

ORDINANCE NO. ____ (NEW SERIES)

**AN ORDINANCE ADOPTING FORM BASED CODE FOR
THE ALPINE VILLAGE CORE AND RAMONA VILLAGE CENTER**

The Board of Supervisors of the County of San Diego ordains as follows:

Section 1. The Form Based Code for the Alpine Village Core and Ramona Village Center are hereby adopted as attached hereto as Exhibit A, and as on file with the Clerk of the Board of Supervisors of the County of San Diego.

Section 2. Effective Date. This Ordinance shall take effect and be in force thirty (30) days after the date of its passage, and before the expiration of fifteen (15) days after its passage, a summary shall be published once with the names of the members voting for and against the same in the Daily Commerce, a newspaper of general circulation published in the County of San Diego.

EXHIBIT A

Alpine Village Core Form-Based Code



Final Draft May 2014

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8901 General Provisions

The Alpine Village Core regulations apply to the area identified in the Alpine Community Plan as the Village Core and are intended to preserve and promote the village character while creating a balanced automobile, bicycling, and pedestrian friendly environment for residents, business owners and visitors. These regulations are also intended to encourage the continuation and growth of the character of Alpine while promoting the economic development of the Alpine Village Core (AVC). The following General Provisions shall apply to the Alpine Village Core Regulations:

- a. Where the provisions of a section of the San Diego County Zoning Ordinance are in conflict with the requirements of this section, the requirements of this section shall apply.
- b. The diagrams and illustrations within this Section, unless specifically noted as advisory, are considered regulatory in nature and are legally binding.
- c. The definition of a term in this Section shall take precedence over definitions of the same term elsewhere in the San Diego County Zoning Ordinance.
- d. The term “shall” denotes a specific requirement, while the term “should” is intended to be a primary consideration incorporated into plans or accompanied with a clear rationale as to why its standards or specifics were not followed.

8902 Permitted Uses Determine the Site Plan Process

- a. A Site Plan permit is necessary to determine Zoning Ordinance conformance for San Diego County Department of Public Works to construct public thoroughfares, Department of General Services, and Department of Parks and Recreation to construct public Civic Spaces within the Alpine Village Core.
- b. A Site Plan permit is necessary to entitle new Land Uses on private Lots, owned by private land owner(s) or representatives of land owner(s), through either a ministerial or discretionary review process within the Alpine Village Core.
- c. A Ministerial Site Plan permit is necessary to determine Design Standard conformance for any new building construction, Lot Subdivision, and/or a significant remodel that can be viewed from a thoroughfare.
- d. Existing buildings, built prior to June 1, 2013, are allowed “by Right” and not subject to Site Plan permit review.
- e. The Site Plan process, “by Right,” “Major/Minor Use Permit,” and/or “Administrative Permit,” is determined by the proposed single or combination of Land Uses listed on Table AL-1.1 PERMITTED USE TYPES.
- f. Permitted Uses for Lots and buildings are listed on Table AL-1.1 PERMITTED USE TYPES.
 - i. Uses permitted “by Right” are permitted without the requirement for a discretionary use permit but are subject to all other applicable regulations.
 - ii. Uses permitted “by Administrative Permit” require the submission and approval of an Administrative Permit application subject to the regulations of §7050-7099 ADMINISTRATIVE PERMIT PROCEDURE of the San Diego County Zoning Ordinance.
 - iii. Uses permitted “by Minor Use Permit” require the submission and approval of a Minor Use Permit application subject to the regulations of §7350-7399 USE PERMIT PROCEDURE of the San Diego County Zoning Ordinance.
 - iv. Uses permitted “by Major Use Permit” require the submission and approval of a Major Use Permit application subject to the regulations of §7350-7399 USE PERMIT PROCEDURE of the San Diego County Zoning Ordinance.

8903 Site Plan Permit Requirements

- a. A Building permit shall not be issued for development or redevelopment on a private lot prior to the submittal and approval of a Site Plan, in compliance with the standards of this Section and subject to the regulations of §7150-7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance unless an exception to the site plan is granted pursuant to Site Plan Permit Exceptions of §8904.
- b. A Site Plan submitted under this Section shall be prepared by the land owner or a representative of the land owner, and shall be approved administratively by the County of San Diego Planning & Development Services (PDS) Director subject to the regulations of §7150-7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance.
- c. The following mapping requirements are in addition to §8903.b Site Plan submittal procedures:
 - i. One (1) Site Plan submittal map shall include the proposed Lots and Building(s) to-scale and centered in plain view with all surrounding property lines, easements, thoroughfares, building footprints, and primary building frontages that illustrate primary building entrances for 300 feet.
 - ii. One (1) Site Plan submittal map shall include a to-scale elevation graphic illustrating the primary building frontage of the subject property with its adjacent existing building frontages for 150 feet along all sides of the proposed building and site.
 - iii. One (1) Site Plan submittal map shall include a to-scale and detailed Landscape Plans of the subject property with its adjacent existing building frontages for 150 feet along all sides of the proposed building and site.

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- d. An existing building that does not conform to the provisions of this Section is considered non-conforming and may be continued in such Use until a Site Plan Permit is requested, at which time the provisions of this Section shall apply.

8904 Site Plan Permit Process Exceptions

The Director under any of the following circumstances may grant an Exemption from the Site Plan Permit requirement of §8902:

- a. Existing Permit Exemption. All of the purposes and requirements of the Site Plan Permit process have been fulfilled by an existing approved discretionary permit.
- b. Concurrent Permit Exemption. All of the purposes and requirements of the Site Plan Permit process will be fulfilled by a concurrent discretionary permit that will be reviewed by the Alpine Community Planning Group (ACPG) and the Alpine Design Review Board (ADRB).
- c. Minor Project Exemption. The Director determines that a proposed project is minor in nature, as defined in §7156(b), and that subjecting it to the Site Plan review process would not materially contribute to the attainment of the community design objectives and guidelines as set forth in this Section. In making a decision on such Site Plan Permit exemption, due consideration shall be given to the recommendation of the ACPG and the ADRB. Such recommendation shall be in writing, signed by the Chairperson or other member of the ACPG and ADRB who has been authorized by the Chairperson to sign Site Plan Permit exemption requests, and shall be accompanied by a copy of the project plans upon which the recommendation was based.
- d. Design Review Checklist Exemption. The Director determines that the project complies with the standards set forth in the Design Review Checklist. In making a decision on such Site Plan Permit exemption pursuant to Zoning Ordinance Section 5757(a)(4), due consideration shall be given to the recommendation of the ACPG and the ADRB. Such recommendation shall be in writing, signed by the Chairperson or other authorized member of the ACPG and the ADRB and shall be accompanied by a copy of the Alpine Village Core Form Based Code Checklist and stamped project plans upon which the recommendation was based.
- e. A request for a Site Plan permit(s) exemption based on compliance with subsections §8904(c) and §8904(d) shall be transmitted by the Director to the ACPG and ADRB. If the Director does not receive an ACPG and ADRB recommendation within 45 working days, such as an approval, denial, or reasonable time extension request, following the ACPG and ADRB's initial application submission the Director may make a decision without the ACPG and ADRB's recommendation.
- f. No building permit shall be issued for a project for which the Site Plan permit exemption has been granted except pursuant to plans bearing the Director's stamp granting such exemption. No deviation from aspects of such plans, beyond the allowances of §7609 of the San Diego County Zoning Ordinance. Minor Deviations pertinent to the Alpine Village Core Regulations, such as materials, colors, architectural details, landscaping, and site design, shall be permitted without prior recommendation of the appropriate ACPG, ADRB, and approval of the Director.

8905 Exceptions

An Exception to the requirements of this Section may be granted in the following manner:

- a. A request for Exception shall only be permitted as specifically indicated in this Section.
- b. An exception to the requirements of this section may only be processed in conjunction with a Site Plan Permit subject to the regulations of §7150-7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance as part of the Site Plan Permit application, the applicant shall provide the following:
 - i. Specific Exception(s) requested to include a citation from this Section as to why the Exception is being sought.
 - ii. Maps, text, drawings, and/or statistical data related to the requested Exception(s).
- c. No Exception shall be approved unless the PDS finds the approval would:
 - i. Be consistent with §8911 General Intent.
 - ii. Be consistent with the goals, objectives, and policies of the Alpine Community Plan.
 - iii. And be consistent with the goals, objectives, and policies of the San Diego County General Plan.
- d. Any decision regarding an approval or denial of Exception shall state, in writing, the reasons for the approval or denial.
- e. If the Planning Director denies any requested Exception, the applicant may appeal the decision to the Planning Commission subject to the regulations of §7200-7249 ADMINISTRATIVE APPEAL PROCEDURE of the San Diego County Zoning Ordinance.

8906 Pre-Submittal Sequence to Determine Private Development Application Entitlement Process:

The following steps are general steps for a potential applicant to following prior to applying for a development permit in the Alpine Village Core Area:

- a. The Site Plan application process is only for new or amended Land Uses and related new Building(s) construction and/or

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- Significant Building(s) Remodel (§8962.d.). Existing Land Uses and Buildings are allowed to operate “by Right” and without Site Plan review (§8962.c.).
- b. Identify the project area’s location in the Alpine Village Core Zoning Districts (Map AL-1) (§8940), and;
 - c. Locate the project’s development regulations in the AL-V Zoning Districts (Map AL-1) V2-Core, V1-Edge, CD-Civic in Tables §8920-8960, and;
 - d. Identify the existing and proposed Permitted Land Uses (Table AL-1.0) to determine the necessary development application process, such as “by-Right” Ministerial process, Major/Minor Use Permit, and/or Administrative Permit process. This is a key decision point for the applicant prior to submission of a formal Site Plan process application.
 - e. Determine the project’s Parking Requirements (Tables AL-2.2 and AL-2.3) per the Land Uses (Table AL-1.0) and Zoning Districts, and;
 - f. Calculate if the Lot’s Parking Requirements per the proposed Land Use meet requirements within the Development Standards (§8920-8960), and;
 - g. Calculate if the proposed project’s Parking Requirements fit within the Lot’s AVC Zoning District development standards. This calculation of Parking Requirements in relationship to the Lot’s Development Standards (refer to Lot Layers, Setbacks, and Access) parking area will determine if the proposed development project is in ‘by-Right” conformance and eligible for a Ministerial or Administrative decision-making process.
 - h. Determine if the project needs a “Major/Minor Use” permit due to the proposed Land Use and/or a Variance due to Parking Requirement and Lot size constraints, then the project must proceed with a Discretionary process defined by San Diego County Zoning Ordinance section §7150-7199 SITE PLAN REVIEW PROCEDURES. This is a key decision point for the applicant prior to submission of a formal Site Plan process application.
 - i. Prior to a formal submittal, an applicant is highly encouraged to arrange a Pre-Application meeting with Pre-Application Committee(s) from the ACPG to review Zoning District requirements (reviewing §8910 only and §8920 – 8970 if a County entity are making an application), ADRB (reviewing §8920-8970 only), and County PDS staff (entire code) in order to clearly understand expectations. This is a key decision point for the applicant prior to submission of a formal Site Plan Ministerial process application.
 - i. It is expected that during an applicant’s initial due diligence and after Pre-Application meetings, the proposed project design may be modified in order to qualify for the Site Plan Ministerial process, and;
 - j. Review and calculate the Thoroughfare (Map AL-5) §8970 to understand the public frontage improvement requirements, such as street trees, street lights, sidewalks, landscape strip, and bike facilities that will apply to the project’s development impact fees as required by San Diego County Public Works, and;
 - k. Once the permitting process for the propose project is determined by the applicant, the applicant shall submit completed application forms, plans and fees as required by §8903 to the San Diego County PDS Zoning Ordinance division to initiate the Alpine Village Core Site Plan Permit process.

8907 Design Review Checklist Exemption Process

STEP ONE PRE-APPLICATION MEETING: Initial Project Review with County and Community is recommended.

Authority:

1. Department of Planning & Development Services (PDS) Zoning Intake Staff
2. ACPG and ADRB

Actions:

1. PDS provides guidance for application.
2. ACPG provides guidance for application
3. ADRB provides guidance for application

Timetable: 45 days of applicant making appointment with PDS, ADRB and ACPG

Item Granted: Submit Site Plan Application Step 1

STEP TWO: Site Plan Application Submittal.

Authority: PDS

Actions:

1. PDS reviews Site Plan application and checklist for completeness of;
2. If complete, PDS forwards the site plan application and checklist to the ACPG for recommendations on §8910, 8920-8970 and ADRB for recommendations on §8920-8970.

Timetable: 10 working days after receipt of completed application and fees.

Items Granted: PDS forwards applications and checklists to ACPG and ADRB for Step 2 Review

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STEP THREE: Community Planning Group and Design Review Board Review.

Authority: ACPG and ADRB

Actions: Review of site plan(s), checklist(s) with recommendations for approval/denial or time extension forwarded to the Director.

Timetable:

1. 45 working days of receipt of the application from the PDS
2. If no recommendation is forwarded to the Director within 30 working days, the Director may proceed with Step 3 without the recommendation of the Community Board

Items Granted: Recommendations for approval or denial

STEP FOUR: Final Site Plan Review

Authority: PDS

Actions:

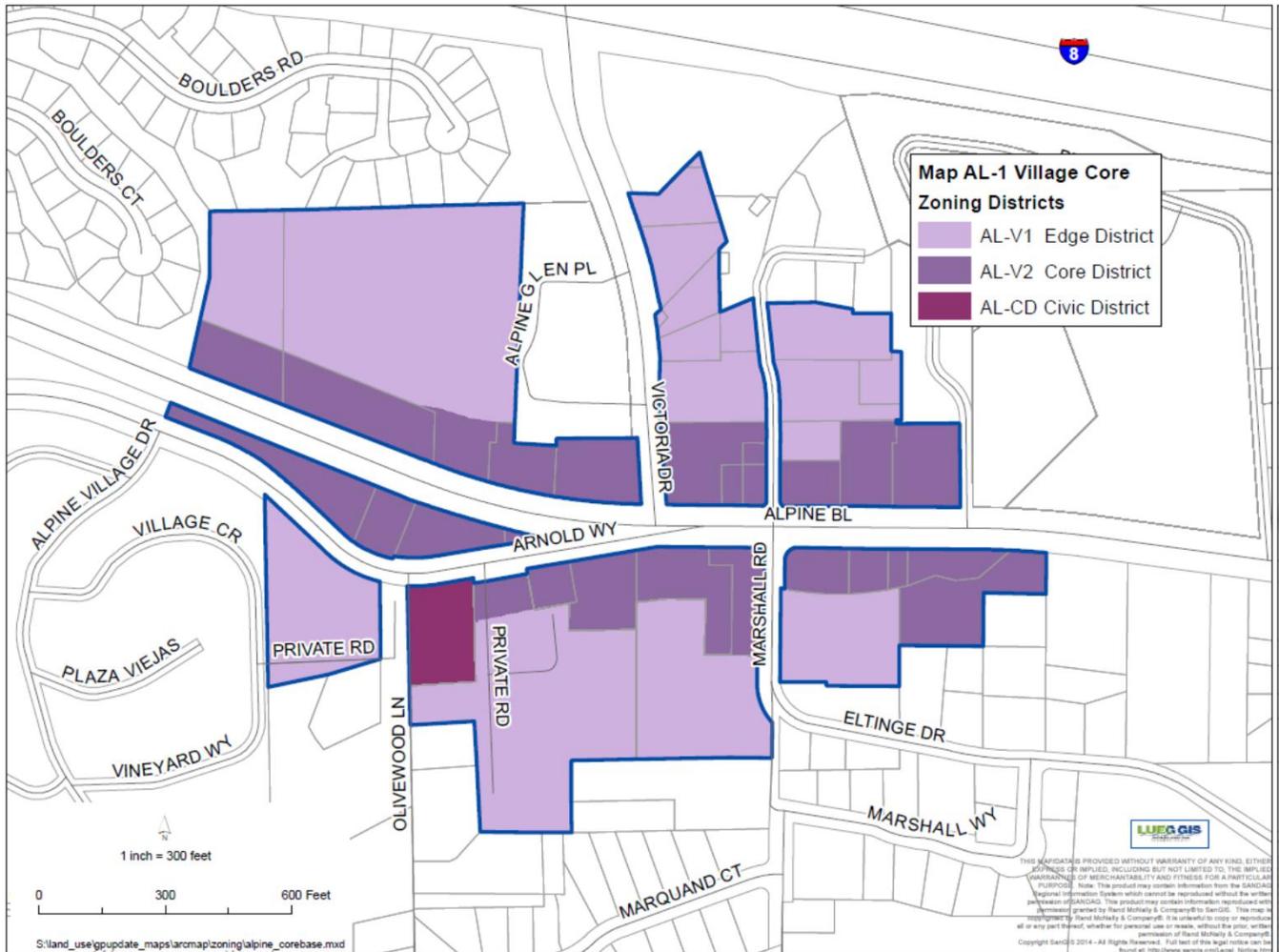
1. The Director shall consider any report and recommendation from the ACPG and ADRB.
2. Director shall consider site plan application subject to the regulations of §7150- 7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance
3. After review the Director may:
 - ii. Approve the site plan
 - iii. Require changes or modifications for approval
 - iv. Deny the ministerial site plan – require discretionary review

Timetable: 30 working days. Required changes or modifications shall be re-submitted to Planning Director within 30 working days

Items Granted: Grant or Deny a Ministerial, Site Plan, Use or Building Permit. A Design Review Checklist approval cannot be appealed

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MAP AL-1 ALPINE VILLAGE CORE ZONING DISTRICTS



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TABLE AL-1.0 PERMITTED USE TYPES

RESIDENTIAL	AL-V1	AL-V2	AL-CD
Second Dwelling Unit		R	
Family Residential	R	R	R
Farm Labor Camps			
Group Residential	R	R	R
Mobile Home Residential	M		
COMMERCIAL	AL-V1	AL-V2	AL-CD
Administrative and Professional Services	R	R	R
Agricultural and Horticultural Sales			
Agricultural Sales	R	R	
Horticultural Sales	R	R	
Agricultural Services	R		
Animal Sales and Servicing			
Auctioning			
Grooming	A	R	
Stockyards			
Veterinary (Large Animals)	A	A	
Veterinary (Small Animals)	A	A	
Automotive and Equipment			
Cleaning	M	M	
Fleet Storage	M		
Parking	R	R	R
Repairs (Heavy Equipment)	m	m	
Repairs (Light Equipment)	A	R	
Sales/Rentals (Heavy Equipment)	m	m	
Sales/Rentals (Farm Equipment)	m	m	
Sales/Rentals (Light Equipment)	m	m	
Building Maintenance Services	A	R	
Business Equipment and Sales Services	A	R	
Business Support Services	R	R	
Communication Services	R	R	
Construction Sales and Personal Services	A	a	

R by Right
A by Administrative Permit
m by Minor Use Permit
M by Major Use Permit

TABLE AL-1.0 PERMITTED USE TYPES

COMMERCIAL (continued)	AL-V1	AL-V2	AL-CD
Convenience Sales and Services	m	R	R
Cottage Industries	R	R	
Eating and Drinking Establishments	R	R	R
Financial, Insurance and Real Estate	R	R	R
Food and Beverage Retail Sales	m	R	
Funeral and Internment Services			
Cremating	M	M	
Interning	M	M	
Undertaking	A	A	
Gasoline Sales	M	M	M
Laundry Services	A	R	
Medical Services	R	R	R
Participant Sports and Recreation			
Indoor	A	R	A
Outdoor	A		R
Personal Services, General	R	R	R
Recycling Collection / Processing Facility	A	A	
Repair Services, Consumer	R	R	
Research Services	R	R	
Retail Sales			
General	R	R	R
Specialty	R	R	R
Scrap Operations	M		
Spectator Sport and Entertainment			
Limited	R	R	A
General	m	m	A
Swap Meets	M		
Transient Habitation			
Campground			
Lodging	R	R	A
Resort	m	m	
Wholesale Storage and Distribution			
Mini-Warehouse	m	m	
Light	A	A	
Heavy	M		

R by Right
A by Administrative Permit
m by Minor Use Permit
M by Major Use Permit

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TABLE AL-1.0 PERMITTED USE TYPES

INDUSTRIAL	AL-V1	AL-V2	AL-CD
Custom Manufacturing	m	m	
General Industrial	m	m	
AGRICULTURAL	AL-V1	AL-V2	AL-CD
Horticulture			
Cultivation	R	R	R
Storage	R		
Tree Crops	R	R	R
Row and Field Crops	R	R	R
Packaging and Processing			
Limited			
General			
Support			
Winery	M	M	
Small Winery	A	A	
Boutique Winery	R	R	
Wholesale Limited Winery	R	R	
Agricultural Equipment Storage			
EXTRACTIVE	AL-V1	AL-V2	AL-CD
Mining and Processing			
Site Preparation	M	M	

R by Right
 A by Administrative Permit
 m by Minor Use Permit
 M by Major Use Permit

TABLE AL-1.0 PERMITTED USE TYPES

CIVIC	AL-V1	AL-V2	AL-CD
Administrative Services	R	R	A
Ambulance Services	R	R	A
Emergency Shelter	R	R	R
Clinic Services	R	R	R
Community Recreation	A	R	R
Cultural Exhibits and Library Services	R	R	R
Child Care Center	R	R	
Essential Services	R	R	R
Fire Protection Services	R	R	R
Group Care	R		
Law Enforcement Services	R	R	R
Lodge, Fraternal and Civic Assembly	R	R	R
Major Impact Services and Utilities	M	M	
Minor Impact Utilities	m	m	
Parking Services	M	M	
Postal Services	M	M	R
Religious Services and Assembly	R	R	
Gymnasium Facilities	R	R	R
Small Schools (50 or fewer students)	R	R	
CIVIC (SECTION 8400)	AL-V1	AL-V2	AL-CD
Close	R	R	R
Court	R	R	R
Green	R	R	R
Playground	A	R	R
Plaza	A	R	R
Plaza, Commercial	A	A	R
Pocket Park	R	R	R
Square	R	R	R

R by Right
 A by Administrative Permit
 m by Minor Use Permit
 M by Major Use Permit

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8910 General Development Standards

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Table AL-2.0 Lot Layer Summary

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Table AL-2.1 Required Parking

Table AL-2.2 Shared Parking Multiplier

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8911 General Intent

- a. Regulations on land and buildings equitably balance the rights of individual property owners and the interests of the community as a whole.
- b. Alpine Village Core Zoning Districts (AL-V2, AL-V1 and AL-CD) and the design of Thoroughfares are coordinated to establish distinct physical environments at the scale of the lot, block, street, and neighborhood.
- c. Distinct physical environments provide meaningful choices in living, working, shopping and recreating for citizens with differing physical, social, and emotional needs.
- d. Alpine Village Core Zoning Districts control physical development at the scale of the lot, coordinating the form and intensity.
- e. Access to daily needs within close proximity to dwellings is provided by permitting a mixture of land uses within Alpine's Village Core Zoning Districts and individual buildings so that residents may choose to live, work, shop, and play within walking distance to their home.
- f. Thoroughfares contribute to the health, safety, and general welfare of citizens. Design conflicts between vehicular and pedestrian movement shall be decided in favor of the pedestrian.

8912 Zoning Districts

- a. The following Alpine Village Core Zoning Districts are established under the provisions of this Section:
 - i. The Core District (AL-V2 §8920) consists of the most developed land and is primarily mixed-use in character. Shallow setbacks, high lot coverage, and multi-level buildings fronting onto Alpine Boulevard create a strong spatial definition of outdoor spaces along the Main Street.
 - ii. The Edge District (AL-V1 §8940) consists of moderately developed land that is generally residential in character, but permits an appropriate level of mixed use to transition between the Village Core and adjacent neighborhoods. Moderate setbacks and Lot coverage by buildings create an increased sense of spatial definition.
 - iii. The Civic District (AL-CD §8930) consists of open spaces and public buildings dedicated to arts, culture, education, recreation, local government, and/or municipal parking uses that serve as necessary components of any community's Village Core and Main Street.

8913 Lot

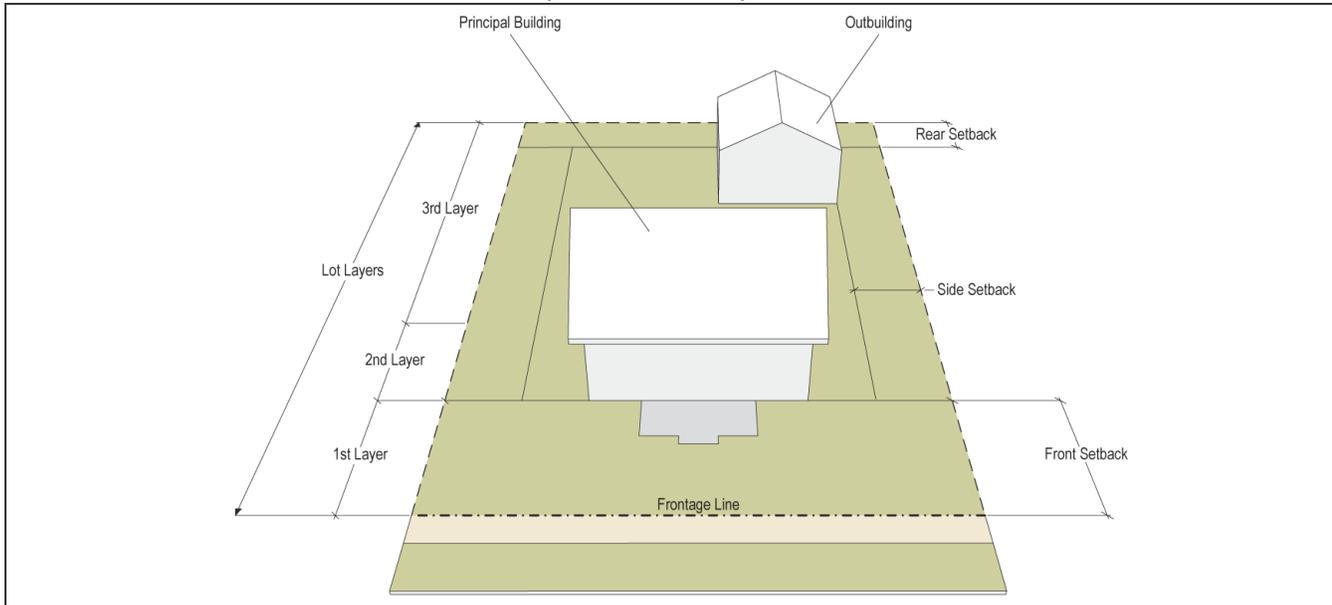
- a. Lot Lines abutting a Thoroughfare shall be known as a Frontage Line as per Table AL-2.0.
- b. Frontage Setbacks are measured from Property Lines, and not measured from Public Right-of-Way Center line(s).
- c. Lots with multiple Lot Lines abutting a Thoroughfare shall designate one Frontage Line as a Primary Frontage Line, with all remaining Frontage Lines designated as Secondary Frontage Line(s).
- d. Lot Width shall be calculated as the length of the Primary Frontage Line of a Lot, measured from side Lot Line to side Lot Line. (see Summary Tables for each Alpine Village Core Zone)
- e. Where multiple Lots are aggregated under single ownership, the side Setbacks between assembled Lots may be eliminated.
- f. Lots shall be regulated according to three horizontal Layers as shown on Table AL-2.0 and according to the following guidelines:
 - i. First Layer - The area of a Lot from any Frontage Line to the Facade of the Primary Building.
 - ii. Second Layer - The area of a Lot set behind the first Layer to a depth of 20 feet.
 - iii. Third Layer - The area of a Lot set behind the second Layer and extending to the rear Lot Line.

8914 Lots in Multiple Districts

- a. Where a legal Lot has split zoning, the regulations for each separate district shall apply. Where an individual building is bisected by a split zone line within a legal lot, the more restrictive Use Regulations shall apply.

PART EIGHT: 8910 Alpine General Development Standards

TABLE AL-2.0 LOT LAYER SUMMARY (SECTION 8913)



Primary Frontage Line	A Lot line bordering the primary access from the Public Frontage along a thoroughfare.
Secondary Frontage Line	Corner Lots have more than one Frontage Line. One Frontage Line is designated the Primary Frontage Line and all remaining Frontage Lines are designated as Secondary Frontage Lines.
Lot Width	The length of the Primary Frontage Line of a Lot.
First Layer	The area of a Lot from the Frontage Line to the Facade of the Principal Building.
Second Layer	The area of a Lot set behind the 1st Layer to a depth of 20 feet in all V-Zones.
Third Layer	The area of a Lot set behind the 2nd Layer and extending to the rear Lot Line.
Primary Front Setback	The area of a Lot measured from the Primary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Secondary Front Setback	The area of a Lot measured from the Secondary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Side Setback	The area of a Lot measured from any side Lot Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Rear Setback	The area of a Lot measured from a rear Lot Line to the nearest permissible location of a Principal Building or Outbuilding, excluding Encroachments.
Primary Building	The main building on a Lot.
Outbuilding	A building located toward the rear of a Lot such as a garage, carport, or workshop and may include an Accessory Unit.

8915 Building Placement

- a. Front, Side and Rear Setbacks control the spatial enclosure of Thoroughfares and Civic Spaces, and are coordinated by district according to §8911 Intent.
- b. Primary Building Facades shall be built parallel to the Frontage Line of a Lot or to the tangent of a curved Frontage Line of a Lot in order to ensure buildings face the street.
- c. Lot Coverage by buildings and impermeable surfaces shall be regulated as a percentage of each Lot's area.
- d. Primary Building Facades shall be built out along a minimum percentage of a Lot's Width, as specified for each Zoning District as a Facade Buildout abutting the Primary Frontage thoroughfare.

PART EIGHT: 8910 Alpine General Development Standards

8916 Building Height

- a. Permitted building heights shall be measured in number of Stories (floors) and maximum height as indicated for each district.
- b. Height limits do not apply to raised basements, masts, belfries, clock towers, chimney flutes, water tanks, or elevator bulkheads.
- c. Building Stories/Floors may not exceed 12 feet in height from floor to floor, except for a first floor Commercial use on Alpine Boulevard (AL-V2), which shall be a minimum of 12 feet with a maximum of 14 feet.
- d. Attics shall not exceed 12 feet in height.
- e. The vertical distance above the highest adjoining sidewalk to the highest point of the coping of a flat roof or to the average height of the highest gable of a pitched or hipped roof.

8917 Building Design Standards

- a. Required Fenestration shall be calculated as the total combined area of window glazing (lights or panes within each window's casing) divided by the total area of the facade for the story of a building under calculation.

8918 Required Parking

- a. Where feasible, all parking needs should be met on site.
- b. The minimum number of parking spaces required for each Use is specified on Table AL-2.1. Parking requirements shall only be adjusted as specifically indicated in this Section.
- c. The minimum number of parking spaces required for each Use shall be calculated as the sum of the actual parking provided onsite, within the Lot. Off-site parking along the thoroughfare should be used for guests and visitors.
- d. For Lots with more than one Use (i.e. Shared-Use), the total number of parking spaces required may be adjusted by multiplying the total number of parking spaces required for all Uses as indicated on Table AL-2.2.
- e. Determination of required parking for Use combinations not listed on Table AL-2.2 shall be approved on a case-by-case basis through the Site Plan review process as referenced in §8903.
- f. The shared use parking multiplier may be used to reduce the total number of parking spaces required for combinations of Uses listed on Table AL-2.2 for shared parking spaces located internal as surface of structure parking to any Block.
- g. Shared-Use Parking calculations shall be rounded up to a whole number and two (2) Uses shall use the highest multiplier percentage.

PART EIGHT: 8910 Alpine General Development Standards

TABLE AL-2.1 REQUIRED VEHICULAR PARKING SPACES (SECT. 8918)

	AL-V1	AL-V2
RESIDENTIAL	1.5 / dwelling	1.5 / dwelling
COMMERCIALⁱ	3.5 / 1000 sq. ft.	3.0 / 1000 sq. ft.
Automotive and Equipment	not applicable	2.5 / 1000 sq. ft.
Business Equipment and Sales Services	3.0 / 1000 sq. ft.	2.5 / 1000 sq. ft.
Medical Services	1.75 / bed capacity	3.0 / 1000 sq. ft.
Participant Sports and Recreation	not applicable	1.0 / 5 total occupancy
Spectator Sport and Recreation	not applicable	not applicable
Swap Meets	not applicable	6.0 / 1000 sq. ft.
Transient Habitation	1.0 / 2 guest room	1.0 / guest room
Wholesale Storage and Distribution	1.0 / 500 sq. ft.	1.0 / 400 sq. ft.
CIVIC	1.0 / 4 total occupancy	1.0 / 5 total occupancy
Clinical Services	1.0 / employee; 1.0 / exam room	1.5 / employee; 1.0 / exam room
Community Recreation	1.0 / 4 total occupancy	1.0 / 5 total occupancy
Child Care (and Small Schools)	1.0 / 300 sq. ft.	1.0 / 400 sq. ft.
Group Care	1.0 / 4 beds	1.0 / 4 beds
Lodge, Fraternal or Civic Assembly	1.0 / 4 total occupancy	1.0 / 5 total occupancy
Major Impact Services and Utilities	—	—
Elementary and Junior High	not applicable	not applicable
Senior High	1.0 / employee; 15 visitor spaces 1.0 / 3 11 th -12 th grade students	1.0 / employee; 15 visitor spaces 1.0 / 3 11 th -12 th grade students 1.0 / employee
College or University	not applicable	1.0 / employee; 10 visitor spaces
Other and Charitable	1.0 / employee; 1.0 / student	1.0 / employee; 0.5 / student
Religious Assembly	1.0 / 4 total occupancy	1.0 / 5 total occupancy
INDUSTRIAL, AGRICULTURAL, EXTRACTIVE	not applicable	1 / 300 sq. ft.

TABLE AL-2.2 SHARED USE PARKING MULTIPLIER (SECT. 8918)

LAND USE A	LAND USE B	MULTIPLIER
RESIDENTIAL	+ Convenience Sales and Service + Eating and Drinking Establishment + Food and Beverage Retail Sales + Laundry Services + Personal Services, General + Repair Services, Consumer + Retail Sales (all types)	80%
RESIDENTIAL	+ Lodging	75%
RESIDENTIAL	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	70%
Convenience Sales and Services Eating and Drinking Establishments Food and Beverage Retail Sales Laundry Services Personal Services, General Repair Services, Consumer Retail Sales (All Types)	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	80%

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8920 AL-V2 Core District

Map AL-2 Core (AL-V2) Zoning District

8921 Lot

8922 Building and Land Use

8923 Parking and Storage

8924 Building Placement

8925 Building Height

8926 Stormwater Management

Table AL-3.0 Form Based Code

8927 Private Frontages

Table AL-3.1 Encroachment

8928 Signage

8929 Lighting

Table AL-3.2 Signage Standard

8930 Fencing

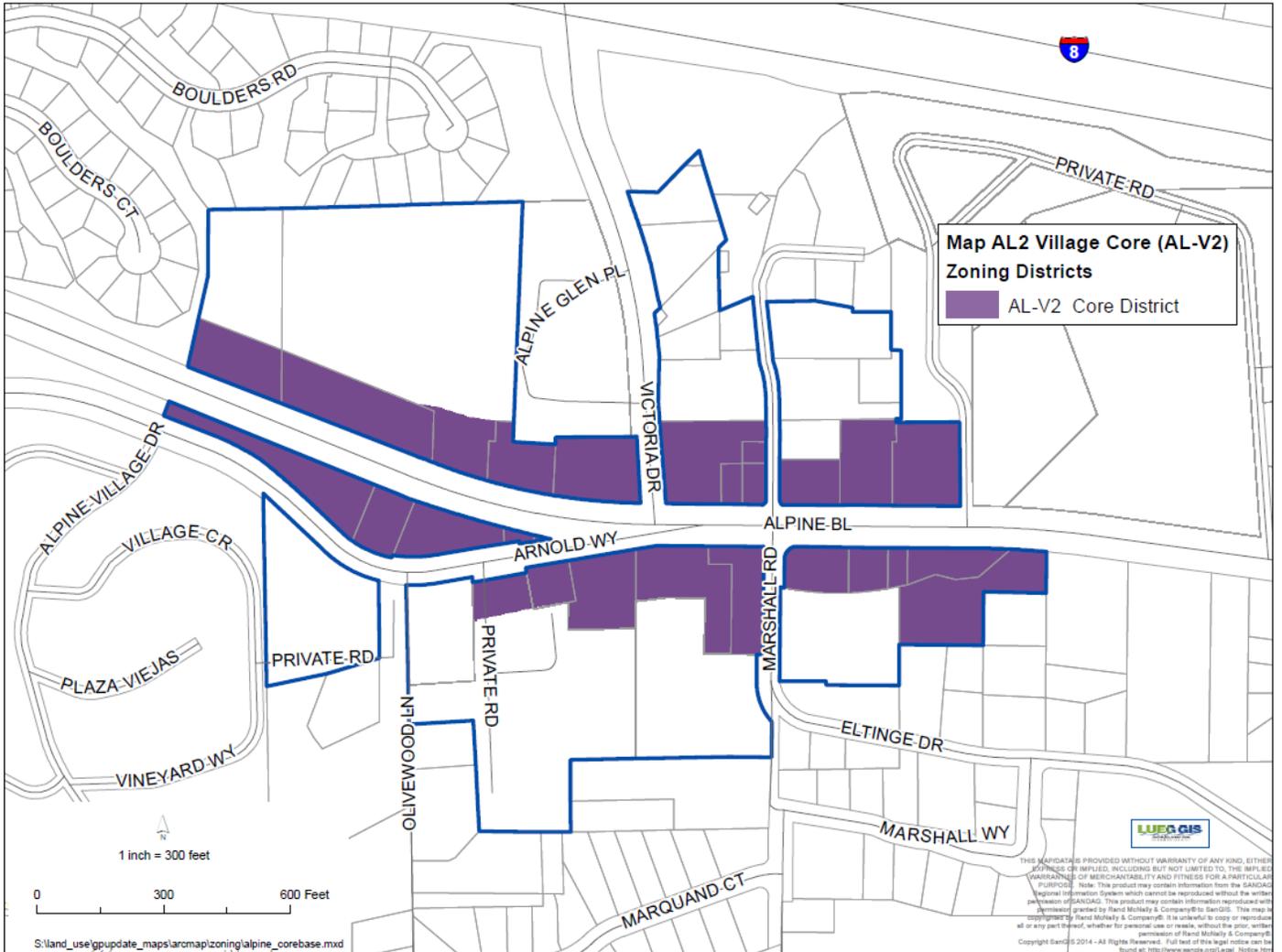
8931 Landscape

Table AL-3.3 Fencing Standards

8932 Building Design Standards

Table AL-3.4 Design Standards Illustrations

MAP AL-2 VILLAGE CORE ZONING DISTRICT



PART EIGHT: 8920 AL-V2 Core District

Lots located within the AL-V2 Core District (AL-V2) shall be subject to the requirements of this section.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table AL-3.1). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (§8921). These Public Frontage requirements are located in § Public Thoroughfares Design Standards.

8921 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 25 feet and a maximum width of 150 feet, measured at the Frontage Line (see Table AL-2.1).

8922 Building and Land Use

- a. Permitted Uses for Lots designated as AL-V2 are listed on Table AL-1.0.
- b. Buildings may combine three (3) or more Uses.
- c. Existing Commercial Uses less than 3,000 square feet shall be exempt from parking space requirements.
- d. Outdoor cafe seating and sidewalk cafes shall be allowed on Commercial Use fronting onto Alpine Blvd, where feasible.

8923 Parking and Storage

- a. All parking lots, garages and Parking Structures shall be located at the second and third Lot Layers as illustrated on Table AL-3.0.d.
- b. Vehicular entrances to parking lots, garages and Parking Structures shall be no wider than twenty-four (24) feet at the Lot Frontage.
- c. Open parking areas shall be masked from view at the Public Frontage by a Building, Fence, Landscaping, or Streetscreen, excluding pedestrian access and vehicular entrances.

8924 Building Placement

- a. Buildings shall be set back in relation to the boundaries of their Lots as specified on Table AL-3.0.
- b. Lot coverage by buildings shall be a maximum of 80% of the Lot area.
- c. The Principal Entrance of any Primary Building shall be oriented towards the Frontage Line.
- d. Facade Buildout of Primary Building facades shall be a minimum of 60% at the Front Setback.

8925 Building Height

- a. The maximum height of a Primary Building shall be up to two (2) floors and 35-foot maximum height as specified on Table AL-3.0.a.
- b. The maximum height of an Outbuilding shall be two (2) floors and 35-foot maximum height as specified on Table AL-3.0.

8926 Storm Water Management

- a. Pervious Paving techniques shall be allowed in the first, second and third Lot Layers (see Table AL-2.1).
- b. Pervious Paving techniques shall be used where possible for Civic Spaces, Courtyards, Driveways, Forecourts, Parking Lots, and Patios.
- c. Pervious Paving materials shall be limited to large aggregate Concrete and Asphalt, Pea Gravel/ Washed Stone, or Stone Pavers.
- d. Channeling facilities shall be allowed in the first, second and third Lot Layer.
- e. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- f. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- g. Storage facilities shall be allowed in the second and third Lot Layers (See Table AL-2.1).
- h. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater.
- i. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- j. Filtration facilities shall be allowed in the second and third Lot Layers.
- k. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- l. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden and Green Roof(s).

PART EIGHT: 8920 AL-V2 Core District

Table AL-3.0 AL-V2 SUMMARY TABLE

BUILDING PLACEMENT

Principle Building	First / Second Lot Layer
Outbuilding	Second / Third Lot Lay

LOT OCCUPATION

Lot Coverage	100% max.
Facade Building at Setback	80% min.

PRINCIPLE BUILDING SETBACKS

Primary Front Setback (First Layer)	0 ft. min. 15 ft. max.
Secondary Front Setback (First Layer)	0 ft. min. 15 ft. max.
Side Setback	0 ft. min. 24 ft. max.
Rear Setback	3 ft. min.

OUTBUILDING SETBACKS

Front Setback	40 ft. max. from rear
Side Setback	0 ft. or 3 ft. at corner
Rear Setback	3 ft. min.

BUILDING HEIGHT (STORIES)

Principle Building	2 max.
Principle Building on Corner Lot	3 max.
Outbuilding	2 max.

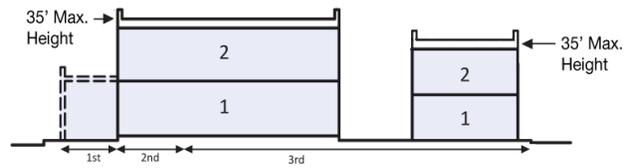
ENCROACHMENTS

i. Within Setback Encroachments	
Open Porch	Not permitted
Balcony and/or Bay Window	100% max.
Stoop or Terrace	100% max.
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	100% max.
iii. Encroachment Depths	
Porch	Not permitted
Gallery	10 ft. min.
Arcade	12 ft. min.

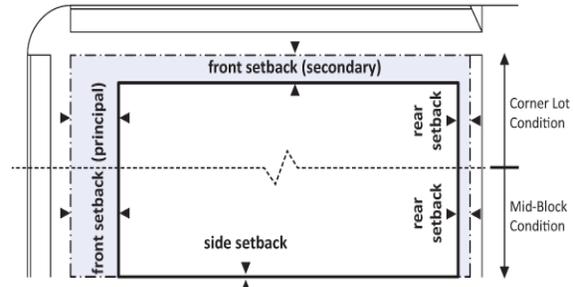
PARKING LOCATION

2 nd Layer	Not permitted
3 rd Layer	Permitted

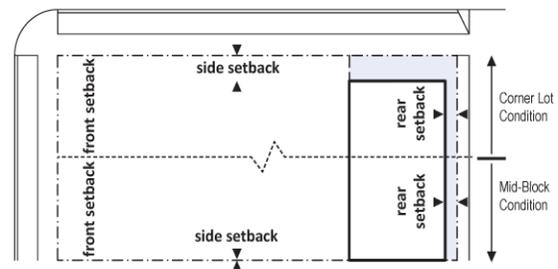
A. PRINCIPLE BUILDING AND OUTBUILDING HEIGHT DIAGRAM



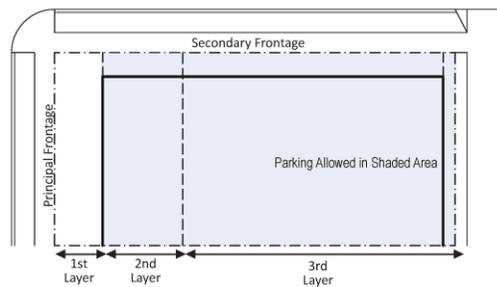
B. PRINCIPLE BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM



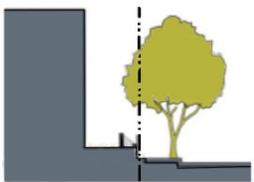
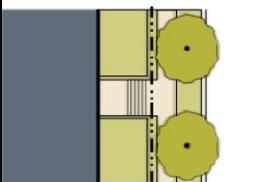
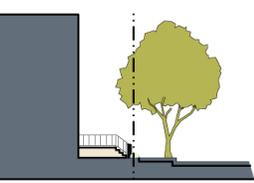
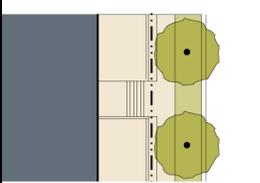
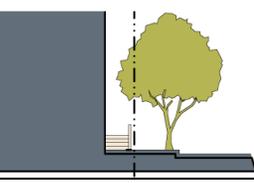
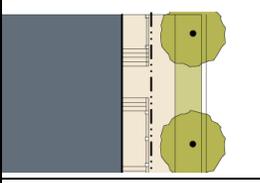
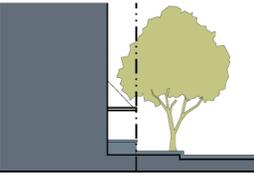
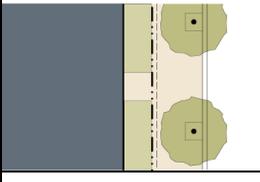
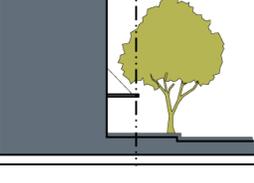
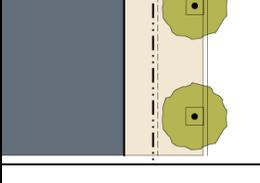
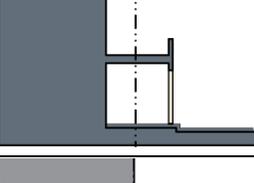
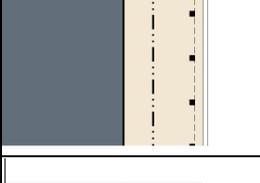
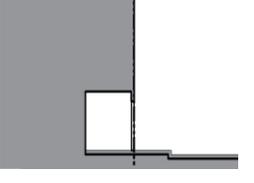
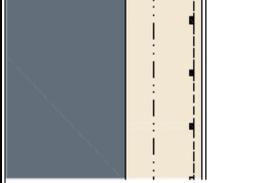
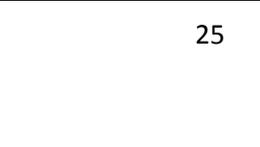
8927 Private Frontages

- Dooryards, Stoops, Terraces, Entry Planters, balconies, bay windows, and roof overhangs may Encroach within the first Lot Layer 100% of its depth as specified on Table AL-3.1.
- Awnings, Arcades, and Galleries may Encroach the Public Sidewalk Frontage 100% of its depth and shall clear the Sidewalk vertically by at least eight (8) feet as specified on Table AL-3.1.
- A first Story Residential and/or Lodging Use shall be raised a minimum of three (3) feet from the average grade of the Sidewalk with a Dooryard, Terrace, Stoop and/or Entry Planter Frontage Type (see Table AL-3.1).
- A first Story Commercial Use shall be at grade from the Sidewalk with an Entry Planter Frontage, Awning or Gallery Frontage Type (see Table AL-3.1).
- All openings, including porches, Galleries, Arcades and windows shall be square or vertical in proportion, excluding windows required for Commercial Uses.
- The habitable living area of an Accessory Unit within an Outbuilding shall not exceed 576 square feet.

PART EIGHT: 8920 AL-V2 Core District

- g. Loading docks and service areas shall be permitted on Frontages by Exception §8905.
- h. In the absence of a building Facade along any part of a Primary Frontage Line not associated with automobile and pedestrian access, a Streetscreen is allowed to be built along the same vertical plane as the Facade.
- i. Streetscreens should be three and a half (3.5) feet in height. The Streetscreen may be replaced by a hedge or fencing by Exception. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- j. Buildings with a Commercial Use and paved first Lot Layer should use the first Lot Layer for outdoor seating.

TABLE AL-3.1 AL-V2 ENCROACHMENT SPECIFICATIONS

Frontage Type	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1 st Layer)	Public Sidewalk Encroachment	Height / Depth
a. Dooryard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.					100%	Not Permitted	Not Applicable
b. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.					100%	Not Permitted	Not Applicable
c. Stoop: an exterior stair and landing leading to an elevated first Story of a Building.					100%	Not Permitted	Not Applicable
d. Entry Planter: a raised or at grade vegetative planter at one or both sides of the building's Principal Entrance					100%	Not Permitted	Not Applicable
e. Awning: a window covering attached to an exterior wall of a building.					100%	To within 2 FT of the curb	8 FT clearance 10 FT depth
f. Gallery: an attached, cantilevered shed or a lightweight colonnade extending from a building facade to overlap the Sidewalk.					100%	To within 2 FT of the curb	8 FT clearance 10 FT depth
g. Arcade: colonnade supported upper stories of a building projecting over the Sidewalk, where the Façade of the first Story remains at or behind the Frontage Line.					100%	To within 2 FT of the curb	8 FT clearance 10 FT depth

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8928 Signage

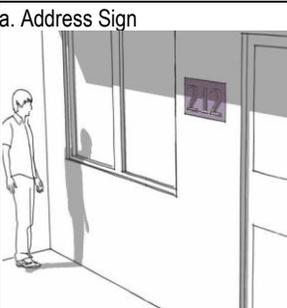
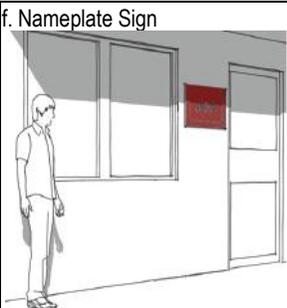
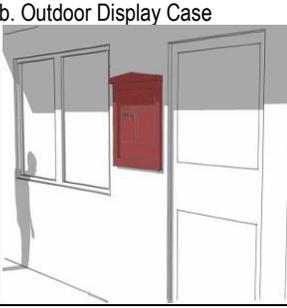
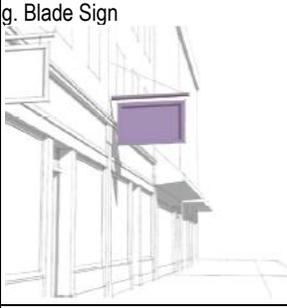
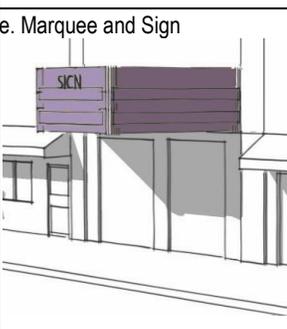
- a. Permitted signage types shall conform to the specifications of Table AL-3.2.
- b. Permitted signage types shall be located along the Primary Frontage in the first Lot Layer (See Table AL-3.0.d).
- c. One (1) square foot of signage is the maximum allowed signage area per every 25 feet of Principal Building Frontage on both the ground and upper floors in first and second Lot Layers.
- d. The only additional signage area allowed within the third Lot Layer and/or on Outbuildings is either one (1) Address (Table AL-3.2.a) or Nameplate Sign (Table AL-3.2.f).
- e. Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of each unit they identify.
- f. Awning Signage shall be limited to no more than seventy percent (70%) of the Valance of the awning or the vertical portion of a dome awning. The height of the Valance shall not exceed twelve (12) inches. Awning Signs shall contain only the business name, logo, and/or street address. Awning Signs may encroach into the Public Sidewalk Frontage.
- g. One (1) Band Sign limited to 90% of the width of the Building Facade shall be permitted for each building with a Commercial Use. Information shall consist only of the name and/or logo of the business.
- h. Blade Signs shall be permitted only for businesses that have a Principal Entrance on the ground floor.
- i. One (1) Blade Sign shall be permitted for each business if the Facade is setback no more than five (5) feet from the Principal Frontage Line. Blade Signs may encroach into the Public Sidewalk Frontage up to four (4) feet, and shall clear the Sidewalk by at least eight (8) feet, and shall not encroach above the bottom of any second Story windows. Blade Signs shall be limited to the name and/or logo of the business.
- j. Marquees shall be located only above the Principal Entrance of a building, shall provide a minimum clearance of ten (10) feet, and may encroach upon the Public Sidewalk Frontage to within two (2) feet of the Curb. Message Boards shall be permitted as part of Marquees and are only allowed by Exception (§8905).
- k. One (1) Nameplate per address limited to three (3) square feet and consisting of either a panel or individual letters applied to a building wall, and may be attached to a building wall within ten (10) feet of a Principal Entrance.
- l. Outdoor Display Cases shall not exceed six (6) square feet and may be internally illuminated.
- m. Signage advertising a Commercial Use(s) shall be externally illuminated by down or angled shielded lighting with narrow reflector openings.

8929 Lighting

- a. All lighting within and internal to a Lot shall be designed to maintain the natural Dark Sky character of Alpine.
- b. No lighting level measured at the building Frontage Line shall exceed 2.0 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. The Storefront Beam is the ideal location for awnings, signage and lighting elements as illustrated on Table AL-3.4.a.
- e. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas, and 12 feet elsewhere
- f. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on human-scaled posts.
- g. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322.

