



*The County of San Diego*

# Planning Commission Hearing Report

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<b>Date:</b>	December 15, 2017	<b>Case/File No.:</b>	Peg Leg Verizon Wireless Major Use Permit; PDS2017-MUP-17-004, ER-17-05-001
<b>Place:</b>	County Conference Center 5520 Overland Avenue San Diego, CA 92123	<b>Project:</b>	Wireless Telecommunication Facility
<b>Time:</b>	9:00 a.m.	<b>Location:</b>	2285 Henderson Canyon Road, Borrego Springs
<b>Agenda Item:</b>	#3	<b>General Plan:</b>	Rural Lands (RL-40)
<b>Appeal Status:</b>	Appealable to the Board of Supervisors	<b>Zoning:</b>	General Rural (S-92)
<b>Applicant/Owner:</b>	Technology Associates EC, Inc. on behalf of Verizon Wireless	<b>Community:</b>	Borrego Springs Community Plan Area
<b>Environmental:</b>	CEQA §15303 Exemption	<b>APN:</b>	140-320-30

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## A. EXECUTIVE SUMMARY

### 1. Requested Actions

This is a request for the Planning Commission to evaluate the proposed Major Use Permit (MUP) for a wireless telecommunication facility, determine if the required findings can be made, and if so, take the following actions:

- a. Adopt the Environmental Findings included in Attachment D which includes a finding that the project is exempt from the California Environmental Quality Act (CEQA).
- b. Grant MUP PDS2017-MUP-17-004, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment B).

### 2. Key Requirements for Requested Actions

- a. Is the proposed project consistent with the vision, goals, and policies of the General Plan?
- b. Does the project comply with the policies set forth under the Borrego Springs Community Plan?
- c. Is the proposed project consistent with the County's Zoning Ordinance?

- d. Is the proposed project consistent with the County's Wireless Ordinance?
- f. Does the project comply with the CEQA?

### **B. BACKGROUND**

The site is owned by Verizon Wireless, and has an existing County-owned lattice tower used for radio system communications. The lattice tower was originally approved by the Board of Supervisors on June 4, 1996 as part of the Regional Communication Systems project. The County and Verizon Wireless also entered into a Lease Agreement on June 4, 1996 to allow the County to construct and operate a public safety radio communication facility on the Verizon-owned property. A Second Amendment to the Lease Agreement was approved by the Board of Supervisors on November 14, 2017 to authorize the installation of Verizon's subject proposal on the County's lattice tower.

The existing lattice tower is 50 feet tall with 16 foot tall whip antennas, for a maximum height of 66 feet. The existing equipment consists of two microwave dish antennas on the lattice tower with two equipment enclosures, a wooden power pole at grade with a transformer, two associated equipment enclosures, and a propane tank. A 6-foot tall chain link fence surrounds the facility, covering a total of 6,377 square feet.

Prior to the lease agreement between Verizon Wireless and the County, a MUP (MUP-89-032) was approved for a 32-foot tall monopole in the same location. The monopole was never built by the original applicant, PacTel Cellular, and therefore expired.

In February of 2017, Verizon submitted an application for a MUP Modification for MUP-89-032. However due to the expiration of that permit, Verizon was directed instead to pursue a new MUP for the proposed co-location on the existing lattice tower.

### **C. DEVELOPMENT PROPOSAL**

#### **1. Project Description**

The applicant requests a MUP to construct, operate, and maintain a wireless telecommunication facility for Verizon Wireless on an existing 50-foot tall lattice tower in Borrego Springs.

The proposed wireless telecommunication facility will include the installation of two 4-foot microwave dish antennas, one 10-foot microwave dish antenna, six elliptical coaxial cables, a 100-square foot pre-fabricated equipment shelter with attached 5-foot tall steel fencing, and a new service meter. The microwave dish antennas will be mounted at a maximum height of 27 feet on the existing 50-foot tall lattice tower as shown in Figure 1. The proposed wireless telecommunication facility includes the installation of a 20 kilowatt (kW) emergency backup generator that will be housed within the proposed attached fencing area just east of the equipment shelter, also shown in Figure 1. The project will require a 3-foot wide trench approximately 90 linear feet in length. Access is provided by an existing on-site gravel road connecting to Henderson Canyon Road (a public road). The existing lattice tower will have a total of five microwave dish antennas with the addition of the proposed three microwave dish antennas for the Verizon wireless telecommunication facility.



Figure 1: Proposed microwave dish antennas at 27' high.

## 2. Subject Property and Surrounding Land Uses

The subject property is 66.27 acres located at 2285 Henderson Canyon Road, in the Borrego Springs Community Plan Area (see Figure 2). The site is currently developed with an existing 50-foot tall lattice tower, a wood power pole with a transformer, two associated equipment enclosures, and a propane tank, which are all within a 6-foot tall chain link fence in the center of the property. The site is surrounded by flat desert landscape with very little vegetation, and hilly terrain to the north. Surrounding land uses can be characterized as rural and includes residential and some industrial use types. The proposed wireless telecommunication facility is located approximately 380 feet from the nearest property line and approximately 500 feet from the nearest residence.



Figure 2: Aerial Photograph

Table C-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Rural Lands, Public Agency Lands	S92	Henderson Canyon Road	Vacant Land
East	Rural Lands	S92	Henderson Canyon Road, Pegleg Rd.	Residential, Vacant Land
South	Rural Lands	S92; M54 and M52 (approx. 2.5 miles south)	Palm Canyon Dr.	Vacant Land, Industrial Residential
West	Rural Lands	S92	Borrego Valley Rd.	Vacant Land, Residential



## **D. ANALYSIS AND DISCUSSION**

The project has been reviewed to ensure it conforms to all the relevant ordinances and guidelines, including, but not limited to, the San Diego County General Plan, Borrego Springs Community Plan, the Zoning Ordinance, and CEQA Guidelines. The following items were reviewed throughout the project's processing and are detailed below: Site Planning Analysis, Community Compatibility, and Alternative Site Analysis (ASA).

