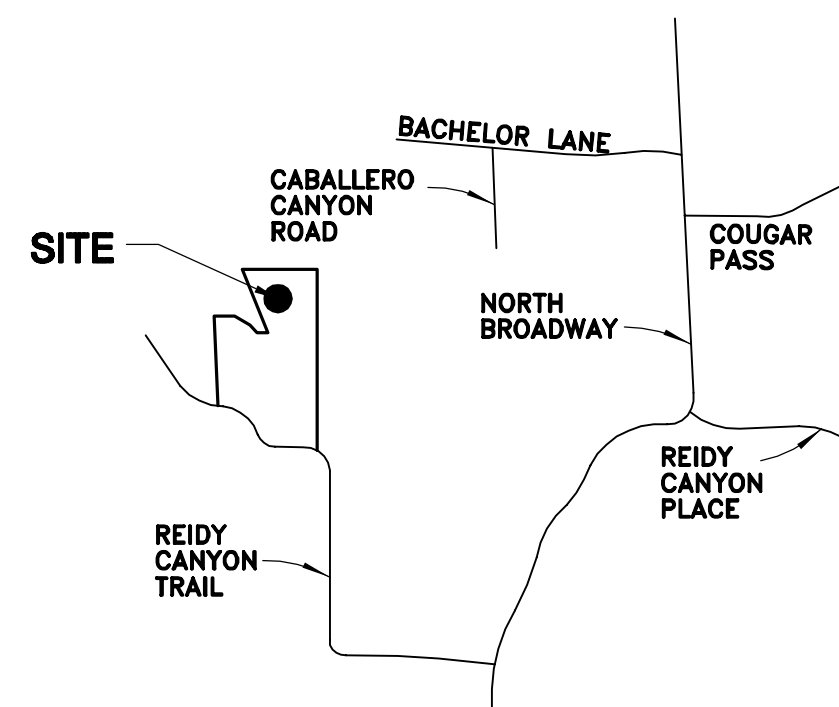




NORTH BROADWAY
10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026

VICINITY MAP



THOMAS GUIDE PAGE: 1089 - G7



ADDRESS

10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE):

1. HEAD SOUTHWEST ON SAND CANYON AVE TOWARD BARRANCA PKWY
2. SLIGHT LEFT TO STAY ON SAND CANYON AVE
3. MERGE ONTO I-405 S VIA THE RAMP TO SAN DIEGO
4. MERGE ONTO I-5 S
5. TAKE THE VISTA WAY/CA-78 EXIT
6. MERGE ONTO CA-78 E
7. TURN LEFT ONTO N BROADWAY
8. TURN LEFT ONTO REIDY CANYON TRAIL

DESTINATION WILL BE ON THE LEFT

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

CONSULTANT TEAM

ARCHITECT:

BOOTH & SUAREZ ARCHITECTURE INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

SURVEYOR:

JRN CIVIL ENGINEERS
232 AVENIDA FABRICANTE, SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

LEASING/PLANNING:

FMHC
4060 CAMPUS DRIVE #200
NEWPORT BEACH, CA 92660
CONTACT:
VICTORIA SANFILIPPO - LEASING
(714) 476-1516
MARK LINMAN - ZONING
(619) 997-8288

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: (ASSESSOR'S PARCEL NO: 187-041-60)

PARCEL A OF CERTIFICATE OF COMPLIANCE NO. C08-0004, RECORDED FEBRUARY 7, 2008 AS INSTRUMENT NO. 2008-0063429 OF OFFICIAL RECORDS IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING PARCEL 4 OF PARCEL MAP NO. 12166, FILED IN THE OFFICE OF THE COUNTY RECORDER JUNE 3, 1982 TOGETHER WITH THAT PORTION OF THE NORTHWEST QUARTER OF SAID SECTION 28, TOWNSHIP 11 SOUTH, RANGE 2 WEST, LYING SOUTHERLY OF THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 28, TOWNSHIP 11 SOUTH, RANGE 2 WEST.

PARCEL 2: (ASSESSOR'S PARCEL NO: 187-041-54 AND 55)

PARCELS 2 AND 3, OF PARCEL MAP NO. 12166, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1982.

PERMITS REQUIRED

- MUP

PROJECT SUMMARY

APPLICANT:

VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: VICTORIA SANFILIPPO
PHONE: (714) 476-1516

OWNER:

GARDENLIFE - FARM LLC
9787 CRYSTAL RIDGE DRIVE
ESCONDIDO, CA 92026
CONTACT: KEN ALTMAN
PHONE: (760) 535-0660

PROJECT DESCRIPTION:

- INSTALLATION OF **VERIZON WIRELESS** TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A NEW FIBREBOND PREFABRICATED SHELTER ON A CONCRETE PAD INSIDE A NEW CONCRETE BLOCK WALL COMPOUND.
- INSTALLATION OF THREE (3) **VERIZON WIRELESS** ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED ON A NEW 50'-0" HIGH MONO-BROADLEAF TREE
- INSTALLATION OF FOUR (4) **VERIZON WIRELESS** RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND ANTENNAS ON PROPOSED 50'-0" HIGH MONO-BROADLEAF TREE
- INSTALLATION OF ONE (1) **VERIZON WIRELESS** 4'-0"Ø MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED ON PROPOSED 50'-0" HIGH MONO-BROADLEAF TREE
- INSTALLATION OF TWO (2) **VERIZON WIRELESS** E/911 GPS ANTENNAS
- INSTALLATION OF A NEW CONCRETE BLOCK WALL ENCLOSURE
- INSTALLATION OF A 30kW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE A CHAIN LINK CAGE INSIDE PROPOSED CONCRETE BLOCK COMPOUND.
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION
- MINOR LANDSCAPING AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS:

10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026

ASSESSORS PARCEL NUMBER:

187-041-60,
187-041-54 & 55

EXISTING ZONING:

A70

TOTAL SITE AREA:

3,233,233 S.F.
= 74.2 ACRES

PROPOSED PROJECT AREA:

PREFAB. SHELTER AREA: 194 SF
CONCRETE BLOCK COMPOUND AREA: 900 SF

PROPOSED TYPE OF CONSTRUCTION:

TYPE VB

PROPOSED OCCUPANCY:

U

NOTE: THERE ARE NO EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-0.1	STORM WATER MANAGEMENT PLAN
A-1	ENLARGED SITE PLAN
A-2	ENLARGED AREA PLAN
A-3	EXTERIOR ELEVATIONS
A-4	EQUIPMENT SHELTER ELEVATIONS
A-4.1	EQUIPMENT SHELTER FLOOR PLAN
A-5	MONO-BROADLEAF ELEVATION, ANTENNA PLAN & DETAILS
C-1	TOPOGRAPHIC SURVEY

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

APPLICABLE CODES

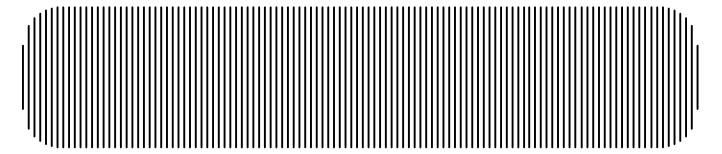
ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
CALIFORNIA PLUMBING CODE, 2010 EDITION
CALIFORNIA MECHANICAL CODE, 2010 EDITION
CALIFORNIA ELECTRICAL CODE, 2010 EDITION
CALIFORNIA FIRE CODE, 2010 EDITION
CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

Booth & Suarez

ARCHITECTURE ■ INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

NORTH BROADWAY

10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026

SAN DIEGO COUNTY

DRAWING DATES

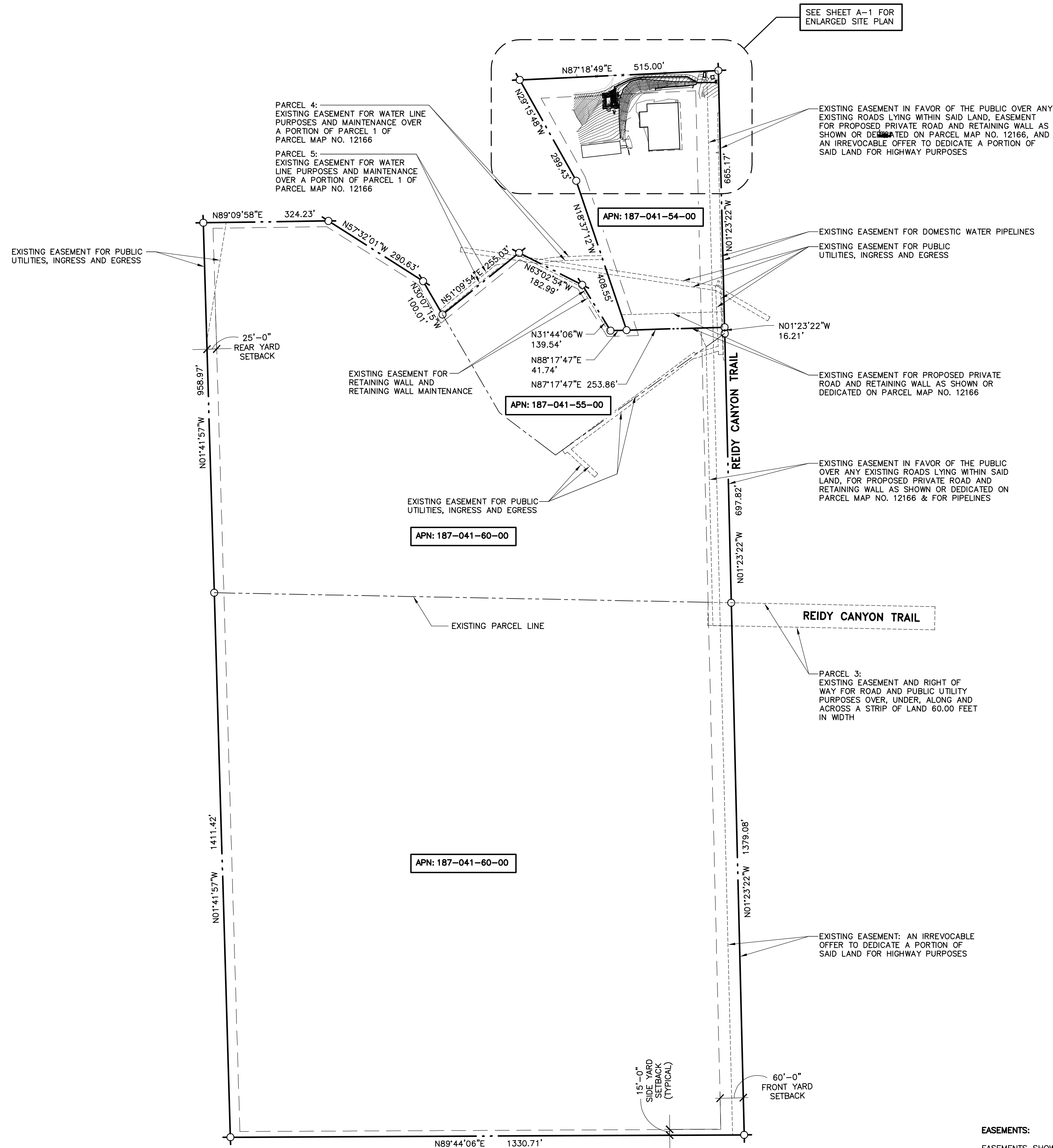
10/22/13	90% ZD (se)
10/23/13	100% ZD (rd)
11/20/13	100% ZD REVISION 1 (rd)
01/09/14	100% ZD REVISION 2 (rd)
01/13/14	100% ZD REVISION 3 (se)
01/15/14	100% ZD REVISION 4 (se)
05/23/14	100% ZD REVISION 5 (ic)
08/06/14	100% ZD REVISION 6 (ic)
12/15/14	100% ZD REVISION 7 (ic)
02/25/15	100% ZD REVISION 8 (se)
03/31/15	100% ZD REVISION 9 (se)
05/20/15	100% ZD REVISION 10 (ic)
07/13/15	100% ZD REVISION 11 (rd)

SHEET TITLE

**TITLE SHEET
&
PROJECT DATA**

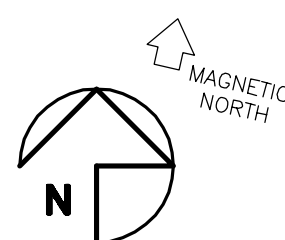
PROJECTS\VERIZON\13279

T-1



SITE PLAN

SCALE: 1" = 160'-0"

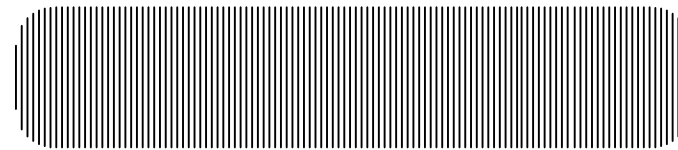


EASEMENTS:

EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS

BOUNDARY NOTE:

THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED



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IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

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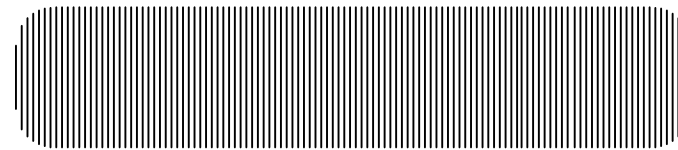
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08/06/14	100% ZD REVISION 6 (ic)
12/15/14	100% ZD REVISION 7 (ic)
02/25/15	100% ZD REVISION 8 (se)
03/31/15	100% ZD REVISION 9 (se)
05/20/15	100% ZD REVISION 10 (ic)
07/13/15	100% ZD REVISION 11 (r)

SHEET TITLE

SITE PLAN

PROJECTS\VERIZON\13279

A-0



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IRVINE, CA 92623-9707
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APPROVALS

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PROJECT NAME

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SAN DIEGO COUNTY

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05/20/15	100% ZD REVISION 10 (ic)
07/13/15	100% ZD REVISION 11 (r)

SHEET TITLE

STORM WATER
MANAGEMENT PLAN

PROJECTS\VERIZON\13279

A-0.1

CONSTRUCTION STORMWATER BMPs:

DIRECTION OF LOT DRAINAGE → →

SS-4 HYDRAULIC STABILIZATION HYDROSEEDING

SC-5 FIBER ROLLS —FR—FR—

TC-1 STABILIZED CONSTRUCTION ENTRANCE

WM-1 MATERIAL DELIVERY & STORAGE

WM-8 CONCRETE WASTE MANAGEMENT

WM-5 SOLID WASTE MANAGEMENT

WM-9 SANITARY WASTE MANAGEMENT

WM-6 HAZARDOUS WASTE MANAGEMENT

LID PLANNING PRACTICE:

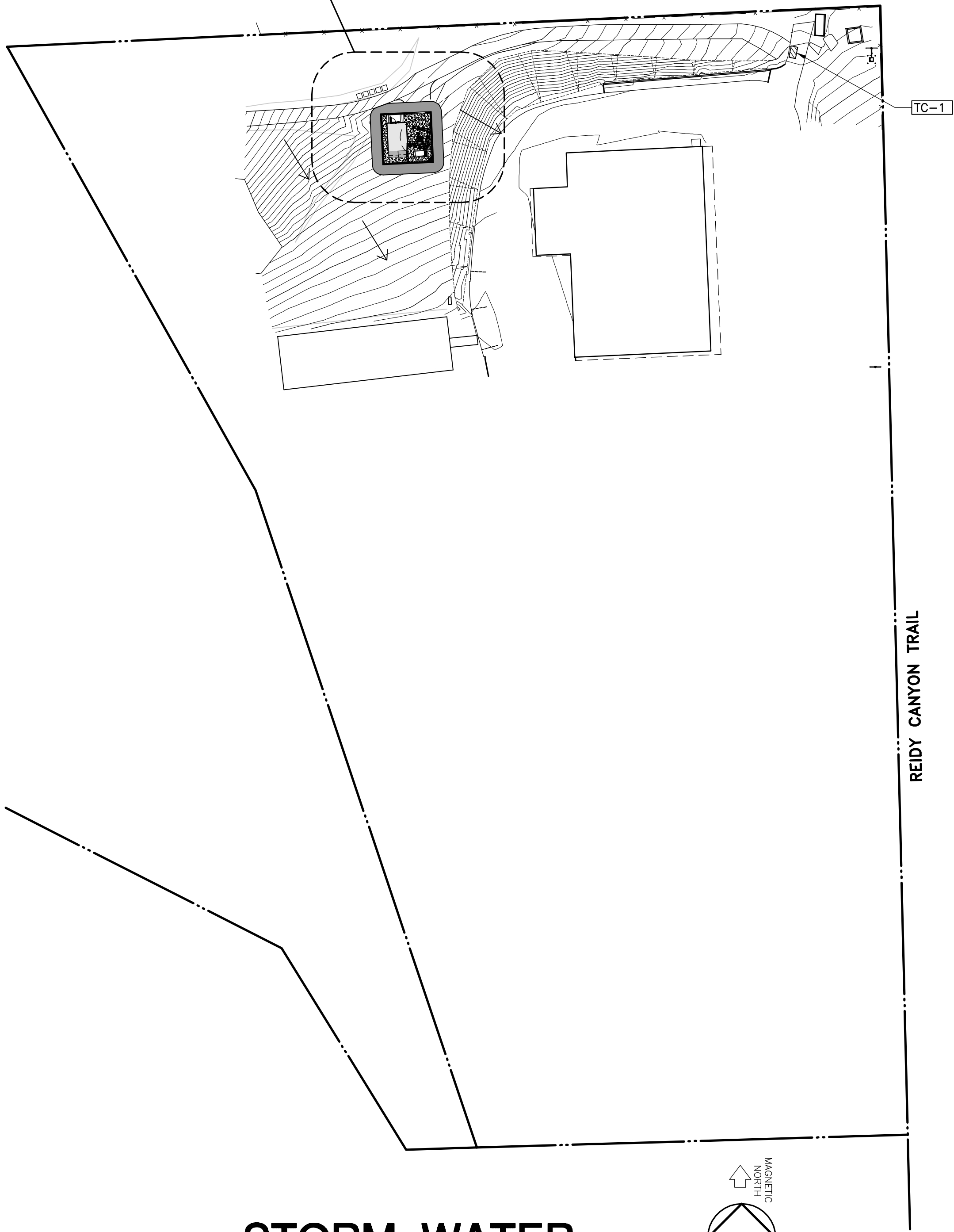
2.2.1 WELL DRAIN SOIL

2.2.3 MINIMIZE IMPERVIOUS SURFACES

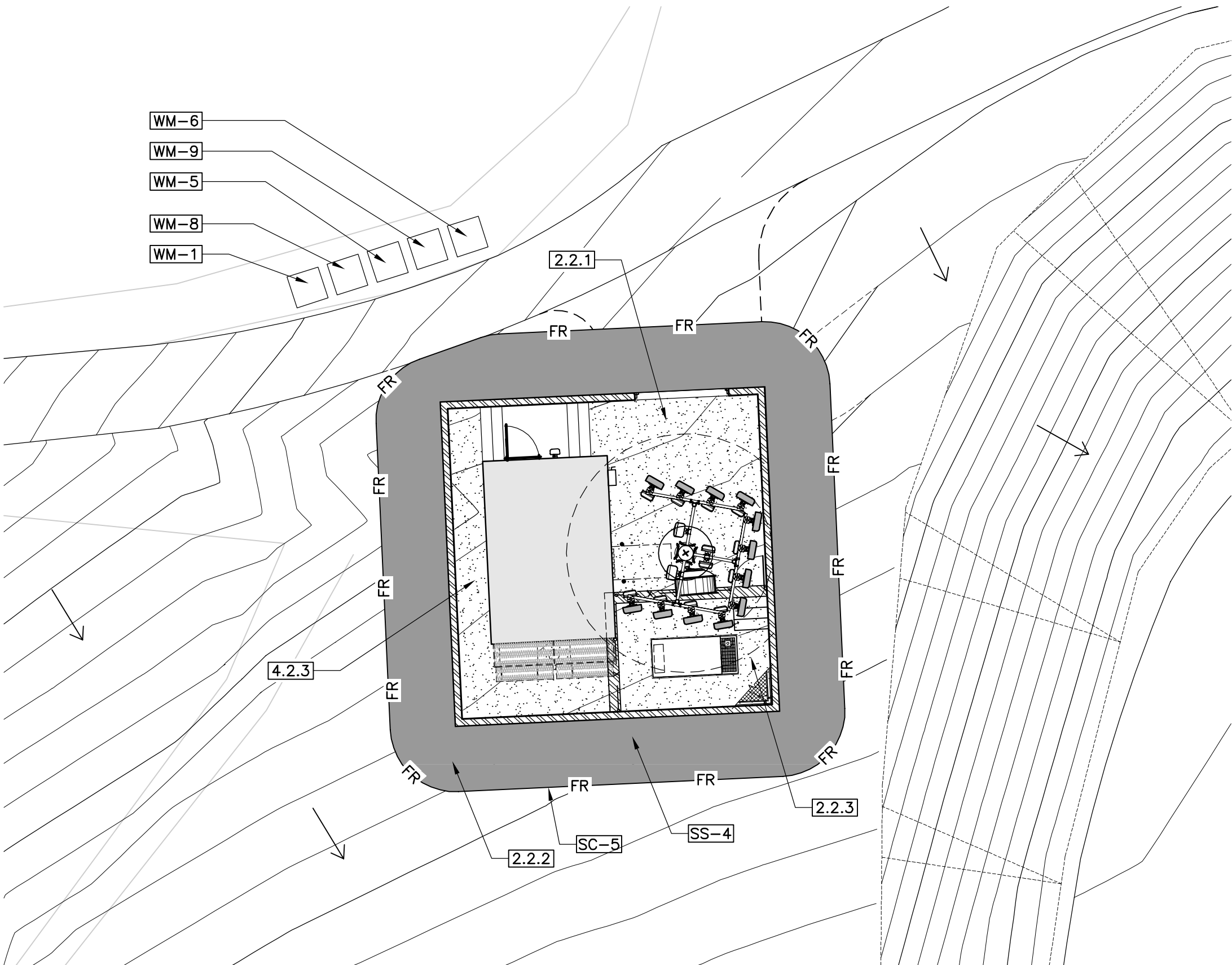
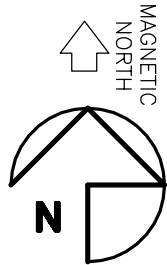
LID MANAGEMENT PRACTICE:

4.2.3 PERMEABLE PAVEMENT DESIGN

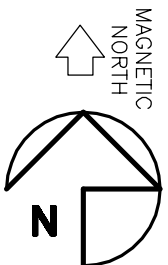
SEE ENLARGED STORM
WATER MANAGEMENT
PLAN THIS SHEET



STORM WATER
MANAGEMENT PLAN
SCALE: 1" = 50'-0"



ENLARGED STORM WATER MANAGEMENT PLAN
SCALE: 1" = 10'-0"



GAMMA SECTOR
AZIMUTH 30°

PROPOSED 2' x 3' TELCO
PULL BOX (TYPICAL)

PROPOSED 17" x 30" ELECTRICAL
PULL BOX (TYPICAL)

PROPOSED VERIZON WIRELESS ANTENNAS
MOUNTED TO PROPOSED 50'-0" HIGH
VERIZON WIRELESS MONO-BROADLEAF TREE

PROPOSED 4'-0" VERIZON WIRELESS
MICROWAVE ANTENNA MOUNTED TO
PROPOSED 50'-0" HIGH MONO-BROADLEAF
TREE

EXISTING DIRT PATH

PROPOSED JOINT UTILITY TRENCH
(ELECTRICAL & TELCO)
ELECTRICAL LENGTH ±320'-0"
TELCO LENGTH ±335'-0"

EDGE OF ASPHALT PAVING

EXISTING ASPHALT PAVED
DRIVEWAY FOR INGRESS
AND EGRESS

EXISTING UTILITY POLE #P817548.
(ELECTRICAL & TELCO P.O.C.)

PROPOSED VERIZON 200 AMP
ELECTRICAL METER PEDESTAL

PROPOSED BOLLARDS
(TYPICAL OF 4)

EXISTING EASEMENT FOR
DOMESTIC WATER PIPELINES

EXISTING EASEMENT IN FAVOR OF
THE PUBLIC OVER ANY EXISTING
ROADS LYING WITHIN SAID LAND,
EASEMENT FOR PROPOSED
PRIVATE ROAD AND RETAINING
WALL AS SHOWN OR DEDICATED
ON PARCEL MAP NO. 12166, AND
AN IRREVOCABLE OFFER TO
DEDICATE A PORTION OF SAID
LAND FOR HIGHWAY PURPOSES

ALPHA SECTOR
AZIMUTH 100°

EXISTING BUILDING

EXISTING IRRIGATION LINE

EXISTING IRRIGATION CONTROL
BOX (IRRIGATION P.O.C.)

EXISTING
GREENHOUSE

MICROWAVE DISH
AZIMUTH T.B.D.