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TABLE AL-3.2 AL-V2 SIGNAGE STANDARDS

		SPECIFICATIONS				SPECIFICATIONS	
 <p>a. Address Sign</p>	Quantity	1 per address	 <p>f. Nameplate Sign</p>	Quantity	1 per address		
	Area	2 s.f. max.		Area	3 s.f. max.		
	Width	24 in. max.		Width	18 in. max.		
	Height	12 in. max.		Height	2 ft. max.		
	Depth / Projection	3 in. max.		Depth / Projection	3 in. max.		
	Clearance	4.5 ft. min.		Clearance	4 ft. min.		
	Apex	Not applicable		Apex	7 ft. max.		
Letter Height	6 in. max.	Letter Height	Not applicable				
 <p>b. Outdoor Display Case</p>	Quantity	1 per address	 <p>g. Blade Sign</p>	Quantity	1 per façade, 2 max		
	Area	6 s.f. max.		Area	6 s.f. max		
	Width	3.5 ft. max.		Width	4 ft. max		
	Height	3.5 ft. max.		Height	4 ft. max		
	Depth / Projection	5 in. max.		Depth / Projection	4 ft. max		
	Clearance	4 ft. min.		Clearance	8 ft. min		
	Apex	Not applicable		Apex	Not applicable		
Letter Height	Not applicable	Letter Height	8 in. max				
 <p>c. Band Sign</p>	Quantity	1, 2 for corner building	 <p>h. Window Sign</p>	Quantity	1 per window		
	Area	1.5 s.f. per linear feet of facade		Area	25% of glass max		
	Width	90% per width of facade max		Width	varies		
	Height	3 ft. max.		Height	varies		
	Depth / Projection	7 in. max.		Depth / Projection	Not applicable		
	Clearance	7 ft. max.		Clearance	4 ft. min.		
	Apex	Not applicable		Apex	Not applicable		
Letter Height	18 in. max.	Letter Height	8 in. max.				
 <p>d. Awning and Sign</p>	Quantity	1 per window	 <p>i. Monument</p>	Quantity	1 per business		
	Area	Not applicable		Area	Not Applicable		
	Width	Width of awning		Width	Width of entrance plus 2 ft. each side		
	Height	Not applicable		Height	50% story height max.		
	Depth / Projection	4 ft. min.		Depth / Projection	4 ft. min; 10 ft. max		
	Clearance	4.5 ft. min		Clearance	Not Applicable		
	Apex	Not applicable		Apex	Not applicable		
Letter Height	5 in. min., 10 in. max.	Letter Height	3 ft. max.				
 <p>e. Marquee and Sign</p>	Quantity	1 per business	<p>j. Reserved</p>	Quantity			
	Area	Not Applicable		Area			
	Width	Width of entrance plus 4 ft. on center		Width			
	Height	50% story height max		Height			
	Depth / Projection	4 ft. min.; 10 ft. max.		Depth / Projection			
	Clearance	Not Applicable		Clearance			
	Apex	Not applicable		Apex			
Letter Height	3 ft. min.	Letter Height					

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8930 Fencing

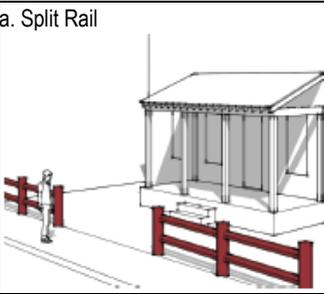
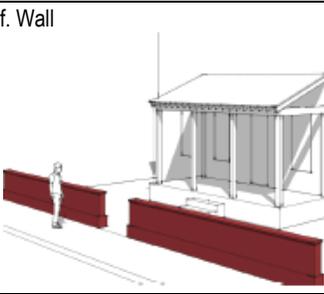
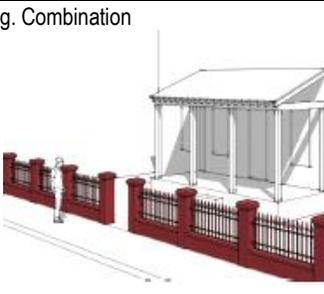
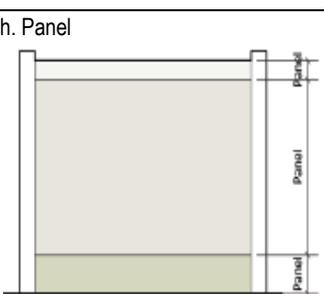
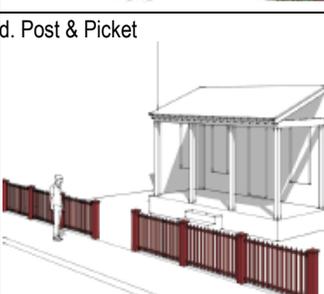
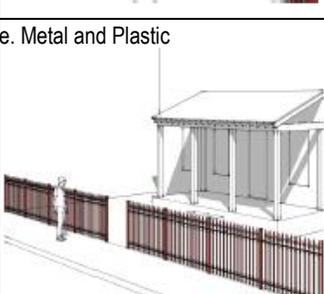
- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table AL-3.3 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. All Fencing fronting Alpine Boulevard shall not exceed three (3) feet in height; all others shall not exceed six (6) feet.
- d. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or landscaped with post hedges shall be setback 18 inches from property line.
 - ii. Split Rail, Post, stone and brick may be painted or have a natural finish.
 - iii. Picket, metal and stucco fencing materials should have a painted finish.
 - iv. Combined Fencing materials shall have heavier materials below the upper lighter materials.
 - v. Streetscreens are required for screening parking areas from thoroughfares. Specific designs shall be incorporated along the Primary Frontage Line and should follow the general pattern diagrammed on Table AL-3.3.j and §8932.h/i:
- e. Streetscreens shall be located along the Primary and Secondary frontage line of the second Lot Layer.
 - i. Streetscreens should be of a similar design to the adjacent Building Facade or Landscape material and pattern.
 - ii. Streetscreen should continue the vertical planes of the adjacent Building Façade(s).
 - iii. Streetscreens shall be between three and a half (3.5) and eight (8) feet in height. The Streetscreen should consist of walls, hedges or fencing.
 - iv. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.

8931 Landscape (On-Site Private Lot Landscaping - For Public Frontage Landscape Reference 8970)

- a. The first Lot Layer shall have a hardscaped surface treatment with a uniform material, color and pattern. A more rural landscape pattern and character should be allowed in the first and second Lot Layers.
- b. Privately owned but publicly accessible spaces (i.e.: Shared Civic Space) provided internal to any Lot shall be designed per the Civic Space type characteristics outlined in Table AL-5.1.a-e.
- c. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree per every ten (10) parking spaces. See Table AL-6.4 for Canopy Tree species and characteristics.
- d. Parking and landscaped areas shall utilize §8926 Stormwater paving, channeling, storage, and filtration techniques.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least two (2) inches in depth and Drip irrigation must be installed for ground cover area less than eight (8) feet wide. Refer to County Zoning Ordinance §86.701 et. seq. and the Water Efficient Landscape Design Manual.
- f. Shrubs should be of medium size, low creeping variety and shall a specific list of species as recommended by the Alpine DRB.
- g. Landscaping should consider water quality and Low Impact Development (LID) refinements and allow space for such facilities. Grading design should allow drainage from paved areas to flow to LID facilities.
- h. The following applies to landscaping within the public right-of-way:
 - i. A maintenance agreement or assessment district is required to ensure ongoing maintenance requirements are met.
 - ii. Root barriers are required to avoid interference with underground utilities and paved areas.
 - iii. Tree canopy along Alpine Boulevard should be planted approximately every 40 feet on average.
 - iv. The Street Tree theme and species on Alpine Boulevard should be Alpine DRB approved theme trees.

PART EIGHT: 8920 AL-V2 Core District

TABLE AL-3.3 AL-V2 FENCING STANDARDS

		SPECIFICATIONS				SPECIFICATIONS	
	a. Split Rail	Materials	wood, plastic		f. Wall	Materials	stone, brick, stucco, block
	Finish	paint, stain or natural	Finish		paint or none		
	Setback	0" or 18" for landscape	Setback		0" or 18" for landscape		
	Height	Alpine Blvd.: 3 ft. max Other: 3' min - 6' max	Height		3 ft. max		
	Location	primary and secondary front setback	Location		primary and secondary front setback		
	b. Hedge (Landscape §8111)	Materials	landscape		g. Combination	Materials	stone, brick, stucco, block with metal panels
	Finish	natural	Finish		paint or none / powder coat or paint		
	Setback	18" from edge of curb	Setback		0" or 18" for landscape		
	Height	Alpine Blvd.: 3 ft. max Other: 3' min - 6' max	Height		Alpine Blvd.: 3 ft. max Other: 3' min - 6' max		
	Location	all setbacks	Location		all setbacks		
	c. Post & Hedge (Landscape §8111)	Materials	landscape and wood		h. Panel	Materials	wood or vinyl
	Finish	paint, stain or natural	Finish		paint or stain		
	Setback	18" from edge of curb	Setback		0" or 18" for landscape		
	Height	Alpine Blvd.: 3 ft. max Other: 3' min - 6' max	Height		3' min - 6' max		
	Location	all setbacks	Location		side and rear setbacks		
	d. Post & Picket	Materials	wood, plastic		i. Tree Grate (Landscape §8111)	Materials	metal
	Finish	paint, stain or natural	Finish		paint or stain; 5' x 5' hardscape		
	Setback	0" or 18" for landscape	Setback		not applicable		
	Height	Alpine Blvd.: 3 ft. max Other: 3' min - 6' max	Height		at grade		
	Location	primary and secondary front setback	Location		Alpine Blvd.		
	e. Metal and Plastic	Materials	aluminum or wrought iron		j. Streetscreen (Landscape §8107.h/i)	Materials	stone, brick, block, wood and/or metal
	Finish	Powder coat or paint	Finish		natural paint, or stain		
	Setback	0" or 18" for landscape	Setback		0" or 18" for landscape		
	Height	Alpine Blvd.: 3 ft. max	Base Height		3.5 ft. min.		
	Location	primary and secondary front setback	Upper Cornice Line Height		16 ft. max. opening between matching building cornice line and base		
		Picket Spacing	2.5 times width of picket				

PART EIGHT: 8920 AL-V2 Core District

8932 Building Design Standards (From Building Base to Roof)

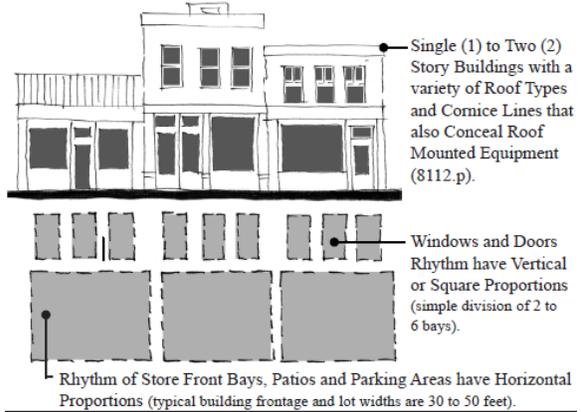
- a. The exterior finish material on all Facades shall be limited to brick, adobe, nature stone, tinted and textured concrete, heavy timber, wood siding or stucco.
- b. All Facades shall be glazed with clear glass no less than 30% of the first Story.
- c. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
- d. Buildings with a first Story Commercial Use shall have a zero-step Principal Entrance on Alpine Boulevard and a maximum 70% window/entry opening to solid wall Fenestration ratio for the first Story (see Table AL-3.4.e).
- e. Building wall materials shall be combined on each Facade only horizontally, with the heavier below the lighter.
- f. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building and may be located on the Principal or Secondary Frontage Line.
- g. Doorways and windows without exterior shading shall be recessed from the plane of the Facade or Elevation of a building two (2) inches in depth for every one (1) foot in height.
- h. Shutters, if present on upper floors, should be exactly 1/2 the width of the window they are intended to cover.
- i. Streetscreens shall be of similar design elements to the Facade of buildings they abut.
- j. Upper floors shall be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias.
- k. Balconies shall be constructed of reinforced concrete, wood or metal and shall be visually supported by columns or brackets (see Table AL-3.4.b).
- l. Buildings shall have gable, hip, shed or flat roofs.
- m. Finish material for any sloped roof shall be limited to clay tile, concrete tile, composition shingles, or standing seam or metal.
- n. Eaves of sloped roofs shall project from the walls of a building to create deep overhangs that shade the building and adjacent sidewalks.
- o. Buildings with flat or rear sloping shed roofs shall have a simple or articulated front parapet a minimum of 42 inches high.
- p. Roof mounted equipment shall be setback and screened from view from adjacent thoroughfares and pedestrian walkways.
- q. Where solar panels are attached to buildings they shall be integrated into the architectural design of the building.
- r. Lots with a Primary Frontage abutting Alpine Boulevard shall be subject to the following additional requirements as listed in Table AL-3.4 Alpine Boulevard Design Standards Illustrations, provided for illustrative purposes only:
 - i. Buildings wider than 50 feet shall have their Facades divided into equally proportional bays between 25 ft. to 50 ft. in width as illustrated on Table AL-3.4.d.
 - ii. Buildings wider than 50 feet shall utilize a combination of simple or articulated parapets, alternating eaves or cornice line projections, or multiple front gables to break up the roof line into segments no wider than 50 ft. each as illustrated on Table AL-3.4.b.
 - iii. Principal Entrances for buildings with no Front yard setback shall be recessed 24 to 36 inches.
 - iv. Principal Entrances for buildings at Corner Lot locations shall be located at the corner of the building oriented toward the intersection as illustrated on Table AL-3.4.c.
 - v. Buildings at Corner Lot locations shall include a vertical feature or architectural articulation of a type and character that calls attention to the corner as a prominent location.
 - vi. Fenestration patterns on upper Facade area shall be aligned vertically and horizontally, and establish a balanced symmetry in design as illustrated on Table AL-3.4.b.

TABLE AL-3.4 AL-V2 ALPINE BOULEVARD DESIGN STANDARDS ILLUSTRATIONS

a. Store Front Elements

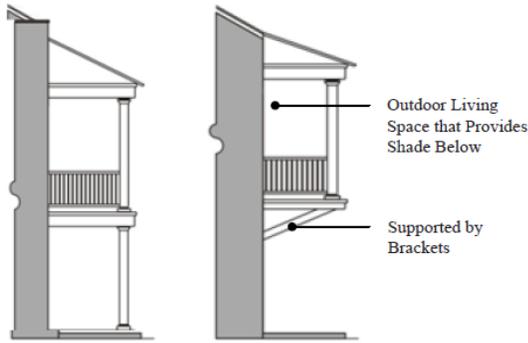


d. Building Rhythm



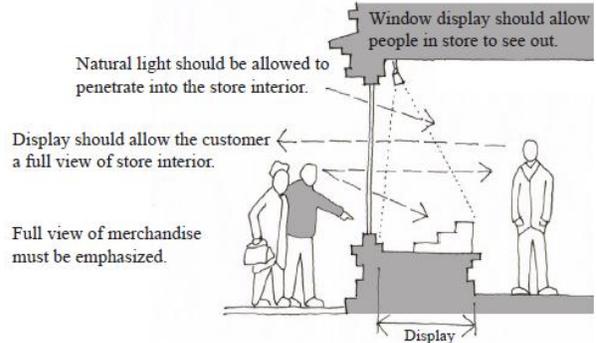
b. Balconies and Overhangs (8932.k)

Balconies and Bays shall be constructed of wood or metal and visually supported by brackets. Upper Stories should enhance outdoor living spaces with verandas, loggias, and roof projects to provide shade below.

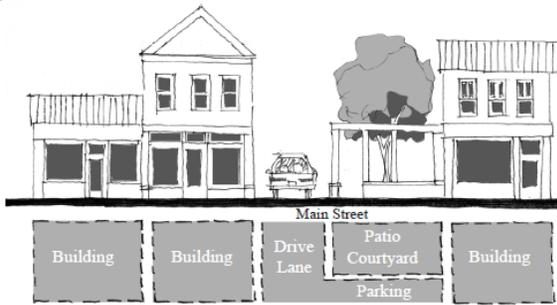


e. Display Windows (8932.d)

Front windows shall have glass display windows.



c. Building Pattern



Organize buildings and opens spaces between them to create outdoor spaces, transitions between indoors and outdoors, and focal points. This pattern will provide clear lanes for automobile and pedestrian access while minimizing the number of curb openings onto Alpine Boulevard.

f. Building Character and Materials (8932.e)



- i. Lightest at Top:**
Metal, Clay Tile, Concrete Tile and Shingles
- ii. Lighter Middle:**
Wood
Stucco
Exposed Beams/
Columns
- iii. Heaviest at Base:**
Granite
Block / Concrete
Brick
Heavy Timber/Beam

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8940 AL-V1 Edge District

Map AL-3 Edge (AL-V1) Zoning District Map

8941 Lot

8942 Building and Land Use

8943 Parking and Storage

8944 Building Placement

8945 Building Height

8946 Stormwater Management

8947 Building Design Standards

Table AL-4.0 Form-Based Code

8948 Private Building Frontages

Table AL-4.1 Encroachment

8949 Signage

Table AL-4.2 Signage Standards

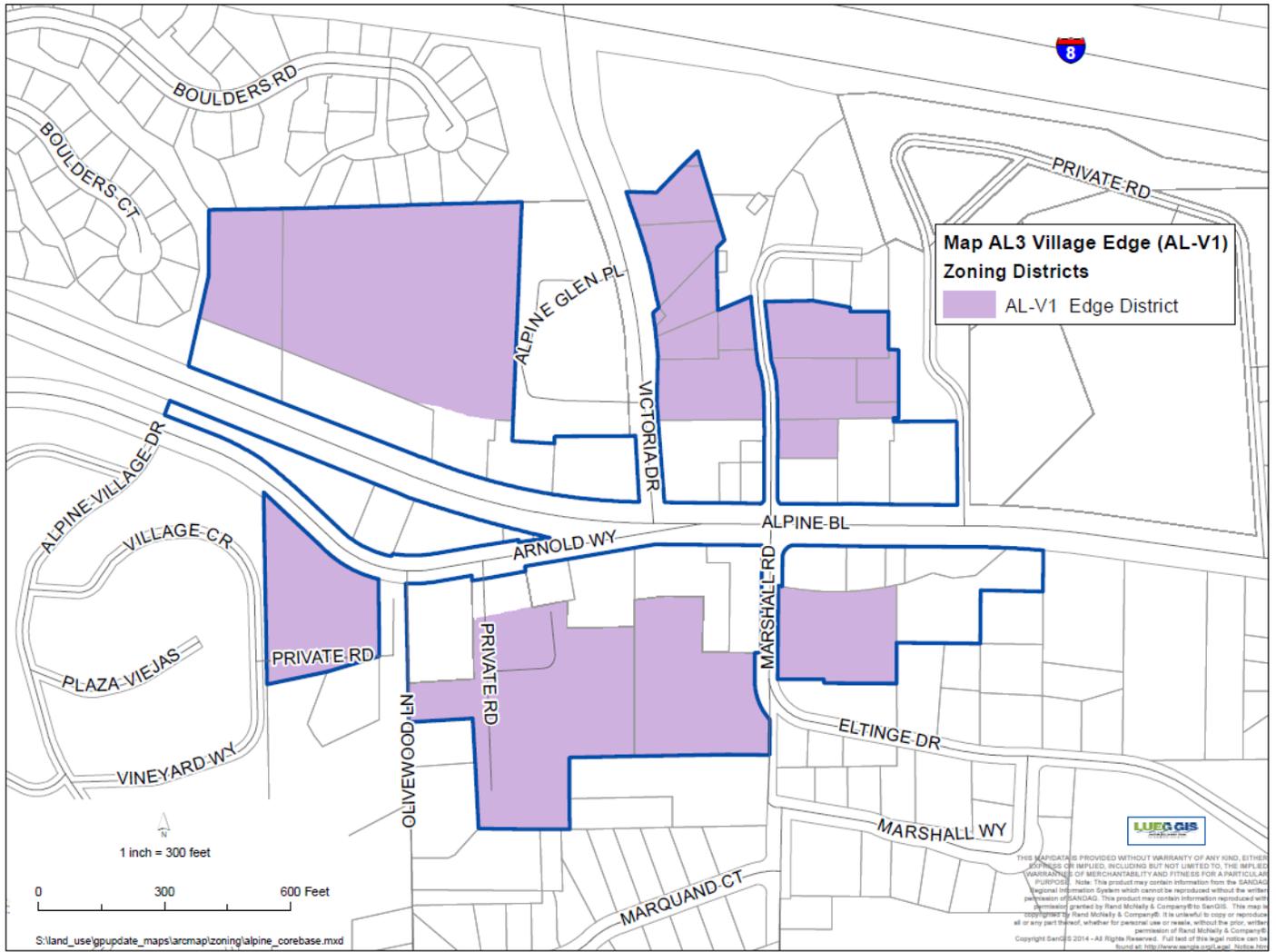
8950 Lighting

8951 Fencing

8952 Landscape

Table AL-4.3 Fencing

MAP AL-3 VILLAGE EDGE ZONING DISTRICT



PART EIGHT: 8940 AL-V1 Edge District

Lots located within the Alpine Village Core - Edge District (AL-V1) shall be subject to the requirements of this section.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table AL-3.1). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (§8941). These Public Frontage requirements are located in §8970 Public Thoroughfares Design Standards.

8941 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 25 feet and a maximum width of 100 feet, measured at the Frontage Line (see Table AL-2.1).

8942 Building and Land Use

- a. Permitted Uses for Lots designated as V1 are listed on Table AL-1.0.
- b. Buildings may combine two (2) Uses.

8943 Parking and Storage

- a. Driveways shall comply with the County's Public Road Standards.
- b. All parking areas and garages shall be located in the second and third Lot Layer as illustrated on Table AL-4.0.

8944 Building Placement

- a. One (1) Primary Building and one (1) Outbuilding may be built on each Lot as specified on Table AL-4.0.
- b. Buildings shall be setback in relation to the boundaries of their Lots as specified on Table AL-4.0.
- c. Lot coverage by Buildings and impermeable surfaces shall be a maximum of 60% of the Lot area.
- d. Facade Buildout of Primary building Facades shall be a minimum of 40% of the Lot's width at the Front Setback.

8945 Building Height

- a. The Principal Entrance of any Primary Building shall be oriented toward a Frontage Line.
- b. The maximum height of a Primary Building shall be two (2) floors and 35 feet maximum height as specified on Table AL-4.0.
- c. The maximum height of an Outbuilding shall be two (2) floors and 35 feet maximum height as specified on Table AL-4.0.

8946 Storm Water Management

- a. Pervious Paving techniques shall be allowed in the first, second and third Lot Layers (see Table AL-2.1).
- b. Pervious Paving techniques should be used where possible for Civic Spaces, Courtyards, Driveways, Forecourts, Parking Lots, and Patios.
- c. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- d. Channeling facilities shall be allowed in the first, second and third Lot Layer.
- e. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- f. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- g. Storage facilities shall be allowed in the second and third Lot Layers (See Table AL-2.1).
- h. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to a natural drainage creek.
- i. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- j. Filtration facilities shall be allowed in the second and third Lot Layers.
- k. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- l. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden and Green Roof(s).

8947 Building Design Standards (From Building Base to Roof)

- a. The exterior finish material on all Facades should be limited to brick, adobe, native stone, tinted and textured concrete, wood siding or stucco.
- b. Building wall materials should be combined on each Facade only horizontally, with the heavier materials below the upper lighter materials.

PART EIGHT: 8940 AL-V1 Edge District

- c. Principal Entrances should be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building.
- d. Shutters, if present on upper floors, should be exactly 1/2 the width of the window they are intended to cover.
- e. Upper floors should be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias.
- f. Balconies should be constructed of wood or metal and shall be visually supported by brackets.
- g. Finish material for any sloped roof shall be limited to clay tile, concrete tile, composition shingles, or standing seam or metal.
- h. Eaves of sloped roofs shall project from the walls of a building with sealed soffits.
- i. Roof mounted equipment should be setback and screened from view from adjacent thoroughfares and pedestrian walkways.
- j. Where solar panels are attached to buildings they should be integrated into the architectural design of the building.

Table AL-4.0 AL-V1 SUMMARY TABLE

A. BUILDING PLACEMENT

Principle Building	First / Second Lot Layer
Outbuilding	Second / Third Lot Layer

B. LOT OCCUPATION

Lot Coverage	70% max.
Façade Building at Setback	60% min.

C. PRINCIPLE BUILDING SETBACKS

Primary Front Setback (First Layer)	8 ft. min. 15 ft. max.
Secondary Front Setback (First Layer)	6 ft. min. 15 ft. max.
Side Setback	6 ft. min. 24 ft. max.
Rear Setback	10 ft. min.

D. OUTBUILDING SETBACKS

Front Setback	40 ft. max. from rear
Side Setback	6 ft. or 6 ft. at corner
Rear Setback	3 ft. min.

E. BUILDING HEIGHT (STORIES)

Principle Building	2 max.
Outbuilding	2 max.

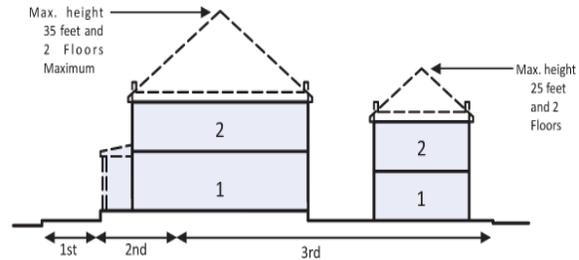
F. ENCROACHMENTS

i. Within Setback Encroachments	
Open Porch	Not permitted
Balcony and/or Bay Window	100% max.
Stoop or Terrace	100% max.
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	100% max.
iii. Encroachment Depths	
Porch	Not permitted
Gallery	Not permitted
Arcade	Within 5 ft. of back of curb.

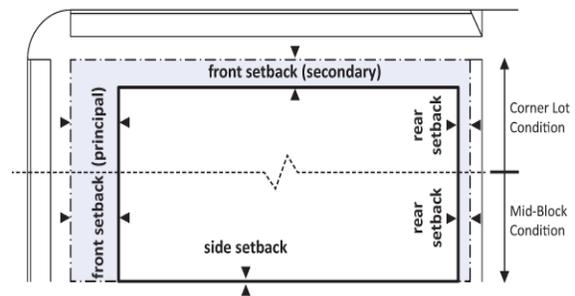
G. PARKING LOCATION

2 nd Layer	Permitted
3 rd Layer	Permitted

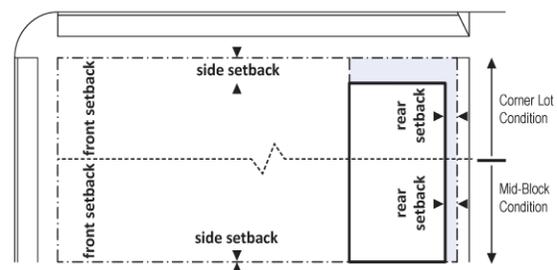
1. PRINCIPLE BUILDING AND OUTBUILDING HEIGHT DIAGRAM



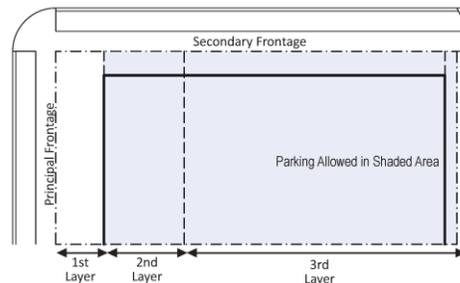
2. PRINCIPLE BUILDING PLACEMENT DIAGRAM



3. OUTBUILDING PLACEMENT DIAGRAM



4. PARKING AND STORAGE LOCATION DIAGRAM

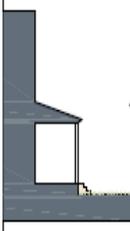
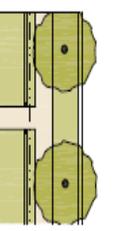
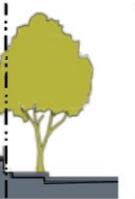
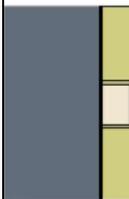
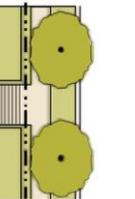
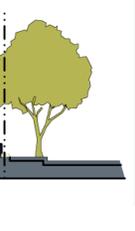
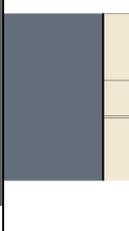
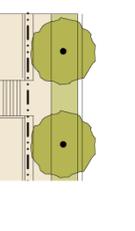
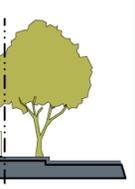
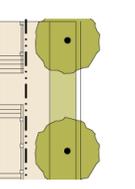
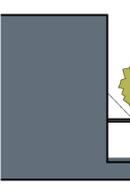
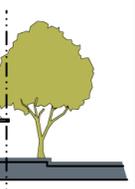
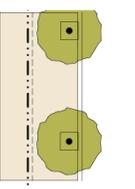


PART EIGHT: 8940 AL-V1 Edge District

8948 Private Building Frontages

- Open Porches, Dooryards, Stoops, Terraces, balconies, and bay windows may Encroach within the first Lot Layer 50% of its depth as specified on Table AL-4.1.
- Awnings may Encroach within the Public Sidewalk as specified on Table AL-4.1.
- All Facades shall be glazed with clear glass no less than 30% of the first Story.
- Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.

TABLE AL-4.1 AL-V1 ENCROACHMENT SPECIFICATIONS

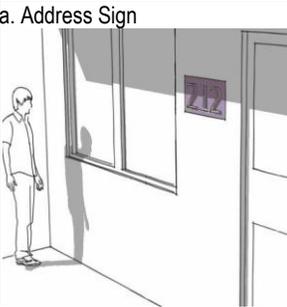
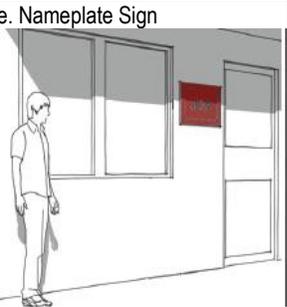
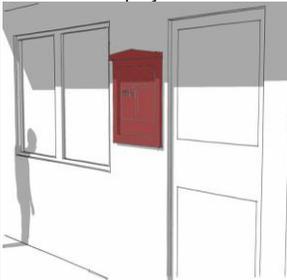
Frontage Type	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1 st Layer)	Public Sidewalk Encroachment	Height / Depth
a. Porch: a roof covered, raised platform at the entrance to a building.					100%	Not Permitted	Not Applicable
b. Dooryard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.					100%	Not Permitted	Not Applicable
c. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.					100%	Not Permitted	Not Applicable
e. Stoop: an exterior stair and landing leading to an elevated first Story of a Building.					100%	to within 5 ft. of the Curb	10 ft. clearance 8 ft. depth
f. Awning: a window covering attached to an exterior wall of a Building.					100%	to within 5 ft. of the Curb	10 ft. clearance 8 ft. depth

PART EIGHT: 8940 AL-V1 Edge District

8949 Signage

- a. Address, Awning, Blade, Nameplate, Outdoor Display Case, Window and Yard Signs shall be permitted.
- b. Band Signs shall only be permitted on ground floor Commercial Uses.
- c. Permitted signage types shall conform to the specifications of Table AL-4.2.
- d. Signage shall be externally illuminated by down or angled shielded lighting.

TABLE AL-4.2 AL-V1 SIGNAGE STANDARDS

SPECIFICATIONS			SPECIFICATIONS		
 <p>a. Address Sign</p>	Quantity	1 per address	 <p>e. Nameplate Sign</p>	Quantity	1 per address
	Area	2 s.f. max.		Area	3 s.f. max.
	Width	24 in. max.		Width	18 in. max.
	Height	12 in max.		Height	2 ft. max.
	Depth / Projection	3 in max.		Depth / Projection	3 in max.
	Clearance	4.5 ft. min.		Clearance	4 ft. max.
	Apex	Not applicable		Apex	7 ft. max.
Letter Height	6 in. max.	Letter Height	Not applicable		
 <p>b. Outdoor Display Case</p>	Quantity	1 per address	 <p>f. Blade Sign</p>	Quantity	1 per façade, 2 max
	Area	6 s.f. max.		Area	6 s.f. max
	Width	3.5 ft. max.		Width	4 ft. max
	Height	3.5 ft. max.		Height	4 ft. max
	Depth / Projection	5 in max.		Depth / Projection	4 ft. max
	Clearance	4 ft. max.		Clearance	8 ft. min
	Apex	Not applicable		Apex	Not applicable
Letter Height	Not applicable	Letter Height	8 in. max		
 <p>c. Band Sign</p>	Quantity	1, 2 for corner building	 <p>g. Window Sign</p>	Quantity	1 per window
	Area	1.5 s.f. per linear feet of Facade		Area	25% of glass max
	Width	90% per width of Facade max		Width	varies
	Height	3 ft. max.		Height	varies
	Depth / Projection	7 in max.		Depth / Projection	Not applicable
	Clearance	7 ft. max.		Clearance	4 ft.
	Apex	Not applicable		Apex	Not applicable
Letter Height	18 in. max.	Letter Height	8 in. max.		
 <p>d. Awning and Sign</p>	Quantity	1 per window	<p>h. Reserved</p>	Quantity	
	Area	Not applicable		Area	
	Width	Width of awning		Width	
	Height	Not applicable		Height	
	Depth / Projection	4 ft. min.		Depth / Projection	
	Clearance	8 ft. max.		Clearance	
	Apex	Not applicable		Apex	
Letter Height	5 in. min., 10 in. max.	Letter Height			

8950 Lighting

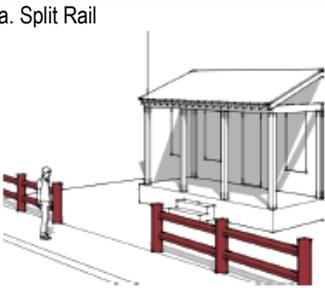
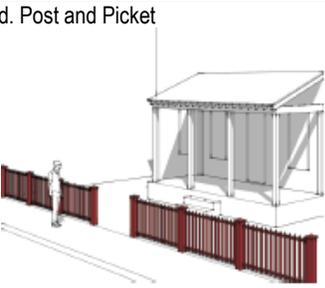
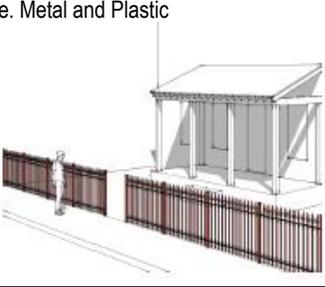
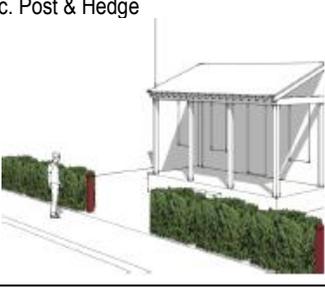
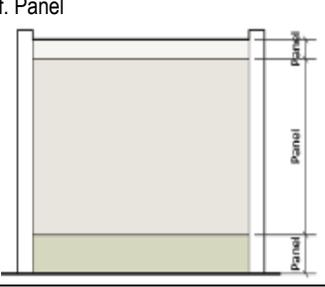
- a. All lighting within and internal to a Lot shall be designed to maintain the natural Dark Sky character of Alpine.
- b. No lighting level measured at the building Frontage Line shall exceed 1.0 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322.

PART EIGHT: 8940 AL-V1 Edge District

8951 Fencing

- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table AL-4.3 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or landscaped with post hedges shall be setback 18 inches from property line.
 - ii. Split Rail, Post, stone and brick may be painted or have a natural finish.
 - iii. Picket, metal and stucco fencing materials should have a painted finish.
 - iv. All Fencing shall not exceed 6 feet in height.
 - v. Combined Fencing materials shall have heavier materials below the upper lighter materials.

TABLE AL-4.3 AL-V1 FENCING STANDARDS

		SPECIFICATIONS				SPECIFICATIONS	
	a. Split Rail	Materials	wood, plastic		d. Post and Picket	Materials	Wood, plastic
		Finish	paint, stain or natural			Finish	Paint, stain or natural
		Setback	0" or 18" for landscape			Setback	0" or 18" for landscape
		Height	3 ft. max			Height	3 ft. min. to 6 ft. max
		Location	primary and secondary front setback			Location	primary and secondary front setback
						Picket Spacing	≤2.5 times width of picket
	b. Hedge	Materials	landscape		e. Metal and Plastic	Materials	Aluminum or wrought iron Plastic
		Finish	natural			Finish	powder coat or paint
		Setback	18" from edge of curb			Setback	0" or 18" for landscape
		Height	3' min to 6' max			Height	3' min to 6' max
		Location	all setbacks			Location	all setbacks
		Plant Type	Evergreen				
	c. Post & Hedge	Materials	landscape and wood		f. Panel	Materials	wood or vinyl
		Finish	paint, stain or natural			Finish	paint or stain
		Setback	18" from edge of curb			Setback	0" or 18" for landscape
		Height	3' min to 6' max			Height	3' min to 6' max
		Location	all setbacks			Location	side and rear setbacks
		Plant Type	Evergreen				

8952 Landscape (On-Site Private Lot Landscaping - For Public Frontage Landscape Reference 8970)

- a. The first Lot Layer should not be paved, with the exclusion of Driveways as specified in §8951.c and walkways leading to Principal Entrances.
- b. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree for every ten (10) parking spaces. See Table AL-6.4 for Canopy Tree species and characteristics.
- c. Parking and landscaped areas shall utilize §8946 stormwater paving, channeling, storage, and filtration techniques.
- d. Shrubs should be of medium sized, low creeping variety and shall include a specific list of species as recommended by the Alpine DRB.

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8960 AL-CD Civic District

Map AL-4 Civic (AL-CD) District Zoning Map

8961 Building and Land Use

8962 Signage

8963 Landscape

8964 Civic Space

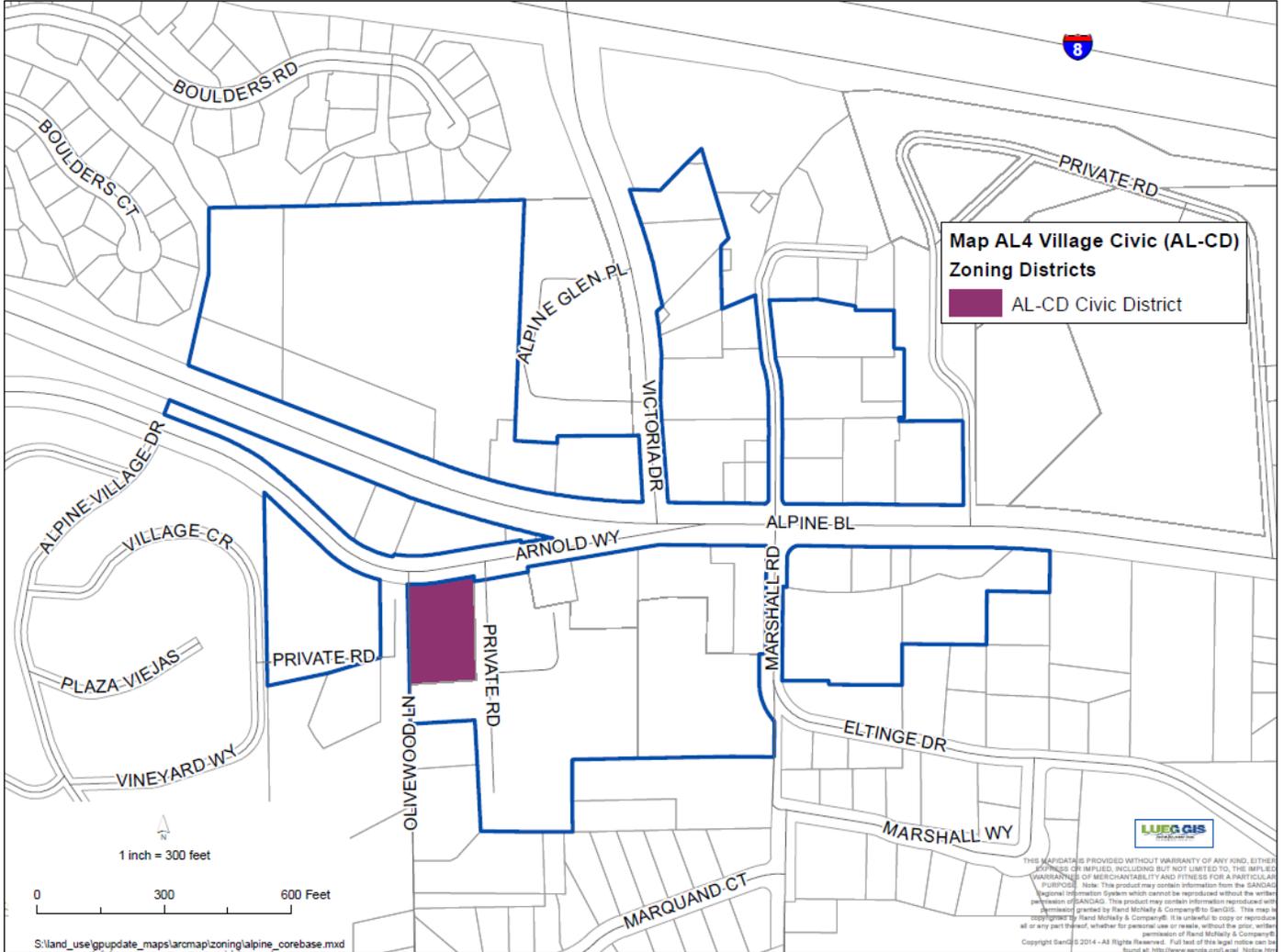
8965 Stormwater Management

8966 Building Design Standards

Table AL-5.0 Civic District Permitted Uses

Table AL-5.1 Civic District Use Types

MAP AL-4 VILLAGE CIVIC ZONING DISTRICT



PART EIGHT: 8960 AL-CD Civic District

Publicly Owned Lots located within the Alpine Civic District (AL-CD) shall be subject to the requirements of this section.

8961 Building and Land Use

- a. Permitted Uses for Lots designated as CD are listed on Table AL-5.0.
- b. If the current Civic District, a Post Office, is ever replaced for Private Development purposes, §8940 - AL-V1 Edge District development standards shall apply.

8962 Signage

- a. All signage shall be allowed by Exception.

8963 Landscape

- a. Parking and landscaped areas shall utilize §8965 stormwater paving, channeling, storage and filtration techniques.

8964 Civic Space

- a. Civic Spaces shall be designed as generally described on Table AL-5.1 and are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- b. Civic Space types shall be determined to be appropriate according to the highest abutting Alpine Village Core District as indicated on Table AL-5.0.

8965 Storm Water Management

- a. Pervious Paving materials should be used where possible for Civic Spaces, Driveways, and Parking Lots.
- b. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, and Pervious Asphalt or Concrete.
- c. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- d. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- e. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the natural drainage creek.
- f. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- g. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- h. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden, and Green Roof(s).

8966 Building Design Standards (From Building Base to Roof)

- a. Civic Buildings shall be permitted by Exception.

TABLE AL-5.0 CIVIC DISTRICT PERMITTED USES

CIVIC	AL-CD
Green	R
Square	R
Plaza	R
Playground	R
Pocket Park	R
Outdoor Auditorium	R
Library	A
Community Center and Facilities	R

TABLE AL-5.0 CIVIC DISTRICT PERMITTED USES (continued)

COMMUNITY SUPPORT	AL-CD
Fire Station	R
Police Station	R
Post Office	R
Cemetery	A

R By Right
A By Exception

TABLE AL-5.1 CIVIC DISTRICT TYPES

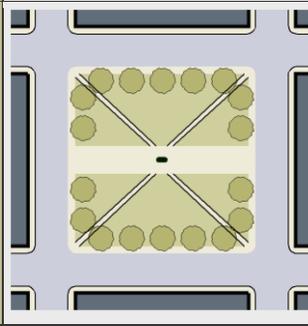
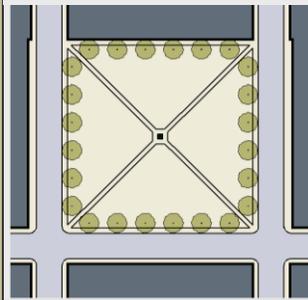
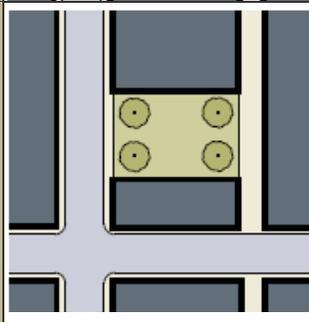
<p>a. Green An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, irregularly disposed. Sections of a Green may be designed specifically for the recreation of children.</p>		<p>AL-V1</p>
<p>b. Square An Open Space available for unstructured recreation and Civic purposes. A Square is free standing in the block pattern of a community, with Thoroughfares on all sides, and can have Civic, Commercial and Residential design characteristics in response to surrounding context. Landscape consists of formally disposed lawns, paths, and trees.</p>		<p>AL-V1</p>
<p>c. Plaza An Open Space available for unstructured recreation and Civic purposes. Plazas are designed as part of a Block/Lot or located internal to a Block/Lot and spatially defined by surrounding buildings. Landscape consists primarily of pavement. Trees are optional.</p>		<p>AL-V1</p>

TABLE AL-5.1 CIVIC DISTRICT TYPES (continued)

<p>d. Playground An Open Space available for unstructured recreation. A Playground provides play space for children and may be designed as standalone spaces or a part of another Civic Space.</p>		<p>AL-V2 AL-V1</p>
<p>e. Pocket Park An Open Space available for unstructured recreation. A pocket park provides greenery and a place to sit outdoors for adults and is typically located within a Block/Lot.</p>		<p>AL-V2 AL-V1</p>

8970 Public Realm: Thoroughfare Design Standards

Map AL-5 – Thoroughfare Map

8971 General Intent

8972 Travel Way

8973 Public Frontage

Table AL-6.0 Public Frontage Diagram

8974 Private Frontage Improvement Requirements

Table AL-6.1 BL – Alpine Boulevard

Table AL-6.2 AV – Arnold Way/ W. Victoria Drive

Table AL-6.3 ST – Marshall Road

Table AL-6.4 Advised Street Tree List

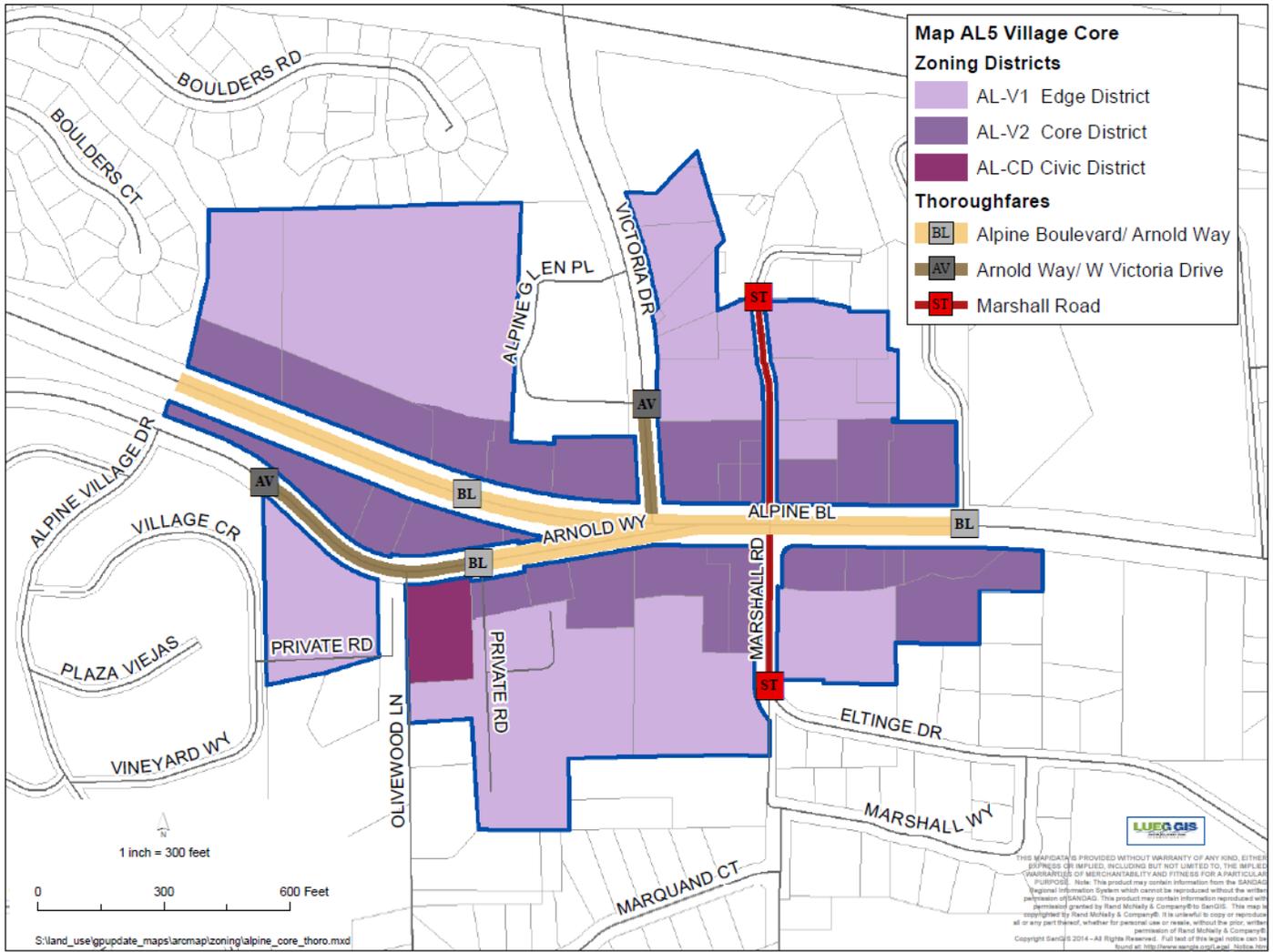
Table AL-6.5 Street Tree Planting Pattern

Table AL-6.6 Pedestrian Crossing

Table AL-6.7 Crosswalk Placement

Table AL-6.8 Lighting

MAP AL-5 VILLAGE CORE THOROUGHFARES



PART EIGHT: 8970 Public Realm - Thoroughfares

Public Thoroughfares located within the Alpine Village Core shall be subject to the requirements of this section and managed by County of San Diego Department of Public Works and is intended to coordinate public and private realm planning.

8971 General Intent

- a. Thoroughfares shall be designed according to their classification type as specified in the County of San Diego Public Road Standards in conformance with the General Plan Mobility Element.
- b. Thoroughfares shall consist of Roadway (curb-to-curb) and Public Frontage (property line to curb).
- c. The San Diego County Department of Public Works (DPW) is not responsible for all construction of all public Right-of-Way within Thoroughfares. Private development shall make frontage and/or off-site improvements. Once improvements are accepted by the County, then the frontage and/or off-site improvements shall be maintained by DPW.
- d. Roadways and Thoroughfares will be designed to meet roadway safety and operation standards.

8972 Travel Way

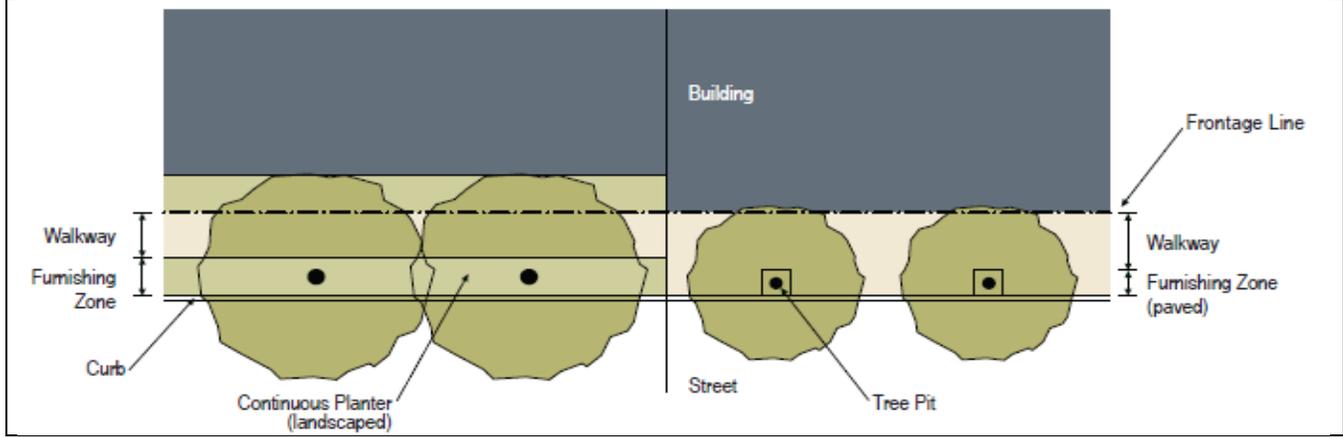
- a. DPW shall be responsible for the maintenance of the Travel lanes to include curb and gutter, on-street parking spaces, bike lane facilities, travel lanes and turning lanes within the public Right-of-Way.

8973 Public Frontage

- a. Public Frontage for each Thoroughfare type shall be designed according to abutting zoning district(s) as specified on Map AL-5.
- b. Public Frontage includes:
 - i. The Furnishing Zone provided to accommodate Street Trees, Public Infrastructure and Public Furniture; and
 - ii. The Walkway provided for pedestrians.
- c. For planting within the Furnishing Zone, permitted species of Street Trees are listed on Table AL-6.4.
- d. Street Trees shall be planted in a regularly-spaced Allee pattern as illustrated on Table AL-6.5. The prescribed Planting Technique, sequence, and spacing of Street Trees are specified for each Thoroughfare type on Tables AL-6.1, AL-6.2, and AL-6.3. The spacing of Street Trees may be adjusted by Exception to accommodate specific site conditions.
- e. When planted, Street Trees shall be a minimum height of ten (10) feet and / or two (2) inches in caliper.
- f. A minimum 25 sq. ft. open soil area shall be left around each Street Tree, centered at the tree trunk with a Tree Grate (Table AL-6.5.i). Mulch shall be applied to the open soil area to a minimum depth of three (3) inches.
- g. Crosswalks are designed to increase in visual contrast based on the potential conflict caused between the vehicular capacity of a Thoroughfare and the number of pedestrians crossing the street and shall be designed as illustrated on Table AL-6.8. Required Crosswalk types are specified for each Thoroughfare type on Tables AL-6.1, AL-6.2, and AL-6.3.
- h. A minimum of 25 sq. ft., 5' x 5', of tree grate covered areas shall be placed around each Street Tree on Alpine Boulevard.
- i. Street Lights shall only be allowed along Alpine Boulevard and at Alpine Boulevard intersections (See Table AL-6.8) to comply with County of San Diego Dark Sky policies.
- j. Public hitching posts, for equestrian activities, shall be allowed on all public Pathways.
- k. Crosswalks shall have a minimum width of 10 feet and shall be aligned on center with the Walkways of the Public Frontage which they connect as illustrated by Table AL-6.8.
- l. At two T Intersections less than 60 feet apart, Crosswalks shall be located as illustrated on Table AL-6.7.
- m. Street Lighting shall be irregularly-spaced to emphasize dark skies and decorative for visual interest as illustrated on Table AL-6.8.
- n. Transit Stops shall have a minimum of a shelter, seating, a visible schedule and orientation signage.
- o. Transit Stops should be attractive, safe, and located in convenient places in which to wait for a transit vehicle.