### **1. Analysis**

The project is located in a preferred location within a non-preferred zone. As set forth in County Zoning Ordinance Section 6985, the proposed wireless telecommunication facility requires the approval of a MUP. The proposed project will be co-locating on an existing operational telecommunication facility.

#### Site Planning Analysis

The proposed wireless telecommunication facility will co-locate on an existing lattice tower. The proposed equipment shelter with attached fencing will have an earth-tone color which will blend in with the existing natural environment. The equipment shelter will be a 10-foot tall, pre-fabricated structure and the attached fencing will house the proposed backup generator. Staff determined that the proposed antennas and equipment shelter will be compatible with the surrounding land uses and existing structures because the design, location, and surrounding elements match the bulk and scale of the proposed project. No additional landscaping will be required to screen the proposed facility due to the lack of vegetation in the area and distance from nearest properties.

#### Community Compatibility/Visual

The proposed wireless telecommunication facility is located approximately 11 miles north of State Route 78 and 20 miles west of State Route 86. The surrounding area has relatively flat topography with hills north of the project site across Henderson Canyon Road. The existing communication facility is visible to east and west bound motorists traveling on Henderson Canyon Road. The proposed microwave dishes and equipment enclosure will also be visible to motorists traveling on Henderson Canyon Road, as shown in Figure 3. However, due to the distance from the road, the proposed microwave dishes and equipment enclosure will not be visible to those traveling on Peg Leg Road.

The closest residence to the project site is located approximately 500 feet to the north. The residents will have limited views of the proposed wireless telecommunication facility due to the distance of the facility from their property. The existing lattice tower is visible from surrounding areas but, due to distance and intervening undeveloped property, the proposed facility blends in with the rural character of the area. The proposed microwave dishes will be the same design and color as the existing microwave dishes currently on the lattice tower. Therefore the proposed wireless telecommunication facility will not introduce a negative visual impact to the community.

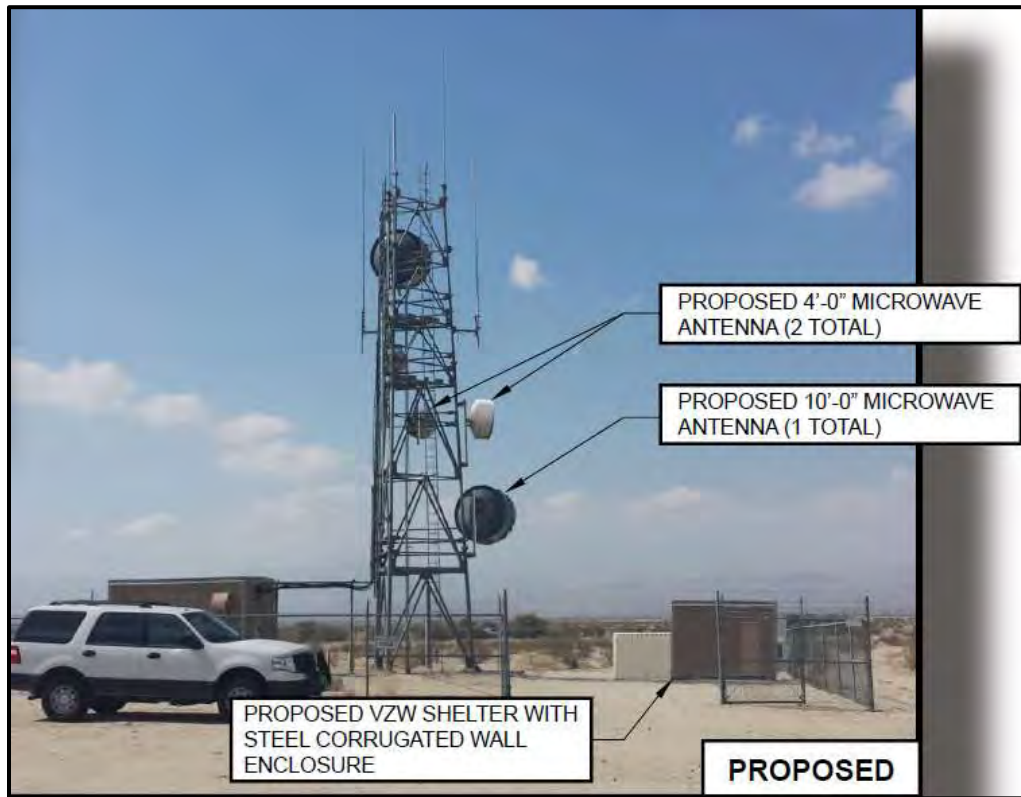


Figure 3: View of Proposed Equipment from Henderson Canyon Rd.

#### Alternative Site Analysis

The proposed wireless telecommunication facility is designed to support other telecommunication sites in the Borrego Springs and Mount Laguna areas through the use of microwaves affixed to the existing lattice tower. The microwave dishes work through a point-to-point/line-of-sight beam to offload capacity from other nearby cell sites to help prevent dropped calls and provide faster data speeds. This microwave technology allows Verizon to support other sites in the area without having to locate additional facilities close to very populated areas. The site is zoned General Rural (S92), which is a non-preferred zone per the County Zoning Ordinance and therefore requires an ASA.

To achieve the connection objective, Verizon needed to find a site with unobstructed line-of-sight to three existing and proposed cell sites. The existing lattice tower is in an ideal location to achieve this objective. The applicant reviewed other potential sites within the area before deciding to pursue this location and submitted an ASA to demonstrate that coverage objectives could not be met in another preferred location or a preferred zone.

