 33, Col. 2, last para.

Birch Street industrial area: This older industrial area, like the Olive Drive industrial area in the Bancroft District, suffers from the impacts of urban blight. Unscreened storage, inadequate signage and trash control, substandard structures, unpaved roads and numerous past examples of land use incom-

This paragraph seems to allow for totally improper development that looks like the rest of the poorly constructed multi-family units around town. A better wording to construct aesthetically pleasing units might be "more better".

Page 33, Col. 3 middle Para.

Community Center, and Sweetwater Lane County Park (undeveloped vacant land near the Birch Street industrial area). Spring Valley County Park overlooks the asphalt-paved Swap Meet

This shopping Center is no longer big Bear and the prop. Owner has allowed it to degrade to a very bad level. There are only 3 occupied occupancies, a liquor store, Karate place and a church.

Again, the big Bear is in disrepair and the other is a small strip mall area dominated by a gas station, not exactly

Page 33, Col. 3, same para.

setting is less than ideal. Sweetwater Lane County Park has the potential to be a pleasant community park when developed. In its current state, however, it has the appearance of neglect, not unlike the barren future Route 125 right-of-way.

Page 34 Col. 2 para.

Page 35, Col., 2 first para.

• Architectural and landscape design of multi-family projects should strive to recognize adjacent development, rather than conceiving each project in isolation. It seems as if past development has often been concerned only with getting the maximum allowed density on site, come what may. Instead, projects must demonstrate an attempt to achieve compatibility with neighboring projects.

Page 42, 1st Col., 3rd Para.

The design quality of the Big Bear shopping center and the Austin Drive industrial area are unmatched within the planning area, probably due to improved County development standards in recent years.

what is wanted at the entrance to Spring Valley from Jamacha Blvd. and Hwy 94.

Page 42 2nd col., 3rd para.

There are two commercial focuses: the Big Bear shopping center on Sweetwater Springs Boulevard at Austin Drive, and the small, general commercial area on the northeast corner of the intersection of Jamacha and Sweetwater Springs Boulevards.

Spring Valley Community Planning Group

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email: scottmontgomery@cox.net
P.O. Box 1637 Spring Valley, CA 91977-1637

August 17, 2012

Marcus Lubich
Dept of Planning and Land Use
County of San Diego

Subject: Spring Valley Design Review Compliance Checklist Draft

Mr. Lubich,

At a regular meeting on August 14, 2012, by unanimous vote 9-0-0, the Planning Group recommended approval of the draft Spring Valley Design Review Compliance Checklist with the following changes.

1. Addition: Senior housing must conform to the same open space requirements as other projects. Substitute picnic areas for playgrounds. Rationale: We see projects that start out as senior projects transmute into housing for all ages. Often, open space requirements have not then been met.
2. Addition: Availability of street parking shall not be used in calculating required resident or visitor parking for a multi-unit residence. All multi-use residences, with the exception of permanent senior housing, shall have a minimum of two parking spaces per unit plus required guest and handicapped parking. Senior housing, that is built for only a fixed amount of time, shall also contain two parking spaces per unit to accommodate a change of occupancy status in the future.

Most Cordially,


Scott Montgomery
Chairman, Spring Valley Community Planning Group

From: [Henry Karen](#)
To: [Sheri Todus](#); [Lubich, Marcus](#)
Cc: [Georjean Jensen](#); [LUEG, CommunityGroups](#); [Alan Sachrison](#); [Jones, Cheryl](#); [Don Scovel](#); [Reytblat, Stella](#); [John Riess](#); [Rick Blacklock Blacklock](#); [Andrew Valencia](#); [Uwe Werner](#); [Mark Kukuček](#); [Liz Stonehouse](#); [ELIZABETH, John Taylor](#)
Subject: draft Sweetwater Design Review Checklist- comments requested
Date: Tuesday, August 07, 2012 10:24:33 PM

Marcus- At tonight's meeting, the Sweetwater Community Planning Group empowered me to perform the requested review (Email dated June 27, 2012) on behalf of our group.

Accordingly, I have reviewed the proposed draft against our earlier review comments and confirmed that nearly all of our comments were incorporated into the current draft. However, the following two exceptions were noted:

#40 (formerly #42) - Separate into two check list items, as follows:

One tree is provided every 300 square feet of required front, side, rear and interior yard landscaped areas.

One tree is provided for every 200 square feet in interior yards for multifamily projects

#50 (formerly #52) - delete reference to "wood or metal"; suggest revise to read as follows:

Sign posts and other structural elements have white, black, earth tone or natural satin finish.

We trust that the above revisions will be made before the check list is finalized and presented to the Board of Supervisors for approval.

Thank you, K

Karen Larson Henry, P.E.
Sweetwater Community Planning Group Member
(619) 947-4166

deleted cover letter
(S)

Sweetwater Community Planning Group

Dixie Switzer, AICP
Department of Planning and Land Use
5201 Ruffin Road, Suite B
San Diego, CA 92123-1666

Fax 858-694-2485
11 pages

**Re: County of San Diego -Sweetwater
Design Review Compliance Checklist Process**

The Sweetwater Community Planning Group met February 7, 2012 at 7:00 PM and reviewed the document listed above. The following changes were voted on by the Planning Group and have been transposed from the minutes to the document.

