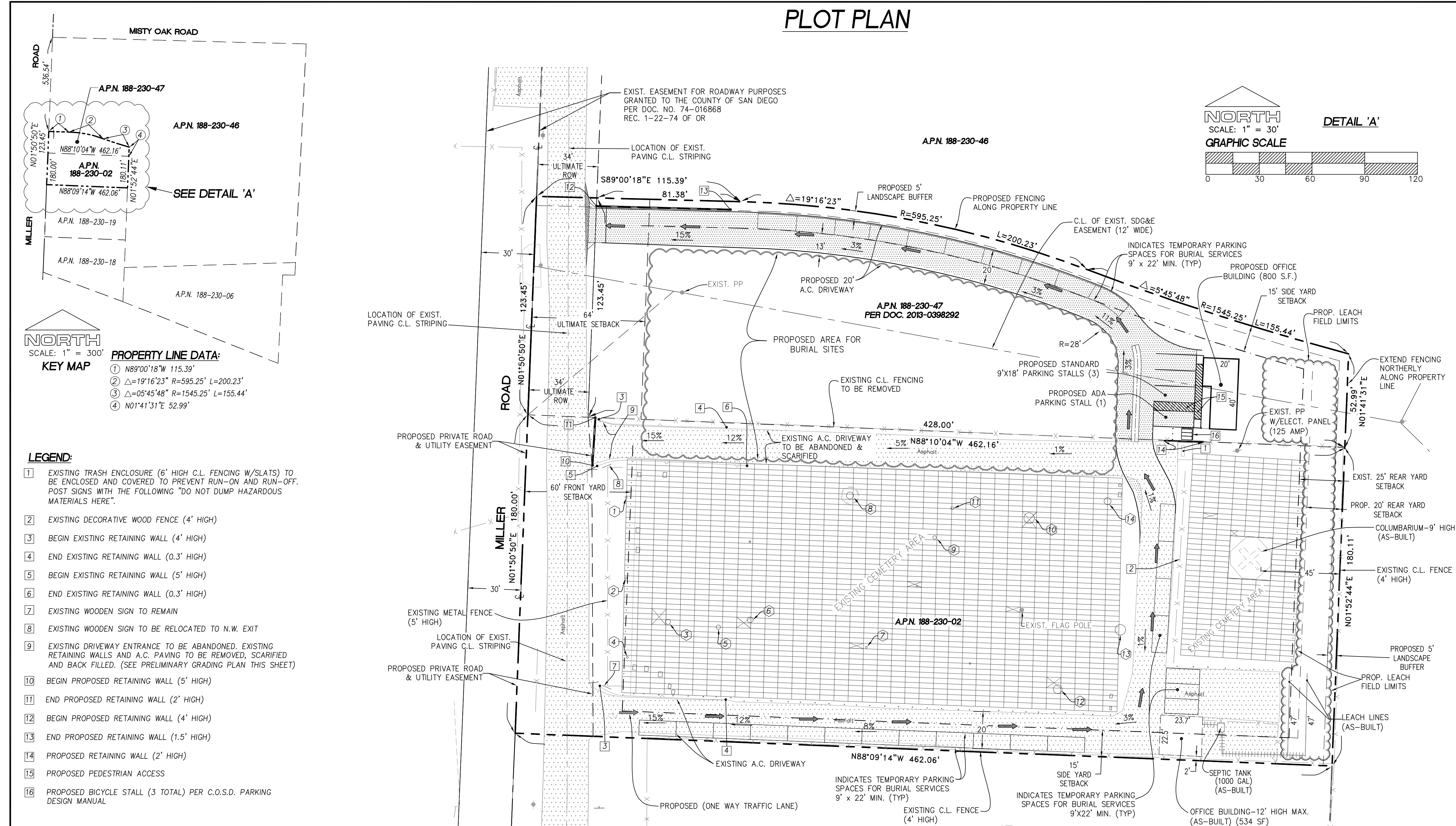
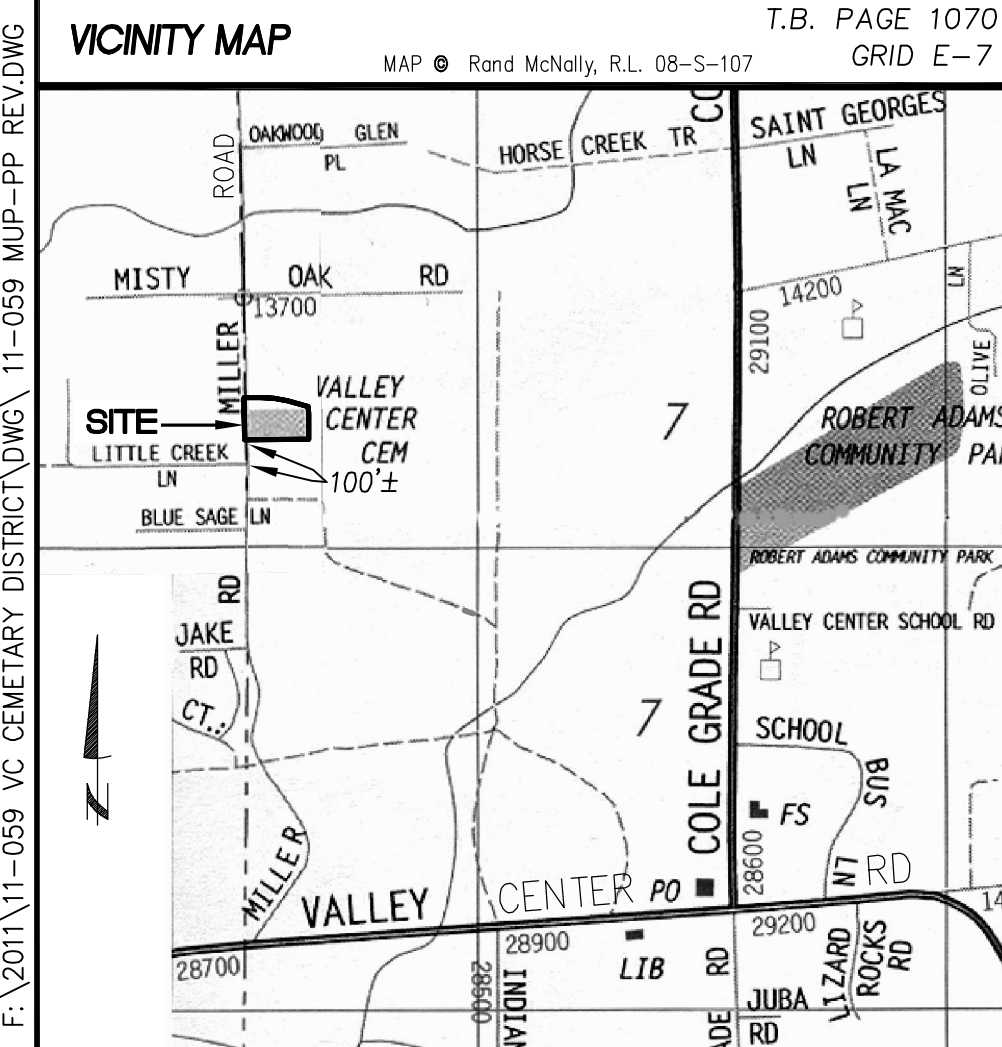