The applicant explored the option of co-locating the facility within a preferred zone (industrial or commercial) but found that there were no appropriate locations within industrial or commercial zones in the area. The surrounding area is primarily vacant land with residential zoning. The nearest industrial zoned property is over two and one-half miles south of the subject property and does not contain a structure or existing facility to serve the intended purpose as described above.

Other existing towers and structures in the area were evaluated as preferred locations for the proposed telecommunication facility. Since Borrego does not require as much data capacity as other more densely populated areas, there are very few existing towers in the coverage area. The only towers in the area that could be co-located upon were existing Verizon Wireless towers that the proposed wireless telecommunication facility will support. It is not preferable to install large microwave dishes on a highly visible tower near more populated areas. For this reason, the existing towers were eliminated from consideration. Further information detailing the ASA analysis can be found in Attachment F.

The Geographic Service Area (GSA) map shown in Figure 4 illustrates the existing and proposed Verizon Wireless sites that will offload to the proposed wireless telecommunication facility. The future proposed Yaqui Pass site, shown in Figure 4, is contingent upon the addition of the proposed Peg Leg site. These maps, provided by the applicant, demonstrate that the proposed facility is necessary to offload capacity from the existing and future Verizon facilities to help provide better quality service for customers near those sites. All GSA maps can be found in Attachment F.



Figure 4: Map of Verizon sites to be offloaded by the proposed Peg Leg Site.

## 2. General Plan Consistency

The site is subject to the General Plan Rural Lands (RL-40) land use designation. The proposed project is consistent with the following relevant General Plan goals, policies, and actions as described in Table D-1.

*Table D-1: General Plan Conformance*

<b>General Plan Policy</b>	<b>Explanation of Project Conformance</b>
<b>GOAL S-1 – Public Safety.</b> Enhanced public safety and the protection of public and private property.	The proposed project will allow for increased coverage throughout the area, which is essential in the event of an emergency.
<b>GOAL S-2 – Emergency Response.</b> Effective emergency response to disasters that minimizes the loss of life and damage to property, while also reducing disruption in the delivery of vital public and private services during and following a disaster.	The proposed wireless telecommunication facility will minimize telecommunication interruptions by improving coverage in the area and supporting other Verizon Wireless sites. Additionally, the applicant proposes an emergency generator to allow the wireless telecommunication facility to operate in the event of a power outage.
<b>POLICY COS 4.1 – Water Conservation.</b> Require development to reduce the waste of potable water through use of efficient technologies and conservation efforts that minimize the County's dependence on imported water and conserve groundwater resources.	The proposed project will not require landscaping as it is not required to screen the wireless telecommunication facility, Policy COS-4.1 is not applicable to the project.
<b>POLICY COS 11.1 – Protection of Scenic Resources.</b> Require the protection of scenic highways, corridors, regionally significant scenic vistas, and natural features, including prominent ridgelines, dominant landforms, reservoirs, and scenic landscapes.	The wireless telecommunication facility may be visible from a scenic corridor as defined by the County General Plan. The proposed wireless telecommunication facility will be located over 3,000 feet from Peg Leg Road and Borrego Salton Seaway (S22), a County Designated Scenic Corridor. Drivers using the Corridor may have views of the facility but because the tower is existing, the proposed facility will not be introducing a new visual impact to the scenic corridor. The proposed equipment enclosure has been designed to blend in with the natural environment through the use of earth-tone colors. Therefore, the new wireless telecommunication facility and equipment shelter will not adversely affect a scenic resource.

General Plan Policy	Explanation of Project Conformance
<b>POLICY COS 11.3 – Development Siting and Design.</b> Require development within visually sensitive areas to minimize visual impacts and to preserve unique or special visual features, particularly in rural areas.	The proposed project was sited and designed to minimize the view from surrounding land and roadways by utilizing an existing communication tower. The nearest residence or public road is over 380 feet from the site.
<b>POLICY LU 15.1 – Telecommunication Facilities Compatibility with Setting.</b> Require that wireless telecommunication facilities be sited and designed to minimize visual impacts, adverse impacts to the natural environment, and are compatible with existing development and community character.	The proposed project will be compatible with the existing community character because the proposed antennas and equipment shelter have been sited and designed to blend in with the existing environment and landscape. As identified in the photo-simulations, the proposed equipment shelter will have earth-tone colors to blend in with the existing natural environment. The proposed microwave antennas will match the existing microwave antennas on the existing lattice tower. In addition, the wireless telecommunication facility is located in a remote location with less than five residences within a two-mile radius. For these reasons, the wireless telecommunication facility will blend with the visual setting in the vicinity, be compatible with the existing community character, and will not result in impacts to the natural environment.

### 3. Community Plan Consistency

The proposed project is consistent with the following relevant Borrego Springs Community Plan goals, policies, and actions as described in Table D-2.

*Table D-2: Borrego Springs Community Plan Conformance*

Community Plan Policy	Explanation of Project Conformance
<b>POLICY – COS 1.3.1</b> Discourage new energy transmission towers within the Community Planning Area.	The applicant is co-locating the proposed facility on an existing lattice tower thereby satisfying this policy.

### 4. Zoning Ordinance Consistency

#### a. Development Regulations

The proposed project complies with all applicable zoning requirements of the General Rural (S92) zone with the incorporation of conditions of approval (See Table D-3). The Planning Commission should consider whether or not the included conditions of approval ensure compatibility of the proposed project with the surrounding properties and overall community character.

