

JULIAN COMMUNITY PLANNING GROUP

****FINAL AGENDA****

MONDAY – JUNE 8, 2026 – 6:00 PM

JULIAN LIBRARY, 1850 HWY 78, JULIAN CA 92036

A. ROLL CALL

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF MINUTES of May 11, 2026

D. APPROVAL OF THE AGENDA

E. PUBLIC COMMUNICATION: Opportunity for members of the public to speak to the Group on any subject matter within the Groups jurisdiction that is not on the posted agenda. A two (2) minute time limit is allowed per speaker.

F. ACTION ITEMS (POTENTIAL VOTING ITEMS)

1. SITE PERMIT (Variance) PDS2025-STP-25-022 1077 W Cedar Rd., Julian CA. Proposed Roof using a standing seam metal roofing a – new construction. Plans and letter of approval from Julian Estates Property Owners – attached
2. Elect a member to be JCPG Representative for San Diego County Association of Planning Groups
3. Possible member joining the [Save Palomar Mountain Task Force](#). a subgroup of the Palomar Mountain Planning Organization organized to lead efforts related to the potential 500,000 volt Golden Powerlink.
4. Update on VMT (Vehicle Miles Travelled) by Richard Loomis

G. UPDATES AND REPORTS (INFORMATION ONLY)

1. **ARCHITECTURAL REVIEW BOARD (ARB) REPORT** – Pat Brown
2. **ASSOCIATION OF COUNTY PLANNING GROUP (SANDAG) REPORT** – Kiki Skagen Munshi.
3. **Report** – PLDO current balance and payouts
4. Proposed fee adjustments for the Department of Environmental Health and Quality (DEHQ) and the departments involved in the land development process. The overall methodology and changes are consistent with what has been seen in prior years, this Item that will be considered by the County of San Diego Board of Supervisors at the Wednesday, May 20 meeting, with a second reading scheduled for June 10th
5. **Updates or concerns from members**

H. GROUP BUSINESS

- a. **NEXT MEETING July 13, 2026**

I. ADJOURNMENT

The Julian Community Planning Group (JCPG) is not empowered by ordinance or policy to render a decision of any kind on behalf of the County of San Diego, or its elected or appointed officials. The function of JCPG is to advise and assist the County of San Diego officials in matters of planning and land use affecting the group's area.

Katy Moretti, Chair – William Everett, Vice Chair, -Kiki Skagen-Munshi, Secretary

Members: Pat Brown, Eric Jones, Brandon Fender, Richard Loomis, Rebecca Morales, Kenny Mushet, Rudy Rikensrud, Romulus Smith

JCPG May 11, 2026 MINUTES

A. ROLL CALL

Katy Moretti, Chair – William Everett, Vice Chair, -Kiki Skagen-Munshi, Secretary, Members: Pat Brown, Eric Jones, Richard Loomis, Rebecca Morales, Kenny Mushet, Rudy Rikensrud, Romulus Smith

B. Approval of Minutes

Moved: Jones

Seconded: Everetts

Approved: Unanimous, Brandon abstaining

C. Approval of Agenda

Moved: Smith

Seconded: Loomis

Approved: Unanimous

D. Public Communication - none

E. Action Items

- 1. VMT** A question was raised about whether we had more information from the County on Vehicle Miles Traveled. In the Chair meeting, it was reported as a work in progress. It was said that it wasn't related to a tax, and would affect only new development and discretionary permits. Bill Everett will investigate; item will be moved to next month. Bill will try to get a County representative up here to talk about it.

F. Updates and reports

ARB—Pat Brown said nothing of note had been raised in the Architectural Review Board meeting. Moretti has sent a letter to Joel Anderson, Connor McGee and James Bray on problems that the ARB had raised regarding request to support the ARB's request for held on numerous violatons, the only person that responded was Andrew Hayse. A letter was also delivered the the ARB at their most recent meeting. Rikansrud and Smith volunteered to go meet the authorities in person.

Association of County Planning Groups—Nothing to report

The PLDO fund currently has a positive balance. Moretti asked County to report on how much there was in the PLDO fund, and who would be eligible to receive those funds. There appears to be \$193,030.25 in available funds. Loomis reported that the process to allocate the funds is that the JCPG makes recommendations and interested organizations go to the County and ask for projects to be funded. They should come before the Planning Group. Dana Petterson, spoke on the request for the Town Square to receive funds and said she received a different amount when she asked about the funds. The last two allotments were in conjunction with Park. The Julian Town Square would like to be on the recommended funding list that goes before the Board of Supervisors. Their next phase, II, is putting in the seating and staging areas and that's what they are asking for the money for. They have raised about half money themselves; the rest need to come from County. Dana said they would appreciate our support for funding their request again this year which is for \$193,000.

There was a discussion about the timing and disbursement of PLDO funds and Moretti said she'd reach out again to find out where they have been disbursed. Hopefully we will have the information by next month, at which point we could ask for community proposals. There was a question about SDG&E and its work with the Town Square. Putting electrical in is going slowly navigating through County and with SDG&E.

Response to letter sent in support of ARB: None so far.

Updates and concerns from members The seats up for election this year are those occupied by Rikansrud, Moretti, Mushet, Brown, and Fender.

Loomis reported that there was a law passed that if you have a house and an ADU, it would be possible to separate them. San Diego County has passed an ordinance to this effect but it is necessary to create an HOA with CC&R. So far nothing has happened. One ADU is allowed per lot. Everett opined that the matter would end up in court and doubted would stand but it could take years to resolve. It is probably not going to have a major impact. He will-mail us as to how actually works.

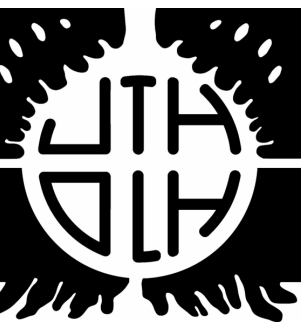
Rikansrud asked if the group would authorize him and Rom to meet with Anderson's representative about the ARB.

Adjournment

Moved: Everett

Seconded: Loomis

Approved: Unanimous



4/16/2026 10:43:52 AM

RAUGEWITZ-SMITH RESIDENCE

GREEN BUILDING PROGRAM

TYPICAL ABBREVIATIONS

AB	ANCHOR BOLT	FDN	FOUNDATION	NIC	NOT IN CONTRACT	SC	SOLID CORE
AFF	ABOVE FLOOR FINISH	FN	FINISHED	NOM	NORMAL	S CONC	SEALED CONCRETE
ALT	ALTERNATE	FLR	FLOOR	NON-COM	NON-COMBUSTIBLE	SD	STORM DRAIN
AL	ALUMINUM	FLU	FLUORESCENT	NTS	NOT TO SCALE	SECT	SECTION
AN	ANODIZED	FP	FIREPROOF	OC	ON CENTER	SIM	SIMILAR
ARCH	ARCHITECT	FURR	FURRING	OD	OVERFLOW DRAIN	S N D	SANITARY NAPKIN DISPENSER
AT	ACOUSTICAL TILE	FURR	FURRING	OD	OUTSIDE DIAMETER	S N DPL	SANITARY NAPKIN DISPOSAL
BD	BOARD	GAL	GALVANIZED	OH	OPPOSITE HAND	S S	SPECIFICATIONS
BFC	BELOW FINISHED CEILING	GALGYB	BD GYPSUM BOARD	OPNG	OPENING	S & P	SHELF AND POLE
BLDG	BUILDING	GC	GENERAL CONTRACTOR	OPP	OPPOSITE	S/S	SERVICE SINK
BLK	BLOCK	GI	GALVANIZED IRON	OVHD	OVERHEAD	STD	STANDARD
BLKG	BLOCKING	GL	GLASS	P	PARKING	STL	STEEL
BM	BEAM	GMMU	GLASS MESH MORTAR UNIT	P.A.	PLANTING AREA	STRUC	STRUCTURAL
BT	BOTTOM	GR	GRADE	PART	PARTITION	SUSP	SUSPENDED
BTWN	BETWEEN	GR	GRADE	PART BD	PARTICLE BOARD	T	TREAD
BUR	BUILT-UP ROOF	HDCP	HANDICAPPED	PC	PRECAST CONCRETE	T & B	TOP & BOTTOM
CB	CONCRETE BLOCK	HDOP	HOLLOW METAL	PC	POURED IN PLACE	T & G	TONGUE & GROOVE
CHAN	CHANNEL	HR	HORIZONTAL	PL	PLATE	TEL	TELEPHONE
CI	CAST IRON	HT	HEIGHT	P LAM	PLASTIC LAMINATE	TEMP	TEMPERED
CLG	CEILING	HVAC	HEATING, VENT, AIR COND.	PLYWD	PLYWOOD	TD	TRASH DISPOSAL
CLG	CEILING	HWH	HOT WATER HEATER	PNL	PANEL	TJ	TOILET JOINT
CMU	CORRUGATED METAL PIPE	PR	PAIR	PSF	POUNDS PER SQUARE FEET	TLT	TOILET
COL	COLUMN	INSUL	INSULATION OR INSULATING	PSI	POUNDS PER SQUARE INCHES	TOC	TOP OF CONCRETE
CONC	CONCRETE	INT	INTERIOR	PT	POST TENSIONED	TOM	TOP OF MASONRY
CONST	CONSTRUCTION	INV	INVERT	QT	QUARRY TILE	TOS	TOP OF STEEL
CONT	CONTINUOUS	JAN	JANITOR	R	RISER OR RADIUS	TOW	TOP OF WALL
CONTR	CONTRACTOR	JST	JOIST	RA	RETURN AIR	TOW D	TOWEL DISPENSER
CPTC	CARPET	JT	JOINT	RB	RUBBER BASE	TOW DPL	TOWEL DISPOSAL
CT	CERAMIC TILE	KO	KNOCKOUT	RD	ROOF DRAIN	TRANSF	TRANSFORMER
DBL	DOUBLE	LAM	LAMINATED	RE	REFER/REFERENCE	TYP	TYPICAL
DET	DETAIL	LAV	LAVATORY	REFL	REFLECTED OR REFLECTIVE	VB	VAPOR BARRIER
DM	DIMENSION	LH	LEFT HAND	REINF	REINFORCING	VERT	VERTICAL
DN	DOWN	LL	LIVE LOAD	REQD	REQUIRED	VIF	VERIFY IN FIELD
DR	DOOR	LWC	LIGHT WEIGHT CONCRETE	RET	RETAINING	VWC	VINYL WALL COVERING
DWG	DRAWING	MAS	MASONRY	REV	REVISION, REVISED	W	WITH
E	EXISTING	MATL	MATERIAL	RF	RAISED FLOOR	WO	WITHOUT
EA	EACH	MAX	MAXIMUM	RM	ROOM	WC	WATER CLOSET
EJ	EXPANSION JOINT	MECH	MECHANICAL	RO	ROUGH OPENING	WD	WOOD
EL	ELEVATION	MFCR	MANUFACTURER	ROW	RIGHT OF WAY	WF	WALL FABRIC
ELEC	ELECTRICAL	MH	MANHOLE	R T DPL	RECESSED TRASH DISPOSAL	WP	WATERPROOFING
EQUIP	EQUIPMENT	MN	MINIMUM	R TOW D	RECESSED TOWEL DISPENSER	WNDW	WINDOW
EXP	EXPANSION	MISC	MISCELLANEOUS	SAC	SUSPENDED ACOUSTIC CEILING	WWF	WELDED WIRE FABRIC
EXT	EXTERIOR	M	METAL	SAT	SUSPENDED ACOUSTIC TILE		
FD	FLOOR DRAIN	N	NORTH	SB	SPLASHBLOCK		

SEPARATE PERMIT(S)

- SOLAR PANELS
- AUTOMATIC SPRINKLER SYSTEM
- SEPTIC
- WATER WELL

PROJECT TEAM

PROPERTY OWNER CONTACT

JILL RAUGEWITZ & ERIC SMITH
970 VIA DI FELICITA ENCINITAS CA 92024
(619) 279-7100
ERKITLAND@GMAIL.COM
JILLRAUGEWITZ@GMAIL.COM

ARCHITECT

DREW HUBBELL
1970 SIXTH AVE SAN DIEGO, CA 92101
(619) 231-0446
DREW@HUBBELLANDHUBBELL.COM

PROJECT DESIGNER

JESSI HELMRICH
JESSI@HUBBELLANDHUBBELL.COM

STRUCTURAL ENGINEER

TBD

TITLE 24 ENERGY COMPLIANCE

TBD

CONTRACTOR

TBD

BUILDING DEPARTMENT INFORMATION

PROJECT ADDRESS:

1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID:
PDS2025-STP-25-022;
ENVIRONMENTAL LOG NO.:
PDS2025-ER-25-10-001

SCOPE OF WORK:

- GREEN BUILDING PROGRAM
- NEW CONSTRUCTION OF A SINGLE STORY, 1960 SF 2 BEDROOM 2 BATHROOM SINGLE FAMILY DWELLING UNIT
- 510 SF PERMEABLE PATIO ADJACENT TO SFD
- 1152 SF GARAGE
- 142 SF CONC. PATIO ADJACENT TO GARAGE
- 410' LINEAR FT OF PERMEABLE FENCE ENCLOSURE

*NO GRADING WITHIN SCOPE OF PROJECT (RAISED SLABS WITH STEM WALLS USED TO ACCOMMODATE GRADE CHANGE)

PROPERTY OWNER:

JILL RAUGEWITZ & ERIC SMITH

LEGAL DESCRIPTION:

TR 12856 LOT 32

ASSESSOR PARCEL NUMBER:

292-141-40-00

YEAR BUILT:

EXISTING USE:

VACANT

PROPOSED USE:

SINGLE FAMILY DWELLING

TYPE OF CONSTRUCTION:

V-B SPRINKLERED

OCCUPANCY CLASSIFICATION(S):

R-3

GROSS SITE AREA:

4.2 ACRES = 180,774 SF

PROPOSED FLOOR AREA:

(P) RESIDENCE: 1960 SF
(P) GARAGE: 1152 SF

PROPOSED FAR:

.017

EXISTING NUMBER OF STORIES:

0

PROPOSED NUMBER OF STORIES:

1

PROPOSED LANDSCAPE AREA:

LESS THAN 500 SF

ZONING:

A70

GEOLOGIC HAZARD CATEGORY:

STEEP HILLSIDE

SETBACKS:

F.Y.S.B. 60'
R.Y.S.B. 25'
I.S.Y.S.B. 15'
E.S.Y.S.B. 35'

EASEMENTS:

60' ROAD EASEMENT (30' ON PARCEL)
OPEN SPACE EASEMENT

TRANSIT STOPS:

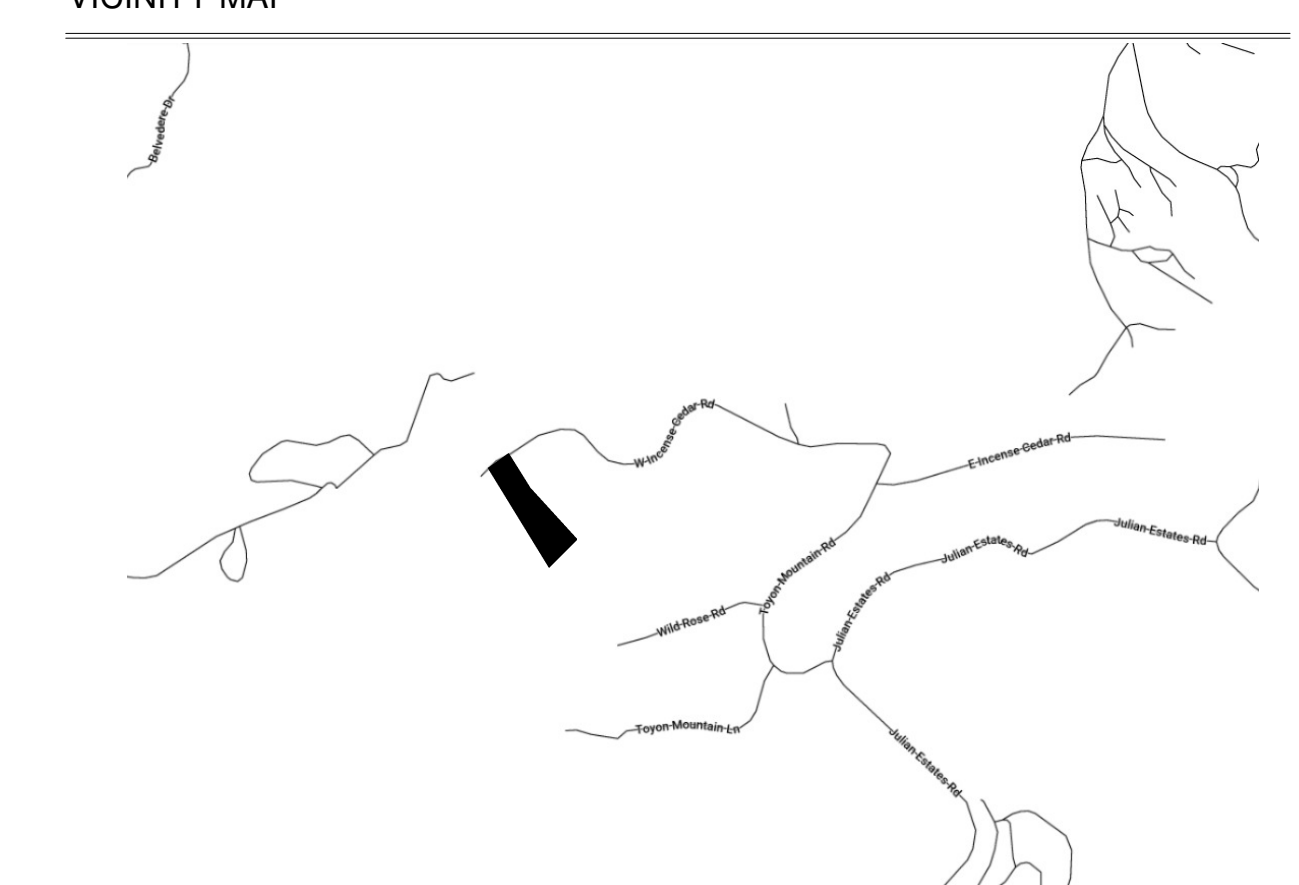
GOVERNING CODES USED IN DESIGN:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA ELECTRIC CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