PLOT PLAN



LEGEND:

- 1 EXISTING TRASH ENCLOSURE (6' HIGH C.L. FENCING W/SLATS) TO BE ENCLOSED AND COVERED TO PREVENT RUN-ON AND RUN-OFF. POST SIGNS WITH THE FOLLOWING "DO NOT DUMP HAZARDOUS MATERIALS HERE".
- 2 EXISTING DECORATIVE WOOD FENCE (4' HIGH)
- 3 BEGIN EXISTING RETAINING WALL (4' HIGH)
- 4 END EXISTING RETAINING WALL (0.3' HIGH)
- 5 BEGIN EXISTING RETAINING WALL (5' HIGH)
- 6 END EXISTING RETAINING WALL (0.3' HIGH)
- 7 EXISTING WOODEN SIGN TO REMAIN
- 8 EXISTING WOODEN SIGN TO BE RELOCATED TO N.W. EXIT
- 9 EXISTING DRIVEWAY ENTRANCE TO BE ABANDONED. EXISTING RETAINING WALLS AND A.C. PAVING TO BE REMOVED, SCARIFIED AND BACK FILLED. (SEE PRELIMINARY GRADING PLAN THIS SHEET)
- 10 BEGIN PROPOSED RETAINING WALL (5' HIGH)
- 11 END PROPOSED RETAINING WALL (2' HIGH)
- 12 BEGIN PROPOSED RETAINING WALL (4' HIGH)
- 13 END PROPOSED RETAINING WALL (1.5' HIGH)
- 14 PROPOSED RETAINING WALL (2' HIGH)
- 15 PROPOSED PEDESTRIAN ACCESS
- 16 PROPOSED BICYCLE STALL (3 TOTAL) PER C.O.S.D. PARKING DESIGN MANUAL



A.P.N.: 188-230-02 and 47
OWNER & CONTACT INFORMATION

NAME: VALLEY CENTER CEMETERY DISTRICT
 ADDRESS: P.O. BOX 645
 CITY: VALLEY CENTER, CA 92082
 TELEPHONE NUMBER: (760) 749-1186

CONTACT
 NAME: LOUISE KELLY
 ADDRESS: P.O. BOX 645
 CITY: VALLEY CENTER, CA 92082
 TELEPHONE NUMBER: (760) 749-1186

PARCEL INFORMATION

SITE ADDRESS: 28953 MILLER ROAD
VALLEY CENTER, CA 92082

LEGAL DESCRIPTION: POR. OF NW 1/4 OF SEC. 7, T. 11 S., R. 1 W., S.B.M., COUNTY OF SAN DIEGO, CA

GROSS AREA: 3.01 ACRES
 ULTIMATE NET AREA: 2.75 ACRES

EXISTING TREES (trunk diameter):

- | | |
|-------|-----------------------------------|
| 1 15" | 8 48" WITH 10' DIA. CONC. PLANTER |
| 2 14" | 9 24" |
| 3 36" | 10 72" |
| 4 14" | 11 20" |
| 5 30" | 12 60" |
| 6 40" | 13 72" |
| 7 14" | 14 48" |

PROJECT INFORMATION

EXISTING:

A.P.N. 188-230-02:
 EXISTING CEMETERY

A.P.N. 188-230-47:
 EXISTING AGRICULTURAL USE

PROPOSED:

PROCESS A MAJOR USE PERMIT TO INCREASE THE CEMETERY INTERMENT AREA, REVISE ON-SITE ACCESS DRIVEWAY, UPGRADE SEPTIC SYSTEM AND CONSTRUCTION OF AN 800 SF OFFICE BUILDING. PROPOSED EXPANSION AREA LOCATED ON THE NORTH SIDE OF THE ORIGINAL CEMETERY DISTRICT PROPERTY.

PLOT PLAN INFORMATION

BUILDING SUMMARY:

AREAS SHOWN IN SQUARE FEET (SF)

EXISTING (AS-BUILT):

BUILDING USE: OFFICE BUILDING 534 SF

BUILDING USE: COLUMBARIUM 79 SF (288 NICHES)

PROPOSED:

BUILDING USE: OFFICE BUILDING 800 SF (1 STORY)

PARKING SUMMARY:

- A. TOTAL PARKING SPACES REQUIRED PER LAND USE: 3
- B. TOTAL PARKING SPACES REQUIRED: 3
 TOTAL PARKING SPACES PROVIDED: 3 STANDARD "PERMANENT"
29 STANDARD "TEMPORARY"
- C. TOTAL ACCESSIBLE SPACES REQUIRED: 1
 TOTAL ACCESSIBLE SPACES PROVIDED: 1
- D. TOTAL BICYCLE SPACES REQUIRED: 3
 TOTAL BICYCLE SPACES PROVIDED: 3
- E. TOTAL AREA DEVOTED TO LANDSCAPING: 80 SQ. FT.