Table D-3: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	S92	Yes, with issuance of MUP.
Animal Regulation:	W	N/A
Density:	-	N/A
Lot Size:	20 Acres	Yes
Building Type:	C	Yes
Height:	G	Yes
Lot Coverage:	-	N/A
Setback:	D	Yes
Open Space:	-	N/A
Special Area Regulations:	C	Yes

Development Standard	Proposed/Provided	Complies?
Section 4600 of the Zoning Ordinance sets the maximum height requirements. This parcel has a designated height of "G" which requires structures to be no more than 35-feet in height.	The applicant is proposing to co-locate wireless telecommunication antennas, at a maximum height of 27 feet, onto an existing 50-foot lattice tower. The applicant has designed the wireless telecommunication facility so that it will not cause a hazard nor will it impact a scenic viewshed.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires that the project meet the "D" setback requirements of a 60-foot front yard setback, 15-foot interior side yard setback, 35-foot exterior side yard setback, and a 25-foot rear yard setback.	The project meets all required setbacks. The proposed wireless telecommunication facility will be located approximately 350 feet from the nearest residential property line.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 5250 of the Zoning Ordinance requires that the project comply with the Airport Land Use Compatibility Plan Area Regulations.	Due to the height of the proposed microwave dishes on the existing 50-foot lattice tower, the requirements for airport review did not apply. No additional height is proposed to the existing 50-foot lattice tower.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

## b. Wireless Telecommunications Facilities

The proposed project is classified as a Tier 4 site pursuant to Section 6985A of the County Zoning Ordinance, which requires a MUP because the facility is proposed in a residential zone (S92), which is a non-preferred zone for wireless telecommunication facilities pursuant to Section 6986 of the County Zoning Ordinance. The site was selected because no preferred zones or other preferred locations exist in the service area that meet the coverage objectives of the carrier. The wireless telecommunication facility will fill several coverage gaps which will allow Verizon Wireless to have better network coverage in the surrounding areas. The proposed facility will support other sites in the area by offloading capacity and increasing coverage range through the use of microwave antennas.

By federal law, the County is prohibited from regulating the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of Radio Frequency (RF) emissions if the facilities comply with the Federal Communications Commission (FCC) regulations concerning RF emissions. Therefore, County decision-makers do not consider comments or information concerning potential health effects or other environmental effects when determining whether to approve permits for cellular facilities. Also, staff does not require information from the applicant concerning such effects from RF emissions associated with the project. Information regarding potential health effects is available from the cellular providers upon request as it is required from the FCC.

The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular facilities. Therefore, staff does not require information from the applicant on potential health effects from EMR associated with the project. Generally, this information is available from the cellular providers upon request as it is required by the FCC.

Table D-4: Wireless Ordinance Development Regulations

Development Standard	Proposed/Provided	Complies?
Section 6985.C.4 of the Wireless Telecommunications Ordinance requires that a minimum 50-foot setback for a telecommunication tower when it is placed adjacent to a residential use.	The project complies with the 50-foot setback requirement. The setback from the proposed facility to the nearest residential property line is over 100 feet.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.5 of the Wireless Telecommunication Ordinance prohibits the placement of a telecommunication tower or equipment in the front, rear, or side yard setback.	The proposed antennas and equipment shelter will be placed outside of all required setbacks.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>



Development Standard	Proposed/Provided	Complies?
Section 6985.C.2 of the Wireless Telecommunication Ordinance requires that the equipment accessory to a facility not exceed 10 feet in height unless a greater height is necessary to maximize architectural integration and the facility is screened by landscaping.	The project includes an equipment shelter with a height of ten feet. The proposed equipment shelter will blend in with existing equipment enclosures at the facility. The facility is over 300 feet from the nearest residence. The applicant is proposing the concrete masonry unit (CMU) enclosure in a disturbed portion of the property near other existing structures.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.6 of the Wireless Telecommunication Ordinance states that noise from any equipment supporting the facility shall meet the requirements of the County's Noise Ordinance on an average hourly basis.	The project site is zoned S92, and is subject to the most restrictive one-hour average sound level limit of 45 decibel (dBA) at the project property lines pursuant to the County Noise Ordinance Section 36.404. Noise producing equipment consists of an emergency back-up generator. The generator unit will produce noise levels which will not exceed the 45 dBA requirement at the property line and thereby comply with the County Noise Ordinance.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

## 5. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed for compliance with the CEQA and it is recommended that the proposed project qualifies for a categorical exemption under CEQA section 15303. Section 15303 exempts the installation of small new equipment and facilities in small structures. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway.

### E. COMMUNITY PLANNING GROUP

On March 2, 2017, the Borrego Springs Community Sponsor Group (CSG) recommended approval of the project by a vote of 6-0-0-1 (Ayes – 6; Noes – 0; Abstain – 0; Absent – 0; Vacant – 1). The Borrego Springs CSG Minutes are found in Attachment E, Public Documentation.

### F. PUBLIC INPUT

No public opposition and no comments to the project were received.

**G. RECOMMENDATIONS**

Staff recommends that the Planning Commission take the following actions:

1. Adopt the Environmental Findings included in Attachment D which include a finding that the project is exempt from CEQA.
2. Grant MUP PDS2017-MUP-17-004, make the findings, and impose the requirements and conditions as set forth in the Form of Decision in Attachment B.