SHEET INDEX

G000	TITLE SHEET
A100	(P) SITE PLAN
A103	(P) SITE PLAN ENLARGED / BEST MANAGEMENT PLAN
A104	(P) LANDSCAPE & EXT. LIGHTING PLAN
A111	(P) ROOF PLANS
A200	(P) RESIDENCE - BUILDING ELEVATIONS
A210	(P) GARAGE - BUILDING ELEVATIONS
A500	DETAILS
A900	RENDERS

VICINITY MAP



RAUGEWITZ-SMITH RESIDENCE

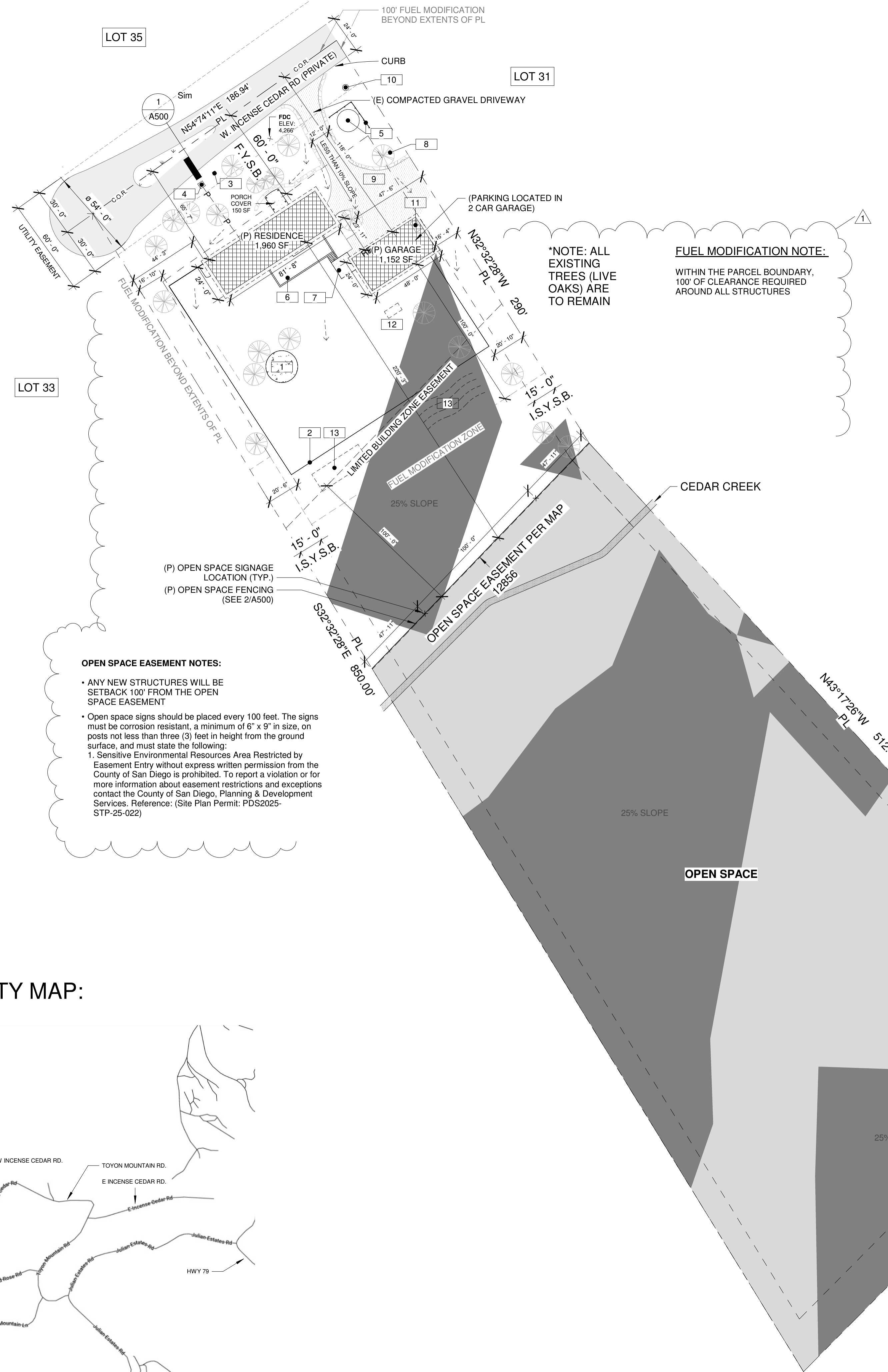
REV. NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

HUBBELL & HUBBELL ARCHITECTS

1970 SIXTH AVE
SAN DIEGO, CA 92101
(619)-231-0446

G000

1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022;
ENVIRONMENTAL LOG NO.:
PDS2025-ER-25-10-001



OWNERS:
 JILL RAUGEWITZ & ERIC SMTIH
 (619)279-7100

OWNERS CURRENT ADDRESS:
 970 VIA DI FELICITA, ENCINITAS, CA 92024

PROJECT ADDRESS:
 1077 W INCENSE CEDAR RD., JULIAN, CA 92036
APN: 292-141-40-00 (LOT 32 MAP NO. 12856)
 LOT SIZE: 180,774 SF / 4.2 ACRES
 NET LOT SIZE (EXCLUSIVE OF ROAD EASEMENT): 174,928 SF

SUMMARY TABLE:
 SFD: 1960 SF
 DETACHED GARAGE: 1152 SF
 LANDSCAPED AREA - LESS THAN 500 SF

*(SEE BMPs ON A103)

2. FUEL MODIFICATION. Include entire statement (everything within the box) as a note on the plot plan sheet.
 Maintain an effective fuel modification zone by removing, clearing or modifying combustible vegetation and other flammable materials from areas within 100 feet from buildings or structures. Fuel modification zones shall not extend beyond the property line (County Fire Code § 4907.5). The fuel modification zone is divided into three Home Ignition Zones (County Fire Code § 4907.9):

- Zone 0 "Immediate Zone" 0-5'** extends 5 feet on a horizontal plane from all exterior wall surfaces (and patios, decks or other attachments to buildings or structures). This zone shall be constructed of continuous hardscape or non-combustible materials (such as pavement, pavers, gravel, river rock, etc.). Combustible materials must be removed from this area (which includes but is not limited to removing combustible materials from roofs, gutters, decks, porches and stairways). Firewood and lumber are prohibited in this area. Dead branches that overhang roofs, are below or adjacent to windows, or which are adjacent to wall surfaces must be removed. All branches within ten (10) feet of any chimney or stovepipe outlet must be removed.
- Zone 1 "Intermediate Zone" from Zone 0 to 50'** extends from the immediate edge of Zone 0 for 45 feet on a horizontal plane. This zone shall consist of planting of low growth, drought tolerant and fire resistive plant species. The height of the plants in this zone starts at 6' adjacent to Zone 0 and extending in a linear fashion up to a maximum of 18' at intersection with Zone 2. Dead or dying grass, plants, shrubs, trees, branches, leaves, weeds, and pine needles must be removed from the area. Other combustible materials must not be adjacent to or under combustible decks, balconies, and stairs. Vegetation in this zone shall be irrigated and not exceed 6' in height and shall be moderate in nature as per Sec. 4907.6.4.1. Dead branches that overhang roofs, are below or adjacent to windows, or which are adjacent to wall surfaces must be removed. All branches within ten (10) feet of any chimney or stovepipe outlet must be removed.
- Zone 2 "Extended Zone" from Zone 1 to 100'** extends from the immediate edge of Zone 1 for 50 feet on a horizontal plane. This zone consists of planting of drought tolerant and fire resistive plant species of moderate height. This area would be considered selective clearing of natural vegetation and dense chaparral by removing a minimum 50% of the square footage of this area. Horizontal and vertical spacing among shrubs and trees must be created using fuel separation, as follows: Dead and dying woody surface fuel and trees shall be removed. Loose surface litter (consisting of fallen leaves or needles, twigs, bark, cones, and small branches) shall be permitted to a maximum depth of three (3) inches. Annual grasses and forbs must be cut down to a maximum height of four (4) inches.

Fuel modification is also required along fire access roadways and driveways at distances prescribed in the County Fire Code. (County Fire Code § 4907.6)

This Fire Code Section does NOT authorize clearing beyond property lines.
Fuel modification must be complete prior to bringing combustible construction materials on-site.

OPEN SPACE EASEMENT NOTES:

- ANY NEW STRUCTURES WILL BE SETBACK 100' FROM THE OPEN SPACE EASEMENT
- Open space signs should be placed every 100 feet. The signs must be corrosion resistant, a minimum of 6" x 9" in size, on posts not less than three (3) feet in height from the ground surface, and must state the following:
 1. Sensitive Environmental Resources Area Restricted by Easement Entry without express written permission from the County of San Diego is prohibited. To report a violation or for more information about easement restrictions and exceptions contact the County of San Diego, Planning & Development Services. Reference: (Site Plan Permit: PDS2025-STP-25-022)

***NOTE: ALL EXISTING TREES (LIVE OAKS) ARE TO REMAIN**

FUEL MODIFICATION NOTE:
 WITHIN THE PARCEL BOUNDARY, 100' OF CLEARANCE REQUIRED AROUND ALL STRUCTURES

SITE PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL CONFIRM ALL UTILITY LOCATIONS ON SITE.

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASMENT LINE
- OVERHEAD
- TOPOGRAPHIC LINES (5)
- P --- POWER LINE
- S --- SEWER LINE
- G --- GAS LINE
- W --- WATER LINE
- [Grid Pattern] BUILDING FOOTPRINT
- [Stippled Pattern] COMPACTED GRAVEL
- [Arrow] STORM WATER FLOW
- [Dashed Line] OPEN SPACE EASEMENT
- [Dark Grey] 25% SLOPED HILLSIDE FROM COUNTY MAP

SITE PLAN KEYNOTES

- 1 (E) 20' CONC. PATIO
- 2 (P) FENCE - WD POST & BLACK WELDED WIRE MESH FENCING - 7' TALL (SEE 2/A500)
- 3 (E) CABLE
- 4 (E) SDGE UTILITIES
- 5 (P) 10,000 GAL. WATER TANK (ELEV: 4,267') (SEPARATE PERMIT) POWDER-COATED TO MATCH (P) HOUSE COLOR WITH (P) 6' TALL CEDAR SCREEN WALL
- 6 (P) GRAVEL FILL PATIO WITH CMU STEM WALLS - 510 SF
- 7 (P) CONC. PATIO ATOP CMU STEM WALLS - 142 SF
- 8 (E) OAK TREES (TYP.) - ALL TO REMAIN
- 9 (E) COMPACTED GRAVEL DRIVEWAY
- 10 (P) WELL LOCATION (SEPARATE PERMIT)
- 11 (P) TRASH STORAGE INSIDE GARAGE
- 12 (P) 1,500 GAL. SEPTIC TANK LOCATION PER CONSULTATN (SEPARATE PERMIT)
- 13 (P) LEACH FIELD LOCATION PER CONSULTANT (SEPARATE PERMIT)

EARTHWORK QUANTITIES

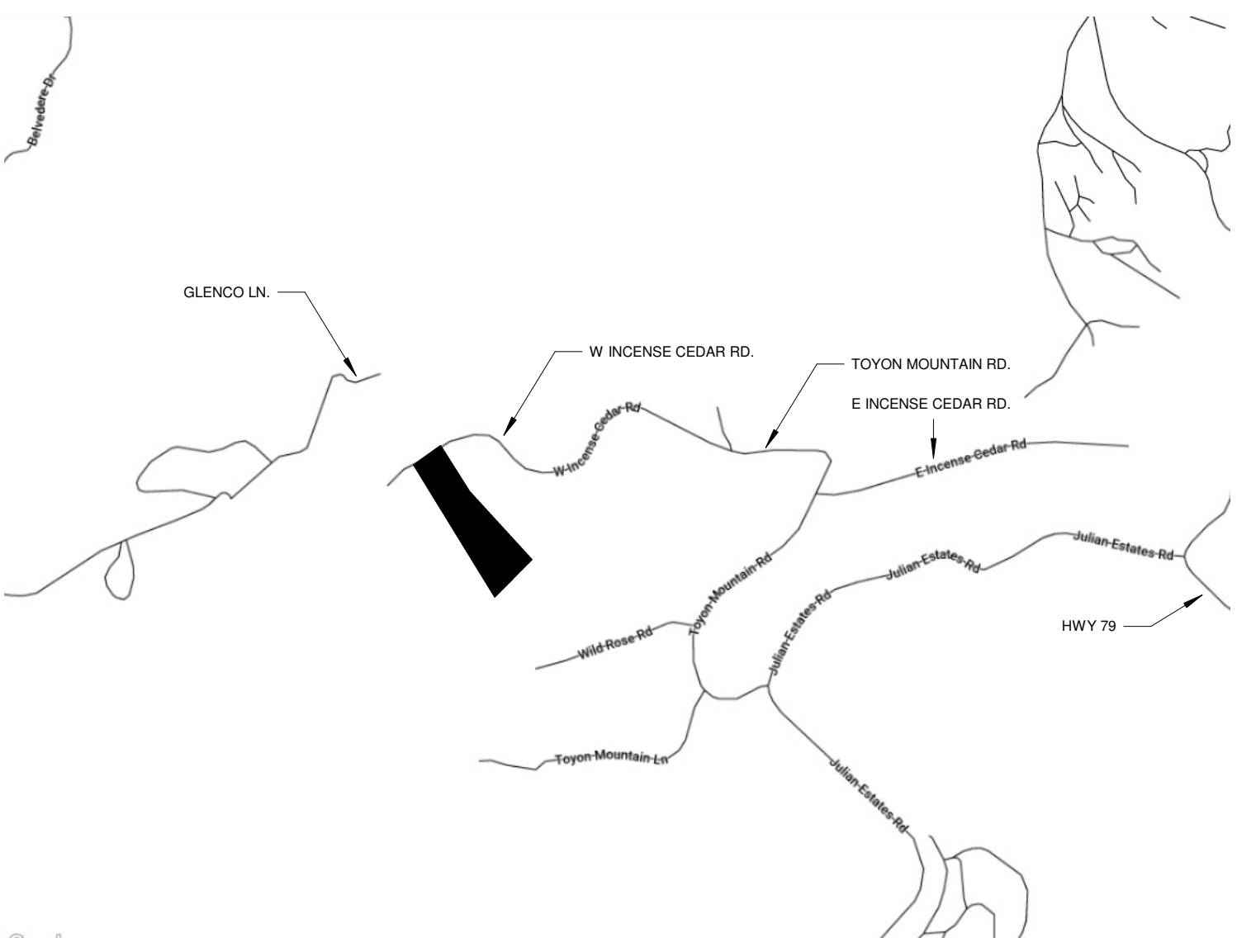
CUT QUANTITIES:	0.00 CYD
FILL QUANTITIES:	0.00 CYD
IMPORT/EXPORT:	0.00 CYD
MAX CUT DEPTH:	0.00 FT
MAX FILL DEPTH:	0.00 FT