PART EIGHT: 8970 Public Realm - Thoroughfares

TABLE AL-6.0 PUBLIC FRONTAGE DIAGRAM (ILLUSTRATIONS FOR ADVISORY PURPOSES)



8974 Private Frontage Development Improvement requirements

- a. Construction improvements expected by private development (Based on 2013 cost estimates for 50-foot wide Lots on avg.):
 - i. Street trees: One (1) Tree per every 30 linear feet on center (average) or 1 per every 50 linear feet Lot Bay (\$1,000).
 - ii. Public Furniture: One (1) Street Light every 50-feet on center only on Lots abutting Main Street Frontage Line (\$3,500).
 - iii. Furnishing Zone: 5 - 15 feet wide (10-feet on average) Landscape, ground cover and shrubs (\$1,250).
 - iv. Walkway: 5 - 8 feet wide along the Primary and Secondary frontage of Lots in AL-V1 and AL-V2 (\$7,500).
 - v. Curb/Gutter pan: 1 foot wide for 50 feet Lot width, along Public Frontage Line abutting Main Street Frontage Line (\$1,250).
 - vi. Bicycle Facilities: 1 facility (bicycle storage) on any project over 150 feet in length as measured only on Lots abutting Main Street Frontage Line (\$2,500 each).
 - vii. Time Line: DPW Final Map requirements should be made by 30 days of application approval by Director.
- b. Fees Schedule: Reserved (TBD)

PART EIGHT: 8970 Public Realm - Thoroughfares

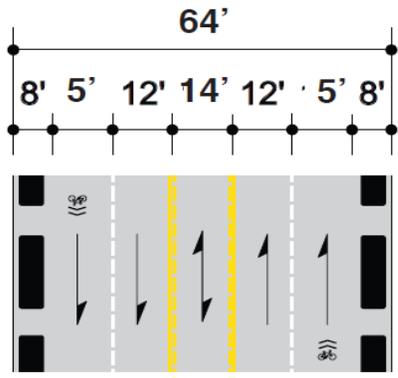
TABLE AL-6.1 THOROUGHFARE TYPES

BL - ALPINE BOULEVARD (Light Collector)

A. GENERAL

CONTEXT
 Village Core Zones: AL-V2 and AL-CD

SPECIFICATIONS
 Total R.O.W: 88 feet
 Road Surface Width: 50 - 64 feet
 Public Frontage Width: 12 feet each side
 The design of the Public Frontage varies according to the Zoning District designation of abutting lots (see below).



(ILLUSTRATION FOR ADVISORY PURPOSES)

B. ROADWAY (ROAD SURFACING)

SPECIFICATIONS
 Travel Lanes/Width: 2 / 12 feet; with 5 feet bike lane(s)
 Yield Turning Lane Width: 14 feet
 Parking Lanes/Width: 2 / 8 feet
 Drainage Type: Curb and Gutter

C. PUBLIC FRONTAGE (PARKWAY)

ADJACENT DISTRICT	AL-V2	AL-CD
DESCRIPTION	Alpine Boulevard and Village Center Main Street	Reserved for Future Civic District on Alpine Boulevard
ILLUSTRATION (ADVISORY PURPOSES ONLY)		
FURNISHING ZONE		
Width	12 feet	12 feet
Design	Landscaped	Paved between Street Trees
Planting Technique	Continuous Planter	25 sq. ft. Tree Pit with Tree Grate
Tree Sequence	Various Species	Single Species
Permitted Tree Species	See Table AL-6.4	See Table AL-6.4
Tree Spacing	40 feet o.c. average	Natural Grouping
Lighting Spacing	40 feet o.c. average	Various
WALKWAY		
Width	6 feet	6 feet
Type	Sidewalk	Sidewalk

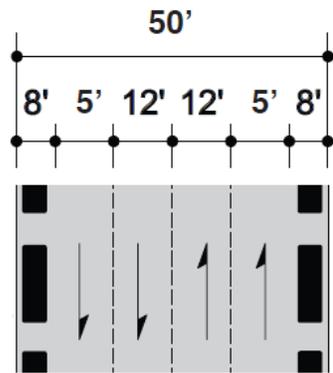
PART EIGHT: 8970 Public Realm - Thoroughfares

TABLE AL-6.2 THOROUGHFARE TYPES (continued)

AV - ARNOLD WAY / W. VICTORIA DRIVE (Collector 84-64)

A. GENERAL

CONTEXT	
Village Core Zones:	AL-V1, AL-V2 and AL-CD
SPECIFICATIONS	
Total R.O.W:	74 feet
Road Surface Width:	50 feet
Public Frontage Width:	12 feet each side
The design of the Public Frontage varies according to the Zoning District designation of abutting lots (see below).	



(ILLUSTRATIONS FOR ADVISORY PURPOSES)

B. ROADWAY (ROAD SURFACING)

SPECIFICATIONS	
Travel Lanes/Width:	2 / 12 feet; with 5 feet bike lane(s)
Parking Lanes/Width:	2 / 8 feet
Drainage Type:	Curb and Gutter

C. PUBLIC FRONTAGE

ADJACENT DISTRICT	AL-CD/ AL-V2	AL-CD/ AL-V1
DESCRIPTION	Neighborhood street intersecting with Alpine Boulevard	Neighborhood street intersecting with Alpine Boulevard
ILLUSTRATION (ADVISORY PURPOSES ONLY)		
FURNISHING ZONE		
Width	12 feet	12 feet
Design	Landscaped	Paved between Street Trees
Planting Technique	36 sq. ft. Tree Pit	36 sq. ft. Tree Pit
Tree Sequence	Various Species	Various Species
Permitted Tree Species	See Table AL-6.4	See Table AL-6.4
Tree Spacing	40 feet o.c. average	40 feet o.c. average
Lighting Spacing	Not applicable	40 feet o.c. average
WALKWAY		
Width	6 feet	6 feet
Type	Sidewalk	Sidewalk

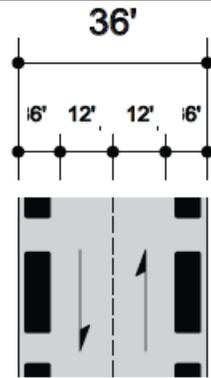
PART EIGHT: 8970 Public Realm - Thoroughfares

TABLE AL-6.3 THOROUGHFARE TYPES (continued)

ST - MARSHALL ROAD (Residential Collector 60-36)

A. GENERAL

CONTEXT	
Village Core Zones:	AL-V1 and AL-V2
SPECIFICATIONS	
Total R.O.W:	60 feet
Road Surface Width:	36 feet
Public Frontage Width:	12 feet each side
The design of the Public Frontage varies according to the Zoning District designation of abutting lots (see below).	



(ILLUSTRATIONS FOR ADVISORY PURPOSES)

B. ROADWAY (ROAD SURFACING)

SPECIFICATIONS	
Travel Lanes/Width:	2 / 12 feet
Parking Lanes/Width:	2 / 8 feet
Drainage Type:	Curb and Gutter

C. PUBLIC FRONTAGE

ADJACENT DISTRICT	AL-V2	AL-V1
DESCRIPTION	Neighborhood street connecting with neighborhood streets	Neighborhood street connecting with neighborhood streets
ILLUSTRATION (ADVISORY PURPOSES ONLY)		
FURNISHING ZONE		
Width	12 feet	12 feet
Design	Landscaped	Paved between Street Trees
Planting Technique	6 foot wide Planter	25 sq. ft. Tree Pit
Tree Sequence	Various Species	Single Species
Permitted Tree Species	See Table AL-6.4	See Table AL-6.4
Tree Spacing	30 feet o.c. average	20-30 feet o.c. average
Lighting Spacing	Not applicable	40 feet o.c. average
WALKWAY		
Width	6 feet	6 feet
Type	Sidewalk	Sidewalk

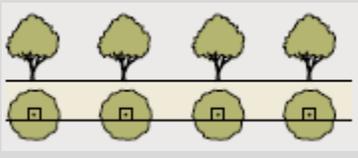
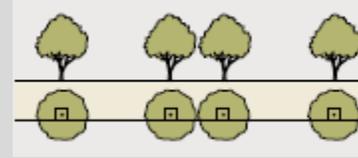
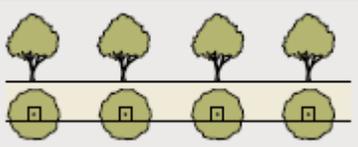
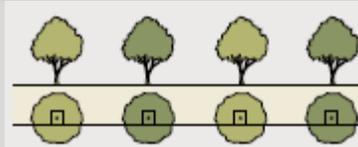
PART EIGHT: 8970 Public Realm - Thoroughfares

TABLE AL-6.4 ADVISED STREET TREE LIST

Species name (Botanical Name)	TREE CANOPY CHARACTERISTICS				GENERAL
	SHAPE	DENSITY	MATURE HEIGHT (ft.)	MATURE DIAMETER (ft.)	
Chinese Pistache (<i>pistachia chinensis</i>)		full	35	35	spectacular red, red-orange fall color; heat, drought and soil tolerance; pest resistant. A near perfect shade tree for one-story buildings
Fern Leaf Pine (<i>podocarpus gracilior</i>)		full	60	40	prized shade tree in parks, campuses and around residences with space for large trees
Canary Island Pine (<i>pinus canariensis</i>)		full	60	40	very young plants are gawky, but soon outgrow their awkward phase; drought tolerant but needs water; resistant to oak root fungus
Aleppo Pine (<i>pinus halepensis</i>)		full	45-60	45-60	most useful in poor soils and arid climates; can be found for cooler, moister gardens; standard desert pine; sometimes bothered by mites
Jakaranda (<i>jacaranda acutifolia</i>)		open	30	40	turns brilliant shades of purple in autumn; prized shade tree in parks, campuses, and around residences with space for large trees
Iron Bark (<i>eucalyptus sideroxylon</i>)		open	75-200	45	used singly as screening or street tree; fluffy pink flowers from fall to late spring; grows fast
Evergreen Pear (<i>pyrus kawakamii</i>)		open	75-200	45	white flowers appear in winter and early spring; may become broad, sprawling shrub or multitrunked small tree; tolerant of many soils
White Birch (<i>betula alba</i>)		open	20-40	40	not ideal shade tree; poor drought tolerance; gray powdery bloom
Lacebark (Chinese) Elm (<i>ulmus parvifolia</i>)		full	40-75	30-75	canopy can become vase shaped; dark green in summer, yellow to reddish-purple in fall; peeling trunk bark exfoliates in combinations of grey, green, orange, and brown color
Maidenhair Tree (<i>ginkgo biloba</i>)		full	25-50	25-35	tolerates drought, heat, and poor soils; tolerates moderate drought and moderate wetness; grows slowly in hot and dry climates
Coast Live Oak (<i>Quercus agrifolia</i>)		full	40-75	40-60	adapted to relatively warm, wet winters and dry summers; tolerant of various soil types;
Crape Myrtle (<i>lagerstroemia indica</i>)		open	40-50	20-35	canopy can become vase shaped; peeling trunk bark exfoliates in combinations of grey and light brown color; spring foliage is light green tinged bronze red; fall foliage is yellow, orange or red

Note: The Alpine DRB may approve street trees not listed in Table AL-6.4

TABLE AL-6.5 STREET TREE PLANTING PATTERNS (ILLUSTRATIONS FOR ADVISORY PURPOSES)

	FORMAL	IRREGULAR
a. Allee Spacing Pattern Street Trees shall be planted in a regularly-spaced Allee pattern. At Commercial Frontages in V2 districts, Street Trees may be planted in an irregularly-spaced Allee pattern to avoid visually obscuring shop front windows and signage.		
	SINGLE	VARIOUS
b. Species Sequence In specified districts, Street Trees shall be planted in either a repeating sequence of one (1) species or Cultivar or sequence of various species or Cultivar to promote planted species diversity.		

PART EIGHT: 8970 Public Realm - Thoroughfares

TABLE AL-6.6 PEDESTRIAN CROSSINGS (ILLUSTRATIONS FOR ADVISORY PURPOSES)

	UNMARKED	MARKED	MARKED
Crosswalk Assembly The principle variables are the type, dimension and angle of markings, the intersection type, and marking materials			
Total Width	—	10 feet	10 feet
Stripe Width	—	1 foot	1 foot
Transverse Line Offset	—	10 feet o.c.	—
Longitudinal Line Offset	—	—	3 feet o.c.
Special Locations	—	—	School Zones
Intersection Type	Yield, Stop	Stop, Signal	Stop, Signal

TABLE AL-6.7 CROSSWALK PLACEMENT (ILLUSTRATIONS FOR ADVISORY PURPOSES)

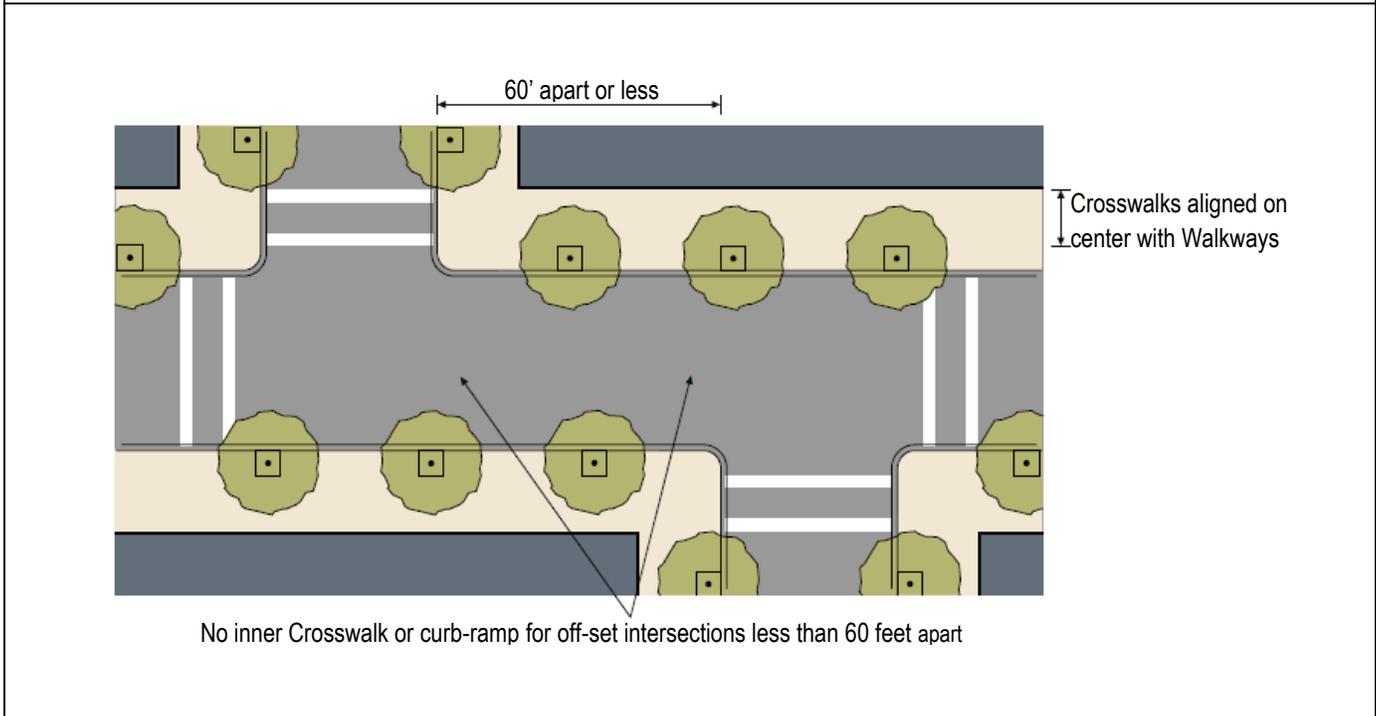
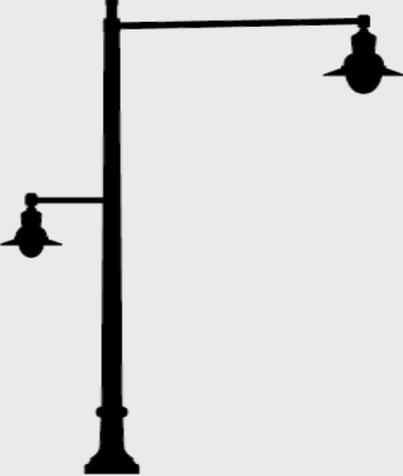


TABLE AL-6.8 PUBLIC LIGHTING (ILLUSTRATIONS FOR ADVISORY PURPOSES)	
	SPECIFICATIONS
	<p>Main Street Standard</p> <p>Head: Memphis Luminaire, or equivalent</p> <p>Pole: 16 foot Tapered Fluted Steel</p> <p>Base: 20" square x 36" high</p> <p>Signage: Alpine Village Logo cast into top ring</p> <p>Lamp Source: High-Pressure Sodium</p>
	<p>Main Street Intersection Standard</p> <p>Head: Memphis Utility Series Luminaire, or equivalent Memphis Pedestrian Luminaire, or equivalent</p> <p>Pole: 20 foot North Yorkshire Pole</p> <p>Base: 20" square x 36" high</p> <p>Signage: Alpine Village Logo cast into top ring</p> <p>Lamp Source: High-Pressure Sodium</p>

8980 Definitions

PART EIGHT: 8980 *Definitions*

A

Address Sign:	A sign, generally applied to a building wall that displays a building's address.
Allee:	A regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.
Alley:	A narrow service access to the rear of more urban buildings providing service areas, parking access and utility easements. Alley surfaces should accommodate for trucks, dumpsters, and drainage.
Apex:	The highest point of a sign as measured from the point on the ground where its structure is located, or, if no sign structure is present, from the point on the ground directly below the sign itself.
Arcade:	A Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade of the First Story remains at the Frontage Line.
Attic:	The interior part of a building contained within a pitched roof structure.
Avenue:	A Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between places within a Town Center, and usually equipped with a landscape median.
Awning Sign:	Lettering applied directly on the Valance or other vertical portion of an awning.

B

Band Sign:	A sign that is attached flat on the exterior front, rear, or side wall of any building or other structure. (Syn: wall-mounted sign, fascia sign)
Bicycle Lane:	A dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.
Bicycle Route:	A Thoroughfare suitable for the shared use of bicycles and automobiles moving at slow speeds.
Bio-retention Swale:	Mimics the filtration properties of natural vegetation, planted tracks located adjacent to paved roads or other impervious areas that produce stormwater sheet flow.
Blade Sign:	A sign mounted on the building Facade, projecting at a 90-degree angle. (Syn: projecting sign).
Block:	An aggregate land area circumscribed by Thoroughfares.
Block Face:	The aggregate of all Primary Frontage Lines, or alternatively the building Facades, on one side of a Block.
By-Right:	Characterizing an entitlement that complies with regulations of this Section and is permitted and processed administratively, without a public hearing.

C

Canopy:	The extent of the outer layer of leaves of an individual tree or group of trees.
Civic:	The term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government transit, religious, and municipal parking.
Civic Art:	See Public Art.
Civic Building:	A building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit and municipal parking, or for use approved by the Development Authority. A Civic Building is owned by a municipal or governmental body.
Civic Space:	An outdoor area permanently dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, size, landscaping and surrounding buildings.
Civic Sub-District:	Designation for public sites dedicated for Civic Buildings and/or Civic Space.
Clearance:	The height above the walkway, or other surface if specified, of the bottom edge of an element.
Commercial:	The term collectively defining workplace, Office, Retail, and Lodging Uses.
Commercial Street	A local urban Thoroughfare of low speed and capacity primarily fronted by Commercial building Uses.
Commercial Unit:	An enclosed indoors space providing complete, independent facilities for one Commercial business.
Common Yard:	A planted Private Frontage wherein the Facade is set back from the Frontage Line. The yard is visually continuous with adjacent yards.
Concrete Paver Block:	Cast or pressed concrete pavers are solid blocks set on a surface with joints that leave open spaces between units.
Coordinated Frontage:	A condition where landscape and paving of Public Frontage and Private Frontage are coordinated as a single, coherent design.
Corner Lot:	A lot at the intersection of two thoroughfares and has a Primary and Secondary Frontage on each thoroughfare.
Cottage Business:	Non-Retail Commercial enterprises located either within a Primary Building or in an Outbuilding.

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Courtyard	The placement of a building within the boundaries of its Lot to create a private Courtyard, while internally defining one or more private patios.
Crosswalk:	A path across the vehicular lands of a Thoroughfare distinctly indicated for pedestrian crossing by lines or other surface markings or by change in the surface material.
Crushed Gravel/Stone:	Any non-bound and/or natural aggregate material spread over soil and used for paving.
Cultivar:	A cultivated variety of Street Tree; deliberately selected for its desirable physical characteristics.
Curb:	The raised edge of the vehicular pavement used to channel storm water to incorporated drainage.
D	
Detention Basin:	Commonly known as a dry pond to store stormwater after a rainfall, but remain dry all other times.
Development Permit:	an application to improve the entitlement of development rights in the County of San Diego.
Drive:	A thoroughfare along the boundary between a developed and a natural condition, usually along a waterfront or a Park. One side has Public Frontage characteristics of a Thoroughfare, while the other has the qualities of a Road or a parkway.
Driveway:	A vehicular lane within a Lot, often leading to a garage.
Duplex:	A building with two (2) side by side units on a Lot.
Dwelling:	Any building or portion thereof that is designated for residential Use.
E	
Edgeward:	The placement of a building within the boundaries of its Lot to create an Edgeward around the building, with Setbacks on all sides.
Effective Turning Radius:	The measurement of the turning radius at a corner taking parked cars into account.
Elevation:	An exterior wall of a building not along a Frontage Line (see Facade).
Encroach:	To break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.
F	
Facade:	The exterior wall of any building oriented toward or set along a Frontage Line (see Elevation).
Facade Alignment:	The orientation of the Facade in relation to the Primary Frontage Line of a Lot.
Fenestration:	The design and placement of windows on a building.
Fenestration Calculation:	Required Fenestration shall be calculated as the total combined area of window glazing (lights or panes within each window's casing) divided by the total area of the Facade for the story of a building under calculation.
Frontage:	The area between a building Facade and the vehicular lanes of a Thoroughfare, inclusive of its built and planted components. Frontage is divided into Private Frontage and Public Frontage.
Frontage Line:	A Lot line bordering the Public Frontage and where minimum Lot Width is measured. Facades facing Frontage lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.
Focal Point:	The visual termination of a long stretch of Main Street. The point of termination should be an architecturally significant building reflection of Ramona's Sub-Area community character.
G	
Gallery:	An attached cantilevered shed or a lightweight colonnade extending from a building Facade to overlap the Sidewalk.
Grassed Cellular Plastic:	Comprised of manufactured plastic lattices that may be filled with aggregate for planting materials that stormwater percolates through and into the soil below.
Grated Tree Well:	Incorporating street trees into sidewalks to collect and store stormwater runoff and assist with infiltration.
Gymnasium Facility:	An indoor and/or shaded outdoor facility that provides organized recreational space and administrative space for both Commercial and non-commercial ownership.
H	
Hardscape:	A level, formal landscaped exterior space utilizing pavers or paving and planting(s) to define the surface area.

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L

Landscaped Tree Well:	Trees have exposed soil to receive water to collect and store runoff and assist in infiltration of stormwater in parking lots and on sidewalks.
Layer:	A range of depth of a Lot within which certain elements are permitted.
Lightwell:	A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements.
Liner Building:	A building specifically designed to mask a Parking Structure from a Frontage.
Live-Work:	A Mixed-Use unit consisting of a Commercial and Residential Use. The Commercial Use may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity.
Lodging:	Premises available for daily and weekly renting of bedrooms.
Longitudinal:	A type of pavement marking with lines set parallel to the Public Frontage, repeating in a sequence across the entire width of the vehicular lanes of a Thoroughfare to demarcate a pedestrian Crosswalk.
Lot:	A parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine its grain (i.e., fine grain or coarse grain) of the urban fabric.
Lot Line:	The boundary that legally and geometrically demarcates a Lot.
Lot Width:	The length of the Primary Frontage Line of a Lot.

M

Main Civic Space:	The primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.
Main Street:	A Commercial Thoroughfare type intended for the aggregation of Commercial buildings on the abutting Lots.
Main Street Frontage:	A Zoning District designation that strictly prohibits residential building Frontages from fronting along the entirety of Main Street.
Marquee:	A structural feature of a building that provides shelter and sign space.
Meeting Hall:	A building available for gatherings, including conferences that accommodate at least one room equivalent to a minimum of ten (10) square feet per projected dwelling unit within the Pedestrian Shed in which it is located.
Message Board:	A sign with changeable text. Non-electronic Message Boards typically consist of letters attached to a surface within a transparent display case. Electronic Message Boards typically have a fixed or changing message composed of a series of lights.
Mulch:	A protective covering consisting of organic materials customarily used in landscaping and placed around plants to retain soil moisture, retard erosion, shield roots from freezing, and inhibit weed growth.

N

Nameplate:	A sign consisting of either a panel or individual letters applied to a building, listing the names of businesses or building tenants.
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O

Office:	A building with an entire floor used primarily for providing leasable workplace and working space primarily for administrative and managerial workers.
Open Space:	Land intended to remain undeveloped; it may be used for Civic Space.
Outbuilding:	A building usually located toward the rear of the same Lot as a Primary Building such as a garage, carport, or workshop and may include an Accessory Unit.
Outdoor Display Case:	A sign consisting of a lockable metal or wood framed cabinet with a transparent window or windows, mounted onto a building wall or freestanding support. It allows the contents, such as menus or maps, to be maintained and kept current.

P

Parking Structure:	A building containing one or more Stories of parking above grade.
Passage:	A pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.
Pathway:	Non-motorized, multi-use soft-surfaced facilities of decomposed granite, located within a parkway or at the

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	edge of a public road right of way intended to serve as transportation and recreation purposes for pedestrians, equestrians and bicyclists.
Paver:	A masonry block of various materials and/or size.
Pervious Asphalt:	An open aggregate bound with a black solid or semi-solid substance distilled from a petroleum byproduct to allow water to flow through.
Pervious Concrete:	Consisting of cement (usually Portland), aggregate (usually gravel), water and admixtures.
Planter:	A three (3) feet deep recessed soil bed provided for the planting of Street Trees and kept open to air and water flow through landscaping or permeable Pavers.
Playground:	An Open Space designed and equipped for the recreation of children.
Plaza:	A Civic space type designed for Civic purposes and Commercial activities in the more urban Sub-Districts, generally paved, spatially defined by buildings, and internal to or part of a Block.
Pocket Park:	A Civic Space type of limited size available for unstructured recreation and may be designed as a playground; normally located internal to a Block.
Primary Building:	The main building on a Lot.
Primary Frontage:	The Private Frontage designed to bear the address and Principal Entrance(s) of a building.
Principal Entrance:	The main point(s) of access for pedestrians into a building or unit within a building.
Private Frontage:	The area of a private Lot between the Facade of a building and the Public Frontage (see First Layer). To be measured from Property Line.
Project:	An application to process a Development Permit within the Alpine Village Core public and private areas.
Public Frontage:	The area between the edge of the vehicular lanes of a Thoroughfare and the Frontage Line of private Lots and Civic Spaces.
Public Furniture:	Equipment owned and/or provided by the Village of Alpine for the comfort or convenience of pedestrians.
Public Infrastructure:	Installations needed for the functioning of human settlements, including but not limited to transportation and communications systems, and water and power lines.
Public Lighting:	A type of Public Infrastructure necessary for the illumination of Public Frontages and Thoroughfare intersections.
Purification Biotope:	Artificially created ecosystems or habitat that is homogenous with local environmental conditions to facilitate the growth of specific plants and animals.
R	
Rain Garden:	Man-made or natural depression that temporarily retains stormwater that is planted with specific vegetation to filter water before it percolates back into the ground.
Rearyard:	The placement of a building within the boundaries of its Lot to create a Rearyard, leaving the rear of the Lot as private space or available for dedicating parking.
Religious Assembly:	A facility operated by a religious organization for worship, or the promotion of religious activities with a maximum capacity in the assembly area of more than 50 people.
Retention Basin:	Designed to hold the same level of water at all times and resembles a pond.
Rowhouse:	A single or multi-unit building that shares a party wall with another of the same type and a Facade along 100% of the Frontage Line.
S	
Setback:	The area of Lot measured from a Lot Line to the nearest permissible location of a Primary Building, Secondary Building, or Outbuilding, excluding Encroachments.
Shared Parking:	An accounting for parking spaces which are available to more than one Function.
Shared Use:	Multiple Uses within the same building, consolidated vertically and/or horizontally into a single structure.
Sharrows:	A symbol painted on the Travel Lane to demarcate routes to guide both cyclist and automobiles to 'share' the lane.
Sidewalk:	A type of Walkway paved with concrete or Pavers.
Sidewalk Sign:	A movable freestanding sign that is typically double-sided, placed at the entrance to a business to attract pedestrians. (Var: sandwich board, A-frame sign.)
Sideyard:	The placement of a building within the boundaries of its Lot to create a private Sideyard, with a Setback to one side.
Signage:	Any commercial or public display sign that has a business or product name, logo or trademark.

PART EIGHT: 8980 *Definitions*

Square:	A Civic Space designed for unstructured recreation and Civic purposes, circumscribed by Thoroughfares, spatially defined by building Frontages, and consisting of Paths and/or Sidewalks, lawn and trees, formally disposed.
Stabilization Mat:	A tightly woven grid of plastic cells manufactured in large rolls and generally a thin material covered with soil or lawn.
Stoop:	An exterior stair and landing leading to an elevated first Story of a building.
Stormwater Facility:	Any facility, improvement, development, or property made for controlling storm water quantity and quality.
Story:	A habitable level within a building, excluding an Attic or raised basement.
Stone/Rip Rap Channel:	Drainage ditches that contain large rocks to slow the flow of stormwater.
Streetscreen:	A freestanding wall or landscape screen built along the Frontage Line, or coplanar with the Facade. Streetscreens mask a parking lot from a Thoroughfare, provide privacy to a sideyard, and/or strengthen the spatial definition of the public realm. Accompanied structures include trellis, landscape screen, stone or masonry wall.
Street Tree:	A canopy tree planted within the furnishing zone of the public frontage as an element of a thoroughfare assembly.
Substantial Modification:	Alteration to a building, excluding the interior, that is valued at more than 50% of the market value of the entire building.

T

Terminated Vista:	A location at the axial conclusion of a Thoroughfare. A building located at a visual termination point.
Thoroughfare:	A way for use by pedestrian and vehicular traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and Public Frontage.
Traffic Calming:	Main Street intersections should emphasize slow speeds and the management of conflicts through appropriate traffic controls and improved visibility. Such strategies include lane narrowing, on-street parking, sidewalk bulb-outs, and surface variation and textures.
Trail:	A multi-purpose pathway traversing the countryside or along a corridor/thoroughfare. Trails should connect directly with the sidewalk network linking Main Street to the region. Classifications include Class I through Class III per County Standards.
Transect:	A cross-section of the environment showing a range of difference habitats. The Transect of human habitat types used in this Code is divided into six Transect Districts. These districts describe the physical form and character of a place, according to the form and intensity of its land use and Urbanism.
Tree, Canopy:	A woody plant with an expected mature height of thirty feet or more.
Tree, Ornamental:	A woody plant with an expected mature height of thirty feet or less.

V

Valance:	The portion of an awning that hangs perpendicular to the Sidewalk.
Variance:	A grant of relief from the requirements of this Section in deviation from the regulations and standards prescribed to permit construction that would otherwise be prohibited. (§7100)
Vegetative Purification Bed:	Treats and store moderate amount of stormwater with a combination of plan material, san filtration and cycling water through the media purifies the water in the bed.
Vegetative Swale:	Open and very shallow man-made depressions that filter and collect runoff to treat small quantities of stormwater.

W

Walkway:	The section of the Public Frontage dedicated exclusively to pedestrian activity.
Window Sign:	A sign placed or painted on the interior of a Shopfront window or the window of a business door.

Z

Zoning Map:	The official map or maps that are part of the zoning ordinance and delineate the boundaries of individual Districts and Sub-Districts. See Regulating Plan (see Village Core Districts, Civic District and Thoroughfares).
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Ramona Village Center Form-Based Code

May 2014 FINAL DRAFT



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PART EIGHT: 8700 Ramona Village Center Regulations

Ramona Village Center Regulations | FINAL Draft May 2014

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Map 1 Village Center Sub-Areas

Map 2 Village Center Zoning District Map

8701 General Provisions

The Ramona Village Center regulations apply to the area identified in the Ramona Community Plan as the Village Center and are intended to preserve and promote the character of Ramona while creating a balanced automobile, bicycling, and pedestrian friendly environment for residents, business owners and visitors. These regulations are also intended to encourage the continuation and growth of the established equestrian and agricultural character of Ramona while promoting the economic development of the Ramona Village Center. The following General Provisions shall apply to the Ramona Village Center Regulations:

- a. Where the provisions of a section of the San Diego County Zoning Ordinance are in conflict with the requirements of this section, the requirements of this section shall apply.
- b. The diagrams and illustrations within this Section, unless specifically noted as advisory, are considered regulatory in nature and are legally binding.
- c. The definition of a term in this Section shall take precedence over definitions of the same term elsewhere in the San Diego County Zoning Ordinance.
- d. The term *shall* denotes a specific requirement, while the term *should* is intended to be a primary consideration incorporated into plans or accompanied with a clear rationale as to why its standards or specifics were not followed.
- e. The Ramona Village Center regulations will be updated on an annual basis to provide on-going clarification and address Code discrepancies discovered during implementation of the Ramona Village Center regulations.

8702 Permitted Uses Determine Site Plan Process

- a. A Site Plan permit is necessary to determine Zoning Ordinance conformance for San Diego County Department of Public Works to construct public thoroughfares, Department of General Services, and Department of Parks and Recreation to construct public Civic Spaces within the Ramona Village Center.
- b. A Site Plan permit is necessary to entitle new Land Uses on private Lots, owned by private land owner(s) or representatives of land owner(s), through either a ministerial or a discretionary review process within the Ramona Village Center.
- c. A Ministerial Site Plan permit is necessary to determine Design Standard conformance for any new building construction, Lot Subdivision, and/or a significant remodel.
- d. The Site Plan process, “by Right,” “Administrative Permit” and/or “Major/Minor Use Permit,” is determined by the proposed single or combination of Land Uses listed on Tables 2.0, 3.0, 4.0, 5.0 and 6.0 PERMITTED USE TYPES.
- e. Permitted Uses for Lots and buildings are listed on Table(s) 2.0 - 6.0 PERMITTED USE TYPES.
 - i. Uses permitted “by Right” are permitted without the requirement for a discretionary use permit but are subject to all other applicable regulations.
 - ii. Uses permitted “by Administrative Permit” require the submission and approval of an Administrative Permit application subject to the regulations of §7050-7099 ADMINISTRATIVE PERMIT PROCEDURE of the San Diego County Zoning Ordinance.
 - iii. Uses permitted “by Minor Use Permit” require the submission and approval of a Minor Use Permit application subject to the regulations of §7350-7399 USE PERMIT PROCEDURE of the San Diego County Zoning Ordinance.
 - iv. Uses permitted “by Major Use Permit” require the submission and approval of a Major Use Permit application subject to the regulations of §7350-7399 USE PERMIT PROCEDURE of the San Diego County Zoning Ordinance.

8703 Site Plan Permit Requirements

- a. A Building permit shall not be issued for development or redevelopment on a private lot prior to the submittal and approval of a Site Plan, in compliance with the standards of this Section and subject to the regulations of §7150- 7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance unless an Exception to the site plan is granted.
- b. A Site plan submitted under this Section shall be prepared by the land owner or a representative of the land owner, and shall be reviewed administratively by the County of San Diego Planning and Development Services (PDS) Director subject to the regulations of §5750-5799 COMMUNITY DESIGN REVIEW AREA REGULATIONS and §7150-7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance.
- c. The following mapping requirements are in addition to §8703.b Site Plan submittal procedures:
 - i. One (1) Site Plan submittal map shall include the proposed Lots and Building(s) to-scale and centered in plan view with all surrounding property lines, easements, thoroughfares, building footprints, and primary building frontages that illustrate primary building entrances for 300 feet.

PART EIGHT: 8700 Ramona Village Center Regulations

- ii. One (1) Site Plan submittal map shall include a to-scale colored elevation graphic and color boards illustrating the primary building frontage of the subject property with its adjacent existing building frontages for 150 feet along all sides of the proposed building and site.
- iii. One (1) Site Plan submittal map shall include a to-scale and detailed Landscape Plan of the subject property with its adjacent existing building frontages for 150 feet along all sides of the proposed building and site.
- d. An existing building that does not conform to the provisions of this Section is considered non-conforming and may be continued in such Land Use until a Site Plan Permit is requested, at which time the provisions of this Section shall apply.

8704 Site Plan Permit Process Exemptions

The Director under any of the following circumstances may grant an Exemption from the Site Plan Permit requirement of §8702:

- a. Existing Permit Exemption. All of the purposes and requirements of the Site Plan permit process have been fulfilled by an existing approved discretionary permit.
- b. Concurrent Permit Exemption. All of the purposes and requirements of the Site Plan permit process will be fulfilled by a concurrent discretionary permit that will be reviewed by the Ramona Community Planning Group (RCPG).
- c. Minor Project Exemption. The Director determines that a proposed project is minor in nature, as defined in §5757(a)(3) and §7156(b) of the San Diego County Zoning Ordinance, and that subjecting it to the Site Plan review process would not materially contribute to the attainment of the community design objectives and guidelines as set forth in this Section. In making a decision on such Site Plan permit exemption, due consideration shall be given to the recommendation of the RCPG. Such recommendation shall be in writing, signed by the Chairperson, and shall be accompanied by a copy of the project plans upon which the recommendation was based.
- d. Design Review Checklist Exemption. The Director determines that the project complies with the standards set forth in the Design Review Checklist. In making a decision on such Site Plan permit exemption pursuant to Zoning Ordinance Section 5757(a)(4), due consideration shall be given to the recommendation of the RCPG. Such recommendation shall be in writing, signed by the Chairperson and shall be accompanied by a copy of the Ramona Village Center Form Based Code Checklist and stamped project plans upon which the recommendation was based.
- e. A request for a Site Plan permit(s) exemption based on compliance with subsections §8704(c) and §8704(d) shall be transmitted by the Director to the RCPG. If the Director does not receive an RCPG recommendation within 45 working days, such as an approval, denial, or reasonable time extension request, following the RCPG's initial application submission the Director may make a decision without the RCPG's recommendation.
- f. No building permit shall be issued for a project for which the Site Plan permit exemption has been granted except pursuant to plans bearing the Director's stamp granting such exemption. No deviation from aspects of such plans, beyond the allowances of §7609 of the San Diego County Zoning Ordinance. Minor Deviations pertinent to the Ramona Village Center Regulations, such as materials, colors, architectural details, landscaping, and site design, shall be permitted without prior recommendation of the appropriate RCPG, Ramona Design Review Board (RDRB), and approval of the Director.

8705 Exceptions

An Exception to the requirements of this Section may be granted in the following manner:

- a. A request for Exception shall only be permitted as specifically indicated in this Section.
- b. An exception to the requirements of this section may only be processed in conjunction with a Site Plan permit subject to the regulations of §7150-7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance. As part of the Site Plan permit application, the applicant shall provide the following:
 - i. Specific Exception(s) requested to include a citation from this Section as to why the Exception is being sought.
 - ii. Maps, text, drawings, and/or statistical data related to the requested Exception(s).
- c. No Exception shall be approved unless the PDS finds the approval would:
 - i. Be consistent with §8711 General Intent and §8715, 8717, and 8719 Sub-Districts Intent(s).
 - ii. Be consistent with the goals, objectives, and policies of the Ramona Community Plan.
 - iii. And be consistent with the goals, objectives, and policies of the San Diego County General Plan.
- d. Any decision regarding an approval or denial of Exception shall state, in writing, the reasons for the approval or denial.
- e. If the Planning Director denies any requested Exception, the applicant may appeal the decision to the Planning Commission subject to the regulations of §7200-7249 ADMINISTRATIVE APPEAL PROCEDURE of the San Diego County Zoning Ordinance.

8706 Pre-Submittal Sequence to Determine Private Development Application Entitlement Process:

The following steps are general steps for a potential applicant to following prior to applying for a development permit in the Ramona Village Center (RM-V) Area:

- a. The Site Plan application process is only for new or amended Land Uses and related new Building(s) construction and/or Significant Building(s) Remodel (§8702.d.). Existing Land Uses and Buildings are allowed to operate “by Right” and without Site Plan review (§8702.c.).
- b. Identify the project area’s location in the Ramona Village Center Sub-Area(s) (Map 1), Colonnade, Paseo, and Old Town (§8710), the proposed project is located within, and;
- c. Locate the project’s development regulations in the Sub-Area(s) RM-V Zoning Districts (Map 2) V1-Natural, V2-Rural, V3-Edge, V4-General, V5-Center: Tables (§8730-8810), and;
- d. Identify the existing and proposed Permitted Land Uses (Tables 2.0, 3.0, 4.0, 5.0, 6.0) to determine the necessary development application process, such as “by-Right” Ministerial process, Major/Minor Use Permit, and/or Variance process. This is a key decision point for the applicant prior to submission of a formal Site Plan process application.
- e. Determine the project’s Parking Requirements (Tables 2.1/2.2 - 6.1/6.2) per the Land Uses (Table 2.0 - 6.0) and Sub-Area Zoning Districts, and;
- f. Calculate if the Lot’s Parking Requirements per the proposed Land Use meet requirements within the Sub-Area intent and Development Standards (§8730 - 8810), and;
- g. Calculate if the proposed project’s Parking Requirements fit within the Lot’s RM-V Zoning District development standards. This calculation of Parking Requirements in relationship to the Lot’s Development Standards (refer to Lot Layers, Setbacks, and Access) parking area will determine if the proposed development project is in conformance and eligible for a Design Review Checklist Exemption decision-making process.
- h. Determine if the project needs an “Administrative Permit” or “Major/Minor Use” permit due to the proposed Land Use and/or an Exception determination to Parking Requirement and Lot size constraints, then the project must proceed with a Discretionary process defined by San Diego County Zoning Ordinance section §7150-7199 SITE PLAN REVIEW PROCEDURES. This is a key decision point for the applicant prior to submission of a formal Site Plan process application.
 - i. Prior to a formal submittal, an applicant is highly encouraged to arrange a Preliminary Review meeting with the RCPG to review Sub-Area requirements (reviewing §8100 only and §8700 - 8800 if a County entity is making an application), RDRB (reviewing §8200 - 8600 only), and County PDS staff (entire code) in order to clearly understand expectations.
- j. It is expected that during an applicant’s initial due diligence and after Pre-Application meetings, the proposed project design may be modified in order to qualify for the Site Plan Ministerial process, and;
- k. Review and calculate the Thoroughfare (Map 8) §8850 to understand the public frontage improvement requirements, such as street trees, street lights, sidewalks, landscape strip, and bike facilities that will apply to the project’s development impact fees as required by San Diego County Public Works, and;
- l. Once the permitting process for the propose project is determined by the applicant, the applicant shall submit completed application forms, plans and fees as required by §8703 to the San Diego County PDS Zoning Ordinance division to initiate the Ramona Village Center Site Plan process.

8708 Design Review Checklist Exemption Process

STEP ONE PRE-APPLICATION MEETING: Initial Project Review with County and Community is recommended.

Authority:

1. Department of Planning and Development Services (PDS) Zoning Intake Staff
2. Ramona Community Planning Group (RCPG) and Ramona Design Review Board (RDRB) •

Actions:

1. The Planning Department (PDS) provides guidance for application.
2. RCPG provides guidance for application Preliminary Review.
3. RDRB provides guidance for application.

Timetable: 45 days of applicant making appointment with PDS and RCPG and RDRB.

Item Granted: Submit Site Plan Application Step 1.

PART EIGHT: 8700 Ramona Village Center Regulations

STEP TWO: Site Plan Application Submittal.

Authority: Department of Planning and Development Services.

Actions:

1. The Planning Department (PDS) reviews site plan application and checklist for completeness of;
2. If complete, PDS forwards the site plan application and checklist to the RCPG for recommendations on §8100, 8700-8800 and RDRB for recommendations on §8200-8600.

Timetable: 10 working days after receipt of completed application and fees.

Items Granted: PDS forwards applications and checklists to RCPG and RDRB for Step 3 Review.

STEP THREE: Community Planning Group and Design Review Board Review.

Authority: Ramona Community Planning Group and Design Review Board.

Actions: Review of site plan(s), checklist(s) with recommendations for approval/denial or time extension forwarded to the Director.

Timetable:

1. 45 working days of receipt of the application from the PDS.
2. If no recommendation is forwarded to the Director within 45 working days, the Director may proceed with Step 3 without the recommendation of the Community Board.

Items Granted: Recommendations for approval or denial.

STEP FOUR: Final Site Plan Review

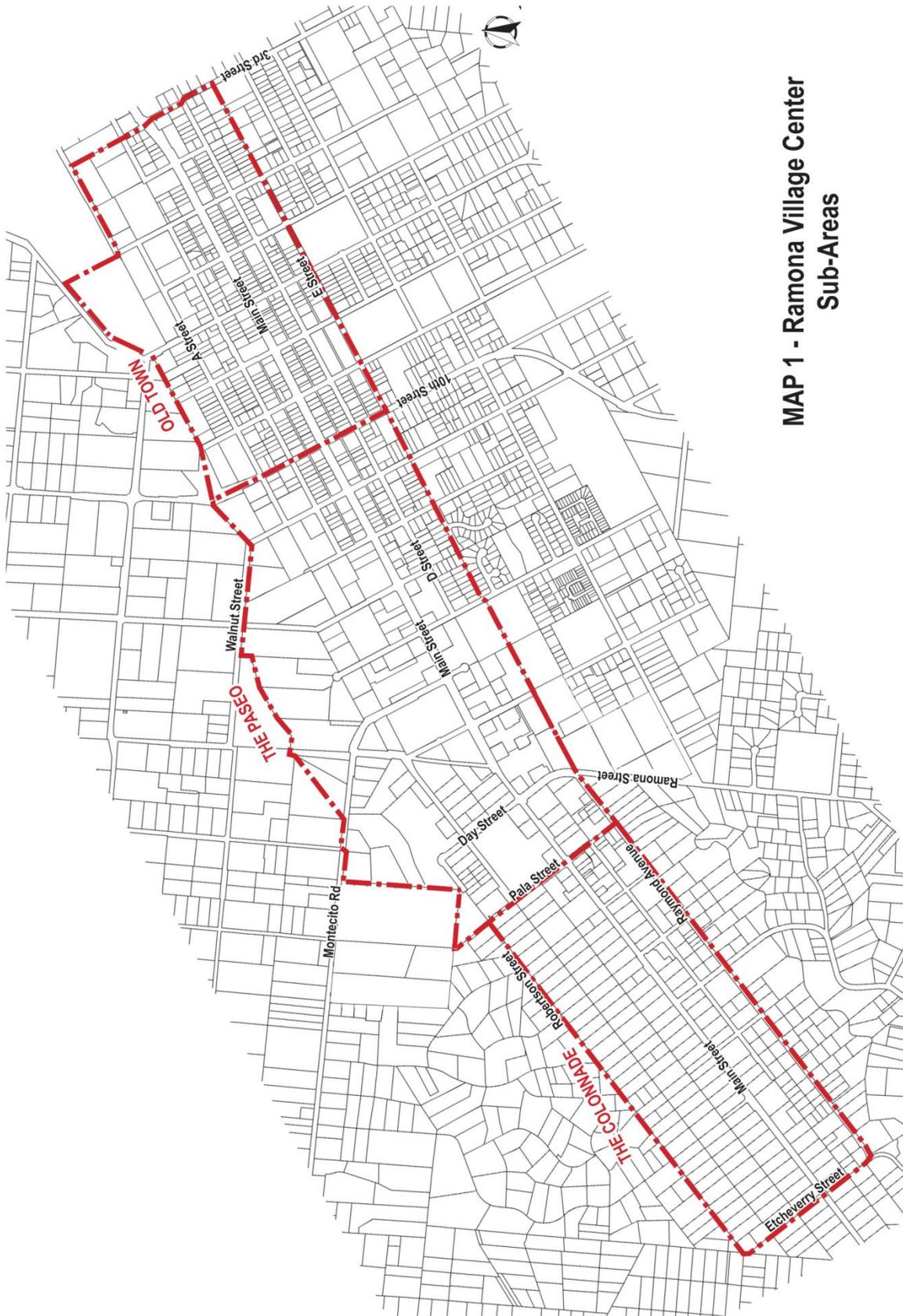
Authority: Planning and Development Services

Actions:

1. The Director shall consider any report and recommendation from the RCPG and RDRB.
2. Director shall consider site plan application subject to the regulations of §7150- 7199 SITE PLAN REVIEW PROCEDURES of the San Diego County Zoning Ordinance
3. After review the Director may:
 - i. Approve the site plan
 - ii. Require changes or modifications for approval
 - iii. Deny the ministerial site plan which then requires discretionary review

Timetable: 30 working days. Required changes or modifications shall be re-submitted to Planning Director within 30 working days.

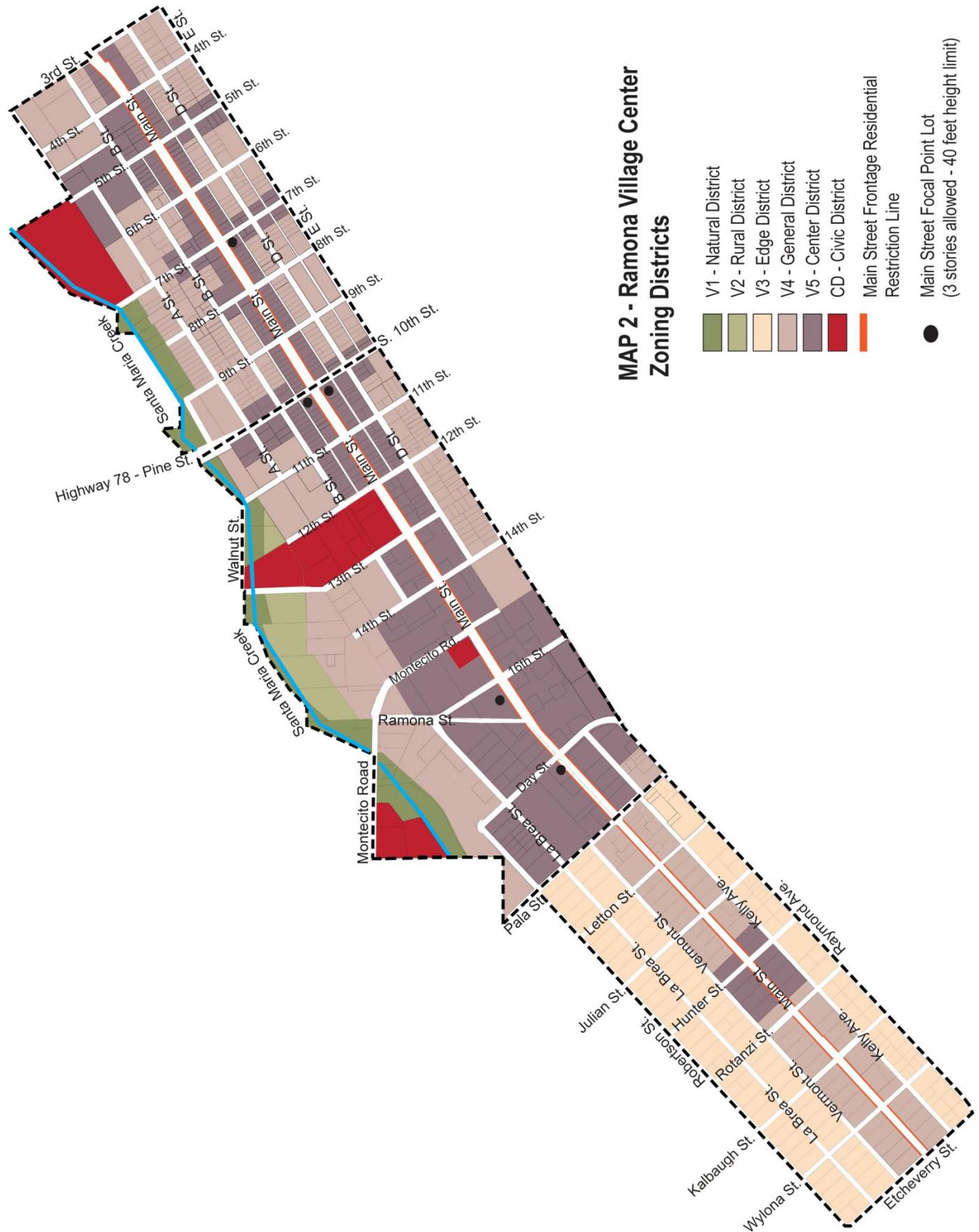
Items Granted: Grant or Deny a Ministerial, Site Plan, Use or Building Permit. A Design Review Checklist approval cannot be appealed.



