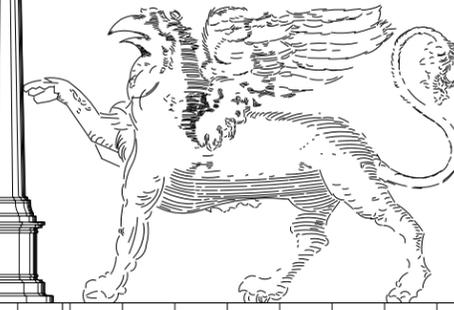
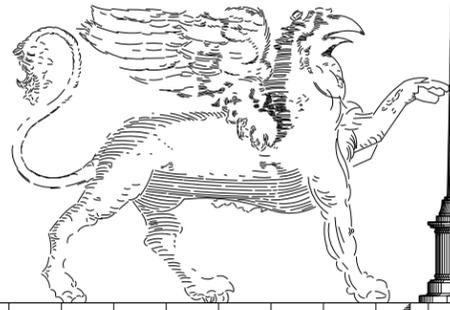




**SD0675 LAKE WOHLFORD RD & MAEMAR**  
**26725 LAKE WOHLFORD RD. VALLEY CENTER, CA 92082**



No.	Revision / Issue	Date
A	90% ZD Issue	03-25-13
B	100% ZD Issue	04-11-13
C	Final ZD	05-08-13
D	REV.1	08-27-13
E	REV.2	09-03-13
F	REV.3	09-13-13
G	REV.4	10-16-13
H	REV.5	12-16-13

**DIRECTIONS TO SITE FROM AT&T OFFICE:**

1. START OUT GOING EAST ON TRADE ST. TOWARD CARROLL WAY.
2. TAKE THE 1ST RIGHT ONTO CARROLL WAY.
3. TURN LEFT ON CARROLL RD.
4. TURN LEFT ONTO MIRAMAR RD.
5. MIRAMAR RD BECOMES POMERADO RD.
6. MERGE ONTO I-15 N.
7. TAKE THE VIA RANCHO PARKWAY EXIT, EXIT 27.
8. TURN RIGHT ONTO E VIA RANCHO PKY.
9. E VIA RANCHO PKY BECOMES BEAR VALLEY PKY S.
10. TURN RIGHT ONTO E VALLEY PKY E.
11. TURN RIGHT ONTO LAKE WOHLFORD RD.
12. 26727 N LAKE WOHLFORD RD IS ON THE LEFT.



**RF INITIALS:**

\_\_\_\_\_ DATE \_\_\_\_\_

**A/E MANAGER INITIALS:**

\_\_\_\_\_ DATE \_\_\_\_\_

**SITE ACQUISITION INITIALS:**

\_\_\_\_\_ DATE \_\_\_\_\_

**ZONING/PLANNING INITIALS:**

\_\_\_\_\_ DATE \_\_\_\_\_

**CONSTRUCTION INITIALS:**

\_\_\_\_\_ DATE \_\_\_\_\_

**LANDLORD INITIALS:**

\_\_\_\_\_ DATE \_\_\_\_\_

**ACCESSIBILITY DISCLAIMER**

THIS PROJECT IS AN UNOCCUPIED WIRELESS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.  
 EXCEPTION TO SECTION 10-103  
 THIS PROJECT HAS LESS THAN 1,000 SQ. FT. OF CONDITIONED SPACE AND HAS AN OCCUPANT LOAD OF LESS THAN 49 PERSONS AND IS EXEMPT FROM THE DOCUMENTATION REQUIREMENTS OF SECTION 10-103 OF 2005 BEES.

SIGNED \_\_\_\_\_



**DIRECTIONS TO SITE**

**VICINITY MAP**

**CLIENT APPROVALS**

**TITLE 24 COMPLIANCE**

**APPLICABLE CODES**

ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES: INCLUDING BUT NOT LIMITED TO:

1. 2010 CALIFORNIA BUILDING CODE (CBC) / 2009 INTERNATIONAL BUILDING CODE (IBC)
2. 2010 CALIFORNIA RESIDENTIAL CODE (CRC) / 2009 INTERNATIONAL RESIDENTIAL CODE (IRC)
3. 2010 CALIFORNIA ELECTRICAL CODE (CEC) / 2008 NATIONAL ELECTRICAL CODE (NEC)
4. 2010 CALIFORNIA MECHANICAL CODE (CMC) / 2009 UNIFORM MECHANICAL CODE (UMC)
5. 2010 CALIFORNIA PLUMBING CODE (CPC) / 2009 UNIFORM PLUMBING CODE (UPC)
6. 2010 CALIFORNIA FIRE CODE (CFC) / 2009 (IFC)
7. 2010 CALIFORNIA GREEN BUILDINGS STANDARDS CODE
8. 2008 BUILDING ENERGY EFFICIENCY STANDARDS

**SITE NAME**

LAKE WOHLFORD RD & MAEMAR

**SITE NUMBER**

SD0675

**SITE ADDRESS**

26725 N. LAKE WOHLFORD RD  
 VALLEY CENTER CA 92082

**APPLICANT**

AT&T WIRELESS  
 7337 TRADE STREET  
 3RD FLOOR  
 SAN DIEGO CA 92121

**APN:**  
 189-180-59

**JURISDICTION**  
 COUNTY OF SAN DIEGO

**CURRENT ZONING:**  
 A-72

**(E) BLDG. OCCUPANCY:**  
 N/A

**PROJECT DESCRIPTION:**

MAJOR USE PERMIT MODIFICATION CONSISTING OF:

- CONSTRUCTION OF A 45-FOOT FAUX BROADLEAF TREE
- INSTALLATION OF 12 PANEL ANTENNAS
- INSTALLATION OF 12 REMOTE RADIO UNITS (RRU)
- INSTALLATION OF SIX (6) TOWER MOUNTED AMPLIFIERS (TMA)
- CONSTRUCTION OF A 260 SQ. FT. EQUIPMENT CMU ENCLOSURE WITH A METAL TRELLIS TOP
- INSTALLATION OF ASSOCIATED EQUIPMENT CABINETS WITHIN THE NEW CMU ENCLOSURE
- INSTALLATION OF NEW LANDSCAPING
- REMOVAL OF EXISTING POLE MOUNTED ANTENNAS
- REMOVAL OF EXISTING PAD MOUNTED EQUIPMENT CABINETS

LATITUDE: N 33° 11' 55.66"  
 LONGITUDE: W 116° 58' 16.91"

**TELECOMMUNICATION CARRIERS**

NO OTHER TELECOM CARRIERS ARE LOCATED ON THIS SITE.

**OWNER CONTACT**

TERRY HUTCHINSON  
 18009 MNT. FLETCHER CIRCLE  
 FOUNTAIN VALLEY, CA 92708  
 714-839-3399

**AT&T PROJECT MANAGER**

KEVIN MCGEE  
 7337 TRADE STREET  
 3RD FLOOR  
 (858) 232-3996

**AT&T PROJECT AREA:**

324 SQ. FT.

**NET ACREAGE:**

5.09 AC

**SPRINKLERED BLDG:**

N/A

**(P) AT&T OCCUPANCY:**

B

**ARCHITECTS & ENGINEERS**

MITCHELL J. ARCHITECTURE  
 4883 RONSON COURT, SUITE N  
 SAN DIEGO, CA 92111  
 TEL: (658) 650-3130  
 FAX: (658) 650-3140

CONTACT : JD NEWMAN

**PROJECT MANAGER**

GOODMAN NETWORKS  
 SAN DIEGO, CA 92131

CONTACT:  
 WILLIAM CASTANARES  
 (760) 458-2301

FRANKLIN OROZCO  
 (619) 632-2569

**SURVEYOR**

JRN CIVIL ENGINEERS  
 232 AVENIDA FABRICANTE, #107  
 SAN CLEMENTE, CA 92672

CONTACT:  
 JAMES R. NEEDHAM  
 (949) 248-4685 EXT. 17

Sheet Number	Sheet Title
G-001	TITLE SHEET - PROJECT INFORMATION & VICINITY MAP
A-101	SITE PLAN & NOTES
A-102	ENLARGED SITE PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
D-501	ANTENNA AND EQUIPMENT LAYOUT
D-502	EQUIPMENT DETAILS
L-1.0	LANDSCAPE IRRIGATION PLAN
L-2.0	LANDSCAPE PLANTING PLAN
C-1	SURVEY

**SDC PDS RCVD 01-17-14**  
**MUP03-118W2**

Title Sheet, Project Information & Vicinity Map

MITCHELL J. ARCHITECTURE INC.  
 4883 Ronson Court, Suite N  
 San Diego, CA 92111  
 658.650.3130 (ph) / 658.650.3140 (fax)



LAKE WOHLFORD RD & MAEMAR  
 VALLEY CENTER, CA 92082  
 VALLEY CENTER CA 92082



Project	10099935
Date	09-13-2013
Drawn By	wb
Checked By	jd
Scale	NO SCALE

Mitchell J. Architecture

**G-001**

MCMXCVII

**APPLICABLE CODES**

MCMXCVII

**PROJECT SUMMARY**

MCMXCVII

**CONSULTANT TEAM**

MCMXCVII

**SHEET INDEX**

NOTES

1. THE REMOVAL OF EXISTING EQUIPMENT TO COMMENCE IMMEDIATELY AFTER THE INSTALLATION OF THE PROPOSED NEW EQUIPMENT AREA AND FAUX TREE. TEMPORARY POWER AND FIBER TO BE INSTALLED PRIOR TO RELOCATION OF ANTENNAS AND EQUIPMENT. APPROXIMATELY 3 TO 4 DAYS TO RELOCATE EXISTING EQUIPMENT AND ANOTHER 7 DAYS TO CLEAR AND RESTORE SITE TO ORIGINAL CONDITIONS.
2. THE AREA SURROUNDING EXISTING EQUIPMENT TO BE RESTORED TO ITS ORIGINAL CONDITION.

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: COMMONWEALTH LAND TITLE COMPANY  
4100 NEWPORT PLACE DR., SUITE 120  
NEWPORT BEACH, CA 92660  
PHONE: (949) 724-0706

COMMITMENT NO.: 08020802  
TITLE OFFICER: CHRIS MAZIAR  
DATED: OCTOBER 30, 2013

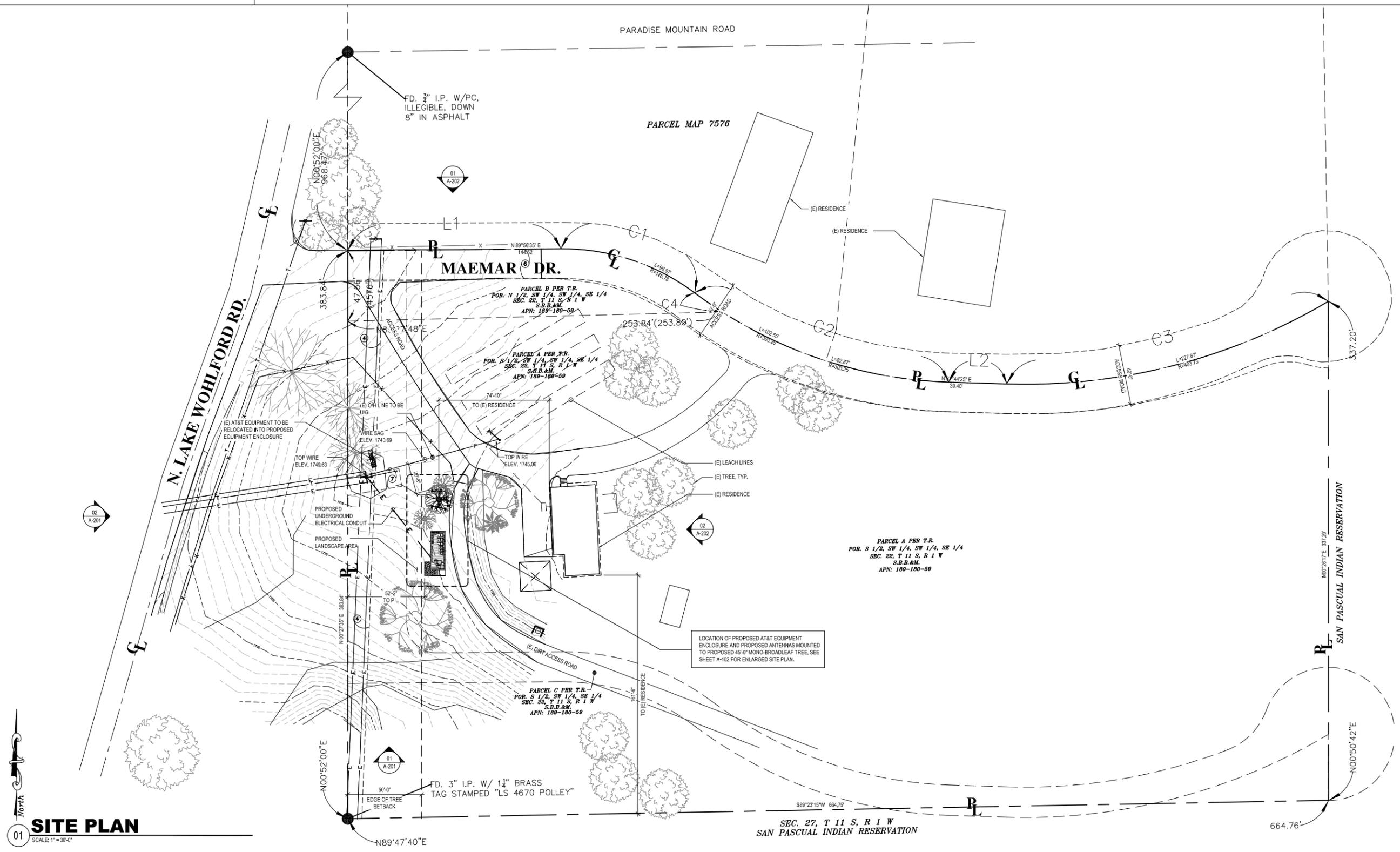
THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS AFFECT THE SUBJECT PROPERTY.