***NO GRADING WITHIN SCOPE OF PROJECT (RAISED SLABS WITH STEM WALLS USED TO ACCOMMODATE GRADE CHANGE)**

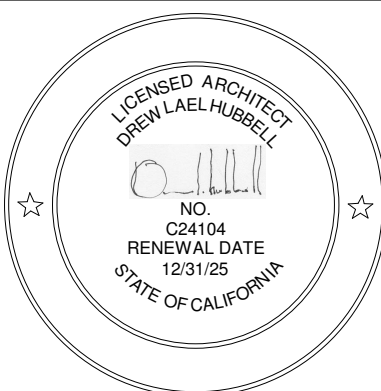
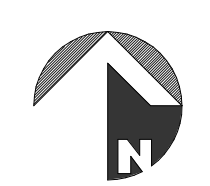
NEW / REPLACED IMPERVIOUS & PERVIOUS AREAS

IMPERVIOUS AREAS:			
(P) TOTAL IMPERVIOUS AREA	RESIDENCE:	2,398 SF	
	PORCH COVER:	132SF	
	GARAGE:	1,394 SF	
	GARAGE PATIO:	130 SF	
	CONC. STAIRS:	23 SF	
	(P) TOTAL:	4,077 SF	
(E) IMPERVIOUS AREA	CIRCULAR PATIO:	314 SF	
	PRIVATE RD:	2,725 SF	
	(E) TOTAL:	3,039	
REPLACE (E) IMPERVIOUS AREA		0 SF	
PERVIOUS AREAS:			
(P) PERVIOUS AREA	GRAVEL PATIO:	510 SF	
(E) PERVIOUS AREA	GRAVEL DRIVE:	2,980 SF	
	TOTAL:	3,490 SF	
LANDSCAPED AREAS:			
(P) LANDSCAPED AREA:		< 500 SF	

VICINITY MAP:



1 SITE PLAN
 1" = 40'-0"



4/16/2026 10:43:53 AM

RAUGEWITZ-SMITH RESIDENCE
 1077 W. INCENSE CEDAR RD
 JULIAN, CA 92036
 RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.: PDS2025-ER-25-10-001

REV. NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

HUBBELL & HUBBELL ARCHITECTS
 1970 SIXTH AVE., SAN DIEGO, CA 92101
 (619)-231-0446

A100



4/16/2026 10:43:53 AM

RAUGEWITZ-SMITH RESIDENCE
1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.: PDS2025-ER-25-1001

REV. NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

HUBBELL & HUBBELL ARCHITECTS
1970 SIXTH AVE., SAN DIEGO, CA 92101
(619)-231-0446

A103

BMP LEGEND

PDS-659	BROWN DITCH	
PDS-659	BERM	
DIRECTION OF LOT DRAINAGE		
MATERIALS & WASTE MANAGEMENT BMPs		
WM-1	MATERIAL DELIVERY & STORAGE	
WM-4	SPILL PREVENTION AND CONTROL	
WM-8	CONCRETE WASTE MANAGEMENT	
WM-5	SOLID WASTE MANAGEMENT	
WM-9	SANITARY WASTE MANAGEMENT	
WM-6	HAZARDOUS WASTE MANAGEMENT	
TEMPORARY RUNOFF CONTROL BMPs		
SS-2	PRESERVATION OF EXISTING VEGETATION	
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)	
SS-4	HYDROSEEDING (SUMMER)	
SS-6 / SS-8	STRAW OR WOOD MULCH	
SS-7	PHYSICAL STABILIZATION (WINTER)	
SS-10	ENERGY DISSIPATOR	
SC-1	SILT FENCE	
SC-2	SEDIMENT / DESILTING BASIN	
SC-5	FIBER ROLLS	
SC-6 / SC-8	GRAVEL OR SAND BAGS	
SC-7	STREET SWEEPING AND VACUUMING	
SC-10	STORM DRAIN INLET PROTECTION	
NS-2	DEWATERING FILTRATION	
TC-1	STABILIZED CONSTRUCTION ENTRANCE	
TC-2	CONSTRUCTION ROAD STABILIZATION	
TC-3	ENTRANCE / EXIT TIRE WASH	
POST CONSTRUCTION SITE DESIGN BMPs		
4.3.1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	
4.3.2	CONSERVE NATURAL AREAS SOILS AND VEGETATION	
4.3.3	MINIMIZE IMPERVIOUS AREA	
4.3.4	MINIMIZE SOIL COMPACTION	
4.3.5	IMPERVIOUS AREA DISPERSION	
4.3.6	RUNOFF COLLECTION	
4.3.7	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	
4.3.8	HARVESTING AND USING PRECIPITATION	
POST CONSTRUCTION SOURCE CONTROL BMPs		
4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	
4.2.2	STORM DRAIN STENCILING AND POSTING OF SIGNAGE	
4.2.3	PROTECTED OUTDOOR MATERIALS STORAGE AREAS	
4.2.4	PROTECT MATERIALS STORED IN OUTDOOR AREAS	
4.2.5	PROTECT TRASH STORAGE AREAS	
4.2.6	ADNDL BMPs BASED ON POTENTIAL RUNOFF POLLUTANTS	
A	ON SITE STORM DRAIN INLETS	
B	INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SUMPS	
C	INTERIOR PARKING GARAGE	
D	NEED FOR FUTURE INDOOR & STR PEST CONTROL	
E	LANDSCAPE/OUTDOOR PESTICIDE USE	
F	POOLS, SPAS, PONDS, FOUNTAINS & WATER FEATURES	
G	FOOD SERVICE	
H	TRASH OR REFUSE AREAS	
I	INDUSTRIAL PROCESSES	
J	OUTDOOR STORAGE OF EQUIP OR MATERIALS	
K	VEHICLE AND EQUIPMENT CLEANING	
L	VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	
M	FUEL DISPENSING AREAS	
N	LOADING DOCKS	
O	FIRE SPRINKLER TEST WATER	
P	MISCELLANEOUS DRAIN OR WASH WATER	
Q	PLAZAS, SIDEWALKS, DRIVEWAYS AND PARKING LOTS	

SUMMARY OF IMPERVIOUS AREAS

*SEE A100 & A104

KEYNOTES

- (E) 20' CONC. PATIO
- (P) FENCE - WD POST & BLACK WELDED WIRE MESH FENCING - 7' TALL (SEE 2/A500)
- (E) CABLE
- (E) SDGE UTILITES
- (P) 10,000 GAL. WATER TANK (ELEV: 4.267) (SEPARATE PERMIT) POWDER-COATED TO MATCH (P) HOUSE COLOR WITH (P) 6' TALL CEDAR SCREEN WALL
- (P) GRAVEL FILL PATIO WITH CMU STEM WALLS - 510 SF
- (P) CONC. PATIO ATOP CMU STEM WALLS - 142 SF
- (E) OAK TREES (TYP.) - ALL TO REMAIN
- (P) STANDING SEAM ROOFING - DARK TAN/SAGE FLAT PAINT FINISH
- (P) WELL LOCATION (SEPARATE PERMIT)
- (P) 1,500 GAL. SEPTIC TANK LOCATION PER CONSULTATN (SEPARATE PERMIT)
- (P) LEACH FIELD LOCATION PER CONSULTANT (SEPARATE PERMIT)
- (P) SOLAR ARRAY LOCATION PER CONSULTANT (SEPARATE PERMIT)

BMP NOTES

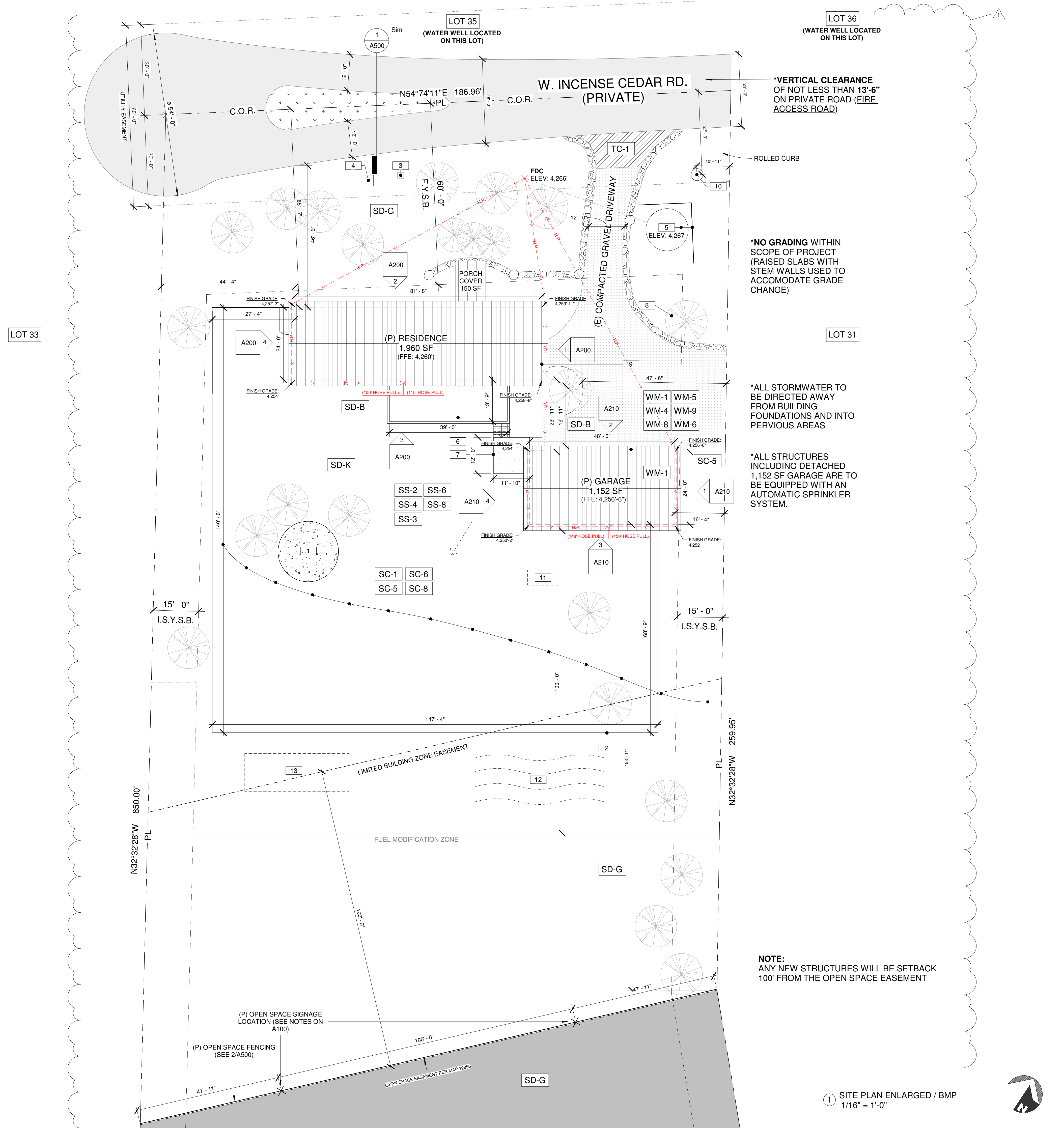
- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB).
- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:
 - ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
 - ALL CONSTRUCTION BMPs SHALL INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION ORDERS, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
 - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 - THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
 - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
 - IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 - AS NECESSARY, THE RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPs AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
 - CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BYPASSING THE ENTRANCE.
 - PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING BMPs BASED ON THE FOLLOWING PERFORMANCE STANDARDS:
 - NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MAXIMUM EXTENT PRACTICABLE 2.
 - STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
 - EROSION SHALL BE CONTROLLED BY BMPs TO THE MAXIMUM EXTENT PRACTICABLE. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMPs INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
 - INACTIVE AREAS SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.
 - ACTIVE AND INACTIVE AREAS SHALL BE PROTECTED PRIOR TO RAIN IN ACCORDANCE WITH CHAPTER 5 OF PART 2 OF THE STORM WATER STANDARDS.

SITE PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONFIRM ALL UTILITY LOCATIONS ON SITE.

SITE PLAN LEGEND

	PROPERTY LINE
	SETBACK LINE
	OVERHEAD
	POWER LINE
	GAS LINE
	WATER LINE



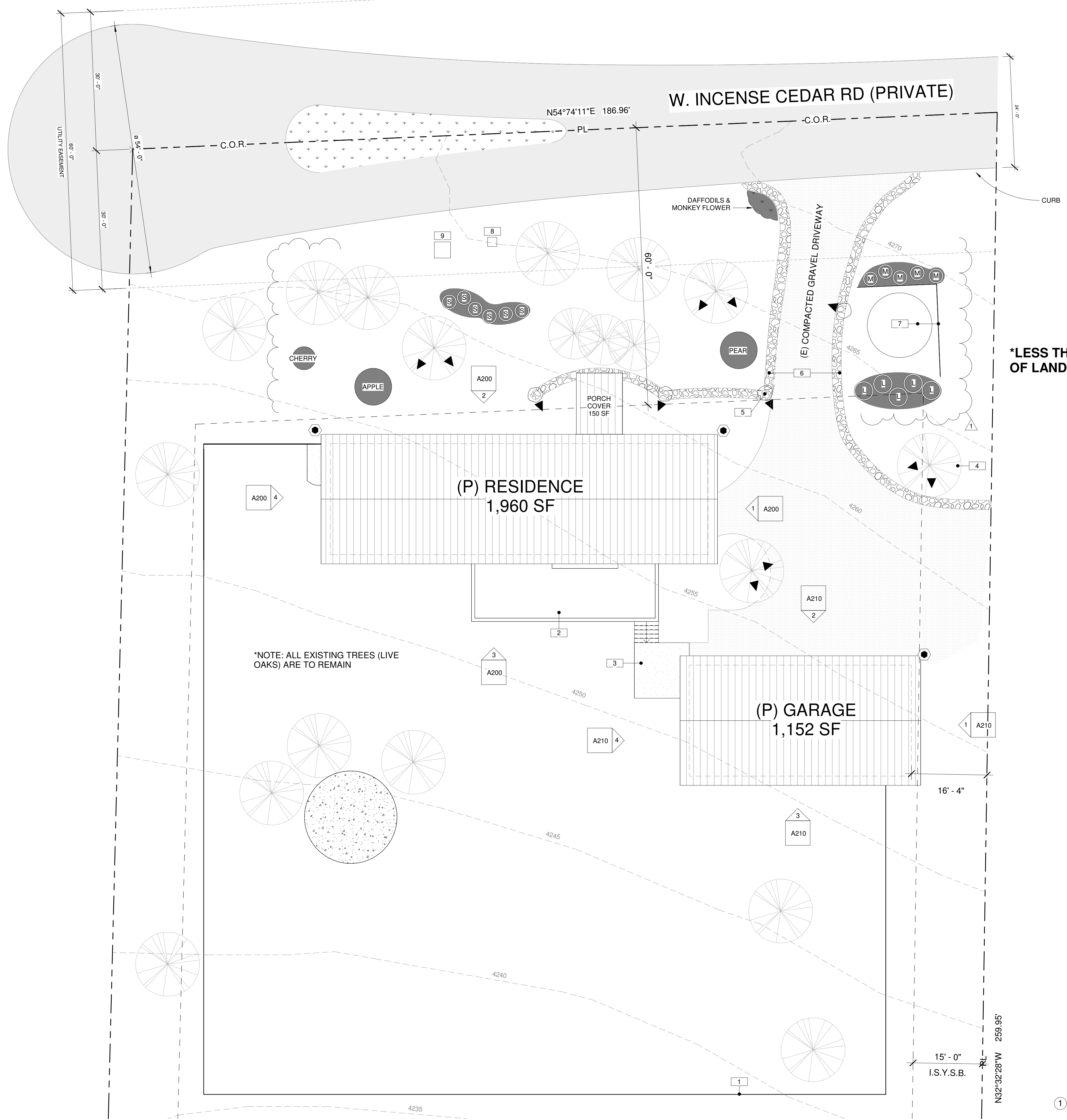
*NO GRADING WITHIN SCOPE OF PROJECT (RAISED SLABS WITH STEM WALLS USED TO ACCOMMODATE GRADE CHANGE)

*ALL STORMWATER TO BE DIRECTED AWAY FROM BUILDING FOUNDATIONS AND INTO PERVIOUS AREAS

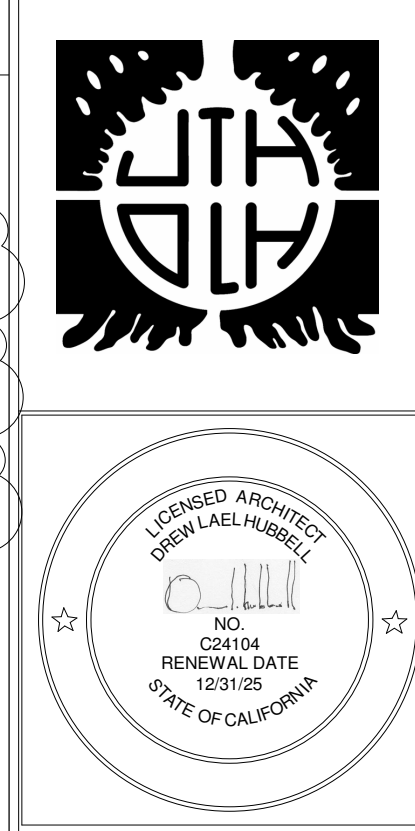
*ALL STRUCTURES INCLUDING DETACHED 1,152 SF GARAGE ARE TO BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.