MAP 1 - Ramona Village Center
Sub-Areas



PROJECT AREA
Scale 1" = 1000'



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8710 Sub-Area General Standards

8711 General Intent

8713 Sub-Areas

Map 3 - Colonnade Zoning District Map

8715 Colonnade Sub-Area Intent

Table 1.0 Colonnade Design Standards - Access

Table 1.1 Colonnade Design Standards - Buildings

Map 4 Paseo Zoning District Map

8717 Paseo Sub-Area Intent

Table 1.2 Paseo Design Standards - Access

Table 1.3 Paseo Design Standards - Building

Map 5 Old Town Zoning District Map

8719 Old Town Sub-Area Intent

Table 1.4 Old Town Design Standards - Access

Table 1.5 Old Town Design Standards - Buildings

8720 Zoning Districts

8721 Lots in Multiple Zoning Districts

Table 1.6 Zoning Districts Illustrated

8723 Lot

Table 1.7 Lot Layer Summary

8725 Building Placement

Table 1.8 Building Placement on the Lot

8727 Building Height

Table 1.9 Building Height Illustrated

8729 Private Frontages

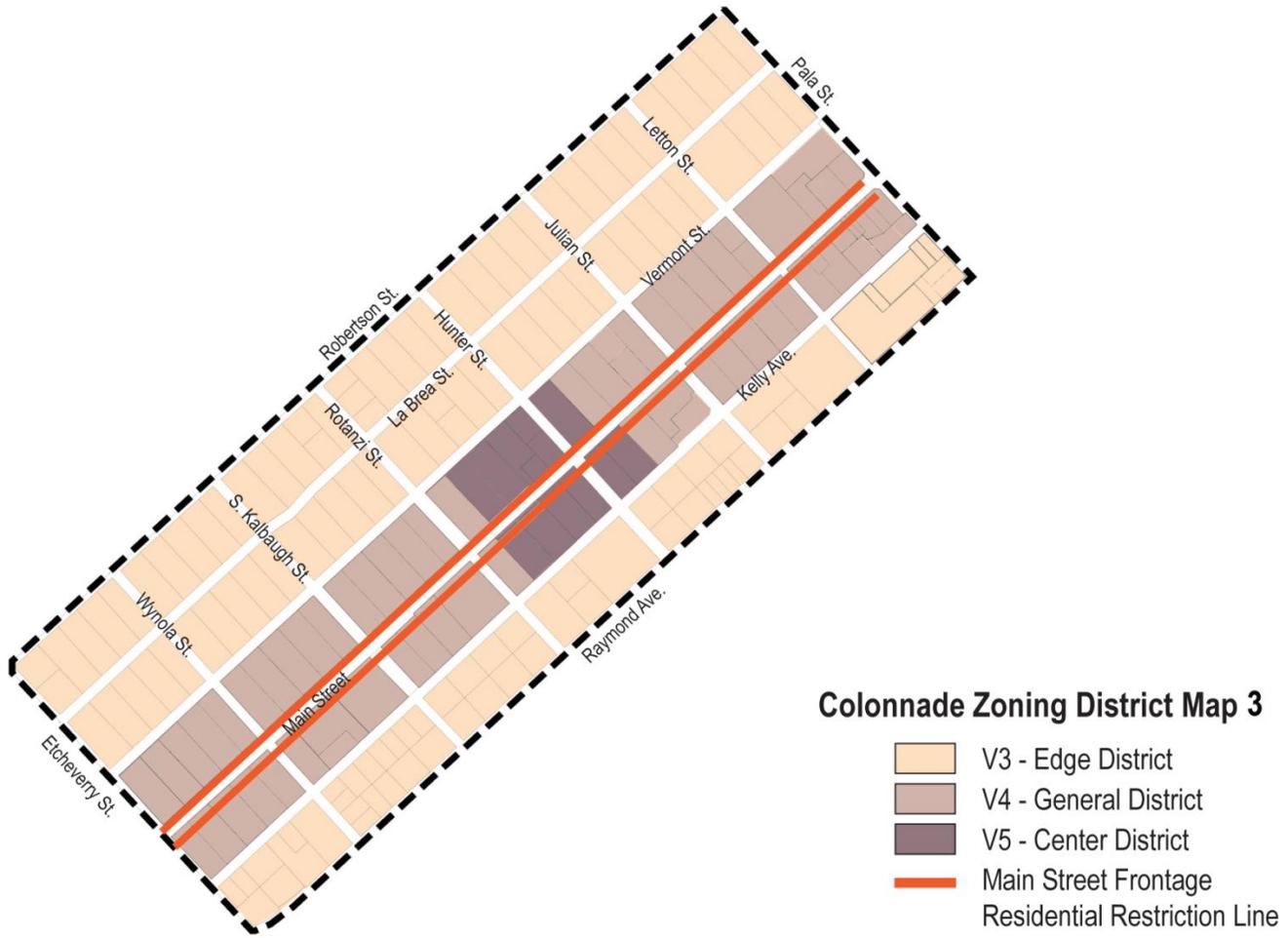
Table 1.10 Private Frontages

8711 General Intent

- a. Regulations on land and buildings equitably balance the rights of individual property owners and the interests of the community as a whole.
- b. Ramona Village Center design standards for Sub-Areas, RM-Zone Districts, Thoroughfares and Civic Spaces are coordinated to establish distinctive physical environments at the scale of the lot, block, street, and neighborhood.
- c. Distinct physical environments provide meaningful choices in living, working, shopping and recreating for citizens with differing physical, social, and emotional needs.
- d. Ramona RM-Zoning Districts control physical development at the scale of the lot, coordinating the form and intensity.
- e. Access to daily needs within close proximity to dwellings is provided by permitting a mixture of land uses within each Ramona Village Center Sub-Area and individual buildings so that residents may choose to live, work, shop, and play within walking distance of their home.
- f. Thoroughfares contribute to the health, safety, and general welfare of citizens. Design conflicts between vehicular and pedestrian movement shall be decided in favor of both pedestrians and equestrians.
- g. Coordinate a network of inter-connected trails and pathways for pedestrians, equestrians, bikers and hikers throughout the greater Ramona region and Village Center. A connected network of Trails and pathways along the Santa Maria Creek and within existing and new streets is of great interest to the community as a whole.

8713 Sub-Areas

- a. The following Sub-Areas are established under the provisions of this Section:
 - i. The Colonnade is centered on Main Street between Etchevery Street and Pala Street. The name references the colonnade of tall Eucalyptus trees along Main Street that creates the character defining experience of arriving in Ramona. The development pattern in this area is newer to the area with freestanding rural buildings that are commercial along Main Street with single-family residences to the north and south of Main Street. Etchevery Street is planned to accommodate for a trail and/or pathway.
 - ii. The Paseo is located at the 'bend' of the road along Main Street between Pala Street and Highway 78/10th Street to the east. The Paseo is a reference to the need for connectivity between the established neighborhoods to the south and Santa Maria Creek to the north. It is intended to be the Civic core to include the Post Office, Sheriff Station, Courts, Library and parks. Also intended to be the Commercial core, the private development pattern in this area consists of both freestanding and attached commercial centers and under-developed lots located along Main Street. Attached multi-family housing units are to be located along Main Street. All new development proposals should demonstrate consideration of the positive influences of the neighboring properties and made a diligent effort to build within the Paseo towards historical Main Street patterns existing in the Old Town Sub-Area. Note that Montecito Road, 14th Street, 13th Street/Maple Street, 10th Street/Pine Street/Walnut Street and the Santa Maria Creek Greenway are planned to accommodate for a trail and/or pathway.
 - iii. The Old Town is centered on Main Street between 10th Street and 3rd Street to the east. Historically, Ramona Town Center's oldest buildings are designated Historic or are eligible for designation on the National Register of Historic Places. Old Town was built with a traditional development pattern of interconnected blocks and streets with museums, Town Hall, and attached shops along Main Street. Freestanding and attached mixed-use residential buildings are located to the north and south of Main Street. Collier County Park is the area's oldest park and the Old Town has a respectable and memorable role in the history and development of San Diego County. This history is recorded in many of the structures still remaining from Ramona's early years. New development should recognize, respect, preserve and be compatible with existing significant built elements of Ramona's history. Main Street, 10th Street, 7th Street, 3rd Street and the Santa Maria Creek Greenway are all planned to accommodate for a trail and/or pathway.

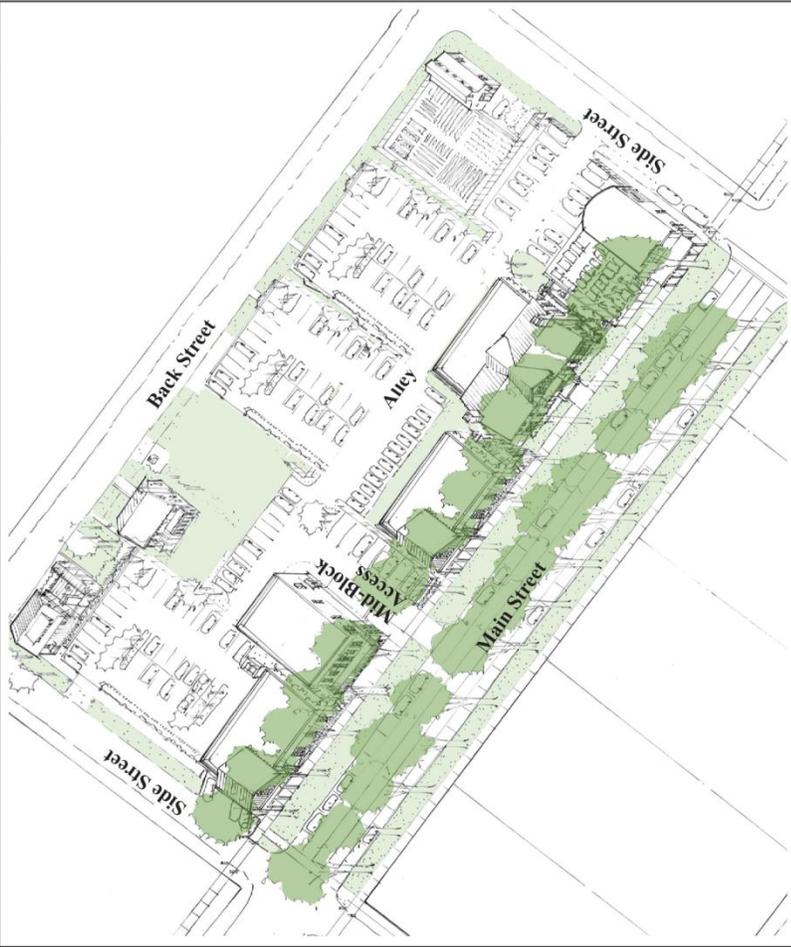


8715 Colonnade Sub-Area Intent

- a. The Colonnade Sub-Area shall preserve its grand row of mature Eucalyptus trees located within and on each side of the State of California Highway 67 Right-of-of-Way. Direct highway access shall be limited to maintain tree colonnade.
- b. New development will assist in under-planting suitable replacement trees to assure that a tree canopy is maintained.
- c. The Colonnade Sub-Area development regulations are intended to maintain its current more rural detached building development patterns with commercial buildings along Main Street surrounded by single-family residential housing.
- d. The Main Street Frontage Residential Restriction Line is intended to only allow for Commercial Frontage types to front onto Main Street. All Residential Unit entries must be accessed from the second and third Lot Layer (§8721).
- e. The Colonnade building height is limited to two (2) stories and 35 feet maximum height.
- f. The Colonnade Public Frontage intention:
 - i. A Type D Special Pathway is setback from Main Street in order to preserve the colonnade of eucalyptus trees along Highway 67 that allows for equestrian, biking and pedestrian access. Etchevery Street is proposed as a pathway per the Ramona Community Trails and Pathway Plan.
 - ii. Only the RM-V5 area shall allow vehicles parked curbside on Main Street for adequate pedestrian movement.
 - iii. Curb cuts should be eliminated and minimized to 1 per block in order to allow the continuity of the eucalyptus trees
 - iv. Common Easements should be coordinated to provide access for buildings in order to maintain the colonnade, such as shared parking facilities and access lanes between mid-block parcels.
- g. All trails, pathways, parking areas and open spaces should allow for permeable surfaces.
- h. Public Art should be allowed on all public and private buildings and spaces.
- i. Development or rebuilding of one or two family dwellings on a single Lot and associated accessory structures located in the RM-V3 are exempt from the provision of the Ramona Village Center Plan (§8702).

TABLE 1.0 COLONNADE SUB-AREA GENERAL DESIGN STANDARDS - ACCESS PATTERNS

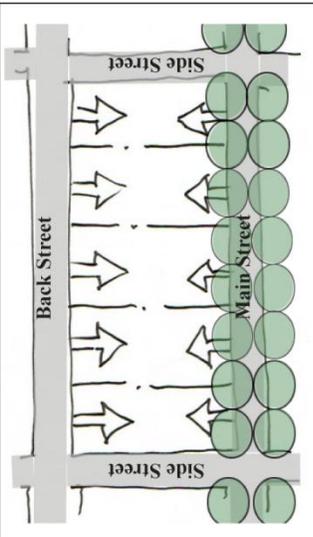
e. Main Street Shared Access Diagram Illustration in the Colonnade Sub-Area (for advisory purposes)



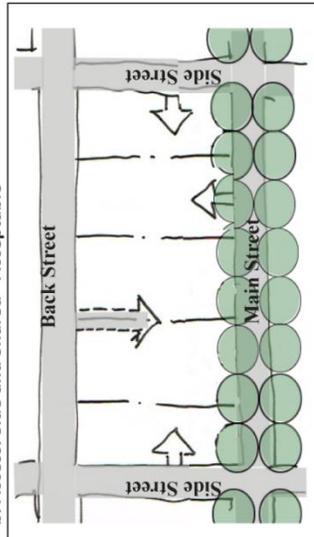
f. Main Street Shared Access Site Plan for the Colonnade Sub-Area (for advisory purposes)



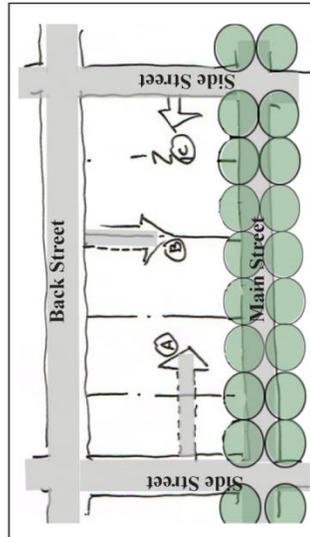
a. Access: Lot by Lot - Undesired (Current Condition)



b. Access: Side and Shared - Acceptable



c. Access: Combination - Desired (Limit Main St. Driveways)



d. Access: Common Easement (Alley) - Preferred

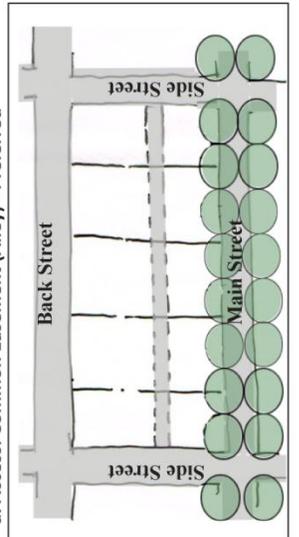
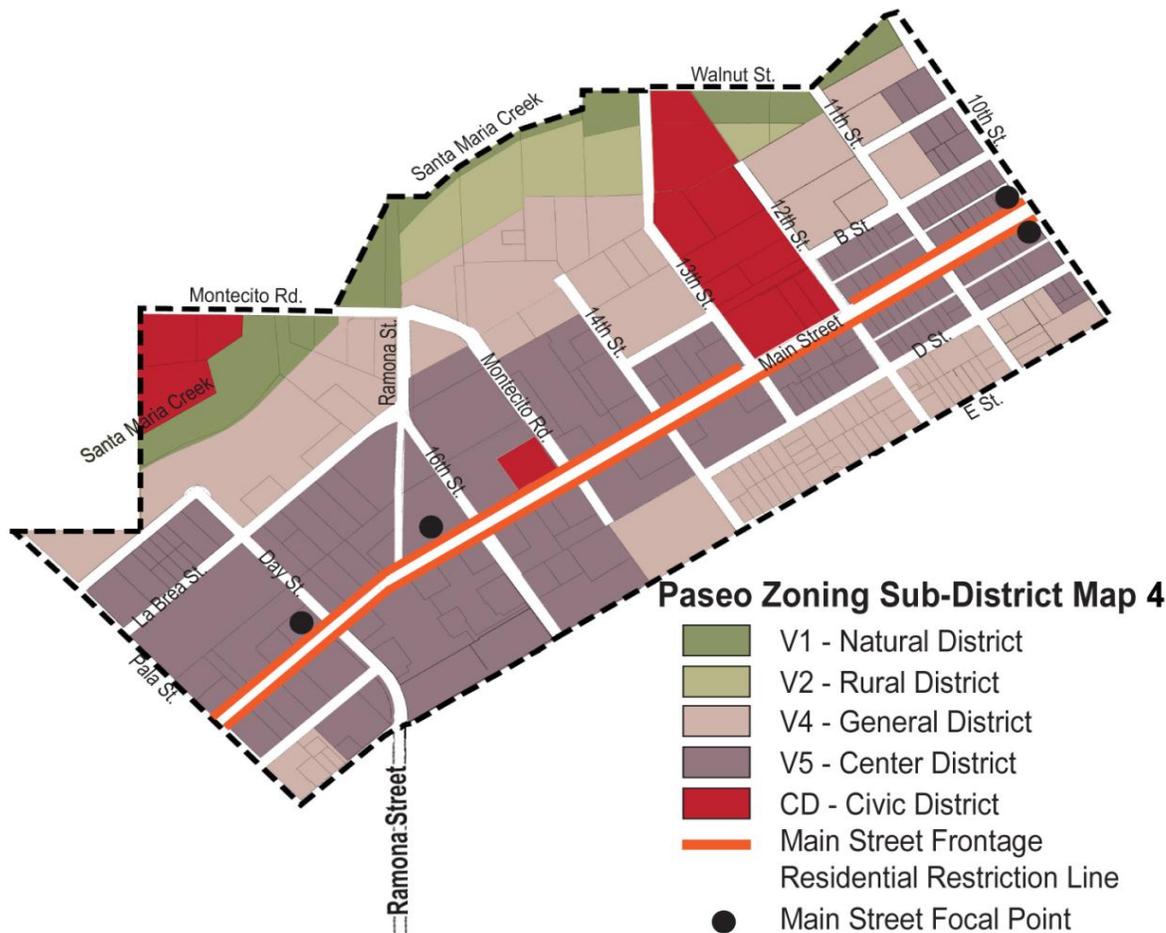


TABLE 1.1 COLONNADE SUB-AREA GENERAL DESIGN STANDARDS - BUILDINGS

<p>a. Building Character and Materials</p> <p>i. Lightest at Top: Metal, Clay Tile, Composite Tiles, Composite Shingles, and Exposed Beams.</p> <p>ii. Lighter Middle: Metal, Wood, brick, Stone, Adobe, Stucco, Exposed Beams/Columns</p> <p>iii. Heaviest at Base: Metal, Granite Block, Concrete, Brick, Heavy Timber/Beam</p>	<p>b. Main Street Shared Parking Court and Freestanding Rural Building Access Patterns</p> <p>Organize buildings and opens spaces between them to create detached rural buildings, outdoor spaces, transitions between indoors and outdoors, and focal points. This pattern will provide clear lanes for automobile and pedestrian access while minimizing the number of curb openings onto Main Street.</p>
<p>c. Building Patterns</p> <p>Single to Two Story (at Focal Points) Buildings with a variety of Roof Types and Cornice Lines that Conceal Roof Mounted Equipment.</p> <p>Windows and Doors Rhythm have Vertical or Square Proportions (simple division of 2 to 6 bays).</p> <p>Rhythm of Store Front Bays, Patios and Parking Areas have Horizontal Proportions (typical building frontage and lot widths are 25 to 50 feet).</p>	<p>d. Detail of Building Materials</p> <p>Changing materials at corners make front materials look pasted-on. Heavier, more basic or more unadorned materials should occur below a horizontal joint, such as rough stone below brick or brick below wood siding. Traditional buildings become lighter and more adorned as they approach the sky. Vertical joints between different materials should occur only at inside corners except in rare instances that are appropriate to the building style. Material changes at outside corners are unnatural. This gives the entire building an aura of cheapness and shall not be permitted.</p>



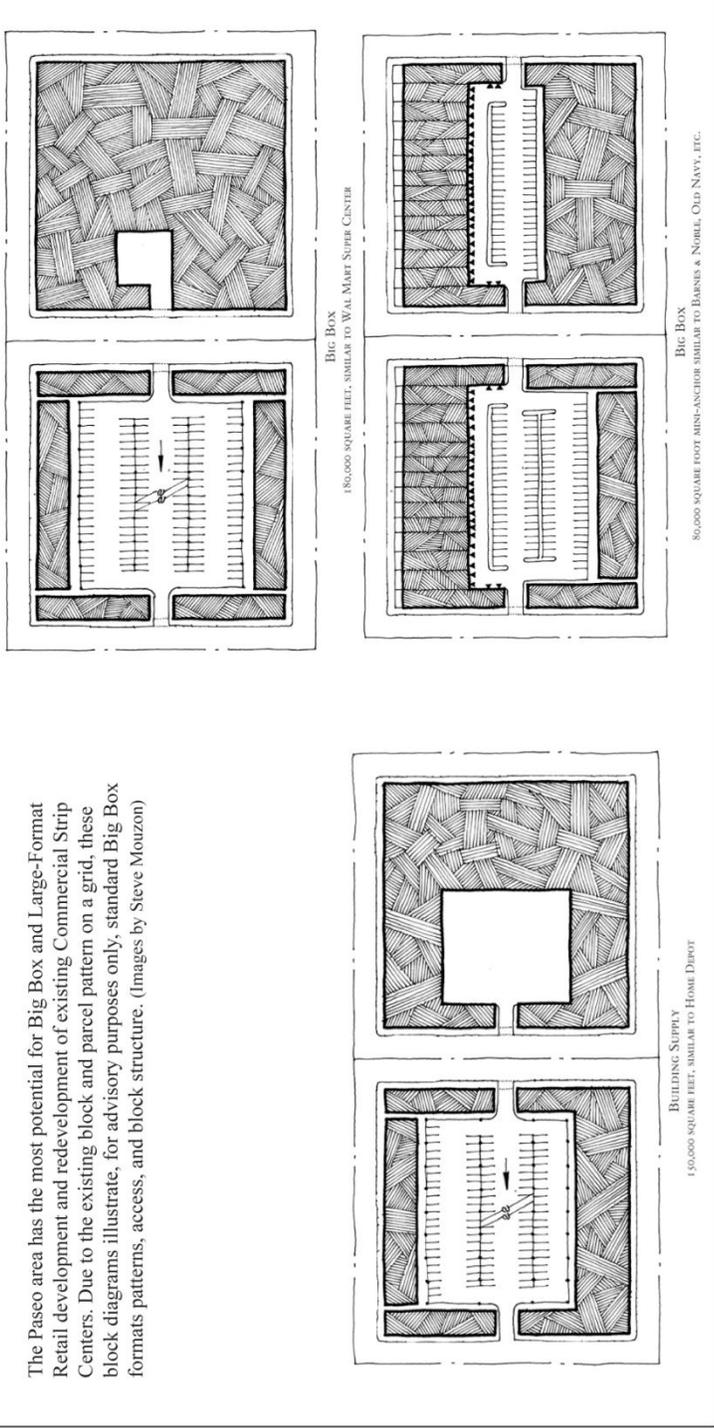
8717 Paseo Sub-Area Intent

- a. The Paseo is intended to be the main development area in the Village Center.
- b. The Paseo is intended to link the Santa Maria Creek Greenway with Main Street and surrounding neighborhoods through new parks (see Public - Civic Standards), streets and trails (see Public - Thoroughfare Standards).
- c. With each new development, the current conventional suburban development pattern (commercial strip centers behind parking lots) is intended to transition into a contemporary Main Street with development patterns and character similar to the Old Town Sub-Area (attached multi-story buildings fronting onto Main Street).
- d. The Main Street Frontage Residential Restriction Line is intended to only allow for Commercial Use building entrances to front onto Main Street. All Residential Unit entries must be accessed from the second and third Lot Layer (§8721).
- e. The Main Street Focal Point is intended to allow for three (3) stories and 45-foot height limit at those specific Lots located on important Focal Points on Main Street. Everywhere else is limited to two (2) stories and 35-foot maximum height.
- f. Santa Maria Creek 100 year Flood Plain is defined by Zoning District RM-V1.
- g. Paseo Public Frontage intention:
 - i. Sidewalks should be contiguous with the street to aid access to and from vehicles parked at curbside.
 - ii. The sidewalks should be sufficiently wide to allow for adequate pedestrian movement to allow for street furniture in the public frontage Furnishing Zone.
 - iii. Curb cuts should be eliminated and minimized to allow the continuity of the flow along the sidewalk.
 - iv. Streetlights and Signage should be designed to maintain the current low-key and respectful character of simple decorative poles with shielded lights per RM-V5 Design Standards graphics (§8741 and Table 2.7).
- h. A shared parking area/facility should be incorporated into large-scaled, over 15-acres, private development plans.
- i. Shared Civic Spaces (§8749 and Table 2.9) shall be incorporated into every new private development plan that exceeds 75 linear feet along the Main Street Frontage Residential Restriction Line.
- j. Allow for permeable surfaces in all parking areas in combination with trees to perform as stormwater facilities.
- k. Public Art shall be allowed on all public and private buildings and spaces.

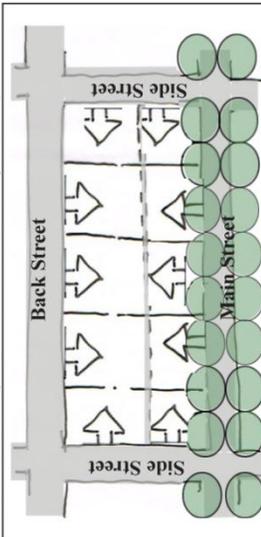
TABLE 1.2 PASEO SUB-AREA GENERAL DESIGN STANDARDS - ACCESS PATTERNS

a. Main Street Big Box Development Access Patterns (for Advisory Purposes)

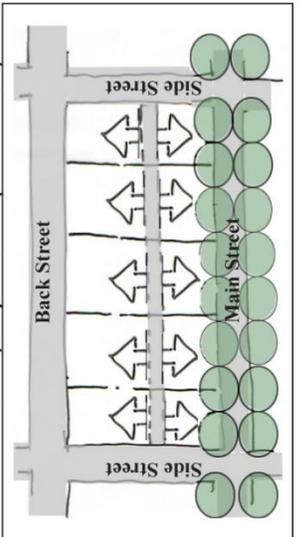
The Paseo area has the most potential for Big Box and Large-Format Retail development and redevelopment of existing Commercial Strip Centers. Due to the existing block and parcel pattern on a grid, these block diagrams illustrate, for advisory purposes only, standard Big Box formats patterns, access, and block structure. (Images by Steve Mouzon)



b. Access: Lot by Lot - Undesired (Existing Pattern)



c. Access: Rear Lane/Alley - Preferred (Future Pattern)



d. Main Street Block Access Elevations

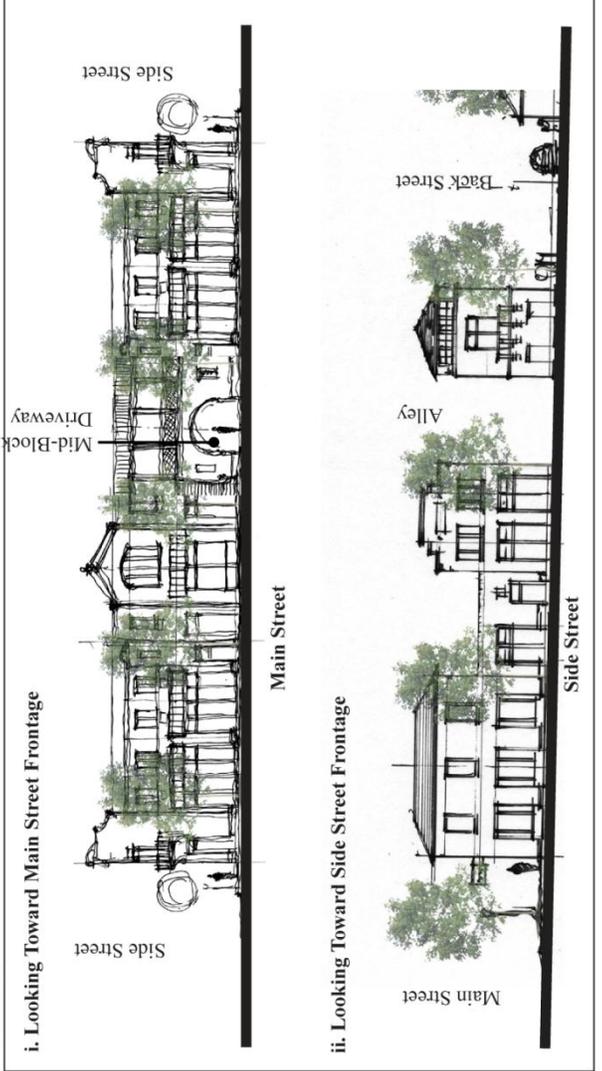


TABLE 1.3 PASEO SUB-AREA GENERAL DESIGN STANDARDS - BUILDINGS

b. Detail of Building Materials	
<p>a. Building Character, Materials, and Pattern</p> <p>i. Lightest at Top: Metal, Clay Tile, Composite Tiles, Composite Shingles, and Exposed Beams.</p> <p>ii. Lighter Middle: Metal, Wood, brick, Stone, Adobe, Stucco, Exposed Beams/Columns</p> <p>Windows and Doors Rhythm have Vertical or Square Proportions (simple division of 2 to 6 bays).</p> <p>iii. Heaviest at Base: Metal, Granite Block, Concrete, Brick, and Heavy Timber/Beam</p>	<p>Single to Two Story (at Focal Points) Buildings with a variety of Roof Types and Cornice Lines that Conceal Roof Mounted Equipment.</p> <p>Rhythm of Store Front Bays, Patios and Parking Areas have Horizontal Proportions (typical building frontage and lot widths are 25 to 50 feet).</p>
<p>DO NOT</p> <p>DO</p> <p>Changing materials at corners make front materials look pasted-on. Heavier, more basic or more unadorned materials should occur below a horizontal joint, such as rough stone below brick or brick below wood siding. Traditional buildings become lighter and more adorned as they approach the sky. Vertical joints between different materials should occur only at inside corners except in rare instances that are appropriate to the building style. Material changes at outside corners are unnatural. This gives the entire building an aura of cheapness and shall not be permitted.</p>	<p>c. Big Box or Large-Format Retail Building Character and Pattern</p> <p>Ramona is a historical town with a distinctive sense of character, which is usually at odds with standard large-format retail practices of a building program of planned obsolescence and in-ability to reuse the new building for other uses, therefore they are frequently abandoned after 10 years or so. The town of Ramona requires new Big Box development proposals demonstrate that it has considered the positive influences of the neighboring historic properties and made a diligent effort to maintain and enhance historical Main Street patterns located in the Old Town Sub-Area. The Big Box building character shall balance the parking needs, due to being a regional shopping attraction, with other mobility needs, such as walking, biking, and transit. The buildings should front onto Ramona's Main Street in order to maintain the continuity of Main Street Village Center character.</p> <p>Primary building entrances shall be detailed and designed as a focal point of the front elevation.</p> <p>Maintain rhythm of Main Street storefront bays (divided by 2 to 6 bays). Building frontages have a minimum width of 25 feet and a maximum of 50 feet, measured at the Frontage Line with the average lot width being 50 feet wide.</p> <p>Primary storefront entry shall front onto Main Street either mid-building or at corners.</p>

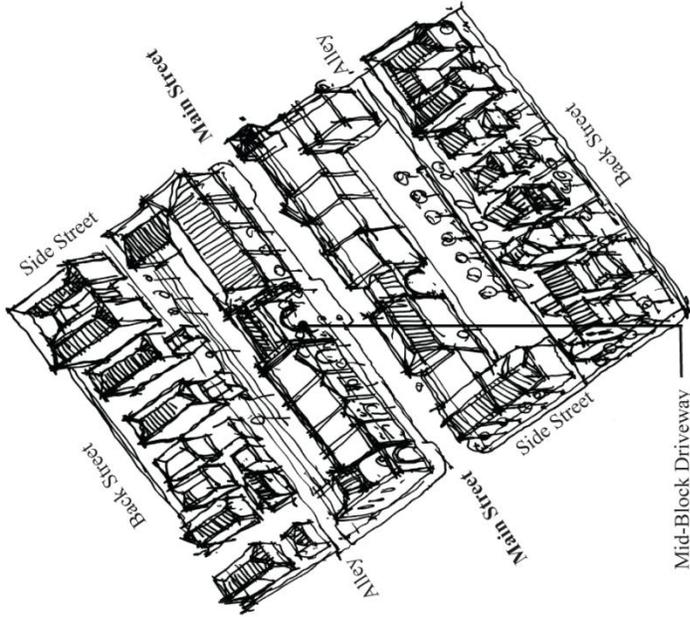


8719 Old Town Sub-Area Intent

- a. The Old Town Sub-Area is the historic center of Ramona that is intended to be preserved as a historically significant place as well a commercially viable Village Center.
- b. The Old Town is intended to connect a working Main Street to the surrounding neighborhoods and Santa Maria Creek Greenway, Ramona Community Park and Collier County Park.
- c. With each new development, the current traditional development pattern (buildings fronting the street with parking in the rear of the Lot) shall be respected in order to preserve Main Street and the existing character of Old Town Ramona.
- d. The Main Street Frontage Residential Restriction Line is intended to only allow for Commercial Uses to front onto Main Street. All Residential Unit entries shall be accessed from the second and third Lot Layers (§8721).
- e. The Main Street Focal Point is intended to allow for three (3) stories and 45 feet maximum height limit at specific Lots located at key places along Main Street. Everywhere else is limited to two (2) stories and 35 feet maximum height.
- f. The Santa Maria Creek 100 years Flood Plain is defined by Zoning District RM-V1.
- g. Old Town Public Frontage intention:
 - i. Sidewalks should be contiguous with the street to aid access to and from vehicles parked at curbside.
 - ii. The sidewalks should be sufficiently wide to allow for adequate pedestrian movement to allow for street furniture in the public frontage Furnishing Zone.
 - iii. Curb cuts should be eliminated and minimized to allow the continuity of the flow along the sidewalk.
 - iv. Streetlights and Signage should be designed to maintain the current low-key and respectful character of simple decorative poles with shielded lights per RM-V5 Design Standards graphics (§8741 and Table 2.7).
- h. A shared parking area/facility should be incorporated into an Old Town Main Street Management Program.
- i. Shared Civic Spaces (§8749 and Table 2.9) shall be incorporated into every new private development plan that exceeds 75 linear feet along the Main Street Frontage Line (§8723.a.).
- j. Allow for permeable surfaces in all parking areas in combination with trees to perform as stormwater facilities.
- k. Public Art shall be allowed on all public and private buildings and spaces.

TABLE 1.4 OLD TOWN SUB-AREA GENERAL DESIGN STANDARDS - ACCESS PATTERNS

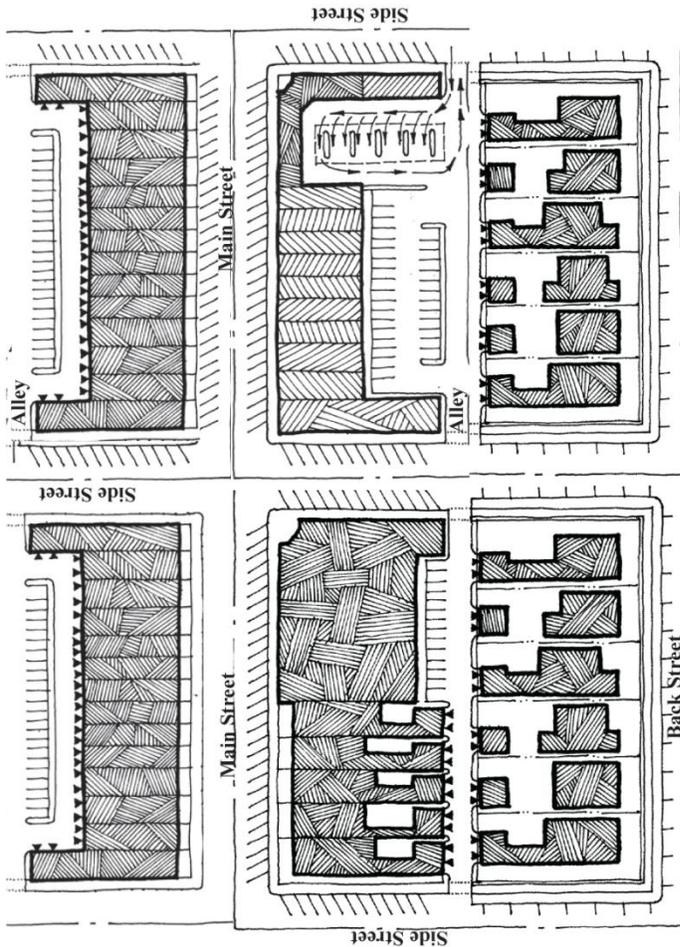
b. Main Street Block Access Patterns Diagram



Public Thoroughfare Access:

These design standards and related Public Thoroughfare (Section 8800) with Private Development (Sections 8200-8600) provide guidance for the development of improvement projects on facilities typically classified as high-speed, limited access Arterials, Collectors, Major Roads and local streets. By applying these standards in transportation planning and in the design of roadway improvement and maintenance projects in Ramona's Village Center that support compact development, with a variety of Land Uses that support automobiles, pedestrians, and bicyclist.

a. Main Street Shared Parking Areas and Access Patterns



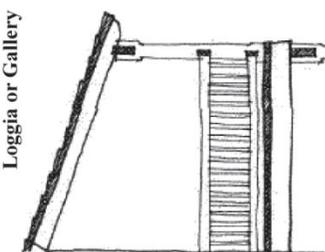
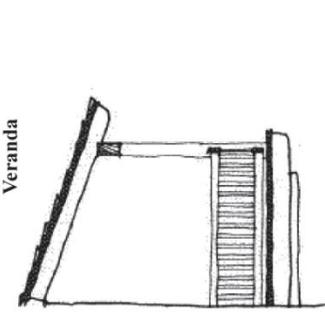
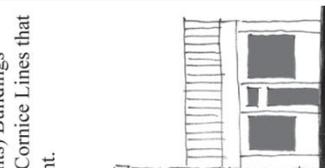
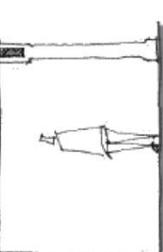
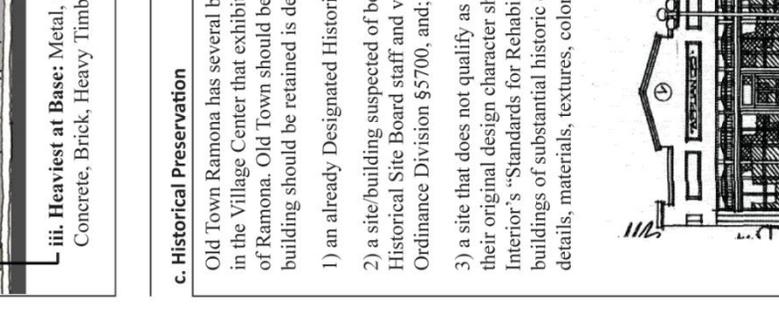
Shared Public Parking Lots:

Coordinated signage and Main Street Management Program will direct visitors to common public parking lots in rear alleys. Rear alley parking areas will alleviate the need for On-Street parking to provide for all parking needs. Coordinated signage will expedite the time necessary to find parking.

Drive Thru Service:

Use the mid-block alley at corner Lots to access gas stations, fast food, and other drive-thru establishments. Traffic and curb-cut conflicts are lessened at mid-block alleys and crossing, but are increased at corners curb cuts. Coordinated signage should be used to direct drivers to drive thru lanes.

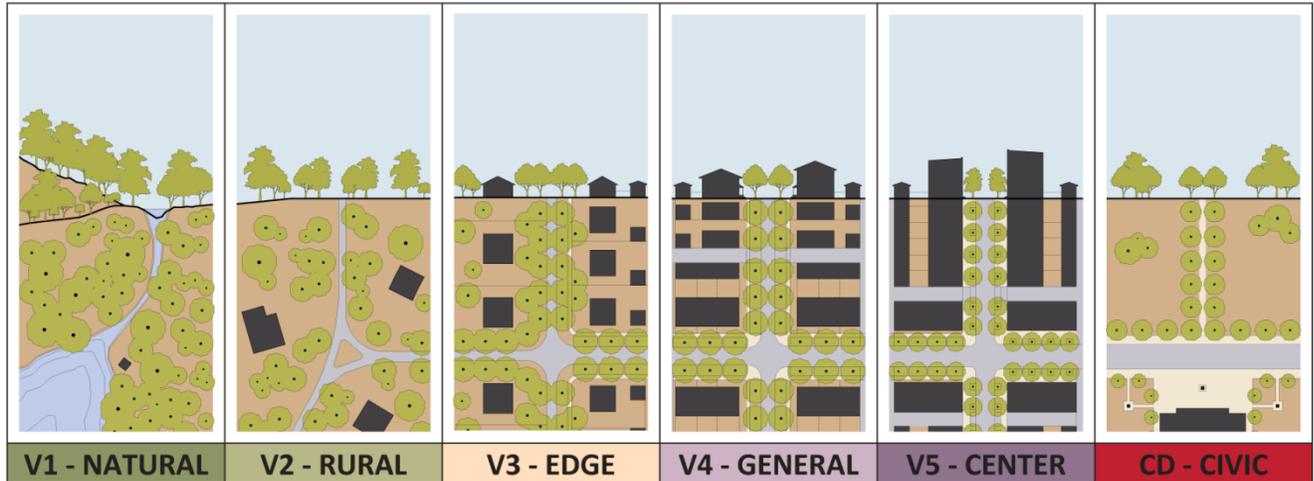
TABLE 1.5 OLD TOWN SUB-AREA GENERAL DESIGN STANDARDS - BUILDINGS

<p>a. General Building Character, Materials and Pattern</p> <p>i. Lightest at Top: Metal, Clay Tile, Composite Tiles, Composite Shingles, and Exposed Beams.</p>  <p>ii. Lighter Middle: Metal, Wood, brick, Stone, Adobe, Stucco, Exposed Beams/Columns</p>  <p>iii. Heaviest at Base: Metal, Granite Block, Concrete, Brick, Heavy Timber/Beam</p>  <p>Single to Two Story (at Focal Points) Buildings with a variety of Roof Types and Cornice Lines that Conceal Roof Mounted Equipment.</p>  <p>Rhythm of Store Front Bays, Patios and Parking Areas have Horizontal Proportions (typical building frontage and lot widths are 25 to 50 feet).</p> <p>Windows and Doors Rhythm have Vertical or Square Proportions (simple division of 2 to 6 bays).</p>	<p>b. Detail of Building Materials</p> <p>Veranda</p>  <p>Loggia or Gallery</p>  <p>Exterior spaces of most buildings in Old Town Sub-Area should be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias within Private Lots and Galleries along Public Frontages.</p>
<p>c. Historical Preservation</p> <p>Old Town Ramona has several buildings that represent a century of architecture. The old Grange Hall, the Town Hall and adjacent commercial buildings join blocks of modest cottages and homes in the Village Center that exhibit historic significance. The details, bulk, scale and building form of these buildings provide the measurements for the design standards that exhibit the character of Ramona. Old Town should be considered for placement on the National Historic District registry. Ramona's history is recorded in many of the built structures still remaining. To what degree a building should be retained is dependent on one of three (3) categories:</p> <ol style="list-style-type: none"> 1) an already Designated Historic site/building; 2) a site/building suspected of being a significant part of Ramona or our nation's history should research to establish the validity of the site's historical role, then contact County of San Diego Historical Site Board staff and voluntarily nominate the site for Historical Registry if it so merits. Finally, incorporate the site and its qualities into new improvements per San Diego County Zoning Ordinance Division §5700, and; 3) a site that does not qualify as a Historical Site but exhibits a good deal of the character of a period that can contribute to Ramona's historic continuity. All older buildings which retain much of their original design character should be retained and should have all alterations and additions done per compatibility standards outlined in Zoning Ordinance §5718 as well as the Secretary of the Interior's "Standards for Rehabilitation and Guidelines for Historic Buildings" publish by the U.S. Department of the Interior. Finally, all new buildings which are built on to or adjacent to older buildings of substantial historic character should be designed to be respectful of the older buildings, while not mimicking the older buildings. New structures should consider the compatibility of details, materials, textures, colors and landscape features. 	

8720 Zoning Districts

- a. The following Districts are established under the provisions of this Section:
- i. The Natural District (RM-V1) consists of land subject to the Santa Maria Creek Greenway Master Plan and is intended to approximate a open, undeveloped condition to be reserved as Natural Space.
 - ii. The Rural District (RM-V2) consists of mostly underdeveloped or agricultural lands with little spatial definition to outdoor spaces, if any.
 - iii. The Edge District (RM-V3) consists of lightly developed land that is primarily rural residential, equestrian and agricultural in character, where deep setbacks and limited Lot coverage creates only a minimal level of spatial definition of outdoor spaces.
 - iv. The General District (RM-V4) consists of moderately developed land that is generally residential in character, but permits an appropriate level of Shared-uses. Moderate setbacks and Lot coverage by new buildings creates an increased sense of more formal spatial definition.
 - v. The Center District (RM-V5) consists of the most developed land and establishes a Main Street sense of place. Shallow setbacks, high Lot coverage and multi-story buildings create a very formal spatial definition.
 - vi. The Civic District (RM-CD) consists of open spaces and public buildings dedicated to arts, culture, education, recreation, local government, and/or municipal parking Uses that serve as necessary components of any community.

TABLE 1.6 ZONING DISTRICTS (FROM NATURE TO VILLAGE CENTER)



8721 Lots in Multiple Zoning Districts

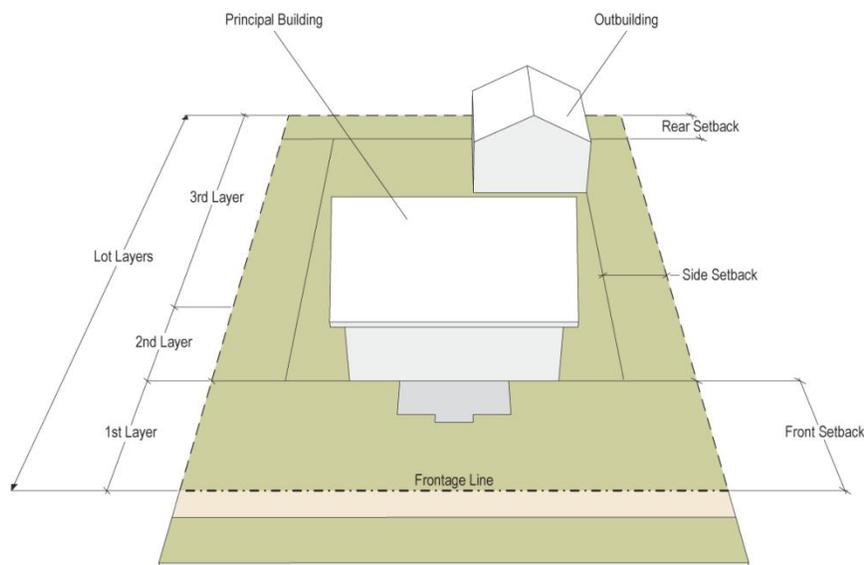
- a. Where a legal Lot has split zoning, the regulations for each separate district shall apply. Where an individual building is bisected by a split zone line within a legal lot, the more restrictive Use Regulations shall apply.

PART EIGHT: 8710 Sub-Area General Standards

8723 Lot

- a. Lot lines abutting a Thoroughfare shall be known as a Frontage Line as per Table 1.7.
- b. Frontage Setbacks are measured from Property Lines, and not measured from Public Right-of-Way Center Line(s).
- c. Lots with multiple Lot Lines abutting Thoroughfare shall designate one Frontage Line as a Primary Frontage Line, with all remaining Frontage Lines designated as Secondary Frontage Line(s).
- d. Lot Width shall be calculated as the length of the Primary Frontage Line of a Lot, measured from side Lot Line to side Lot Line (see Summary Tables for each RM-V Zone).
- e. Where multiple Lots are aggregated under single ownership, the side Setbacks between assembled Lots may be eliminated.
- f. Lots shall be regulated according to three horizontal Layers as shown on Table 1.7 and according to the following guidelines:
 - i. First Layer: The area of a Lot from any Frontage Line or the Facade of the Principal Building.
 - ii. Second Layer: The area of a Lot set behind the first Layer to a depth of 20 feet.
 - iii. Third Layer: The area of a Lot set behind the second Layer and extending to the rear Lot Line.

TABLE 1.7 LOT LAYER SUMMARY



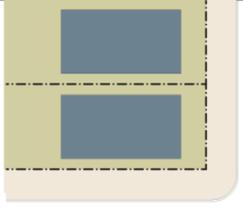
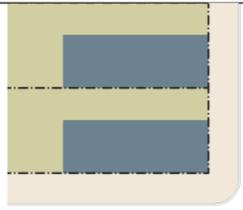
Primary Frontage Line	A Lot line bordering the primary access from the Public Frontage along a thoroughfare.
Secondary Frontage Line	Corner Lots have more than one Frontage Line. One Frontage Line is designated the Primary Frontage Line and all remaining Frontage Lines are designated as Secondary Frontage Lines.
Lot Width	The length of the Primary Frontage Line of a Lot.
First Layer	The area of a Lot from the Frontage Line to the Facade of the Principal Building.
Second Layer	The area of a Lot set behind the 1st Layer to a depth of 20 feet in all V-Zones.
Third Layer	The area of a Lot set behind the 2nd Layer and extending to the rear Lot Line.
Primary Front Setback	The area of a Lot measured from the Primary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Secondary Front Setback	The area of a Lot measured from the Secondary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Side Setback	The area of a Lot measured from any side Lot Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Rear Setback	The area of a Lot measured from a rear Lot Line to the nearest permissible location of a Principal Building or Outbuilding, excluding Encroachments.
Primary Building	The main building on a Lot.
Outbuilding	A building located toward the rear of a Lot such as a garage, carport, or workshop and may include an Accessory Unit.

PART EIGHT: 8710 Sub-Area General Standards

8725 Building Placement

- a. Front, Side and Rear Setbacks control the spatial enclosure of Thoroughfares and Civic Spaces, and are coordinated by district according to 8711 Intent.
- b. Buildings shall be positioned within the designated setbacks of their Lots to create Freestanding Rural Building(s) or Attached Compact Building(s) as indicated for each district as generally illustrated on Table 1.7, 1.8 and 1.9.
- c. Primary Building Facades shall be built parallel to the Frontage Line of a Lot in order to ensure buildings face the street.
- d. Lot coverage by buildings and impermeable surfaces shall be regulated as a percentage of each Lot's area.
- e. Primary Building Facades shall be built out along a minimum percentage of a Lot's Width, as specified for each Zoning District as a Facade Build-out abutting the Primary Frontage thoroughfare.

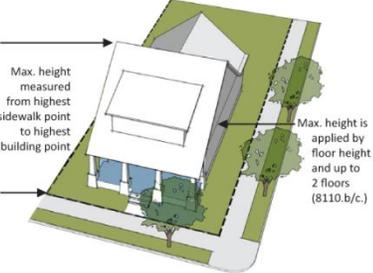
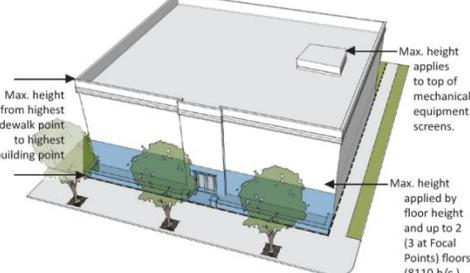
TABLE 1.8 BUILDING PLACEMENT ON THE LOT

<p>a. Freestanding Rural Buildings (Detached) Defined by their open space (yard) with Porches, Common Yards, and Terrace frontages (see Table 1.6), the Colonnade Sub-Area exemplifies this pattern. All of RM-V1, RM-V2, RM-V3 and a majority of RM-V4 with less in RM-V5 will include detached buildings. Residential, commercial and horizontal mixed use buildings use this building and yard type.</p>		<p>b. Compact Buildings (Attached) Defined by their various shop front, entry planter, and stoop frontages with the yard in the rear or mid Lot. The Old Town Sub-Area Main Street exemplifies this pattern. Rowhouses, stacked flats, commercial buildings and vertical mixed use building use this building type. The majority of Ramona is limited to 2 floors and 35 height with 3 floor buildings allowed on Focal Points lots.</p>	
<p>i. Edgeyard: The placement of a Primary Building within the boundaries of its Lot to create an Edgeyard around the building, with Setbacks on all sides. The Primary Frontage Line is along the Thoroughfare.</p>		<p>V1 V2 V3 V4</p>	<p>i. Rearyard: The placement of a Primary Building within the boundaries of its Lot to create a Rearyard, leaving the rear of the Lot as private space or available for dedicated parking in its commercial form.</p>
<p>ii. Sideyard: The placement of a Primary Building within the boundaries of its Lot to create a private Sideyard, with a Setback to one side.</p>		<p>V3 V4 V5</p>	<p>ii. Courtyard: The placement of a Primary Building within the boundaries of its Lot to create a private Courtyard, while internally defining one or more private patios.</p>
			<p>V4 V5</p>

8727 Building Height

- a. Permitted building heights shall be measured in number of Stories (Floors) and maximum height.
- b. Stories may not exceed 16 feet in maximum height from ground floor to upper floor.
- c. Upper Stories may not exceed 14 feet in maximum height from upper floor to upper floor.
- d. Maximum height limit is 35 feet, except on five (5) Lots located in the RM-V5 Zoning District within the Paseo and Old Town Sub-Areas identified by a Focal Point to allow three (3) Stories and 45 feet maximum height limit (see Maps 4 and 5).
- e. Height is measured by the vertical distance from the adjoining sidewalk average to the highest point of a flat roof or the maximum height of the highest gable of a pitched or hipped roof. Mechanical equipment shall be screened from sidewalk view.
- f. Purposely built steeples, masts, belfries, clock towers, water tanks and windmills only shall not exceed a maximum 45 feet height limit and/or not to exceed 35% of the maximum building height.

TABLE 1.9 BUILDING HEIGHT DEFINITION ILLUSTRATED

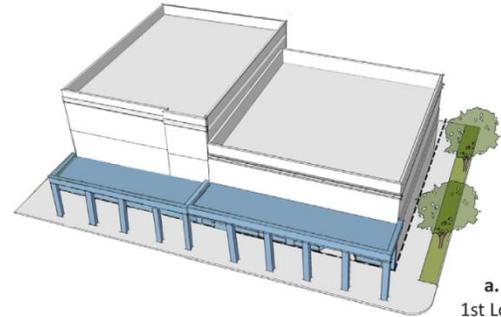
<p>a. Freestanding Rural Building (Detached) Height: Maximum height shall be 35 feet and 2 floors without exception. The max. height includes all roof ridges, parapets, and rooftop mechanical equipment screen.</p>	 <p>Max. height measured from highest sidewalk point to highest building point</p> <p>Max. height is applied by floor height and up to 2 floors (8110.b/c.)</p>	<p>b. Compact Building (Attached) Height: The Maximum height shall be 35 feet and 2 floors (Exception: Focal Point lots shall be 45 feet and 3 floors, see Map 2). The max. height(s) include all roof ridges, parapets and rooftop mechanical equipment screens.</p>	 <p>Max. height from highest sidewalk point to highest building point</p> <p>Max. height applies to top of mechanical equipment screens.</p> <p>Max. height applied by floor height and up to 2 (3 at Focal Points) floors (8110.b/c.)</p>
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8729 Private Frontages

a. Building Encroachments are permitted to extend into the First Lot Layer of any Lot by a specific percentage as indicated for each Zoning District per each Zoning District's Public Encroachment Table.