BETA SECTOR
AZIMUTH 170°

MAGNETIC
NORTH



PROPOSED VERIZON WIRELESS 11'-6" x 16'-10"
PREFABRICATED FIBREBOND EQUIPMENT SHELTER
ON A POURED-IN-PLACE CONCRETE PAD

PROPOSED VERIZON WIRELESS CONCRETE
BLOCK WALL ENCLOSURE FOR
GENERATOR AND EQUIPMENT SHELTER

SEE SHEET A-2 FOR
ENLARGED AREA PLAN

50'-0" SETBACK
(OR POLE HEIGHT
WHICHEVER IS HIGHER)

57'-8"

30'-0"

25'-0"
REAR YARD
SETBACK

159'-0"

177'-8"

30'-0"

10'-0"

265'-4"

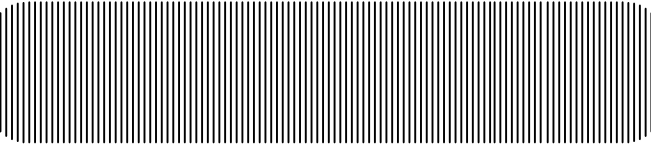
266'-7"

60'-0" FRONT YARD SETBACK

ENLARGED SITE PLAN

SCALE: 1" = 20'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

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DRAWING DATES

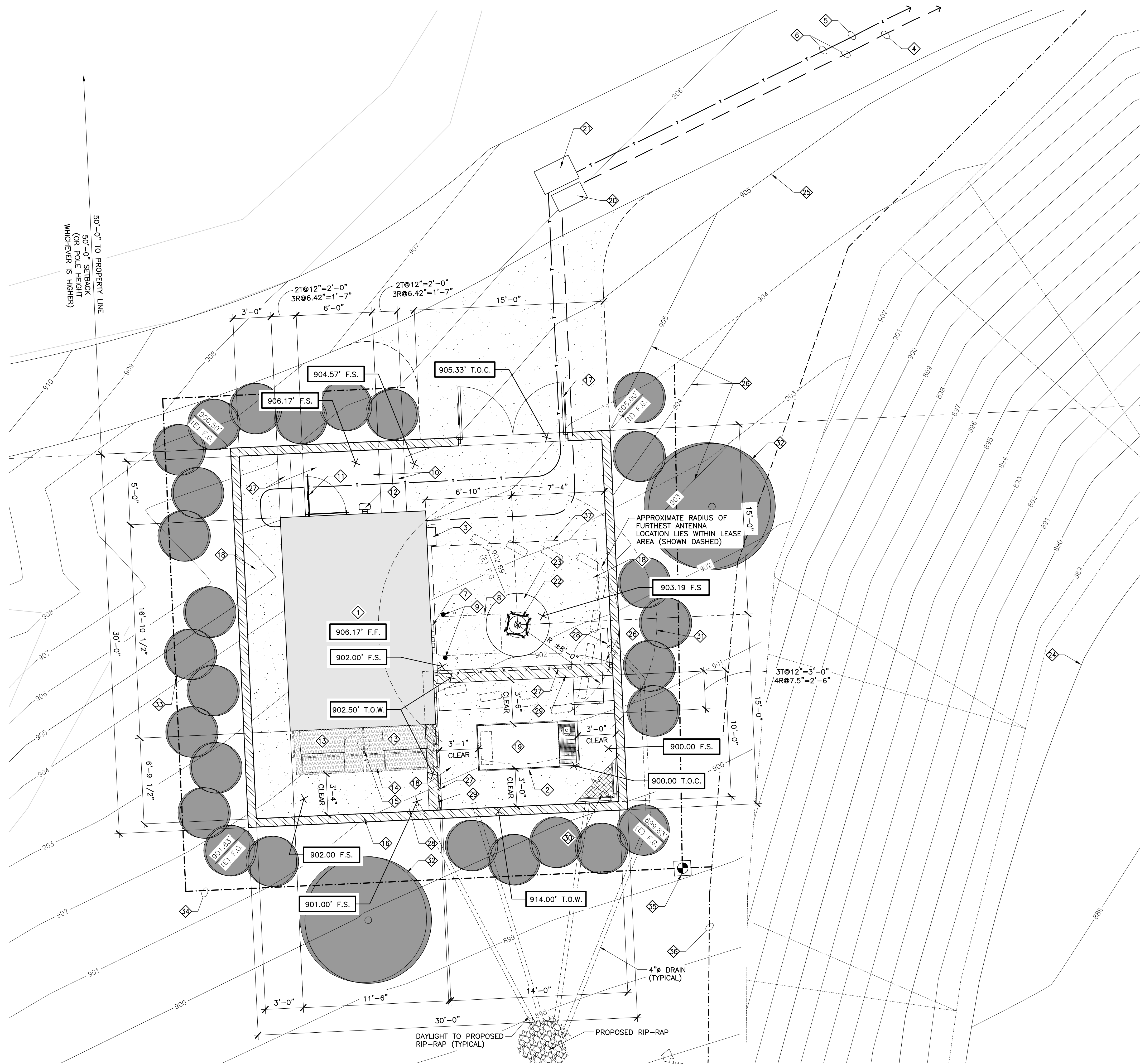
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03/31/15	100% ZD REVISION 9 (se)
05/20/15	100% ZD REVISION 10 (ic)
07/13/15	100% ZD REVISION 11 (ri)

SHEET TITLE

ENLARGED
SITE PLAN

PROJECTS\VERIZON\13279

A-1



ENLARGED AREA PLAN

SCALE: 1/4" = 1'-0"

ENLARGED AREA PLAN NOTES:

- PROPOSED VERIZON WIRELESS PREFABRICATED FIBREBOND EQUIPMENT SHELTER ON A CONCRETE PAD
- PROPOSED CONCRETE PAD
- PROPOSED FUSED DISCONNECT MOUNTED TO PREFABRICATED EQUIPMENT SHELTER
- PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- PROPOSED UNDERGROUND JOINT UTILITY TRENCH
- PROPOSED COAX CABLE WAVEGUIDE ENTRY PORT
- PROPOSED VERIZON WIRELESS OVERHEAD COAX CABLE ICE BRIDGE
- PROPOSED E911/GPS ANTENNAS MOUNTED TO ICE BRIDGE (TYPICAL OF 2)
- PROPOSED CONCRETE STEPS & LANDING
- PROPOSED STEEL DOOR AND FRAME WITH VERIZON WIRELESS SIGNAGE
- PROPOSED WALL MOUNTED EXTERIOR LIGHT FIXTURE PROVIDED WITH EQUIPMENT SHELTER. LIGHTING TO BE ORIENTED DOWNWARD
- PROPOSED WALL HUNG AIR CONDITIONING UNITS PROVIDED WITH EQUIPMENT SHELTER (TYPICAL OF 2). "AIRSYS" MODEL# 13E1C3 WITH 61 dBA SOUND LEVEL, OR EQUIVALENT SIZED UNITS.
- PROPOSED A/C CAGE WITH LIFT OUT PANELS (SHOWN DASHED)
- PROPOSED DRYWELL
- PROPOSED CONCRETE BLOCK WALL ENCLOSURE (NOISE CONTROL FEATURE) (BLOCK WALL - TAN COLOR TO MATCH EXISTING BUILDING)
- PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME. THE GATE/DOOR SHALL BE DESIGNED WITH NO CRACKS OR GAPS THROUGH OR BELOW. OVERLAPPING CLOSURES ON THE BOTTOM AND SIDES SHALL BE INCORPORATED INTO THE DESIGN TO SEAL/COVER ANY GAPS.
- INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE EQUIPMENT COMPOUND
- PROPOSED VERIZON WIRELESS 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD IN A SOUND ATTENUATION ENCLOSURE WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 65 dBA OR LESS AT A REFERENCE DISTANCE OF 23 FEET, OR EQUIVALENT SIZED UNIT. THE GENERATOR UNIT SHALL INCORPORATE A MANUFACTURER LEVEL 2 ACOUSTIC ENCLOSURE.
- PROPOSED 17" x 30" ELECTRICAL PULL BOX
- PROPOSED 2' x 3' TELCO PULL BOX
- PROPOSED 50'-0" HIGH MONO-BROADLEAF TREE
- PROPOSED 5'-6" MONO-BROADLEAF TREE FOUNDATION PIER
- EDGE OF PAVING
- EXISTING CONTOUR LINES @ 1'-0" INTERVALS
- PROPOSED CONTOUR LINES
- PROPOSED CHAIN LINK FENCE
- PROPOSED 3'-0" WIDE CHAIN LINK GATE
- PROPOSED 12" WIDE CONCRETE BLOCK RETAINING WALL
- PROPOSED CHAIN LINK LID
- OUTLINE OF PROPOSED MONO-BROADLEAF CANOPY (SHOWN DASHED)
- PROPOSED MAGNOLIA GRANDIFLORA - LITTLE GEM "DWARF MAGNOLIA" - 36" BOX (TYPICAL OF 2) (SHOWN SHADED) (15' MATURE HEIGHT; 10' MATURE WIDTH)
- PROPOSED CEANOTHUS ARBOREUS "CALIFORNIA LILAC-TREWITEN BLUE" - 15 GALLON (TYPICAL OF 27) (SHOWN SHADED) (10' MATURE HEIGHT; 10' MATURE WIDTH)
- PROPOSED IRRIGATION LINE (TYPICAL)
- PROPOSED IRRIGATION CONTROL BOX WITH GATE VALVE
- EXISTING IRRIGATION LINE
- OUTLINE OF PROPOSED 13'-0" SQUARE MONO-BROADLEAF TREE MAT FOOTING (SHOWN DASHED)

NOTE: PROVIDE (2) RAYCAP DC SURGE PROTECTION UNITS INSIDE PREFABRICATED EQUIPMENT SHELTER. LOCATION OF UNITS INSIDE SHELTER TO BE DETERMINED BY VERIZON WIRELESS.

MODULAR EQUIPMENT SHELTER NOTES

MODULAR EQUIPMENT SHELTER MANUFACTURED BY:

FIBREBOND CORPORATION
1300 DAVENPORT DRIVE
MINDEN, LOUISIANA 71055
(318) 377-1030/ (800) 824-2614
(318) 371-6391 (FAX)

MODULAR BUILDING WILL ARRIVE WITH A COACH TAG.

THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
INSIGNIA OF APPROVAL MUST BE ATTACHED TO ALL COMMERCIAL
COACH UNITS AS EVIDENCE OF COMPLIANCE WITH THE
APPLICABLE REGULATIONS FOR CONSTRUCTION AND INSPECTION

APPROVAL AGENCY:
NTA, INC.
NAPPANEE, INDIANA

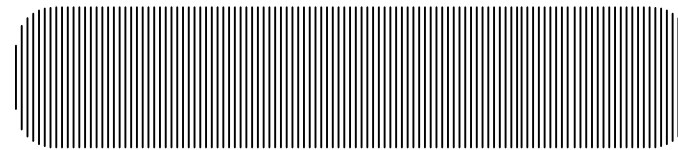
PLAN APPROVAL: FBBC010914-51
DATE APPROVED: JANUARY 28, 2014
EXPIRATION DATE: APRIL 28, 2015

LANDSCAPING NOTES:

- NEW IRRIGATION TO BE TIED INTO EXISTING IRRIGATION SYSTEM.
- ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 2" OF ORGANIC MULCH TO HELP RETAIN SOIL MOISTURE AND CONTROL SOIL EROSION.
- OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
- ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
- BEST IRRIGATION MANAGEMENT PRACICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST INTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.

GENERATOR NOTES:

- GENERATOR MAY ONLY BE TESTED UP TO ONCE PER WEEK, FOR A PERIOD OF 15 MINUTES DURING NORMAL BUSINESS HOURS, FROM 7AM TO 6PM, MONDAY THROUGH FRIDAY.
- THE EQUIPMENT SHELTER AND THE GENERATOR UNIT SHALL BE LOCATED WITHIN A CMU BLOCK WALL ENCLOSURE.