NOTE:
ANY NEW STRUCTURES WILL BE SETBACK 100' FROM THE OPEN SPACE EASEMENT

1 SITE PLAN ENLARGED / BMP
1/16" = 1'-0"



- SITE PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
 2. CONTRACTOR SHALL CONFIRM ALL UTILITY LOCATIONS ON SITE.
 3. THIS LANDSCAPE DESIGN AND FINAL LANDSCAPE PLANS WILL REFLECT CONFORMANCE WITH THE COUNTY OF SAN DIEGO'S WATER CONSERVATION IN LANDSCAPING ORDINANCES, PROMOTING WATER CONSERVATION THROUGH THE USE OF MODERATE AND LOW-WATER REQUIRING PLANT SPECIES, GROUPING OF PLANT MATERIAL WITH SIMILAR WATER REQUIREMENTS AND IMPLEMENTING A LOW VOLUME AND EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
 4. PROPERTY SUBJECT TO DARK SKIES ORDINANCE: NO UPLIGHTING, ONLY DOWNLIGHTING SHOULD BE PROPOSED.



4/16/2026 10:43:54 AM

RAUGEWITZ-SMITH RESIDENCE
 1077 W. INCENSE CEDAR RD
 JULIAN, CA 92036
 RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.: PDS2025-ER-25-10-001

- SITE PLAN LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - OVERHEAD
 - P --- POWER LINE
 - S --- SEWER LINE
 - G --- GAS LINE
 - W --- WATER LINE

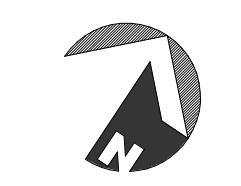
- LANDSCAPE & LIGHTING LEGEND**
- LANDSCAPING PLANTS & TREES**
 R: CA WILD ROSE
 S: WHITE SAGE
 M: MANZANITA "LOW GROWING"
 L: LILAC
 - MOTION SENSOR LIGHTS**
 HOUSE: 2
 GARAGE: 1
 TOTAL: 14
 - DOWN-LIGHTS: LOW VOLTAGE (TIMER)**
 ("SHIELDED FOOTLAMPS FOR LIGHTS ON STONE COLUMNS / ALL OTHERS: HORIZONTAL CUT-OFF"
 TREES: 8
 ENTRY PORCH: 1
 STONE COLUMNS: 4
 ADDRESS SIGN: 1
 TOTAL: 14
 - PROPOSED LANDSCAPING AREA**

NEW / REPLACED IMPERV. & PERV. AREAS

IMPERVIOUS AREAS:	
(P) TOTAL IMPERVIOUS AREA	RESIDENCE: 2,398 SF PORCH COVER: 132SF GARAGE: 1,394 SF GARAGE PATIO: 130 SF CONC. STAIRS: 23 SF (P) TOTAL: 4,077 SF
(E) IMPERVIOUS AREA	CIRCULAR PATIO: 314 SF PRIVATE RD: 2,725 SF (E) TOTAL: 3,039
REPLACE (E) IMPERVIOUS AREA	0 SF
PERVIOUS AREAS:	
(P) PERVIOUS AREA	GRAVEL PATIO: 510 SF
(E) PERVIOUS AREA	GRAVEL DRIVE: 2,980 SF TOTAL: 3,490 SF
LANDSCAPED AREAS:	
(P) LANDSCAPED AREA:	< 500 SF

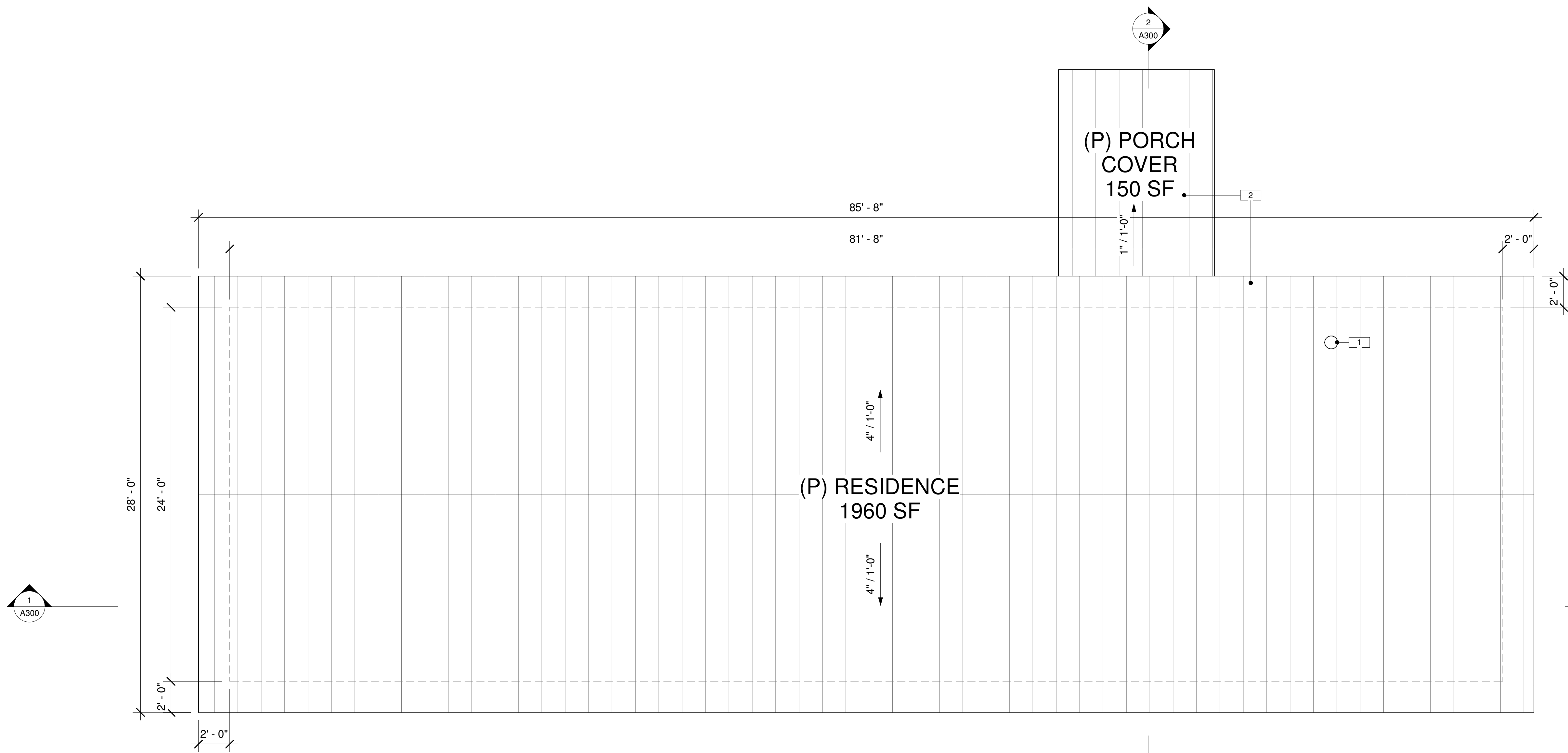
- KEYNOTES**
- 1 (P) FENCE - WD POST & BLACK WELDED WIRE MESH FENCING - 7' TALL (SEE 2/A500)
 - 2 (P) GRAVEL FILL PATIO WITH CMU STEM WALLS - 510 SF
 - 3 (P) CONC. PATIO ATOP CMU STEM WALLS - 142 SF
 - 4 (E) OAK TREES (TYP.) - ALL TO REMAIN
 - 5 (P) 36" STONE COLUMNS WITH FOOT PATH LIGHTING (TYP.)
 - 6 (P) 18-24" LOW COBBLE WALL
 - 7 (P) 10,000 GAL. WATER TANK (ELEV: 4.267) (SEPARATE PERMIT) POWDER-COATED TO MATCH (P) HOUSE COLOR WITH (P) 8' TALL CEDAR SCREEN WALL
 - 8 (E) CABLE
 - 9 (E) SDGE UTILITIES

1 LANDSCAPE & LIGHTING PLAN
 3/32" = 1'-0"



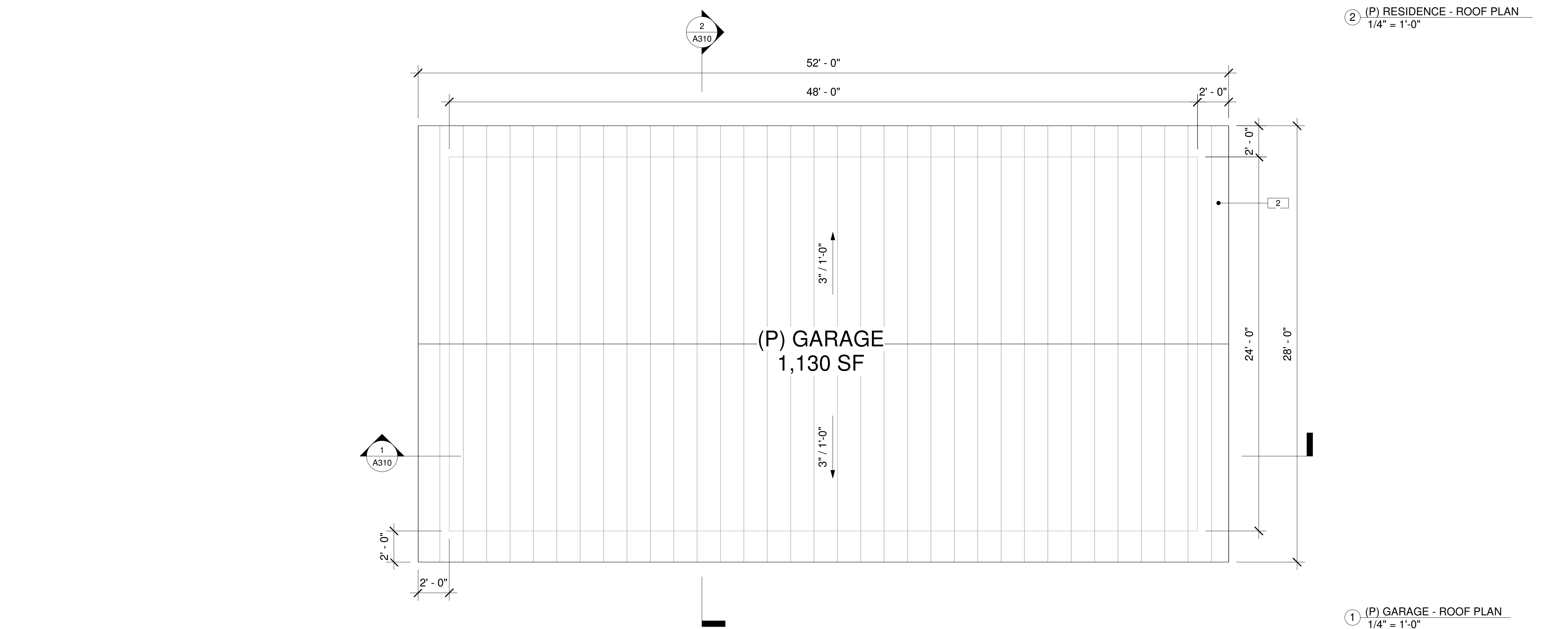
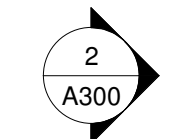
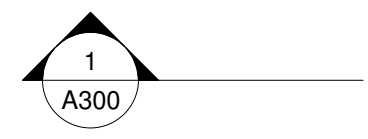
HUBBELL & HUBBELL ARCHITECTS
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 (619)-231-0446

A104

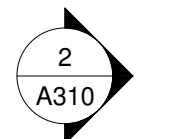
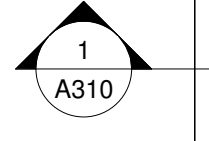


(P) PORCH COVER
150 SF

(P) RESIDENCE
1960 SF



(P) GARAGE
1,130 SF



② (P) RESIDENCE - ROOF PLAN
1/4" = 1'-0"

① (P) GARAGE - ROOF PLAN
1/4" = 1'-0"

PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. FOR ELECTRICAL FIXTURE AND OUTLET LOCATIONS, SEE MEP PLAN.
3. ALL GUARDRAILS AND HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE CBC.
4. GUARDRAIL SHALL BE 42" ABOVE FLOOR WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH PER CBC 1013.
5. HANDRAIL SHALL PROTECT MAXIMUM 3-1/2" INTO THE REQUIRED STAIR WIDTH PER CBC.
6. GUARDRAIL WHOSE TOP RAIL IS ALSO A HANDRAIL ALLOWED TO HAVE HEIGHT 34" TO 36" MEASURED FROM STAIR TREAD NOSING (CBC EXCEPTION 1013.2).
7. GUARDRAIL SHALL BE DESIGNED TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT ALONG THE TOP OF THE GUARDRAIL PER CBC 1807.7.
8. HANDRAIL SHALL HAVE 1-1/4" - 2" GRIPABLE CROSS SECTION. NO SHARP CORNERS. HANDRAIL SHALL EXTEND FROM TOP TO BOTTOM RISERS AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS PER CBC.
9. ALL STAIRS SHALL HAVE A MAXIMUM RISER NO MORE THAN 7-3/4" AND A MINIMUM TREAD DEPTH OF 10".
10. ALL GYPSUM BOARD SHALL BE 5/8" THICK, UNLESS OTHERWISE NOTED.
11. CONTRACTOR TO VERIFY PROPERTY LINE PRIOR TO FOUNDATION FORMWORK.

PLAN LEGEND

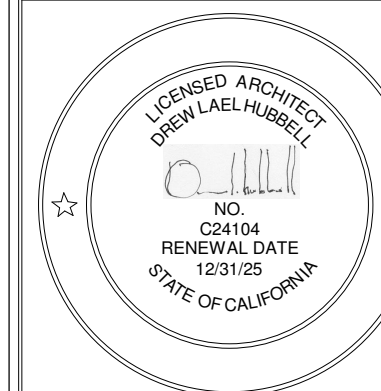
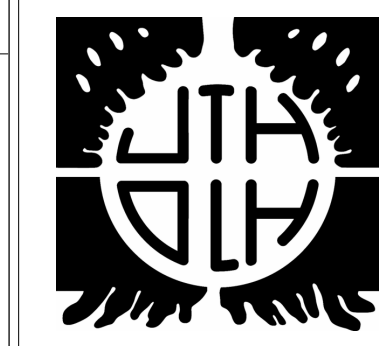
- | | | | |
|-----|---------------|--|---------------|
| --- | PROPERTY LINE | | SECTION |
| --- | SETBACK LINE | | ELEVATION |
| --- | OVERHEAD | | KEYNOTE |
| --- | W WATER LINE | | GRID LINE |
| --- | S SEWER LINE | | ELEVATION TAG |
| --- | G GAS LINE | | REVISION TAG |
| --- | P POWER LINE | | DOOR TAG |
| | NORTH ARROW | | WINDOW TAG |

WALL LEGEND

- REF. A600 FOR WALL SCHEDULE
- (P) 2X4 FRAMING WALL
 - (P) 2X6 FRAMING WALL
 - 10" ICCF WITH PLASTER
 - (P) 2X6 FRAMING WALL
 - (P) 2X6 FRAMING WALL - 1HR FIRE RATED

KEYNOTES

- 1 (P) METAL CHIMNEY
- 2 (P) STANDING SEAM ROOFING - DARK TAN/SAGE FLAT PAINT FINISH



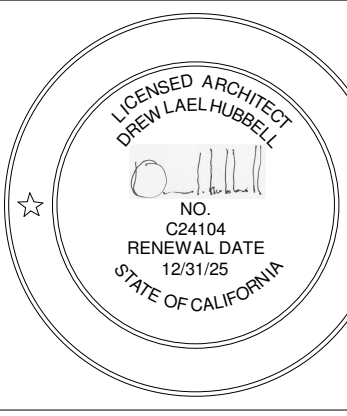
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RAUGEWITZ-SMITH RESIDENCE
1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.: PDS2025-ER-25-10-001

REV. NO. DESCRIPTION DATE

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RAUGEWITZ-SMITH RESIDENCE
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JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.:
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REV. NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