TABLE 1.10 PUBLIC ENCROACHMENTS & PRIVATE FRONTAGES

	LOT LINE PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
a. Gallery: an attached cantilevered shed or a lightweight colonnade extending from a building facade to overlap the Sidewalk. Accessible to Attached Buildings				
b. Awning: a window covering attached to an exterior wall of a building to shade a shopfront display window. Accessible to Attached Buildings.				
c. Entry Planter: a raised or at grade vegetative planter at one or both sides of a Principal Entrance of a building. Accessible to both Attached and Freestanding Buildings.				
d. Stoop: an exterior stair and landing leading to an elevated first Story of a building and primarily to access Attached Residential Uses. Accessible to Attached Buildings.				
e. Terrace: an elevated, paved patio, porch or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.				
f. Porch: a roof covered raised platform at the entrance to a building with a common yard buffering it from pedestrian activity of the Sidewalk. Accessible to Freestanding Bldgs.				
g. Common Yard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk. Accessible to Freestanding Buildings.				

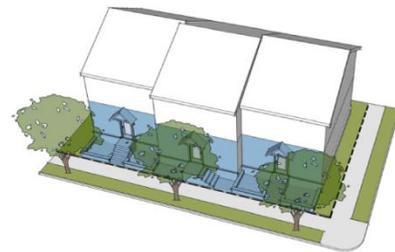


a. Gallery
1st Lot Layer



b. Awning
1st Lot Layer

c. Entry Planter
1st Lot Layer



d. Stoop
1st Lot Layer



f. Porch
1st Lot Layer



g. Common Yard
1st Lot Layer

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8730 RM-V5 Center District Development Standards

8731 Lot

8732 Building and Land Use

Table 2.0 Permitted Uses

8733 Parking and Storage

Table 2.1 Required Parking Spaces

Table 2.2 Shared Use Parking Multiplier

Table 2.3 Parking Placement Standards

8734 Building Placement

8735 Building Height

8737 Landscape

8739 Stormwater Management

Table 2.4 RM-V5 Summary Table

8740 Private Frontages

Table 2.5 Encroachment Specifications

8741 Building Design Standards

Table 2.6 Design Standards Illustrated

8743 Signage

8745 Lighting

Table 2.7 Sign Standards

8747 Fencing

Table 2.8 Fencing Standards

8749 Shared Civic Space

Table 2.9 Shared Civic Space Types

PART EIGHT: 8730 RM-V5 Center District

Lots located within the RM-V5 Center District shall be subject to the requirements of this section.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table 2.5). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (§8731). These Public Frontage requirements are located in §8850 Public Thoroughfares Design Standards.

8731 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 50 feet measured at the Frontage Line along the Primary Thoroughfare.

8732 Building and Land Use

- a. Permitted Uses for Lots designated as RM-V5 are listed on Table 2.0.
- b. A Primary Building may share up to three (3) Uses.
- c. Residential Uses, and related Private Frontages and Encroachments are not allowed within the ground floor Story on a Lot abutting the Main Street Frontage Residential Restriction Line, as shown on the Ramona Village Center Zoning Map, Old Town, Paseo and Colonnade Sub-Area Maps,
- d. Wireless Telecommunication Facilities and towers are categorized as Minor Impact Utilities and are regulated by the County of San Diego Zoning §6980 excepting §6985 and §6986 and shall not exceed a height of 35 feet.

TABLE 2.0 PERMITTED USES

RESIDENTIAL	V5
Accessory Apartment	
Family Residential	R
Farm Labor Camps	
Group Residential	M
Mobile Home Residential	
OFFICE	V5
Professional Office Space (Class A)	R
COMMERCIAL	V5
Administrative and Professional Service	R
Agricultural and Horticultural Sales	
Agricultural Sales	R
Horticultural Sales	R
Agricultural Services	
Animal Sales and Services	
Auctioning	
Grooming	R
Stockyards	
Veterinary (Large Animals)	m
Veterinary (Small Animals)	m
Automotive and Equipment	
Cleaning	m
Fleet Storage	
Parking	R
Repairs (Heavy Equipment)	m
Repairs (Light Equipment)	m
Sales/Rentals (Heavy Equipment)	m
Sales/Rentals (Farm Equipment)	R
Sales/Rentals (Light Equipment)	R
Building Maintenance Services	R
Business Equipment and Sales Services	R
Business Support Services	R
Communication Services	R
Construction Sales and Personal Service	R

R by RIGHT
A BY ADMINISTRATIVE PERMIT
m by MINOR USE PERMIT
M by MAJOR USE PERMIT
□ NOT ALLOWED

COMMERCIAL (continued)	V5
Convenience Sales and Service	R
Cottage Industries	R
Restaurant and Drinking Establishment	R
Outdoor Dining (encroaching into ROW)	R
Food and Beverage Retail Sales	R
Financial, Insurance and Real Estate	R
Funeral and Internment Services	
Cremating / Interning	M
Undertaking	A
Gasoline Sales	R
Laundry Services	R
Medical Services	R
Participant Sports and Recreation	
Indoor	R
Outdoor	
Personal Services, General	R
Recycling Collection / Processing Facility	A
Repair Services, Consumer	R
Research Services (Cottage Industry)	R
Retail Sales	
General	R
Specialty	R
Scrap Operations	
Spectator Sport and Entertainment	
Limited	R
General (Private Gymnasium)	M
Swap Meets (not to exceed 5,000 sf)	m
Transient Habitation	
Campground	
Lodging	R
Resort	
Wholesale Storage and Distribution	
Mini-Warehouse	
Light	A
Heavy	

INDUSTRIAL	V5
Custom Manufacturing	m
General Industrial	m
AGRICULTURAL	V5
Horticulture	
Cultivation	R
Storage	
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	
General	
Support	
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	
EXTRACTIVE	V5
Mining and Processing	
Site Preparation	M
CIVIC	V5
Administrative Services	R
Ambulance Services	R
Emergency Shelter	R
Clinic Services	R
Community Recreation	R
Cultural Exhibits and Library Services	R
Child Care Center	R
Essential Services	R
Fire Protection Services	R
Group Care	
Law Enforcement Services	R
Lodge, Fraternal and Civic Assembly	R
Major Impact Services and Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities (non-commercial)	R
Small Schools (50 or fewer students)	R

8733 Parking and Storage

- a. All parking areas and garages shall be located in the third Lot Layer as illustrated on Table 2.4.D.
- b. Vehicular entrances to parking lots, garages and structures shall be no wider than twenty-four (24) feet at the Lot Frontage.
- c. Open parking areas shall be masked from view at the Public Frontage by a Building, Fence, Landscape and/or Streetscreens.
- d. Pedestrian exits from all parking areas accessing a non-residential building use, should exit towards the Lot Frontage Line(s).
- e. The minimum number of parking spaces required for each Use is specified on Table 2.1. Parking requirements shall only be adjusted as specifically indicated in this Section.
- f. Commercial Uses under 3,000 square feet in the Old Town Sub-Area shall be exempt from all parking space requirements.
- g. The minimum number of parking spaces required for each Use shall be calculated as the sum of the actual parking provided on-site, within the Lot. Off-site parking along the thoroughfare should be used for guests and visitors.
- h. For Lots with more than one Use (i.e. Shared-Uses), the total number of parking spaces required may be adjusted by multiplying the total number of parking paces required for all Uses as indicated on Table 2.2.
- i. Determination of required parking for Use combinations not listed on Table 2.1 shall be approved on a case-by-case basis through the Site Plan process as referenced in §8700.
- j. The Shared-Use Parking multiplier may be used to reduce the total number of parking spaces required for combination of Uses listed on Table 2.2.
- k. Shared-Use Parking calculations shall be rounded up to a whole number and two (2) Uses shall use the highest multiplier percentage.
- l. Outdoor Storage. Loading and Service Areas shall be located in the second and third Lot Layers on Table 2.4.D Parking and Storage Diagram.
- m. Outdoor Storage shall be completely enclosed by a minimum six (6) feet to maximum eight (8) fence covered by a solid or opaque material, with the exclusion of Agricultural Equipment Storage Uses.
- n. Outdoor display areas shall temporarily exhibit merchandise during business hours only. Permanent Outdoor displays shall be allowed on a case-by-case basis through the Site Plan process as referenced in §8705.b.

TABLE 2.1 V5 REQUIRED VEHICULAR PARKING SPACES

RESIDENTIAL	1.0 / dwelling
COMMERCIALⁱ	3.0 / 1000 sq. ft.
Automotive and Equipment	2.5 / 1000 sq. ft.
Business Equipment and Sales Services	2.5 / 1000 sq. ft.
Medical Services	2.0 / 1000 sq. ft.
Participant Sports and Recreation	1.0 / 5 users total occupancy
Spectator Sport and Recreation	not applicable
Swap Meets	6.0 / 1000 sq. ft.
Transient Habitation	1.0 / guest room
Wholesale Storage and Distribution	1.0 / 400 sq. ft.
CIVIC	1.0 / 5 users total occupancy
Clinical Services	1.5 / employee; 1.0 / exam room
Community Recreation	1.0 / 5 users total occupancy
Child Care (and small schools)	1.0 / 400 sq. ft.
Group Care	1.0 / 4 beds
Lodge, Fraternal or Civic Assembly	1.0 / 5 users total occupancy
Major Impact Services and Utilities ⁱⁱ	-
Educational Facilities	1.0 / employee; 10 visitor spaces
Other and Charitable	1.0 employee; 0.5 / students
Religious Assembly (More than 50 guests)	1.0 / 4 users total occupancy
OFFICE (CLASS A)	3.0 / 1000 sq. ft.
INDUSTRIAL, AGRICULTURAL, EXTRACTIVE	not applicable

ⁱ Square footage shall be calculated as Gross Leasable Floor Space (Includes Restaurants and Retail)

ⁱⁱ Auditoriums part of educational institutions in the Major Impact Services and Utilities use category shall provide parking spaces according to the regulations for Spectator Sport and Recreation uses in addition to the parking requirement for employees, students, visitors and square footage when required.

TABLE 2.2 SHARED-USE PARKING MULTIPLIER

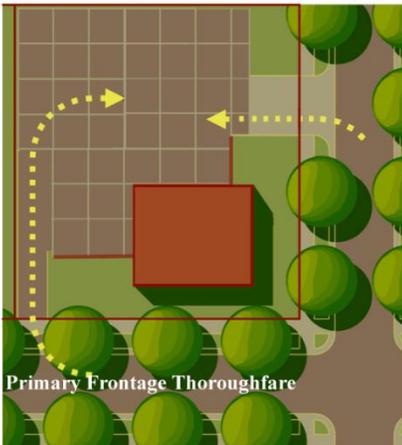
USE #1	USE #2	MULTIPLIER	<p>Example of Share Parking Calculation:</p> <ol style="list-style-type: none"> Determine V5 Building(s) Land Uses per each Lot: <ol style="list-style-type: none"> Ground Floor Professional Services 2,000 sq. ft.: 3 Spaces per 1000 sq. ft. = 6 Parking Spaces Upper Floor Residential Units (2): 1 Spaces per Unit = 2 Parking Spaces Total Number of Parking Spaces Required = 8 Shared Parking Multiplier for Residential Use plus Professional Services (a typical office) = 70% Multiply $8 \times .70 = 6$ (rounded up to whole number) Minimum Number of Parking Spaces is 6 per Lot. <p>The rationale for Shared Parking is that during the day, when the Professionals Services is in use and needing parking spaces, the residences above will be not be in use. This need is reversed after business hours when residents come home. Therefore, two parking spaces are shared on-site. In addition, each lot fronts a street that has on-street parking spaces. These spaces act as overflow and guest parking areas. Shared Parking Multiplier is the minimum amount of parking required and an owner may build above this minimum requirement.</p>
RESIDENTIAL	+ Convenience Sales and Service + Restaurant and Drinking Establishment + Food and Beverage Retail Sales + Laundry Services + Personal Services, General + Repair Services, Consumer + Retail Sales (all types)	80%	
RESIDENTIAL	+ Lodging and Office (Class A)	75%	
RESIDENTIAL	+ Administrative & Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	70%	
Convenience Sales and Service Restaurant & Drinking Establishment Food and Beverage Retail Sales Laundry Services Personal Services, General Repair Services, Consumer Retail Sales (all types)	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	80%	

TABLE 2.3 PARKING PLACEMENT STANDARDS (ADVISORY)

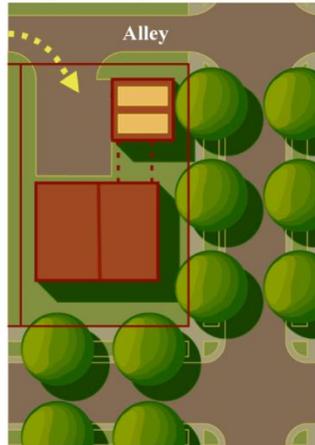
a. Parking Placement on a Lot Standards (Diagrams are Advisory)

These standards only regulate parking on private Lots. These on-site parking standards represent methods that do not allow cars to dominate the faces of buildings. Alleys or rear lanes shall be used for vehicular access. Street frontage may be used for access only at lots where alleys or lanes do not exist. See 2.4.D for Placement.

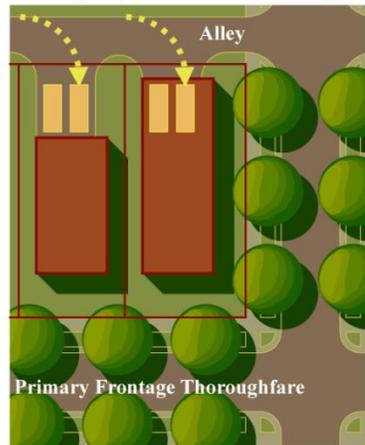
i. Front and Side/Second and Third Lot Layer



ii. Alley Parking w/Mixed Use



iii. Alley/Carport and Within Building



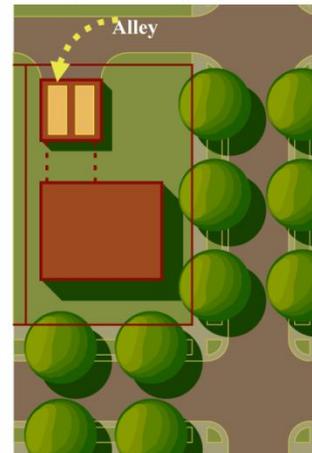
iv. Front/First Lot Layer



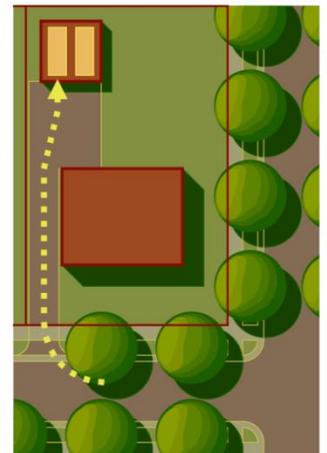
v. Side/Outbuilding Third Lot Layer



vi. Alley/Outbuilding



vii. Third Layer/Outbuilding



8734 Building Placement

- a. Lot coverage by Buildings and impermeable surfaces shall be a maximum of 80% for one (1) Lot area.
- b. Lot coverage by Buildings and impermeable surfaces on combined or multiple Lots shall be a maximum of 70% for two (2) combined Lot areas, and 60% for three combined Lot areas.
- c. Facade Build-out of Primary Building shall be a minimum of 80% of the Lot's width at the Front Setback.
- d. The Principal Entrance of any Primary Building shall be oriented towards the Primary Frontage Line.
- e. In the Colonnade Sub-District only, the Principal Entrance of any Building should be oriented towards Main Street within the first and second Lot Layer.
- f. The habitable living area of an Accessory Unit within an Outbuilding shall not exceed 576 square feet.
- g. In the Colonnade Sub-District only, the side setback shall be a minimum of 15 feet and maximum 30 feet.

8735 Building Height

- a. The maximum height of a Primary Building shall be two (2) floors and 35-feet maximum height, except on Lots identified as Focal Points on the Paseo and Old Town Sub-Area Maps that may be up to three (3) floors and 45-feet (see Table 2.4.A).
- b. The maximum height of all Outbuildings shall be two (2) floors and 25-feet maximum height (see Table 2.4.A).

8737 Landscape (On-Site Private Lot Landscaping - For Public Frontage Landscape Reference 8850)

- a. The first Lot Layer shall have a hardscaped surface treatment with a uniform material, color and pattern.
- b. Privately owned but publicly accessible spaces (i.e.: Shared Civic Space) provided internal to any Lot shall be designed per the Civic Space type characteristics outlined in Table 2.9.a-e.
- c. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree per every ten (10) parking spaces. See Table 8.7 for Canopy Tree species and characteristics.
- d. Parking and landscaped areas shall utilize §8739 Stormwater paving, channeling, storage, and filtration techniques.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide.
- f. Refer to County Regulatory Ordinance §86.701 and Landscape Design Manual.
- g. Shrubs should be of medium size, low creeping variety and shall include Callandra, Ceanothus, Grevillea species, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Rhus and Ribes species.

8739 Stormwater Management

- a. Pervious Paving techniques shall be allowed in the first, second and third Lot Layers (see Table 3.4.d).
- b. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- c. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- d. Channeling facilities shall be allowed in the first, second and third Lot Layer.
- e. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- f. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- g. Storage facilities shall be allowed in the second and third Lot Layers.
- h. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the Santa Maria Creek Greenway.
- i. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- j. Filtration facilities shall be allowed in the second and third Lot Layers.
- k. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- l. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden and Green Roof(s).

TABLE 2.4 RM-V5 SUMMARY TABLE

BUILDING PLACEMENT

Freestanding Rural Buildings	permitted
Attached Compact Buildings	permitted

LOT OCCUPATION

Lot Coverage (Per Single Lot)	80% max.
Facade Buildout at Primary Front Setback	80% min.

PRINCIPAL BUILDING SETBACKS

Primary Front Setback	0 ft. min 15 ft. max.
Secondary Front Setback	0 ft. min. 15 ft. max.
Side Setback	(15 ft. min. 8734.f) 0 ft. min 24 ft. max.
Rear Setback	3 ft. min.

OUTBUILDING SETBACKS

Front Setback	40 ft. max. from rear
Side Setback	0 ft. or 3 ft. at corner
Rear Setback	3 ft. min.

BUILDING HEIGHT (FLOORS/FEET)

Principal Building	2 max. 35 feet max. / 3 max. 45 feet max. at Focal Points only
Outbuilding	2 max. 25 feet

ENCROACHMENTS

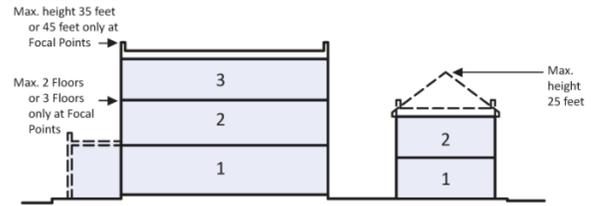
i. Within Setback Encroachments	
<i>Open Porch</i>	not permitted
<i>Balcony and/or Bay Window</i>	100% max.
<i>Stoop or Terrace</i>	100% max.
ii. Public Sidewalk Encroachments	
<i>Awning, Gallery, or Arcade</i>	100% max.
iii. Encroachment Depths	
<i>Porch</i>	not permitted
<i>Gallery</i>	10 ft. min.
<i>Arcade</i>	12 ft. min.

PARKING LOCATION

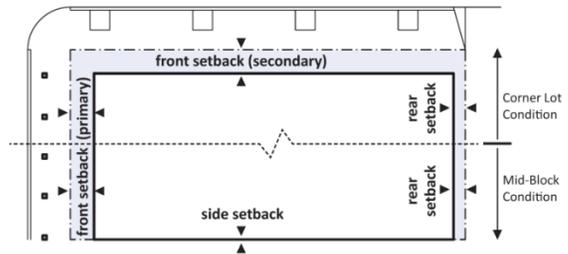
2nd Layer	not permitted
3rd Layer	permitted

STORAGE LOCATION

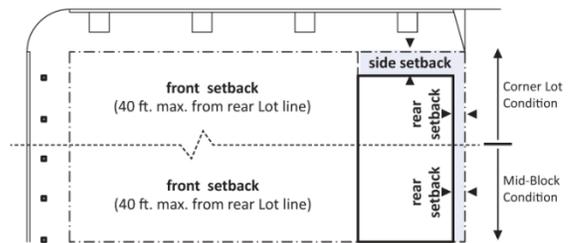
2nd Layer	not permitted
3rd Layer	permitted



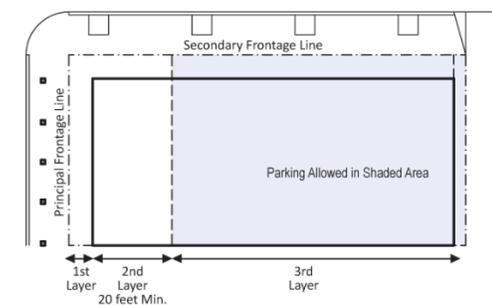
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

8740 Private Frontages

- a. Buildings shall be setback in relation to the boundaries of their Lots as specified on Table 1.7.
- b. Open Porches, Common Yards, Stoops, Terraces, Entry Planters, Balconies, bay windows and roof overhangs may Encroach within the first Lot Layer 100% of its depth, as specified on Table 2.5.
- c. Awnings, Arcades and Galleries may Encroach within the Public Sidewalk Frontage 100% of its depth and shall clear the Sidewalk vertically by at least eight (8) feet as specified on Table 2.5.
- d. A first Story Lodging Use shall be raised a minimum of three (3) feet from the average grade of the Sidewalk. First Story Lodging primary access is not allowed on a Lot with a Main Street Frontage Line designation.
- e. Buildings with a first Story Commercial Use shall have a zero-step Principal Entrance, and the work quarters of Home Businesses shall not be visible from the Main Street Frontage Line.
- f. Loading docks and service areas shall be permitted on Secondary Frontages by Exception §8705.
- g. Existing Buildings with a ground floor Commercial Use may use the first Lot Layer for outdoor seating and dining.
- h. Any building on the north side of Main Street in Old Town (§8719) shall have a window covering, such as a Gallery, Awning or window hood attached to the south facing exterior wall of its Primary Frontage (Table 2.5.c-e) within the first Lot Layer.

TABLE 2.5 RM-V5 ENCROACHMENT SPECIFICATIONS

	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1st Layer)	Public Sidewalk Encroachment	Minimum Height / Depth
a. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.					100%	not permitted	not applicable
b. Stoop: an exterior stair and landing leading to an elevated first Story of a building.					100%	not permitted	not applicable
c. Entry Planter: a raised or at grade vegetative planter at one or both sides of the Principal Entrance of a building.					100%	to within 6 ft. of the Curb	3 ft. height max. 2 ft. depth min.
d. Awning: a window covering attached to an exterior wall of a building. Required on south facing walls on Main Street in Old Town.					100%	to within 2 ft. of the Curb	8 ft. clearance 8 ft. depth
e. Gallery: an attached cantilevered shed or a lightweight colonnade extending from a building Facade to overlap the Sidewalk.					100%	to within 2 ft. of the Curb	8 ft. clearance 8 ft. depth

8741 Building Design Standards (From Building Base to Roof)

- a. The exterior finish material on all Facades shall be limited to brick, adobe, native stone, tinted and textured concrete, wood siding or stucco as illustrated on Table(s) 1.1, 1.3, and 1.5 and follow this general pattern:
 - i. Building wall materials shall be combined on each Facade horizontally with the heavier materials placed below lighter materials, with the lightest materials on top.
- b. The color palette for each distinct property should have its paint-able elements painted different colors from any other property on either side of the block on which they are located, or if on a corner, also painted different from properties immediately across the street. Painted building colors should follow this general pattern:
 - i. Materials-based color palette derived from the natural color of the building materials used to construct the building envelopes. Note: Ramona Design Review Board recommends referencing Sherwin-Williams Historic Collection Classical, Arts & Crafts, and Victorian exterior palette.
 - ii. Soil-based colors are a subset of materials-based colors and result from using earth as a building material.
 - iii. Bright or highly reflective colors, except on rooftops, shall not be used.
- c. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building, and follow this general pattern:
 - i. Doorways without exterior shading shall be recessed from the plane of the Facade or Elevation of a building two (2) inches in depth for every one (1) foot in height.
- d. All window openings, including Porches, Galleries, and Arcades, shall be square or vertical in proportion, excluding Shop Front windows for Commercial Uses (Table 2.6.a) and follow these general patterns:
 - i. All ground floor Facades shall be glazed with clear glass no less than 30% of the first Story.
 - ii. Buildings with a ground floor Commercial Use shall be glazed with clear glass no less than 70% of the first Story.
 - ii. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
 - iv. Windows without exterior shading shall be recessed from the plane of the Facade or Elevation of a building two (2) inches in depth for every one (1) foot in height.
 - v. The open window transom area on a Store Front is not included in the front Window Fenestration calculation.
- e. Shutters, if present, shall be exactly 1/2 the width of the window they cover and shall be operational. Shutters shall be constructed of wood, or engineered wood, and may be paneled or louvered.
- f. Streetscreens should be used to clearly define a Lot's un-built space (parking area or civic space) fronting onto a Primary Thoroughfare, and follow these general patterns (see Table 2.8.h):
 - i. Streetscreens shall be of a similar design to the Facade of buildings they abut.
 - ii. In the absence of a building Facade along any part of a Frontage Line, Streetscreens shall be built along the same vertical plane as the Facade. Streetscreens should maintain the Building Frontage bay rhythm and pattern.
 - iii. Streetscreens shall be between three and a half (3.5) and six (6) feet in height. Streetscreens should be of similar design as adjacent hedge or fencing, see Table 2.7.
- g. Upper floors shall be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias and shall be constructed of wood or metal and be visibly supported by brackets.
- h. Each Building shall have a gable, hip, shed or flat roof, and follow these general patterns for each:
 - i. Finish material for any sloped roof shall be limited to clay tile, concrete tile, composition shingles, or standing seam or corrugated metal.
 - ii. Enclosed eaves of sloped roofs shall project from the walls to create deep overhangs that shade the building.
 - iii. Building with flat or rear sloping shed roofs shall have a simple front parapet a minimum of 42 inches high.
 - iv. Roof mounted equipment shall be setback and screened from view from adjacent thoroughfares Primary Frontage.
 - v. Where solar panels are attached to buildings they shall be integrated into the architectural design of the building.
- i. Lots with a Main Street Frontage Residential Restriction Line designation, as shown on the Ramona Village Center Zoning District Map (Map 2), and the Colonnade (Map 3) Sub-Area shall be subject to the following additional requirements:
 - i. Buildings wider than 50 feet shall have their Facades divided into equally proportional bays between 12.5 feet to 25 feet to 37.5 feet to 50 feet in width (or of a similar rational proportion), as illustrated on Table(s) 1.1, 1.3 and 1.5.
 - ii. Buildings wider than 50 feet shall utilize a combination of simple or articulated parapets, alternating eaves or cornice line projections, or multiple front gables to break up the roofline into segments as illustrated on Table. 1.1.c.
 - iii. Principal Entrances for Buildings with no Front yard Setback shall be recessed 24-inches minimum.

- iv. Buildings at corner Lot locations shall include a vertical feature or architectural expression of a type and character that calls attention to the corner as a prominent location.
- v. Fenestration patterns on upper Facade areas shall be aligned vertically and horizontally and establish a balanced symmetry in design as illustrated on Table 2.6.a.
- vi. Fenestration patterns of upper Facade areas shall honor the rhythm and pattern of the same elements on neighboring buildings as illustrated on Table(s) 1.1, 1.3, and 1.5.

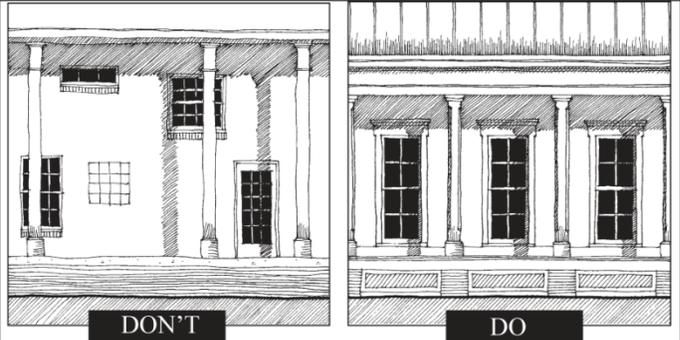
TABLE 2.6 RM-V5 RAMONA VILLAGE CENTER DESIGN STANDARDS ILLUSTRATED

a. Window Proportions



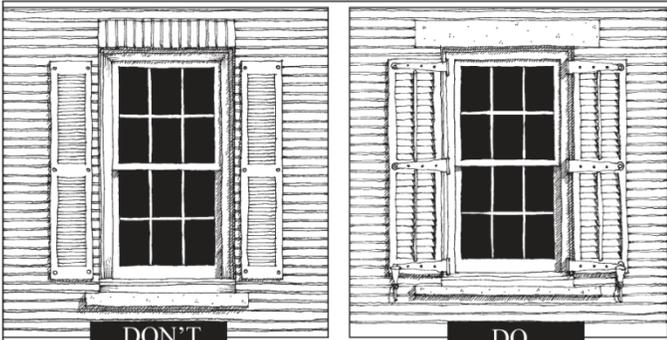
Windows should be vertically proportioned or square. Square, round or semi-circular windows are sometimes used high on a wall or on a roof. Don't use horizontally proportioned windows as they look unnatural. Do use vertical windows and the many design possibilities they present in relationship to building bay width and rhythm.

b. Windows Placement and Principal Entrance



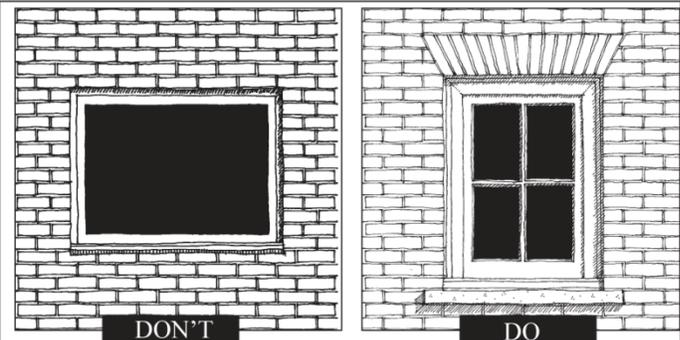
The traditional architecture of Old Town usually arranges openings in a regular pattern. Don't use irregular openings that may reflect interior layouts, but are confusing. Do use a regular pattern for doors and windows. Allow for details, such as frames and casings to call attention to the door as the main point of access for pedestrians into the building.

c. Window Shutter Details



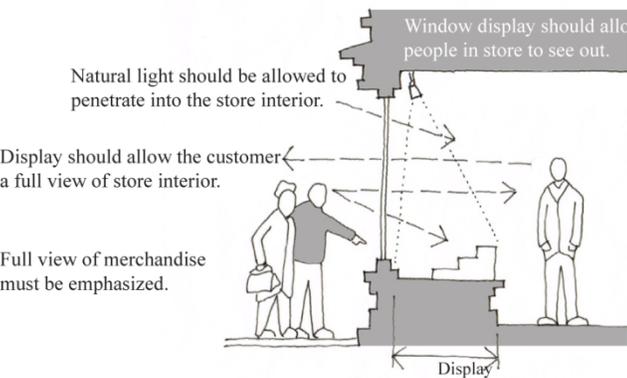
Shutters should be exactly half the width of the sash they are covering in order to appear to serve their historical function of protecting windows from high winds. Don't use narrow shutters that are obviously fake. Do use shutters that work. All shutters should be installed with hinges and dogs. Shutters should be louvered, paneled, or constructed of boards as appropriate to the style of the building.

d. Window Opening



Masonry veneer walls should be detailed exactly like masonry bearing walls, especially at openings. Masonry veneers should be detailed as if they were structural masonry walls. Don't use openings that make the brick look like wallpaper. Do detail a window or door as a proper masonry opening with proper lintels and arches that hold weight. Windows without exterior shading shall be recessed from the facade plane two (2) inches in depth for every one (1) foot in height.

e. Main Street Display Window Building Elements



f. Main Street Building Elements (Advisory)

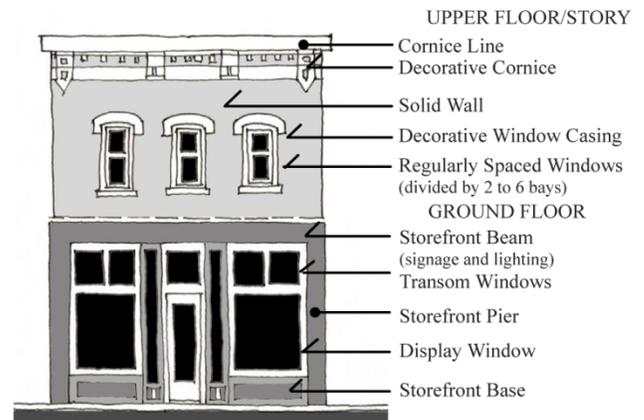
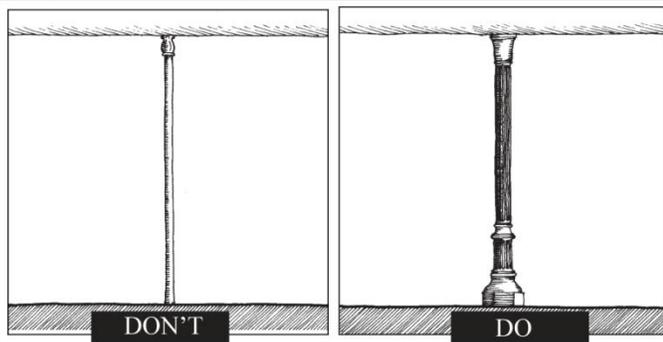


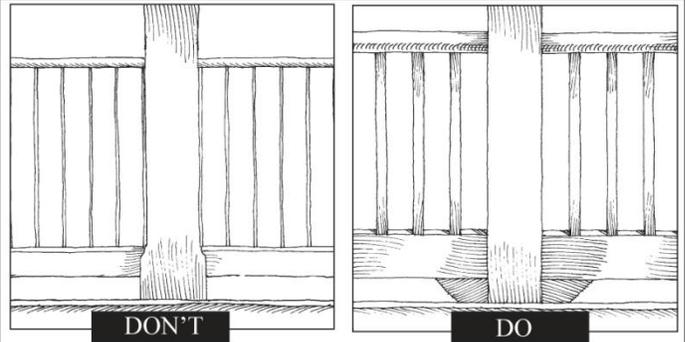
TABLE 2.6 RM-V5 RAMONA VILLAGE CENTER DESIGN STANDARDS ILLUSTRATED (CONTINUED)

g. Metal Columns (Advisory)



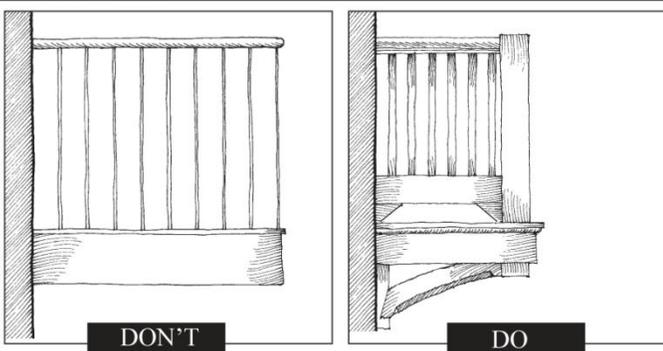
Ramona has historically used the simple vernacular columns that are less ornate steel with a simple cast capital and base. Do not use an overly ornate, classical column or an overly simple and cheap metal pole without capitals and a base. Overly ornate and overly simple are out of character with Ramona. Main Street architectural details are rustic and more vernacular than classical in their character.

h. Wood Railing (Advisory)



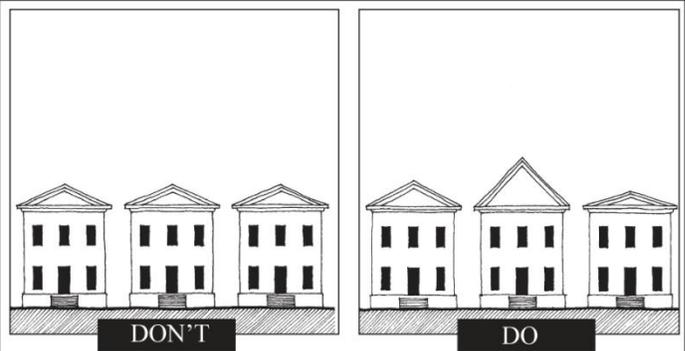
Ramona has historically used a well-proportioned wood railing composed of a standard contoured top rail, 1-1/4" square balusters, and a vertical 2 x 4 or 2 x 6 bottom rail with double chamfered top for draining. Do not use a heavier, more refined wood railing nor a cheap, too-simple railing. These extremes are out of character with the more rustic Ramona architectural detail character.

i. Balcony Brackets



Railing shall have both top and bottom rails clearing the floor. Balusters shall be centered on the rails and spaced no more than 4 inches apart. Balconies shall project no less than 3 feet from the face of the building and shall be visually supported by brackets. Balconies that are too deep or and unsupported by brackets appear threatening to fall down to those passing underneath.

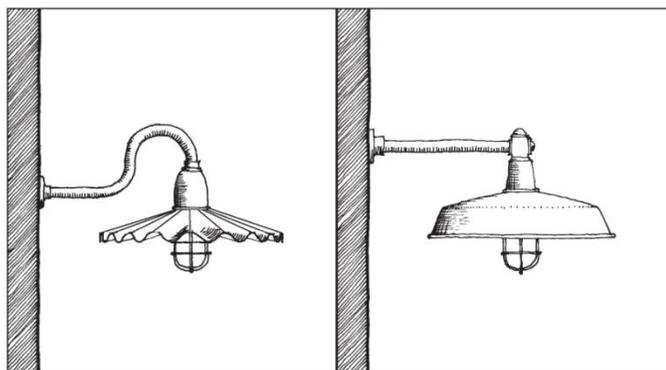
j. Roof Pitch and Slope Pattern



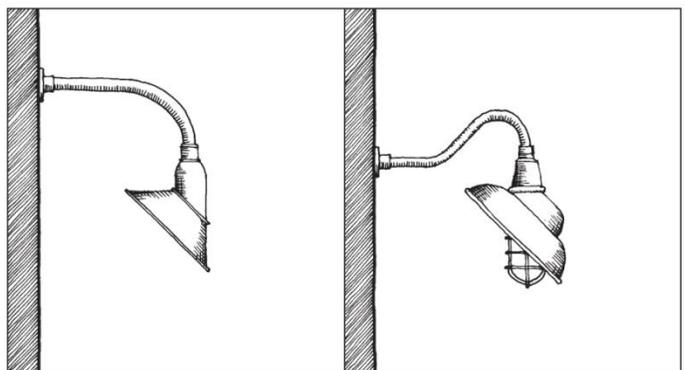
Ramona has historically used Frame Vernacular, California Bungalow and American Mercantile building types with a variety of roof shapes and slopes. Do not use a consistent slope along the entire street block face. All primary roof slopes should fall within a range of no greater than 20% and no less than 80% of the neighboring roof slopes. Flat roofs on Main Street are acceptable. Do maintain a regular and vertical opening (windows and entrances) pattern.

k. Exterior Lighting Fixtures

The **rippled and dome reflector lights** throws light straight down onto the building. A wide reflector opening throws light wider so fewer are required. These lights must be raised higher than the sign. These respect Dark Sky goals.



The large and small **angled reflector lights** throws light primarily back toward the building. A wide reflector opening throws light wider so fewer are required. Angle degrees may vary between 15 and 75 degrees.

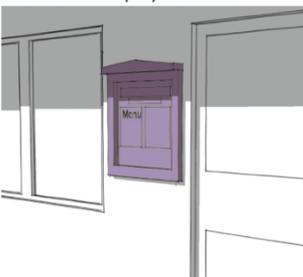
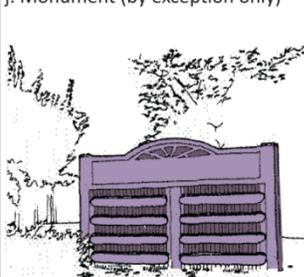


8743 Signage

- a. Permitted signage types shall conform to the specifications of Table 2.7 and be limited to four (4) sign types per each Lot along the Primary Frontage only in the first Lot Layer (see Table 2.4.D). One (1) of the four (4) allowed signs must be either an Address Sign (Table 2.7.a) or a Nameplate Sign (Table 2.7.b) for location identification purposes.
- b. One (1) square foot of signage area per every 50 linear feet of Principal Building Frontage or Bay per Lot on both the ground floor and upper floors in the first and second Lot Layers that is equal to 50 square feet maximum signage per each 50' bay.
- c. Signage shall not exceed 120 square feet maximum per Primary Building.
- d. The only signage area allowed within the second and third Lot Layer, and/or on Outbuildings are either one (1) Address or Nameplate Sign.
- e. Address Signs shall be limited to two (2) square feet total area and made easily visible through colors or materials that contrast with their background and shall be attached to the Principal Entrance of each unit they identify. Address Sign(s) may be attached to off-site mailbox(s) by Exception to preserve the historic bucket mailbox character of the Colonnade.
- f. Awning Signage shall be limited to no more than seventy percent (70%) of the Valance of the awning or the vertical portion of a dome awning. The height of the Valance shall not exceed fifteen (15) inches. Awning Signs shall contain only the business name, logo, and/or street address. Awning Signs may encroach into the Public Sidewalk Frontage.
- g. One (1) Band Sign limited to 70% of the width of the Building Facade shall be permitted for each building with a Commercial Uses. Information shall consist of the name and/or logo of the business and allowed on Streetscreens.
- h. Blade Signs shall be permitted only for Commercial Uses that have a Principal Entrance on the ground floor.
- i. One (1) Blade Sign shall be permitted only for each business if the Facade is no more than five (5) feet setback from the Principal Frontage Line. Blades Signs may encroach into the Public Sidewalk Frontage up to four (4) feet, and shall clear the Sidewalk by at least eight (8) feet in height, and shall not encroach above the bottom of any second Story windows. Blade Signs shall be limited to the name and/or logo of the business.
- j. Marquees are allowed by Exception only in the Old Town Sub-Area, and shall be only located above the Principal Entrance of a building, and shall provide a minimum height clearance of ten (10) feet, and may encroach into the Public Sidewalk Frontage to within two (2) feet of the Curb. Message Boards shall be permitted as part of Marquees.
- k. One (1) Nameplate per address is limited to two (2) square feet and consisting of either a panel or individual letters applied to a building wall, and may be attached to a building wall within ten (10) feet of a Principal Entrance.
- l. Outdoor Displace Cases shall not exceed six (6) square feet and shall not be internally illuminated.
- m. One (1) freestanding, double-sided, temporary Sidewalk Sign may be placed within the public Frontage for each business. Sidewalk Signs shall be removed at the close of each business day.
- n. One (1) Window Sign per window area shall not exceed 25% of the glass (See Table 2.7.f). Window Signs shall not interfere with the ability of pedestrians and public safety personnel to see through windows into premises and view of product displays. Window Signs may list services and/or products sold on the premises, and/or provide contact information, operating hours and other information.
- o. Signage shall be externally illuminated, Window Signs may be neon lit and in conformance with Table 2.7.
- p. No signs are allowed above the highest portion of the building and no digital signs are allowed.
- q. Signage that is painted, and/or routed and/or sandblasted on metal and/or wood on the building facade shall be allowed a letter height of 24 inches maximum. All other letter heights shall conform with Table 2.7 letter height(s).
- r. Monument Signs (Table 2.7.j), including Outdoor Menu boards for Drive-Thru service and gas station pricing, and Banners are allowed by Exception in the Paseo and Colonnade Sub-Areas.
- s. Murals are considered Public Art and are exempt from signage requirements and allowed by Exception.

TABLE 2.7 RM-V5 SIGN STANDARDS

(GRAPHICS ARE ADVISORY)

		SPECIFICATIONS		SPECIFICATIONS	
<p>a. Address Sign</p> 	<p>Quantity 1 per address Area 2 sf max Width 24 in max Height 12 in max Depth / Projection From Sidewalk Clearance 3 in max Apex 4.5 ft min Letter Height Not Applicable Other 8 in max allowed on upper floor(s)</p>		<p>b. Nameplate Sign</p> 	<p>Quantity 1 per address Area 2 sf max Width 18 in max Height 18 in max Depth / Projection From Sidewalk Clearance 3 in max Apex 4 ft max Letter Height 7 ft max Other 8 in max. allowed on upper floor(s)</p>	
<p>c. Outdoor Display Case</p> 	<p>Quantity 1 per address Area 6 sf max Width 3.5 ft max Height 3.5 ft max Depth / Projection From Sidewalk Clearance 5 in max Apex 4 ft max Letter Height 42 in max Other 6 in min, 10 in max allowed on upper floors. Allowed on streetscreens (see Table 2.8.h)</p>		<p>d. Blade Sign</p> 	<p>Quantity 1 per Facade, 2 max Area 6 sq ft Width 4 ft max Height 4 ft max Depth / Projection From Sidewalk Clearance 4 ft max Apex 8 ft min Letter Height upper storefront beam and/or bottom of upper floor windows Other 10 in max business name and logo only. Not allowed on upper floors</p>	
<p>e. Band Sign</p> 	<p>Quantity 1, 2 for corner building Area 1 sq ft max for every linear ft of Building Facade Width between upper storefront beam max to upper transom or display window. Height 3 ft max Depth / Projection From Sidewalk Clearance not applicable Apex 10 feet min Letter Height upper storefront beam Other 6 in min, 10 in max business name and logo only. Allowed on Streetscreens (See Table 2.8.h)</p>		<p>f. Window Sign</p> 	<p>Quantity 1 per window every 12.5 linear feet max Area 25% of glass max Width varies Height varies Depth / Projection From Sidewalk Clearance on or behind glass Apex 4 ft max Letter Height bottom of transom or beam Other 10 in max allowed on upper floors</p>	
<p>g. Awning Sign</p> 	<p>Quantity 1 per window Area only on Valance Width width of Awning Height upper storefront beam max Depth / Projection From Sidewalk Clearance 4 ft min Apex 8 ft max Letter Height bottom of upper floor windows Valance 6 in min, 10 in max Other 15 in max business name and logo allowed on valance only. Not allowed on upper floor(s)</p>		<p>h. Sidewalk Sign</p> 	<p>Quantity 1 per business Area 8 sf max Width 26 in max Height 42 in max Depth / Projection From Sidewalk Clearance not applicable Apex not applicable Letter Height 42 in max Other 10 in max not allowed on upper floors</p>	
<p>i. Marquee (by exception only)</p> 	<p>Quantity 1 per business Area Not Applicable Width width of entrance + 4' o.c. Height 50% Story height max Depth / Projection From Sidewalk Clearance 4 ft min, 10 ft max Apex 10 feet min Letter Height bottom of upper floor windows Other 12 in min, 18 in max Only allowed by exception in Old Town. not allowed on upper floors</p>		<p>j. Monument (by exception only)</p> 	<p>Quantity 1 per business Area 24 sq ft max Width 72 in max Height 48 in max Depth / Projection From Sidewalk Clearance not applicable Apex not applicable Letter Height 48 in max Other 10 in max only allowed by exception only in Paseo and Colonnade Sub-District(s). Not allowed on upper floor(s)</p>	

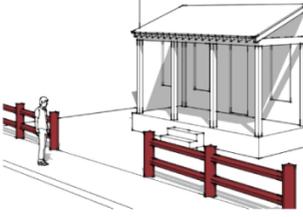
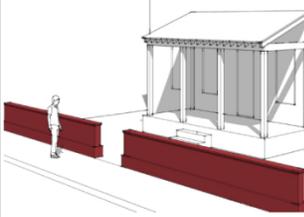
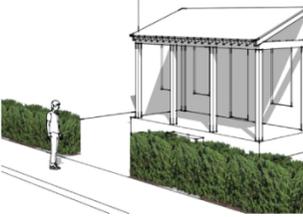
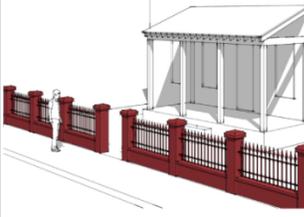
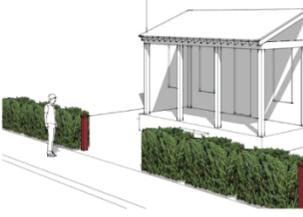
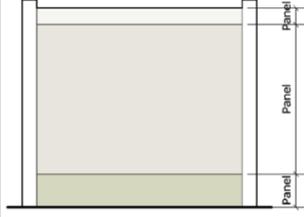
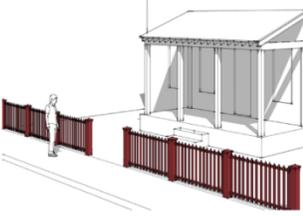
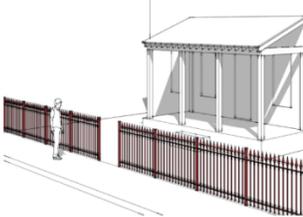
8745 Lighting

- a. Privately owned but publicly accessible spaces internal to any private Lot shall be oriented to maintain the natural Dark Sky character within rural Ramona.
- b. No lighting level measured at the building Frontage Line shall not exceed 2.0 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas and 12 feet elsewhere.
- e. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on low-rise, human-scaled posts.
- f. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322 and County Code §51.200.
- g. The Store Front Beam is the ideal location for awnings, signage and lighting elements illustrated on Table 2.6.k.

8747 Fencing

- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 2.8 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or Landscaped with Post Hedges shall be Setback 18 inches from Property Line
 - ii. Split Rail, Post, Stone and Brick may be painted or have a natural finish.
 - iii. Picket, Metal and Stucco fencing materials should have a painted finish.
 - iv. All Fencing shall not exceed eight (8) feet in height.
 - v. Combined fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.
- d. Streetscreens are required for screening parking areas from thoroughfares. Specific designs shall be incorporated along the Primary Frontage Line and should follow these general patterns as illustrated on Table 2.8.h and §8741.f:
 - i. Streetscreens shall be located along the Primary and Secondary Frontage Lines.
 - ii. Streetscreens should continue the vertical and horizontal planes of the adjacent Building Facade(s).
 - iii. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.

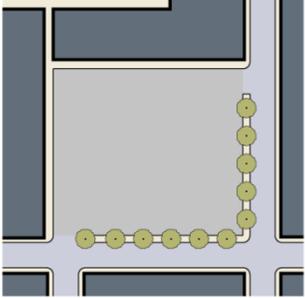
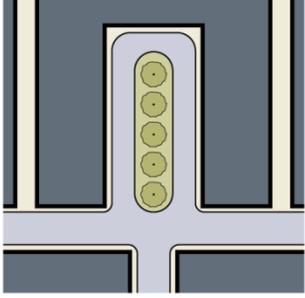
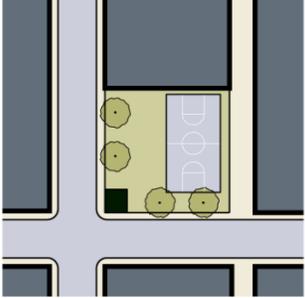
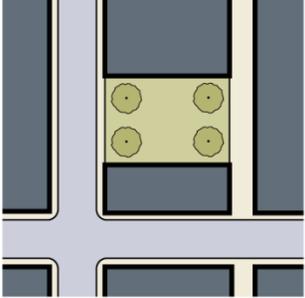
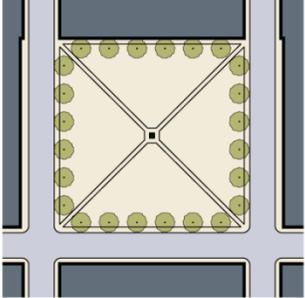
TABLE 2.8 RM-V5 FENCING STANDARDS

		SPECIFICATIONS		SPECIFICATIONS	
<p>a. Split Rail</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. max. on Main Street, and 3 ft. min. - 6 ft. max. Location primary and secondary front setback</p>		<p>b. Wall (Streetscreen)</p> 	<p>Materials stone, brick, stucco, block Finish paint or natural Setback 0" or 18" for landscape Height 3 ft. max. on Main Street, and 3 ft. min or 6 ft. max. Location primary and secondary front setbacks</p>	
<p>c. Hedge (Streetscreen)</p> 	<p>Materials landscape Finish natural Setback 18" from edge of curb Height 3 ft. max. on Main Street, and 3 ft. min. - 6 ft. max. Location all setbacks</p>		<p>d. Combination (Streetscreen)</p> 	<p>Materials stone, brick, stucco, block with Metal Panels Finish paint or none / powder coat or paint Setback 0" or 18" for landscape Height 3 ft. max. on Main Street and 3 ft. min. or 6 ft. max. Location all setbacks</p>	
<p>e. Post and Hedge (Streetscreen)</p> 	<p>Materials landscape and wood Finish paint, stain or natural Setback 18" from edge of curb Height 3 ft. mx. on Main Street and 3 ft. min. - 6 ft. max. Location all setbacks</p>		<p>f. Panel</p> 	<p>Materials wood or metal Finish paint or stain Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location side and rear setbacks</p>	
<p>g. Post and Picket (Streetscreen)</p> 	<p>Materials wood Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. max. on Main Street and 3 ft. min. - 6 ft. max. Location primary and secondary front setbacks Picket Spacing ≤ 2.5 times width of picket</p>		<p>h. Streetscreen</p> 	<p>Materials stone, brick, stucco, block, wood and/or metal Finish natural, paint or stain Setback 0" or 18" for landscape Base Height 3.5 ft. min., and 6 ft. max. only w/out upper cornice line. Upper Cornice Line Height 16 ft. max. with a 12 ft. max. open between matching building Cornice Line and Base. Location first lot layer along building frontage</p>	
<p>i. Metal (Streetscreen)</p> 	<p>Materials aluminum or wrought iron Finish powder coat or paint Setback 0" or 18" for landscape Height 3 ft. max. on Main Street, and 3 ft. min. - 6 ft. max. Location primary and secondary front setbacks Picket Spacing ≤ 2.5 times width of picket</p>		<p>i. Reserve</p>		

8749 Shared Civic Space

- a. Measured from Main Street Frontage, all new development exceeding 150 feet in length shall include at least one (1) Shared Civic Space type as generally described on Table 2.9 and shall be 2,000 square feet minimum.
- b. Privately owned, but publicly accessible, Shared Civic Space shall be located in the first and/or second Lot Layer.
- c. Shared Civic Space types diagrammed on Table 2.9 are provided for illustrative purposes only, specific designs shall be prepared in accordance with the characteristics and description of each type listed.
- d. Shared Civic Spaces designed as a Plaza shall have a minimum of 25% of its perimeter fronting onto a Thoroughfare.
- e. These spaces may be combined with Stormwater Management facilities (§8739), such as Retention Basins, pool/fountain, Cisterns, Landscaped and Grated Tree Wells.
- f. Allow for individual building owners to install Civic Art, such as Murals, sculpture building ornament and curiosity items on Buildings and within the Lot that may be viewed by the public.
- g. Shared Civic Space areas shall be more than 2,000 square feet minimum and shall be shaded by Canopy Trees at a rate of three (3) trees per every 1,000 square feet of total area. See Table 8.7 for Canopy Tree species and characteristics.
- h. Shared Civic Space landscape shall directly reference Landscape Standards §8737.
- i. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover areas less than 8-feet wide.
- j. Shrubs should be medium-size, low-creeping variety and shall include Calliandra, Ceanothus, Grevillea noellii, Lantana, Juniperus, Mahonia, Nerium oleander, Pittosposu, Photinia, Pyracantha, Rapiolepis, Ribes and Rhus species.