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

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NORTH BROADWAY

10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026

SAN DIEGO COUNTY

DRAWING DATES

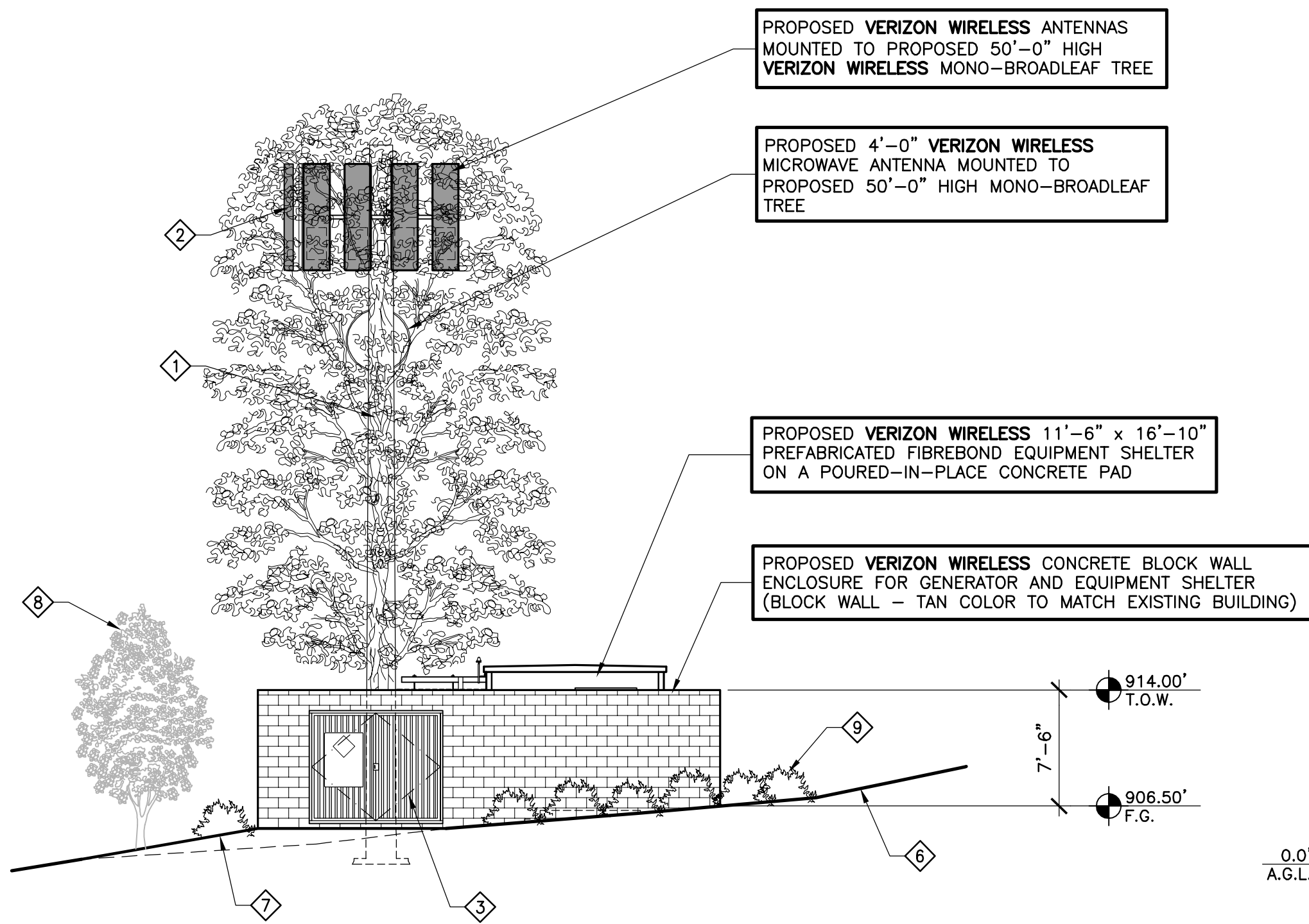
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SHEET TITLE

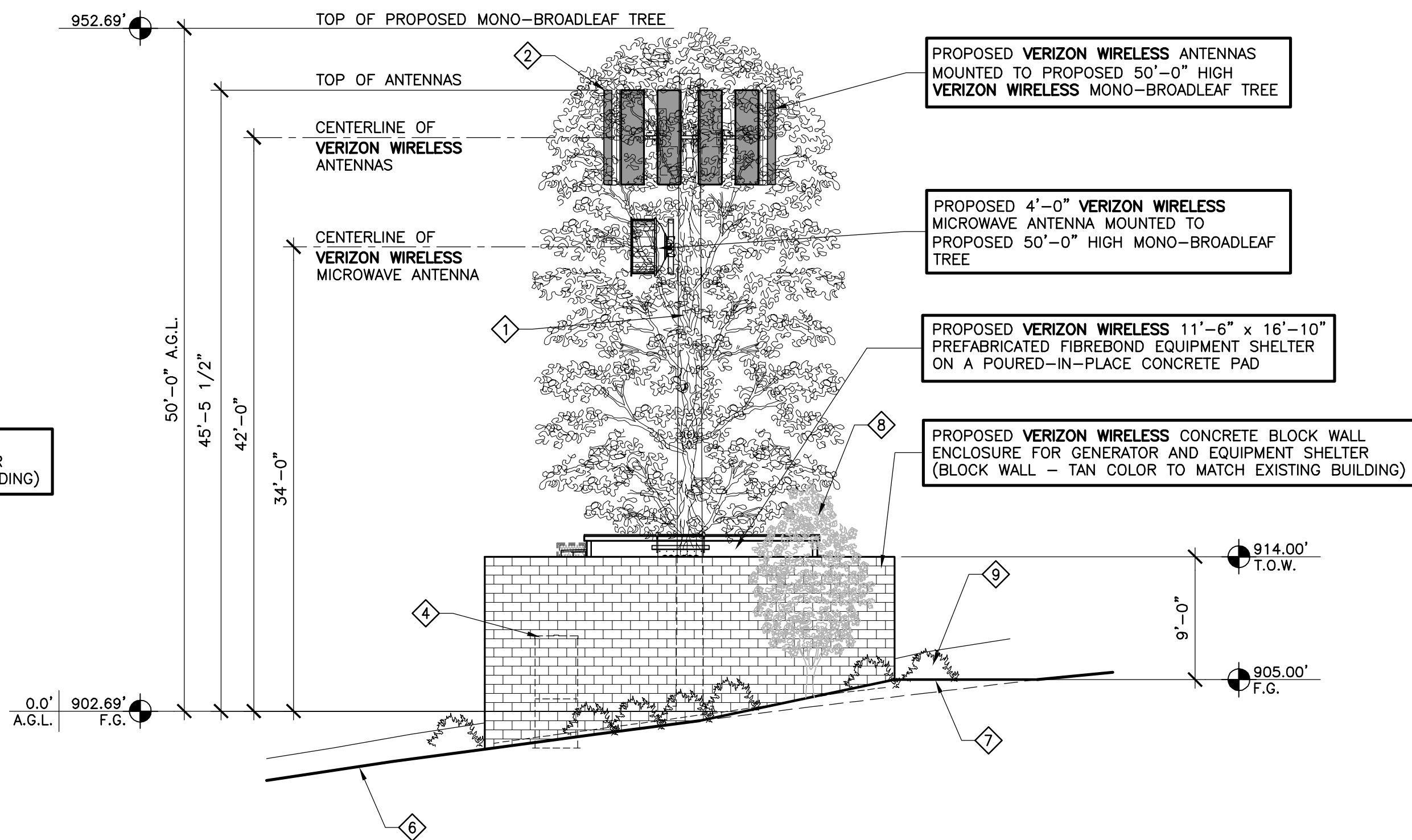
ENLARGED AREA PLAN

PROJECTS\VERIZON\13279

A-2



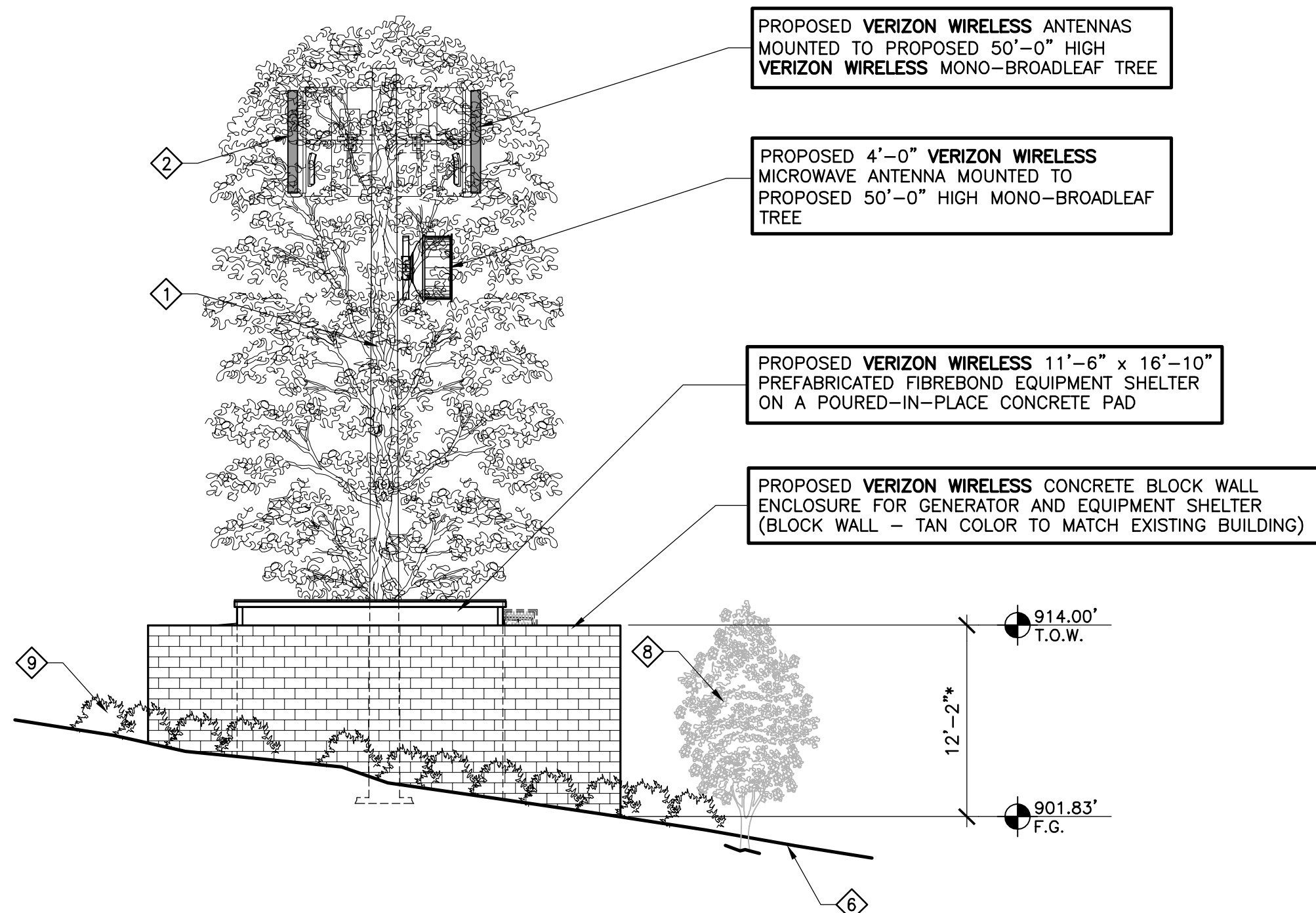
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