HUBBELL & HUBBELL ARCHITECTS
1970 SIXTH AVE., SAN DIEGO, CA 92101
(619)-231-0446

A200

ELEVATION & SECTION NOTES

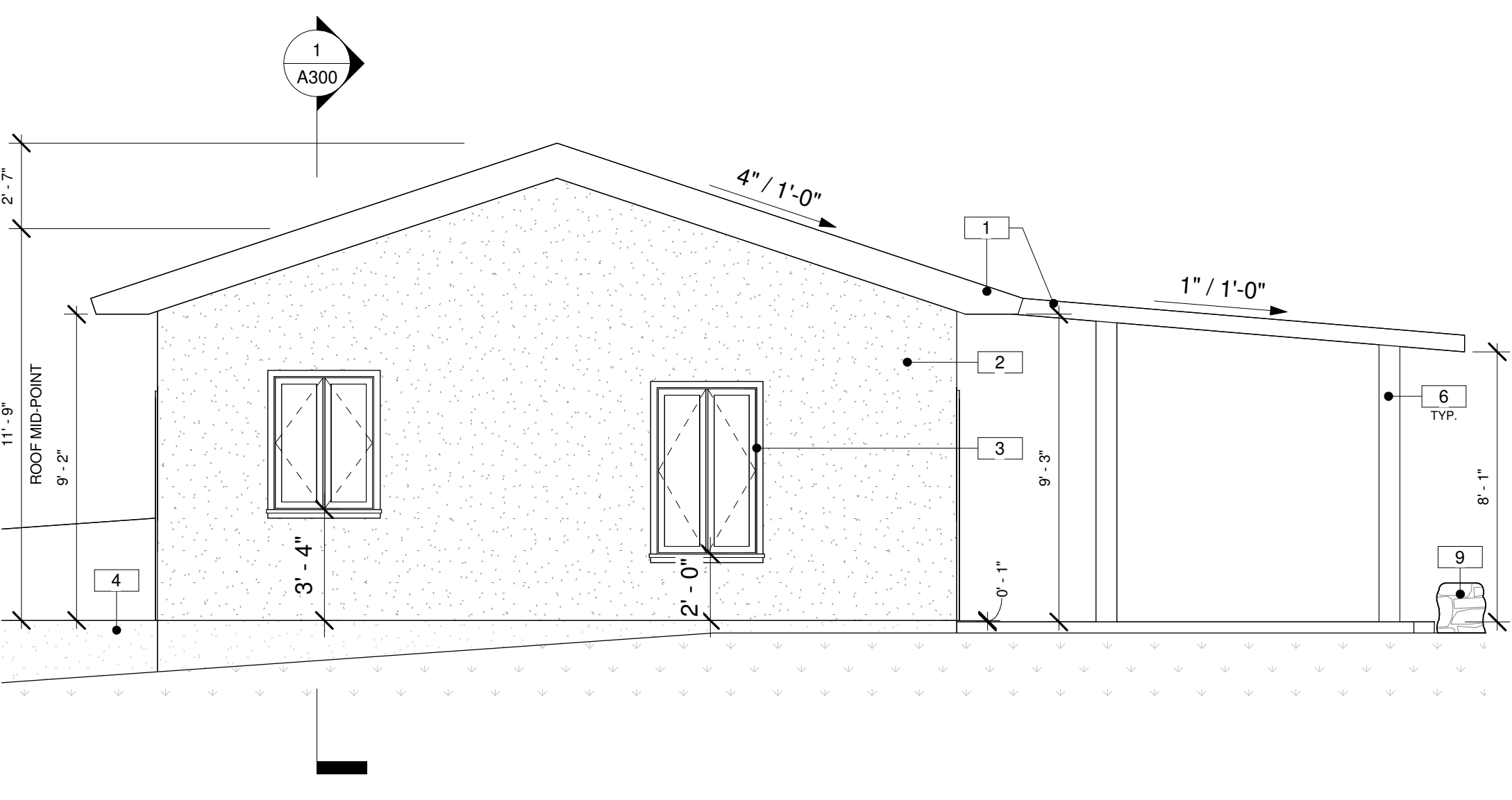
1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. FOR ELECTRICAL FIXTURE AND OUTLET LOCATIONS, SEE MEP PLAN.
3. ALL GUARDRAILS AND HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE CBC.
4. GUARDRAIL SHALL BE 42" ABOVE FLOOR WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH PER CBC 1013.
5. HANDRAIL SHALL PROTECT MAXIMUM 3-1/2" INTO THE REQUIRED STAIR WIDTH PER CBC.
6. GUARDRAIL SHALL BE DESIGNED TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT ALONG THE TOP OF THE GUARDRAIL PER CBC 1807.7.
7. HANDRAIL SHALL HAVE 1-1/4" - 2" GRIPABLE CROSS SECTION. NO SHARP CORNERS. HANDRAIL SHALL EXTEND FROM TOP TO BOTTOM RISERS AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS PER CBC.
8. ALL STAIRS SHALL HAVE A MAXIMUM RISER NO MORE THAN 7-3/4" AND A MINIMUM TREAD DEPTH OF 10".
9. REFER TO FLOOR PLANS & A600 FOR WALL, FLOOR AND ROOF ASSEMBLIES.
10. REFER TO A600 FOR DOOR AND WINDOW SCHEDULES.

ELEVATION & SECTION LEGEND

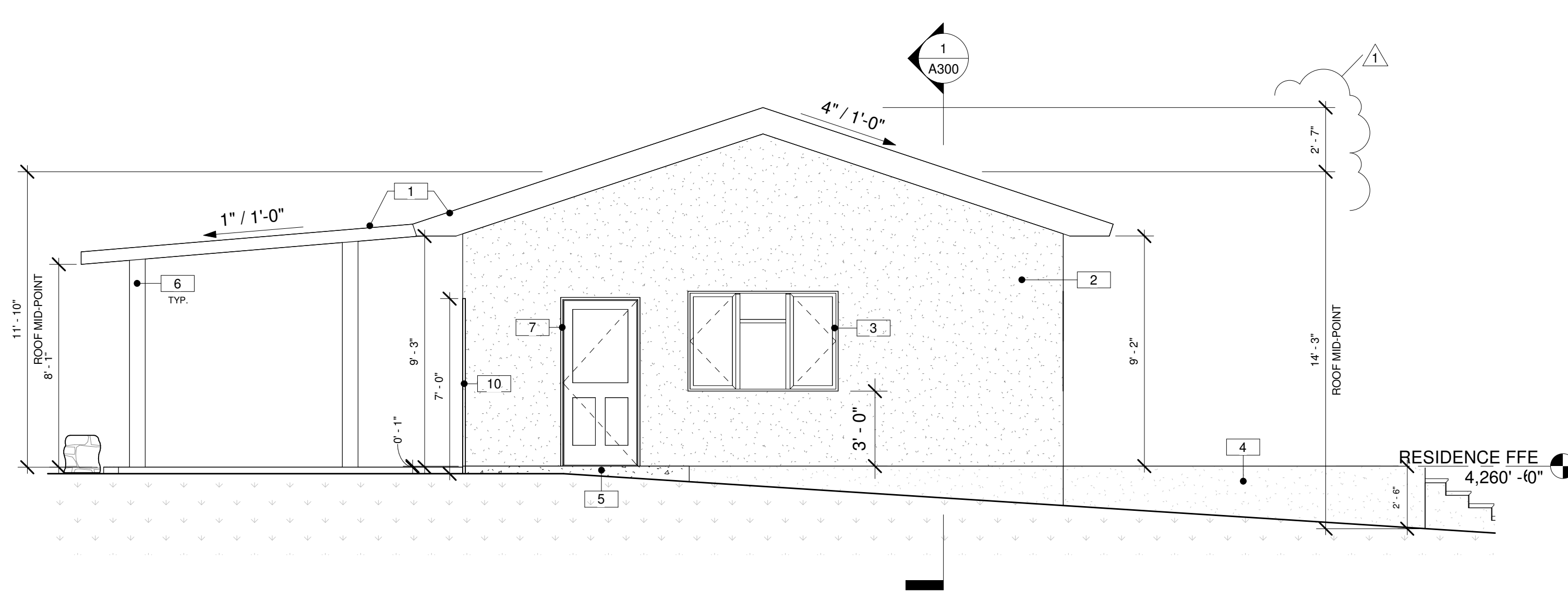
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- SECTION
- KEYNOTE
- GRID LINE
- ELEVATION TAG
- REVISION TAG
- DOOR TAG
- WINDOW TAG
- WALL TAG

KEYNOTE LEGEND

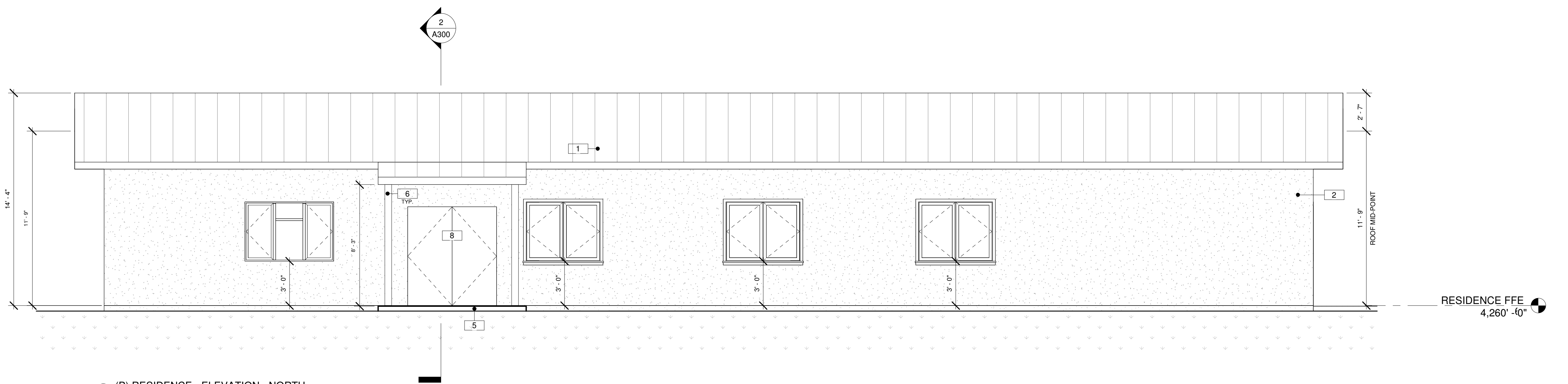
- 1 (P) STANDING SEAM ROOFING - DARK TAN/SAGE FLAT PAINT FINISH
- 2 (P) LIGHT SAND STUCCO EXTERIOR WALL FINISH - COLOR: DARK BROWNISH GREEN
- 3 (P) WOOD/ALUMINUM CLAD WINDOW - COLOR: RUST/BURGUNDY ON EXT. (TYP.)
- 4 (P) GRAVEL FILL PATIO WITH CMU STEM WALLS - 510 SF
- 5 (P) CONC. LANDING PAD
- 6 (P) 6X6 CEDAR COLUMNS STAINED TO MATCH WN TRIM
- 7 (P) WOOD/ALUMINUM CLAD DOOR - COLOR: RUST/BURGUNDY ON EXT. (TYP.)
- 8 (P) WOOD DOORS - STAINED TO MATCH WN TRIM
- 9 (P) 18-24" LOW COBBLE WALL
- 10 (P) FENCE - WD POST & BLACK WELDED WIRE MESH FENCING - 7 TALL (SEE 2/A500)



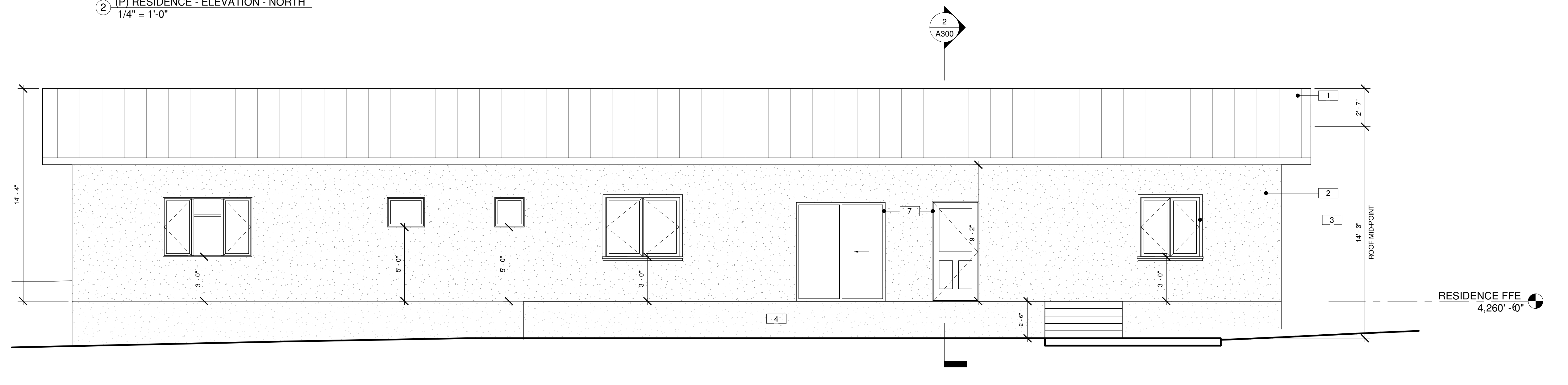
1 (P) RESIDENCE - ELEVATION - EAST
1/4" = 1'-0"



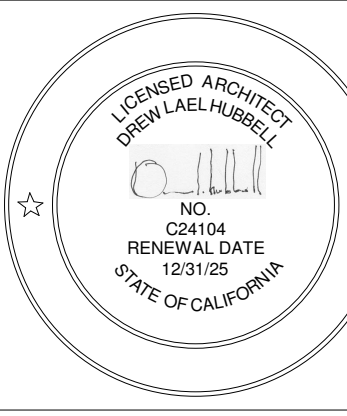
4 (P) RESIDENCE - ELEVATION - WEST
1/4" = 1'-0"



2 (P) RESIDENCE - ELEVATION - NORTH
1/4" = 1'-0"

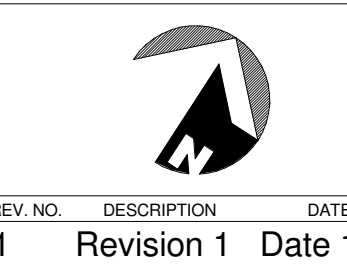


3 (P) RESIDENCE - ELEVATION - SOUTH
1/4" = 1'-0"



4/16/2026 10:43:57 AM

RAUGEWITZ-SMITH RESIDENCE
1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.: PDS2025-ER-25-10-001