NOTES:

1. CEMETERY PARKING TOTALS:
 - PERMANENT SPACES: 3 STANDARD (9' x 22')
 1 HANDICAPPED (9' x 22'), PER S.D.R.S.D. M-27A, M-28A AND M-28B
 - TEMPORARY SPACES: 29 STANDARD (9' x 22')
2. PROPOSED USE OF EXISTING "AS-BUILT" OFFICE (534 SF) WILL BE FOR MAINTENANCE PURPOSES ONLY FOLLOWING CONSTRUCTION OF NEW OFFICE BUILDING.
3. TRAILS/PATHWAYS: THE VALLEY CENTER COMMUNITY TRAILS AND PATHWAY PLAN HAS DESIGNATED A PROPOSED PATHWAY ALONG MILLER ROAD. A PROPOSED 10' WIDE PATHWAY IS TO BE LOCATED WITHIN THE MILLER ROAD RIGHT-OF-WAY. DEDICATION AND CONSTRUCTION OF THE PATHWAY WILL BE DEFERRED UNTIL THE COUNTY PROCEEDS WITH MILLER ROAD, PUBLIC ROAD IMPROVEMENTS.

SHEET INDEX

- SHEET 1: PLOT PLAN-TITLE SHEET, KEY MAP
 SHEET 2: PLOT PLAN-PRELIMINARY GRADING PLAN
 SHEET 3: PLOT PLAN-STORMWATER MANAGEMENT PLAN
 SIGNS-KEY MAP
 SIGNS-PHOTOS
 ELEVATIONS-KEY MAP
 ELEVATIONS-PHOTOS
 SHEET A-1 ARCHITECTURAL FLOOR PLAN
 SHEET A-2 ARCHITECTURAL ELEVATIONS
 SHEET L-1 CONCEPTUAL LANDSCAPE PLAN

LEGEND

ITEM	SYMBOL
PROPERTY LINE	---
EASEMENT LINE	---
CENTERLINE LINE	---
BUILDING SETBACK	---
DIRECTION OF DRAINAGE	---
FENCE LINE	---
PROPOSED RETAINING WALL	---
MISC. WALL	---
PROPOSED DIRECTION OF TRAVEL	---
CHAIN LINK	---

BMP / SWMP

REFER TO SHEET 3 FOR BMP/SWMP EXHIBIT

A.P.N.: 188-230-47
 General Plan Designation: VILLAGE RESIDENTIAL (VR-2)

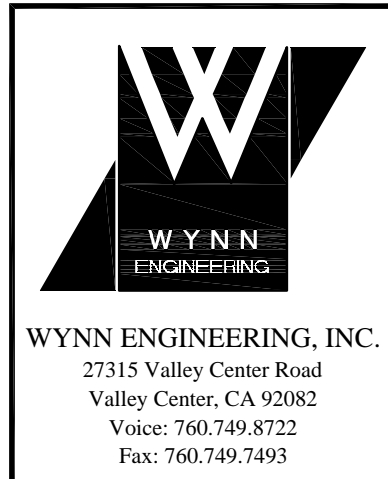
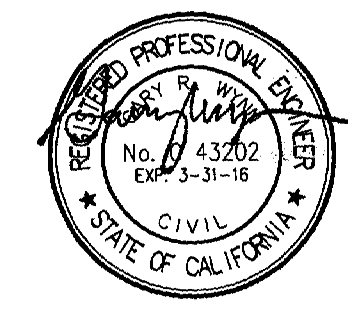
Regional Category	VILLAGE
USE REGULATIONS	RR
NEIGHBORHOOD REGS.	V
Density	.5 AC
Lot Size	2 AC
Building Type	C
Max Flr Area	-
Flr Area Ratio	-
Height	6
Coverage	-
Setback	B
Open Space	-
SPECIAL AREA REGS.	-

A.P.N.: 188-230-47
 General Plan Designation: VILLAGE RESIDENTIAL (VR-4.3)

Regional Category	VILLAGE
USE REGULATIONS	RS
NEIGHBORHOOD REGS.	V
Density	.5 AC
Lot Size	6000 SF
Building Type	C
Max Flr Area	-
Flr Area Ratio	-
Height	6
Coverage	-
Setback	J
Open Space	-
SPECIAL AREA REGS.	-

A.P.N.: 188-230-02
 General Plan Designation PUBLIC/SEMI PUBLIC
 Regional Category SEMI RURAL/VILLAGE

USE REGULATIONS	RR
NEIGHBORHOOD REGS.	V
Density	-
Lot Size	2 AC
Building Type	C
Max Flr Area	-
Flr Area Ratio	-
Height	6
Coverage	-
Setback	J
Open Space	-
SPECIAL AREA REGS.	-