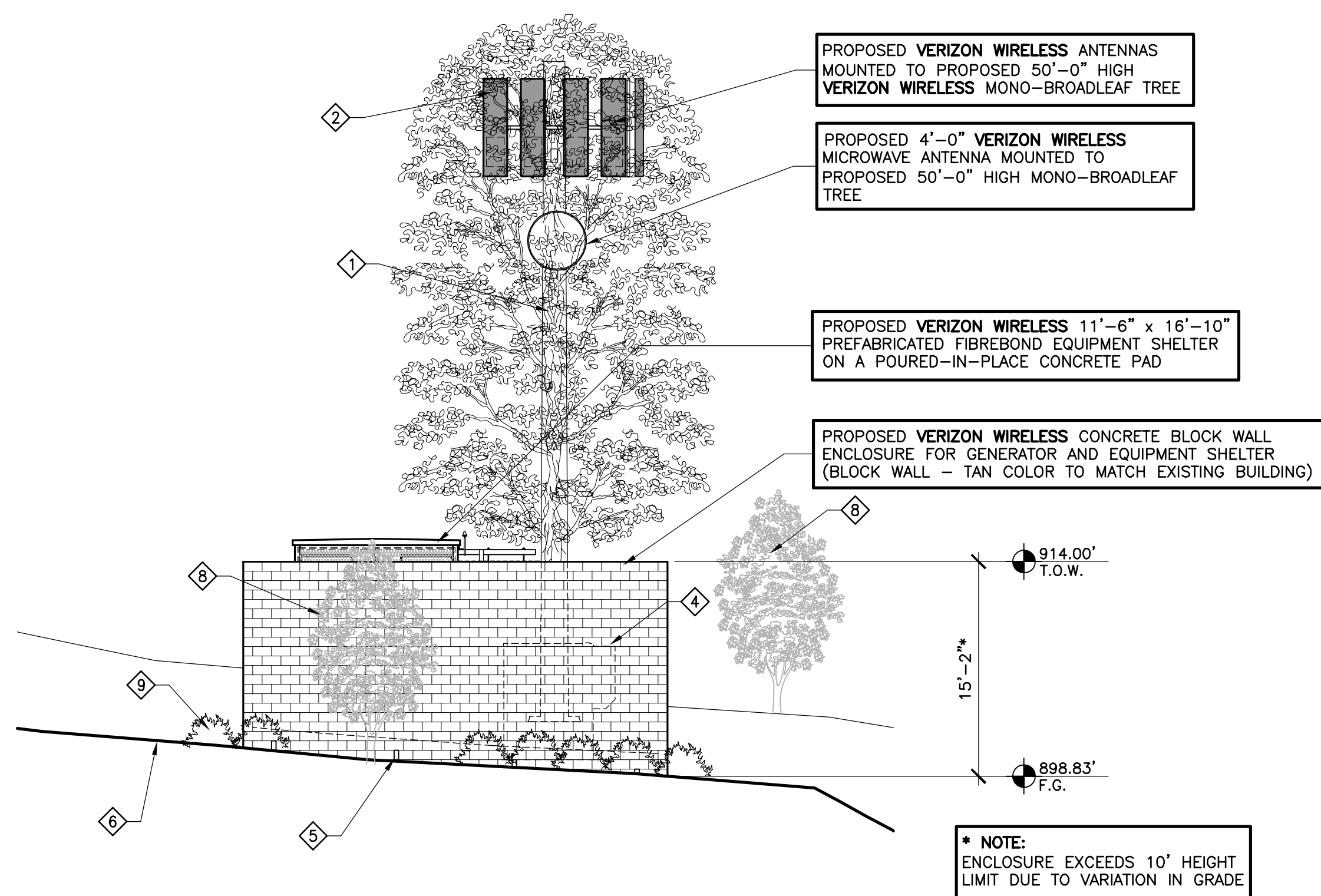
EAST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- 1 PROPOSED 50'-0" HIGH MONO-BROADLEAF TREE
- 2 PROPOSED VERIZON WIRELESS ANTENNAS
- 3 PROPOSED PAIR 4'-2" WIDE STEEL GATES & FRAME W/ SIGNAGE. PROVIDE PAINT FINISH
- 4 PROPOSED VERIZON WIRELESS ENCLOSED STANDBY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- 5 PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYPICAL OF 4)
- 6 EXISTING GRADE
- 7 PROPOSED GRADE
- 8 PROPOSED TREE
- 9 PROPOSED SHRUBS (TYPICAL)



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

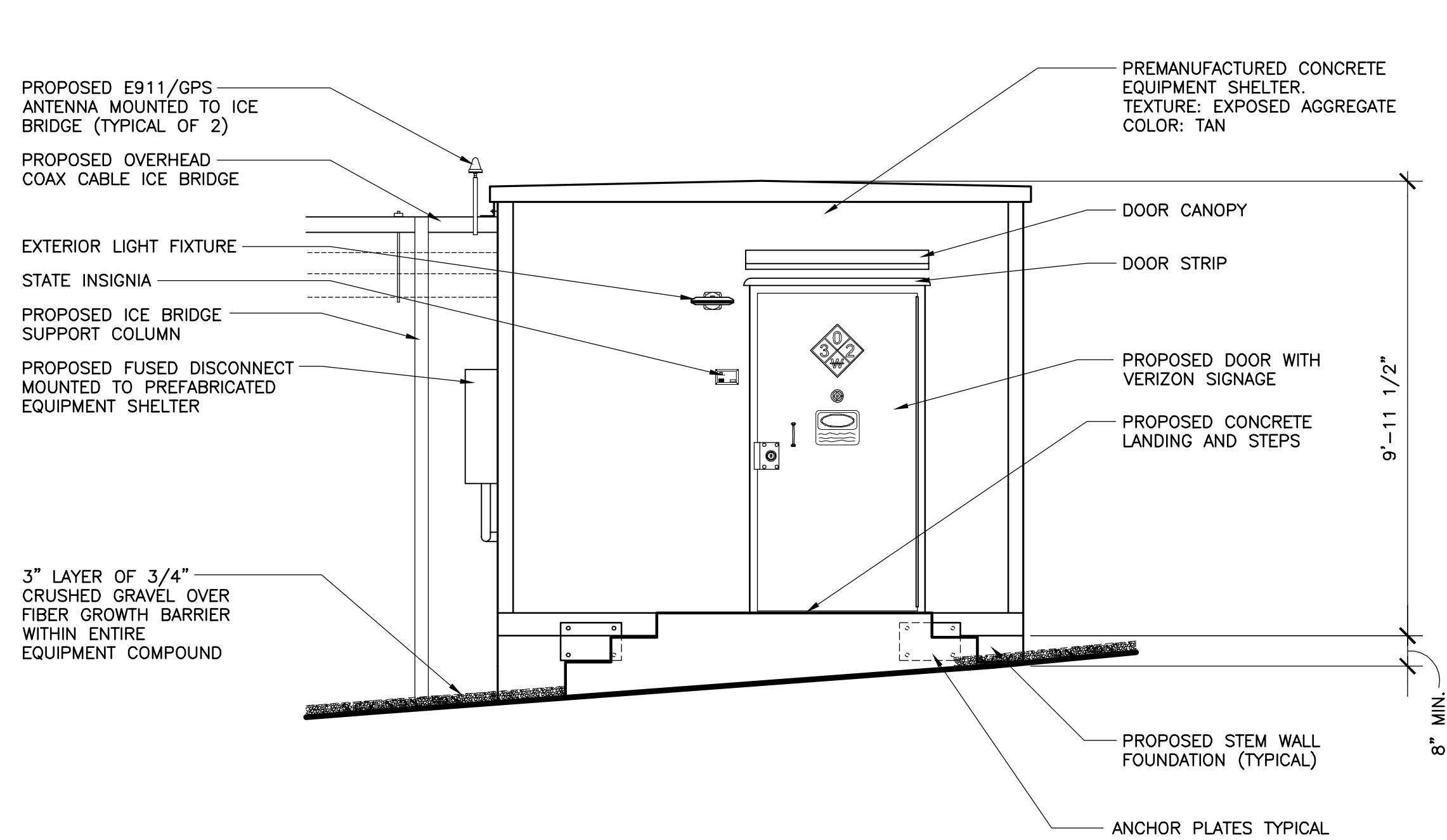
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A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
NORTH BROADWAY
10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026
SAN DIEGO COUNTY

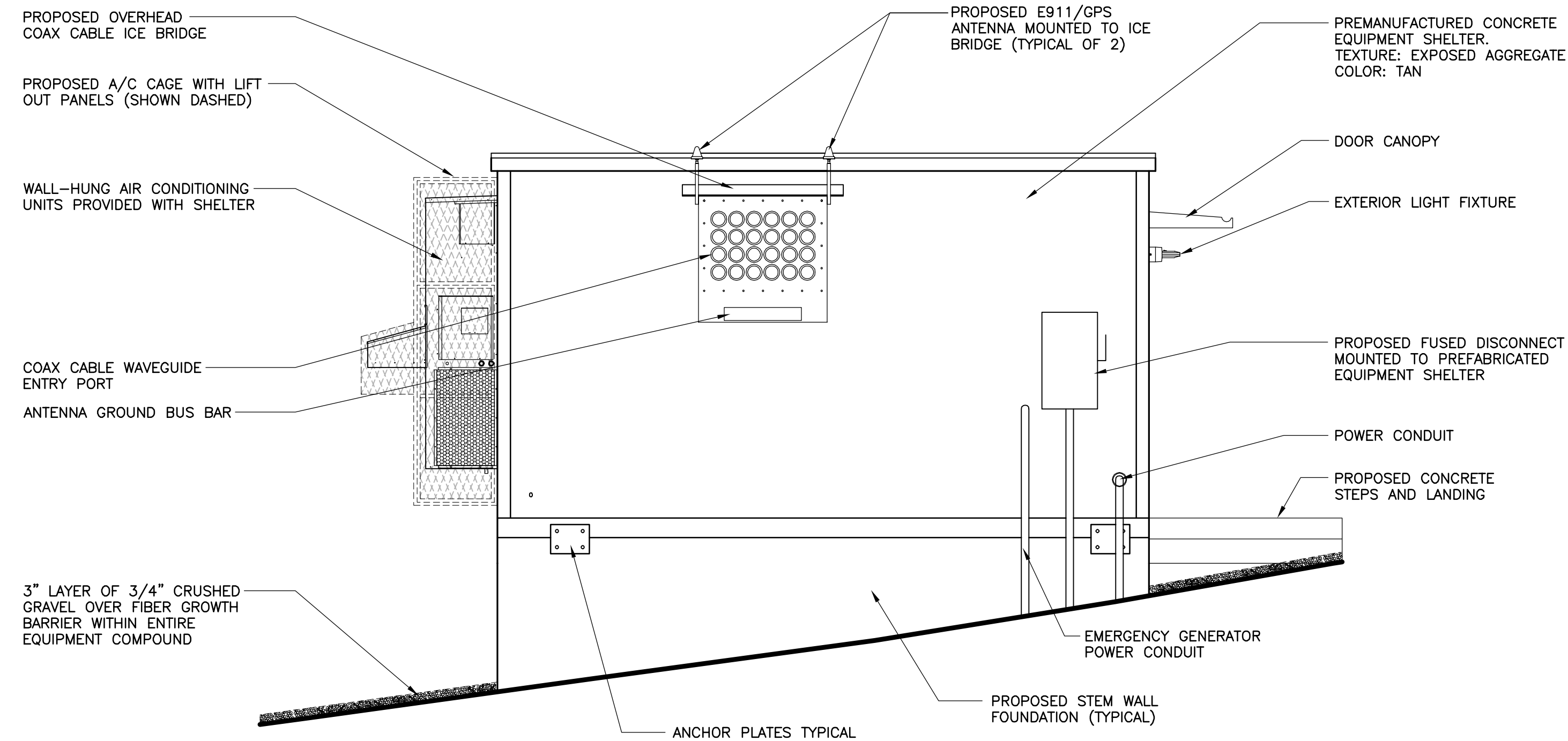
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03/31/15	100% ZD REVISION 9 (se)
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07/13/15	100% ZD REVISION 11 (ri)