REV. NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

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(619)-231-0446

A210

ELEVATION & SECTION NOTES

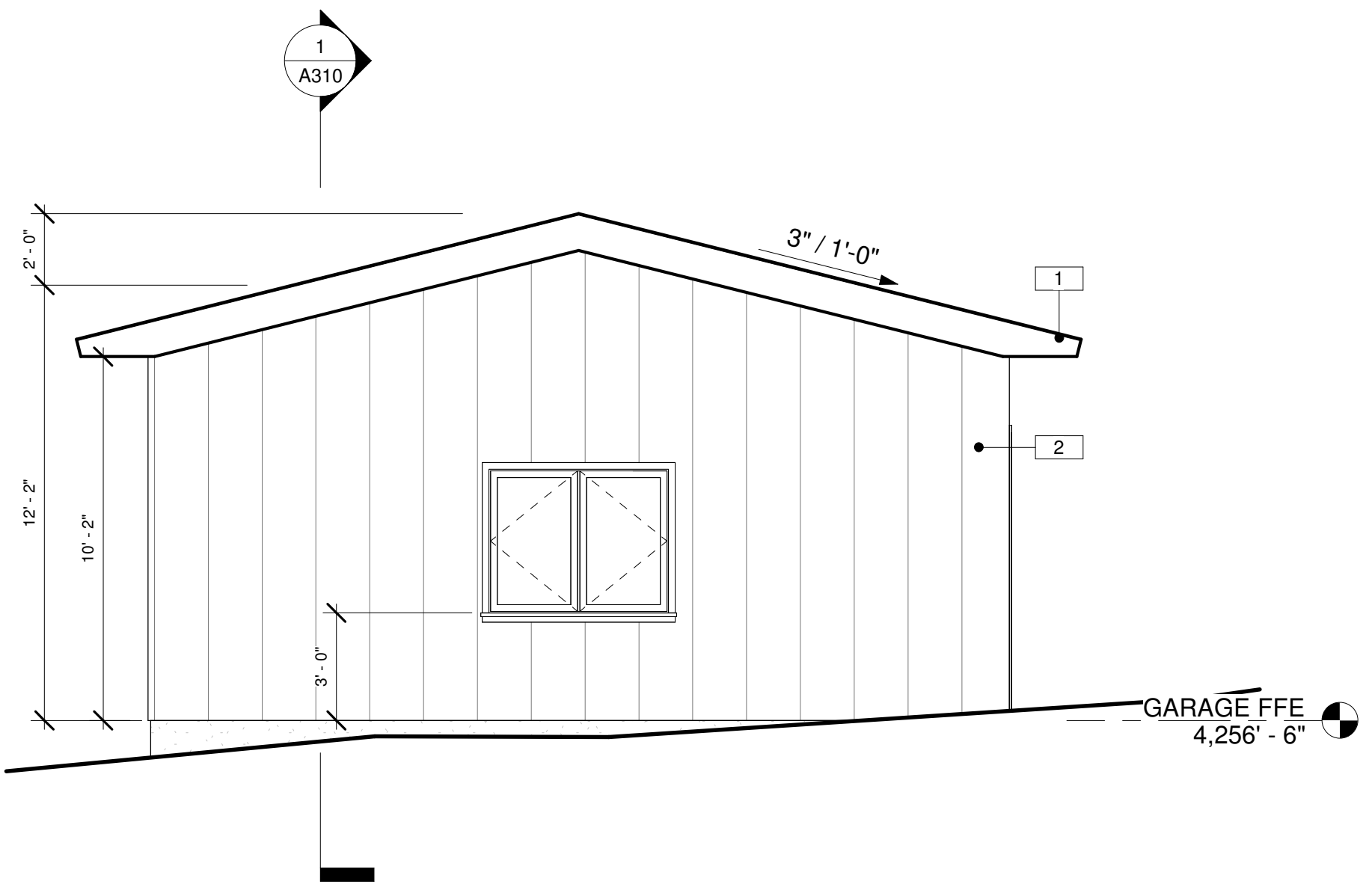
1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. FOR ELECTRICAL FIXTURE AND OUTLET LOCATIONS, SEE MEP PLAN.
3. ALL GUARDRAILS AND HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE CBC.
4. GUARDRAIL SHALL BE 42" ABOVE FLOOR WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH PER CBC 1013.
5. HANDRAIL SHALL PROTECT MAXIMUM 3-1/2" INTO THE REQUIRED STAIR WIDTH PER CBC.
6. GUARDRAIL SHALL BE DESIGNED TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT ALONG THE TOP OF THE GUARDRAIL PER CBC 1807.7.
7. HANDRAIL SHALL HAVE 1-1/4" - 2" GRIPABLE CROSS SECTION. NO SHARP CORNERS. HANDRAIL SHALL EXTEND FROM TOP TO BOTTOM RISERS AND TERMINATE AT NEWEL POSTS OR RETURN TO WALLS PER CBC.
8. ALL STAIRS SHALL HAVE A MAXIMUM RISER NO MORE THAN 7-3/4" AND A MINIMUM TREAD DEPTH OF 10".
9. REFER TO FLOOR PLANS & A600 FOR WALL, FLOOR AND ROOF ASSEMBLIES.
10. REFER TO A600 FOR DOOR AND WINDOW SCHEDULES.

ELEVATION & SECTION LEGEND

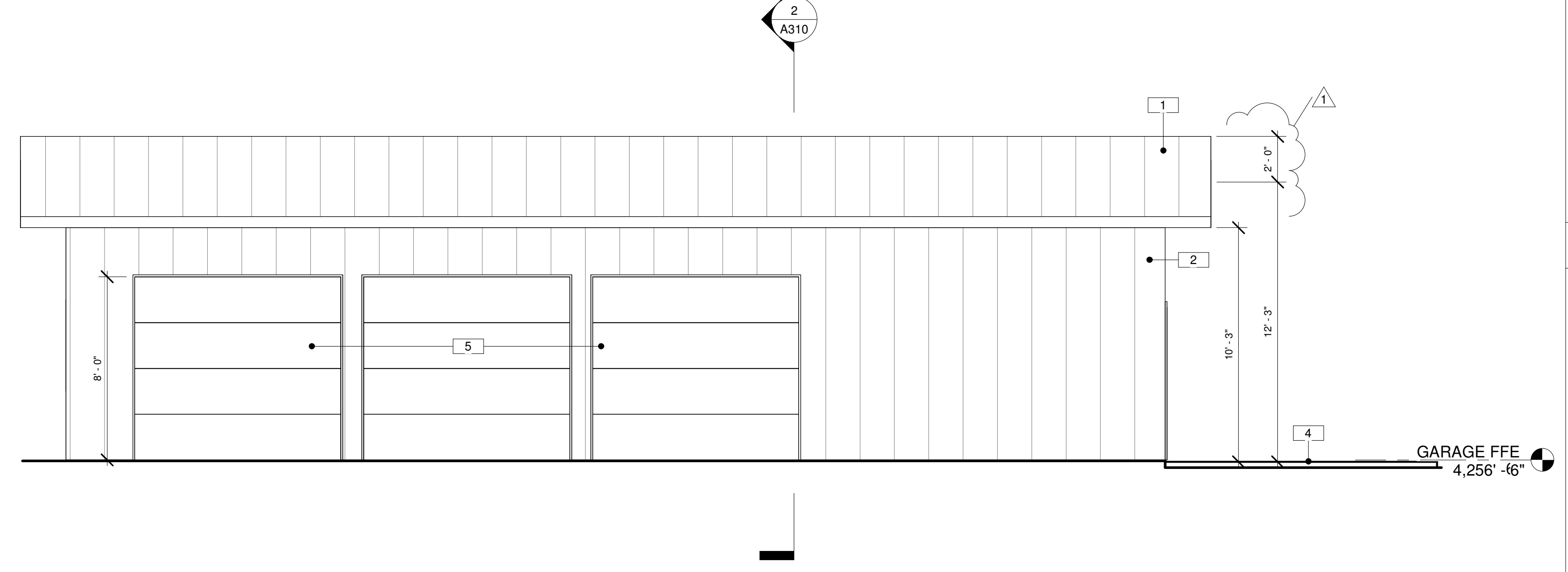
- PROPERTY LINE / SETBACK LINE
- (X) SECTION
- (X) KEYNOTE
- (A) GRID LINE
- Name Elevation ELEVATION TAG
- (A) REVISION TAG
- (X) DOOR TAG
- (X) WINDOW TAG
- (X) WALL TAG

KEYNOTE LEGEND

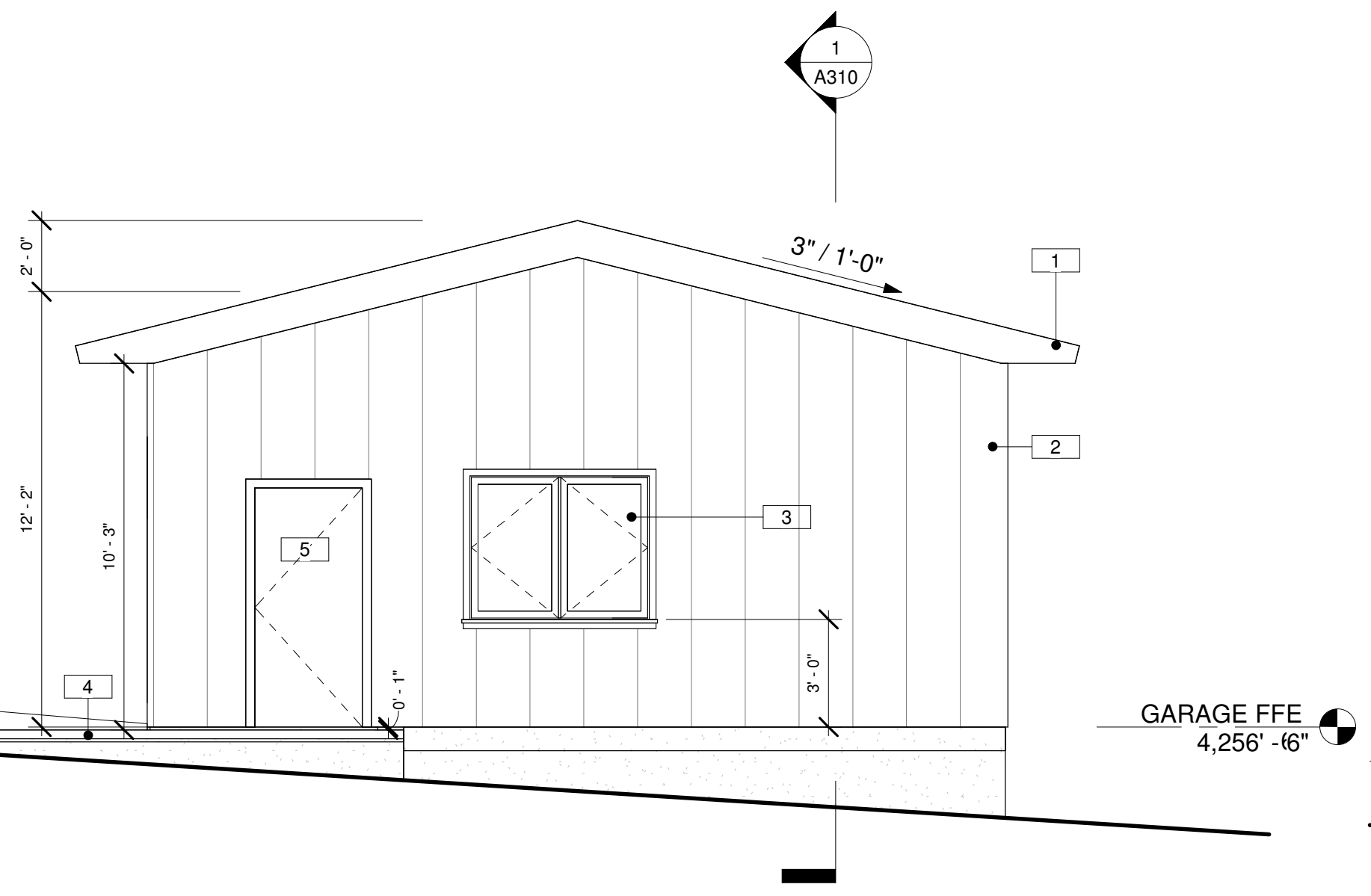
1. (P) STANDING SEAM ROOFING - DARK TAN/SAGE FLAT PAINT FINISH
2. (P) HARDIE PANEL SIDING / COLOR: MOUNTAIN SAGE (TO MATCH RESIDENCE)
3. (P) WOOD/ALUMINUM CLAD WINDOW - COLOR: RUST/BURGUNDY ON EXT. (TYP.)
4. (P) CONC. PATIO ATOP CMU STEM WALLS - 142 SF
5. (P) WOOD/ALUMINUM CLAD DOOR - COLOR: RUST/BURGUNDY ON EXT. (TYP.)



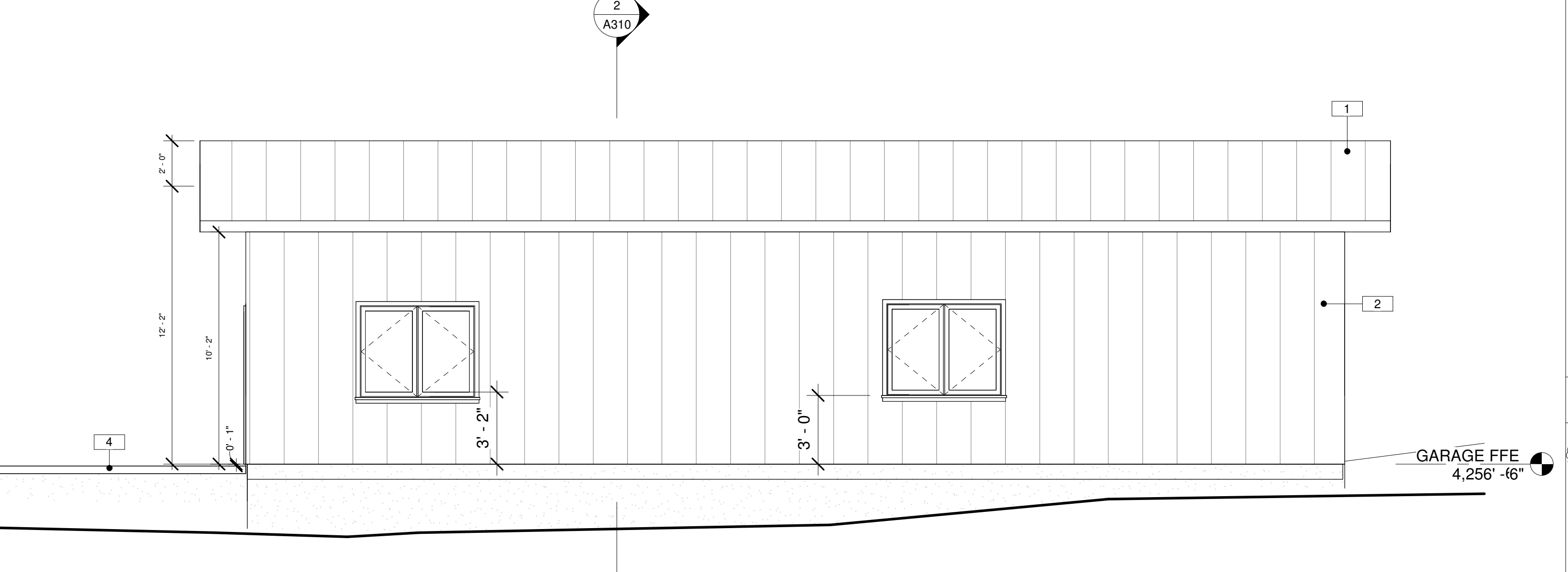
① (P) GARAGE ELEVATION - EAST
1/4" = 1'-0"



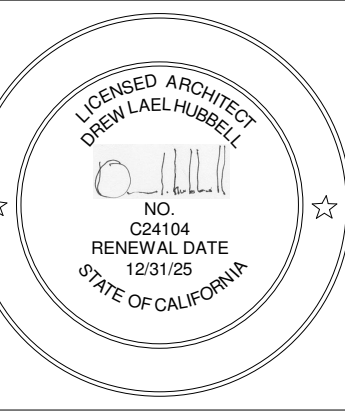
② (P) GARAGE ELEVATION - NORTH
1/4" = 1'-0"



④ (P) GARAGE ELEVATION - WEST
1/4" = 1'-0"

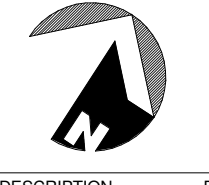


③ (P) GARAGE ELEVATION - SOUTH
1/4" = 1'-0"



4/16/2026 10:43:57 AM

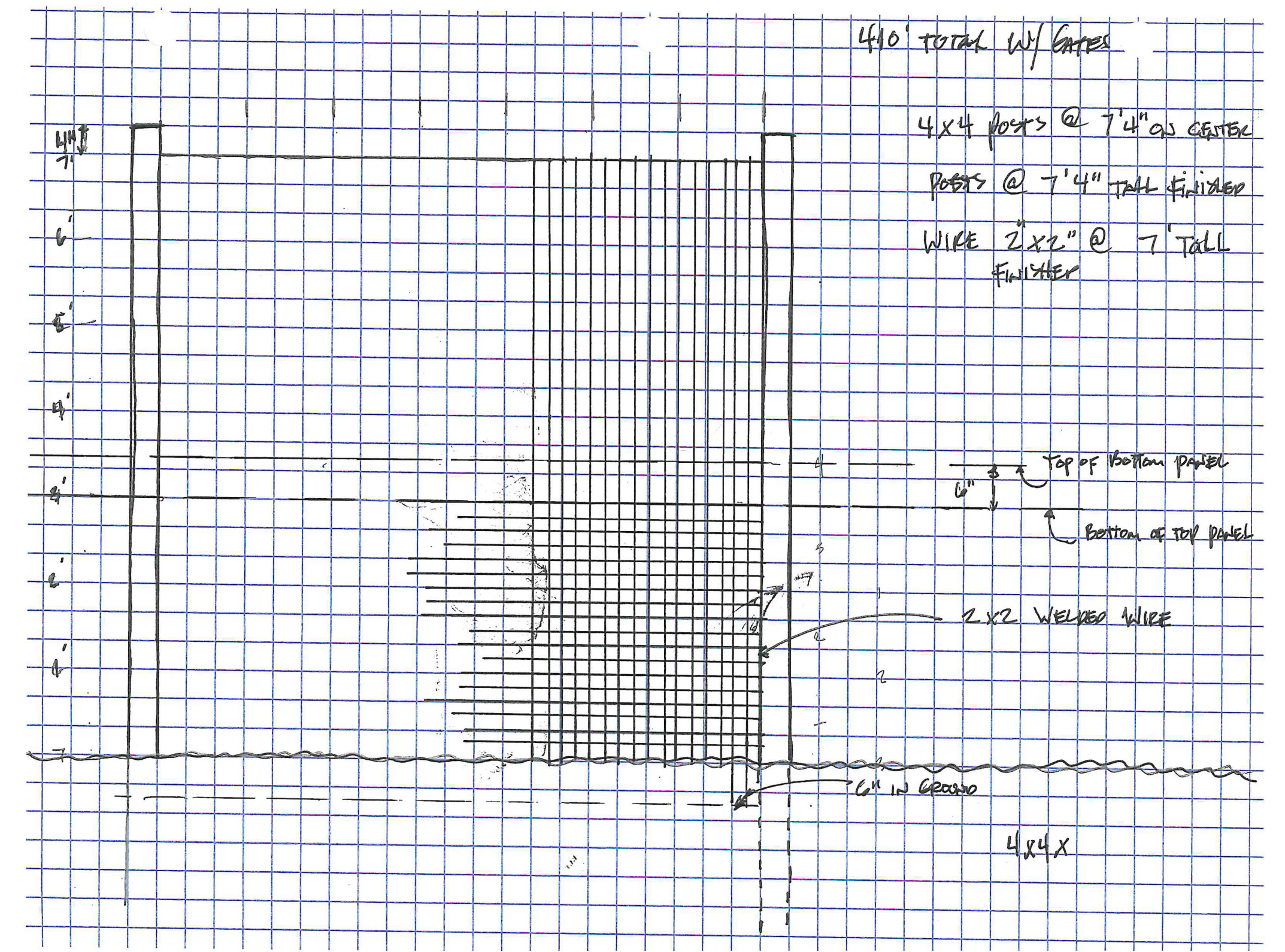
RAUGEWITZ-SMITH RESIDENCE
1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.: PDS2025-ER-25-10-001