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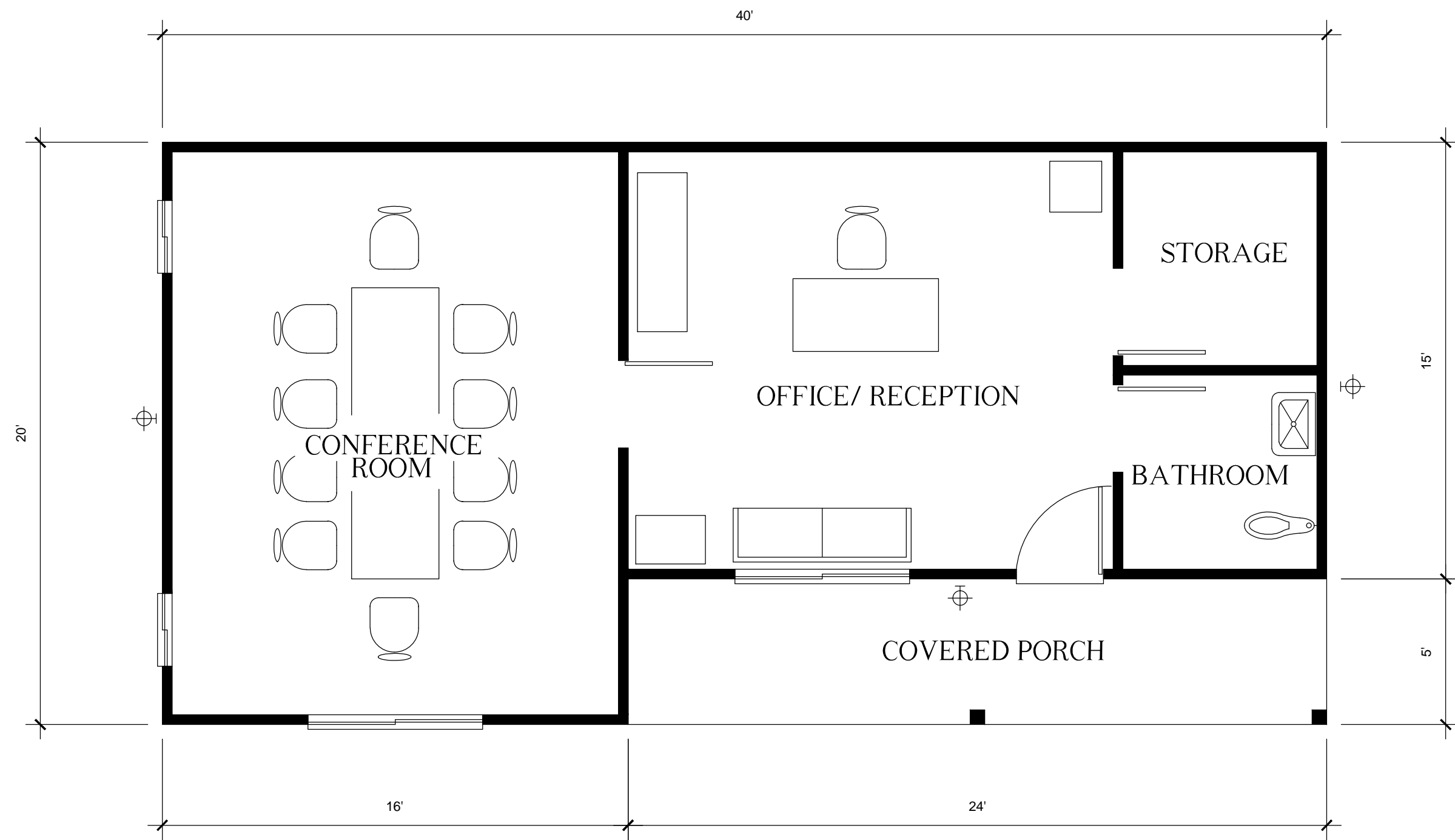
PLOT PLAN MAJOR USE PERMIT

VALLEY CENTER CEMETERY DISTRICT 28953 MILLER ROAD VALLEY CENTER, CA 92082

THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION UNLESS THE STAMP ABOVE IS SIGNED WITH A NET SIGNATURE AND THESE DRAWINGS BEAR THE APPROVAL STAMP OF THE BUILDING OFFICIAL.