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
2. EASEMENT(S) FOR WATER DITCH OR AQUEDUCT FOR THE CONVEYANCE OF WATER RECORDED SEPTEMBER 26, 1894 IN BOOK 232 PAGE 67 OF DEEDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED PER RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
3. EASEMENT(S) FOR PUBLIC HIGHWAY RECORDED OCTOBER 22, 1934 IN BOOK 343 PAGE 225 OF OFFICIAL RECORDS AFFECTS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED PER RECORD DOCUMENT AND IS NOT PLOTTED HEREON.

4. EASEMENT(S) FOR ELECTRIC TRANSMISSION LINE RECORDED JUNE 6, 1940 IN BOOK 1035 PAGE 194 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND THE CENTERLINE IS PLOTTED HEREON. NO WIDTH OF EASEMENT IS GIVEN.
5. EASEMENT(S) FOR ELECTRIC TRANSMISSION LINE RECORDED DECEMBER 23, 1940 IN BOOK 1108 PAGE 389 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
6. EASEMENT(S) FOR ROAD AND PUBLIC UTILITIES RECORDED MARCH 11, 1978 AS INSTRUMENT NO. 78-093661 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
7. EASEMENT(S) FOR ELECTRIC AND COMMUNICATION FACILITIES RECORDED JANUARY 11, 1999 AS INSTRUMENT NO. 1999-0014687 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
8. AN UNRECORDED LEASE RECORDED NOVEMBER 4, 2004 AS INSTRUMENT NO. 2004-1049464 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.

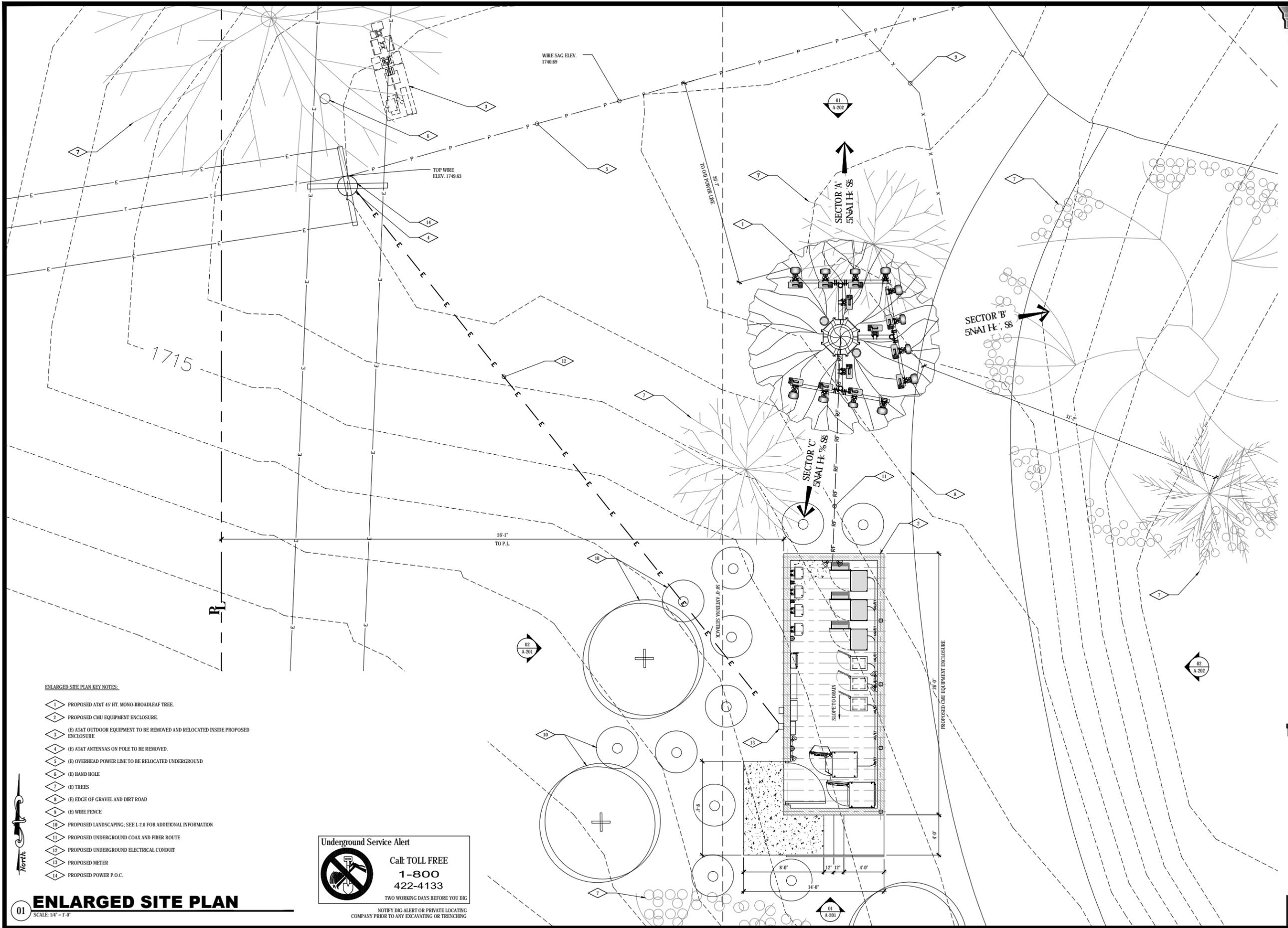
9. THE INTEREST, IF ANY, OF THE GRANTEE IN THE DEED DATED FEBRUARY 22, 1985, AS AMENDED ON FEBRUARY 13, 2004, DATED 4/24/2004 RECORDED OCTOBER 11, 2007 AS INSTRUMENT NO. 2007-0655172 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
11. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
12. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
13. ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.

No.	Revision / Issue	Date
A	90% ZD Issue	03-25-13
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F	REV.3	09-13-13
G	REV.4	10-16-13
H	REV.5	12-16-13



**SITE PLAN**  
SCALE: 1" = 30'-0"

**SITE PLAN & NOTES**  
**architecture Mitchell J architecture**  
**AT&T**  
**LAKE WOHLFORD RD & MAEMAR**  
**VALLEY CENTER, CA 92082**  
**ARCHITECT**  
**Mitchell J. Cambria**  
**No. C 20355**  
**RENEWED 3-2-15**  
**STATE OF CALIFORNIA**  
 Project: 10099935  
 Date: 09-13-2013  
 Drawn By: wb  
 Checked By: jd  
 Scale: AS SHOWN  
**A-101**



**ENLARGED SITE PLAN KEY NOTES:**

- 1 PROPOSED AT&T 45' HT. MONO BROADLEAF TREE.
- 2 PROPOSED CMU EQUIPMENT ENCLOSURE.
- 3 (E) AT&T OUTDOOR EQUIPMENT TO BE REMOVED AND RELOCATED INSIDE PROPOSED ENCLOSURE.
- 4 (E) AT&T ANTENNAS ON POLE TO BE REMOVED.
- 5 (E) OVERHEAD POWER LINE TO BE RELOCATED UNDERGROUND.
- 6 (E) HAND HOLE.
- 7 (E) TREES.
- 8 (E) EDGE OF GRAVEL AND DIRT ROAD.
- 9 (E) WIRE FENCE.
- 10 PROPOSED LANDSCAPING. SEE L 2.0 FOR ADDITIONAL INFORMATION.
- 11 PROPOSED UNDERGROUND COAX AND FIBER ROUTE.
- 12 PROPOSED UNDERGROUND ELECTRICAL CONDUIT.
- 13 PROPOSED METER.
- 14 PROPOSED POWER P.O.C.

**Underground Service Alert**

Call: TOLL FREE  
**1-800-422-4133**

TWO WORKING DAYS BEFORE YOU DIG

NOTIFY DIG-ALERT OR PRIVATE LOCATING COMPANY PRIOR TO ANY EXCAVATING OR TRENCHING

**ENLARGED SITE PLAN**  
 SCALE: 1/4" = 1'-0"

No.	Revision / Issue	Date
A	90% ZD Issue	03-25-13
B	100% ZD Issue	04-11-13
C	Final ZD	05-08-13
D	REV. 1	08-27-13
E	REV. 2	09-03-13
F	REV. 3	09-13-13
G	REV. 4	10-16-13

**ENLARGED SITE PLAN**  
 MITCHELL J. ARCHITECTURE, INC.  
 888 WOODLAND AVENUE, SUITE N  
 SAN JOSE, CA 95128  
 858.650.3130 (PH) / 858.650.3140 (FAX)  
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**AT&T**  
 LAKE WOLFORD RD & MAEMAR  
 SPOCS  
 VALLEY CENTER, CA 92082  
 VALLEY CENTER, CA 92082

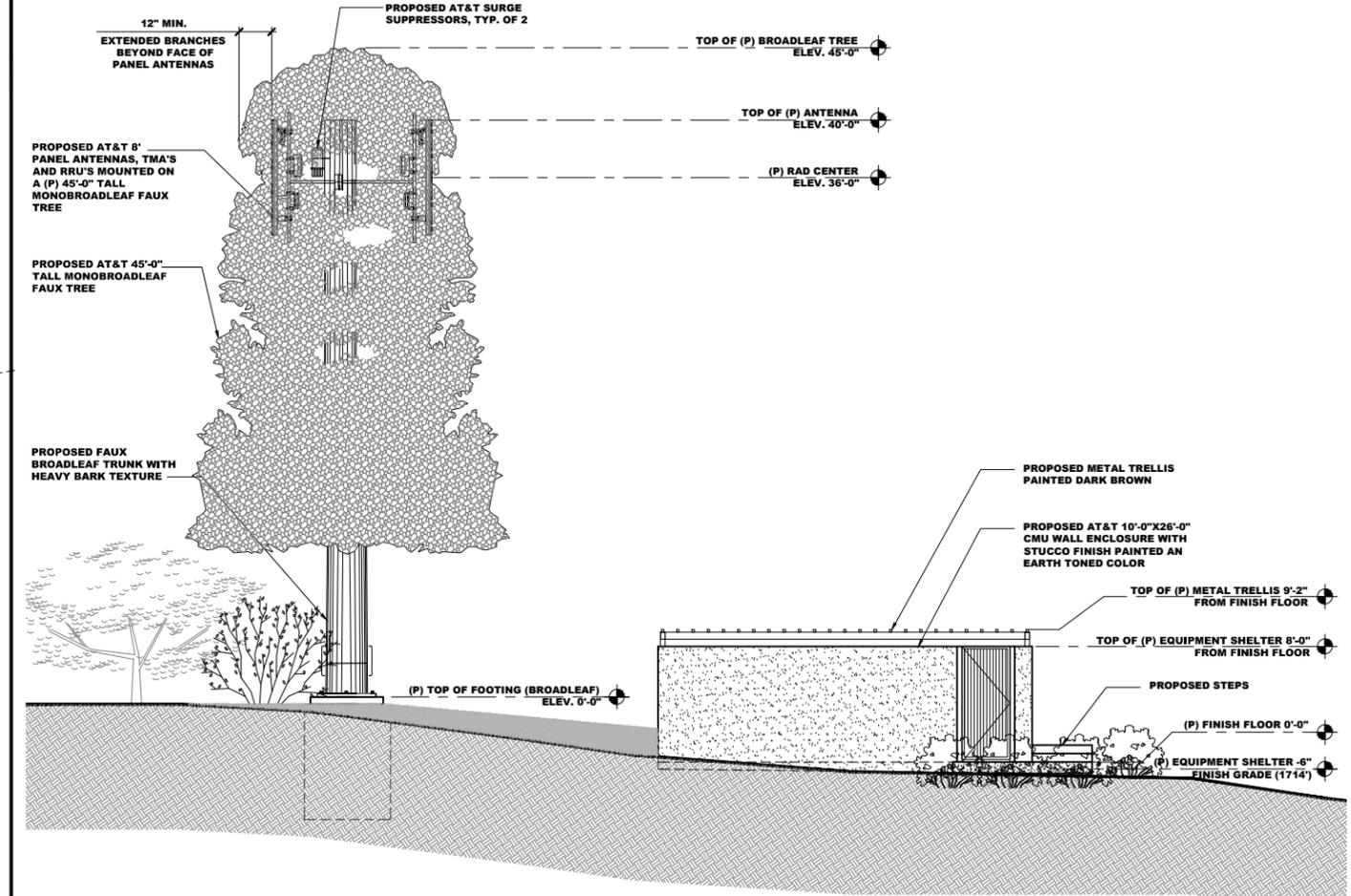
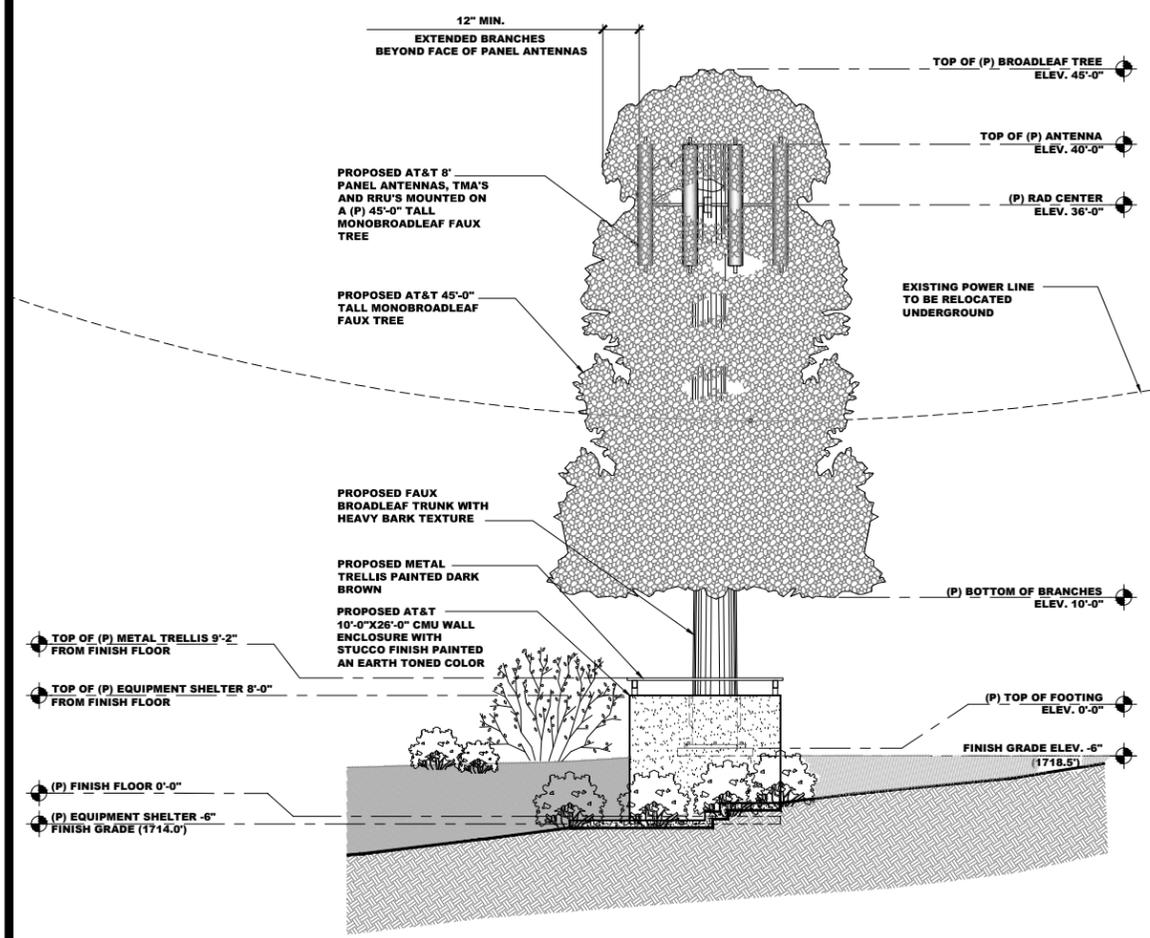
**Mitchell J. architecture**