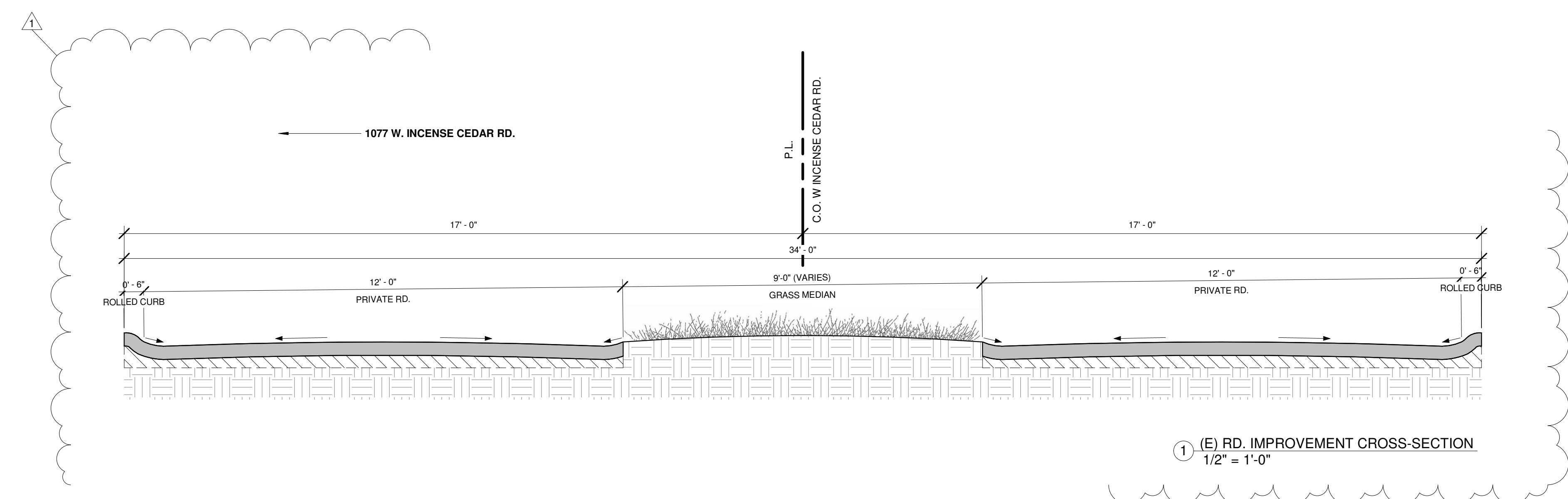
REV. NO. DESCRIPTION DATE
1 Revision 1 Date 1

HUBBELL & HUBBELL ARCHITECTS
1970 SIXTH AVE., SAN DIEGO, CA 92101
(619)-231-0446

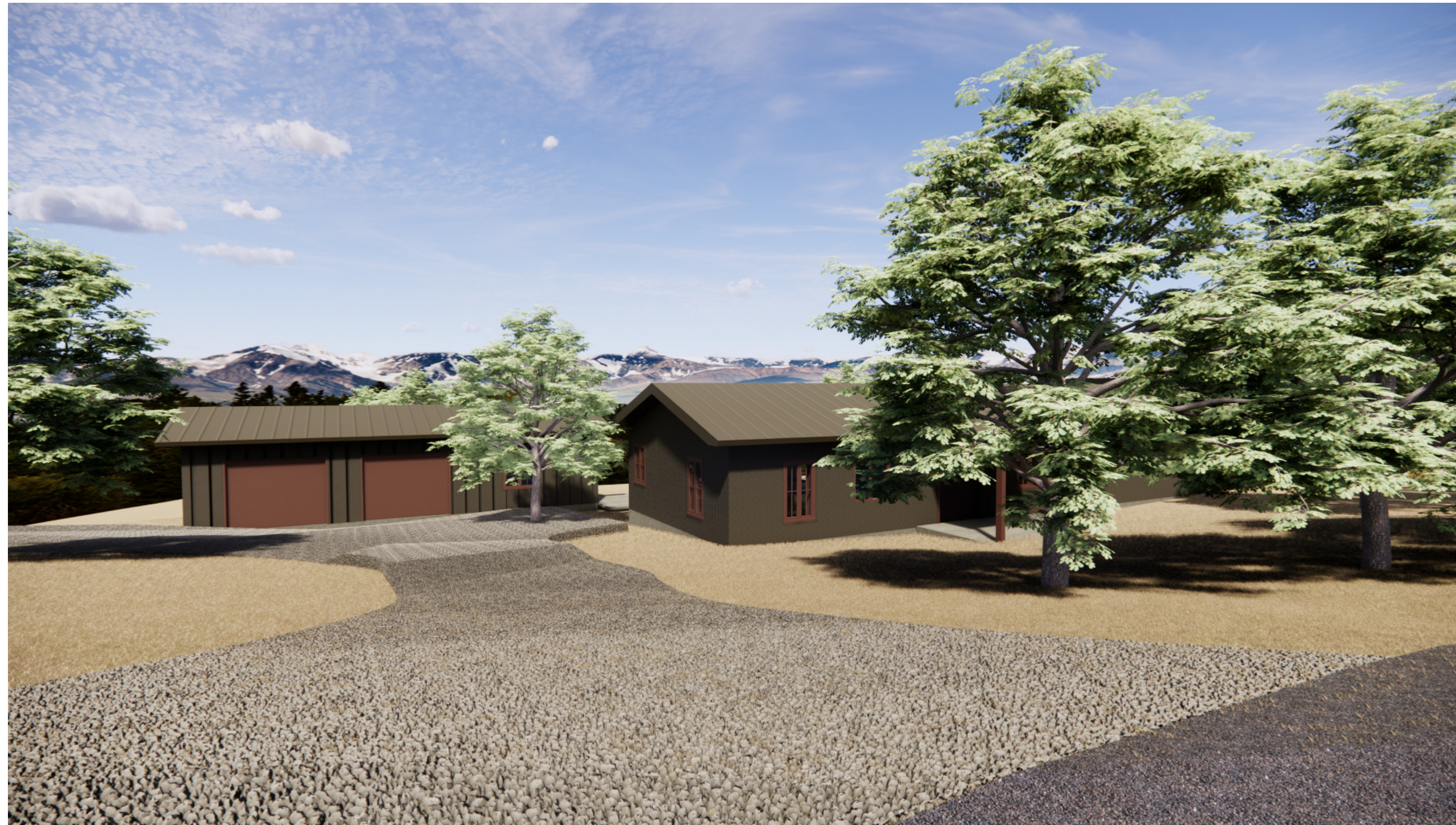
A500



2 FENCE DETAIL DRAWING
1/2" = 1'-0"



1 (E) RD. IMPROVEMENT CROSS-SECTION
1/2" = 1'-0"



③ VIEW FROM W INCENSE CEDAR RD.
12" = 1'-0"



⑤ VIEW FROM BACK YARD
12" = 1'-0"

EXT. BUILDING MATERIALS SHOWN:

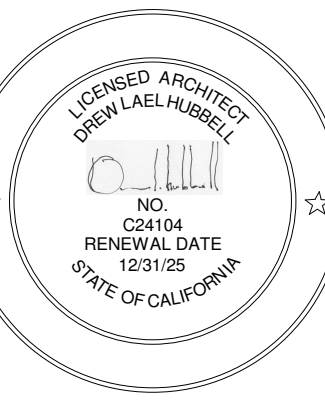
ROOF (RES. & GAR.):
STANDING SEAM - DARK TAN/SAGE FLAT PAINT FINISH

RESIDENCE WALLS:
LIGHT SAND STUCCO EXTERIOR WALL FINISH -
COLOR: DARK BROWNISH GREEN

GARAGE WALLS:
HARDIE PANEL SIDING / COLOR: MOUNTAIN SAGE
(TO MATCH RESIDENCE)

WINDOWS (RES. & GAR.):
ALUMINUM CLAD - COLOR: RUST/BURGUNDY ON
EXT.

GARAGE DOORS:
ALUMINUM - COLOR: RUST/BURGUNDY TO
MATCH TRIM



4/16/2026 10:43:57 AM

RAUGEWITZ-SMITH RESIDENCE
1077 W. INCENSE CEDAR RD
JULIAN, CA 92036
RECORD ID: PDS2025-STP-25-022; ENVIRONMENTAL LOG NO.:
PDS2025-ER-25-10-001



REV. NO.	DESCRIPTION	DATE
1	Revision 1	Date 1

HUBBELL & HUBBELL ARCHITECTS
1970 SIXTH AVE., SAN DIEGO, CA 92101
(619)-231-0446

A900

Julian Estates Property Owners Association (JEPOA)
PO Box 339
Julian, CA 92036
jepoapresident20252026@gmail.com

APRIL 15, 2026

To whom it may concern:

I am writing on behalf of two property owners in our community, Eric Smith and Jill Raugewitz, of 1077 W Incense Rd in Julian. They attended the JEPOA Board Meeting of 9/27/2025, and again on 3/7/26. Their request for standing seam metal roofing for their new construction domicile was discussed, and this request was met with approval to proceed forward with their project.

Feel free to email me with any questions about this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Raimo".

Eric Raimo
JEPOA President

PLANNING & DEVELOPMENT SERVICES
Fiscal Year 2026-27 Proposed Deposits/Fees

PERMIT TYPE	Deposit (D) or Fee (F)	CURRENT FEE/DEPOSIT	PROPOSED FEE/DEPOSIT	\$ CHANGE	% CHANGE
Land Planning Deposits & Fees					
ADMINISTRATIVE PERMITS					
Additional Story	F	\$2,623	\$2,706	\$83	3.2%
Agricultural Clearing	D	\$2,589	\$2,680	\$91	3.5%
Borrow Pit	D	\$6,027	\$6,226	\$199	3.3%
Boutique Winery	D	\$4,407	\$4,578	\$171	3.9%
Brushing/Clearing	D	\$4,107	\$4,260	\$153	3.7%
Family Day Care		Fees Waived	Fees Waived		
Fence Height	F	\$2,393	\$2,495	\$102	4.3%
Homeowners Association	D	\$2,479	\$2,502	\$23	0.9%
Horse Stable	D	\$6,027	\$6,226	\$199	3.3%
Host Home	F	\$4,113	\$4,265	\$152	3.7%
Lot Size Averaging	D	\$6,027	\$6,226	\$199	3.3%
Meteorological Testing Facilities	D	\$4,407	\$4,578	\$171	3.9%
Minor Deviation	F	\$1,390	\$1,408	\$18	1.3%
Mobile Financial Business Office	F	\$4,408	\$4,579	\$171	3.9%
Modification	D	\$4,854	\$4,998	\$144	3.0%
Off-Premise Sign	F	\$1,047	\$1,058	\$11	1.1%
On-Premise Sign	F	\$1,107	\$1,118	\$11	1.0%
Sign Modification	F	\$419	\$424	\$5	1.2%
Photovoltaic Solar Energy System	D	\$6,027	\$6,226	\$199	3.3%
Open Space Encroachment	D	\$5,529	\$5,653	\$124	2.2%
Oversized Structure	F	\$4,133	\$4,282	\$149	3.6%
Recycling Collection Facility (small)	D	\$4,407	\$4,578	\$171	3.9%
Standard Application	D	\$6,027	\$6,226	\$199	3.3%
Time Extension	F	\$1,405	\$1,431	\$26	1.9%
Wind Turbine Projects	D	\$6,027	\$6,226	\$199	3.3%
AGRICULTURAL PRESERVES					
Contracts/Amendments	D	\$6,084	\$6,262	\$178	2.9%
Establishment of a Preserve	D	\$7,808	\$8,001	\$193	2.5%
Disestablishment of a Preserve	D	\$7,808	\$8,001	\$193	2.5%
ALCOHOLIC BEVERAGE CONTROL (ABC) DETERMINATION					
Application	F	\$1,857	\$1,878	\$21	1.1%
APPEALS					

Administrative Decision	D/F	\$2,321	\$2,350	\$29	1.2%
To Board of Supervisors	D/F	\$1,000	\$1,000	\$0	0.0%
To Planning Commission	D/F	\$1,000	\$1,000	\$0	0.0%
ASSESSMENT DISTRICT FORMATION					
Application	D	\$7,168	\$7,394	\$226	3.2%
BOUNDARY ADJUSTMENTS					
Standard Application	F	\$3,801	\$3,886	\$85	2.2%
CENTERLINE REVIEW					
Review	D	\$2,133	\$2,292	\$159	7.5%
CERTIFICATES OF COMPLIANCE					
Application Legal Lot	F	\$2,909	\$3,002	\$93	3.2%
Certificate of Compliance With Boundary Adjustment	D	\$2,896	\$2,976	\$80	2.8%
Certificate in Lieu of Tentative Map	D	\$9,262	\$9,684	\$422	4.6%
Certificate in Lieu of Tentative Parcel Map	D	\$9,262	\$9,684	\$422	4.6%
Non-Refundable Violation Fee (MSV)	F	\$600	\$600	\$0	0.0%
Violation of Subdivision Ordinance (MSV)	D	\$15,676	\$16,402	\$726	4.6%
CONDITION SATISFACTION COMPLIANCE REVIEW					
Condition Satisfaction Review - Mitigation Monitoring Compliance	F, F, D	Dependent on number of conditions: 1-5: \$599 fee, 6-10: \$1,198 fee, 11-15: \$1,734 deposit	Dependent on number of conditions: 1-5: \$615 fee, 6-10: \$1,230 fee, 11-15: \$1,805 deposit	\$71	4.1%
CONSTRUCTION PERMIT					
Application	F	\$210	\$214	\$4	1.9%
Time Extension	F	\$81	\$87	\$6	7.4%
CONSULTANT LIST					
CEQA Consultant Application	F	\$587	\$603	\$16	2.7%
CEQA Consultant List Renewal Application	F	\$288	\$299	\$11	3.8%
Appeal of Scoring for Placement on the CEQA Consultant List	F	\$431	\$446	\$15	3.5%
COVENANT RELEASE FEE	F	\$404	\$414	\$10	2.5%
ENCROACHMENT PERMIT					
Application	F	\$210	\$217	\$7	3.3%
Time Extension	F	\$81	\$87	\$6	6.9%
ENVIRONMENTAL ACTIONS (CEQA)					
Application for Environmental Initial Study (AEIS) - Average	D	\$5,190	\$5,242	\$52	1.0%