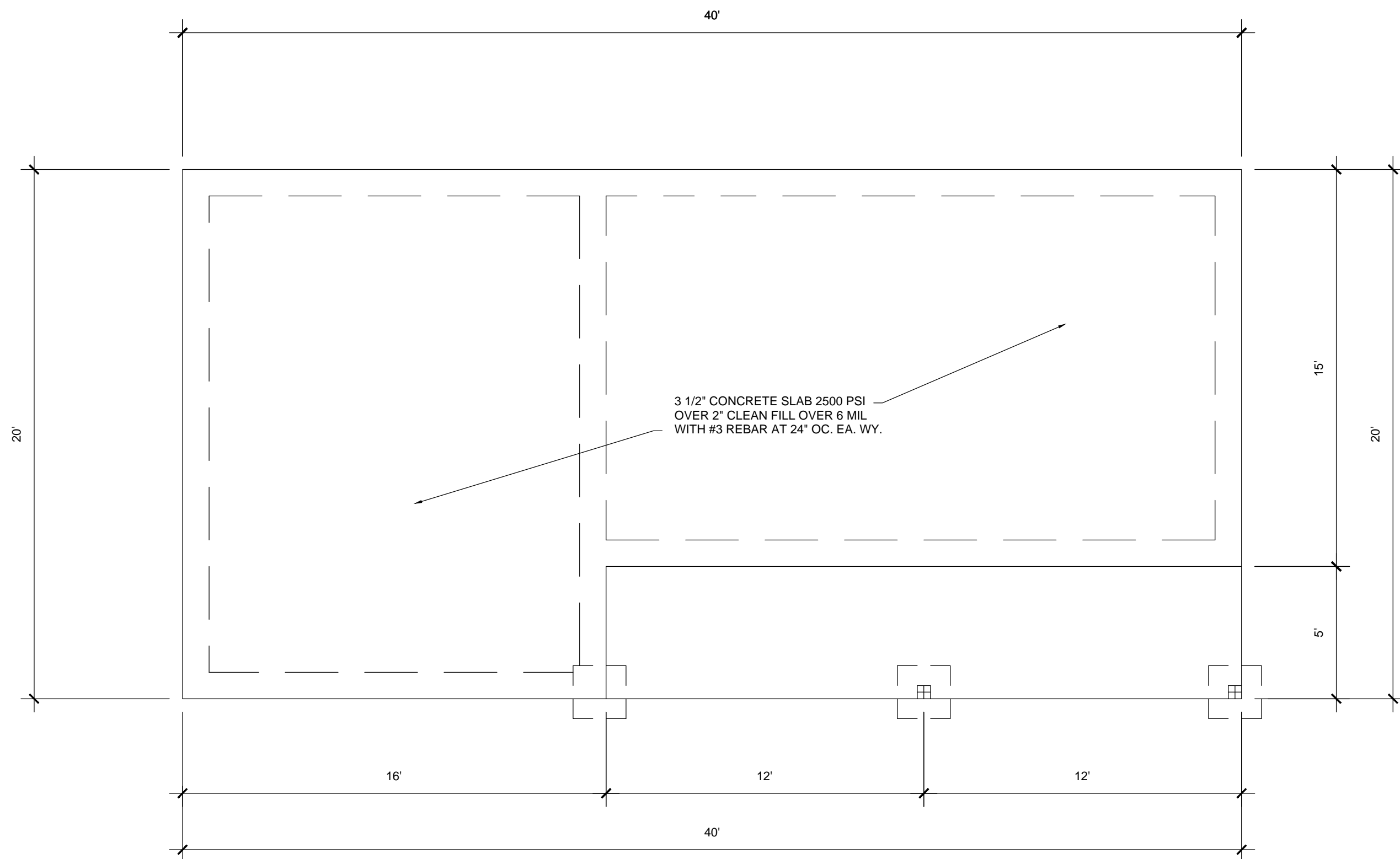
REVISIONS

DATE: 12-11-2014
 SCALE: SEE PLAN
 ENGINEER: CW
 DRAFTER: IV & BB
 JOB No: 11-059
 DWG No: B-260
PLOT PLAN KEY MAP
 SHEET 1 OF 3 SHEETS



PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"



PROPOSED FOUNDATION PLAN

SCALE 1/4" = 1'-0"

ELECTRICAL LEGEND

- 48" SURFACE MOUNTED LIGHT FIXTURE 2-M8 FLORESCENT BULBS
- 6" RECESSED FLORESCENT LIGHT FIXTURE WITH ZERO CLEARANCE TO INSULATION
- WALL MOUNTED LOW EFFICACY INDOOR LIGHT FIXTURE
- WALL MOUNTED LOW EFFICACY OUTDOOR LIGHT FIXTURE W/ MOTION & PHOTO CONTROL
- CEILING MOUNTED LIGHT FIXTURE , SWITCHED AND INSTALLED WITH FAN BOX
- 220/240 GROUNDED OUTLET
- 110/120 DUPLEX GROUNDED OUTLET
- WEATHER PROOF COVER, GROUND FAULT INTERRUPTER 110/120
- GROUND FAULT INTERRUPTER 110/120
- SINGLE POLE SWITCH
- 3 WAY SWITCH
- VACANCY SENSOR
- MECHANICAL EXHAUST SYSTEM SEE PLAN NOTES
- SMOKE DETECTOR INTERCONNECTED AND HARD WIRE W/ BATTERY BACKUP
- CARBON MONOXIDE ALARM INTERCONNECTED AND HARD WIRE W/ BATTERY BACKUP

AREA CALCULATIONS

OFFICE AREA	680 SQ.FT.
COVERED PORCH	120 SQ.FT.
TOTAL AREA	800 SQ.FT

PLANS NOTES

EXTERIOR WINDOWS TO BE ALUMINUM WITH DUAL PANE GLASS AND ONE TEMPERED PANE
EXTERIOR DOOR TO BE 1-3/4" THICK WITH MTL CLAD
GABLE END VENTS TO BE PROTECTED BY LOUVERS AND 1/8" NONCOMBUSTIBLE, CORROSION RESISTANT MESH

ATTIC AREA 800 SQ.FT./150 = 5.3 SQ.FT VENTILATION

INSTALL CARBON MONOXIDE ALARMS OUTSIDE ALL SLEEPING AREAS/ BEDROOMS

FOUNDATION NOTES

ALL HOLDDOWNS TO BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
INSPECTOR TO RECHECK FOR EXPANSIVE SOILS AND/OR GRADING REQUIREMENTS AT FIRST INSPECTION

5/8" x 10" ANCHOR BOLTS TO BE PLACED AT 6'-0" O.C. MAX. WITH MIN 7" EMBEDMENT INTO CONCRETE.
MIN. 2 BOLTS PER PIECE, LOCATED NOT MORE THAN 12" OR LESS THAN 4" FROM ENDS.