TABLE 2.9 RM-V5 SHARED CIVIC SPACE TYPES

<p>a. Commercial Plaza A multi-purpose Open Space available for Civic purposes, Commercial activities and as flex parking space. The parking area is designed as a Plaza using permeable paving materials. A Commercial Plaza should be separated from adjacent Thoroughfares and spatially defined by a landscaped buffer including Street Trees. Minimum 2000 sq ft in area.</p>		<p>b. Close A semi-public Open Space available for unstructured recreation by those occupying the adjacent buildings. A Close is circumnavigated by a one-way private Thoroughfare with parking on one side. Landscape includes lawn and trees, formally disposed. May include ornamental species. This space may be combined with the Storm Water Storage Retention Basin Facility. Minimum 1000 sq ft.</p>	
<p>c. Playground An Open Space available for recreation. A Playground provides play space for children and may be designed as stand alone spaces or a part of another Civic Space. 1000 sf ft minimum space may be combined with the Storm Water Storage Retention Basin Facility. Importantly, this type of Playground is open to the public and access is not limited to entry via the Building Frontage.</p>			
<p>d. Court An Open Space available for unstructured recreation. A Court provides greenery and a place to sit outdoors for adults and is typically located within a Block/Lot. A minimum of 100 sf ft in total area along secondary frontages. These spaces work well for adults in conjunction with a Playground for children in the same project area.</p>			
<p>e. Plaza An Open Space available for unstructured recreation and Civic purposes. Plazas are designed as part of a Block/Lot or located internal to a Block/Lot and spatially defined by surrounding buildings and Primary Thoroughfares. Landscape consists primarily of Hardscape and is a minimum 2000 sq ft.</p>			

8750 RM-V4 General District Development Standards

8751 Lot

8752 Building and Land Use

Table 3.0 Permitted Uses

8753 Parking and Storage

Table 3.1 Required Parking Spaces

Table 3.2 Shared Use Parking Multiplier

Table 3.3 Parking Placement Standards

8754 Building Placement

8755 Building Height

8757 Building Design Standards

8759 Landscape

8760 Stormwater Management

Table 3.4 RM-V4 Summary Table

8761 Private Frontages

Table 3.5 Encroachment Specifications

8763 Signage

8765 Lighting

Table 3.6 Sign Standards

8767 Fencing

Table 3.7 Fencing Standards

8769 Shared Civic Space

Table 3.8 Civic Space Types

Lots located within the RM-V4 General District shall be subject to the requirements of this section.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table 3.5). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (8771). These Public Frontage requirements are located in §8857 Public Realm - Thoroughfares.

8751 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 50 feet measured at the Frontage Line along the Primary Thoroughfare.

8752 Building and Land Use

- a. Permitted Uses for Lots designated as RM-V4 are listed on Table 3.0.
- b. A Primary Building may share up to two (2) Uses.
- c. Lots designated as RM-V4 abutting the Main Street Frontage Residential Restriction Line, as shown on the Ramona Village Center Zoning Map, Paseo and Colonnade Sub-Area Maps, shall be subject to the following requirements:
 - i. Commercial Uses listed for RM-V4 on Table 3.0 shall be permitted.
 - ii. The first Lot Layer's ground floor Story shall be restricted to Commercial, Industrial and/or Agricultural Uses (Table 3.0) and all Residential entrances shall not be allowed to front onto Main Street.
- d. The work quarters of Home Businesses shall not be visible from the Public Frontage Line.
- e. Lodging Uses shall be owner occupied.
- f. Wireless Telecommunication Facilities and towers are categorized as Minor Impact Utilities and are regulated by the County of San Diego Zoning §6980 excepting §6985 and §6986 and shall not exceed a height of 35 feet.

TABLE 3.0 PERMITTED USES

RESIDENTIAL	V4
Accessory Apartment	
Family Residential	R
Farm Labor Camps	
Group Residential	m
Mobile Home Residential	
OFFICE	V4
Professional Office Space (Class A)	
COMMERCIAL	V4
Administrative and Professional Service	R
Agricultural and Horticultural Sales	
Agricultural Sales	R
Horticultural Sales	R
Agricultural Services	R
Animal Sales and Services	
Auctioning	
Grooming	R
Stockyards	
Veterinary (Large Animals)	R
Veterinary (Small Animals)	R
Automotive and Equipment	
Cleaning	m
Fleet Storage	m
Parking	R
Repairs (Heavy Equipment)	m
Repairs (Light Equipment)	R
Sales/Rentals (Heavy Equipment)	R
Sales/Rentals (Farm Equipment)	R
Sales/Rentals (Light Equipment)	R
Building Maintenance Services	m
Business Equipment and Sales Services	R
Business Support Services	R
Communication Services	R
Construction Sales and Personal Service	R

R by RIGHT
A BY ADMINISTRATIVE PERMIT
m by MINOR USE PERMIT
M by MAJOR USE PERMIT
□ NOT ALLOWED

COMMERCIAL (continued)	V4
Convenience Sales and Service	R
Cottage Industries	R
Eating and Drinking Establishment	R
Outdoor Dining (encroaching into ROW)	m
Food and Beverage Retail Sales	R
Financial, Insurance and Real Estate	R
Funeral and Internment Services	
Cremating / Interning	M
Undertaking	A
Gasoline Sales	R
Laundry Services	R
Medical Services	R
Participant Sports and Recreation	
Indoor	R
Outdoor	m
Personal Services, General	R
Recycling Collection / Processing Facility	A
Repair Services, Consumer	R
Research Services (Cottage Industry)	A
Retail Sales	
General	R
Specialty	R
Scrap Operations	
Spectator Sport and Entertainment	
Limited	R
General (Private Gymnasium)	M
Swap Meets (not to exceed 5,000 sf)	M
Transient Habitation	
Campground	
Lodging	R
Resort	m
Wholesale Storage and Distribution	
Mini-Warehouse	A
Light	A
Heavy	M

INDUSTRIAL	V4
Custom Manufacturing	m
General Industrial	m
AGRICULTURAL	V4
Horticulture	
Cultivation	R
Storage	R
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	
General	
Support	
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	
EXTRACTIVE	V4
Mining and Processing	
Site Preparation	M
CIVIC	V4
Administrative Services	R
Ambulance Services	R
Emergency Shelter	R
Clinic Services	R
Community Recreation	m
Cultural Exhibits and Library Services	R
Child Care Center	R
Essential Services	R
Fire Protection Services	R
Group Care	R
Law Enforcement Services	R
Lodge, Fraternal and Civic Assembly	R
Major Impact Services and Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities (non-commercial)	R
Small Schools (50 or fewer students)	R

8753 Parking and Storage

- a. All parking areas and garages shall be located in the second and third Lot Layer as illustrated on Table 3.4.D.
- b. Driveways shall be no wider than 12 feet in the first Lot Layer.
- c. The minimum number of parking spaces required for each Use is specified on Table 3.1. Parking requirements shall only be adjusted as specifically indicated in this Section.
- d. The minimum number of parking spaces required for each Use shall be calculated as the sum of the actual parking provided on-site, within the Lot.
- e. For Lots with more than one Use (i.e. Shared-Uses), the total number of parking spaces required may be adjusted by multiplying the total number of parking places required for all Uses as indicated on Table 3.2.
- f. Determination of required parking for Use combinations not listed on Table 3.1 shall be approved on a case-by-case basis through the Site Plan process as referenced in §8705.b.
- g. The Shared-Use Parking multiplier may be used to reduce the total number of parking spaces required for combination of Uses listed on Table 3.2.
- h. Shared-Use Parking calculations shall be rounded up to a whole number and two (2) Uses shall use the highest multiplier percentage.
- i. Outdoor Storage. Loading and Service Areas shall be located in the second and third Lot Layers on Table 3.4.D Parking and Storage Diagram.
- j. Outdoor Storage shall be completely enclosed by a minimum six (6) feet to maximum eight (8) fence covered by a solid or opaque material, with the exclusion of Agricultural Equipment Storage Uses.
- k. Outdoor display areas shall temporarily exhibit merchandise during business hours only. Permanent Outdoor displays shall be allowed on a case-by-case basis through the Site Plan process as referenced in §8705.b.

TABLE 3.1 V4 REQUIRED VEHICULAR PARKING SPACES

RESIDENTIAL	1.5 / dwelling
COMMERCIAL ⁱ	4.0 / 1000 sq. ft.
Automotive and Equipment	3.0 / 1000 sq. ft.
Business Equipment and Sales Services	3.0 / 1000 sq. ft.
Medical Services	1.75 / bed capacity
Participant Sports and Recreation	1.0 / 4 total occupancy
Spectator Sport and Recreation	1.0 / 3 total occupancy
Swap Meets	4.0 / 1000 sq. ft.
Transient Habitation	1.0 / 2 guest room
Wholesale Storage and Distribution	1.0 / 500 sq. ft.
CIVIC	1.0 / 4 total occupancy
Clinical Services	1.0 / employee; 1.0 / exam room
Community Recreation	1.0 / 4 total occupancy
Child Care (and small schools)	1.0 / 300 sq. ft.
Group Care	1.0 / 4 beds
Lodge, Fraternal or Civic Assembly	1.0 / 4 total occupancy
Major Impact Services and Utilities ⁱⁱ	-
Religious Assembly (More than 50 guests)	1.0 / 4 total occupancy
OFFICE (CLASS A)	3.5 / 1000 sq. ft.
INDUSTRIAL, AGRICULTURAL, EXTRACTIVE	1 / 300 sq. ft.

ⁱ Square footage shall be calculated as Gross Leasable Floor Space (includes Restaurants and Retail)

ⁱⁱ Auditoriums part of educational institutions in the Major Impact Services and Utilities use category shall provide parking spaces according to the regulations for Spectator Sport and Recreation uses in addition to the parking requirement for employees, students, visitors and square footage when required.

TABLE 3.2 SHARED-USE PARKING MULTIPLIER

USE #1	USE #2	MULTIPLIER	<p>Example of Share Parking Calculation:</p> <ol style="list-style-type: none"> Determine V4 Building(s) Land Uses per each Lot: <ol style="list-style-type: none"> Ground Floor Professional Services 2,000 sq. ft.: 3.5 Spaces per 1000 sq. ft. = 7 Parking Spaces Upper Floor Residential Units (2): 1.5 Spaces per Unit = 3 Parking Spaces Total Number of Parking Spaces Required = 10 Shared Parking Multiplier for Residential Use plus Professional Services (a typical office) = 70% Multiply $10 \times .70 = 7$ (rounded up to whole number) Minimum Number of Parking Spaces is 7 per Lot. <p>The rationale for Shared Parking is that during the day, when the Professionals Services is in use and needing parking spaces, the residences above will not be in use. This need is reversed after business hours when residents come home. Therefore, two parking spaces are shared on-site. In addition, each lot fronts a street that has on-street parking spaces. These spaces act as overflow and guest parking areas. Shared Parking Multiplier is the minimum amount of parking required and an owner may build above this minimum requirement.</p>
RESIDENTIAL	+ Convenience Sales and Service + Eating and Drinking Establishment + Food and Beverage Retail Sales + Laundry Services + Personal Services, General + Repair Services, Consumer + Retail Sales (all types)	80%	
RESIDENTIAL	+ Lodging	75%	
RESIDENTIAL	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	70%	
Convenience Sales and Service Eating and Drinking Establishment Food and Beverage Retail Sales Laundry Services Personal Services, General Repair Services, Consumer Retail Sales (all types)	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	80%	

TABLE 3.3 PARKING PLACEMENT STANDARDS (ADVISORY)

a. Parking Placement on the Lot Standards (Diagrams are Advisory)

These standards only regulate parking on private Lots. These on-site parking standards represent methods that do not allow cars to dominate the faces of buildings. Alleys or rear lanes shall be used for vehicular access. Street frontage may be used for access only at lots where alleys or lanes do not exist.



8754 Building Placement

- a. Primary Buildings and Outbuildings may be built on each Lot (see Table 3.4B & C).
- b. Buildings shall be Setback in relation to the boundaries of their Lot as specified on Table 3.4B
- c. Primary Buildings shall be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building and/or an Attached Compact Building (see Table 1.8).
- d. Lot coverage by Buildings and impermeable surfaces shall be a minimum of 70% of one (1) Lot area.
- e. Lot coverage by Buildings and impermeable surfaces on combined or multiple Lots shall be a maximum of 60% for two (2) combined Lot areas, and 50% for three combined Lot areas.
- f. Facade Build-out of Primary Building shall be a minimum of 60% of the Lot's width at the Front Setback.
- g. The Principal Entrance of any Primary Building shall be oriented towards the Frontage Line.

8755 Building Height

- a. The maximum height of a Primary Building shall be two (2) floors and 35-feet maximum height (see Table 3.4A).
- b. The maximum height of all Outbuildings shall be two (2) floors and 25-feet maximum height (see Table 3.4A).

8757 Building Design Standards (From Building Base to Roof)

- a. The exterior finish material on all Facades shall be limited to brick, adobe, native stone, tinted and textured concrete, wood siding or stucco.
- b. The color palette for each distinct property should have its paint-able elements painted different colors from any other property on either side of the block on which they are located, or if on a corner, also painted different from properties immediately across the street. Painted building colors should follow this general pattern:
 - i. Materials-based color palette derived from the natural color of the building materials used to construct the building envelopes. Note: Ramona Design Review Board recommends referencing Sherwin-Williams Historic Collection Classical, Arts & Crafts, and Victorian exterior palette.
 - ii. Soil-based colors are a subset of materials-based colors and result from using earth as a building material.
 - iii. Bright or highly reflective colors, except on rooftops, shall not be used.
- c. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building.
- d. Doorways and windows without exterior shading shall be recessed from the plane of the Facade or Elevation of a building two (2) inches in depth for every one (1) foot in height.
- e. All Facades shall be glazed with clear glass no less than 30% of the first Story, and follow these general patterns:
 - i. Buildings with a ground floor Commercial Use shall be glazed with clear glass no less than 70% of the first Story.
 - ii. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
- f. Streetscreens should be used to clearly define a Lot's un-built space (parking or civic space) fronting onto a Primary Thoroughfare, and follow this general pattern:
 - i. Streetscreens shall be of a similar design to the Facade of buildings they abut.
 - ii. Streetscreens shall be between three and a half (3.5) and six (6) feet in height. The Streetscreen should be of similar design as adjacent hedge or fencing, see Table 3.7.
- g. Upper floors shall be enhanced by outdoor living spaces such as balconies, verandas, patios and loggias.
- h. Each Building shall have a gable, hip, shed or flat roof, and follow these general patterns for each:
 - i. Finish material for any sloped roof shall be limited to clay tile, concrete tile, composition shingles, or standing seam or corrugated metal.
 - ii. Enclosed eaves of sloped roofs shall project from the walls to create deep overhangs that shade the building.
 - iii. Building with flat or rear sloping shed roofs shall have a simple front parapet a minimum of 42 inches high.
 - iv. Roof mounted equipment shall be setback and screened from view from adjacent thoroughfares Primary Frontage.
 - v. Where solar panels are attached to buildings they shall be integrated into the architectural design of the building.
- i. Lots with a Main Street Frontage Residential Restriction Line designation, as shown on the Ramona Village Center Zoning District Map (Map 2), and the Colonnade (Map 3) Sub-Area shall be subject to the following additional requirements:
 - i. Buildings wider than 50 feet shall have their Facades divided into equally proportional bays between 12.5 feet to 25 feet to 37.5 feet to 50 feet in width (or of a similar rational proportion).

- ii. Buildings wider than 50 feet shall utilize a combination of simple or articulated parapets, alternating eaves or cornice line projections, or multiple front gables to break up the roof line into segments as outline in §8757.i.ii.
- iii. Buildings at corner Lot locations shall include a vertical feature or architectural expression of a type and character that calls attention to the corner as a prominent location.

8759 Landscape (On-Site Private Lot Landscaping - For Public Frontage Landscape Reference §8850)

- a. The first Lot Layer shall have a hardscaped surface treatment with a uniform material, color and pattern.
- b. Privately owned but publicly accessible spaces (i.e.: Shared Civic Space) provided internal to any Lot shall be designed per the Civic Space type characteristics outlined in Table 3.8.a-e.
- c. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree per every ten (10) parking spaces. See Table 8.7 for Canopy Tree species and characteristics.
- d. Parking and landscaped areas shall utilize §8760 Stormwater paving, channeling, storage, and filtration techniques.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide.
- f. Refer to County Regulatory Ordinance §86.701 and Landscape Design Manual.
- g. Shrubs should be of medium size, low creeping variety and shall include Callandra, Ceanothus, Grevillea species, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Rhus and Ribes species.

8760 Stormwater Management

- a. Pervious Paving techniques shall be allowed in the first, second and third Lot Layers (see Table 3.4D).
- b. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- c. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- d. Channeling facilities shall be allowed in the first, second and third Lot Layer.
- e. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- f. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- g. Storage facilities shall be allowed in the second and third Lot Layers.
- h. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the Santa Maria Creek Greenway.
- i. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- j. Filtration facilities shall be allowed in the second and third Lot Layers.
- k. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- l. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden and Green Roof(s).

TABLE 3.4 RM-V4 SUMMARY TABLE

BUILDING PLACEMENT

Freestanding Rural Building	permitted
Attached Compact Building	permitted

LOT OCCUPATION

Lot Coverage (Per Single Lot on Avg.)	70% min.
Facade Buildout at Primary Front Setback	60% min.

PRINCIPAL BUILDING SETBACKS

Primary Front Setback	2 ft. min 15 ft. max.
Secondary Front Setback	2 ft. min. 15 ft. max.
Side Setback	(15 ft. min / 8754.d) 0 ft. min 24 ft. max.
Rear Setback	3 ft. min.

OUTBUILDING SETBACKS

Front Setback	40 ft. max. from rear
Side Setback	0 ft. or 3 ft. at corner
Rear Setback	3 ft. min.

BUILDING HEIGHT (FLOORS/FEET)

Principal Building	2 max. 35 feet max.
Outbuilding	2 max. 25 feet max.

ENCROACHMENTS

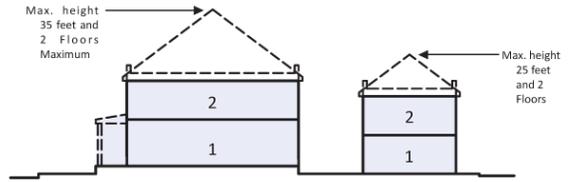
i. Within Setback Encroachments	
Open Porch	not permitted
Balcony and/or Bay Window	100% max.
Stoop or Terrace	100% max.
ii. Public Sidewalk Encroachments	
Awning, Gallery, or Arcade	100% max.
iii. Encroachment Depths	
Porch	not permitted
Gallery	10 ft. min.
Arcade	12 ft. min.

PARKING LOCATION

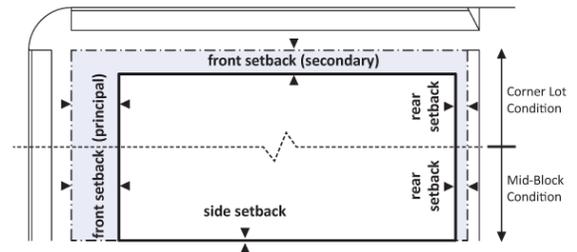
2nd Layer	permitted
3rd Layer	permitted

STORAGE LOCATION

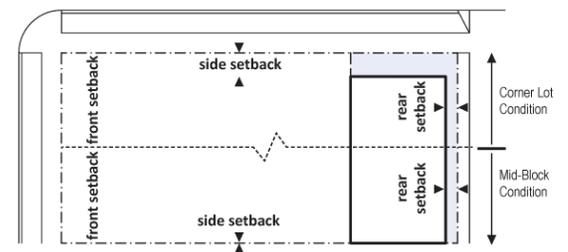
2nd Layer	permitted
3rd Layer	permitted



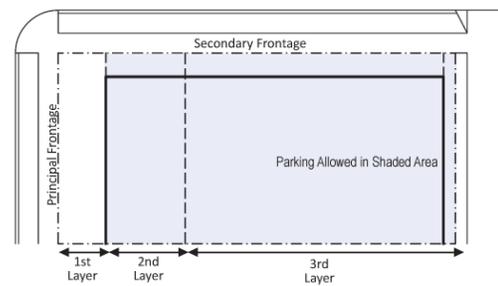
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

8761 Private Frontages

- a. Open Porches, Common Yards, Stoops, Terraces, Balconies and bay windows may Encroach within the first Lot Layer 50% of its depth.
- b. Awnings may Encroach within the Public Sidewalk.
- c. All Frontages shall be in conformance with Table 3.5.

TABLE 3.5 RM-V4 ENCROACHMENT SPECIFICATIONS

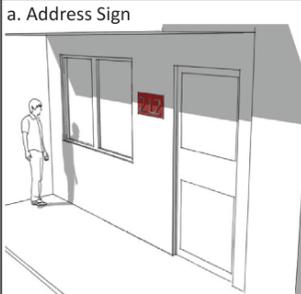
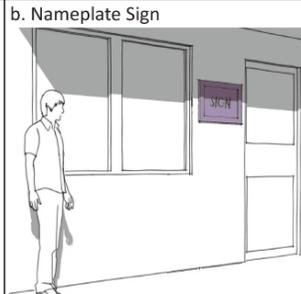
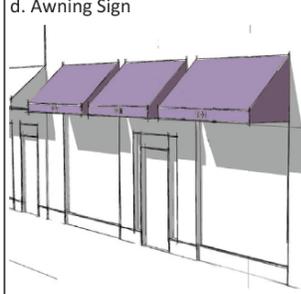
	LOT LINE PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1st Layer)	Public Sidewalk Encroachment	Height / Depth
a. Porch: a roof covered, raised platform at the entrance to a building.					80% max	not permitted	3 ft. height max. 8 ft depth min.
b. Common Yard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.					80% max	not permitted	not applicable
c. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.					80% min	not permitted	not applicable
d. Stoop: an exterior stair and landing leading to an elevated first Story of a building.					80% min	not permitted	3 ft. height max. 5 ft. depth min.
e. Awning: a window covering attached to an exterior wall of a building.					80% min	to within 2 ft. of the Curb	8 ft. clearance 0 ft height max 8 ft. depth

8763 Signage

- a. Permitted signage types shall conform to the specifications of Table 3.6 and be limited to three (3) sign types per each Lot along the Primary Frontage only in the first Lot Layer (see Table 3.4.D).
- b. One (1) of the three (3) allowed signs must be either an Address Sign (Table 3.6.a) or a Nameplate Sign (Table 3.6.b) for location purposes.
- c. One (1) square foot of signage is the maximum allowed signage area per every 50 feet of Principal Building Frontage on both the ground floor and upper floors in the first and second Lot Layers, not to exceed 150 linear feet maximum measured length.
- d. The only signage area allowed within the third Lot Layer and/or on Outbuildings are either one (1) Address or Nameplate Sign.
- e. Awning and Sidewalk Signs shall only be permitted on ground floor Commercial Uses.
- f. Signage shall be externally illuminated, Window Signs may be neon lit and in conformance with Table 3.6.
- g. No signs are allowed above the highest portion of the building and no digital signs are allowed.
- h. Signage that is painted, and/or routed and/or sandblasted on metal and/or wood on the building facade shall be allowed a letter height of 24 inches maximum. All other letter heights shall conform with Table 3.6 letter heights.
- i. One (1) Nameplate per address limited to three (3) square feet and consisting of either a panel or individual letters may be attached to a building wall within ten (10) feet of a Principal Entrance.

TABLE 3.6 RM-V4 SIGN STANDARDS

(GRAPHICS ARE ADVISORY)

SPECIFICATIONS		SPECIFICATIONS	
<p>a. Address Sign</p> 	<p>Quantity: 1 per address</p> <p>Area: 2 sf max</p> <p>Width: 24 in max</p> <p>Height: 12 in max</p> <p>Depth / Projection: 3 in max</p> <p>From Sidewalk Clearance: 4.5 ft min</p> <p>Apex: Not Applicable</p> <p>Letter Height: 8 in max</p> <p>Other: allowed on upper floor(s)</p>	<p>b. Nameplate Sign</p> 	<p>Quantity: 1 per address</p> <p>Area: 2 sf max</p> <p>Width: 24 in max</p> <p>Height: 12 in max</p> <p>Depth / Projection: 3 in max</p> <p>From Sidewalk Clearance: 4 ft max</p> <p>Apex: 7 ft max</p> <p>Letter Height: 8 in max</p> <p>Other: allowed on upper floor(s)</p>
<p>c. Outdoor Display Case</p> 	<p>Quantity: 1 per address</p> <p>Area: 6 sf max</p> <p>Width: 3.5 ft max</p> <p>Height: 3.5 ft max</p> <p>Depth / Projection: 5 in max</p> <p>From Sidewalk Clearance: 4 ft max</p> <p>Apex: 42 in max</p> <p>Letter Height: 10 in max</p> <p>Other: allowed on upper floors</p>	<p>d. Awning Sign</p> 	<p>Quantity: 1 per window</p> <p>Area: only on Valance</p> <p>Width: width of Awning</p> <p>Height: upper storefront beam max</p> <p>Depth / Projection: 4 ft min</p> <p>From Sidewalk Clearance: 8 ft max</p> <p>Apex: bottom of upper floor windows</p> <p>Letter Height: 8 in min, 10 in max</p> <p>Valance: 15 in max</p> <p>Other: business name and logo allowed on valance only. Not allowed on upper floor(s)</p>
<p>e. Sidewalk Sign</p> 	<p>Quantity: 1 per business</p> <p>Area: 8 sf max</p> <p>Width: 26 in max</p> <p>Height: 42 in max</p> <p>Depth / Projection: not applicable</p> <p>From Sidewalk Clearance: not applicable</p> <p>Apex: 42 in max</p> <p>Letter Height: 10 in max</p> <p>Other: not allowed on upper floors</p>	<p>f. Window Sign</p> 	<p>Quantity: 1 per window every 12.5 lineal feet max</p> <p>Area: 25% of glass max</p> <p>Width: varies</p> <p>Height: varies</p> <p>Depth / Projection: on or behind glass</p> <p>From Sidewalk Clearance: 4 ft max</p> <p>Apex: bottom of transom or beam</p> <p>Letter Height: 10 in max</p> <p>Other: allowed on upper floors</p>

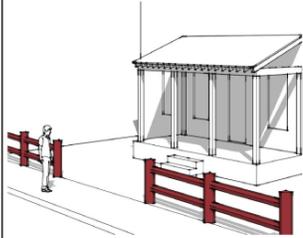
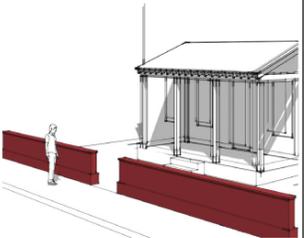
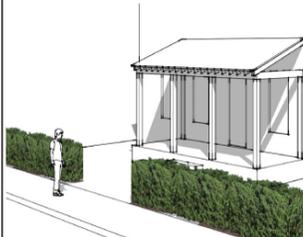
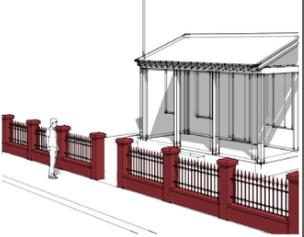
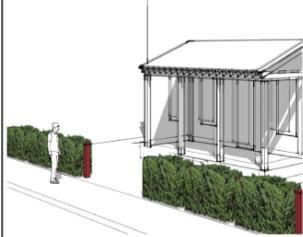
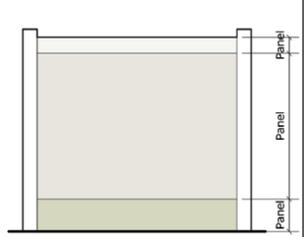
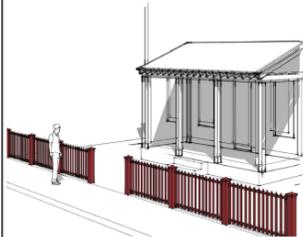
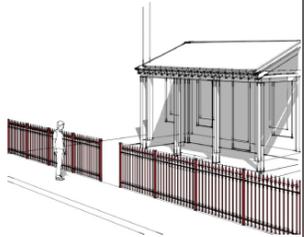
8765 Lighting

- a. Privately owned but publicly accessible spaces internal to any private Lot shall be oriented to maintain the natural Dark Sky character within rural Ramona.
- b. No lighting level measured at the building Frontage Line shall not exceed 1.0 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas and elsewhere.
- e. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on low-rise, human-scaled posts.
- f. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322 and County Code §51.200.

8767 Fencing

- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 3.7 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or Landscaped with Post Hedges shall be Setback 18 inches from Property Line
 - ii. Split Rail, Post, Stone and Brick may be painted or have a natural finish.
 - iii. Picket, Metal and Stucco fencing materials should have a painted finish.
 - iv. All Fencing shall not exceed eight (8) feet in height.
 - v. Combined fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.

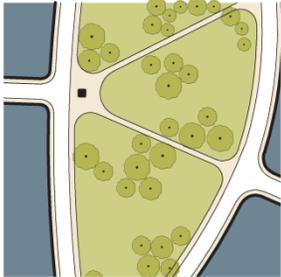
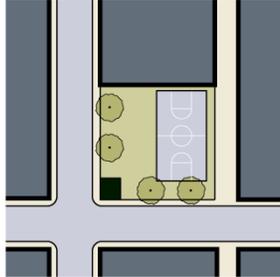
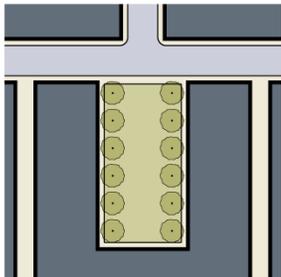
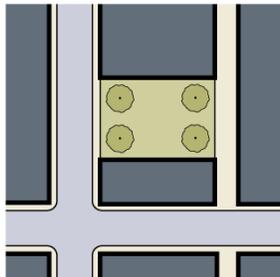
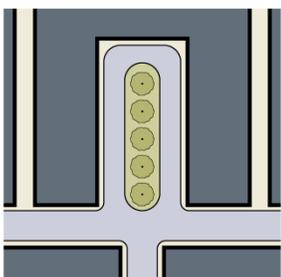
TABLE 3.7 RM-V4 FENCING STANDARDS

		SPECIFICATIONS				SPECIFICATIONS	
<p>a. Split Rail</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. min. - 6 ft. max. Location primary and secondary front setback</p>		<p>b. Wall</p> 	<p>Materials stone, brick, stucco, block Finish paint or none Setback 0" or 18" for landscape Height 3 ft. min or 6 ft. max Location primary and secondary front setbacks</p>			
<p>c. Hedge</p> 	<p>Materials landscape Finish natural Setback 18" from edge of curb Height 3 ft. min. - 6 ft. max. Location all setbacks</p>		<p>d. Combination</p> 	<p>Materials stone, brick, stucco, block with Metal Panels Finish paint or none / powder coat or paint Setback 0" or 18" for landscape Height 3 ft. min. or 6 ft. max Location all setbacks</p>			
<p>e. Post and Hedge</p> 	<p>Materials landscape and wood Finish paint, stain or natural Setback 18" from edge of curb Height 3 ft. min. - 6 ft. max. Location all setbacks</p>		<p>f. Panel</p> 	<p>Materials wood or vinyl Finish paint or stain Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location side and rear setbacks</p>			
<p>g. Post and Picket</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. min. - 6 ft. max. Location primary and secondary front setbacks Picket Spacing ≤ 2.5 times width of picket</p>		<p>h. Metal</p> 	<p>Materials aluminum or wrought iron Finish powder coat or paint Setback 0" or 18" for landscape Height 3 ft. min. - 6 ft. max. Location primary and secondary front setbacks Picket Spacing ≤ 2.5 times width of picket</p>			

8769 Shared Civic Space

- a. Measured from Main Street Frontage Line (in Colonnade Sub-Area only), all new development exceeding 300 feet in length shall include at least one (1) Shared Civic Space type as generally described on Table 3.8.
- b. Privately owned, but publicly accessible, Shared Civic Space shall be located in the first and second Lot Layer.
- c. Shared Civic Space types diagrammed on Table 3.8 are provided for illustrative purposes only, specific designs shall be prepared in accordance with the characteristics and description of each type listed.
- d. Shared Civic Spaces designed as a Plaza shall have a minimum of 25% of its perimeter fronting onto a Thoroughfare.
- e. These spaces may be combined with Stormwater Management facilities (8760), such as Retention Basins, pool/fountain, Cisterns, Landscaped and Grated Tree Wells.
- f. Allow for individual building owners to install Civic Art, such as Murals, sculpture building ornament and curiosity items on Buildings and within the Lot that may be viewed by the public.
- g. Shared Civic Space areas shall be more than 2,000 square feet minimum and shall be shaded by Canopy Trees at a rate of six (6) trees per every 2,000 square feet of total area. See Table 8.7 for Canopy Tree species and characteristics.
- h. Shared Civic Space landscape shall directly reference Landscape Standards §8759.

TABLE 3.8 RM-V4 CIVIC SPACE TYPES (ADVISORY)

<p>a. Green An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. Sections of a Green may be designed specifically for the recreation of children. Minimum 5-acres.</p>		<p>b. Playground An Open Space available for unstructured recreation. A Playground provides play space for children and may be designed as stand alone spaces or a part of another Civic Space. Minimum 1,000 sq. ft.</p>	
<p>c. Court A semi-public Open Space available for unstructured recreation by those occupying the adjacent buildings. Access to abutting residential Lots is from a sidewalk that circumnavigates a central landscaped area. Landscape consists of lawn and trees, formally disposed. May include ornamental species. Minimum 1,000 sq. ft.</p>		<p>d. Pocket Park An Open Space available for unstructured recreation. A pocket park provides greenery and a place to sit outdoors for adults and is typically located within a Block/Lot. Minimum 1,000 sq. ft.</p>	
<p>e. Close A semi-public Open Space available for unstructured recreation by those occupying the adjacent buildings. A Close is circumnavigated by a one-way Thoroughfare with parking on one side. Landscape includes lawn and trees, formally disposed. May include ornamental species. Minimum 1,000 sq. ft.</p>			

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8770 RM-V3 Edge District Development Standards

8771 Lot

8772 Building and Land Use

Table 4.0 Permitted Uses

8773 Parking and Storage

Table 4.1 Required Parking Spaces

Table 4.2 Shared Parking Multiplier

Table 4.3 Parking Placement Standards

8775 Building Placement

8777 Building Height

8779 Building Design Standards

8780 Landscape

8781 Stormwater Management

Table 4.4 RM-V3 Summary Table

8783 Private Frontages

Table 4.5 Encroachment Specifications

8785 Signage

Table 4.6 Sign Standards

8787 Lighting

8789 Fencing

Table 4.7 Fencing Standards

Lots located within the RM-V3 Edge District shall be subject to the requirements of this section.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table 4.5). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (§8771). These Public Frontage requirements are located in §8857 Public Realm - Thoroughfares.

8771 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 50 feet measured at the Frontage Line along the Primary Thoroughfare.

8772 Building and Land Use

- a. Primary Buildings may be positioned within the required Setbacks of a Lot to create Freestanding Rural Buildings (see Table 1.7).
- b. Lots designated as RM-V3 on the Ramona Village Core Zoning Map or the Colonnade Sub-Area Map shall be restricted to the following requirements:
 - i. Lots and buildings shall be restricted to Residential, Civic and Agriculture Use categories on Table 4.0 only.
 - ii. The number of dwellings on each Lot is restricted to a Single Dwelling Unit within the Primary Building and an Accessory Dwelling Unit either within the Primary Building or in an Outbuilding (see Table 1.7).
- c. Wireless Telecommunication Facilities and towers are categorized as Minor Impact Utilities and are regulated by the County of San Diego Zoning §6980 excepting §6985 and §6986 and shall not exceed a height of 35 feet.

TABLE 4.0 PERMITTED USES

RESIDENTIAL	V3
Accessory Apartment	
Family Residential	R
Farm Labor Camps	
Group Residential	m
Mobile Home Residential	M
OFFICE	V3
Professional Office Space (Class A)	
COMMERCIAL	V3
Administrative and Professional Service	R
Agricultural and Horticultural Sales	
Agricultural Sales	R
Horticultural Sales	R
Agricultural Services	A
Animal Sales and Services	
Auctioning	
Grooming	
Stockyards	
Veterinary (Large Animals)	R
Veterinary (Small Animals)	R
Automotive and Equipment	
Cleaning	m
Fleet Storage	
Parking	R
Repairs (Heavy Equipment)	
Repairs (Light Equipment)	
Sales/Rentals (Heavy Equipment)	
Sales/Rentals (Farm Equipment)	
Sales/Rentals (Light Equipment)	
Building Maintenance Services	
Business Equipment and Sales Services	
Business Support Services	R
Communication Services	R
Construction Sales and Personal Service	M

R by RIGHT
A BY ADMINISTRATIVE PERMIT
m by MINOR USE PERMIT
M by MAJOR USE PERMIT
□ NOT ALLOWED

COMMERCIAL (continued)	V3
Convenience Sales and Service	R
Cottage Industries	m
Eating and Drinking Establishment	R
Outdoor Dining (encroaching into ROW)	m
Food and Beverage Retail Sales	
Financial, Insurance and Real Estate	m
Funeral and Internment Services	
Cremating / Interning	
Undertaking	
Gasoline Sales	
Laundry Services	
Medical Services	m
Participant Sports and Recreation	
Indoor	m
Outdoor	M
Personal Services, General	R
Recycling Collection / Processing Facility	M
Repair Services, Consumer	R
Research Services (Cottage Industry)	
Retail Sales	
General	
Specialty	
Scrap Operations	
Spectator Sport and Entertainment	
Limited	
General (Private Gymnasium)	
Swap Meets (not to exceed 5,000 sf)	
Transient Habitation	
Campground	m
Lodging	R
Resort	m
Wholesale Storage and Distribution	
Mini-Warehouse	m
Light	
Heavy	

INDUSTRIAL	V3
Custom Manufacturing	M
General Industrial	M
AGRICULTURAL	V3
Horticulture	
Cultivation	R
Storage	R
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	R
General	m
Support	m
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	M
EXTRACTIVE	V3
Mining and Processing	
Site Preparation	M
CIVIC	V3
Administrative Services	M
Ambulance Services	M
Emergency Shelter	R
Clinic Services	M
Community Recreation	M
Cultural Exhibits and Library Services	M
Child Care Center	M
Essential Services	R
Fire Protection Services	R
Group Care	M
Law Enforcement Services	m
Lodge, Fraternal and Civic Assembly	M
Major Impact Services and Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities (non-commercial)	m
Small Schools (50 or fewer students)	R

8773 Parking and Storage

- a. The required number of parking spaces per general Land Use are as specified on Table 4.1.
- b. Driveways shall be no wider than 18 feet in the first Lot Layer.
- c. Open parking areas shall be located in the second and third Lot Layers (See Table 4.3). Driveways, drop-offs and unpaved parking areas may be located in the first Lot Layer.
- d. Garages shall be located in the third Lot layer except that side or rear entry types may be allowed in the second Lot Layer by Exception.
- e. For Lots with more than one Use (i.e. Shared Uses), the total number of parking spaces required may be adjusted downward using the parking occupancy calculation of Table 4.2.
- f. Determination of required parking for Use combinations not listed on Table 4.1 shall be approved on a case-by-case basis through the Site Plan process as referenced in §8705.b.
- g. Outdoor Storage shall be located in the second and third Lot Layers on Table 4.4.D Parking and Storage Diagram.
- h. Outdoor Storage shall be enclosed by a minimum six (6) feet and maximum eight (8) opaque fences.
- i. Outdoor display areas shall temporarily exhibit merchandise during business hours only. Permanent Outdoor displays shall be allowed on a case-by-case basis through the Site Plan process as referenced in §8705.b.

TABLE 4.1 V3 REQUIRED VEHICULAR PARKING SPACES

RESIDENTIAL	2.0 / dwelling
COMMERCIAL ⁱ	4.0 / 1000 sq. ft.
Automotive and Equipment	3.0 / 1000 sq. ft.
Business Equipment and Sales Services	3.0 / 1000 sq. ft.
Medical Services	1.75 / bed capacity
Participant Sports and Recreation	1.0 / 3 total occupancy
Spectator Sport and Recreation	1.0 / 3 total occupancy
Swap Meets	6.0 / 1000 sq. ft.
Transient Habitation	1.0 / guest room
Wholesale Storage and Distribution	1.0 / 300 sq ft.
CIVIC	1.0 / 4 total occupancy
Clinical Services	1.0 / employee ; 1.0 / exam room
Community Recreation	1.0 / 4 total occupancy
Child Care (and small schools)	1.0 / 300 sq ft.
Group Care	1.0 / 4 beds
Lodge, Fraternal or Civic Assembly	1.0 / 4 total occupancy
Major Impact Services and Utilities ⁱⁱ	-
Elementary	1.0 / 300 sq ft. ; 1.0 / employee
Other and Charitable	1.0 / employee ; 1.0 / 2 students
Religious Assembly	1.0 / 4 total occupancy
OFFICE (CLASS A)	not applicable
INDUSTRIAL, AGRICULTURAL, EXTRACTIVE	1.0 / 300 sq ft.

ⁱ Square footage shall be calculated as Gross Leasable Floor Space (includes Restaurants and Retail).

ⁱⁱ Auditoriums part of educational institutions in the Major Impact Services and Utilities use category shall provide parking spaces according to the regulations for Spectator Sport and Recreation uses in addition to the parking requirement for employees, students, visitors and square footage when required.

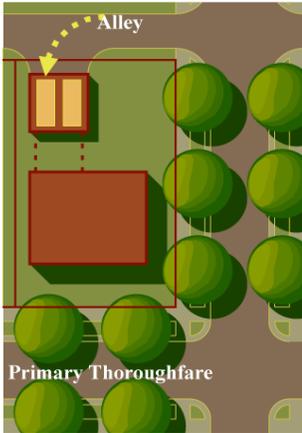
TABLE 4.2 SHARED-USE PARKING MULTIPLIER

USE #1	USE #2	MULTIPLIER	<p>Example of Share Parking Calculation:</p> <ol style="list-style-type: none"> Determine V3 Building(s) Land Uses per each Lot: <ol style="list-style-type: none"> Ground Floor Commercial Services 2,000 sq. ft.: 4 Spaces per 1000 sq. ft. = 8 Parking Spaces Upper Floor Residential Units (2): 1 Spaces per Unit = 2 Parking Spaces Total Number of Parking Spaces Required = 10 Shared Parking Multiplier for Residential Use plus Professional Services (a typical office) = 70% Multiply $10 \times .70 = 7$ (rounded up to whole number) Minimum Number of Parking Spaces is 7 per Lot. <p>The rationale for Shared Parking is that during the day, when the Professionals Services is in use and needing parking spaces, the residences above will be not be in use. This need is reversed after business hours when residents come home. Therefore, two parking spaces are shared on-site. In addition, each lot fronts a street that has on-street parking spaces. These spaces act as overflow and guest parking areas. Shared Parking Multiplier is the minimum amount of parking required and an owner may build above this minimum requirement.</p>
RESIDENTIAL	+ Convenience Sales and Service + Eating and Drinking Establishment + Food and Beverage Retail Sales + Laundry Services + Personal Services, General + Repair Services, Consumer + Retail Sales (all types)	80%	
RESIDENTIAL	+ Lodging	75%	
RESIDENTIAL	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	70%	
Convenience Sales and Service Eating and Drinking Establishment Food and Beverage Retail Sales Laundry Services Personal Services, General Repair Services, Consumer Retail Sales (all types)	+ Administrative and Professional Service + Business Support Services + Financial, Insurance and Real Estate + Medical Services + Research Services	80%	

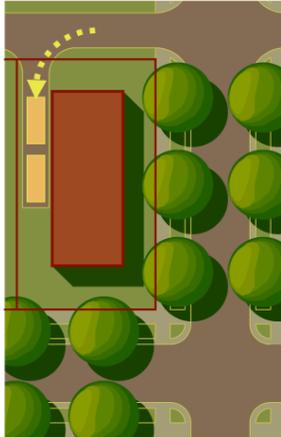
TABLE 4.3 PARKING PLACEMENT STANDARDS (ADVISORY)

a. Parking Placement on the Lot Standards
 These standards only regulate parking on private Lots. These on-site parking standards represent methods that do not allow cars to dominate the faces of buildings. Alleys or rear lanes shall be used for vehicular access. Street frontage may be used for access only at lots where alleys or lanes do not exist.

i. Alley/Outbuilding



ii. Alley/Park Beside



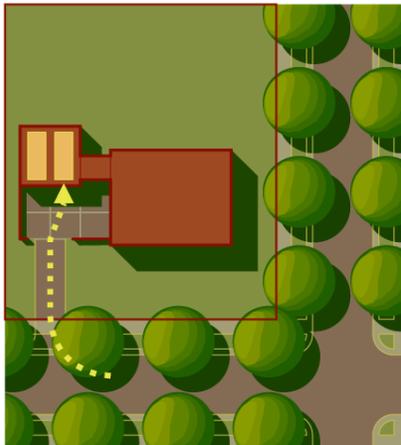
iii. Front/Third Lot Layer



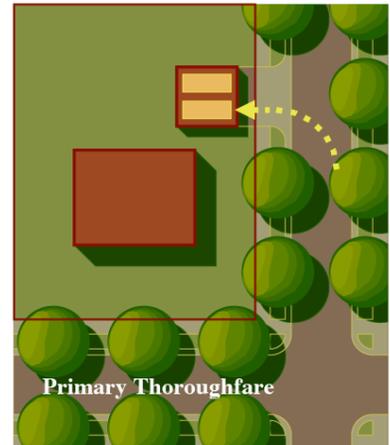
iv. Front/First Lot Layer



v. Front/Second Lot Layer



vi. Side/Outbuilding



8775 Building Placement

- a. One (1) Primary Building and one (1) Outbuilding may be built on each Lot (see Table 4.4.B).
- b. Buildings shall be Setback in relation to the boundaries of their Lot as specified on Table 4.4.B.
- c. Primary Buildings shall be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building (see Table 1.8.a).
- d. Lot coverage by Buildings and impermeable surfaces shall be a maximum of 60% of the Lot area.
- e. Lot coverage by Buildings and impermeable surfaces on combined or multiple Lots shall be a maximum of 50% for two (2) combined Lot areas, and 40% for three combined Lot areas.
- f. Facade Build-out of Primary Building shall be a minimum of 40% of the Lot's width at the Front Setback.
- g. The Principal Entrance of any Primary Building shall be oriented towards the Frontage Line.

8777 Building Height

- a. The maximum height of a Primary Building shall be two (2) floors and 35-feet maximum height (see Table 4.4.A).
- b. The maximum height of all Outbuildings shall be two (2) floors and 25-feet maximum height (see Table 4.4.A).

8779 Building Design Standards (From Building Base to Roof)

- a. The exterior finish material on all Facades shall be limited to brick, adobe, native stone, tinted and textured concrete, wood siding or stucco.
- b. The color palette for each distinct building should follow this general pattern:
 - i. Materials-based color palette derived from the natural color of the building materials used to construct the building envelopes.
 - ii. Soil-based colors are a subset of materials-based colors and result from using earth as a building material.
 - iii. Bright or highly reflective colors, except on rooftops, shall be highly discouraged.
- c. Principal Entrances shall be designed and detailed to call attention to the doorway as the main point of access for pedestrians into the building.
- d. All Facades shall be glazed with clear glass no less than 30% of the first Story, and follow these general patterns:
 - i. Buildings with a ground floor Commercial Use shall be glazed with clear glass no less than 70% of the first Story.
 - ii. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
- e. Each Building shall have a gable, hip, shed or flat roof, and follow these general patterns for each:
 - i. Finish material for any sloped roof shall be limited to clay tile, concrete tile, composition shingles, or standing seam or corrugated metal.
 - ii. Enclosed eaves of sloped roofs shall project from the walls to create deep overhangs that shade the building.
 - iii. Roof mounted equipment shall be setback and screened from view from adjacent thoroughfares Primary Frontage.
 - iv. Where solar panels are attached to buildings they shall be integrated into the architectural design of the building.

8780 Landscape

- a. The first Lot Layer may not be paved, with exception of Driveways as specified in §8705(a) and walkways, leading to Principal Entrances.
- b. Privately owned but publicly accessible spaces provided internal to any Lot shall be designed as a landscaped that relates to the natural character of Santa Maria Creek.
- c. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree per every ten (10) parking spaces. See Table 8.7 for Canopy Tree species and characteristics.
- d. Parking and landscaped areas shall utilize §8781 Stormwater paving, channeling, storage, and filtration techniques.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide.
- f. Shrubs should be of medium size, low creeping variety and shall include Ceanothus, Juniperus, Mahonia, Ornamental grasses, Pittosposum, Pyracantha, and Ribes species.

8781 Stormwater Management

- a. Pervious Paving techniques shall be allowed in the first, second and third Lot Layers (see Table 4.4.D).
- b. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- c. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- d. Channeling facilities shall be allowed in the first, second and third Lot Layer.
- e. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- f. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- g. Storage facilities shall be allowed in the second and third Lot Layers.
- h. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the Santa Maria Creek Greenway.
- i. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- j. Filtration facilities shall be allowed in the second and third Lot Layers.
- k. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage system(s).
- l. Filtration facilities shall be limited to Filtration Pond, Natural Landscape, Surface Landscape, Purification Biotope, Bi-Retention Swale, Rain Garden, constructed wetland and Green Roof(s).

TABLE 4.4 RM-V3 SUMMARY TABLE

BUILDING PLACEMENT

Freestanding Rural Building	permitted
Attached Compact Building	not permitted

LOT OCCUPATION

Lot Coverage	60% max.
Facade Buildout at Primary Front Setback	40% min.

PRINCIPAL BUILDING SETBACKS

Primary Front Setback	24 ft. min.
Secondary Front Setback	12 ft. min.
Side Setback	12 ft. min.
Rear Setback	3 ft. min.

OUTBUILDING SETBACKS

Front Setback	40 ft. max. from rear
Side Setback	0 ft. or 3 ft. at corner
Rear Setback	3 ft. min.

BUILDING HEIGHT (FLOORS/FEET)

Principal Building	2 max. 35 feet max.
Outbuilding	2 max. 35 feet max.

ENCROACHMENTS

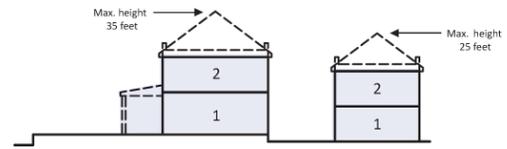
i. Within Setback Encroachments	
<i>Open Porch</i>	50% max.
<i>Balcony and/or Bay Window</i>	25% max.
<i>Stoop or Terrace</i>	not permitted
ii. Public Sidewalk Encroachments	
<i>Awning, Gallery, or Arcade</i>	not permitted
iii. Encroachment Depths	
<i>Porch</i>	8 ft min.
<i>Gallery</i>	not permitted
<i>Arcade</i>	not permitted

PARKING LOCATION

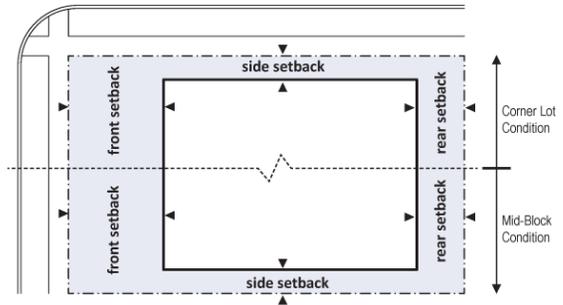
2nd Layer	permitted
3rd Layer	permitted

STORAGE LOCATION

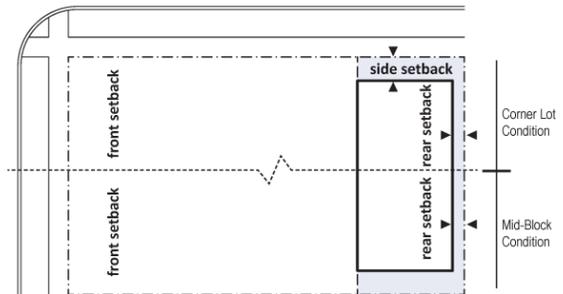
1st Layer	permitted
3rd Layer	permitted
3rd Layer	permitted



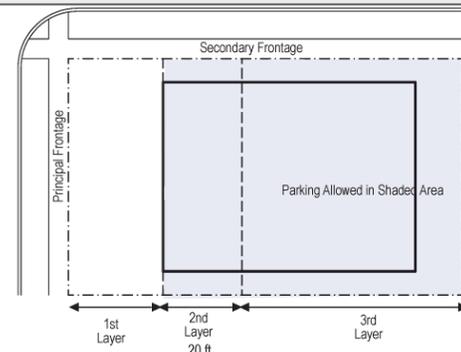
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

8783 Private Frontages

- a. Open Porches may Encroach within the first Lot Layer 50% of its depth as specified on Table 4.5.
- b. Balconies and bay windows may Encroach within the first Lot Layer 25% of its depth except that Balconies on Porch roofs shall Encroach the same depth as the Porch.