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***Report Prepared By:***

Denise Russell, Project Manager  
858-694-2019  
[denise.russell@sdcounty.ca.gov](mailto:denise.russell@sdcounty.ca.gov)

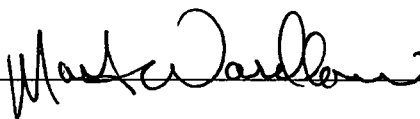
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***Report Approved By:***

Mark Wardlaw, Director  
858-694-2962  
[mark.wardlaw@sdcounty.ca.gov](mailto:mark.wardlaw@sdcounty.ca.gov)

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**AUTHORIZED REPRESENTATIVE:**



MARK WARDLAW, DIRECTOR

**ATTACHMENTS:**

Attachment A – Planning Documentation  
Attachment B – Form of Decision Approving PDS2017-MUP-17-004  
Attachment C – Environmental Documentation  
Attachment D – Environmental Findings  
Attachment E – Public Documentation  
Attachment F – Photo-Simulations, Geographic Service Area Map, and Alternative Site Analysis  
Attachment G – Ownership Disclosure

## **Attachment A – Planning Documentation**

**CALIFORNIA STATE CODE COMPLIANCE:**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

• 2016 CALIFORNIA BUILDING CODE  
• 2016 CALIFORNIA TITLE 24  
• 2016 CALIFORNIA FIRE CODE  
• 2016 CALIFORNIA RESIDENTIAL CODE  
• 2016 CALIFORNIA ENERGY CODE  
• 2016 CALIFORNIA PLUMBING CODE  
• 2016 CALIFORNIA MECHANICAL CODE  
• 2016 CALIFORNIA ELECTRIC CODE  
• ASBESTOS 222 G OR LATEST EDITION  
• LOCAL CODES AND AMENDMENTS

**FCC NOTE:**

THIS WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATIONS ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

**CODE COMPLIANCE****APPLICANT:**

VERIZON WIRELESS  
15505 SAND CANYON AVE  
BUILDING 'D' 1st FLOOR  
IRVINE, CA 92618  
PHONE (949) 268-7000

**PROPERTY OWNER:**

VERIZON  
15505 SAND CANYON AVE  
BUILDING 'D' 1st FLOOR  
IRVINE, CA 92618  
PHONE (949) 268-7000

**SITE ADDRESS:**

2285 HENDERSON CANYON RD  
BORRERO SPRINGS, CA

**SITE PARCEL NUMBER:**

14933-039

**COUNTY:**

COUNTY OF SAN DIEGO

**JURISDICTION:**

COUNTY OF SAN DIEGO

**ZONING:****LATITUDE AND LONGITUDE:**

N 37° 17' 49.5" W 115° 12' 29.5"

**HANDICAP REQUIREMENTS:**

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS REQUIREMENT(S) DO NOT APPLY.

**SITE INFORMATION**

- INSTALL (3) NEW MICROWAVE (LOCATED ON EXISTING TOWER)
- INSTALL (8) NEW ELLIPTICAL COAX CABLES
- INSTALL (1) NEW PREFABRICATED EQUIPMENT SHELTER
- INSTALL (1) NEW GENERATOR INSIDE ENCLOSURE
- INSTALL (1) NEW SERVICE METER
- INSTALL POWER TRENCH
- INSTALL COAX CABLE TRENCH

**PROJECT DESCRIPTION****SITE ACQUISITION:**

TECHNOLOGY ASSOCIATES E.C. INC.  
3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108  
CONTACT JENNIFER NOWAK  
PHONE 602-204-8130  
EMAIL jennifer.nowak@ec-inc.net

**ARCHITECTURE:**

TECHNOLOGY ASSOCIATES E.C. INC.  
3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108  
CONTACT STEVE VANDERBERG  
PHONE 602-204-8130  
EMAIL steve.vanderberg@ec-inc.net

**CONTACT INFORMATION****TOWER OWNER:**

COUNTY OF SAN DIEGO  
5555 OVERLAND AVENUE  
MAIL STOP 5302  
SAN DIEGO, CA 92123  
ATTN: RICHARD WHITLESLEY  
PHONE 619 495 5455

**EXISTING USE:**

UNMANNED TELECOMMUNICATIONS FACILITY

**NEW USE:**

UNMANNED TELECOMMUNICATIONS FACILITY

# verizon

**PEG LEG (MW)**  
**2285 HENDERSON CANYON RD**  
**BORRERO SPRINGS, CA**  
**LATTICE TOWER**

**VICINITY MAP****LOCAL MAP****STARTING FROM 15505 SAND CANYON AVE, BUILDING 'D' IRVINE, CA 92618:**

1. GO EAST ON SAND CANYON AVE TO I-5 S
2. FOLLOW I-5 S AND CA 78 E TO SAN FELIPE RD IN SAN DIEGO COUNTY
3. FOLLOW SAN FELIPE RD, MONTEZUMA VALLEY RD AND PALM CANYON DR TO HENDERSON CANYON RD
4. SITE IS APPROX 400 FT SOUTH OF HENDERSON CANYON RD. ON A DIRT ACCESS ROAD

**DRIVING DIRECTIONS**

APPROVAL	SIGNATURE	DATE
PROJECT MANAGER		
VERIZON RF ENGINEER		
SITE ACQUISITION		
CONSTRUCTION MANAGER		
SITE OWNER		
VERIZON DEVELOPMENT MANAGER		
VERIZON CONSTRUCTION MANAGER		
VERIZON OPERATIONS MANAGER		
VERIZON REGULATORY REVIEW		
VERIZON PROJECT MANAGER		
VERIZON PERMITTING		

**APPROVALS**

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	NOTES & LEGEND
T-3	CONDITIONS OF APPROVAL
T-4	CONDITIONS OF APPROVAL
LS-1	TOPOGRAPHIC SURVEY
A-0	OVERALL SITE PLAN
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	ANTENNA PLANS
A-3.1	EQUIPMENT PLANS
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	DETAILS
A-7	DETAILS
A-8	DETAILS
E-1	ELECTRICAL NOTES
E-2	ELECTRICAL PLAN
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS

**SHEET INDEX****DO NOT SCALE DRAWINGS**

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



Know what's below.  
CALL before you dig.