AEIS - Major	D	\$7,631	\$7,727	\$96	1.3%
AEIS - Previous/Minor	D	\$2,007	\$2,032	\$25	1.2%
CEQA Exemption	F/D	\$904	\$916	\$12	1.3%
EXCAVATION PERMIT					
Application	F	\$210	\$214	\$4	1.9%
Time Extension	F	\$81	\$87	\$6	7.4%
GENERAL PLAN AMENDMENT					
Initial Consultation	F	\$6,216	\$6,294	\$78	1.3%
Standard Application	D	\$21,210	\$22,124	\$914	4.3%
GRADING PERMIT (PLAN CHECK BY CU. YDS.)					
Minor DPW Grading Permit	D	\$5,655	\$6,003	\$348	6.2%
Major DPW Grading Permit	D	\$10,084	\$10,799	\$715	7.1%
HABITAT LOSS PERMIT					
Application	D	\$7,033	\$7,199	\$166	2.4%
IMPROVEMENT PLAN - Curb Grade					
Curb Grade Review	D	\$8,007	\$8,532	\$525	6.6%
IMPROVEMENT PLAN - Parcel Map (TPM)					
Parcel Map (TPM) Review	D	\$6,760	\$7,215	\$455	6.7%
Self-Certification of Private Road (4 homes max)	F	\$2,592	\$2,780	\$188	7.3%
IMPROVEMENT PLAN -Subdivision Map Tentative Map (TM)					
Subdivision Map TM Review	D	\$14,045	\$15,075	\$1,030	7.3%
LANDSCAPE AND IRRIGATION PLANS					
Landscape Documentation Package (2,500 sq. ft. and above)	F	\$2,454	\$2,445	(\$9)	-0.4%
Landscape Documentation Package - Modification	F	\$1,231	\$1,223	(\$9)	-0.7%
Revegetation Plan/Monitoring	D	\$5,683	\$5,663	(\$20)	-0.4%
MAJOR SUBDIVISIONS (TENTATIVE MAP)					
Final Map Modification (Change of Circumstance)	D	\$8,120	\$8,620	\$500	6.2%
Revised Map	D	\$11,731	\$12,192	\$461	3.9%
Standard Application (1 - 49 lots)	D	\$25,255	\$26,393	\$1,138	4.5%
Standard Application (50 lots and up)	D	\$25,255	\$26,393	\$1,138	4.5%
Time Extension	D	\$7,593	\$7,865	\$272	3.6%
Application - Condo Conversion	D	\$13,432	\$13,922	\$490	3.6%
MAJOR USE PERMIT					
Borrow Pit	D	\$13,392	\$13,866	\$474	3.5%
Compliance Inspection	F	\$1,029	\$1,046	\$17	1.7%

Minor Deviation	F	\$1,093	\$1,105	\$12	1.1%
Mobilehome Park	D	\$4,596	\$4,774	\$178	3.9%
Mobilehome Park Conversion - Threshold Determination	D	\$4,596	\$4,774	\$178	3.9%
Modification	D	\$9,928	\$10,378	\$450	4.5%
Planned Development	D	\$13,392	\$13,866	\$474	3.5%
Planned Development - Administrative Deviation from approved PRD Plot Plan	F	\$379	\$384	\$5	1.3%
Planned Development - Waiver of Planned Development Regulations	D	\$1,274	\$1,324	\$50	3.9%
Standard Application	D	\$13,392	\$13,866	\$474	3.5%
Time Extension	D	\$7,088	\$7,346	\$258	3.6%
Wireless Telecommunications (Tier 4)	D	\$13,392	\$13,866	\$474	3.5%
MILLS ACT APPLICATION	F	\$1,670	\$1,687	\$17	1.0%
MINOR SUBDIVISIONS (TENTATIVE PARCEL MAP)					
Condo Conversion	D	\$15,330	\$15,926	\$596	3.9%
Parcel Map Review	D	\$5,946	\$6,192	\$246	4.1%
Parcel Map Amendment Review (Map Modification)	D	\$7,542	\$7,687	\$145	1.9%
Modification (Final Notice of Approval Amendment)	F	\$1,211	\$1,301	\$90	7.4%
Revised Tentative Parcel Map	D	\$5,431	\$5,614	\$183	3.4%
Standard Application	D	\$15,330	\$15,926	\$596	3.9%
Standard Application - Two Lots	F	\$20,253	\$20,863	\$610	3.0%
SB-9 - 2 Lot Tentative Parcel Map (Planning)	F	\$6,678	\$6,978	\$300	4.5%
SB-9 - 2 Lot Tentative Parcel Map (Land Development)	F	\$10,012	\$11,161	\$1,149	11.5%
Time Extension	F	\$4,772	\$5,000	\$228	4.8%
MINOR USE PERMIT					
Minor Deviation	F	\$2,365	\$2,410	\$45	1.9%
Modification	D	\$5,312	\$5,465	\$153	2.9%
Standard Application	D	\$7,063	\$7,322	\$259	3.7%
Time Extension	F	\$2,208	\$2,252	\$44	2.0%
Wireless Telecommunications within County ROW (Tier 3)	D	\$7,063	\$7,322	\$259	3.7%
MISCELLANEOUS					
Administrative Fence Height Exception	F	\$441	\$446	\$5	1.1%
Expedited Review	D	1.5 x Staff Rate	1.5 x Staff Rate	\$0	0.0%
Rebuild Letter	F	T&M	T&M	\$0	0.0%

Impact Fee Deferral	F	\$248	\$256	\$8	3.2%
Zoning History Letter	F	T&M	T&M	\$0	0.0%
Self-Certification Enrollment - Land Development	F	\$1,205	\$1,239	\$34	2.8%
Self-Certification Training - Land Development	F	\$592	\$639	\$47	7.9%
Purchase of Agricultural Conservation Easements (PACE) Mitigation Credit	F	\$3,827	\$3,939	\$112	2.9%
PRE-APPLICATION CONFERENCE					
Initial Consultation - 1 specialty additional deposit for each additional specialty	D	\$3,236	\$3,374	\$138	4.3%
		\$500	\$500		
Major Project Pre-Application Conference	D	\$14,256	\$14,975	\$719	5.0%
Plan Pre-submittal - Building	F	\$89	\$92	\$3	3.4%
Plan Pre-submittal - Final Engineering/Final Map	D	\$356	\$359	\$3	0.8%
RECLAMATION PLAN					
Application	D	\$11,328	\$11,754	\$426	3.8%
Modification	D	\$7,840	\$8,080	\$240	3.1%
RESOURCE MANAGEMENT PLAN					
Initial Review	D	\$3,478	\$3,637	\$159	4.6%
REZONE (ZONE CLASSIFICATION)					
Application	D	\$14,065	\$14,716	\$651	4.6%
ROAD MATTERS					
General Plan Conformance Review	F	\$357	\$362	\$5	1.4%
Opening/Vacation	D	\$3,236	\$3,471	\$235	7.3%
Remandment Review	D	\$3,214	\$3,361	\$147	4.6%
MOVING PERMIT/ ROUTE EVALUATION					
Moving	F	Single Trip \$16; Annual Permit \$90	Single Trip \$16; Annual Permit \$90	\$0	0.0%
SITE PLANS					
B Designator	D	\$4,936	\$5,096	\$160	3.2%
B Designator Modification	D	\$5,432	\$5,618	\$186	3.4%
B Designator Design Review Checklist	F	\$1,214	\$1,227	\$13	1.1%
D Designator	D	\$4,936	\$5,018	\$82	1.7%
D Designator Modification	D	\$5,432	\$5,618	\$186	3.4%
J Designator	D	\$4,936	\$5,018	\$82	1.7%
J Designator Modification	D	\$5,432	\$5,618	\$186	3.4%
Minor Deviation	F	\$1,714	\$1,735	\$21	1.2%
Modification	D	\$5,432	\$5,618	\$186	3.4%
Standard Application	D	\$8,374	\$8,632	\$258	3.1%
Time Extension	F	\$1,547	\$1,583	\$36	2.3%

Wireless Telecommunication (Tier 1) Administrative Site Plan	D	\$8,374	\$8,632	\$258	3.1%
SPECIFIC PLANS (LARGE SCALE)					
Application	D	\$24,270	\$25,281	\$1,011	4.2%
Amendment	D	\$21,210	\$22,124	\$914	4.3%
STORMWATER MANAGEMENT PLAN					
SWMP Intake Review/Minor SWMP	D	\$1,475	\$1,589	\$114	7.7%
Major SWMP/SWQMP	D	\$3,896	\$4,191	\$295	7.6%
VACATION					
Open Space Easement Vacation	D	\$6,318	\$6,525	\$207	3.3%
Public Service Easement Vacation	D	\$6,318	\$6,525	\$207	3.3%
VARIANCE					
Administrative Variance	F	\$4,922	\$5,162	\$240	4.9%
Minor Deviation	F	\$1,596	\$1,616	\$20	1.3%
Modification	F	\$4,802	\$4,989	\$187	3.9%
Noise Variance Permit	F	\$1,840	\$1,857	\$17	0.9%
Standard Application	D	\$5,057	\$5,141	\$84	1.7%
Time Extension	F	\$1,157	\$1,190	\$33	2.9%
ZONING VERIFICATION PERMIT					
Standard Application	F	\$1,655	\$1,674	\$19	1.1%

PERMIT TYPE	Deposit (D) or Fee (F)	CURRENT FEE	PROPOSED FEE	\$ CHANGE	% CHANGE
Trails Review					
GENERAL PLAN AMENDMENT					
Initial Review	F	\$714	\$723	\$9	1.3%
Subsequent Review	F	\$476	\$482	\$6	1.3%
GRADING PLAN (MAJOR GRADING PERMIT)					
Initial Review	F	\$476	\$482	\$6	1.3%
Subsequent Review	F	\$238	\$241	\$3	1.3%
LANDSCAPE AND IRRIGATION PLAN					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MAJOR SUBDIVISION (REVISED TENTATIVE MAP)					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%

MAJOR SUBDIVISION (TENTATIVE MAP)					
Initial Review Standard Application	F	\$476	\$482	\$6	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MAJOR USE PERMIT					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MAJOR USE PERMIT - MODIFICATION					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MINOR SUBDIVISION (REVISED TENTATIVE PARCEL MAP)					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MINOR SUBDIVISION (TENTATIVE PARCEL MAP)					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MINOR SUBDIVISION (Two Lots)					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
MAJOR PRE-APPLICATION	F	\$476	\$482	\$6	1.3%
RECLAMATION PLAN					
Initial Review	F	\$476	\$482	\$6	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
RECLAMATION PLAN - MODIFICATION					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
SITE PLAN					
Initial Review	F	\$476	\$482	\$6	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
SITE PLAN - MODIFICATION					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
SPECIFIC PLAN					
Initial Review	F	\$476	\$482	\$6	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%
SPECIFIC PLAN AMENDMENT					
Initial Review	F	\$238	\$241	\$3	1.3%
Subsequent Review - Trails	F	\$238	\$241	\$3	1.3%

Comparison of Current vs. Proposed Total Building Permit Fees FY 26-27

This table should be used for comparative purposes only. In most cases the fee shown is a sample based on the median floor area of a typical project.

Estimated Annual Permits	Category	Current Permit Fees	Proposed Permit Fees FY 26-27	\$ Change	% Change
167	Single Family Dwelling/Duplex	\$9,126	\$9,540	\$414	4.5%
2	Single Family Dwelling/Duplex - Simple enough for OTC review	\$4,117	\$4,245	\$129	3.1%
10	One & Two Family Tract Models	\$5,305	\$5,536	\$231	4.3%
298	One & Two Family Tract Subsequent Phases	\$2,258	\$2,362	\$104	4.6%
86	M-H Perm Fdn Private Lot	\$2,110	\$2,209	\$99	4.7%
0	M-H Perm on Piers (Private Lot)	\$429	\$451	\$22	5.1%
233	Accessory Dwelling Unit - Log in	\$4,434	\$4,635	\$201	4.5%
43	Accessory Dwelling Unit - Simple enough for OTC review	\$3,556	\$3,722	\$165	4.7%
2	Guest House	\$3,655	\$3,821	\$166	4.5%
7	Cabanas, Pool House, Recreation Room requiring plan check submittal	\$4,209	\$4,399	\$190	4.5%
7	Barns, Ag Bldgs Acc to SFD's, Greenhouses - Simple enough for OTC review	\$1,571	\$1,644	\$73	4.6%
2	Barns, Ag Bldgs Acc to SFD's, Greenhouses requiring plancheck submittal	\$2,982	\$3,111	\$129	4.3%
338	Swimming Pool/Spa	\$1,165	\$1,221	\$56	4.8%
454	Misc. Permits. Minor int. SFD remodel/repairs-no structural change, patios, canopies, fences, re-roofs, etc. Stairs, Radio Towers, Antennas for OTC review	\$885	\$926	\$41	4.6%
43	Misc. Permits requiring plancheck submittal	\$2,194	\$2,287	\$93	4.2%
14	Commercial Misc. (Antenna, Canopy, Racks) for OTC review	\$1,315	\$1,377	\$62	4.7%
12	Commercial Misc. (Antenna, Canopy, Racks) requiring plancheck submittal	\$3,191	\$3,328	\$137	4.3%
14	Major SFD Remodel, No Add'l Sq. Ft.	\$4,011	\$4,192	\$181	4.5%
22	Retaining Walls (other than County Std) for OTC review	\$973	\$1,020	\$47	4.8%
19	Retaining Walls (other than County Std) requiring plancheck submittal	\$2,594	\$2,706	\$112	4.3%
24	Additions to SFD/Duplex (1 to 100 sf)	\$1,645	\$1,724	\$79	4.8%
36	Additions to SFD/Duplex simple enough for OTC review (Larger than 100 sf)	\$2,115	\$2,218	\$102	4.8%
120	Additions to SFD/Duplex requiring plancheck submittal (Larger than 100 sf)	\$4,095	\$4,279	\$184	4.5%
101	Res. Garage, Carport, Storage Bldg., Cabana, Pool House, or Rec Room Simple enough for OTC review	\$1,992	\$2,087	\$95	4.8%
55	Res. Garage, Carport or Storage Bldg. - Requiring plan check submittal	\$2,879	\$3,011	\$132	4.6%
94	Demolition Permit	\$205	\$215	\$10	4.9%
0	Compliance Survey for Move-On Homes	\$367	\$386	\$19	5.2%
2880	Electrical, Plumbing or Mechanical Permits (1 Trade)	\$373	\$392	\$19	5.1%
3466	PV Roof Mount - Online Permit	\$278	\$292	\$14	5.0%
34	PV Roof Mount - Walk-in	\$328	\$345	\$17	5.2%

175	PV Ground Mount	\$478	\$502	\$24	5.0%
0	Wind Turbine - Residential	\$638	\$671	\$33	5.2%
230	Residential Electrical Vehicle Charging Station	\$144	\$151	\$7	4.9%
221	Electrical, Plumbing and Mechanical Permits (2 Trade)	\$474	\$498	\$24	5.1%
168	Electrical, Plumbing and Mechanical Permits (3 Trade)	\$698	\$734	\$36	5.2%
62	Grading	\$1,850	\$1,933	\$83	4.5%
2	Grading Self-Certification	\$1,251	\$1,309	\$58	4.6%
0	Tenant Improvement Self-Certification (Plan Check)	\$533	\$554	\$21	3.9%
0	Self-Certification Enrollment	\$892	\$938	\$46	5.2%
0	Self-Certification Training	\$422	\$444	\$22	5.2%
0	Missed Appointment Fee	\$271	\$282	\$11	4.1%
0	Stormwater - Supplemental Fee for High Priority Projects	\$884	\$929	\$45	5.1%
437	Temporary Construction Power	\$195	\$205	\$10	5.1%
	Temporary Construction Trailer	\$195	\$205	\$10	5.1%
12	Temporary Occupancy Permits	\$195	\$205	\$10	5.1%
394	Re-Inspection/Progress Inspection Fee	\$195	\$205	\$10	5.1%
271	Permit Research Verification Fee	\$40	\$42	\$2	5.0%
2	Appeal to Building or Fire Appeals Board	\$1,260	\$1,324	\$64	5.1%
0	Transfer of Plan Review or Permit to Different Parcel	\$602	\$626	\$24	4.0%
0	Address Assignment with building permit	\$164	\$171	\$7	4.3%
0	Address Assignment without building permit	\$179	\$186	\$7	3.9%
0	Private Street Naming (No Hearing)	\$179	\$186	\$7	3.9%
0	Hearing for Name or Change of Names	\$2,027	\$2,027	\$0	0.0%
	Commercial PV	<=50kW, \$1,000; 50-250kW: \$1,000+(System size in kW-50)*\$7; >=250kW, \$2,400+(System size in kW-250)*\$1			
	Wind Turbine - Commercial				

Cannabis Licensing Fee	Deposit (D) or Fee (F)	CURRENT FEE	PROPOSED FEE	\$ CHANGE	% CHANGE
License Renewal Fee	F	\$20,644	\$20,174	(\$470)	-2.3%
Business Practice Modification Fee	F	\$5,680	\$5,628	(\$52)	-0.9%
Business Ownership Modification Fee	F	\$1,408	\$1,432	\$24	1.7%