Project	10099935
Date	09-13-2013
Drawn By	wb
Checked By	jd
Scale	AS SHOWN

**Mitchell J. Architecture**  
**A-102**

No.	Revision / Issue	Date
A	90% ZD Issue	03-25-13
B	100% ZD Issue	04-11-13
C	Final ZD	05-08-13
D	REV. 1	08-27-13
E	REV. 2	09-03-13
F	REV. 3	09-13-13
G	REV. 4	10-16-13



01 SOUTH ELEVATION  
SCALE: 3/16"=1'-0"

02 WEST ELEVATION  
SCALE: 3/8"=1'-0"

EXTERIOR ELEVATIONS

MITCHELL J. ARCHITECTURE, INC.  
8880 Wilshire Blvd., Suite N  
Beverly Hills, CA 90211  
888.650.3130 (pt) / 888.650.3140 (toll)

LAKELAND RD & MAEMAR  
SPOCS  
VALLEY CENTER, CA 92082  
VALLEY CENTER, CA 92082

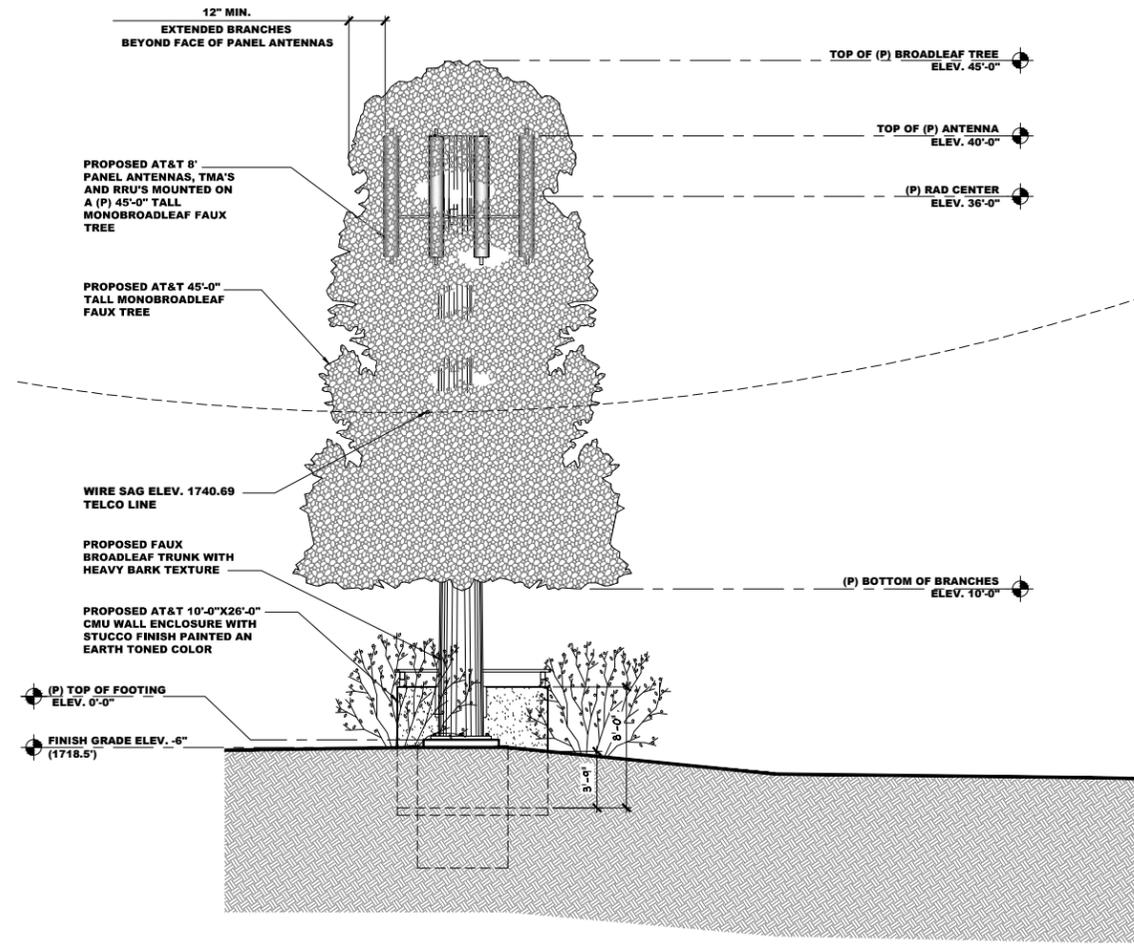
architecture Mitchell J architecture

LICENSED ARCHITECT  
MITCHELL J. CAMPBELL  
No. C20355  
EXPIRES 3-31-15  
STATE OF CALIFORNIA

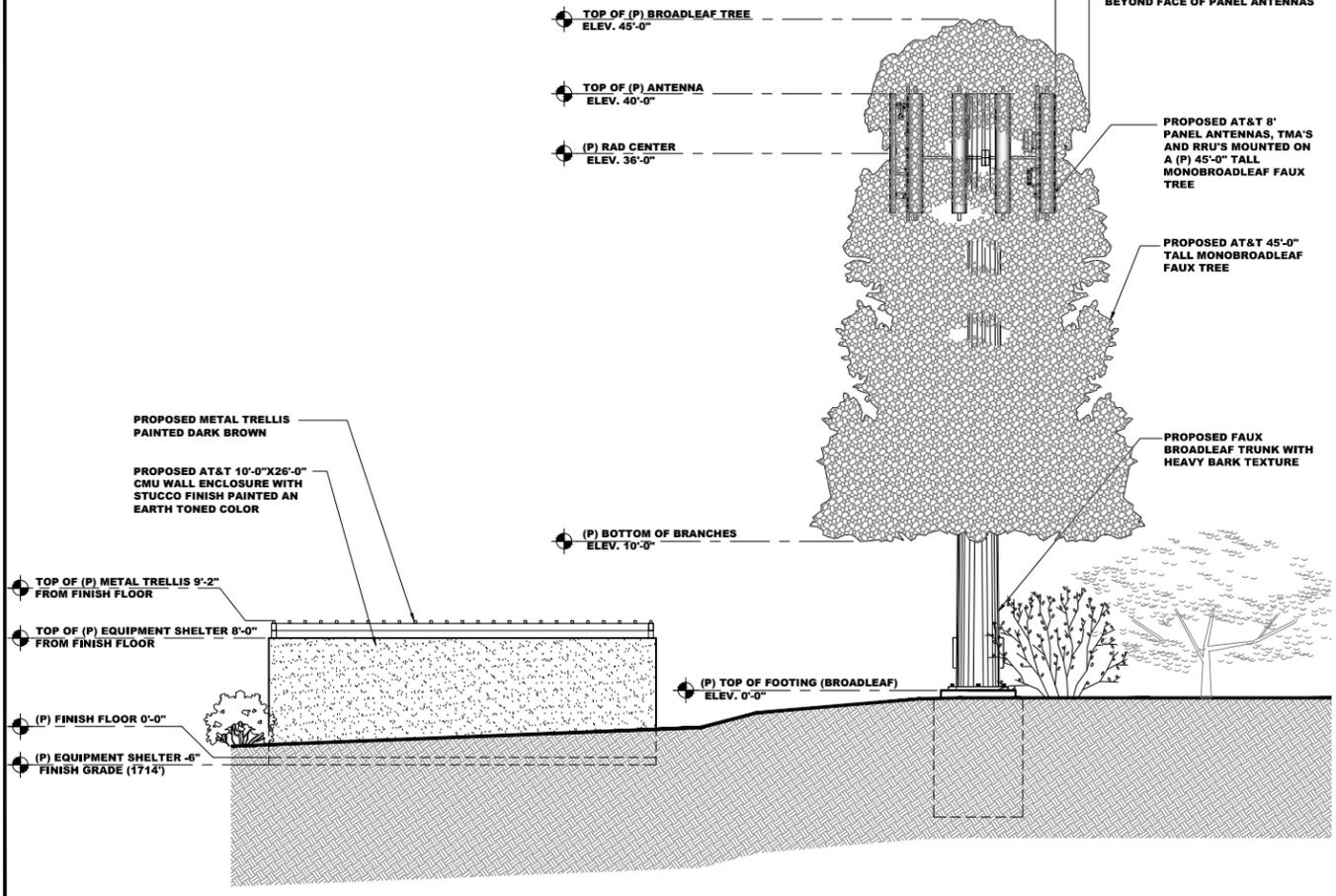
Project: 10099935  
Date: 09-13-2013  
Drawn By: wb  
Checked By: jd  
Scale: AS SHOWN

Mitchell J. Architecture

No.	Revision / Issue	Date
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G	REV. 4	10-16-13



01 NORTH ELEVATION  
SCALE: 3/16"=1'-0"



02 EAST ELEVATION  
SCALE: 3/16"=1'-0"

EXTERIOR ELEVATIONS

MITCHELL J. ARCHITECTURE, INC.  
888.650.3130 (toll free)  
888.650.3130 (pa) / 888.650.3140 (fax)  
10000 Valley Center, Suite N  
Valley Center, CA 92082