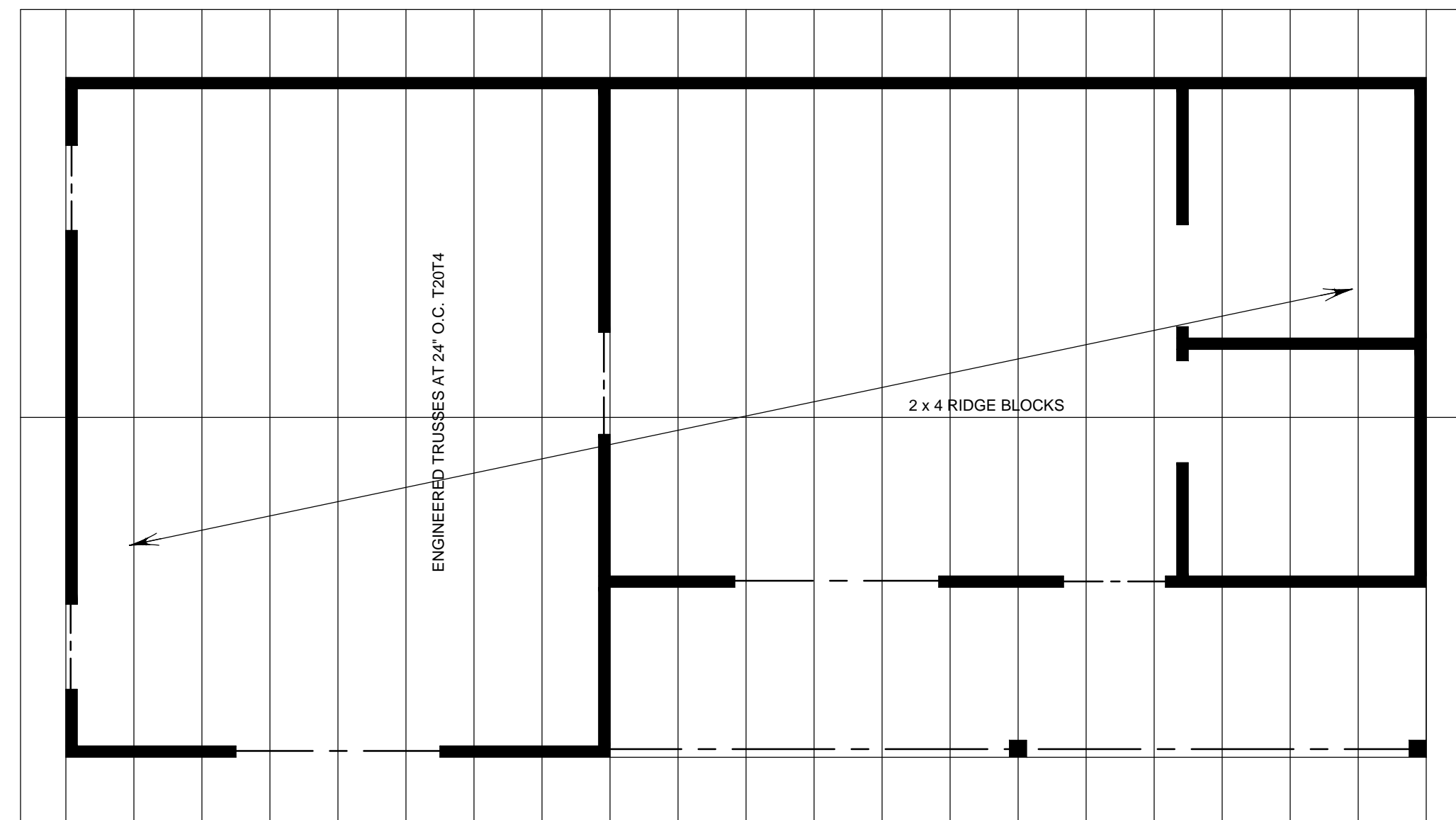
STEEL PLATE WASHERS 3"x3"x .229" AT BOLT.

SLOTTED PLATE WASHERS UP TO 3/16" LARGER THAN BOLT DIA. AND 1 3/4" LONG SLOT WITH STANDARD CUT WASHER BETWEEN THE PLATE WASHER AND THE NUT.

FRAMING NOTES

3/8" STRUCT 1 OSB SHEAR PANEL, EXTENDS TO ROOF SHEATHING 80 COMMON AT 6" O.C. EDGES & 12" O.C. FIELD.
5/8" RD x10" ANCHOR BOLTS AT 48" O.C. MIN. 2 PER PANEL
4x4 MIN POST AT EACH END AND SIMPSON HD5 HOLDDOWN.

ALL FASTENERS FOR PRESERVATIVE TREATED WOOD (IN ALL APPLICATIONS) AND FIRE RETARDANT TREATED WOOD (IN EXTERIOR APPLICATIONS) SHALL BE OF HOT DIPPED ZINK COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (CRC R317.3)



PROPOSED ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"

Rev.

Rev.

Rev.



Design, Drafting and Construction

Garages
Barns
Metal buildings
Homes
Additions

760-749-4458

www.Danielbrianco.com

28358 Aerie Road
Valley Center, Ca. 92082

VALLEY CENTER CEMETERY
28953 MILLER ROAD, VALLEY CENTER, CA. 92082
FLOOR PLAN, FOUNDATION PLAN
AND ROOF FRAMING PLAN

Scale 1/4" = 1'- 0"