SHEET TITLE
EXTERIOR ELEVATIONS

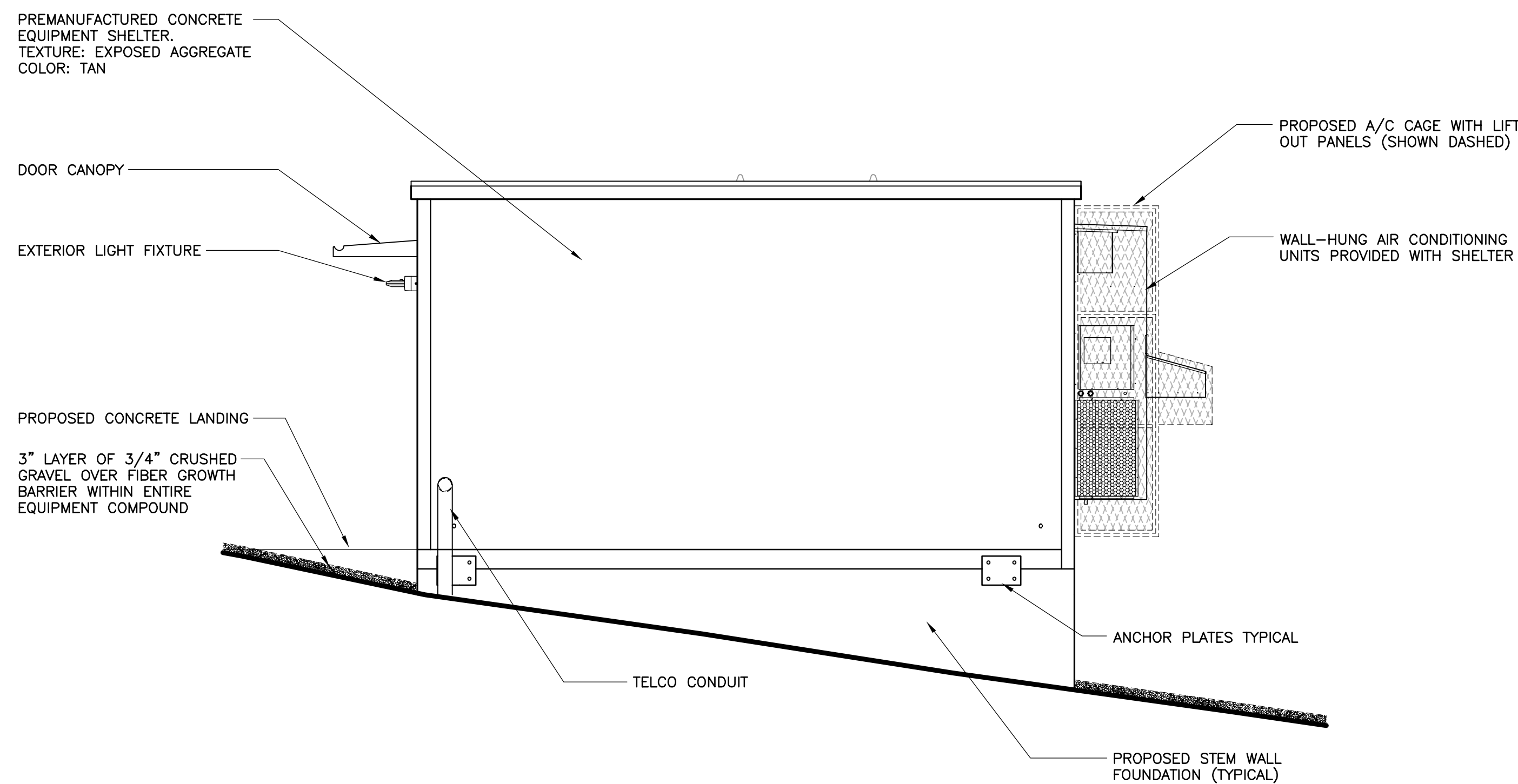
PROJECTS\VERIZON\13279



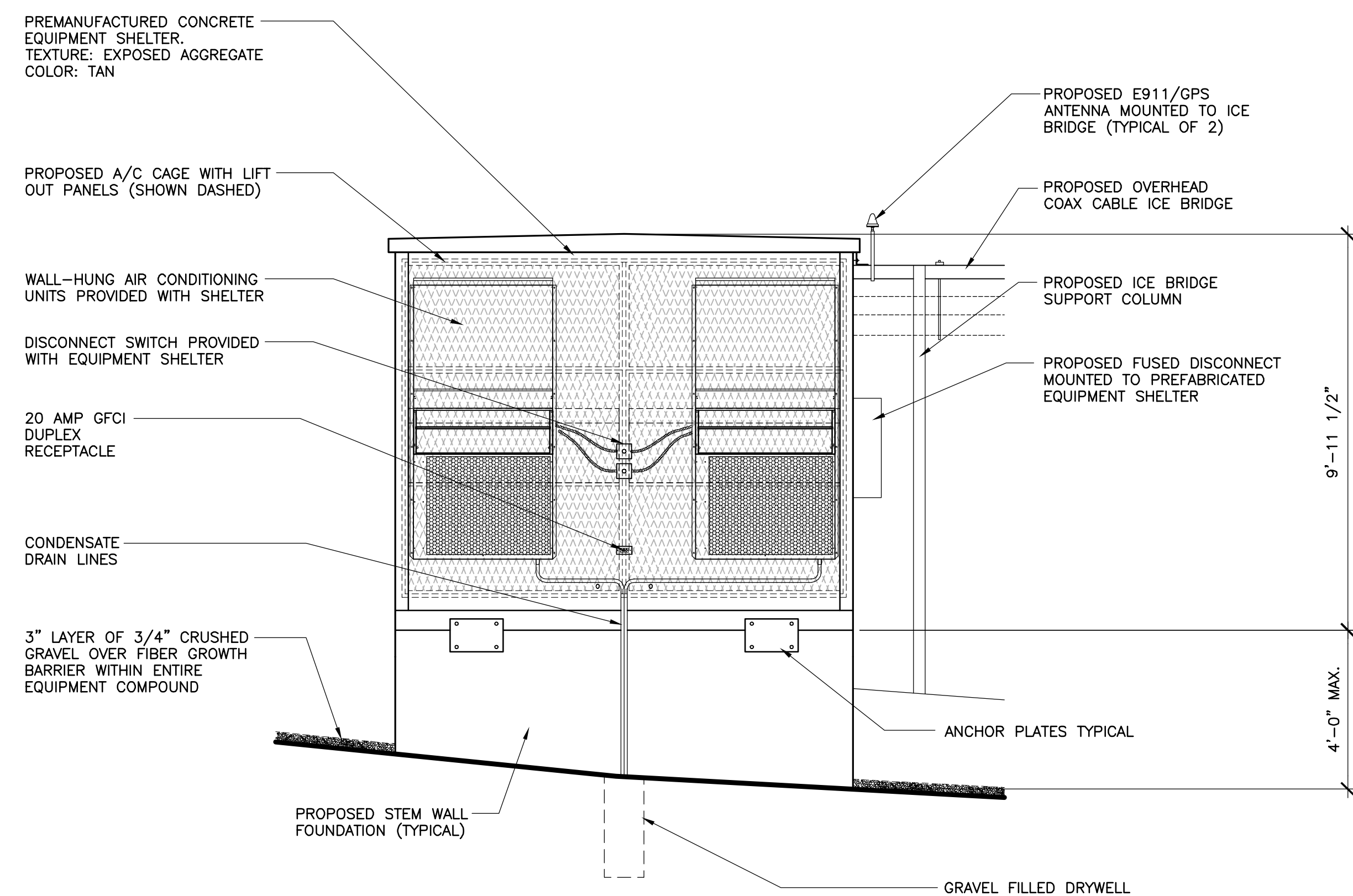
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SCALE: 3/8" = 1'-0"



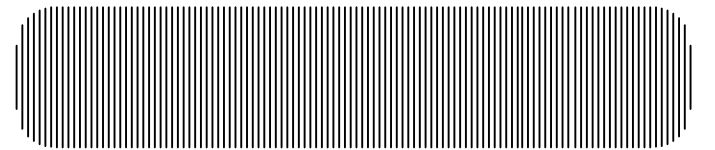
EAST ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



PREPARED FOR
verizonwireless
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(949) 286-7000

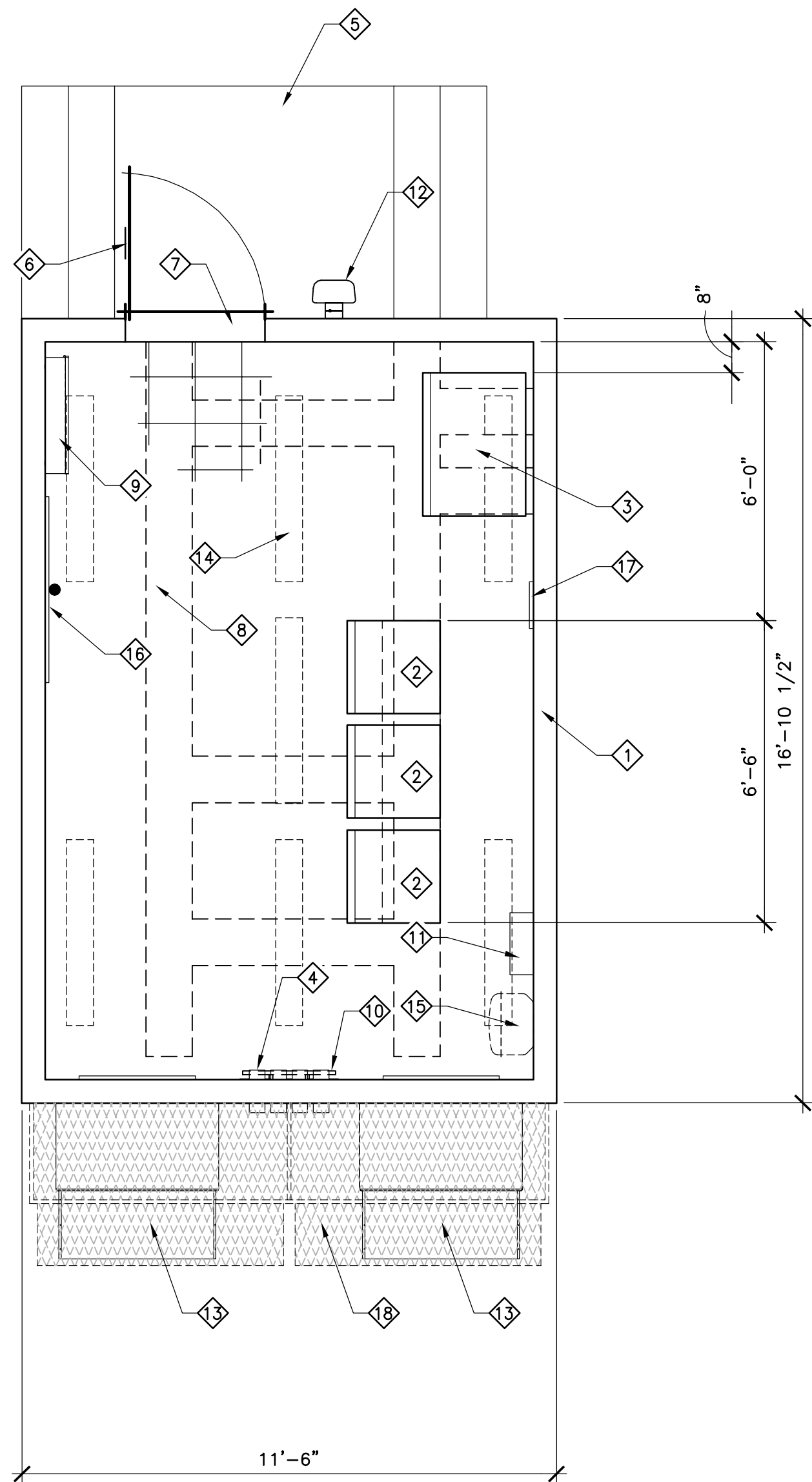
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OPS	DATE
EE/OUT	DATE

PROJECT NAME
NORTH BROADWAY
10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026
SAN DIEGO COUNTY

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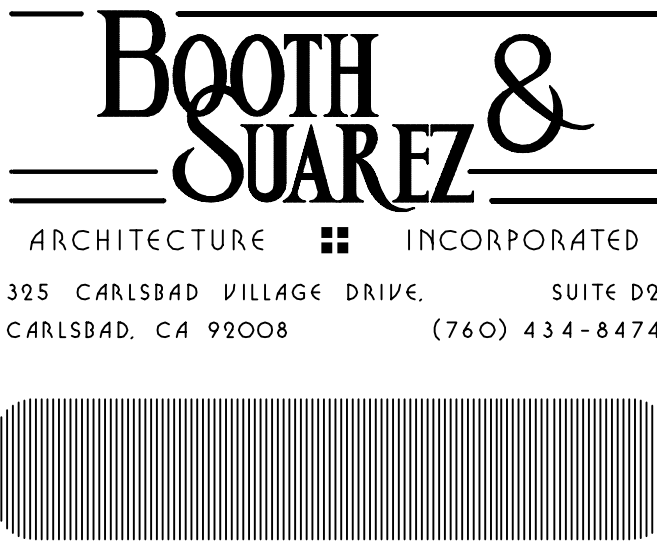
SHEET TITLE
EQUIPMENT SHELTER ELEVATIONS

PROJECTS\VERIZON\13279



EQUIPMENT SHELTER FLOOR PLAN NOTES:

- 1. PROPOSED **VERIZON WIRELESS** PREFABRICATED FIBREBOND EQUIPMENT SHELTER ON A CONCRETE PAD
- 2. PROPOSED EQUIPMENT RACK
- 3. PROPOSED BATTERY RACK
- 4. PROPOSED COAX CABLE WAVEGUIDE ENTRY PORT
- 5. PROPOSED CONCRETE STEPS & LANDING
- 6. PROPOSED STEEL DOOR AND FRAME WITH **VERIZON WIRELESS** SIGNAGE
- 7. PROPOSED ALUMINUM THRESHOLD
- 8. PROPOSED OVERHEAD 12" CABLE LADDER (SHOWN DASHED)
- 9. PROPOSED ELECTRICAL PANEL MOUNTED TO WALL
- 10. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 11. PROPOSED ENVIRONMENTAL CONTROL PANEL
- 12. PROPOSED WALL MOUNTED EXTERIOR LIGHT FIXTURE PROVIDED WITH EQUIPMENT SHELTER. LIGHTING TO BE ORIENTED DOWNWARD
- 13. PROPOSED WALL HUNG AIR CONDITIONING UNITS PROVIDED WITH EQUIPMENT SHELTER (TYPICAL OF 2). "AIRSYS" MODEL# 13E1C3 WITH 61 dBA SOUND LEVEL, OR EQUIVALENT SIZED UNITS.
- 14. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 7)
- 15. PROPOSED RAYCAP DC SURGE PROTECTION UNIT MOUNTED HIGH UP ON WALL
- 16. PROPOSED TELCO BOARD
- 17. PROPOSED EMERGENCY EYE WASH
- 18. PROPOSED A/C CAGE WITH LIFT OUT PANELS (SHOWN DASHED)



APPROVALS	
A&C	DATE
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RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