LAKELAND RD & MAEMAR  
VALLEY CENTER, CA 92082  
VALLEY CENTER, CA 92082

architect Mitchell J. architecture

LICENSED ARCHITECT  
MITCHELL J. CAMPBELL  
No. C 20355  
EXPIRES 3-31-15  
STATE OF CALIFORNIA

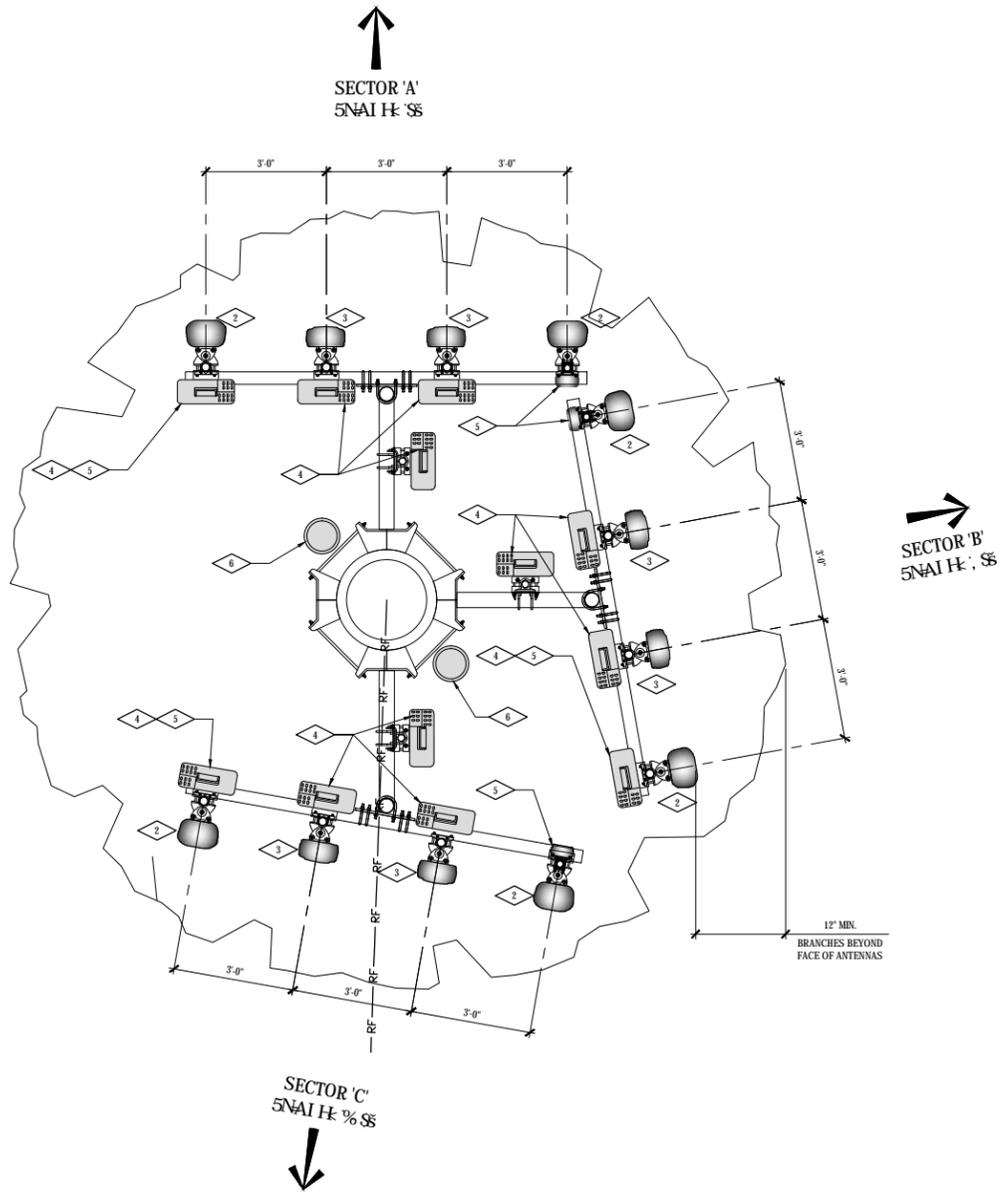
Project: 10099935  
Date: 09-13-2013  
Drawn By: wb  
Checked By: jd  
Scale: AS SHOWN

Mitchell J. Architecture

**ANTENNA LAYOUT PLAN KEY NOTES:**

- 1 PROPOSED 45'-0" HEIGHT MONO-BROADLEAF TREE
- 2 PROPOSED AT&T ANTENNAS AIR 21 (TOTAL OF 6)
- 3 PROPOSED AT&T ANTENNAS KATHREIN (TOTAL OF 6)
- 4 PROPOSED AT&T RADIO REMOTE UNITS RRUS (TOTAL OF 12)
- 5 PROPOSED AT&T DUAL TMAS (TOTAL OF 6)
- 6 PROPOSED AT&T SURGE SUPPRESSORS (TOTAL OF 2)

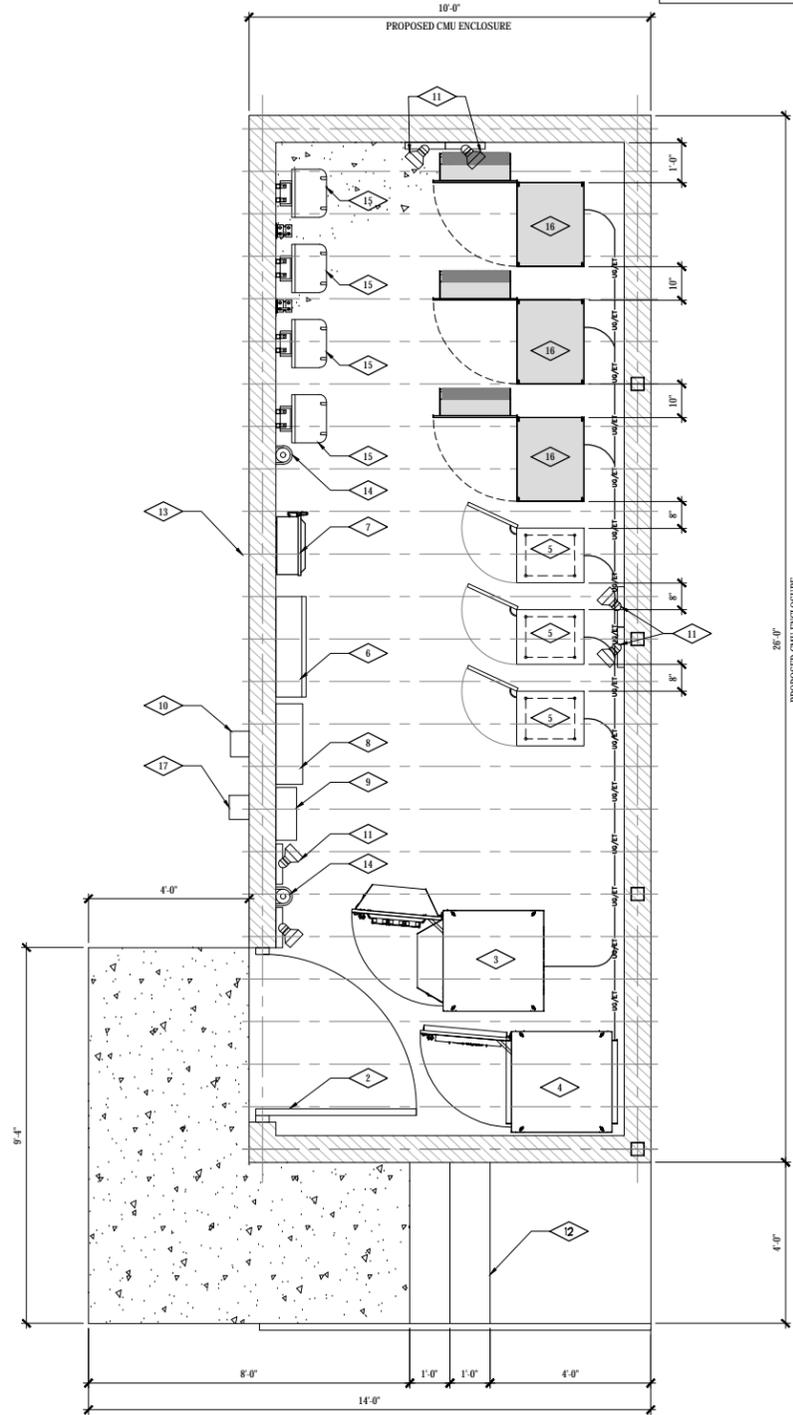
FINAL ANTENNA SCHEDULE						
SECTOR	AZIMUTH	MODEL NO.	TIP HEIGHT	RRUS-11	COAX/FIBER LENGTH (+/- 5)	COAX SIZE
ALPHA	1	AIR-21 (8 FT.)	38'-2"	RRUS-11 (4)	70'-0"	7/8" FIBER
	2	KATHREIN (8 FT.)				
	3	KATHREIN (8 FT.)				
	4	AIR-21 (8 FT.)				
BETA	1	AIR-21 (8 FT.)	38'-2"	RRUS-11 (4)	70'-0"	7/8" FIBER
	2	KATHREIN (8 FT.)				
	3	AIR-21 (8 FT.)				
	4	AIR-21 (8 FT.)				
GAMMA	1	AIR-21 (8 FT.)	38'-2"	RRUS-11 (4)	70'-0"	7/8" FIBER
	2	KATHREIN (8 FT.)				
	3	KATHREIN (8 FT.)				
	4	AIR-21 (8 FT.)				



**EQUIPMENT PLAN KEY NOTES:**

- 1 PROPOSED 8'-0" HEIGHT CMU ENCLOSURE
- 2 PROPOSED 4'-0" WIDE METAL GATE
- 3 PROPOSED AT&T OUTDOOR POWER EQUIPMENT CABINET
- 4 PROPOSED AT&T MOBILITY ARGUS BATTERY EXPANSION CABINET.
- 5 PROPOSED AT&T MOBILITY ERICSSON OUTDOOR RADIO CABINET 6301 (TOTAL OF 3)
- 6 PROPOSED AT&T WALL MOUNTED TELCO PANEL
- 7 PROPOSED AT&T ELECTRICAL PANEL
- 8 PROPOSED OUTDOOR FTE (FIBER TERMINATION) PANEL
- 9 PROPOSED CIENA PANEL
- 10 PROPOSED GENERATOR LUG BOX
- 11 PROPOSED OUTDOOR LIGHT FIXTURE
- 12 PROPOSED STEPS
- 13 PROPOSED METAL TRELLIS
- 14 PROPOSED GPS ANTENNA (2 TOTAL)
- 15 RELOCATED RRUS (TOTAL OF 8)
- 16 PROPOSED PURCELL CABINET (STACKED, TOTAL OF 6)
- 17 PROPOSED METER

NOTE:  
ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE COUNTY LIGHT POLLUTION CODE, WHICH COMMENCES AT SECTION 51.201 OF THE COUNTY CODE OF REGULATORY ORDINANCES.



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G	REV. 4	10-16-13

**ANTENNA AND EQUIPMENT LAYOUT**  
**AT&T**  
**architecture Mitchell J architecture**  
 MITCHELL J. ARCHITECTURE, INC.  
 888 WOLFORD RD, SUITE N  
 VALLEY CENTER, CA 92082  
 858.650.3130 (PH) / 858.650.3140 (FAX)  
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Project	10099935
Date	09-13-2013
Drawn By	wb
Checked By	jd
Scale	AS SHOWN

**Mitchell J. Architecture**  
**D-501**



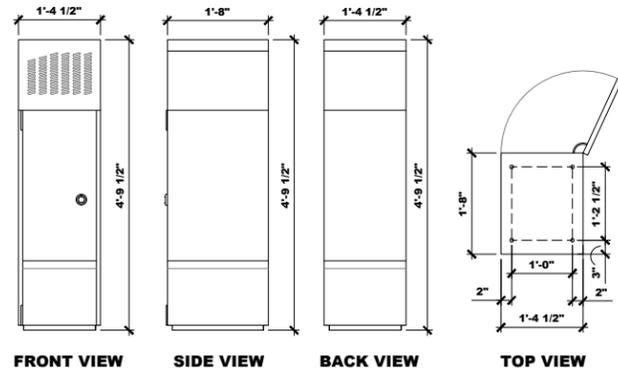
**01 ANTENNA LAYOUT**  
SCALE: 1/2" = 1'-0"



**02 EQUIPMENT PLAN**  
SCALE: 1/2" = 1'-0"

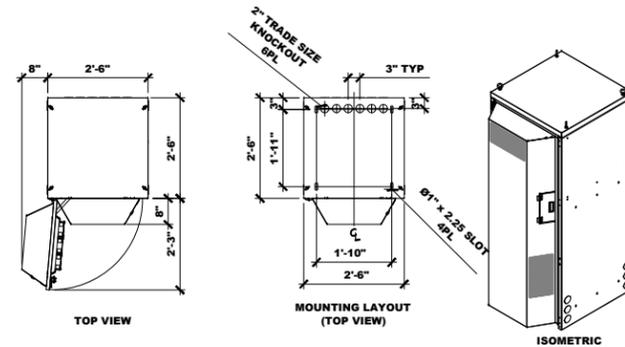
DIMENSIONS, WxDxH: 413x536x1465mm (1'4"x1'9"x4'9")

WEIGHT: AC POWERED 264 lbs, DC POWERED 176 lbs (FULLY EQUIPPED), MAX WEIGHT PER PIECE 59.4 lbs.



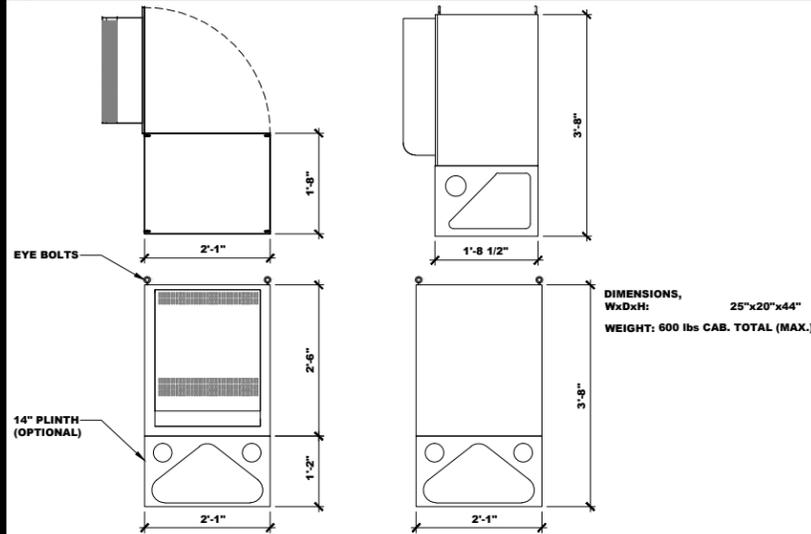
### ERICSSON RBS 6301

SCALE: 3/4" = 1'-0"



### POWER CABINET

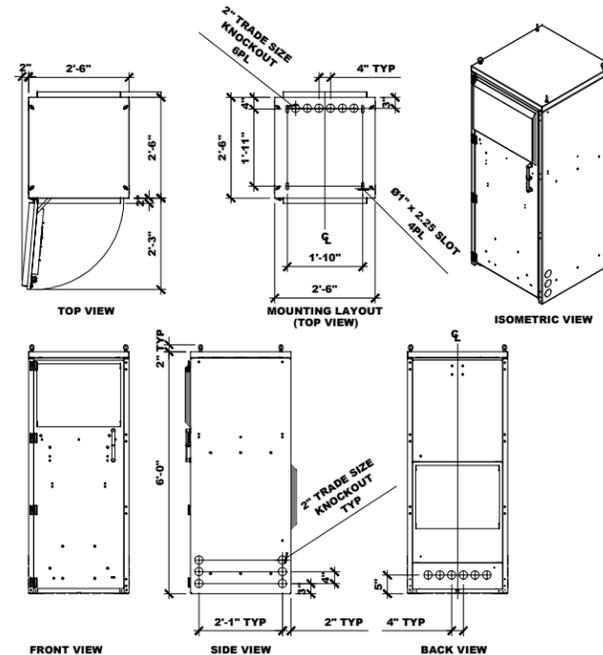
SCALE: 1/2" = 1'-0"