CALL AT LEAST TWO WORKING  
DAYS BEFORE YOU DIG

**DIG ALERT****verizon**

15505 SAND CANYON AVE  
BUILDING 'D' 1st FLOOR  
IRVINE, CA 92618

**Technology Associates**

SAN DIEGO MARKET OFFICE  
3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
1	08/11/2017	PLANNING COMMENTS	BT
2	08/11/2017	PLANNING COMMENTS	BT
3	08/11/2017	INCORPORATE SURVEY	BT
4	10/05/2017	ISSUE UPDATE	BT
5	08/16/2018	REV CONSTRUCTION	JAN
6	08/08/2018	ISSUED FOR REVIEW	JAN

**PEG LEG (MW)**

2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

**SHEET TITLE****TITLE SHEET****SHEET NUMBER****T-1**

SDC PDS RCVD 10-27-17  
MUP17-004



GENERAL NOTES	
1. THIS FACILITY IS EXEMPT FROM HANDICAP REQUIREMENTS PER 2012 INTERNATIONAL BUILDING CODE SECTION 1102.2.9. THIS FACILITY IS NON-OCCUPABLE SPACE AND ENTERED ONLY BY SERVICE PERSONNEL. THIS SPACE IS NOT FOR HUMAN OCCUPANCY.	
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO SUBMITTING BIDS AND PROCEEDING WITH ANY WORK.	
3. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS SPECIFICATIONS, AND TELEPHONE PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT.	
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK. CONTACT USA 800 ALERT @ 800-727-7469.	
5. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO PROPOSED OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.	
6. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SITS TO REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL IN-PLACE CHANGES, REVISIONS, ADDENDUMS OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT THIRDS DRAWINGS TO THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT AT THE CONCLUSION OF THE PROJECT.	
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.	
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.	
9. ALL CONSTRUCTION THROUGHOUT THE PROJECT SHALL CONFORM TO THE LATEST IBC AND ALL OTHER GOVERNING CODES, INCLUDING THE MOST RESTRICTIVE CODE SHALL GOVERN.	
10. THE CONTRACTOR AND SUBCONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS INCLUDING ALL OSHA REQUIREMENTS.	
11. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONSTRUCTION PRESENT.	
12. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT.	
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR AUTHORIZED AGENT. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.	
14. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES.	
15. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANDERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.	
16. THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL OR U-APPROVED MATERIALS TO ALL REAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.	
17. PROPOSED CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL, AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.	
18. THE CONTRACTOR IS TO PROVIDE PORTABLE FIRE EXTINGUISHERS HAVING A MINIMUM 2A:10-B:C RATING WITHIN 75 FT. OF TRAVEL TO ALL PORTIONS OF THE CONSTRUCTION AREA (2012 INTERNATIONAL BUILDING CODE 908.1.1 AND SECTION 908.3.1).	
19. MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR APPROVING THE RESULTS.	
20. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.	
21. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN, BROOM-FINISHED CONDITION AT ALL TIMES.	
22. BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING AND CONSTRUCTION EFFORTS AS MANDATED BY THE GOVERNING AGENCY.	
23. ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING OR THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT SHALL BE NOTIFIED FOR CLARIFICATION.	
24. SITE CONTRACTOR TO CALL 800 ALERT (1-800-227-7469) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.	
25. ALL FACILITIES TO BE INSTALLED ARE UNMANNED, NO U-APPROVED SPACES WILL BE USED OR PROVIDED BY THIS PROJECT.	
26. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH THE CITY'S MUNICIPAL CODES INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.	
27. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPP). THE WPP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.	
28. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.	
29. THIS IS ROOF TOP INSTALLATION ON AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.	
30. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.	
STORM WATER QUALITY NOTES CONSTRUCTION BMPs	
THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT.	
NOTES 1-8 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs:	
1. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SEDIMENT AND OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET (S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.	
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROL. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY IS 42% OR GREATER.	
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.	
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.	
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.	
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.	
GENERAL FIRE NOTES	
1. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE IN ACCORDANCE WITH 2012 INTERNATIONAL BUILDING CODE AND ALL GOVERNING CODES.	
2. ADDRESS SHALL BE PROVIDED FOR ALL PROPOSED AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (2012 INTERNATIONAL BUILDING CODE 501.2).	
3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION (2012 INTERNATIONAL BUILDING CODE 908.1).	
4. PORTABLE FIRE EXTINGUISHERS: AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A:10-B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 8,000 SQUARE FEET OF PORTION THEREOF ON EACH FLOOR (2012 INTERNATIONAL BUILDING CODE 908.1.1 AND SECTION 908.3.1).	

NOTE: THE ORIGINAL SET OF THIS PLAN IS 24" X 36". SCALE: 3/4" = 1'-0". ALL SCALE SHALL BE NOTED AFTER REDUCED OR ENLARGED SHEET SIZE.

ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION
A-B	ANCHOR BOLT	FAB	FABRICATION (OR)
ABV	ABOVE	FF	FINISH FLOOR
ACCA	ANTENNA CABLE COVER ASSEMBLY	FG	FINISH GRADE
ADDL	ADDITIONAL	FIN	FINISHED
A-F	ABOVE FINISHED FLOOR	FLR	FLOOR
A-F-G	ABOVE FINISHED GRADE	FDN	FOUNDATION
ALUM	ALUMINUM	FCC	FACE OF CONCRETE
ALT	ALTERNATE	FOM	FACE OF MASONRY
APPRX	APPROXIMATE (LY)	FOS	FACE OF STUD
ARCH	ARCHITECTURAL	F-W	FACE OF WALL
AUG	AMERICAN WIRE GAUGE	FS	FINISH SURFACE
BLDG	BUILDING	FT(I)	FOOT (FEET)
BLK	BLOCK	FTG	FOOTING
BLDG	BLOCKING	GA	GROWTH (CABINET)
BLG	BEAM	GI	GALVANIZED
B-N	BOUNDARY NAILING	GFI	GROUND FAULT CIRCUIT INTERRUPTER
BTC	BASE TINED COPPER WIRE	GLS (GLU-LAM)	GLUE LAMINATED BEAM
B-OT	BOTTOM OF FOOTING	GPS	GLOBAL POSITIONING SYSTEM
B-UP	BACK UP CABINET	GRND	GROUND
CAB	CABINET	HDR	HEADER
CANT	CANTILEVER (ED)	HGR	HANGER
C-IP	CART IN PLACE	HGT	HEIGHT
C-IO	CEILING	IGCB	ISOLATED COPPER GROUND BUS
C-IR	CLEW	IN (I)	INCHES
COL	COLUMN	INT	INTERIOR
CONC	CONCRETE	LB (L)	LAG BOLTS
CONN	CONNECTION (OR)	LF	LINEAR FEET (FOOT)
CONSTR	CONSTRUCTION	LONG	LONGITUDINAL
CONT	CONTINUOUS	MAS	MASONRY
DBL	DOUBLE	MAX	MAXIMUM
DEFT	DEFLECT	M-S	MACHINE SOLT
D-F	DOUGLAS FIR	MECH	MECHANICAL
DW	DIMENSION	MAN/FACTURE	MANUFACTURE
DWG	DRAWING	MCM	MISCELLANEOUS
DWN	DOWN	MTL	METAL
EA	EACH	N	NUMBER
ELEV	ELEVATION	N-T	NOT TO SCALE
ELC	ELECTRICAL	OC	ON CENTER
EN	EDGE	OPND	OPEN
ENG	ENGINEER	P-C	PRECAST CONCRETE
EWD	ELECTRICAL METALLIC TUBING	PCS	PERSONAL COMMUNICATION SERVICES
EXT	EXTENDING	PLY	PLYWOOD
EXP	EXPANSION	PP	POWER PROTECTION CABINET
EXT (E)	EXTERIOR	PRC	PRIMARY RADIO CABINET
EXT		P-S	POUNDS PER SQUARE FOOT
		P-S-I	POUNDS PER SQUARE INCH
		P-T	PRESSURE TREATED

## ABBREVIATIONS

	NEW ANTENNA		GRID REFERENCE		EXISTING TOWER
	EXISTING ANTENNA		DETAIL REFERENCE		NEW MICROWAVE DISH
	GROUND ROD		ELEVATION REFERENCE		NEW VERIZON EQUIPMENT SHELTER AND GENERATOR ENCLOSURE
	GROUND BUS BAR		SECTION REFERENCE		NEW VERIZON GENERATOR
	MECHANICAL GROUND CONN		GROUT OR PLASTER		NEW UNDERGROUND POWER TRENCH
	CADWELD		(E) BRICK		
	GROUND ACCESS WELL		(E) MASONRY		
	ELECTRIC BOX		CONCRETE		
	TELEPHONE BOX		EARTH		
	LIGHT POLE		GRAVEL		
	FLAG MONUMENT		PLYWOOD		
	SPOT ELEVATION		SAND		
	SET POINT		WOOD CONT		
	REVISION		WOOD BLOCKING		
	CENTER LINE		STEEL		
	PROPERTY/EASEMENT LINE		OVERHEAD SERVICE CONDUCTORS		
	MATCH LINE		CABLE		
	WORK POINT		FIBER		
	GROUND CONDUCTOR		POWER AND FIBER		
	TELEPHONE CONDUIT		CHAIN LINK FENC'G		
	ELECTRICAL CONDUIT (POWER)		WOOD FENCE		
			OVERHEAD POWER LINE		
			BURIED POWER LINE		
			OVERHEAD TELEPHONE LINE		
			BURIED TELEPHONE LINE		
			BURIED WATER LINE		
			BURIED SANITARY SEWER		
			BURIED STORM DRAIN		

## LEGEND

## LEGEND

1

15555 SAND CANYON AVE.  
BUILDING 10' 1st FLOOR  
IRVINE, CA 92618

SAN DIEGO MARKET OFFICE  
3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
1	3/11/2011	PLANNING COMMENTS	BT
2	3/10/2011	PLANNING COMMENTS	BT
3	3/23/2011	INDEPENDENT SURVEY	BT
4	7/17/2014	BID UPDATE	BAH
5	2/24/2015	BID CORRECTIONS	JTB
6	2/24/2015	REVISED FOR BIDDING REVIEW	MTL

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTUALLY UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

PEG LEG (MW)

2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE

NOTES & LEGEND

SHEET NUMBER

T-2

3-16

**PROJECT NAME:** Fog Log Wireless  
**CASE NUMBERS:** POS2017-MUP-17-CD4

I would like to amend my application for the above-listed project to include as part of the project proposal the following conditions of approval:

PGS2017-MJP-17-004,  
Peg Log Wireless

- R -

October 11, 2017

report. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, the applicant shall provide evidence of easement rights. **MONITORING:** PGS shall review this site report or similar documentation for compliance with this condition.