TABLE 4.5 RM-V3 ENCROACHMENT SPECIFICATIONS

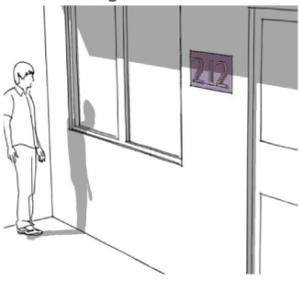
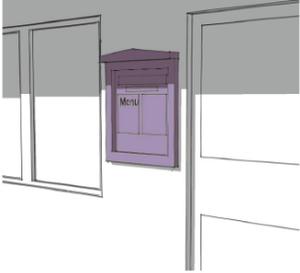
	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1st Layer)	Public Sidewalk Encroachment	Height / Depth
a. Porch: a roof covered, raised platform at the entrance to a building.					50% min	not permitted	8 ft. depth min.
b. Dooryard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.					80% max	not permitted	not applicable
c. Terrace: an elevated, paved patio or veranda at the entrance to a building. This type is suitable for first floor Commercial Uses as outdoor seating space.					80% max	not permitted	not applicable

8785 Signage

- a. Address Signs shall be permitted for all Uses. Nameplate Signs and Outdoor Display Cases shall be permitted for all Commercial (Retail, Lodging, and Office) Uses and limited to two (2) sign types per each Lot along the Primary Frontage in the first Lot Layer (see Table 1.7).
- b. Signage shall be designed according to Table 4.6.
- c. Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of the unit they identify. Address signs may be attached to a mailbox and may be attached to an off-site mailbox by Exception in order to preserve the historic bucket mailbox character of the Colonnade.
- d. One (1) Nameplate per address limited to three (3) square feet and consisting of either a panel or individual letters applied to a building wall, may be attached to the Facade within ten (10) feet of a Principal Entrance of any building with a Commercial Use.
- e. Outdoor Display Cases shall not exceed six (6) square feet and shall not be internally illuminated.

TABLE 4.6 RM-V3 SIGN STANDARDS

(GRAPHICS ARE ADVISORY)

		SPECIFICATIONS				SPECIFICATIONS	
<p>a. Address Sign</p> 	<p>Quantity Area Width Height Depth / Projection From Sidewalk Clearance Apex Letter Height</p>	<p>1 per address 2 sf max 24 in max 12 in max 3 in max 4.5 ft min Not Applicable 12 in max</p>	<p>b. Nameplate Sign</p> 	<p>Quantity Area Width Height Depth / Projection Clearance Apex Letter Height</p>	<p>1 per address 2 sf max 24 in max 12 in max 3 in max 4 ft max 7 ft max 12 max</p>		
<p>c. Outdoor Display Case</p> 	<p>Quantity Area Width Height Depth / Projection Clearance Apex Letter Height</p>	<p>1 per address 6 sf max 3.5 ft max 3.5 ft max 5 in max 4 ft max 42 in max 12 in max</p>					

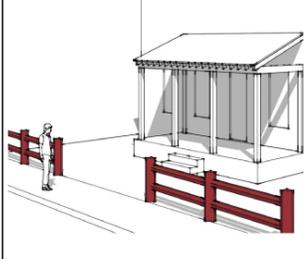
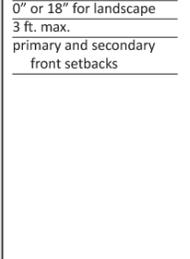
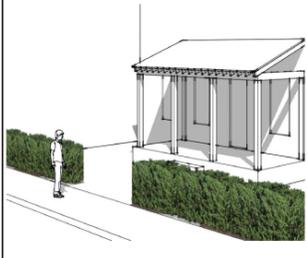
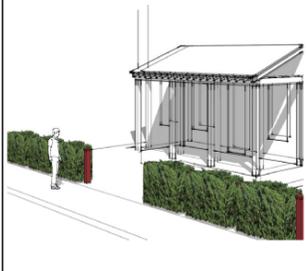
8787 Lighting

- a. Lighting shall be oriented to maintain the natural Dark Sky character within rural Ramona.
- b. No lighting level measured at the building Frontage Line shall not exceed 1.0 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. Overhead lighting shall be a maximum height of 15 feet above the surface in parking areas and 12 feet elsewhere.
- e. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on low-rise, human-scaled posts.
- f. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322 and County Code §51.200.

8789 Fencing

- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 4.7 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or Landscaped with Post Hedges shall be Setback 18 inches from Property Line
 - ii. Split Rail, Post, Stone and Brick may be painted or have a natural finish.
 - iii. Picket, Metal and Stucco fencing materials should have a painted finish.
 - iv. All Fencing shall not exceed eight (8) feet in height.
 - v. Combined fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.

TABLE 4.7 RM-V3 FENCING STANDARDS

SPECIFICATIONS		SPECIFICATIONS	
<p>a. Split Rail</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. max. Location primary and secondary front setbacks</p>	<p>b. Post and Picket</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location primary and secondary front setbacks Picket Spacing <math>< 2.5</math> times width of picket</p>
<p>c. Hedge</p> 	<p>Materials landscape Finish natural Setback 18" from edge of curb Height 3 ft. min. to 6 ft. max. Location all setbacks Plant Type evergreen</p>	<p>d. Metal</p> 	<p>Materials aluminum or wrought iron Finish powder coat or paint Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location all setbacks</p>
<p>e. Hedge and Post</p> 	<p>Materials landscape and wood Finish paint, stain or natural Setback 18" from edge of curb Height 3 ft. min and 6 ft. max. Location all setbacks Plant Type evergreen</p>	<p>f. Panel</p> 	<p>Materials wood or vinyl Finish paint or stain Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location side and rear setbacks</p>

8790 RM-V2 Rural District Development Standards

8791 Lot

8792 Building and Land Use

Table 5.0 Permitted Uses

8793 Parking and Storage

Table 5.1 Required Parking Spaces

Table 5.2 Parking Placement Standards

8795 Building Placement

8797 Building Height

8799 Building Design Standards

8800 Landscape

8801 Stormwater Management

Table 5.3 RM-V2 Summary Table

8803 Private Frontages

Table 5.4 Encroachment Specifications

8805 Signage

Table 5.5 Sign Standards

8807 Lighting

8809 Fencing

Table 5.6 Fencing Standards

Lots located within the RM-V2 Rural District shall be subject to the requirements of this section.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table 5.4). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (§8811). These Public Frontage requirements are located in §8857 Public Realm - Thoroughfares.

8791 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 50 feet measured at the Frontage Line along the Primary Thoroughfare.

8792 Building and Land Use

- a. Primary Buildings may be positioned within the required Setbacks of a Lot to create Freestanding Rural Buildings (see Table 1.7).
- b. Lots designated as RM-V2 on the Ramona Village Core Zoning Map shall be restricted to the following requirements:
 - i. Lots and buildings shall be restricted to combining two (2) Permitted Use categories on Table 5.0 only.
 - ii. The number of dwellings on each Lot is restricted to a Single Dwelling Unit within the Primary Building and an Accessory Dwelling Unit either within the Primary Building or in an Outbuilding (see Table 1.7).
- c. Wireless Telecommunication Facilities and towers are categorized as Minor Impact Utilities and are regulated by the County of San Diego Zoning §6980 excepting §6985 and §6986 and shall not exceed a height of 35 feet.

TABLE 5.0 PERMITTED USES

RESIDENTIAL	V2
Accessory Apartment	
Family Residential	R
Farm Labor Camps	M
Group Residential	M
Mobile Home Residential	M
OFFICE	V2
Professional Office Space (Class A)	
COMMERCIAL	V2
Administrative and Professional Service	
Agricultural and Horticultural Sales	
Agricultural Sales	M
Horticultural Sales	M
Agricultural Services	
Animal Sales and Services	
Auctioning	M
Grooming	
Stockyards	
Veterinary (Large Animals)	R
Veterinary (Small Animals)	R
Automotive and Equipment	
Cleaning	
Fleet Storage	
Parking	
Repairs (Heavy Equipment)	
Repairs (Light Equipment)	
Sales/Rentals (Heavy Equipment)	
Sales/Rentals (Farm Equipment)	
Sales/Rentals (Light Equipment)	
Building Maintenance Services	
Business Equipment and Sales Services	
Business Support Services	
Communication Services	
Construction Sales and Personal Service	

R by RIGHT
A BY ADMINISTRATIVE PERMIT
m by MINOR USE PERMIT
M by MAJOR USE PERMIT
□ NOT ALLOWED

COMMERCIAL (continued)	V2
Convenience Sales and Service	
Cottage Industries	m
Eating and Drinking Establishment	m
Outdoor Dining (encroaching into ROW)	m
Food and Beverage Retail Sales	
Financial, Insurance and Real Estate	m
Funeral and Internment Services	
Cremating / Interning	
Undertaking	
Gasoline Sales	
Laundry Services	
Medical Services	m
Participant Sports and Recreation	
Indoor	m
Outdoor	M
Personal Services, General	m
Recycling Collection / Processing Facility	M
Repair Services, Consumer	
Research Services (Cottage Industry)	
Retail Sales	
General	
Specialty	
Scrap Operations	
Spectator Sport and Entertainment	
Limited	
General (Private Gymnasium)	
Swap Meets (not to exceed 5,000 sf)	
Transient Habitation	
Campground	M
Lodging	m
Resort	M
Wholesale Storage and Distribution	
Mini-Warehouse	m
Light	
Heavy	

INDUSTRIAL	V2
Custom Manufacturing	
General Industrial	
AGRICULTURAL	V2
Horticulture	
Cultivation	R
Storage	R
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	R
General	M
Support	M
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	M
EXTRACTIVE	V2
Mining and Processing	
Site Preparation	M
CIVIC	V2
Administrative Services	M
Ambulance Services	M
Emergency Shelter	R
Clinic Services	M
Community Recreation	M
Cultural Exhibits and Library Services	M
Child Care Center	M
Essential Services	R
Fire Protection Services	R
Group Care	M
Law Enforcement Services	m
Lodge, Fraternal and Civic Assembly	M
Major Impact Services and Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities	m
Small Schools (50 or fewer students)	m

8793 Parking and Storage

- a. The required number of parking spaces per general Land Use are as specified on Table 5.1.
- b. Driveways shall be no wider than 24 feet in the first Lot Layer.
- c. Open parking areas shall be located in the second and third Lot Layers (See Table 5.3.D). Driveways, drop-offs and unpaved parking areas may be located in the first Lot Layer.
- d. Garages shall be located in the second and third Lot layer except that side or rear entry types may be allowed in the second Lot Layer by Exception.
- e. Shared-Use Parking Multiplier is not applicable in V2.
- f. Outdoor Storage shall be located in the second and third Lot Layers on Table 5.3.D Parking and Storage Diagram.
- g. Outdoor Storage shall be enclosed by a minimum six (6) feet and maximum eight (8) opaque fence.
- h. Outdoor display areas shall temporarily exhibit merchandise during business hours only. Permanent Outdoor displays shall be allowed on a case-by-case basis through the Site Plan process as referenced in §8705.b.

TABLE 5.1 V2 REQUIRED VEHICULAR PARKING SPACES

RESIDENTIAL	2.0 / dwelling
COMMERCIALⁱ	4.0 / 1000 sq. ft.
Automotive and Equipment	3.0 / 1000 sq. ft.
Business Equipment and Sales Services	3.0 / 1000 sq. ft.
Medical Services	1.75 / bed capacity
Participant Sports and Recreation	1.0 / 3 total occupancy
Spectator Sport and Recreation	1.0 / 3 total occupancy
Swap Meets	6.0 / 1000 sq. ft.
Transient Habitation	1.0 / guest room
Wholesale Storage and Distribution	1.0 / 300 sq. ft.
CIVIC	1.0 / 4 total occupancy
Clinical Services	1.0 / employee ; 1.0 / exam room
Community Recreation	1.0 / 4 total occupancy
Child Care (and small schools)	1.0 / 300 sq. ft.
Group Care	1.0 / 4 beds
Lodge, Fraternal or Civic Assembly	1.0 / 4 total occupancy
Major Impact Services and Utilities ⁱⁱ	-
Elementary	1.0 / 300 sq. ft. ; 1.0 / employee
Other and Charitable	1.0 / employee ; 1.0 / 2 students
Religious Assembly	1.0 / 4 total occupancy
OFFICE (CLASS A)	not applicable
INDUSTRIAL, AGRICULTURAL, EXTRACTIVE	1.0 / 300 sq. ft.

ⁱ Square footage shall be calculated as Gross Leasable Floor Space (includes Restaurants and Retail).

ⁱⁱ Auditoriums part of educational institutions in the Major Impact Services and Utilities use category shall provide parking spaces according to the regulations for Spectator Sport and Recreation uses in addition to the parking requirement for employees, students, visitors and square footage when required.

TABLE 5.2 PARKING PLACEMENT STANDARDS

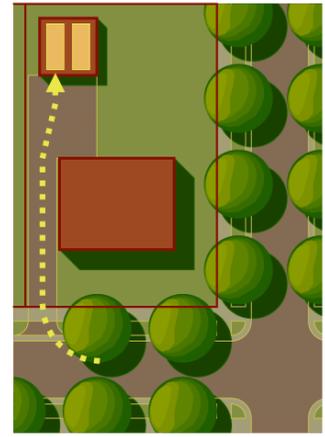
a. Parking Standards Diagrams (Advisory)

These standards only regulate parking on private Lots. These on-site parking standards represent methods that do not allow cars to dominate the faces of buildings. Alleys or rear lanes shall be used for vehicular access. Street frontage may be used for access only at lots where alleys or lanes do not exist.

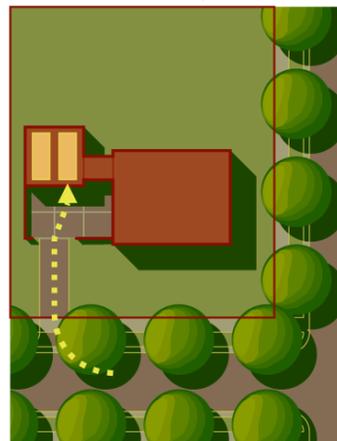
i. Front/First Lot Layer



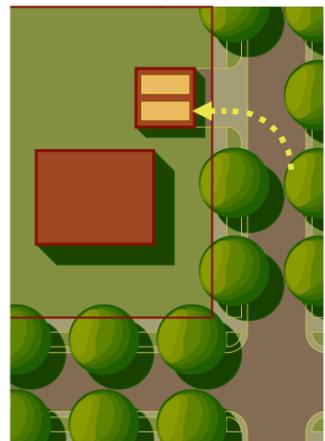
ii. Front/Third Lot Layer



iii. Front/Second Lot Layer



iv. Side/Outbuilding



8795 Building Placement

- a. Lot coverage by buildings and impermeable surfaces shall be a maximum of 50% of the Lot area.
- b. Buildings shall be Setback in relation to the boundaries of their Lot as specified on Table 5.3.B.
- c. Primary Buildings shall be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building (see Table 1.8.a).

8797 Building Height

- a. The maximum height of a Primary Building shall be two (2) floors and 35-feet maximum height (see Table 5.3.A).
- b. The maximum height of all Outbuildings shall be two (2) floors and 25-feet maximum height (see Table 5.3).

8799 Building Design Standards (From Building Base to Roof)

- a. The exterior finish material on all Facades shall be limited to brick, adobe, native stone, tinted and textured concrete, wood siding or stucco.
- b. The color palette for each distinct building should follow this general pattern:
 - i. Materials-based color palette derived from the natural color of the building materials used to construct the building envelopes.
 - ii. Soil-based colors are a subset of materials-based colors and result from using earth as a building material.
 - iii. Bright or highly-reflective colors, except on rooftops, shall be highly discouraged.
- c. Roof mounted equipment shall be setback and screened from view from adjacent thoroughfares Primary Frontage.
- d. Where solar panels are attached to buildings they shall be integrated into the architectural design of the building.

8800 Landscape

- a. The first Lot Layer may not be paved, with exception of Driveways as specified in §8705(a) and walkways, leading to Principal Entrances.
- b. Privately owned but publicly accessible spaces provided internal to any Lot shall be designed as a landscaped that relates to the natural character of Santa Maria Creek.
- c. Parking and landscaped areas shall utilize §8801 stormwater paving, channeling, storage, and filtration techniques.
- d. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide.
- e. Shrubs should be of medium size, low creeping variety and shall include Ceanothus, Juniperus, Mahonia, Ornamental grasses, Pittosposum, Pyracantha, and Ribes species.

8801 Stormwater Management

- a. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- b. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- c. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- d. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- e. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the Santa Maria Creek Greenway.
- f. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- g. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage sytem(s).
- h. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden, and Green Roof(s).

TABLE 5.3 RM-V2 SUMMARY TABLE

BUILDING PLACEMENT

Freestanding Rural Building	permitted
Attached Compact Building	not permitted

LOT OCCUPATION

Lot Coverage	50%
Facade Buildout at Primary Front Setback	not applicable

PRINCIPAL BUILDING SETBACKS

Primary Front Setback	24 ft. min.
Secondary Front Setback	12 ft. min.
Side Setback	12 ft. min.
Rear Setback	96 ft min.

OUTBUILDING SETBACKS

Front Setback	24 ft min.
Side Setback	12 ft. min.
Rear Setback	12 ft. min.

BUILDING HEIGHT (FLOORS/FEET)

Principal Building	2 max. 35 feet max.
Outbuilding	2 max. 25 feet max.

ENCROACHMENTS

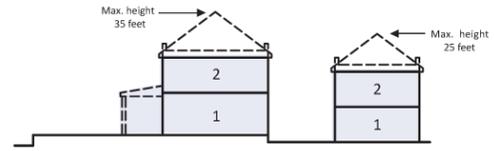
i. Within Setback Encroachments	
<i>Open Porch</i>	not permitted
<i>Balcony and/or Bay Window</i>	not permitted
<i>Stoop or Terrace</i>	not permitted
ii. Public Sidewalk Encroachments	
<i>Awning, Gallery, or Arcade</i>	not permitted
iii. Encroachment Depths	
<i>Porch</i>	8 ft min.
<i>Gallery</i>	not permitted
<i>Arcade</i>	not permitted

PARKING LOCATION

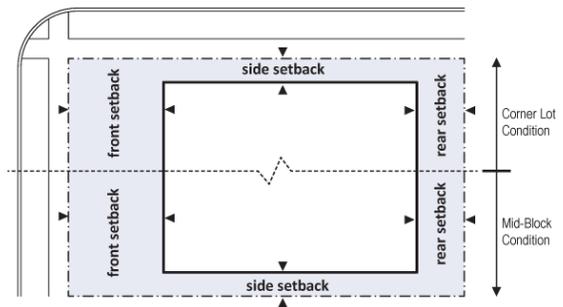
2nd Layer	permitted
3rd Layer	permitted

STORAGE LOCATION

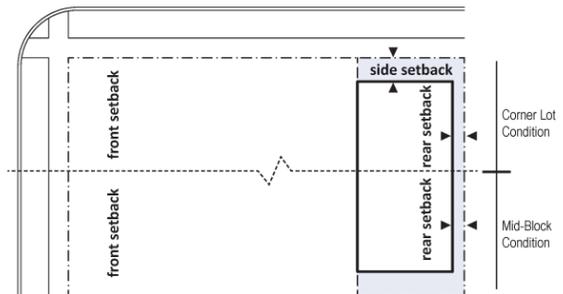
1st Layer	not permitted
2nd Layer	permitted
3rd Layer	permitted



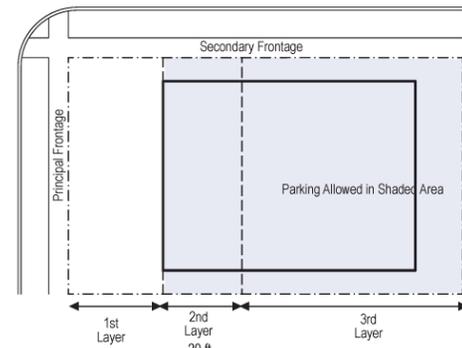
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

8803 Private Frontages

- a. Porch, Common yards, balconies, bay windows, and roof overhangs may Encroach within the first Lot Layer as specified on Table 5.4.

TABLE 5.4 RM-V2 ENCROACHMENT SPECIFICATIONS

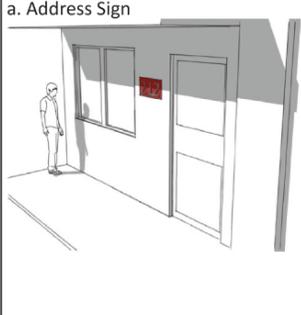
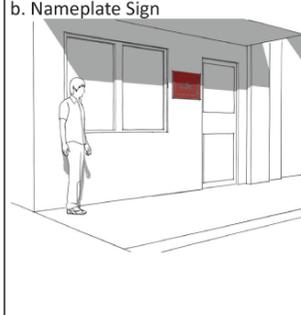
	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1st Layer)	Public Sidewalk Encroachment	Height / Depth
a. Porch: a roof covered, raised platform at the entrance to a building.					50% max	not permitted	8 ft. depth min.
b. Common Yard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.					80% max	not permitted	not applicable

8805 Signage

- a. Address Signs shall be permitted for all Uses. Nameplate Signs and Post Signs shall be permitted for all non-Residential Uses and limited to two (2) sign types per each Lot along the Primary Frontage in the first Lot Layer (see Table 1.7).
- b. Signage shall be designed according to Table 5.5.
- c. Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of the unit they identify. Address signs may be attached to a mailbox.
- d. One (1) Nameplate per address limited to three (3) square feet and consisting of either a panel or individual letters applied to a building wall, may be attached to the Facade within ten (10) feet of a Principal Entrance of an building with Share Uses and shall not be internally illuminated.
- e. One single or double-post sign for each Commercial Use shall be permitted, provided that the sign is set back at least six (6) linear feet from the Frontage Line, does not exceed six (6) square feet in area, excluding posts, and does not exceed six (6) feet in height, including posts, as measured from the ground at the sign location.

TABLE 5.5 RM-V2 SIGN STANDARDS (GRAPHICS)

(GRAPHICS ARE ADVISORY)

		SPECIFICATIONS				SPECIFICATIONS	
a. Address Sign		Quantity	1 per address	b. Nameplate Sign		Quantity	1 per address
		Area	2 sf max			Area	2 sf max
		Width	24 in max			Width	24 in max
		Height	12 in max			Height	12 in max
		Depth / Projection	3 in max			Depth / Projection	3 in max
		From Ground Clearance	4.5 ft min			From Ground Clearance	4 ft max
		Apex	Not Applicable			Apex	7 ft max
		Letter Height	12 in max.			Letter Height	12 in max

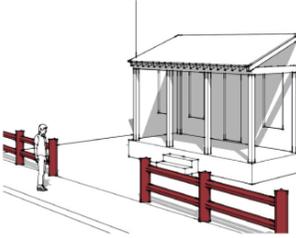
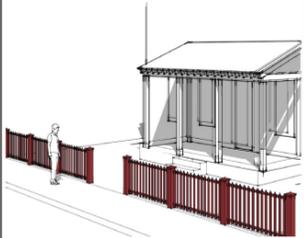
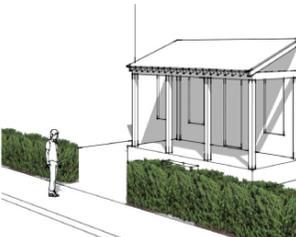
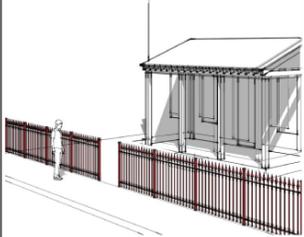
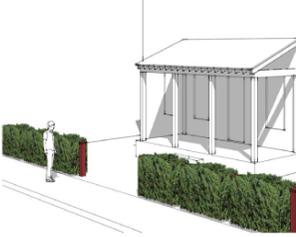
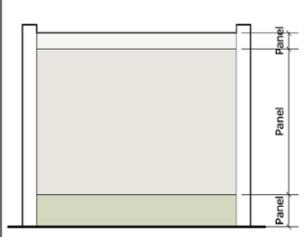
8807 Lighting

- a. Lighting shall be oriented to maintain the natural Dark Sky character within rural Ramona.
- b. No lighting level measured at the building Frontage Line shall not exceed 1.0 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. No overhead lighting shall be allowed.
- e. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on low-rise, human-scaled posts.
- f. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322 and County Code §51.200.

8809 Fencing

- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 5.6 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or Landscaped with Post Hedges shall be Setback 18-inches from Property Line
 - ii. Split Rail, Post, Stone and Brick may be painted or have a natural finish.
 - iii. Picket, Metal and Stucco fencing materials should have a painted finish.
 - iv. All Fencing shall not exceed eight (8) feet in height.
 - v. Combined fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.

TABLE 5.6 RM-V2 FENCING STANDARDS

SPECIFICATIONS		SPECIFICATIONS	
<p>a. Split Rail</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. max. Location primary and secondary front setbacks</p>	<p>b. Post and Picket</p> 	<p>Materials wood or concrete Finish paint, stain or natural Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location primary and secondary front setbacks Picket Spacing <math>\leq 2.5</math> times width of picket</p>
<p>c. Hedge</p> 	<p>Materials landscape Finish natural Setback 18" from edge of curb Height 3 ft. min. to 6 ft. max. Location all setbacks Plant Type evergreen</p>	<p>d. Metal</p> 	<p>Materials aluminum or wrought iron Finish powder coat or paint Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location all setbacks</p>
<p>e. Hedge and Post</p> 	<p>Materials landscape and wood Finish paint, stain or natural Setback 18" from edge of curb Height 3 ft. min and 6 ft. max. Location all setbacks Plant Type evergreen</p>	<p>f. Panel</p> 	<p>Materials wood or vinyl Finish paint or stain Setback 0" or 18" for landscape Height 3 ft. min. to 6 ft. max. Location side and rear setbacks</p>

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8810 RM-V1 Natural District Development Standards

8810 Lot

8812 Building and Land Use

Table 6.0 Permitted Uses

8813 Parking and Storage

Table 6.1 Required Parking Spaces

Table 6.2 Parking Placement Standards

8815 Building Placement

8817 Building Height

8819 Design Standards

8820 Landscape

8821 Stormwater Management

Table 6.3 RM-V1 Summary Table

8823 Private Frontages

Table 6.4 Encroachment Specifications

8825 Signage

Table 6.5 Sign Standards

8827 Lighting

8829 Fencing

Table 6.6 Fencing Standards

PART EIGHT: 8810 RM-V1 Natural District

Lots located within the RM-V1 Natural District shall be subject to the requirements of this section and the Resource Protection Ordinance (RPO) §86.601 et seq. as these areas include sections of the Santa Maria Creek Greenway, Floodway, and Floodplain. Lots located within the RM-V1 should also be subject to the Ramona Community Trails and Pathways Plans to provide trail easements for the Santa Maria Creek Greenway.

ATTENTION PRIVATE DEVELOPERS: Public Frontage Improvements are required to be constructed within the Thoroughfare Right-of-Way (See Table 1.7). The construction improvement requirements (sidewalk, landscape, furnishings, street trees, etc.) and fees are based upon Lot Widths (§8811). These Public Frontage requirements are located in §8857 Public Realm - Thoroughfares.

8811 Lot

- a. Subdivisions of existing Lots and new combinations of Lots shall have a minimum width of 50 feet measured at the Frontage Line along the Primary Thoroughfare.

8812 Building and Land Use

- a. Primary Buildings may be positioned within the required Setbacks of a Lot to create Freestanding Rural Buildings (see Table 1.5).
- b. Outbuilding size shall comply with §6156 of the County of San Diego Zoning Ordinance. Outbuilding location may be positioned consistent with the Outbuilding setbacks described in Table 6.3.
- c. Lots designated as RM-V1 on the Ramona Village Core Zoning Map shall be restricted to the following requirements:
 - i. Lots and buildings shall be restricted to combining two (2) Permitted Use categories on Table 6.0 only.
 - ii. The number of dwellings on each Lot is restricted to a Single Dwelling Unit within the Primary Building and an Accessory Dwelling Unit either within the Primary Building or in an Outbuilding (see Table 1.7).
- d. Wireless Telecommunication Facilities and towers are categorized as Minor Impact Utilities and are regulated by the County of San Diego Zoning §6980 excepting §6985 and §6986 and shall not exceed a height of 35 feet.

TABLE 6.0 PERMITTED USES

RESIDENTIAL	V1
Accessory Apartment	
Family Residential	R
Farm Labor Camps	M
Group Residential	M
Mobile Home Residential	M
OFFICE	V1
Professional Office Space (Class A)	
COMMERCIAL	V1
Administrative and Professional Service	
Agricultural and Horticultural Sales	
Agricultural Sales	M
Horticultural Sales	M
Agricultural Services	
Animal Sales and Services	
Auctioning	M
Grooming	
Stockyards	
Veterinary (Large Animals)	R
Veterinary (Small Animals)	R
Automotive and Equipment	
Cleaning	
Fleet Storage	
Parking	
Repairs (Heavy Equipment)	
Repairs (Light Equipment)	
Sales/Rentals (Heavy Equipment)	
Sales/Rentals (Farm Equipment)	
Sales/Rentals (Light Equipment)	
Building Maintenance Services	
Business Equipment and Sales Services	
Business Support Services	
Communication Services	
Construction Sales and Personal Service	

R by RIGHT
 A BY ADMINISTRATIVE PERMIT
 m by MINOR USE PERMIT
 M by MAJOR USE PERMIT
 □ NOT ALLOWED

COMMERCIAL (continued)	V1
Convenience Sales and Service	
Cottage Industries	m
Eating and Drinking Establishment	
Outdoor Dining (encroaching into ROW)	
Food and Beverage Retail Sales	
Financial, Insurance and Real Estate	
Funeral and Internment Services	
Cremating / Interning	
Undertaking	
Gasoline Sales	
Laundry Services	
Medical Services	
Participant Sports and Recreation	
Indoor	
Outdoor	M
Personal Services, General	
Recycling Collection / Processing Facility	M
Repair Services, Consumer	
Research Services (Cottage Industry)	
Retail Sales	
General	
Specialty	
Scrap Operations	
Spectator Sport and Entertainment	
Limited	
General (Private Gymnasium)	
Swap Meets (not to exceed 5,000 sf)	
Transient Habitation	
Campground	M
Lodging	
Resort	M
Wholesale Storage and Distribution	
Mini-Warehouse	M
Light	
Heavy	

INDUSTRIAL	V1
Custom Manufacturing	
General Industrial	
AGRICULTURAL	V1
Horticulture	
Cultivation	R
Storage	R
Tree Crops	R
Row and Field Crops	R
Packaging and Processing	
Limited	R
General	M
Support	M
Winery	M
Small Winery	A
Boutique Winery	R
Wholesale Limited Winery	R
Agricultural Equipment Storage	M
EXTRACTIVE	V1
Mining and Processing	
Site Preparation	M
CIVIC	V1
Administrative Services	M
Ambulance Services	M
Emergency Shelter	R
Clinic Services	M
Community Recreation	M
Cultural Exhibits and Library Services	M
Child Care Center	M
Essential Services	R
Fire Protection Services	R
Group Care	M
Law Enforcement Services	m
Lodge, Fraternal and Civic Assembly	M
Major Impact Services and Utilities	M
Minor Impact Utilities	m
Parking Services	M
Postal Services	M
Religious Services and Assembly	M
Gymnasium Facilities	M
Small Schools (50 or fewer students)	m

8813 Parking and Storage

- a. The required number of parking spaces per general Land Use are as specified on Table 6.1.
- b. Driveways shall be no wider than 24 feet in the first Lot Layer.
- c. Open parking areas shall be located in the second and third Lot Layers (See Table 6.3.D). Driveways, drop-offs and unpaved parking areas may be located in the first Lot Layer.
- d. Garages shall be located in the second and third Lot layer except that side or rear entry types may be allowed in the second Lot Layer by Exception.
- e. Shared-Use Parking Multiplier is not applicable in V1.
- f. Outdoor Storage shall be located in the second and third Lot Layers on Table 6.3.D Parking and Storage Diagram.
- g. Outdoor Storage shall be enclosed by a minimum six (6) feet and maximum eight (8) opaque fence.
- h. Outdoor display areas shall temporarily exhibit merchandise during business hours only. Permanent Outdoor displays shall be allowed on a case-by-case basis through the Site Plan process as referenced in §8705.b.

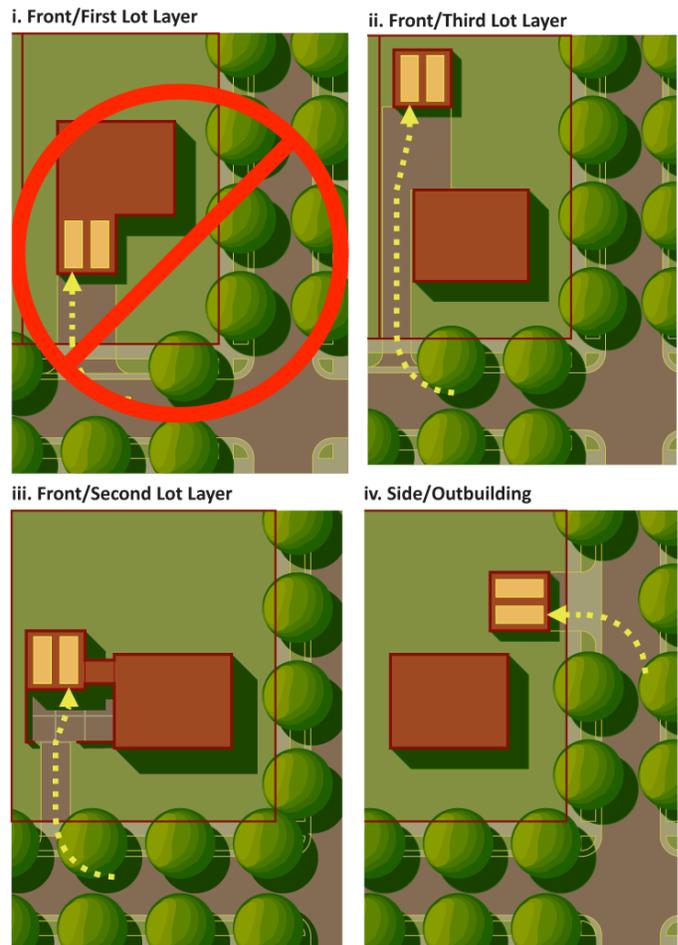
TABLE 6.1 V1 REQUIRED VEHICULAR PARKING SPACES

RESIDENTIAL	2.0 / dwelling
COMMERCIALⁱ	4.0 / 1000 sq. ft.
Automotive and Equipment	3.0 / 1000 sq. ft.
Business Equipment and Sales Services	3.0 / 1000 sq. ft.
Medical Services	1.75 / bed capacity
Participant Sports and Recreation	1.0 / 3 total occupancy
Spectator Sport and Recreation	1.0 / 3 total occupancy
Swap Meets	6.0 / 1000 sq. ft.
Transient Habitation	1.0 / guest room
Wholesale Storage and Distribution	1.0 / 300 sq ft.
CIVIC	1.0 / 4 total occupancy
Clinical Services	1.0 / employee ; 1.0 / exam room
Community Recreation	1.0 / 4 total occupancy
Child Care (and small schools)	1.0 / 300 sq ft.
Group Care	1.0 / 4 beds
Lodge, Fraternal or Civic Assembly	1.0 / 4 total occupancy
Major Impact Services and Utilities ⁱⁱ	-
Elementary	1.0 / 300 sq ft. ; 1.0 / employee
Other and Charitable	1.0 / employee ; 1.0 / 2 students
Religious Assembly	1.0 / 4 total occupancy
OFFICE (CLASS A)	not applicable
INDUSTRIAL, AGRICULTURAL, EXTRACTIVE	1.0 / 300 sq ft.

ⁱ Square footage shall be calculated as Gross Leasable Floor Space.
ⁱⁱ Auditoriums part of educational institutions in the Major Impact Services and Utilities use category shall provide parking spaces according to the regulations for Spectator Sport and Recreation uses in addition to the parking requirement for employees, students, visitors and square footage when required.

TABLE 6.2 PARKING PLACEMENT STANDARDS

a. Parking Standards Diagrams (Advisory)
 These standards only regulate parking on private Lots. These on-site parking standards represent methods that do not allow cars to dominate the faces of buildings. Alleys or rear lanes shall be used for vehicular access. Street frontage may be used for access only at lots where alleys or lanes do not exist.



8815 Building Placement

- a. Lot coverage by buildings and impermeable surfaces shall be a maximum of 50% of the Lot area.
- b. Buildings shall be Setback in relation to the boundaries of their Lot as specified on Table 6.3.
- c. Primary Buildings shall be positioned within the required Setbacks of a Lot to create a Freestanding Rural Building.

8817 Building Height

- a. The maximum height of a Primary Building shall be two (2) floors and 35-feet maximum height.
- b. The maximum height of all Outbuildings shall be two (2) floors and 25-feet maximum height.

8819 Building Design Standards (From Building Base to Roof)

- a. The exterior finish material on all Facades shall be limited to brick, adobe, native stone, tinted and textured concrete, wood siding or stucco.
- b. The color palette for each distinct building should follow this general pattern:
 - i. Materials-based color palette derived from the natural color of the building materials used to construct the building envelopes.
 - ii. Soil-based colors are a subset of materials-based colors and result from using earth as a building material.
 - iii. Bright or highly-reflective colors, except on rooftops, shall be highly discouraged.
- c. Roof mounted equipment shall be setback and screened from view from adjacent thoroughfares Primary Frontage.
- d. Where solar panels are attached to buildings they shall be integrated into the architectural design of the building.

8820 Landscape

- a. The first Lot Layer may not be paved, with exception of Driveways as specified in §8705(b) and walkways, leading to Principal Entrances.
- b. Privately owned but publicly accessible spaces provided internal to any Lot shall be designed as a landscaped that relates to the natural character of Santa Maria Creek.
- c. Parking and landscaped areas shall utilize §8821 stormwater paving, channeling, storage, and filtration techniques.
- d. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide.
- e. Shrubs should be of medium size, low creeping variety and shall include Ceanothus, Juniperus, Mahonia, Ornamental grasses, Pittosposum, Pyracantha, and Ribes species.

8821 Stormwater Management

- a. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- b. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- c. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- d. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- e. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the Santa Maria Creek Greenway.
- f. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- g. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage sytem(s).
- h. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden, and Green Roof(s).

TABLE 6.3 RM-V1 SUMMARY TABLE

BUILDING PLACEMENT

Freestanding Rural Building	permitted
Attached Compact Building	not permitted

LOT OCCUPATION

Lot Coverage	50%
Facade Buildout at Primary Front Setback	not applicable

PRINCIPAL BUILDING SETBACKS

Primary Front Setback	24 ft. min.
Secondary Front Setback	12 ft. min.
Side Setback	12 ft. min.
Rear Setback	96 ft. min.

OUTBUILDING SETBACKS

Front Setback	24 ft. min.
Side Setback	12 ft. min.
Rear Setback	12 ft. min.

BUILDING HEIGHT (FLOORS/FEET)

Principal Building	2 max. 35 feet max.
Outbuilding	2 max. 25 feet max.

ENCROACHMENTS

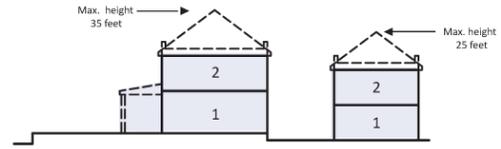
i. Within Setback Encroachments	
<i>Open Porch</i>	not permitted
<i>Balcony and/or Bay Window</i>	not permitted
<i>Stoop or Terrace</i>	not permitted
ii. Public Sidewalk Encroachments	
<i>Awning, Gallery, or Arcade</i>	not permitted
iii. Encroachment Depths	
<i>Porch</i>	8 ft. min.
<i>Gallery</i>	not permitted
<i>Arcade</i>	not permitted

PARKING LOCATION

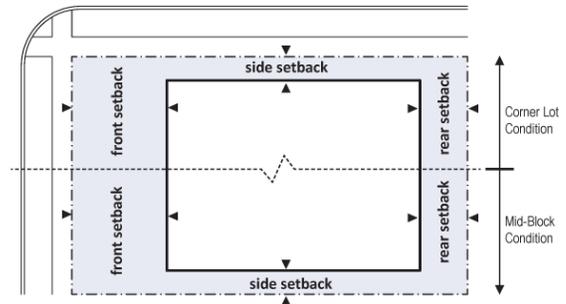
2nd Layer	permitted
3rd Layer	permitted

STORAGE LOCATION

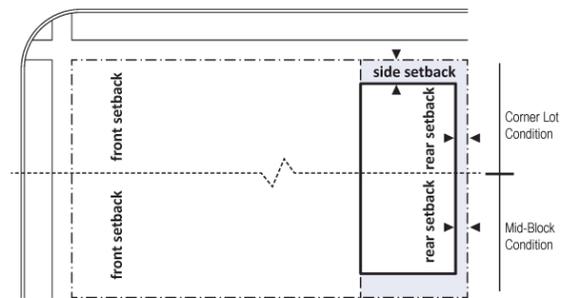
1st Layer	permitted
2nd Layer	permitted
3rd Layer	permitted



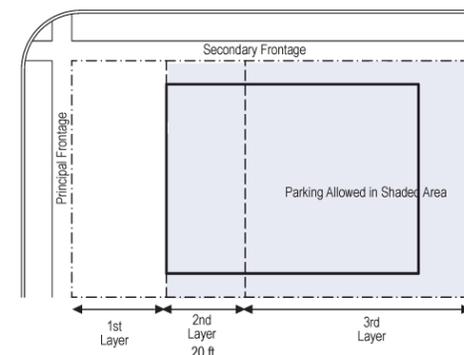
A. BUILDING HEIGHT DIAGRAM



B. PRINCIPAL BUILDING PLACEMENT DIAGRAM



C. OUTBUILDING PLACEMENT DIAGRAM



D. PARKING AND STORAGE LOCATION DIAGRAM

PART EIGHT: 8810 RM-V1 Natural District

8823 Private Frontages

- a. Porch, Common yards, balconies, bay windows, and roof overhangs may Encroach within the first Lot Layer as specified on Table 6.4.

TABLE 6.4 RM-V1 ENCROACHMENT SPECIFICATIONS

	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	LOT LINE PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	Within Setback Encroachment (1st Layer)	Public Sidewalk Encroachment	Height / Depth
a. Porch: a roof covered, raised platform at the entrance to a building.					50%	not permitted	8 ft. depth
b. Common Yard: an elevated front yard extending to the Frontage Line, buffering it from pedestrian activity of the Sidewalk.					100%	not permitted	not applicable

8825 Signage

- a. Address Signs shall be permitted for all Uses. Nameplate Signs and Post Signs shall be permitted for all non-Residential Uses as identified in Table 6.5.
- b. Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of the unit they identify. Address signs may be attached to a mailbox.
- c. Signage shall be designed according to Table 6.5 and not exceed more than five (5) square feet per Lot.
- d. Address Signs shall be made attached to an off-site mailbox by Exception (maintaining Ramona's mailbox bucket character).
- e. One (1) Nameplate Sign per address and limited to three (3) square feet and consisting of either a panel or individual letters applied to a building wall, may be attached to the Facade within ten (10) feet of a Principal Entrance of any building with a Commercial Use.

TABLE 6.5 RM-V1 SIGN STANDARDS

(GRAPHICS ARE ADVISORY)

	SPECIFICATIONS		SPECIFICATIONS	
a. Address Sign		Quantity 1 per address Area 2 sf max Width 24 in max Height 12 in max Depth / Projection From Ground Clearance 3 in max Apex Not Applicable Letter Height 12 in max	b. Nameplate Sign	Quantity 1 per address Area 2 sf max Width 24 in max Height 12 in max Depth / Projection From Ground Clearance 3 in max Apex 4 ft max Letter Height 7 ft max Letter Height 12 in max

8827 Lighting

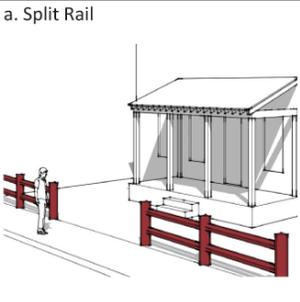
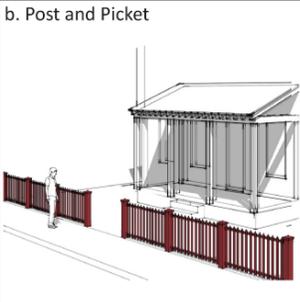
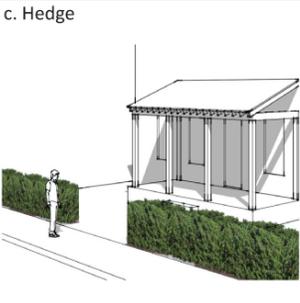
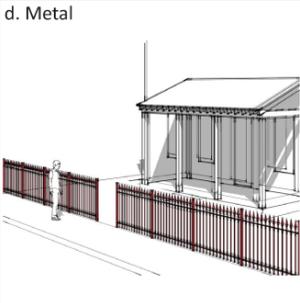
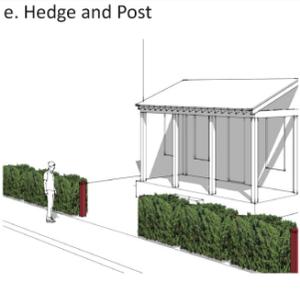
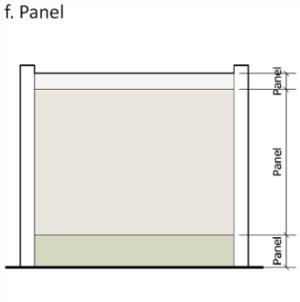
PART EIGHT: 8810 RM-V1 Natural District

- a. Lighting shall be oriented to maintain the natural Dark Sky character within the Santa Maria Creek.
- b. No lighting level measured at the building Frontage Line shall not exceed 0.5 foot-candle level.
- c. All lighting shall use full cutoff - fully shielded - luminaries.
- d. No overhead lighting shall be allowed.
- e. Along walkways, low-level lighting in the form of bollards or fixtures should be mounted on low-rise, human-scaled posts.
- f. All lighting shall, at a minimum, comply with County Zoning Ordinance §6322 and County Code §51.200.

8829 Fencing

- a. Fencing shall be located on Primary Frontages, Secondary Frontages, and shared Lot Lines.
- b. Fencing types diagrammed on Table 6.6 are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- c. Fencing materials shall be subject to the following requirements:
 - i. Landscaped or Landscaped with Post Hedges shall be Setback 18-inches from Property Line
 - ii. Split Rail, Post, Stone and Brick may be painted or have a natural finish.
 - iii. Picket, Metal and Stucco fencing materials should have a painted finish.
 - iv. All Fencing shall not exceed eight (8) feet in height.
 - v. Combined fencing materials shall have heavier materials below the upper lighter materials.
 - vi. Chain Link fencing is only allowed with a vinyl coating and only along the rear yard perimeter.

TABLE 6.6 RM-V1 FENCING STANDARDS

SPECIFICATIONS		SPECIFICATIONS	
<p>a. Split Rail</p> 	<p>Materials Finish Setback Height Location</p> <p>wood or concrete paint, stain or natural 0" or 18" for landscape 3 ft. max. primary and secondary front setbacks</p>	<p>b. Post and Picket</p> 	<p>Materials Finish Setback Height Location Picket Spacing</p> <p>wood or concrete paint, stain or natural 0" or 18" for landscape 3 ft. min. to 6 ft. max. primary and secondary front setbacks ≤2.5 times width of picket</p>
<p>c. Hedge</p> 	<p>Materials Finish Setback Height Location Plant Type</p> <p>landscape natural 18" from edge of curb 3 ft. min. to 6 ft. max. all setbacks evergreen</p>	<p>d. Metal</p> 	<p>Materials Finish Setback Height Location</p> <p>aluminum or wrought iron powder coat or paint 0" or 18" for landscape 3 ft. min. to 6 ft. max. all setbacks</p>
<p>e. Hedge and Post</p> 	<p>Materials Finish Setback Height Location Plant Type</p> <p>landscape and wood paint, stain or natural 18" from edge of curb 3 ft. min and 6 ft. max. all setbacks evergreen</p>	<p>f. Panel</p> 	<p>Materials Finish Setback Height Location</p> <p>wood or vinyl paint or stain 0" or 18" for landscape 3 ft. min. to 6 ft. max. side and rear setbacks</p>

8830 Public Realm: Civic District Design Standards

8831 Building Form and Land Use

8835 Signage

8837 Parking

8840 Landscape

8843 Lighting

8845 Civic Space

8847 Stormwater Management

Table 7.0 Civic District Permitted Uses

Table 7.1 Civic Space Types

Map 6 - Paseo Area Districts

Map 7 - Old Town Area Districts

Lots located within the CD - Civic District and/or require privately owned but publicly accessible space (Shared Civic Space) shall be subject to the requirements of this section.

8831 Building Form and Land Use

- a. Permitted Uses for Lots designated as CD are listed on Table 7.0.

8835 Signage

- a. Signage that is painted on the facade and/or routed or sandblasted into metal and/or wood shall be allowed
- b. All other signage in Civic Spaces shall be allowed by Exception.

8837 Parking

- a. One (1) parking space per 2,000 sq ft of Civic Space.

8840 Landscape

- a. Pervious Paving materials should be used where possible for Civic Spaces, Driveways and Parking Lots.
- b. Parking areas with ten (10) or more parking spaces shall be shaded by Canopy Trees at a rate of one (1) tree for every ten (10) parking spaces. See Table 8.8 for Canopy Tree species and characteristics.
- c. Parking and landscaped areas shall utilize §8847 stormwater paving, channeling, storage and filtration techniques.
- d. Privately owned but publically accessible spaces (i.e. Shared Civic Space) provided internal to any private Lot shall be designed per Civic Space type characteristics outline in Table 3.8.a-e.
- e. Shrub massing shall be located beneath trees rather than ornamental ground covers with all planting beds organically mulched at least 2-inches in depth and Drip irrigation must be installed for ground cover area less than 8-feet wide.
- f. Shrubs should be of medium size, low creeping variety and shall include Calliandra, Ceanothus, Grevillea noellii, Lantan, Juniperus, Mahonia, Nerium oleander, Ornamental grasses, Pittosposum, Photinia, Pyracantha, Rapiolepis, Ribes, and Rhus species.

8843 Lighting

- a. Privately owned but publicly accessible spaces provided internal to any private Lot shall be designed to maintain the natural Dark Sky character of Ramona.
- b. No lighting level measured at the building Frontage Line shall exceed 1.0 foot-candle level.

8845 Civic Space

- a. Civic Spaces shall be designed as generally described on Table 7.1 and are provided for illustrative purposes only; specific designs shall be prepared in accordance to the descriptions for each type.
- b. Civic Space shall be determined to be appropriate according to the highest abutting RM-V District as indicated on Map 7 and Map 8.

8847 Stormwater Management

- a. Pervious Paving techniques shall be used where possible for Driveways, Parking Lots and Patios.
- b. Pervious Paving materials shall be limited to Crushed Stone or Gravel, Concrete Pavers, Grassed Cellular Concrete, Paving Blocks or set upon Pervious Asphalt or Pervious Concrete.
- c. Channeling techniques shall be allowed and used to direct stormwater primarily into storage and filtration areas.
- d. Channeling materials shall be limited to Natural Creek, Terracing, Vegetative Swale and Drainage Ditch.
- e. Storage facilities shall be allowed to collect water through an interconnection of paving, channels and filtration systems to naturally deliver stormwater to the Santa Maria Creek Greenway.
- f. Storage facilities shall be limited to Irrigation Ponds and/or Retention Basins with sloping bank and/or fence and Creek.
- g. Filtration techniques should produce unpolluted water using natural Paving, Channeling and Storage sytem(s).
- h. Filtration facilities shall be limited to Purification Biotope, Vegetative Purification Bed, Bi-Retention Swale, Rain Garden, and Green Roof(s).