### PURCELL CABINET

SCALE: 3/4" = 1'-0"

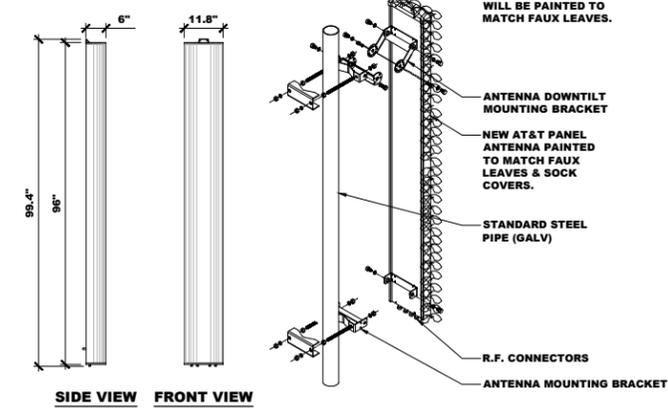
TE45V3 BATTERY ENCLOSURE  
WEIGHT: 800 LBS (NO BATTERIES)  
WEIGHT: 3500 LBS (FULLY LOADED-20 BATTERIES)  
135 LBS PER BATTERY



### BATTERY CABINET

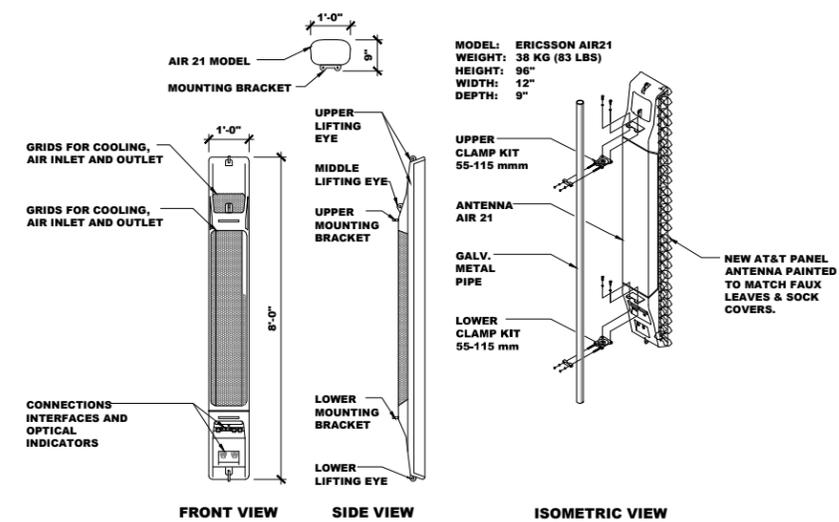
SCALE: 1/2" = 1'-0"

ANTENNA: KATHREIN #800 10766  
HEIGHT: 96"  
WIDTH: 11.8"  
DEPTH: 6"  
WEIGHT: 61.7 LBS



### KATHREIN ANTENNA

SCALE: 1/2" = 1'-0"

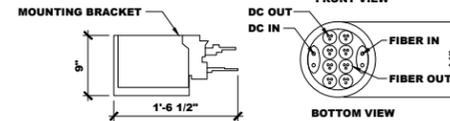


### AIR 21 ANTENNA

SCALE: 1/2" = 1'-0"

WEIGHT:  
SYSTEM: 18.9 LBS  
MOUNT: 13.9 LBS  
TOTAL: 32.8 LBS

NOTES:  
1. ONE PER 6 RRU'S MAX.  
2. RECOMMENDED RRUS TO SUPPRESSOR SEPARATION 6' MAX

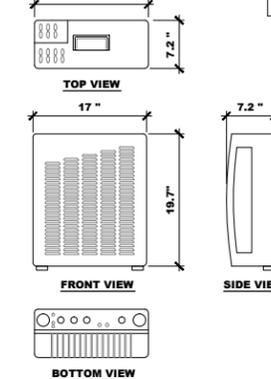


### SURGE SUPPRESSOR

SCALE: 1" = 1'-0"

DIMENSIONS, WxDxH: 17"x7.2"x19.7"  
POWER CONSUMPTION: 200 WATTS  
TOTAL WEIGHT: 51 lbs  
TEMPERATURE: -40° TO 55° C

RRU'S COVERED WITH SOCKS TO BLEND WITH TREE.

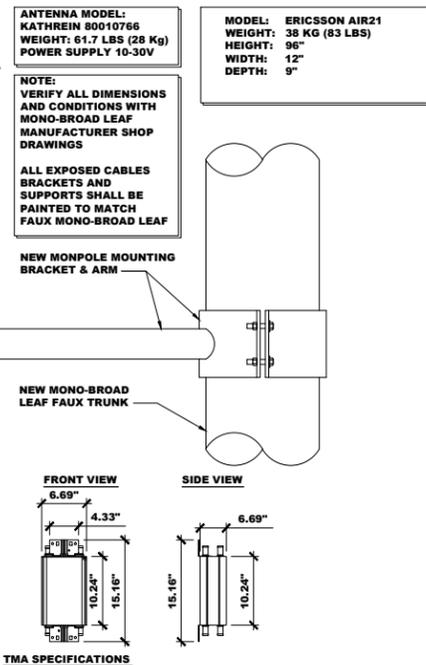


### RRU SPECIFICATIONS

SCALE: 1" = 1'-0"

### TMA SPECIFICATIONS

SCALE: 1" = 1'-0"



No.	Revision / Issue	Date
A	90% ZD Issue	03-25-13
B	100% ZD Issue	04-11-13
C	Final ZD	05-08-13
D	REV.1	08-27-13
E	REV.2	09-03-13
F	REV.3	09-13-13
G	REV.4	10-16-13

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LANE WOLFFORD RD & MAEMAR  
SPOCK  
VALLEY CENTER, CA 92082  
VALLEY CENTER, CA 92082



Project: 1009935  
Date: 09-13-2013  
Drawn By: wb  
Checked By: jd  
Scale: NO SCALE