Drawn By DBP

Date SEPT. 25, 2013

Sheet

A-1

Of

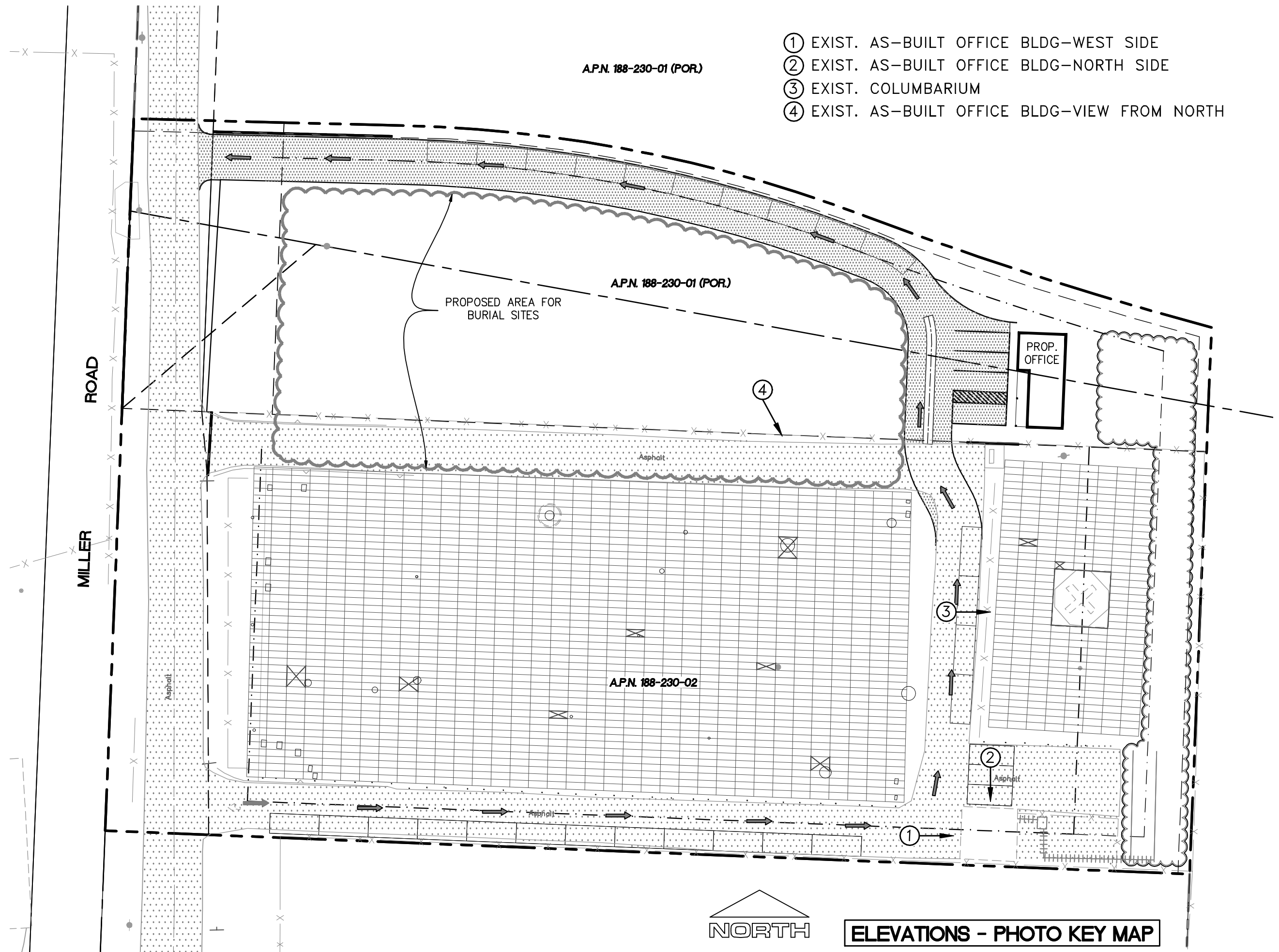


1X3 BATTANS AT 16" ON CENTER, PLACED
VERTICALLY OVER SIDING.



VALLEY CENTER CEMETERY
28953 MILLER ROAD, VALLEY CENTER, CA. 92082
EXTERIOR ELEVATIONS

Scale	$1/4" = 1' - 0"$
Drawn By	DBP
Date	SEPT. 25, 1933
Sheet	A-2
	Of



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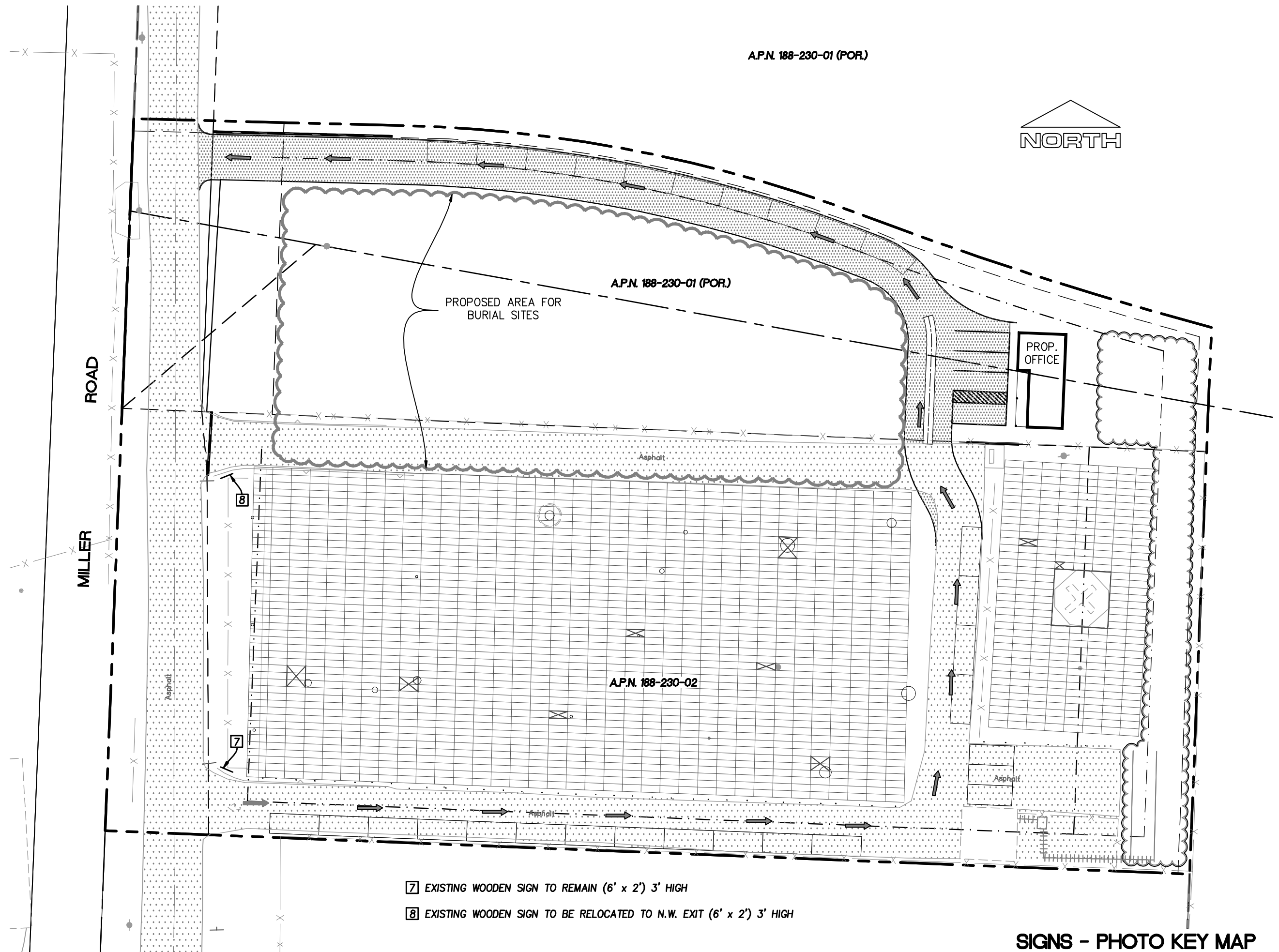