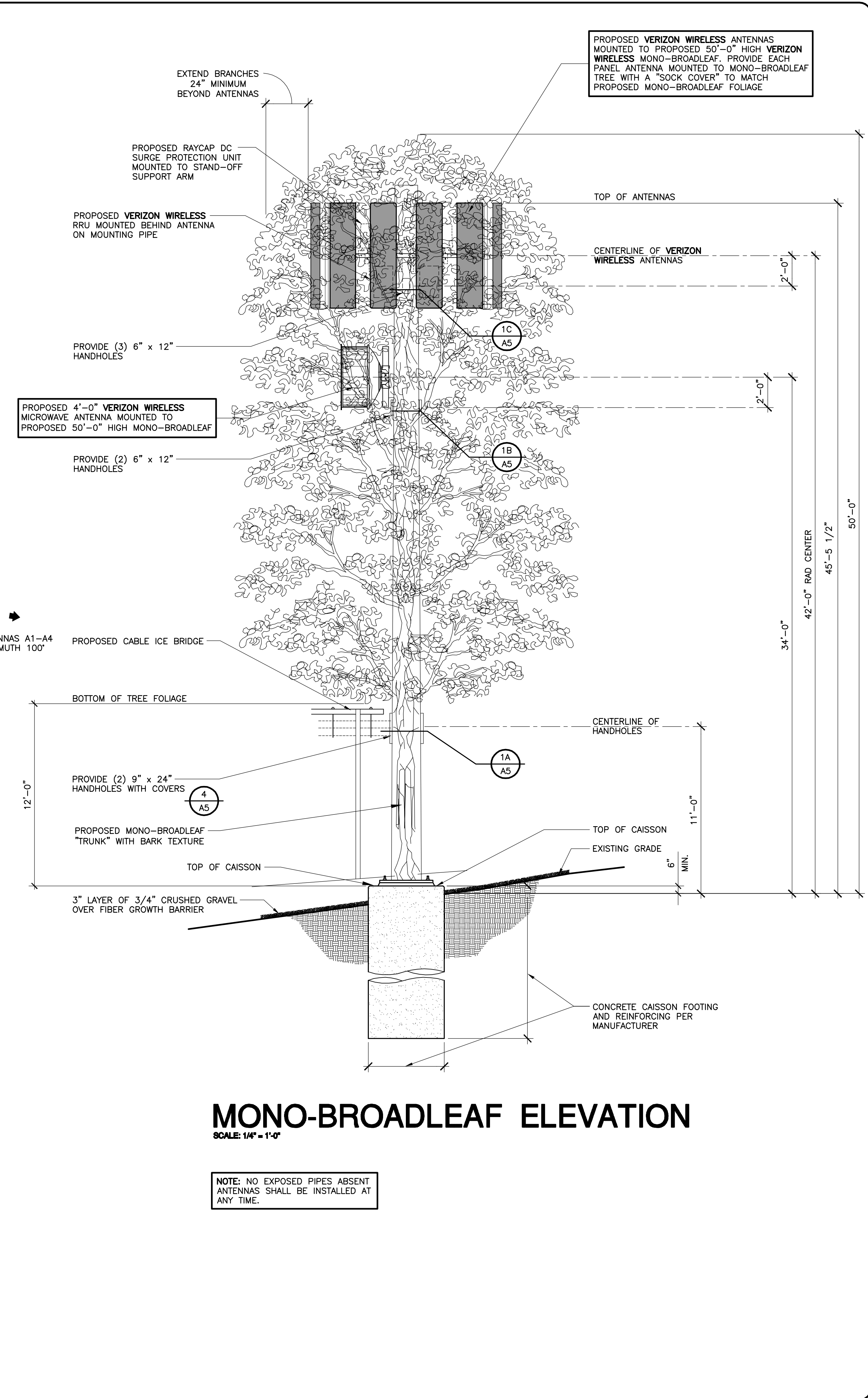
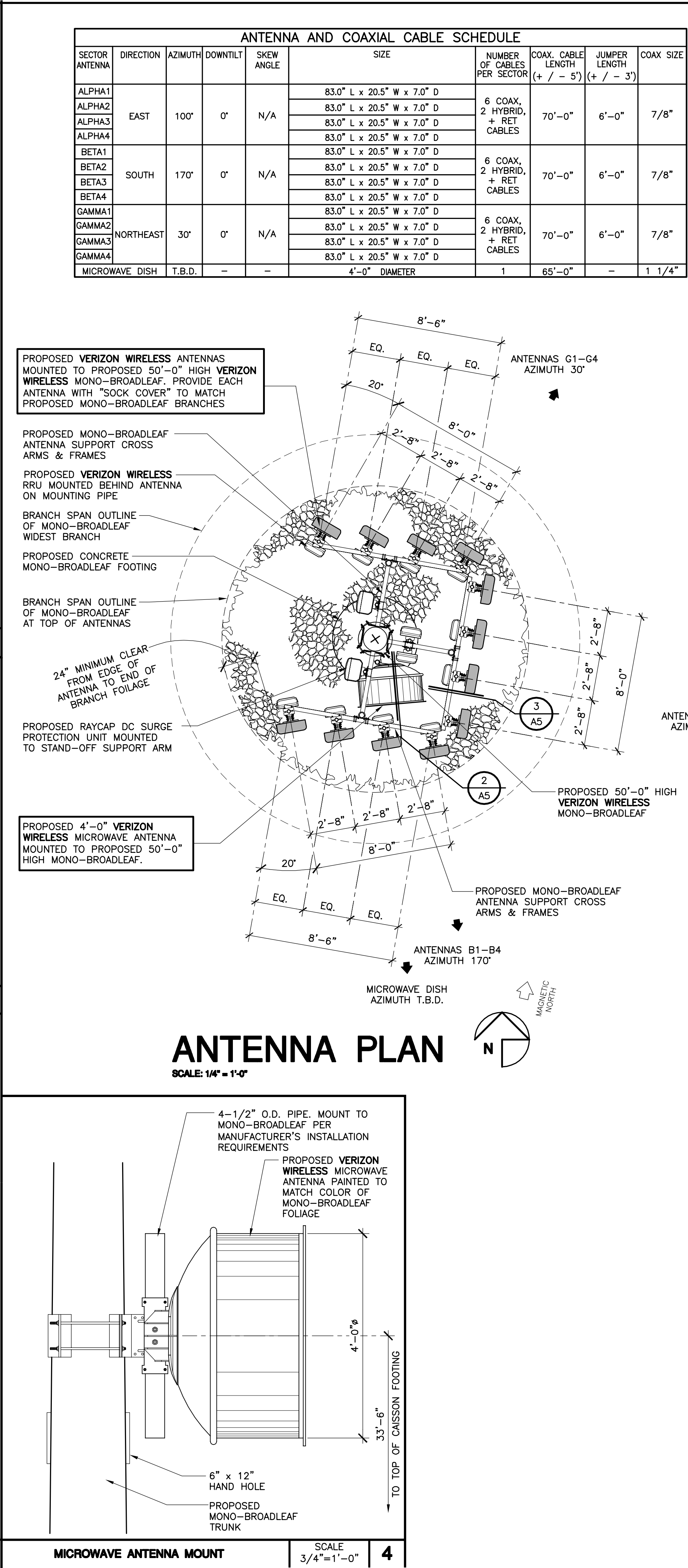
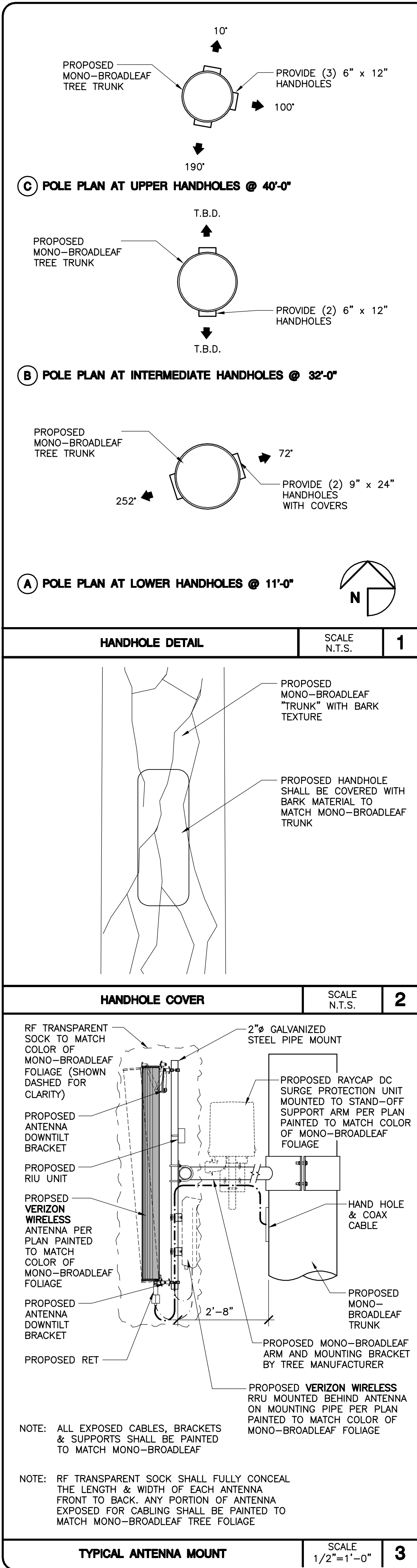
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ESCONDIDO, CA 92026
SAN DIEGO COUNTY

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05/20/15	100% ZD REVISION 10 (ic)
07/13/15	100% ZD REVISION 11 (r)

SHEET TITLE
**EQUIPMENT SHELTER
FLOOR PLAN**

PROJECTS\VERIZON\13279

A-4.1



BOOTH & SUAREZ

ARCHITECTURE INCORPORATED

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(949) 286-7000

APPROVALS

A&C	DATE
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PROJECT NAME

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10816 REIDY CANYON TRAIL
ESCONDIDO, CA 92026
SAN DIEGO COUNTY

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05/20/15	100% ZD REVISION 10 (ic)
07/13/15	100% ZD REVISION 11 (rd)

SHEET TITLE

MONO-BROADLEAF ELEVATION ANTENNA PLAN & DETAILS

PROJECTS\VERIZON\13279

A-5

DATUM STATEMENT:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35 ADJUSTED, GRID BEARING BETWEEN FIRST ORDER GPS STATIONS "ROS15376 PT 3037" AND "ROS15376 PT 3038" AS PUBLISHED IN SAN DIEGO COUNTY DPW SURVEY MONUMENT DETAIL SHEETS. I.E. N 87°51'05" E

BENCHMARK FOR THIS SURVEY IS STATION "ROS15376 PT 3037" AS PUBLISHED IN SAN DIEGO COUNTY DPW SURVEY MONUMENT DETAIL SHEETS. NGVD 29 ELEV=822.013

LEGEND:

C.L. - CENTERLINE
DR - DIRT ROAD
E - EAST
FD. - FOUND
FF - FINISHED FLOOR
FG - FINISHED GRADE
FS - FINISHED SURFACE
N - NORTH
NE - NORTHEAST
NO. - NUMBER
NW - NORTHWEST
OH - OVERHANG
S - SOUTH
TB - TOP OF BUILDING
TC - TOP OF CURB
TGH - TOP OF GREENHOUSE
T.R. - TITLE REPORT
W - WEST
W/- WITH

ASSESSOR'S PARCEL NUMBER:

187-041-54, 187-041-55 & 187-041-60

DATE OF SURVEY:

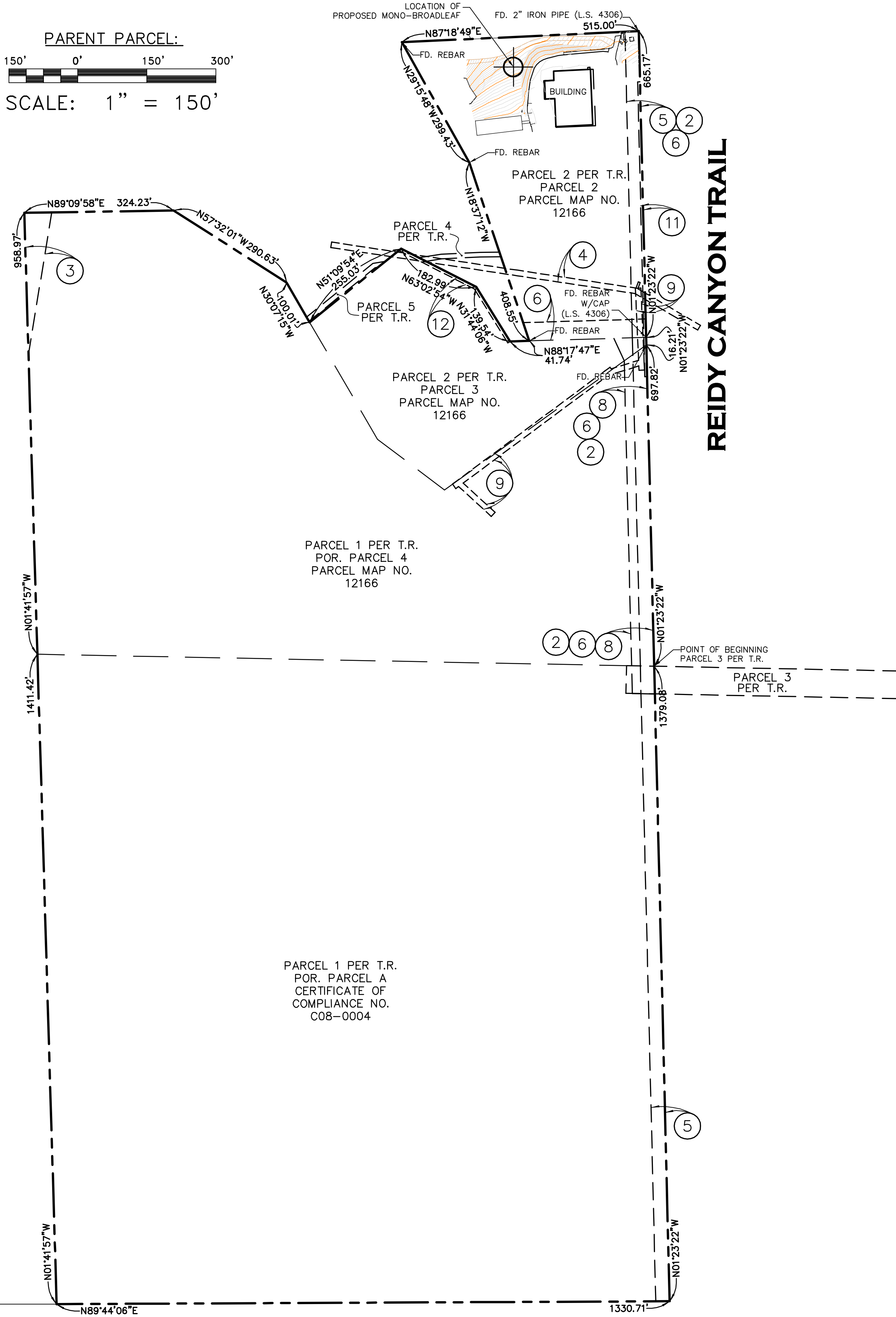
10/09/2013

COORDINATES:

LATITUDE: 33°11'47.411" N
LONGITUDE: 117°05'38.913" W
DATUM: NAD83



PARENT PARCEL:
SCALE: 1" = 150'



ITEMS CORRESPONDING TO SCHEDULE "B":

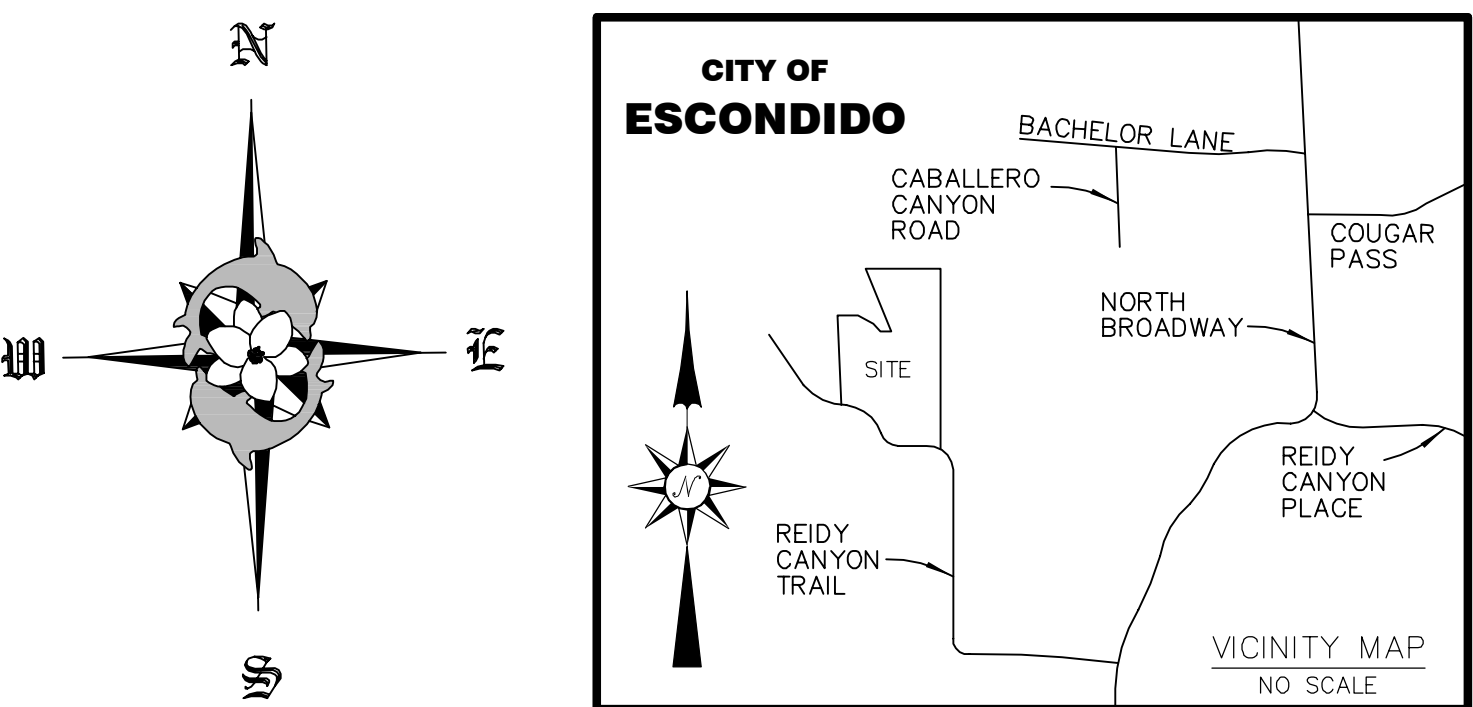
BY: LAWYERS TITLE COMPANY
3480 VINE STREET, SUITE 100
RIVERSIDE, CA 92507
(951) 774-0825

COMMITMENT NO.: 613600128
TITLE OFFICER:
SPECIAL PROJECTS COORDINATOR
DATED: SEPTEMBER 26, 2013

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS, CONDITIONS, RESTRICTIONS, TERMS AGREEMENTS AND MATTERS REVIEWED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS MUST BE TESTED TO DISCERN SPECIFICS.

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- 2 AN EASEMENT IN FAVOR OF THE PUBLIC OVER ANY EXISTING ROADS LYING WITHIN SAID LAND. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 3 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED NOVEMBER 20, 1970 AS INSTRUMENT NO. 212814 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 4 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED JUNE 16, 1974 AS INSTRUMENT NO. 74-162381 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 5 AN IRREVOCABLE OFFER TO DEDICATE A PORTION OF SAID LAND FOR HIGHWAY PURPOSES RECORDED MAY 24, 1982 AS INSTRUMENT NO. 82-156475 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 6 AN EASEMENT FOR PROPOSED PRIVATE ROAD AND RETAINING WALL AS SHOWN OR DEDICATED ON PARCEL MAP NO. 12166. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 7 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED JULY 27, 1982 AS INSTRUMENT NO. 82-229679 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 8 AN EASEMENT FOR PIPELINES RECORDED JUNE 6, 1983 AS INSTRUMENT NO. 83-188352 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 9 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED AUGUST 8, 1991 AS INSTRUMENT NO. 991-0402975 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 10 TERMS, PROVISIONS AND CONDITIONS CONTAINED IN A DOCUMENT ENTITLED "VALLEY CENTER MUNICIPAL WATER DISTRICT ENCROACHMENT PERMIT NO. 197", RECORDED JULY 23, 1997 AS INSTRUMENT NO. 1997-0349784 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CAN NOT BE DETERMINED FROM RECORD.
- 11 AN EASEMENT FOR DOMESTIC WATER PIPELINES RECORDED JANUARY 16, 1998 AS INSTRUMENT NO. 1998-0022434 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 12 AN EASEMENT FOR RETAINING WALL AND RETAINING WALL MAINTENANCE RECORDED AUGUST 1, 2007 AS INSTRUMENT NO. 2007-0513594 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ITEMS #'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: (ASSESSOR'S PARCEL NO: 187-041-60)

PARCEL A OF CERTIFICATE OF COMPLIANCE NO. C08-0004, RECORDED FEBRUARY 7, 2008 AS INSTRUMENT NO. 2008-0063429 OF OFFICIAL RECORDS IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING PARCEL 4 OF PARCEL MAP NO. 12166, FILED IN THE OFFICE OF THE COUNTY RECORDER JUNE 3, 1982 TOGETHER WITH THAT PORTION OF THE NORTHWEST QUARTER OF SAID SECTION 28, TOWNSHIP 11 SOUTH, RANGE 2 WEST, LYING SOUTHERLY OF THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 28, TOWNSHIP 11 SOUTH, RANGE 2 WEST.

PARCEL 2: (ASSESSOR'S PARCEL NO: 187-041-54 AND 55)

PARCELS 2 AND 3, OF PARCEL MAP NO. 12166, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1982.

PARCEL 3:

AN EASEMENT AND RIGHT OF WAY FOR ROAD AND PUBLIC UTILITY PURPOSES OVER, UNDER, ALONG AND ACROSS A STRIP OF LAND 60.00 FEET IN WITH, LYING WITHIN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER AND WITHIN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 11 SOUTH, RANGE 2 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, THE NORTHERLY LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 28; THENCE WESTERLY ALONG THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER A DISTANCE OF 60 FEET TO THE TRUE POINT OF BEGINNING OF SAID STRIP; THENCE RETRACING EASTERLY ALONG SAID PROLONGATION TO AND ALONG THE SOUTHERLY LINE OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER 587.94 FEET MORE OR LESS, TO THE WESTERLY LINE OF COUNTY ROAD SURVEY NO. 1564, ACCORDING TO PLAT THEREOF ON FILE IN THE OFFICE OF THE COUNTY ENGINEER OF SAN DIEGO COUNTY.

PARCEL 4:

AN EASEMENT FOR WATER LINE PURPOSES AND MAINTENANCE OVER A PORTION OF PARCEL 1 OF PARCEL MAP NO. 12166, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1982 DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10 FEET WIDE, LYING 5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE:

COMMENCING AT THE SOUTHEAST CORNER OF SAID PARCEL 1;

THENCE ALONG THE EASTERLY LINE OF SAID PARCEL 1, NORTH 19°30'02" WEST 198.11 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°24'57" WEST 43.42 FEET; THENCE SOUTH 87°11'42" WEST 84.32 FEET; THENCE SOUTH 80°51'41" WEST 45.06 FEET TO THE SOUTHWESTERLY LINE OF SAID PARCEL 1 SIDELINES TO BE LENGTHENED OR SHORTENED AS NEEDED TO TERMINATE ON THE LINES OF SAID PARCEL.

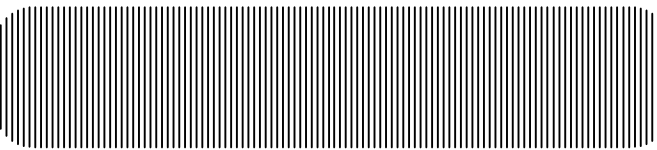
PARCEL 5:

AN EASEMENT FOR WATER LINE PURPOSES AND MAINTENANCE OVER A PORTION OF PARCEL 1 OF PARCEL MAP NO. 12166, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1982, DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10 FEET WIDE, LYING 5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE COMMENCING AT THE SOUTHERLY CORNER OF SAID PARCEL 1, COMMON CORNER WITH PARCELS 3 AND 4 OF SAID PARCEL MAP NO. 12166;

THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL 1 NORTH 50°17'04" EAST 200.72 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 80°51'25" WEST, 16.96 FEET; THENCE SOUTH 50°59'00" WEST 184.46 FEET TO THE SOUTHEASTERLY LINE OF SAID PARCEL 1 SIDELINES TO BE LENGTHENED OR SHORTENED AS NEEDED TO TERMINATE ON THE LINES OF SAID PARCEL 1.

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
3925 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



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CONSULTANT

JRN
CIVIL ENGINEERS
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SAN CLEMENTE, CA 92672
(949) 248-4685

PROJECT NAME

VERIZON
NORTH
BROADWAY

10816 REIDY CANYON TRAIL
ESCONDIDO, CALIFORNIA 92026

SAN DIEGO COUNTY

DRAWING DATES

SHEET TITLE

TOPOGRAPHIC SURVEY

PROJECTS\VERIZON\13072 JFC

C1