Mitchell J. Architecture

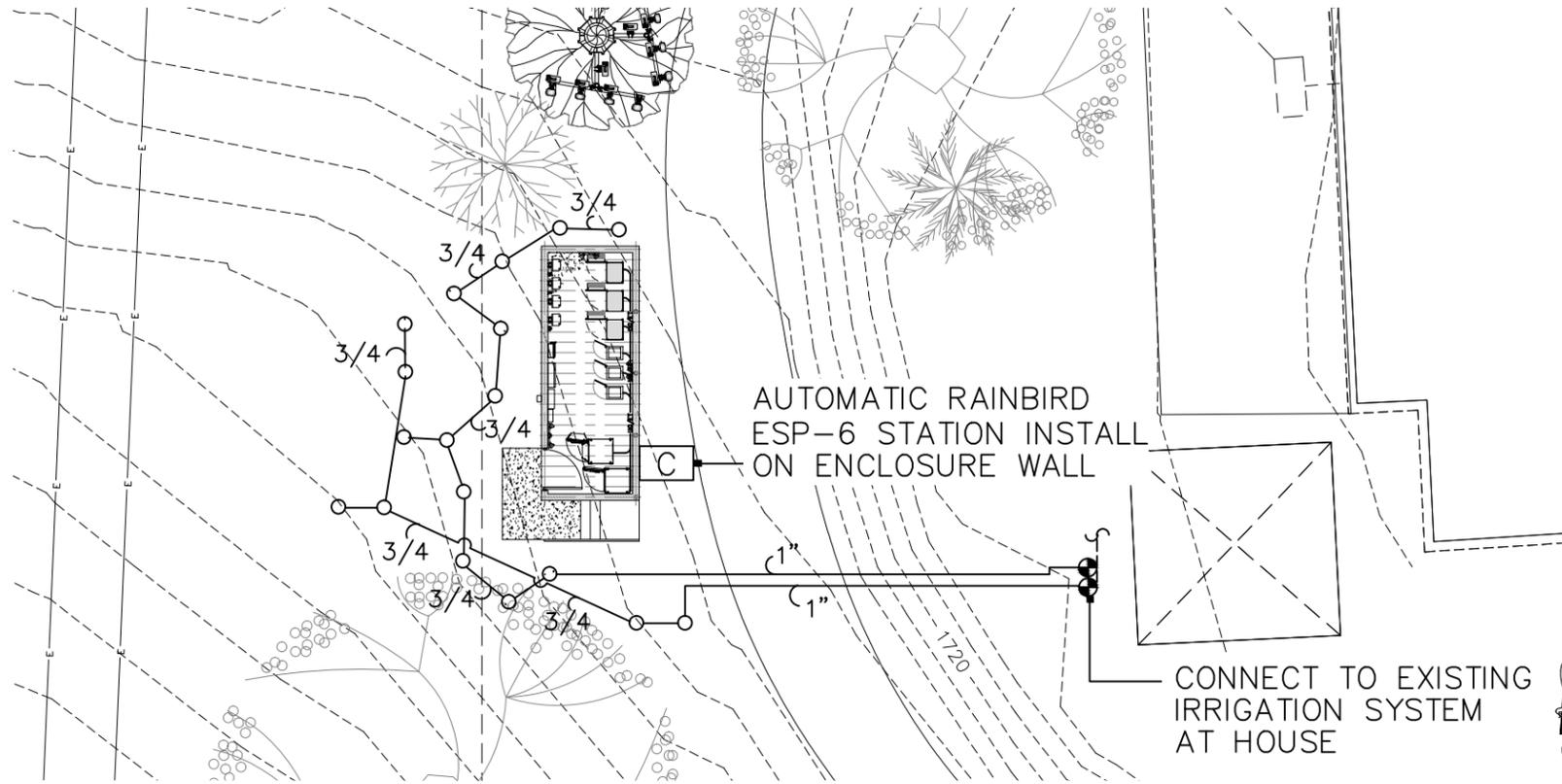
D-502

EQUIPMENT DETAILS

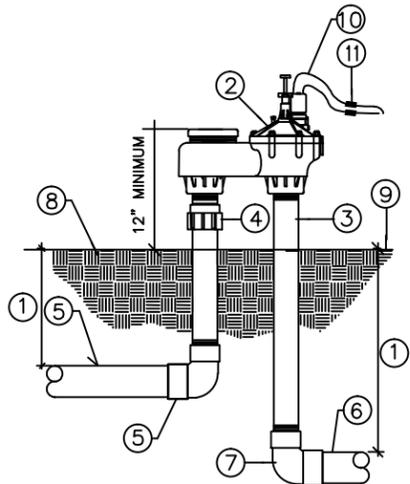
architecture Mitchell J architecture

**IRRIGATION SPECIFICATIONS:**

1. ALL IRRIGATION MATERIALS AND PROCEDURES SHALL CONFORM TO THE COUNTY OF SAN DIEGO SPECIFICATIONS AND REQUIREMENTS.
2. IRRIGATION PLAN IS DIAGRAMATIC ONLY.
3. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF ALL EXISTING SITE CONDITIONS.
4. IRRIGATION CONTRACTOR SHALL ADJUST ALL HEADS TO PROVIDE AN EVEN COVERAGE AND TO KEEP SPRAY OFF OF THE WALKWAYS, WALLS, STREETS AND DRIVES.
5. AS A MINIMUM, ALL IRRIGATION HEADS LOCATED ADJACENT TO WALKWAYS, STREETS AND DRIVES SHALL BE INSTALLED ON POP-UP BODIES.
6. WHEN THE IRRIGATION SYSTEMS ARE COMPLETED, THE CONTRACTOR, IN THE PRESENCE OF THE OWNER/DEVELOPER'S AUTHORIZED REPRESENTATIVE OR THE LANDSCAPE ARCHITECT, SHALL PERFORM A TEST OF COVERAGE OF WATER AFFORDED THE PLANTING AREAS TO ENSURE THAT IT IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE AT HIS OWN COST.
7. PRIOR TO BURYING IRRIGATION LINES:
  - A) ALL MAINLINE IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 150 PSI FOR A PERIOD OF FOUR (4) HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE.
  - B) ALL LATERAL LINES SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE (1) HOUR.
  - C) THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE OWNER OR THE LANDSCAPE ARCHITECT.
8. ALL PRESSURE MAINLINES SHALL BE BURIED EIGHTEEN (18) INCHES DEEP, AND ALL LATERAL LINES SHALL BE BURIED TWELVE (12) INCHES DEEP. DEPTH FOR BOTH MAINLINE AND LATERAL LINES, WHEN PASSING UNDER FUTURE DRIVES, SHALL BE BURIED THIRTY (30) INCHES DEEP INSIDE SCHEDULE 40 SLEEVES TWICE THE DIAMETER OF THE SLEEVED LINE.
9. MAIN LINES: ALL PIPING UNDER CONSTANT PRESSURE BETWEEN WATER METER AND OR SUPPLY SYSTEM AND CONTROL VALVES AS PER LOCAL CODE OR SHALL BE PVC SCHEDULE 40 OR CLASS 315 PVC UNLESS OTHERWISE SHOWN ON THE DRAWINGS, DETAILS, OR LEGEND.
10. LATERAL LINES: ALL PIPING UNDER INTERMITTENT PRESSURE, DOWN STREAM OR CONTROL VALVES SHALL BE RIGID PVC 1120, SDR 21 OR CLASS 200 PVC UNLESS OTHERWISE SHOWN ON THE DRAWINGS, DETAILS, OR LEGEND.
11. ALL PLASTIC FITTINGS SHALL BE RIGID POLYVINYL CHLORIDE, STANDARD SCHEDULE 40 TYPE I AND II. ALL RISERS AND NIPPLES SHALL BE REAMED SCHEDULE 80 PVC.
12. ALL REMOTE CONTROL VALVES SHALL BE INSTALLED 18" FROM THE TOP OR TOE OF SLOPE A MINIMUM OF 12" ABOVE THE HIGHEST SPRINKLER HEAD ON THE SERVICED SYSTEM. BALL VALVES SHALL BE INSTALLED IN TEN (10) INCH ROUND VALVE BOXES WITH PEA GRAVEL BENEATH THE VALVE, SEE DETAIL.
13. ALL WIRE SHALL BE ANG-UP DIREST BURIAL TYPE, AND ALL CONNECTIONS SHALL BE MADE WITH "PEN-TITE" CONNECTORS OR APPROVED EQUAL. SPLICES ARE NOT ACCEPTABLE. TWO (2) ADDITIONAL WIRES SHALL BE RUN FROM THE CONTROLLER/S TO THE LAST VALVE ON THE MAINLINE. AN ADDITIONAL TWO (2) WIRES SHALL BE RUN FOR EACH SPLIT IN THE MAINLINE.
14. ALL WIRE SHALL BE BUNDLED AND PLACED BENEATH THE MAINLINE AND TAPED AT INTERVALS OF TEN (10) FEET. ALL WIRE SHALL BE SLEEVED SEPARATELY WHEN PASSING UNDER PAVED AREAS. SLEEVES SHALL BE TWICE THE DIAMETER OF THE BUNDLED WIRE OR A MINIMUM OF FOUR (4) INCHES IN DIAMETER.
15. ALL MAINLINE AND LATERAL LINES SHALL BE SLEEVED WITH PVC SCHEDULE 40, A MINIMUM OF TWICE THE DIAMETER OF THE SLEEVED LINE WHERE IT PASSES UNDER PAVED AREAS.
16. AUTOMATIC CONTROLLER IS TO BE WALL MOUNTED OUTSIDE OF EQUIPMENT ENCLOSE WALL. A 120 VOLT RECEPTICAL SHALL BE PROVIDED BY THE OWBER/DEVELOPER. CONTROL WIRES SHALL BE SLEEVED IN ELECTRICAL CONDUIT FROM THE CONTROLLER TO THE MAINLINE. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DIRECTIONS. VERIFY EXACT LOCATION OF THE CONTROLLER INSTALLATION WITH OWNER PRIOR TO FINAL CONNECTION.
17. ALL IRRIGATION LINES AND APPURTENANCES, WITH THE EXCEPTION OF IRRIGATION LATERALS AND HEADS PROVIDING IRRIGATION OF AREAS WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE INSTALLED OUTSIDE THE PUBLIC RIGHT-OF-WAY.
18. CHECK VALVES SHALL BE INSTALLED AS NECESSARY TO PREVENT DRAINAGE OF THE VARIOUS LATERAL SYSTEMS FROM OCCURING AT THE HEADS OF LOWEST ELEVATION. NO MORE THAN TWELVE (12) FEET OF ELEVATION CHANGE SHALL SEPARATE CHECK VALVES. CHECK VALVES SHALL BE FIVE (5) PSI RATED.
19. AFTER ALL NEW IRRIGATION PIPING AND RISERS ARE IN PLACE AND CONNECTED AND ALL OTHER NECESSARY WORK HAS BEEN COMPLETED, BUT PRIOR TO THE INSTALLATION OF IRRIGATION HEADS, REMOTE CONTROL VALVES SHALL BE OPENED AND A FULL HEAD OF WATER USED TO FLUSH OUT THE ENTIRE SYSTEM.
20. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO THE WORK OF THIS SECTION ON A DAILY BASIS.
21. THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR TO GIVE COMPLETE AND SATISFACTORY SERVICES AS TO MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER/DEVELOPER.
22. IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF THIRTY (30) DAYS AND SHALL WATER ON A DAILY BASIS.
23. ALL OTHER LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE IRRIGATION CONTRACTOR.

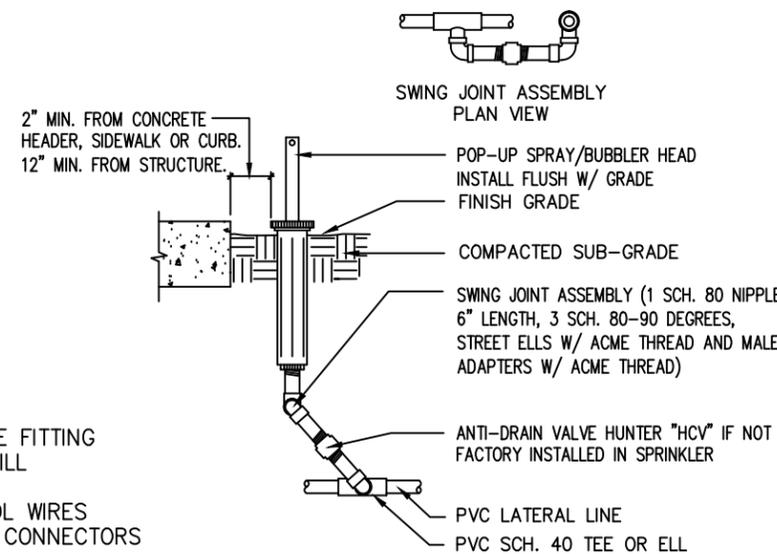


**01 IRRIGATION PLAN**  
SCALE: 1/8" = 1'-0"



- ① BURIAL DEPTH (COVER): MAIN LINE AND CONTROL WIRES-18"; LATERAL LINES-12"
- ② REMOTE CONTROL VALVE (ANTI-SIPHON)
- ③ SCHEDULE 80 PVC NIPPLES, TYP.
- ④ SCHEDULE 80 PVC UNION. ADAPT TO SOLVENT-WELD ON DISCHARGE SIDE OF UNION.
- ⑤ LATERAL LINE
- ⑥ MAINLINE
- ⑦ THREADED MAINLINE FITTING
- ⑧ COMPACTED BACKFILL
- ⑨ FINISH GRADE
- ⑩ IRRIGATION CONTROL WIRES
- ⑪ WATERPROOF WIRE CONNECTORS

**(B) REMOTE CONTROL VALVE**  
SCALE:



**(A) POP-UP SPRAY/BUBBLER HEAD (6" & 12")**  
SCALE:

**IRRIGATION LEGEND (EQUIPMENT)**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	PRESSURE	RADIUS	GPM
○	POP-UP SPRAY	RAINBIRD	1806-5H-SAM	30 PSI	6'	0.6(H)
●	REMOTE CONTROL VALVE	RAINBIRD	ASVF SERIES 1" SIZE	30 PSI	6'	0.6(H)
C	AUTOMATIC CONTROLLER	RAINBIRD	ESP-6 STATION WALL MOUNT	INSTALL INSIDE OF EQUIPMENT ENCLOSURE		
---	CLASS 200 PVC LATERAL	PVC CLASS 200 BURY 12" DEEP MINIMUM		SEE PLAN FOR SIZE		
---	SCHEDULE 40 PVC MAINLINE	PVC SCHEDULE 40 PVC BURY 18" DEEP MINIMUM		SEE PLAN FOR SIZE		

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D	REV. 1	08-27-13
E	REV. 2	09-03-13
F	REV. 3	09-17-13

**LANDSCAPE IRRIGATION PLAN**  
 MITCHELL J. ARCHITECTURE, INC.  
 8880 JONES BLVD., SUITE N  
 SAN DIEGO, CA 92121  
 858.650.3130 (PH) / 858.650.3140 (TOLL FREE)  
 www.mjarch.com  
 This drawing is a specification and is not a contract. It is subject to the terms and conditions of the contract documents. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws and regulations.

**AT&T**  
 LANE WOLFFORD RD & MAEMAR  
 VALLEY CENTER, CA 92082  
 VALLEY CENTER, CA 92082

Mitchell J. Architecture  
 architect



Project	10099935
Date	09-13-2013
Drawn By	darsono
Checked By	d.d.a.
Scale	AS SHOWN

**Darsono Design Associates, Inc.**  
 LANDSCAPE ARCHITECTURE PLANNING  
 5014 MOUNT LA PLATTA DRIVE SAN DIEGO, CA 92117  
 PHONE: (658) 541-2007 FAX: (658) 541-2008

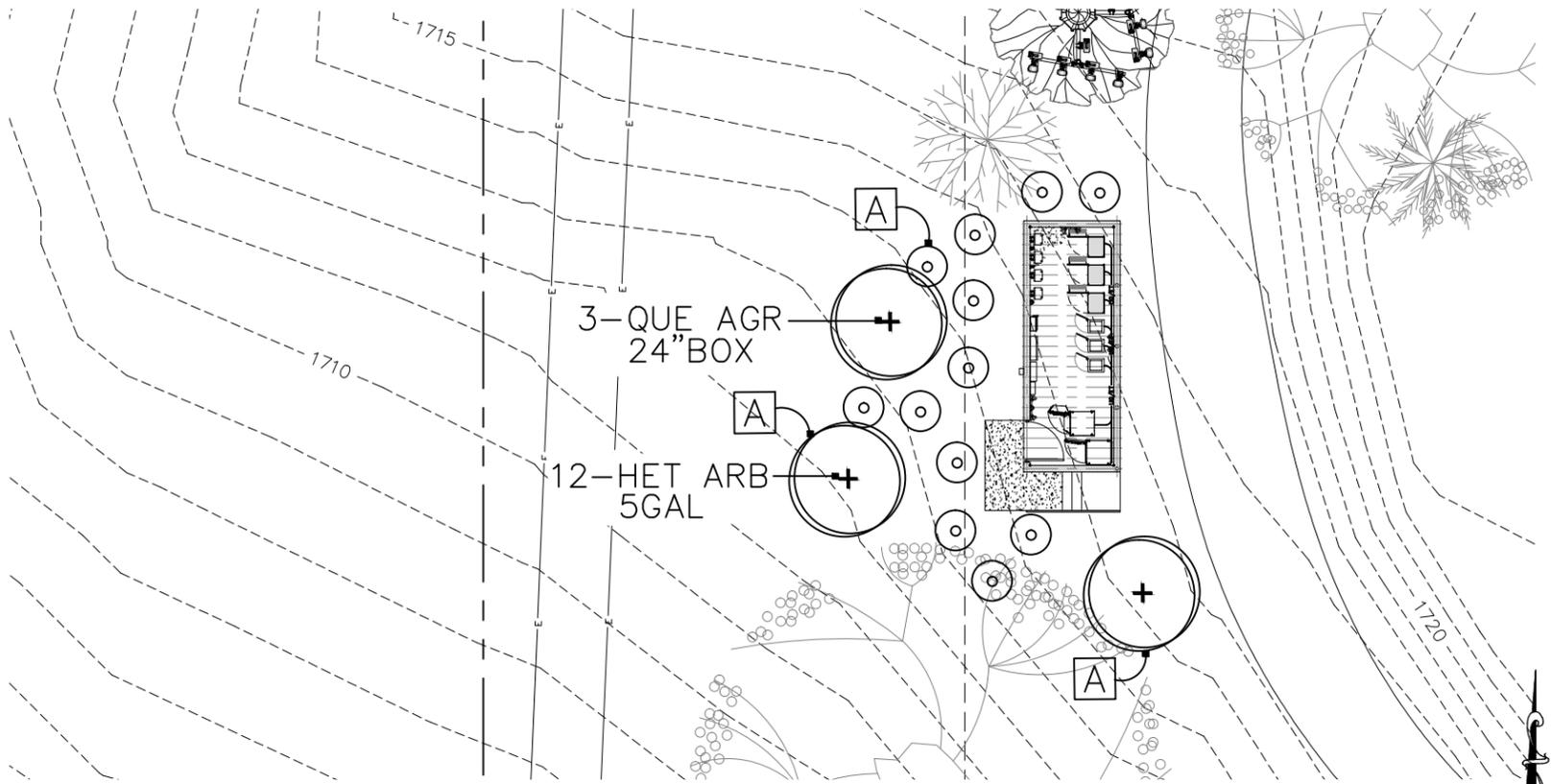
**PLANTING SPECIFICATIONS:**

- ALL PLANTING MATERIALS AND PROCEDURES SHALL CONFORM TO THE COUNTY OF SAN DIEGO SPECIFICATIONS AND REQUIREMENTS.
- PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL.
- LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, INCLUDING ALL SLOPE GROUND COVER, TRASH, CLIPPINGS, ROCK OVER TWO (2) INCHES IN DIAMETER AND OTHER DEBRIS FROM ALL PLANTING AREAS ON THE SITE AND DISPOSE OF IT AT AN APPROVED DISPOSAL AREA.
- LANDSCAPE CONTRACTOR SHALL RAKE AND FINE GRADE ALL AREAS TO BE PLANTED PRIOR TO THE COMMENCEMENT OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE FINISH GRADING OF THE SITE. SITE SHALL BE RECEIVED AT PLUS OR MINUS ONE (1) INCH.
- ALL NEW PLANTING AREAS AND SLOPES ARE TO BE WATERED FOR FIFTEEN (15) DAYS PRIOR TO HERBICIDE APPLICATION. "ROUND-UP" HERBICIDE TO BE SPRAYED ON WEEDS PER MANUFACTURER'S DIRECTIONS. REPEAT APPLICATIONS MAY BE NECESSARY AFTER REQUIRED MINIMUM OF TWO (2), DEPENDING UPON WEED GROWTH. PLANTING TO COMENCE TWELVE (12) DAYS AFTER LAST APPLICATION.
- ALL PLANTING AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1000 SQ. FT. RAKED INTO THE TOP TWO (2) INCHES OF SOIL.
  - A) SIX (6) LBS. OF 16-7-12+IRON FERTILIZER
  - B) THREE (3) POUNDS OF AGRICULTURAL GYPSUM
- PRIOR TO THE INCORPORATION OF THE AMENDMENTS, ALL PLANTING AREAS ARE TO BE THOROUGHLY WATERED IN A MANNER THAT WILL PASS A MINIMUM OF TWELVE (12) INCHES OF WATER THROUGH THE SURFACE SOIL ZONE. THIS PROCEDURE IS CALLED LEACHING AND ONLY WHEN COMPLETED AND SOLUBLE SALTS ARE ADEQUATELY LOW SHALL THE ABOVE AMENDMENTS BE INCORPORATED.
- FOR EACH CUBIC YARD OF BACKFILL CONSISTING OF 60 NITROGEN STABILIZED WOOD SHAVINGS, THE FOLLOWING AMENDMENTS SHALL BE INCORPORATED:
  - A) 1 LB. AGRIFORM SLOW RELEASE FERTILIZER 12-12-12
  - B) 2 LBS. IRON SULFATE (DO NOT PLACE ON CONCRETE SURACES)
  - C) 1 LB. SOIL SULPHUR

NOTE: THE ABOVE SOIL AMENDMENTS IN ITEMS SIX (6) AND EIGHT (8) ARE SPECIFIED FOR BIDDING PURPOSES ONLY. A MINIMUM OF THREE (2) SOIL SAMPLES SHALL BE TAKEN FROM VARIOUS POINTS IN THE SLOPE PLANTING AREAS AND ANALYZED BY SOIL TESTING LABORATORY. RECOMMENDATIONS FOR TREE AND SHRUB BACKFILL, AS WELL AS BROADCAST AMENDMENT RECOMMENDATIONS FOR ALL SLOPE AREAS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.