There was one item that needed special handling and is listed below:

Page 6 Item 47 General Design Criteria
Sign

- * External illumination is project^{ed} onto sign face. The light source is shielded from view.
- * Led sign with lights in the frame recessed from view.
- * Individual opaque letters back lit to ~~create~~^{create} halo effect.

Thank you and your support group for all their amazing work in clarifying all of the Sweetwater Community Guidelines and helping us present them in a meaningful way.

Please call Harriet (619)977-1317 or Sheri Todus (619)726-3159 for any clarification.

Regards,
Sheri Todus
Co Chair *(S)*

Valley Center Design Review Board

April 15, 2013

TO: Marcus Lubich,
San Diego County Department of Planning & Development Services
RE: **Comments: Valley Center Design Review Checklist**

Dear Marcus,

We are pleased to offer the following comments and suggestions for the final draft of the Valley Center Design Review Checklist. Generally, Marcus, I think this draft **helps clarify Valley Center's overall** design objectives and simplifies the specific and concrete design standards.

That said, we are recommending a few modifications to make the document more likely to achieve its overall purpose: GOOD DESIGN for Valley Center. As we've discussed so many times "good design" takes place in the context of its surroundings and is the outcome of relationships among complementary and contrasting elements that achieve a particular design objective. It's all about relationships of forms and details to one another. Therefore, aesthetic quality cannot be successfully produced through applying a binary logic to individual elements of the whole product – although I must say that this document makes a pretty good stab at it! Design is a recognized discipline, with varying levels of expertise and skill even in its legitimate practitioners and plenty of people working in the land development field who do not know its most basic tenets or its basic vocabulary.

So, it is important for this document to be as explicit as possible and also important for people who are familiar with the tenets and language of design to be reviewing projects. I am repeating myself, I know.

I believe the recommendations below help further clarify both the process and aesthetic objectives. Recommended copy is in black: **comments about the point are red.**

Architectural Design Standards

17 a.

Bullet 3. Exterior walls are finished with mud-plaster, white wash or smooth stucco.

17 b.

Bullet 4. Arcaded corridors (*take out "longer than 25 feet" – because the desirable length of a corridor is not fixed but is relative to the size of the building*).

17 d.

Bullet 4. Roofs are semi-cylindrical ceramic tiles laid in alternating convex and concave columns.

17 e. (*I asked in an earlier round of comments that RBF "flesh out" this section because it is too lean to be comprehensible... and it did not happen. Therefore I have done the research myself, and ask that the following bullets be added to this section so that developers understand the form and detail of this architectural genre.*)

Line 1 **New copy. Early California Farm, Ranch Vernacular design shall include:**

Bullet 1. **New copy.** A complex of buildings clustered together (similar to the design of the Valley Center Library and History Museum). (*take out "more than 1, no less than 3-feet apart" – because the desirable proximities of structures vary.*)

Bullet 2. (*strike out "Long sloped roof lines (longer than 25 feet) – because this info is inaccurate)*

New copy: Different sized structures (larger and smaller, higher and lower, primary and ancillary). Ancillary buildings are telescopic extensions, wings, lean-tos and/or separate structures.

Bullet 3. **New copy.** Roof pitches vary. The central primary structure has the highest roof with the steepest pitch; ancillary structures have lower roofs with more shallow pitches.

Bullet 4. Vertical board and batten, and clapboard siding.

Bullet 5. Covered arcades, porches, colonnades and/or walkways at the edges of buildings. *(add "arcade" because the word fits with this architectural style)*

Bullet 6. False mansards and parapets on 1-story commercial buildings.

Building Form and Massing

19. Building entrances are easily identified *(strike out "visible from the closest public street" because our Design Guidelines require landscaping to screen buildings from public streets.)*

20. *(Strike this item because the point is addressed in #21)*

Building Façade Materials and Color Schemes (add "and Colors")

33 .

New Bullet 7 The building exterior and trim are painted in a palette of "earth tones". ("Earth tones" are muted hues and shades of browns, tans, warm grays, greens, oranges, whites, some reds, and some blues that emulate the natural colors found in dirt, moss, trees and rocks. Many earth tones originate from clay earth pigments, such as umber, ochre, and sienna.)

34. **The project does not use any of the following building materials or colors:** *(add "or colors")*

Bullet 2. Bright primary or secondary colors that are not hues or shades of natural materials.

Bullet 3. Glazed masonry covering more than 10% of the building surface *(was mistakenly combined with bullet 2)*

Roof Materials

43. **The project uses the following roof materials:** *(strike "1 or more of" as unnecessary)*

Bullet 1. Clay tile in an earth tone *(strike brown, tan, green, gray as unnecessary)*

Bullet 2. High profile "Architectural" composition shingles *(use this language because it specifies a particular higher quality composition shingle).*

44.

Bullet 2. **(New copy)** Bright primary or secondary colors that are not hues or shades of natural materials, glazed tile, or highly reflective surfaces.