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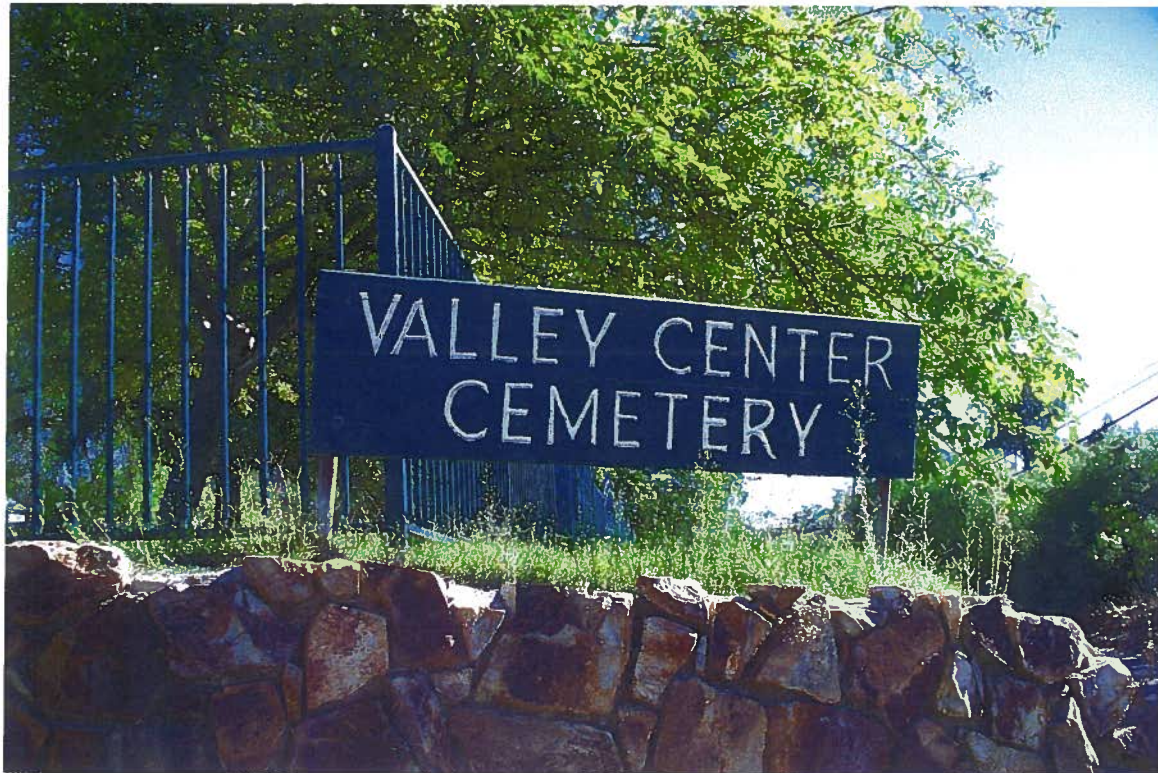
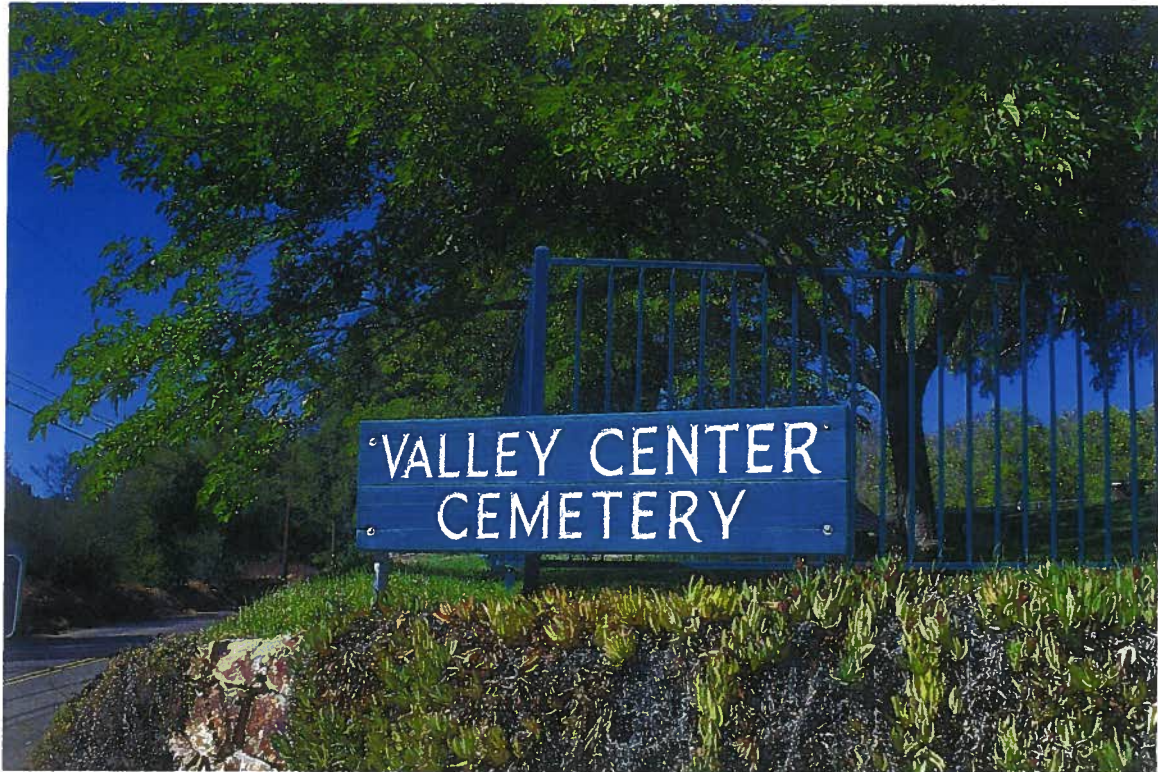
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SIGNS - PHOTO KEY MAP

7



8