  - D) PLANTING TABLETS 20-10-5
    - 2-21 GRAM TABLETS PER 1 GALLON CONTAINER
    - 3-21 GRAM TABLETS PER 5 GALLON CONTAINER
    - 4-21 GRAM TABLETS PER 15 GALLON CONTAINER
    - 1-21 GRAM TABLET PER 4" OF BOX SIZE
- ALL TREES SHALL BE PLANTED OUTSIDE THE PUBLIC RIGHT-OF-WAY UNDER THE FOLLOWING CONDITIONS:
  - A) 10'-0" AWAY FROM TRAFFIC SIGNS (STOP SIGNS)
  - B) 5'-0" AWAY FROM UNDERGROUND UTILITY LINES
  - C) 10'-0" AWAY FROM ABOVE GROUND UTILITY STRUCTURES
  - D) 10'-0" AWAY FROM DRIVEWAYS (ENTRIES)
  - E) 25'-0" AWAY FROM INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)

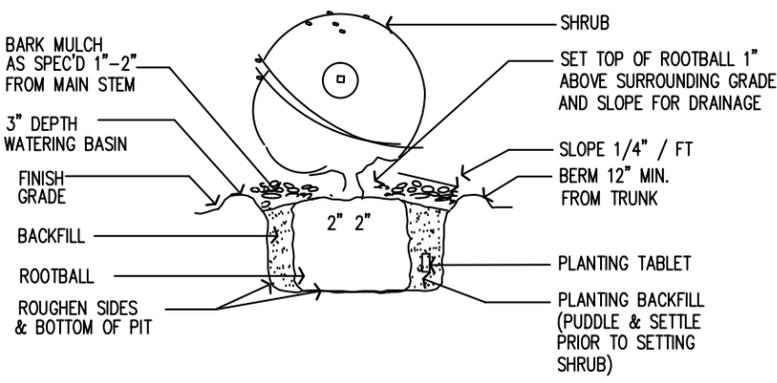
SHOULD IT BE NECESSARY TO PLANT WITHIN 10'-0" OF HARDSCAPE, WALLS AND/OR STRUCTURES, A ROOT CONTROL BARRIER SHALL BE UTILIZED. BARRIER SHALL EXTEND ALONG THE EDGE OF THE HARDSCAPE, WALL AND/OR STRUCTURE BEING PROTECTED TO THE EXTENT OF THE MATURE DRIP LINE OF THE TREE (MINIMUM 10'-0").
- PLANT PITS SHALL BE SQUARE AND TWO (2) TIMES GREATER IN DIAMETER THAN THE PLANT CONTAINER AND AT LEAST TWELVE (12) INCHES BELOW THE BOTTOM OF THE CONTAINER.
- ALL WATERING BASINS SHALL RECEIVE A MINIMUM OF TWO (2) INCHES OF SHREDDED BARK MULCH. A ONE (1) CUBIC YARD SAMPLE OF MULCH TO BE USED SHALL BE DELIVERED TO THE SITE FOR INSPECTION BY THE OWNER/LANDSCAPE ARCHITECT.
- ALL STANDARD TREES SHALL BE DOUBLED STAKED AS PER DETAIL.
- PLANT COUNTS ARE FOR THE CONVENIENCE OF LANDSCAPE CONTRACTORS ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY PLANT MATERIAL TO FULFILL THE DESIGN INTENT OF THESE DRAWINGS.
- TWENTY FOUR (24) HOURS PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT OWNER/LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL AND ITS INTENDED LOCATION ON SITE. PHOTOGRAPHS ARE REQUIRED FOR ALL 24" BOX OR LARGER TREES.
- THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION REMOVING ALL USED MATERIALS, TRASH, AND TOOLS ON A DAILY BASIS.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTING AREAS FOR A PERIOD OF THIRTY (30) DAYS, GUARANTEE ALL SHRUBS FOR NINETY (90) DAYS AND ALL TREES FOR ONE (1) YEAR. GUARANTEE PERIOD FOR ALL TREES AND SHRUBS SHALL COMMENCE UPON WRITTEN APPROVAL OF THE OWNER AT THE END OF THE MAINTENANCE PERIOD OR EXTENSION THEREOF.
- LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENT OF MATERIALS MADE NECESSARY THROUGH THE ACTION OR NEGLIGENCE OF HIS CREW.



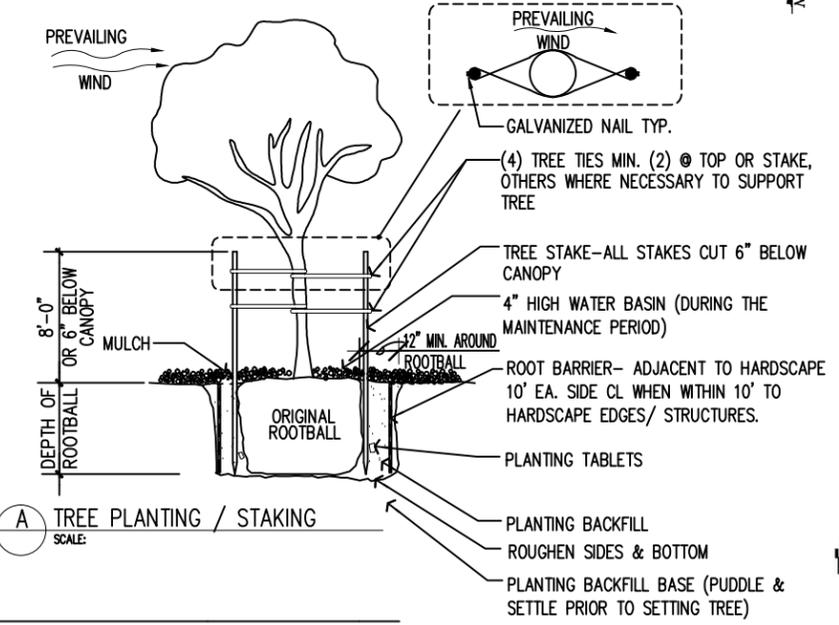
**01 PLANTING PLAN**  
SCALE: 1/8" = 1'-0"

**MINIMUM PLANTING PIT SIZING**

1 GAL. CONTAINER	12" DEEP x 18" DIAMETER
5 GAL. CONTAINER	18" DEEP x 30" DIAMETER



**B SHRUB PLANTING**  
SCALE:



**A TREE PLANTING / STAKING**  
SCALE:

**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/HEIGHTS X SPREAD	REMARKS	G.SYMBOL	QUANTITIES
<b>TREES</b>						
+	QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	24"BOX/7'X3'X1"CA	STANDARD	3
<b>SHRUBS</b>						
⊙	HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	5GAL/16"X16"	----	12
<b>GROUNDCOVERS</b>						

**A** PROVIDE 2" DEEP MULCH AROUND THE SHRUBS (10'-0"DIA.) AND TREES (20'-0"DIA.).

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E	REV. 2	09-03-13
F	REV. 3	09-17-13

**LANDSCAPE PLANTING PLAN**  
 MITCHELL J. ARCHITECTURE, INC.  
 8880 JENSEN CA 92111  
 888.650.3130 (PH) / 888.650.3140 (TOLL FREE)  
 See sample & specifications on the project & request for information.  
 Mitchell J. Architecture, Inc. is not responsible for the accuracy of the information provided by the contractor.  
**AT&T**  
 LAKE WOLFORD RD & MAEMAR VALLEY CENTER, CA 92082  
 VALLEY CENTER, CA 92082  
 architecture Mitchell J architecture



Project	10099935
Date	09-13-2013
Drawn By	darsono
Checked By	d.d.a.
Scale	AS SHOWN

**Darsono Design Associates, Inc.**  
 LANDSCAPE ARCHITECTURE PLANNING  
 5014 MOUNT LA PLATTA DRIVE SAN DIEGO, CA 92117  
 PHONE: (658) 541-2007 FAX: (658) 541-2008

*Jeffery L. Mays*

JEFFERY L. MAYS  
EXP: 12/31/14



ASSESSOR'S PARCEL NUMBER  
APN: 189-180-59-00

DATE OF SURVEY  
FEBRUARY 21, 2013

**DATUM STATEMENT:**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM ZONE 6, NAD 83, EPOCH 2010.00, AS DERIVED LOCALLY THROUGH STATIC GPS OBSERVATIONS CONSTRAINED TO THE FOLLOWING "CGPS" "CORS" NETWORK STATIONS:

"P478" AND "P482"

CONVERGE ANGLE AT COORDINATE LOCATION: -0°23'46.874"  
MAGNETIC DECLINATION: -12°01'26"

THE BENCHMARK FOR THIS SURVEY IS "CGPS" "CORS" STATION "P478" HAVING AN ORTHOMETRIC ELEVATION OF 1329.32 AS CALCULATED FROM DATASHEETS AVAILABLE FROM THE NATIONAL GEODETIC SURVEY.

DATUM: NAVD88

**AT&T SITE SD0675 - LAKE WOHLFORD ROAD**

26725 NORTH LAKE WOHLFORD ROAD  
VALLEY CENTER, CA. 92082

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	$\Delta = 37^{\circ}21'00''$	148.76'	96.97'
C2	$\Delta = 35^{\circ}02'00''$	303.25'	185.42'
C3	$\Delta = 32^{\circ}20'20''$	403.73'	227.87'
C4	$\Delta = 4^{\circ}18'15''$ (418'25")	303.25'	22.78'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°39'00"W	144.52'
L2	N87°20'00"W	39.40'

**LEGAL DESCRIPTION:**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A:

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY APPROVED SEPTEMBER 21, 1875.

EXCEPTING THEREFROM ALL THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG THE NORTH LINE THEREOF SOUTH 89°27'48" WEST 410.81 FEET TO A POINT THEREIN DISTANT NORTH 89°27'48" EAST 253.80 FEET FROM THE NORTHWEST CORNER THEREOF, SAID POINT BEING ALSO A POINT IN THE ARC OF A 303.25 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY; A RADIAL OF WHICH BEARS SOUTH 32°59'20" WEST TO SAID POINT; THENCE LEAVING SAID NORTH LINE AND SOUTHEASTERLY ALONG SAID CURVE 162.64 FEET THROUGH A CENTRAL ANGLE OF 30°43'45"; THENCE TANGENT TO SAID CURVE SOUTH 87°44'25" EAST 39.40 FEET TO THE BEGINNING OF A TANGENT 403.73 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG SAID CURVE 227.87 FEET THROUGH A CENTRAL ANGLE OF 32°20'20" TO THE POINT OF BEGINNING.

PARCEL B:

ALL THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG THE SOUTH LINE THEREOF NORTH 89°27'48" EAST 253.80 FEET TO A POINT IN THE ARC OF A 303.25 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY, A RADIAL OF WHICH BEARS SOUTH 32°59'20" WEST TO SAID POINT; THENCE LEAVING SAID SOUTH LINE AND NORTHWESTERLY ALONG SAID CURVE 22.78 FEET THROUGH A CENTRAL ANGLE OF 4°18'25" TO A POINT OF REVERSE CURVATURE WITH A 148.76 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY, A RADIAL OF WHICH BEARS NORTH 37°17'35" EAST TO SAID POINT; THENCE NORTHWESTERLY AND WESTERLY ALONG SAID CURVE 96.97 FEET THROUGH A CENTRAL ANGLE OF 37°21'00"; THENCE TANGENT TO SAID CURVE SOUTH 89°56'35" WEST 144.52 FEET TO THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 0°27'35" WEST ALONG SAID WEST LINE 45.76 FEET TO A POINT OF BEGINNING.