TABLE 7.0 CIVIC DISTRICT PERMITTED USES

CIVIC	
Green	R
Square	R
Plaza	R
Commercial Plaza	R
Playground	R
Pocket Park	R
Outdoor Auditorium	R
Library	A
Community Center and Facilities	R

TABLE 7.0 CIVIC DISTRICT PERMITTED USES (continued)

COMMUNITY SUPPORT	
Fire Station	R
Police Station	R
Post Office	R
Cemetery	A

R BY RIGHT
A BY EXCEPTION

TABLE 7.1 CIVIC SPACE TYPES

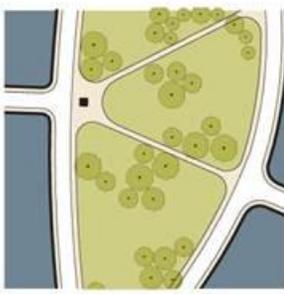
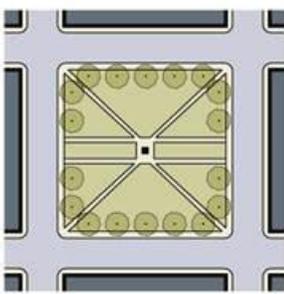
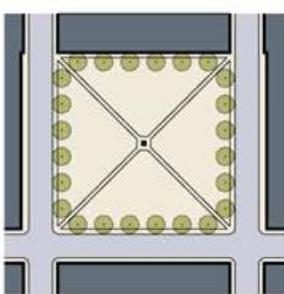
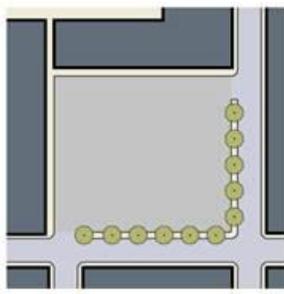
<p>a. Green</p> <p>An Open Space, available for outdoor play recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, irregular disposition. Sections of a Green may be designed specifically for the recreation of children.</p>		<p>V3 V4 V5</p>
<p>b. Square</p> <p>An Open Space available for unstructured recreation and Civic purposes. A Square is free standing in the block pattern of a community, with Thoroughfares on all sides, and can have Civic, Commercial and Residential design characteristics in response to surrounding context. Landscape consists of formally disposed lawns, paths, and trees.</p>		<p>V3 V4 V5</p>
<p>c. Plaza</p> <p>An Open Space available for unstructured recreation and Civic purposes. Plazas are designed as part of a Block/Lot or located internal to a Block/Lot and spatially defined by surrounding buildings. Landscape consists primarily of hardscape and trees.</p>		<p>V4 V5</p>

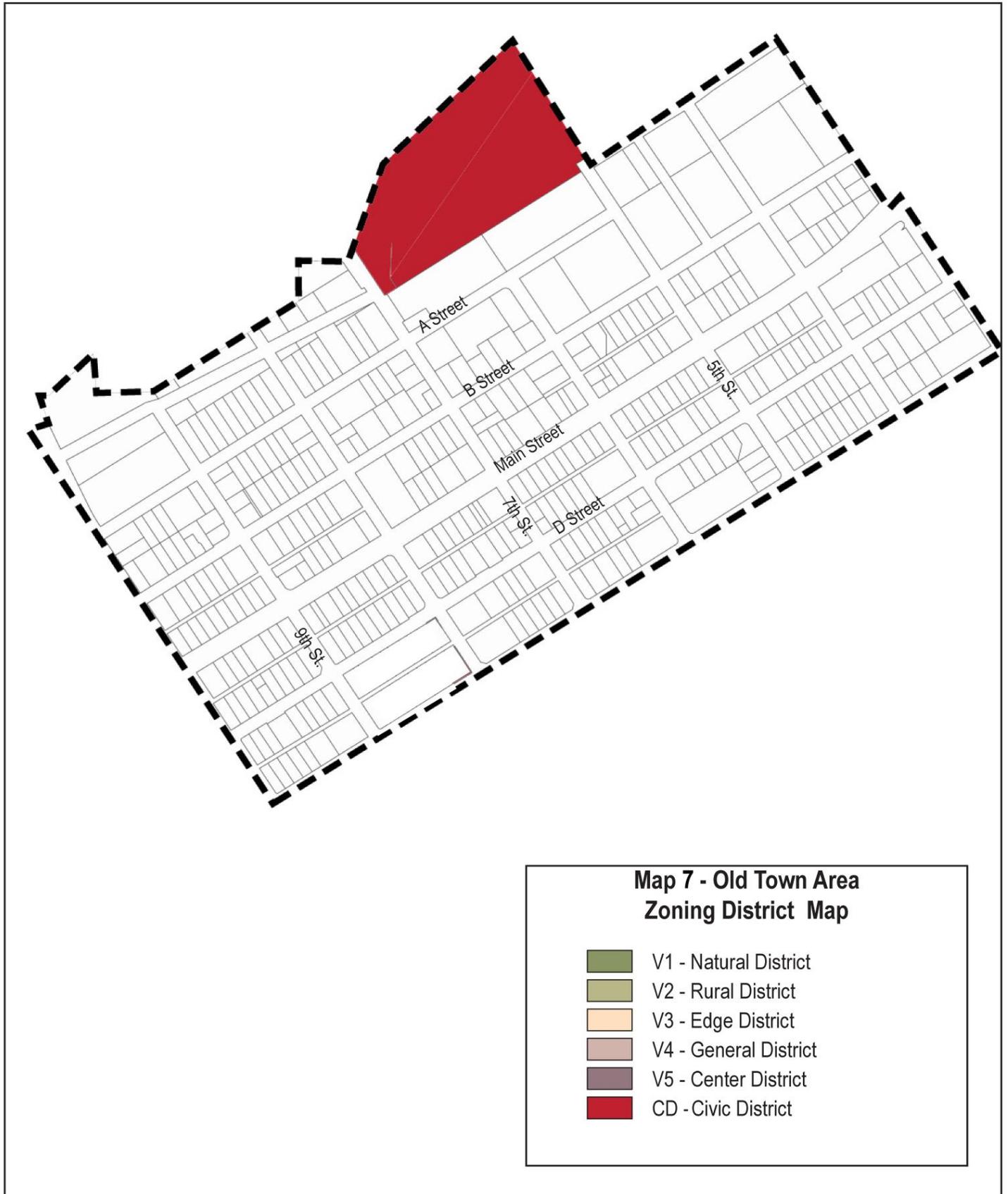
TABLE 7.1 CIVIC SPACE TYPES (continued)

<p>d. Commercial Plaza</p> <p>A multi-purpose Open Space available for Civic purposes, Commercial activities and as flex parking space. The parking area is designed as a Plaza using permeable paving materials. A Commercial Plaza should be separated from adjacent Thoroughfares and spatially defined by a landscaped buffer including Street Trees.</p>		<p>V4 V5</p>
<p>e. Playground</p> <p>An Open Space available for unstructured recreation. A Playground provides play space for children and may be designed as stand alone spaces or a part of another Civic Space.</p>		<p>V3 V4 V5</p>
<p>f. Pocket Park</p> <p>An Open Space available for unstructured recreation. A pocket park provides greenery and a place to sit outdoors for adults and is typically located within a Block/Lot.</p>		<p>V3 V4 V5</p>



**Map 6 - Paseo Area
Zoning District Map**

-  V1 - Natural District
-  V2 - Rural District
-  V3 - Edge District
-  V4 - General District
-  V5 - Center District
-  CD - Civic District



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8850 Public Realm: Thoroughfare Design Standards

Map 8 Thoroughfare Map

8851 General Intent

8853 Travel Way

8855 Public Frontage

8857 Private Frontage Improvement Requirements

Table 8.0 State Route 67/78

Table 8.1 Boulevard (Future Type)

Table 8.2 Major Road

Table 8.3 Light Collector

Table 8.4 Community Collector

Table 8.5 Alley

Table 8.6 Type D Pathway Special

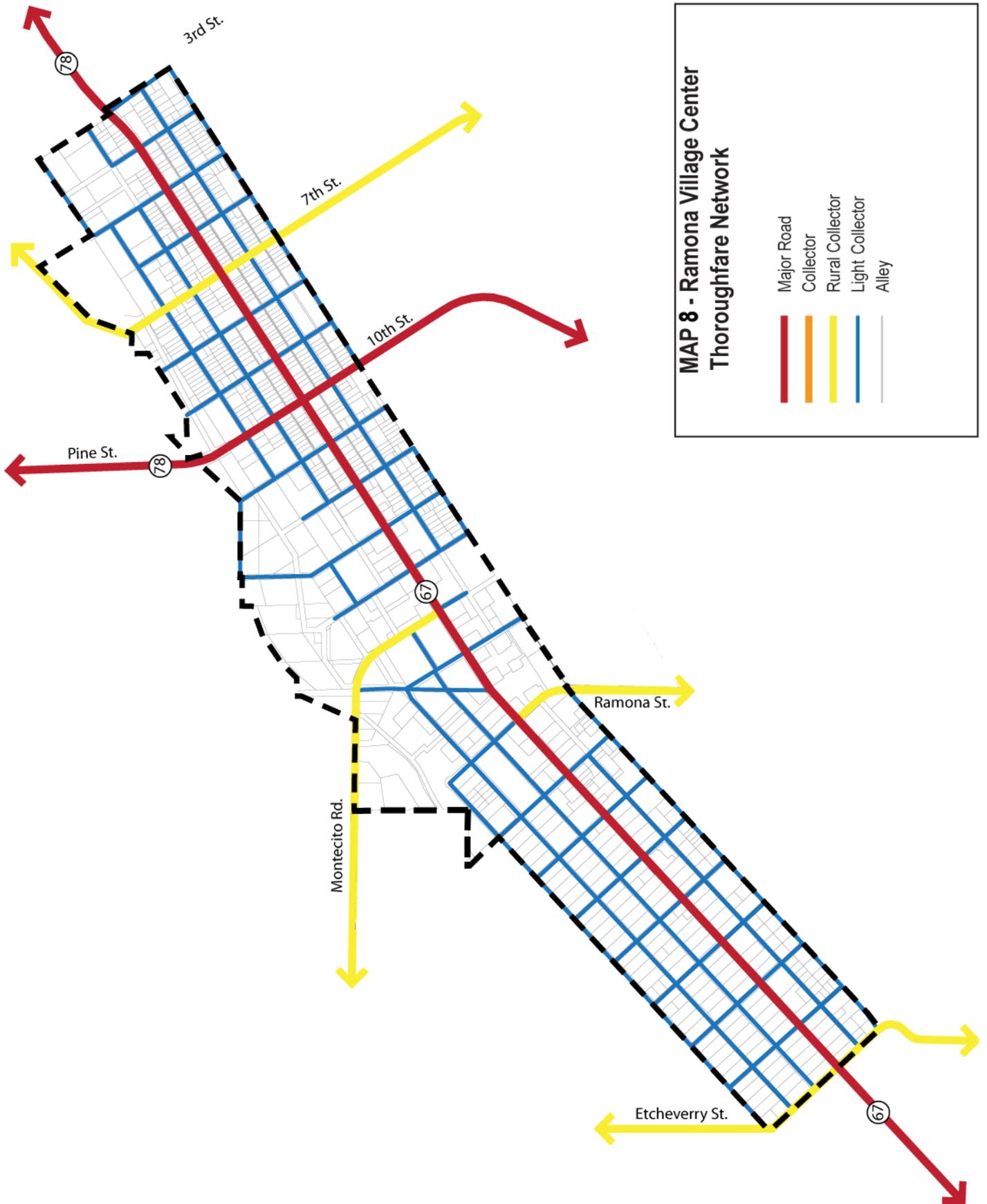
Table 8.7 Approved Street Tree List

Table 8.8 Street Tree Planting Patterns

Table 8.9 Street Lights

Table 8.10 Pedestrian Crossings

Table 8.11 Crosswalk Placement



PART EIGHT: 8850 Public Realm - Thoroughfares

Public Thoroughfares located within the Ramona Village Center shall be subject to the requirements of this section and managed by County of San Diego Department of Public Works and is intended to coordinate public and private realm planning.

8851 General Intent

- a. Thoroughfares shall be designed according to their classification type as specified on Tables 8.0 - 8.6 and as designated on the Ramona Village Center Thoroughfare Map (see Map 3 and Ramona Road Master Plan, 2003).
- b. Thoroughfares shall consist of Roadway (curb-to-curb) and Public Frontage (property line to curb).
- c. The San Diego County Department of Public Works (DPW) shall be responsible for all construction of all public Right-of-Way (ROW) within Thoroughfares. Private development shall make Frontage and/or off-site improvements.
- d. Roadways and Thoroughfares will be designed to meet roadway safety and operation standards.

8853 Travel Way

- a. DPW shall be responsible for the maintenance of the Travel Lanes to include curb and gutter, on-street parking spaces, bike lane facilities, travel lanes and turning lanes within the public ROW.

8855 Public Frontage

- a. Public Frontage for each Thoroughfare type shall be designed according to abutting zoning district(s) as specified on Table(s) 8.0.A - 8.6.A.
- b. Public Frontage includes:
 - i. The Furnishing Zone provided to accommodate Street Trees, Public Infrastructure and Public Furniture;
 - ii. the Walkway provided for pedestrians;
 - iii. and, accommodate for Outdoor Café Seating and Sidewalk Cafes per §6158.a.1.i.(a) and §6158.a.2.
- c. For plantings in the Furnishing Zone, permitted species of Street Trees are listed on Table 8.8.
- d. Street Trees on Main Street shall be planted in a formal-spaced Allee pattern as illustrated on Table 8.9. All other trees Streets may be planted in a formal or informal pattern. The prescribed Planting Technique, sequence, and spacing of Street Trees is specified for each Thoroughfare type on Table 8.0.C - 8.6.C. The spacing the Street Trees may be adjusted by Exception to accommodate specific site conditions.
- e. When planted, Street Trees shall be a minimum canopy height of eight (8) feet and/or two (2) inches in caliper.
- f. All landscape requirements shall be in conformance with §86.701 of the County Code and Landscape Design Manual.
- g. A minimum of 25 sq. ft. open soil areas shall be left around each Street Tree, centered at the tree trunk.
- h. A minimum of 25 sq. ft., 5' x 5', of tree grate covered areas shall be placed around each Street Tree on Main Street.
- i. Street Lights shall only be allowed along Main Street and at Main Street intersections (See Table 8.9) to comply with County of San Diego Dark Sky policies.
- j. Public hitching posts, for equestrian activities, shall be allowed on all public Pathways.

8857 Private Frontage Development Improvement Requirements

- a. Construction improvements expected by private development (Based on 2013 cost estimates for 50-foot wide Lots on avg.):
 - i. Street Trees: One (1) Tree per every 30 linear feet on center (average) or 1 per every 50 linear feet Lot Bay (\$1,000).
 - ii. Public Furniture: 1 Street Light every 50-feet on center only on Lots abutting Main Street Frontage Line (\$3,500).
 - iii. Furnishing Zone: 5 - 15 feet wide (10-feet on average) Landscape, ground cover and shrubs (\$1,250).
 - iv. Walkway: 5 - 10 feet wide along the Primary and Secondary Lot Frontage of Lots in RM-V4/V5 (\$7,500).
 - v. Curb/Gutter pan: 1-foot wide for 50 linear feet average Lot width (\$1,250).
 - vi. Bicycle Facilities: 1 facility (bike storage) on any project over 150-feet in length as measured only on Lots abutting Main Street (\$2,500 each).

PART EIGHT: 8850 Public Realm - Thoroughfares

TABLE 8.0 THOROUGHFARE TYPES

CALTRANS ROUTE 67 / 78 (107 - 76)	
<p>A. GENERAL</p> <p>CONTEXT Sub-Area Districts: Colonnade, Paseo, Old Town</p> <p>SPECIFICATIONS Total R.O.W: 110 - 116 feet Road Surface Width: 61 - 78 feet Public Frontage Width: 10 - 15 feet each side The design of the Public Frontage varies according to the Sub-Area District designation. (see below)</p>	<p>B. ROADWAY (ROAD SURFACING)</p> <p>SPECIFICATIONS Travel Lanes/Width: 4 / 10 - 11 feet; Bike Sharrows or CycleTracks and/or Parkways optional Yield Turning Lane Width: 12 feet Parking Lanes/Width: 2/8 feet with Head-Out Angled Parking Drainage Type: Curb and Gutter</p>

C. PUBLIC FRONTAGE (PARKWAY)

ZONING DISTRICT(S)	V4 V5	V5	V5
DESCRIPTION	Colonnade Main Street that maintains the Eucalyptus Tree colonnade with Parkway.	Paseo Main Street incorporating the widest roadway most recently improved to CALTRANS standards.	Old Town Main Street incorporating the most pedestrian improved CALTRANS roadway segement.
ILLUSTRATION (FOR ADVISORY PURPOSES ONLY)	<p style="text-align: center;">* minimum 15' (varies)</p>		
FURNISHING ZONE			
Width	15 feet	9 feet	5 feet
Design	Landscaped Colonnade	Landscaped and Paved	Paved
Planting Technique	36 sq. ft. Tree Pit / Second Row of New Trees	25 sq. ft. Tree Pit with Tree Grate	25 sq. ft. Tree Pit with Tree Grate
Tree Sequence	Single Species	Various Species	Single Species
Primary Tree Species	Eucalyptus Cladocalyx	See Table 8.8	See Table 8.8
Tree Spacing	30 ft. o.c. avg.	30 ft. o.c. avg.	30 ft. o.c. avg.
Lighting Spacing	None	40 ft. o.c. avg. on Main Street Frontage Line	40 ft. o.c. avg. on Main Street Frontage Line
WALKWAY			
Width in ROW	15	8 feet	5 feet
Type	Parkway	Sidewalk (Parkway at Transition Areas)	Sidewalk
PARKING LANE			
Type	Parallel	Parallel	Parallel (and/or future Head-Out parking)

PART EIGHT: 8850 Public Realm - Thoroughfares

TABLE 8.1 THOROUGHFARE TYPES

BOULEVARD (102-78) FUTURE VILLAGE CENTER THOROUGHFARE TYPE	
A. GENERAL	
<p>CONTEXT Zoning Districts: V3, V4, V5 (Allowed if a State Highway becomes a County Facility)</p> <p>SPECIFICATIONS Total R.O.W: 106 feet Road Surface Width: 78 feet Public Frontage Width: 12 feet each side The design of the Public Frontage varies according to the Zoning District designation of abutting lots. (see below)</p>	<p>78'</p> <p>8' 12' 12' 14' 12' 12' 8'</p> <p>(FOR ADVISORY PURPOSES ONLY)</p>
B. ROADWAY (ROAD SURFACING)	
<p>SPECIFICATIONS Travel Lanes/Width: 4 / 12 feet; 2 with Bike Sharrows Yield Turning Lane Width: 14 feet Parking Lanes/Width: 2 / 8 feet Drainage Type: Curb and Gutter</p>	

C. PUBLIC FRONTAGE (PARKWAY)

ZONING DISTRICT	Reserved	V4	V5
DESCRIPTION		Colonnade Main Street county facility that maintains the Eucalyptus Tree colonnade with Parkway.	Paseo and Old Town Main Street county facility that allows for both Commercial and Residential Uses.
		<p>102'</p> <p>12' 76' 12'</p>	<p>102'</p> <p>12' 76' 12'</p>
PUBLIC FRONTAGE ILLUSTRATION (FOR ADVISORY PURPOSES ONLY)			
FURNISHING ZONE			
Width		12 feet	12 feet
Design		Landscaped	Paved
Planting Technique		Continuous Planter	36 sq. ft. Tree Pit
Tree Sequence		Informal, Various Species	Formal, Single Species
Tree Species		See Table 8.8	See Table 8.8
Tree Spacing		30 ft. o.c. avg.	30 ft. o.c. avg.
Lighting Spacing		n/a	40 ft. o.c. avg. on Main Street Frontage Line
WALKWAY			
Width in ROW		12 feet	12 feet
Type		Sidewalk or Pathway	Sidewalk (only Pathway in Colonnade)
PARKING LANE			
Type		Parallel	20 feet Head-Out Parking and Parallel

PART EIGHT: 8850 Public Realm - Thoroughfares

TABLE 8.2 THOROUGHFARE TYPES (continued)

MAJOR ROAD 4.1.B (84-64)	
A. GENERAL	
<p>CONTEXT Zoning Districts: V4, V5</p> <p>SPECIFICATIONS Total R.O.W: 84 feet Road Surface Width: 64 feet Public Frontage Width: 10 feet each side</p> <p>The design of the Public Frontage varies according to the Zoning District designation of abutting lots. (see below)</p>	
B. ROADWAY (ROAD SURFACING)	
<p>SPECIFICATIONS Travel Lanes/Width: 4 / 12 feet Parking Lanes/Width: 2 / 8 feet Drainage Type: Curb and Gutter</p>	

C. PUBLIC FRONTAGE (PARKWAY)

TRANSECT ZONE	V4	V5
DESCRIPTION	Less rural streetscape intersecting with Main Street in all Sub-Districts	Less rural streetscape intersecting with Main Street in all Sub-Districts
ILLUSTRATION (FOR ADVISORY PURPOSES ONLY)		
FURNISHING ZONE		
Width	10 feet	10 feet
Design	Paved between Street Trees	Paved between Street Trees
Planting Technique	36 sq. ft. Tree Pit	36 sq. ft. Tree Pit
Tree Sequence	Single Species	Single Species
Tree Species	See Table 8.8	See Table 8.8
Tree Spacing	30 ft. o.c. avg.	30 ft. o.c. avg.
Lighting Spacing		
WALKWAY		
Width	10 feet	10 feet
Type	Sidewalk	Sidewalk

PART EIGHT: 8850 Public Realm - Thoroughfares

TABLE 8.3 THOROUGHFARE TYPES (continued)

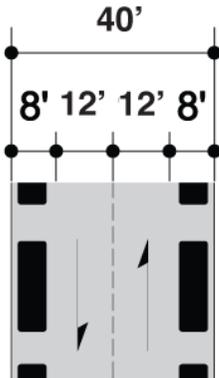
LIGHT COLLECTOR 2.2D (84-54)	
A. GENERAL	
<p>CONTEXT Zoning Districts: V2, V3, V4, V5</p> <p>SPECIFICATIONS Total R.O.W: 84 feet Road Surface Width: 40 - 54 feet Public Frontage Width: 22 feet each side</p> <p>The Public Frontage allows for Sharrows or future Cycle Track to provide connectivity per Ramona Road Master Plan, 2003.</p>	
B. ROADWAY (ROAD SURFACING)	
<p>SPECIFICATIONS Travel Lanes/Width: 2 / 12 feet Parking Lanes/Width: 2 / 8 feet Bicycle Lanes/Width: 2 / 8 feet Drainage Type: Curb and Gutter</p>	

C. PUBLIC FRONTAGE (PARKWAY)

TRANSECT ZONE	V2	V3	V4	V5
DESCRIPTION	More rural with bike lane	More rural with bike lane	Less rural with bike lane	Intersects with Main Street w/bike lane
ILLUSTRATION (FOR ADVISORY PURPOSES ONLY)				
FURNISHING ZONE				
Width	14 feet	14 feet	14 feet	14 feet
Design	Landscaped	Landscaped	Landscaped	Paved between Street Trees
Planting Technique	9 foot wide Planter	9 foot wide Planter	7 foot wide Planter	36 sq. ft Tree Pit
Tree Sequence	Single Species	Single Species	Single Species	Single Species
Permitted Tree Species	See Table 8.8	See Table 8.8	See Table 8.8	See Table 8.8
Tree Spacing	30 ft. o.c. avg.	30 ft. o.c. avg.	30 ft. o.c. avg.	30 ft. o.c. avg.
Lighting Spacing	n/a	n/a	At intersection with Main Street	At intersections with Main Street
WALKWAY				
Width	5 feet	5 feet	7 feet	14 feet
Type	Sidewalk or Parkway	Sidewalk or Parkway	Sidewalk	Sidewalk

PART EIGHT: 8850 Public Realm - Thoroughfares

TABLE 8.4 THOROUGHFARE TYPES (continued)

COMMUNITY COLLECTOR 2.1E (60-40)	
A. GENERAL	
<p>CONTEXT Zoning Districts: V3, V4, V5</p> <p>SPECIFICATIONS Total R.O.W: 60 feet Road Surface Width: 40 feet Public Frontage Width: 12 feet each side</p> <p>The design of the Public Frontage varies according to the Zoning District designation of abutting lots. (see below)</p>	
B. ROADWAY (ROAD SURFACING)	
<p>SPECIFICATIONS Travel Lanes/Width: 2 / 12 feet Parking Lanes/Width: 2 / 8 feet Drainage Type: Curb and Gutter</p>	

C. PUBLIC FRONTAGE (PARKWAY)

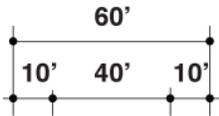
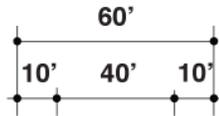
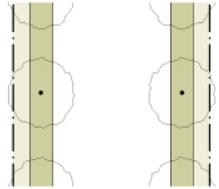
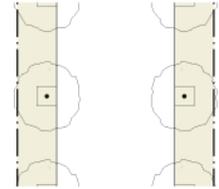
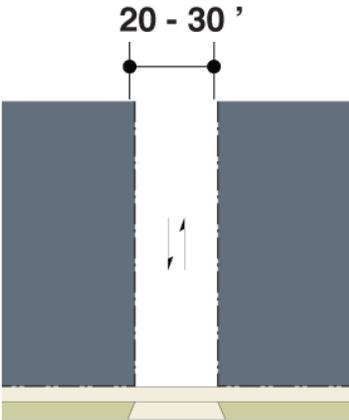
TRANSECT ZONE	V3 V4	V3 V5
DESCRIPTION	More rural streetscape with landscape planter connecting other Collector streets	Less rural streetscape with tree grates connecting other Collectors streets
		
ILLUSTRATION (FOR ADVISORY PURPOSES ONLY)		
FURNISHING ZONE		
Width	12 feet	12 feet
Design	Landscaped	Paved between Street Trees
Planting Technique	7 foot wide Planter	36. sq. ft. Tree Pit
Tree Sequence	Various Species	Various Species (T4) Single Species (T5)
Tree Species	See Table 8.8	See Table 8.8
Tree Spacing	30 ft. o.c. avg.	20-30 ft. o.c. avg.
Lighting Spacing		
WALKWAY		
Width	5 feet	12 feet
Type	Sidewalk	Sidewalk

TABLE 8.5 THOROUGHFARE TYPES (continued)

ALLEY	
A. GENERAL	
<p>CONTEXT Zoning Districts: V3, V4, V5</p> <p>SPECIFICATIONS Total R.O.W: 20 - 30 feet Road Surface Width: 20 - 30 feet Public Frontage: none (Second/Third Lot Layers only)</p>	 <p style="text-align: center;">20 - 30'</p> <p style="text-align: center;">(FOR ADVISORY PURPOSES ONLY)</p>
B. ROADWAY (ROAD SURFACING)	
<p>SPECIFICATIONS Travel Lanes/Width: 2 / 10 feet Parking Lanes/Width: n/a Drainage Type: Inverted Crown</p>	

C. PUBLIC FRONTAGE (PARKWAY)

TRANSECT ZONE	V4	V5
DESCRIPTION	rear service lane paved or decomposed granite surface	rear service lane paved or decomposed granite surface
FURNISHING ZONE		
Width	n/a	n/a
Design	n/a	n/a
Planting Technique	n/a	n/a
Tree Sequence	n/a	n/a
Tree Species	n/a	n/a
Tree Spacing	n/a	n/a
Lighting Spacing	n/a	n/a
WALKWAY		
Width	n/a	n/a
Type	n/a	n/a

TABLE 8.6 THOROUGHFARE TYPES (continued)

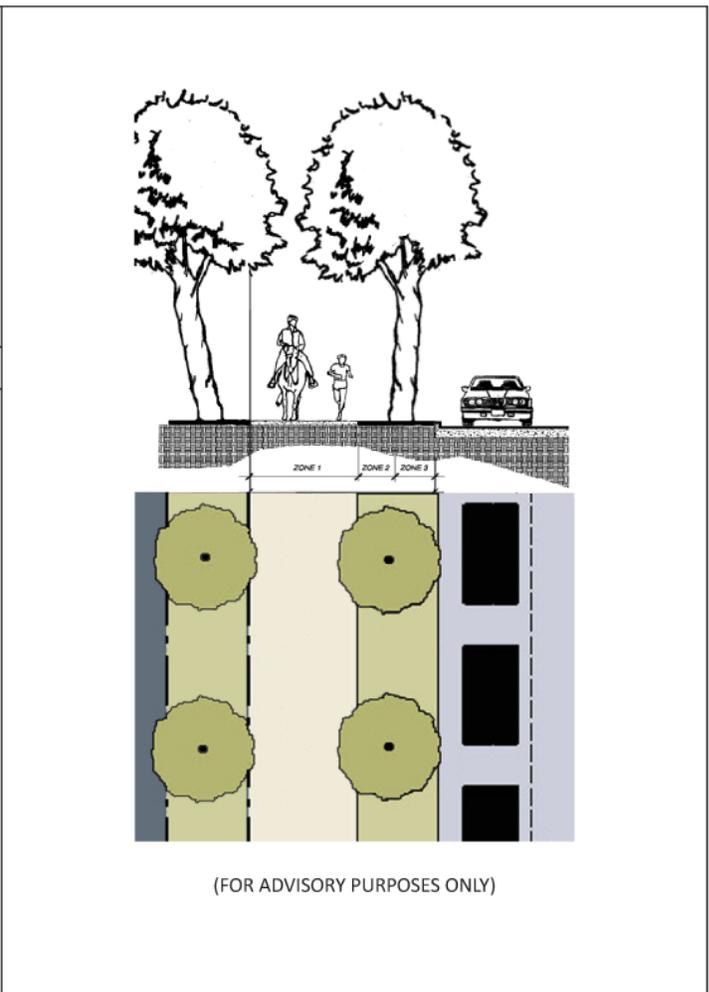
TYPE D- PATHWAY SPECIAL

A. GENERAL

CONTEXT	
Zoning Districts:	All
SPECIFICATIONS	
Total R.O.W:	15 - 20 feet
Parkway Surface Width:	8 - 10 feet
Public Frontage:	Major Street or CALTRANS Highway

B. ROADWAY (SURFACING)

SPECIFICATIONS	
Surface Materials:	Decomposed Granite or Tread
Vertical Clearance:	12 feet
Drainage Type:	Cross Slope
Description:	Trail type fronting onto the thoroughfare intended for an intense volume of use generally associated with an urban/suburban setting. This parkway provides the widest tread so they may function as both recreation and transportation facilities and will be accessible to all trail users, such as pedestrians, equestrians and bicyclist.
<p>A secondary planting zone is located along the private Lot frontage to allow for a new colonnade of eucalyptus to grow and maintain the historic/older colonnade trees. See County Trails Master Plan for more detailed specifications.</p>	



C. PUBLIC FRONTAGE (PARKWAY)

TRANSECT ZONE	V4	V5
FURNISHING ZONE		
Planting Technique	36 sq. ft. tree pit	36 sq. ft. tree pit
Tree Sequence	various species	various species
Primary Tree Species	Lemon scented gum Sugar gum River red gum	Lemon scented gum Sugar gum River red gum
Tree Spacing	formal	formal
Lighting Spacing	n/a	n/a
fencing	rural, split-rail fencing along ROW 15-feet or greater	rural, split-rail fencing along ROW 15-feet or greater
WALKWAY		
Width	8 - 10 feet	8 - 10 feet
Type	Decomposed granite or natural tread surface material w/binding agent	Decomposed granite or natural tread surface material w/binding agent

TABLE 8.7 APPROVED STREET TREE LIST (REFERENCE RDRB APPENDIX A - PLANT SELECTION GUIDE)

Species name (Botanical Name)	TREE CANOPY CHARACTERISTICS				General
	SHAPE	DENSITY	MATURE HEIGHT (ft)	MATURE DIAMETER (ft)	
Chinese Pistache (<i>pistachia chinensis</i>)		full	35	35	spectacular red, red-orange fall color; heat, drought and soil tolerance; pest resistant. A near perfect shade tree for one-story buildings.
Black Locust (<i>robinia pseudoacacia</i>)		full	60	40	turns brilliant shades of yellow, orange, red and purple in autumn; prized shade tree in parks, campuses and around residences with space for large trees
Cape Chestnut (<i>calodendron capense</i>)		full	60-90	45-60	peeling bark; leaves persist through fall and early winter; medium to dark green in summer, yellow-brown in fall; roots can heave sidewalks
Camphor Tree (<i>cinnamomum camphora</i>)		full	45-60	45-60	tolerates a variety of soils; tolerates drought, sun, wind, air pollution; resistant to Dutch Elm disease
Jakaranda aka Black Poui (<i>jacaranda acutifolia</i> or <i>jacaranda mimosifolia</i>)		open	30	40	turns brilliant shades of purple in autumn; prized shade tree in parks, campuses and around residences with space for large trees
River Red Gum (<i>eucalyptus camaldulensis</i>)		open	80-120	irregular	massive evergreen tree, weeping habit, spreading crown; exfoliates bark to reveal distinctive mottled, multicolored trunk; trunk may be tan, gray or white
Sugar Gum (<i>eucalyptus cladocalyx</i>)		open	75-200	irregular	straight trunk with steep branches occurring about half way up; each main branch ends with its own little canopy
Lemon Scented Gum (<i>eucalyptus citriodora</i>)		open	75-200	irregular	highly drought adapted evergreen tree; smooth, pale, uniform bark, white to coppery in summer; conspicuously narrow-leaved crown which smells strongly of lemons
Silk Tree (<i>albizia julibrissin</i>)		open	20-40	40	canopy can become vase shaped.
Peppermint Tree (<i>agonis flexuosa</i>)		full	40-75	30-75	canopy can become vase shaped; dark green in summer, yellow to reddish-purple in fall; peeling trunk bark exfoliates in combinations of grey, green, orange, and brown color
Maidenhair Tree (<i>ginkgo biloba</i>)		full	25-50	25-35	tolerates drought, heat, and poor soils; tolerates moderate drought and moderate wetness; grows slowly in hot and dry climates
Coast Live Oak (<i>Quercus agrifolia</i>)		full	40-75	40-60	adapted to relatively warm, wet winters and dry summers; tolerant of various soil types;
Green Wattle (<i>acacia decurrens</i>)		open	40-50	20-35	dull blue-green in summer, yellow-green in fall; relatively straight trunk and a crown of crooked branches

TABLE 8.8 STREET TREE PLANTING PATTERNS

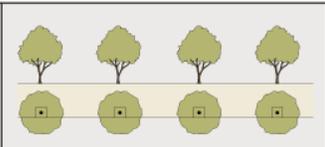
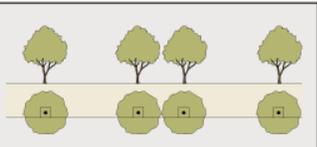
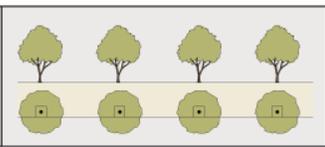
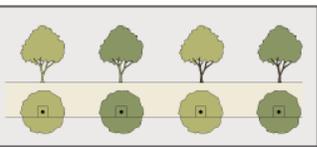
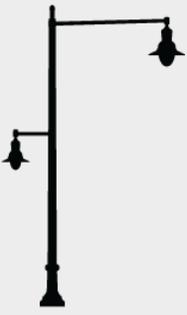
	FORMAL	INFORMAL
<p>a. Allee Spacing Pattern</p> <p>Street Trees shall be planted in a formal or regularly-spaced Allee pattern. At Commercial Frontages in V5 districts, Street Trees may be planted in an informal or irregularly-spaced Allee pattern to avoid visually obscuring shop front windows and signage.</p>		
	SINGLE	VARIOUS
<p>b. Species Sequence</p> <p>In specified districts, Street Trees shall be planted in either a repeating sequence of one (1) species or Cultivar or sequence of various species or Cultivar to promote planted species diversity.</p>		

TABLE 8.9 PUBLIC FRONTAGE STREET LIGHTING	
A. PASEO MAIN STREET	SPECIFICATIONS
	<p>"Main Street Standard" Head: Memphis Luminaire or Ameron Standard Pole: 20 foot Tapered Fluted Steel Base: 20" square x 36" high with Ramona Village Logo cast into top ring Lamp Source: High-Pressure Sodium and/or Florescent Lighting</p> <p>"Fixture Character:" Less Formal Fully Shielded Light 2012 Fixture Each: \$2,000.00 (every 50' o.c.)</p>
B. OLD TOWN MAIN STREET	SPECIFICATIONS
	<p>"Main Street Standard" - Type B Caltrans Standard Head: Ameron International #26CT14 #52A 1901C Pole: 16 foot pole Base: Handhold Opening with Concrete Door Lamp Source: High-Pressure Sodium and/or Florescent Lighting</p> <p>"Fixture Character:" More Formal Illuminated Lamp 2012 Fixture Cost: \$3,000.00 (every 50' o.c.)</p>
C. MAIN STREET INTERSECTION	SPECIFICATIONS
	<p>"Main Street Intersection Standard" Head: Memphis Utility Series Luminaire Memphis Pedestrian Luminaire Ameron Standard Pole: 16 foot North Yorkshire Pole Base: Handhold Opening with Concrete Door Lamp Source: High-Pressure Sodium Florescent Lighting</p> <p>"Fixture Character:" Old Town: More Formal Paseo: Less Formal Colonnade: Informal 2012 Fixture Cost: \$3,000.00 (every intersection)</p>

MAIN STREET LIGHTS DESIGN PATTERNS

- a. Paseo and Old Town Sub-Area Districts shall have Street Lights along each block, every 50 feet on-center (o.c.), and at Intersections (at Ramona St; Montecito Road; 14th St; 10th St; and 7th St).
- b. The Colonnade Sub-Area District shall only have Street Lights at the Intersections (Hunter Street).

TABLE 8.10 PEDESTRIAN CROSSINGS

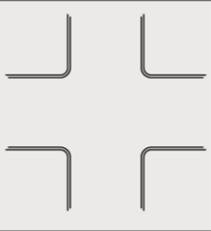
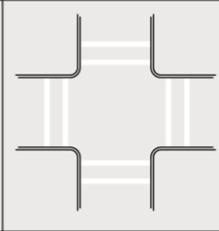
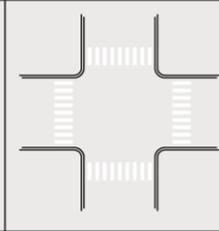
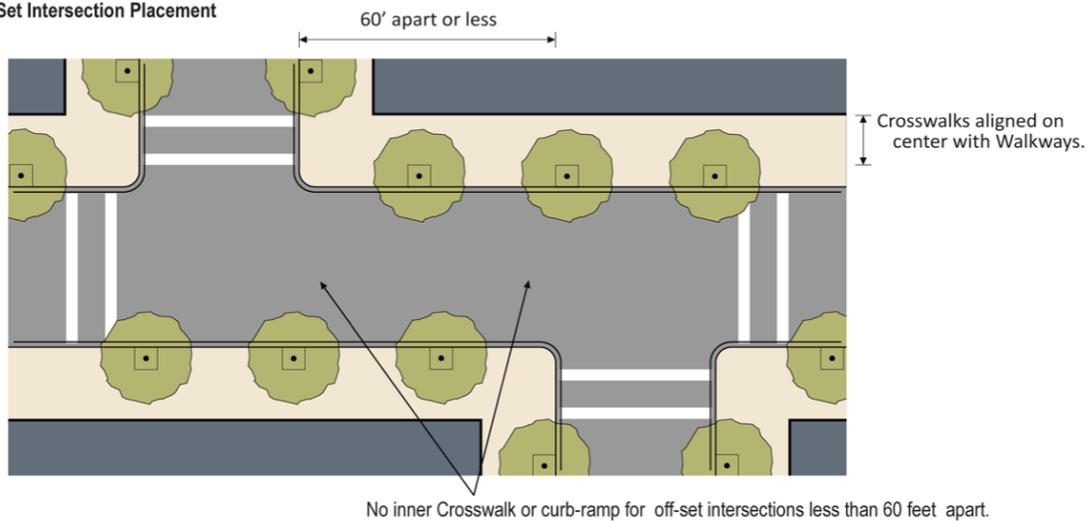
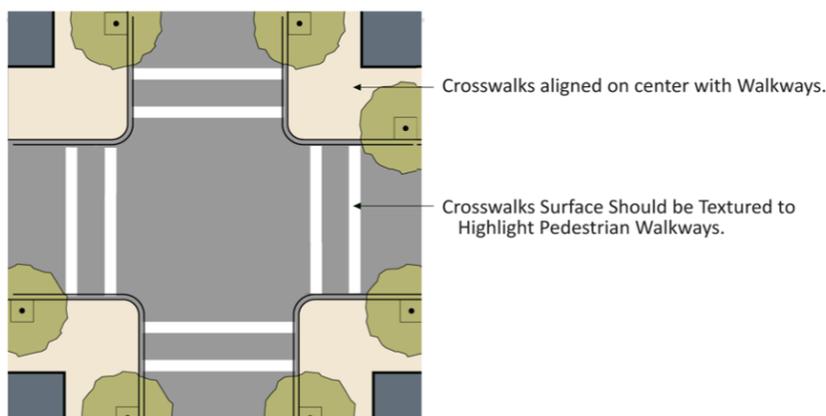
	UNMARKED	MARKED	MARKED
a. Crosswalk Assembly The principle variables are the type, dimension and angle of markings, the intersection type, and marking materials			
Total Width	-	10 feet	10 feet
Stripe Width	-	1 foot	1 foot
Transverse Line Offset	-	10 feet o.c.	-
Longitudinal Line Offset	-	-	3 feet o.c.
Special Locations	-	-	School Zones
Intersection Type	Yield, Stop	Stop, Signal	Stop, Signal
Surface Material	-	Textured	Textured
Zoning District Location	V1 - V3	V4, V5	V5

TABLE 8.11 CROSSWALK PLACEMENT

a. Off-Set Intersection Placement



b. Aligned Intersection Placement



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8860 DEFINITIONS

PART EIGHT: 8860 Definitions

A

Accessory Dwelling Unit:	A Second Dwelling Unit or Guest Living Quarters at defined pursuant to the requirements of Zoning Ordinance §6156.
Address Sign:	A sign, generally applied to a building wall that displays a building's address.
Allee:	A regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.
Alley:	A narrow service access to the rear of more urban buildings providing service areas, parking access and utility easements. Alley surfaces should accommodate for trucks, dumpsters, and drainage.
Apex:	The highest point of a sign as measured from the point on the ground where its structure is located, or, if no sign structure is present, from the point on the ground directly below the sign itself.
Arcade:	A Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade of the First Story remains at the Frontage Line.
Attic:	The interior part of a building contained within a pitched roof structure.
Avenue:	A Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between places within a Town Center, and usually equipped with a landscape median.
Awning Sign:	Lettering applied directly on the Valance or other vertical portion of an awning.

B

Band Sign:	A sign that is attached flat on the exterior front, rear or side wall of any building or other structure. (Syn: wall-mounted sign, fascia sign)
Bicycle Lane:	A dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.
Bicycle Route:	A Thoroughfare suitable for the shared use of bicycles and automobiles moving at slow speeds.
Bio-retention Swale:	Mimics the filtration properties of natural vegetation, planted tracks located adjacent to paved roads or other impervious areas that produce stormwater sheet flow.
Blade Sign:	A sign mounted on the building Facade, projecting at a 90-degree angle. (Syn: projecting sign).
Block:	An aggregate land area circumscribed by Thoroughfares.
Block Face:	The aggregate of all Primary Frontage Lines, or alternatively the building Facades, on one side of a Block.
By-Right:	Characterizing an entitlement that complies with regulations of this Section and is permitted and processed administratively, without a public hearing.

C

Canopy:	The extent of the outer layer of leaves of an individual tree or group of trees.
Civic:	The term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, religious, and municipal parking.
Civic Art:	See Public Art.
Civic Building:	A building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit and municipal parking, or for use approved by the Development Authority. A Civic Building is owned by a municipal or governmental body.
Civic Space:	An outdoor area permanently dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, size, landscaping and surrounding buildings.
Civic Sub-District:	Designation for public sites dedicated for Civic Buildings and/or Civic Space.
Clearance:	The height above the walkway, or other surface if specified, of the bottom edge of an element.
Commercial:	The term collectively defining workplace, Office, Retail, and Lodging Uses.
Commercial Street:	A local urban Thoroughfare of low speed and capacity primarily fronted by Commercial building Uses.
Commercial Unit:	An enclosed indoors space providing complete, independent facilities for one Commercial business.
Common Yard:	A planted Private Frontage wherein the Facade is set back from the Frontage Line. The yard is visually continuous with adjacent yards.
Concrete Paver Block:	Cast or pressed concrete pavers are solid blocks set on a surface with joints that leave open spaces between units.
Coordinated Frontage:	A condition where landscape and paving of Public Frontage and Private Frontage are coordinated as a single, coherent design.

PART EIGHT: 8860 Definitions

Cottage Business:	Non-Retail Commercial enterprises located either within a Primary Building or in an Outbuilding.
Courtyard	The placement of a building within the boundaries of its Lot to create a private Courtyard, while internally defining one or more private patios.
Crosswalk:	A path across the vehicular lands of a Thoroughfare distinctly indicated for pedestrian crossing by lines or other surface markings or by change in the surface material.
Crushed Gravel/Stone:	Any non-bound and/or natural aggregate material spread over soil and used for paving.
Cultivar:	A cultivated variety of Street Tree; deliberately selected for its desirable physical characteristics.
Curb:	The raised edge of the vehicular pavement used to channel storm water to incorporated drainage.

D

Detention Basin:	Commonly known as a dry pond to store stormwater after a rainfall, but remain dry all other times.
Drive:	A thoroughfare along the boundary between a developed and a natural condition, usually along a waterfront or a Park. One said has Public Frontage characteristics of a Thoroughfare, while the other has the qualities of a Road or a parkway.
Driveway:	A vehicular lane within a Lot, often leading to a garage.
Duplex:	A building with two (2) side by side units on a Lot.
Dwelling:	Any building or portion thereof that is designated for residential Use.

E

Edgeyard:	The placement of a building within the boundaries of its Lot to create an Edgeyard around the building, with Setbacks on all sides.
Effective Turning Radius:	The measurement of the turning radius at a corner taking parked cars into account.
Elevation:	An exterior wall of a building not along a Frontage Line. (see Facade)
Encroach:	To break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

F

Facade:	The exterior wall of any building oriented toward or set along a Frontage Line. (see Elevation)
Facade Alignment:	The orientation of the Facade in relation to the Primary Frontage Line of a Lot.
Fenestration:	The design and placement of windows on a building.
Fenestration Calculation:	Required Fenestration shall be calculated as the total combined area of window glazing (lights or panes within each window's casing) divided by the total area of the Facade for the story of a building under calculation.
Frontage:	The area between a building Facade and the vehicular lanes of a Thoroughfare, inclusive of its built and planted components. Frontage is divided into Public Frontage and Private Frontage.
Frontage Line:	A Lot line border the Public Frontage and where minimum Lot Width is measured. Facades facing Frontage lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.
Focal Point:	The visual termination of a long stretch of Main Street. The point of termination should be an architecturally significant building reflection of Ramona's Sub-Area community character.

G

Gallery:	An attached cantilevered shed or a lightweight colonnade extending from a building Facade to overlap the Sidewalk.
Grassed Cellular Plastic:	Comprised of manufactured plastic lattices that may be filled with aggregate for planting materials that stormwater percolates through and into the soil below.
Grated Tree Well:	Incorporating street trees into sidewalks to collect and store stormwater runoff and assist with infiltration.
Gymnasium Facility:	An indoor and/or shaded outdoor facility that provides organized recreational space and administrative space for both Commercial and non-commercial ownership.

PART EIGHT: 8860 Definitions

L

Landscaped Tree Well:	Trees have exposed soil to receive water to collect and store runoff and assist in infiltration of stormwater in parking lots and on sidewalks.
Layer:	A range of depth of a Lot within which certain elements are permitted.
Lightwell:	A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements.
Liner Building:	A building specifically designed to mask a Parking Structure from a Frontage.
Live-Work:	A Mixed-Use unit consisting of a Commercial and Residential Use. The Commercial Use may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity.
Lodging:	Premises available for daily and weekly renting of bedrooms.
Lot:	A parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by
Lot Line:	The boundary that legally and geometrically demarcates a Lot.
Lot Width:	The length of the Primary Frontage Line of a Lot.

M

Main Civic Space:	The primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.
Main Street:	A Commercial Thoroughfare type intended for the aggregation of Commercial buildings on the abutting Lots.
Main Street Frontage:	A Zoning District designation that strictly prohibits residential building Frontages from fronting along the entirety of Main Street (RM-V4 / RM-V5).
Marquee:	A structural feature of a building that provides shelter and sign space.
Meeting Hall:	A building available for gatherings, including conferences, that accommodates at least one room equivalent to a minimum of ten (10) square feet per projected dwelling unit within the Pedestrian Shed in which it is located.
Message Board:	A sign with changeable text. Non-electronic Message Boards typically consist of letters attached to a surface within a transparent display case. Electronic Message Boards typically have a fixed or changing message composed of a series of lights.
Mulch:	A protective covering consisting of organic materials customarily used in landscaping and placed around plants to retain soil moisture, retard erosion, shield roots from freezing, and inhibit weed growth.
Murals:	A painting or other work of art executed directly on a wall for Civic Art purposes.

N

Nameplate:	A sign consisting of either a panel or individual letters applied to a building, listing the names of businesses or building tenants.
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O

Office:	A building with an entire floor used primarily for providing leasable workplace and working space primarily for administrative and managerial workers.
Open Space:	Land intended to remain undeveloped; it may be used for Civic Space.
Outbuilding:	A building usually located toward the rear of the same Lot as a Primary Building such as a garage, carport, or workshop and may include an Accessory Unit.
Outdoor Display Case:	A sign consisting of a lockable metal or wood framed cabinet with a transparent window or windows, mounted onto a building wall or freestanding support. It allows the contents, such as menus or maps, to be maintained and kept current.

P

Parking Structure:	A building containing one or more Stories of parking above grade.
Passage:	A pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear-parking areas to Frontages.

PART EIGHT: 8860 Definitions

Pathway:	Non-motorized, multi-use soft-surfaced facilities of decomposed granite, located within a parkway or at the edge of a public road right of way intended to serve as transportation and recreation purposes for pedestrians, equestrians and bicyclists.
Paver:	A masonry block of various material and/or size.
Pervious Asphalt:	An open aggregate bound with a black solid or semi-solid substance distilled from a petroleum byproduct to allow water to flow through.
Pervious Concrete:	Consisting of cement (usually Portland), aggregate (usually gravel), water and admixtures made with an
Planter:	A three (3) feet deep recessed soiled bed provided for the planting of Street Trees and kept open to air and water flow through landscaping or permeable Pavers.
Playground:	An Open Space designed and equipped for the recreation of children.
Plaza:	A Civic space type designed for Civic purposes and Commercial activities in the more urban Sub-Districts, generally paved, spatially defined by buildings, and internal to or part of a Block.
Pocket Park:	A Civic Space type of limited size available for unstructured recreation and may be designed as a playground; normally located internal to a Block.
Primary Building:	The main building on a Lot.
Primary Frontage:	The Private Frontage designed to bear the address and Principal Entrance(s) of a building.
Principal Entrance:	The main point(s) of access for pedestrians into a building or unit within a building.
Private Frontage:	The area of a private Lot between the Facade of a building and the Public Frontage (see First Layer). To be measured from the Property Line.
Public Art:	Works of art in any media that have been planned and executed with a specific intention of being sited or staged in the physical public realm usually outside and accessible to all, such as the Mural program.
Public Frontage:	The area between the edge of the vehicular lanes of a Thoroughfare and the Frontage Line of private Lots and Civic Spaces.
Public Furniture:	Equipment owned and/or provided by the Village of Ramona for the comfort or convenience of pedestrians.
Public Infrastructure:	Installations needed for the functioning of human settlements, including but not limited to transportation and communications systems, and water and power lines.
Public Lighting:	A type of public infrastructure necessary for the illumination of Public Frontages and Thoroughfare intersections.
Purification Biotope:	Artificially created ecosystems or habitat that is homogenous with local environmental conditions to facilitate the growth of specific plants and animals.

R

Rain Garden:	man-made or natural depression that temporarily retains stormwater that is planted with specific vegetation to filter water before it percolates back into the ground.
Rearyard:	The placement of a building within the boundaries of its Lot to create a Rearyard, leaving the rear of the Lot as private space or available for dedicating parking.
Religious Assembly:	A facility operated by a religious organization for worship, or the promotion of religious activities with a maximum capacity in the assembly area of more than 50 people.
Retention Basin:	Designed to hold the same level of water at all times and resembles a pond.
Rowhouse:	A single or multi-unit building that shares a party wall with another of the same type and a Facade along 100% of the Frontage Line.

S

Setback:	The area of Lot measured from a Lot Line to the nearest permissible location of a Primary Building, Secondary Building, or Outbuilding, excluding Encroachments.
Shared Parking:	An accounting for parking spaces which are available to more than one Function.
Shared Use:	Multiple Uses within the same building, consolidated vertically and/or horizontally into a single structure.
Sharrows:	A symbol painted on the Travel Lane to demarcate routes to guide both cyclist and automobiles to 'share' the lane.
Sidewalk:	A type of Walkway paved with concrete or Pavers.

PART EIGHT: 8860 *Definitions*

Sidewalk Sign:	A movable freestanding sign that is typically double-sided, placed at the entrance to a business to attract pedestrians. (Var: sandwich board, A-frame sign.)
Sideyard:	The placement of a building within the boundaries of its Lot to create a private Sideyard, with a Setback to one side.
Signage:	Any commercial or public display sign that has a business or product name, logo or trademark.
Square:	A Civic Space designed for unstructured recreation and Civic purposes, circumscribed by Thoroughfares, spatially defined by building Frontages, and consisting of Paths and/or Sidewalks, lawn and trees, formally disposed.
Stabilization Mat:	A tightly woven grid of plastic cells manufactured in large rolls and generally a thin material covered with soil or lawn.
Stoop:	An exterior stair and landing leading to an elevated first Story of a building.
Stormwater Facility:	Any facility, improvement, development, or property made for controlling storm water quantity and quality.
Story:	A habitable level within a building, excluding an Attic or raised basement.
Stone/Rip Rap Channel:	Drainage ditches that contain large rocks to slow the flow of stormwater.
Streetscreen:	A freestanding wall or landscape screen built along the Frontage Line, or coplanar with the Facade. Streetscreens mask a parking lot from a Thoroughfare, provide privacy to a sideyard, and/or strengthen the spatial definition of the public realm. Accompanied structures include trellis, landscape screen, stone or masonry wall.
Street Tree:	A canopy tree planted within the furnishing zone of the public frontage as an element of a thoroughfare assembly.
Substantial Modification:	Alteration to a building, excluding the interior, that is valued at more than 50% of the market value of the entire building.

T

Terminated Vista:	A location at the axial conclusion of a Thoroughfare. A building located at a visual termination point.
Thoroughfare:	A way for use by pedestrian and vehicular traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and Public Frontage.
Traffic Calming:	Main Street intersections should emphasize slow speeds and the management of conflicts through appropriate traffic controls and improved visibility. Such strategies include lane narrowing, on-street parking, sidewalk bulb-outs, and surface variation and textures.
Trail:	A multi-purpose pathway traversing the countryside or along a corridor/thoroughfare. Trails should connect directly with the sidewalk network linking Main Street to the region. Classifications include Class I through Class III per County Standards.
Transect:	A cross-section of the environment showing a range of difference habitats. The Transect of human habitat types used in this Code is divided into six Transect Districts. These districts describe the physical form and character of a place, according to the form and intensity of its land use and Urbanism.
Tree, Canopy:	A woody plant with an expected mature height of thirty feet or more.
Tree, Ornamental:	A woody plant with an expected mature height of thirty feet or less.

V

Valance:	The portion of an awning that hangs perpendicular to the Sidewalk.
Variance:	A grant of relief from the requirements of this Section in deviation from the regulations and standards prescribed to permit construction that would otherwise be prohibited.
Vegetative Purification Bed:	Treats and stores moderate amount of stormwater with a combination of plant material, sand filtration and cycling water through the media purifies the water in the bed.
Vegetative Swale:	Open and very shallow man-made depressions that filter and collect runoff to treat small quantities of stormwater.

W

Walkway:	The section of the Public Frontage dedicated exclusively to pedestrian activity.
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PART EIGHT: 8860 *Definitions*

Window Sign:

A sign placed or painted on the interior of a Shopfront window or the window of a business door.

Z

Zoning Map:

The official map or maps that are part of the zoning ordinance and delineate the boundaries of individual Districts and Sub-Areas. See Regulating Plan, Old Town, Paseo and Colonnade Sub-Areas, and RM-V Districts.