Fences and Walls

47. *(Retain "to allow for planting" because this clarifies the entire purpose of the setback)*

Site Details and Furnishings

56. Retain *"durable materials such as"* and add *"stucco finished or stone-faced poured or block concrete" because we absolutely do not want to specific or limit material to ugly concrete block walls!!)*

57. *(strike "brown, tan, green or gray" because we have very specifically defined "earth tones" in #33. Repeat #33 copy if necessary but don't vary it because variation will cause confusion.)*

Landscape Design Standards

65.

Bullet 2. Trees and shrubs are planted in front of walls to soften them *(strike "solid or blank" and "longer than 25 feet" because none of this makes a difference. Walls have to be planted. Period. And the purpose*

of planting is to 'soften them'. Everyone in the discipline knows what this means. So these are clarifiers and to eliminate them confuses the point.)

Required Landscaped Edge Zones

68. *(Retain "naturally grouped" because "natural grouping" and "natural design" is the CORNERSTONE of landscape design in Valley Center."Natural design" is the opposite of "formal design". Again, everybody in the discipline understands the term, and to eliminate it will eliminate the community's primary landscape design goal from our Design Guidelines.)*

69. *(replace "bright colored" with "colors that are not earth-tones", again because we've defined this explicitly in #33)*

Landscaped Open Space

70. *(Retain "clustered naturally as stands" to "define" perimeters of open spaces on large sites – this are critical signifiers!!! The terms "natural clusters" that "define" areas have an explicit disciplinary meaning and everybody who speaks the language understands it. The word "identify" can mark a point in space; the word "define" connotes an area in space. The difference makes a difference.)*

71. *(revise as follows) Interiors of open spaces are left undisturbed or planted in native vegetation (trees, shrubs or grasses) with no use of non-indigenous plants.*

Off-Street Parking Areas

75. *(Retain "to soften the visual impact of parking areas and relieve them from heat build-up" because this is the intent of this guideline and the intent helps people select species that will achieve the goal.)*

79. *(Strike "longer than 25-feet" because it is misleading. All parking, storage and delivery areas need to be screen with vegetation.)*

SIGNAGE DESIGN STANDARDS

(Add "Design") **Design, Colors, Materials and Lighting**

107. *(Revise)* Signage design follows the building's architectural concept, and signs use no more than three colors plus black and white.

>>> On Tuesday, November 15, 2011 at 1:57 PM, in message
<000601cca3e1\$936dafb0\$ba490f10\$@com>, "Robson Splane" <splanedesign@gmail.com> wrote:
Nov. 12, 2011

Dan Wery

RBF

San Diego, CA

Dear Dan,

It was good to meet you last Tuesday. Sorry I had to leave early, but as promised, please find below some brief statements which may be helpful in prefacing your design guideline check lists.

We realize your group has been tasked by the County's attorneys to develop a document which would take the human factor out of the equation of development. With your assistance, we're eager to keep the human factor in our community. As most builders and developers have a great incentive to reap maximum profits from minimum investment, it has proven to be a formula for the wide-spread mediocrity that is reflected in the strip malls found all over our beautiful state. (Ironically, it negatively effects land values, and through that, the tax revenues of the County.)

As my first job offer was as a designer for General Motors, Corp., maybe the best way I can illustrate a way to avoid a dilemma is by illustrating it with automobiles? All cars on the roads of California must conform to a checklist from the DMV, and so all automobiles should be equal, right? The question here is rather you'd prefer to drive a Yugo or a Ferrari. The Yugo is the perfect example of a design minus the human factor.

Background- Valley Center, along with some other communities in the county, are among the few large tracts of land (within 20 miles of the coast) left in Southern California. This puts us *square in the sights* of developers, which makes the design review process so important. We enjoy our open spaces, but realize we can't stop progress. At the same time we feel we don't need to settle for what-ever ticky-tacky developments builders would like to impose upon us. Valley Center has the only un-divided Mexican land grant left in the state. Our homes include Aprox. 100 unregistered adobes. And, having been home to John Wayne, Gary Cooper, Fred Astaire, Randolph Scott and even Wyatt Earp upon occasion, we'd like to maintain a separate sense of identity. Below, please find some of the illustrations we use to impart our vision for the area.

The Big Picture-

Imagine you're magically transported to Valley Center. Instead of believing you'd landed in Oz, Costa Mesa, Reseda, Rancho Bernardo (or a hundred other towns in California) we'd like

you to realize you're in a community with its own history and character.

Valley Center was built up from homesteads and so should continue to appear as if it had evolved over many decades. instead of many months!

Over the years there have been multiple architectural influences (including: Mission revival, Monterey, California ranch houses, farm buildings etc. etc.) and we hope to continue to enjoy a blending those influences in our architecture, rather than to suffer the sameness of a pre-planned community.

Valley Center's character would be best reflected in architecture which avoids the look of a cheap western movie set.

In addition to the architecture its self, any design should take into account our lifestyles. Livestock still out-numbers people here and horses are a big part of the lifestyle. People live and entertain out of doors a great deal. While privacy is a big reason many people move here, areas for social-intercourse are important.

Sincerely,

Robson

Robson L. Splane Jr. IDSA

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