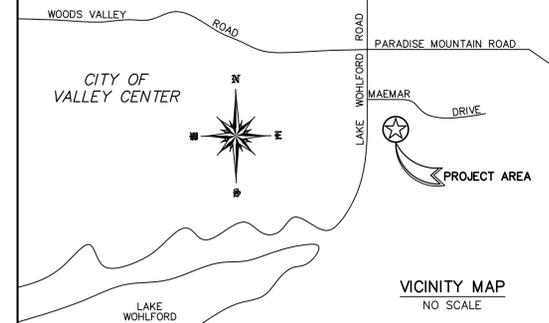
PARCEL C:

AN EASEMENT AND RIGHT OF WAY FOR ROAD AND PUBLIC UTILITY PURPOSES, TOGETHER WITH THE RIGHT TO CONVEY THE SAME TO ANY PERSON OR PERSONS OR TO DEDICATE THE SAME TO PUBLIC USE, OVER AND ACROSS THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 11 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 89°32'23" EAST ALONG THE NORTH LINE THEREOF 40.00 FEET; THENCE PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SOUTH 0°27'35" WEST 252.42 FEET TO THE BEGINNING OF A TANGENT 20 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE 31.60 FEET THROUGH CENTRAL ANGLE OF 90°31'00"; THENCE TANGENT TO SAID CURVE NORTH 89°56'35" EAST 84.16 FEET TO THE BEGINNING OF A TANGENT 168.76 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY; THENCE SOUTHEASTERLY ALONG SAID CURVE 110.01 FEET THROUGH A CENTRAL ANGLE OF 37°21'00" TO A POINT OF RESERVE CURVATURE WITH A 283.25 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY, A RADIAL OF WHICH BEARS SOUTH 37°17'35" WEST TO SAID POINT; THENCE SOUTHEASTERLY ALONG SAID CURVE 173.19 FEET THROUGH A CENTRAL ANGLE OF 35°02'00"; THENCE TANGENT TO SAID CURVE SOUTH 87°44'25" EAST 39.40 FEET TO THE BEGINNING OF A TANGENT 383.73 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG SAID CURVE 151.91 FEET THROUGH A CENTRAL ANGLE OF 22°40'55" TO A POINT OF COMPOUND CURVATURE WITH A 45 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY, A RADIAL OF WHICH BEARS SOUTH 20°25'20" EAST TO SAID POINT; THENCE NORTHEASTERLY ALONG SAID CURVE 38.33 FEET THROUGH A CENTRAL ANGLE OF 48°48'15" TO A POINT OF RESERVE CURVATURE WITH A 45 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY A RADIAL OF WHICH BEARS NORTH 69°13'35" WEST TO SAID POINT; THENCE CLOCKWISE ALONG SAID CURVE 196.09 FEET THROUGH A CENTRAL ANGLE OF 249°39'52" TO A POINT IN THE EAST LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22; THENCE NORTH 0°26'17" EAST ALONG SAID EAST LINE 45.00 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT BEING ALSO A POINT IN THE ARC OF A 403.73 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY, A RADIAL OF WHICH BEARS SOUTH 30°04'45" EAST TO SAID POINT; THENCE SOUTHWESTERLY ALONG SAID CURVE 227.87 FEET THROUGH A CENTRAL ANGLE OF 32°20'20"; THENCE TANGENT TO SAID CURVE NORTH 87°44'25" WEST 39.40 FEET TO THE BEGINNING OF A TANGENT 303.25 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY; THENCE NORTHWESTERLY ALONG SAID CURVE 185.42 FEET THROUGH A CENTRAL ANGLE OF 35°02'00" TO A POINT OF RESERVE CURVATURE WITH A 148.76 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY, A RADIAL OF WHICH BEARS NORTH 37°17'35" EAST TO SAID POINT; THENCE NORTHWESTERLY ALONG SAID CURVE 96.97 FEET THROUGH A CENTRAL ANGLE OF 37°21'00"; THENCE TANGENT TO SAID CURVE SOUTH 89°56'35" WEST 144.52 FEET TO THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE 0°27'35" EAST ALONG SAID WEST LINE 292.32 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THAT PORTION THEREOF LYING WITHIN ABOVE SAID PARCELS A AND B.

ASSESSOR'S PARCEL NUMBER: 189-180-59



**ITEMS CORRESPONDING TO SCHEDULE "B":**

BY: COMMONWEALTH LAND TITLE COMPANY  
4100 NEWPORT PLACE DR., SUITE 120  
NEWPORT BEACH, CA 92660  
PHONE: (949) 724-0706

COMMITMENT NO.: 08020802  
TITLE OFFICER: CHRIS MAZJAR  
DATED: OCTOBER 30, 2013

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS AFFECTING THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.

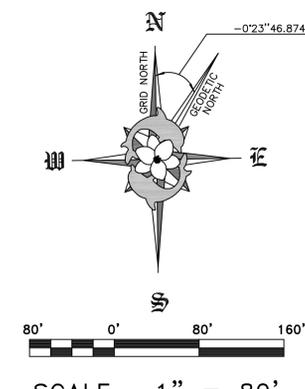
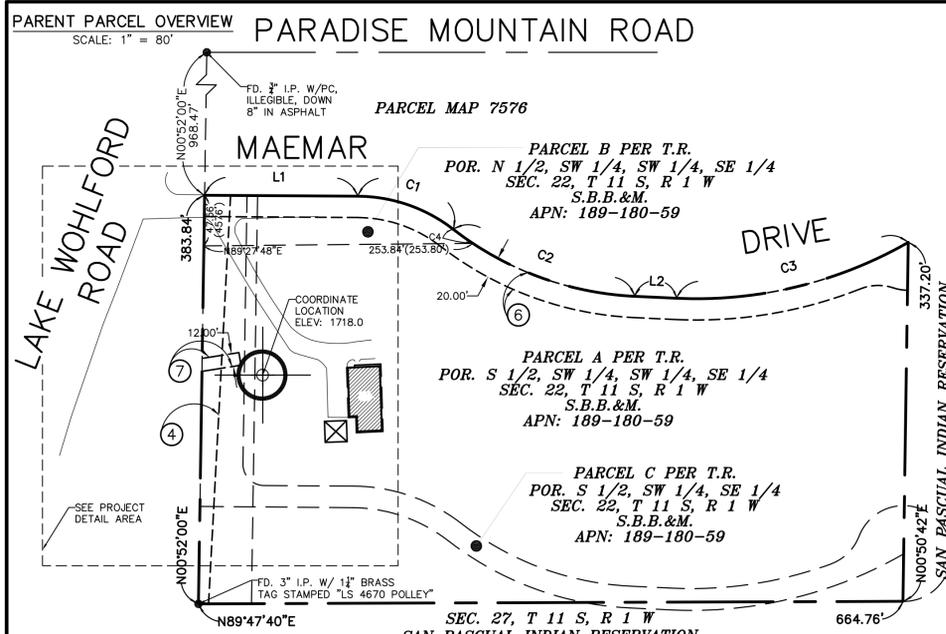
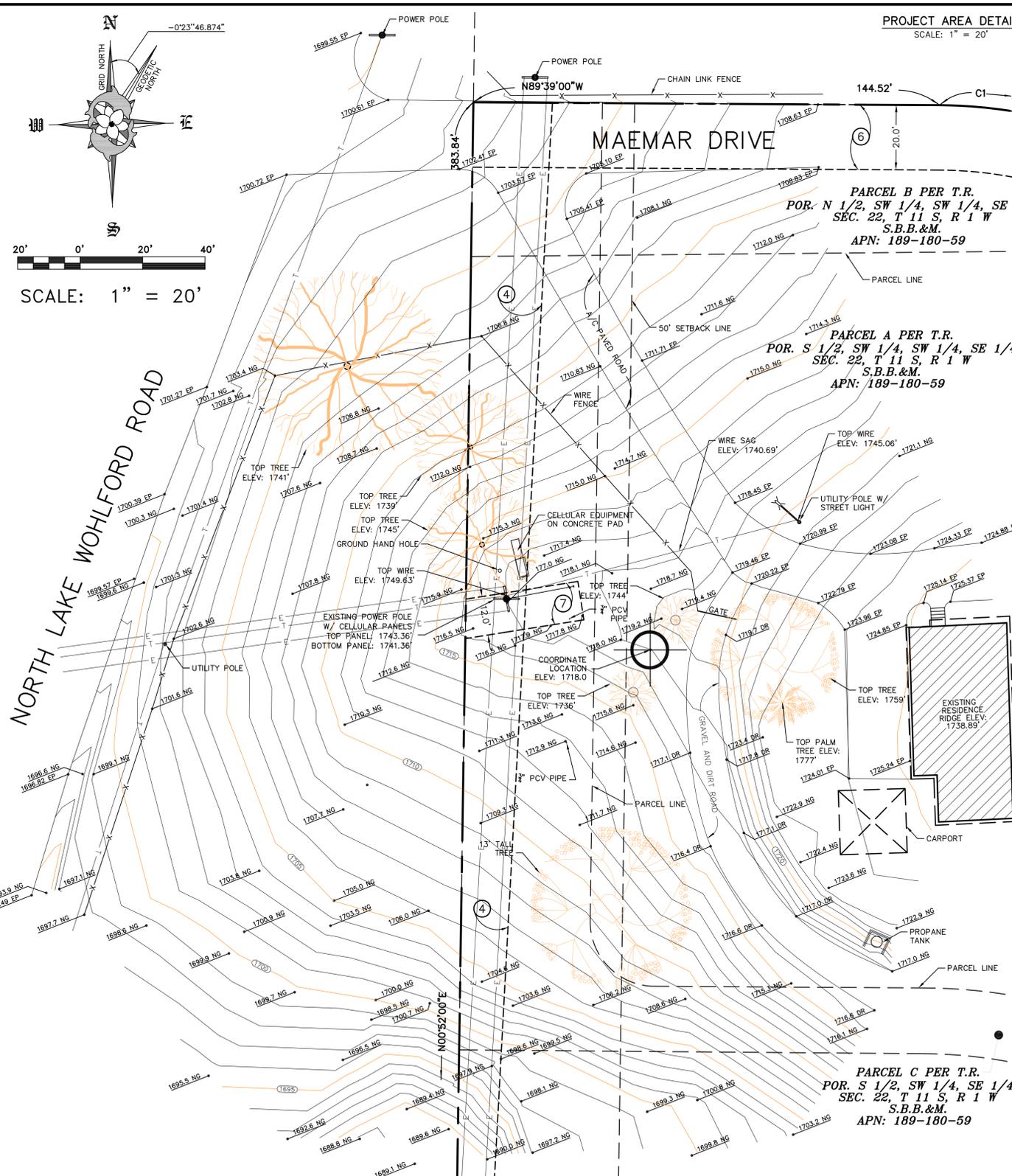
- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- 2 EASEMENT(S) FOR WATER DITCH OR AQUEDUCT FOR THE CONVEYANCE OF WATER RECORDED SEPTEMBER 26, 1894 IN BOOK 232 PAGE 67 OF DEEDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED PER RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
- 3 EASEMENT(S) FOR PUBLIC HIGHWAY RECORDED OCTOBER 22, 1934 IN BOOK 343 PAGE 225 OF OFFICIAL RECORDS AFFECTS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED PER RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
- 4 EASEMENT(S) FOR ELECTRIC TRANSMISSION LINE RECORDED JUNE 6, 1940 IN BOOK 1035 PAGE 194 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND THE CENTERLINE IS PLOTTED HEREON. NO WIDTH OF EASEMENT IS GIVEN.
- 5 EASEMENT(S) FOR ELECTRIC TRANSMISSION LINE RECORDED DECEMBER 23, 1940 IN BOOK 1108 PAGE 389 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- 6 EASEMENT(S) FOR ROAD AND PUBLIC UTILITIES RECORDED MARCH 11, 1978 AS INSTRUMENT NO. 78-093661 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 7 EASEMENT(S) FOR ELECTRIC AND COMMUNICATION FACILITIES RECORDED JANUARY 11, 1999 AS INSTRUMENT NO. 1999-0014687 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 8 AN UNRECORDED LEASE RECORDED NOVEMBER 4, 2004 AS INSTRUMENT NO. 2004-1049464 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 9 THE INTEREST, IF ANY, OF THE GRANTEE IN THE DEED DATED FEBRUARY 22, 1985, AS AMENDED ON FEBRUARY 13, 2004, DATED 4/24/2004 RECORDED OCTOBER 11, 2007 AS INSTRUMENT NO. 2007-0655172 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 10 ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 11 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 12 ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.

**COORDINATES:**

LATITUDE: 33°11'55.678" N  
LONGITUDE: 116°58'16.593" W  
DATUM: NAD83

**LEGEND:**

- E - EAST
- ELEV - ELEVATION
- EP - EDGE OF PAVEMENT
- FD - FOUND
- I.P. - IRON PIPE
- LS - LICENSED SURVEYOR
- N - NORTH
- PC - PLASTIC CAP
- POR. - PORTION
- S - SOUTH
- S.B.&M. - SAN BERNARDINO BASE & MERIDIAN
- SEC. - SECTION
- R - RANGE
- T - TOWNSHIP
- W - WEST
- W/ - WITH
- (xxx'xxx"xx'xxx'xx') - RECORD DATA PER LEGAL DESCRIPTION



**REVISIONS**

**JRN CIVIL ENGINEERS**  
232 AVENIDA FABRICANTE, SUITE 107  
SAN CLEMENTE, CALIFORNIA 92672  
(949) 248-4685 FAX (949) 248-4687

**AT&T SITE SD0675**  
26725 NORTH LAKE WOHLFORD ROAD  
VALLEY CENTER, CA. 92082  
ADDRESS: BJK  
CLIENT: MITCHELL J ARCHITECTURE

SCALE: AS NOTED  
DATE: 02/22/13  
DRAWN BY: BJK  
CHKD. BY: JLM

SHEET 1 OF 1  
FILE NO. 12545