PGS2017-MJR-17-004  
Page Log Worksheet 7 October 11, 2017

**verizon** ✓  
15505 SAND CANYON AVE  
BUILDING 'D' 1st FLOOR  
IRVINE, CA 92618

Technology  Associates

**SAN DIEGO MARKET OFFICE**  
3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108

F	08/11/2017	PLANNING COMMENTS	SV
E	08/10/2017	PLANNING COMMENTS	SV
D	02/21/2017	INCORPORATE SURVEY	HT
C	11/1/2016	SOI UPDATE	SP
B	08/30/2016	82% CONSTRUCTION	JR
A	08/30/2016	REVISED FOR 80% CD REVIEW	SV
REV	DATE	DESCRIPTION	BY

IT IS A VIOLATION OF LAW FOR ANY PERSON  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER  
to alter this document

PEG LEG  
(MW)

2285 Henderson Canyon Rd  
BORREGO SPRINGS, CA  
LATTICE TOWER

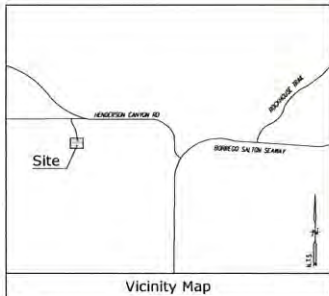
SHEET TITLE  
**CONDITIONS  
OF  
APPROVAL**

SHEET NUMBER  
**T-3**









**Title Report**  
 PREPARED BY: LAWRENCE TITLE COMPANY  
 ORDER NO. 24534947  
 DATED: DECEMBER 12, 2016

**Legal Description**  
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

**PANEL 1:**  
 THE WEST 833 FEET OF THE NORTH 833 FEET OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 10 SOUTH, RANGE 8 EAST, SAN JUAN BASIN MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, EXCEPTING THAT PORTION DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 24, THENCE SOUTH 89°04'57" WEST, 1550 FEET TO THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF THE HENDERSON CANYON ROAD, 2084.61 FEET TO THE TRUE POINT OF BEGINNING, THENCE SOUTH 89°04'57" WEST, 544.50 FEET, THENCE SOUTH 89°04'57" EAST, 400.00 FEET, THENCE NORTH 89°04'57" EAST, 544.50 FEET TO THE NORTH LINE OF SAID SECTION 24, THENCE NORTH 89°04'57" WEST, 1550 FEET TO THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF THE HENDERSON CANYON ROAD, 400.00 FEET TO THE TRUE POINT OF BEGINNING, ALSO EXCEPTING THEREFROM ONE-FOURTH OF ALL OIL, GAS AND OTHER MINERAL DEPOSITS AS RESERVED IN PATENT FROM STATE OF CALIFORNIA TO HAROLD G. SLOAN, RECORDED IN BOOK 20, PAGE 260 OF PATENTS, RECORDS OF SAN DIEGO COUNTY.

**PANEL 2:**  
 THE EAST ONE-HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 10 SOUTH, RANGE 8 EAST, SAN JUAN BASIN MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, EXCEPTING FROM THE ABOVE DESCRIBED PROPERTY THE SOUTH 833 FEET OF THE EAST 833 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 24, ALSO EXCEPTING THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED LAND: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 24, THENCE NORTH 89°04'57" WEST, 1550 FEET TO THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF THE HENDERSON CANYON ROAD, 2084.61 FEET TO THE TRUE POINT OF BEGINNING, THENCE SOUTH 89°04'57" WEST, 544.50 FEET, THENCE SOUTH 89°04'57" EAST, 400.00 FEET, THENCE NORTH 89°04'57" EAST, 544.50 FEET TO THE NORTH LINE OF SAID SECTION 24, THENCE NORTH 89°04'57" WEST, 1550 FEET TO THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF THE HENDERSON CANYON ROAD, 400.00 FEET TO THE TRUE POINT OF BEGINNING.

**Assessor's Parcel No.**  
 140-320-30

#### Easements

- ① AN EASEMENT FOR PUBLIC UTILITIES PURPOSES, RECORDED DECEMBER 30, 1963 AS INSTRUMENT NO. 10274 IN BOOK 5805, PAGE 204 OF OFFICIAL RECORDS, (PLATTED HEREON)
- ② AN EASEMENT FOR PUBLIC UTILITIES PURPOSES, RECORDED MAY 4, 1964 AS INSTRUMENT NO. 5805 IN BOOK 5827, PAGE 27 OF OFFICIAL RECORDS, (PLATTED HEREON)
- ③ AN EASEMENT FOR COUNTY HIGHWAY PURPOSES, RECORDED JANUARY 30, 1958 AS INSTRUMENT NO. 10267 IN BOOK 5805, PAGE 204 OF OFFICIAL RECORDS, (PLATTED HEREON)
- ④ AN IRREVOCABLE OFFER TO DEED AN EASEMENT FOR PUBLIC HIGHWAY PURPOSES, RECORDED NOVEMBER 8, 1991 AS INSTRUMENT NO. 1091-020404 OF OFFICIAL RECORDS, (PLATTED HEREON)
- ⑤ AN EASEMENT FOR PUBLIC UTILITIES PURPOSES, RECORDED NOVEMBER 11, 1996 AS INSTRUMENT NO. 1096-020404 OF OFFICIAL RECORDS, (ONE CERTAIN INSTRUMENT, WHEN RECORDED SHALL BE THREE (3) FEET, MEASURED AT RIGHT ANGLES, OF EACH EXISTING SIDE OF EACH AND EVERY FACILITY, THE APPROXIMATE LOCATION IS PLATTED HEREON)

**Access Route/Lease Area**  
 TO BE DETERMINED

#### Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATES SYSTEM (CCS 83, BONE & 1983 DATUM, DERIVED BY SECTION 8001 TO 8003 OF THE CALIFORNIA PUBLIC RESOURCES CODE.

#### Bench Mark

THE CALIFORNIA SPOTIAL REFERENCE CENTER (CORS "NAD83", ELEVATION = 524.88 FEET (NAVD 83)

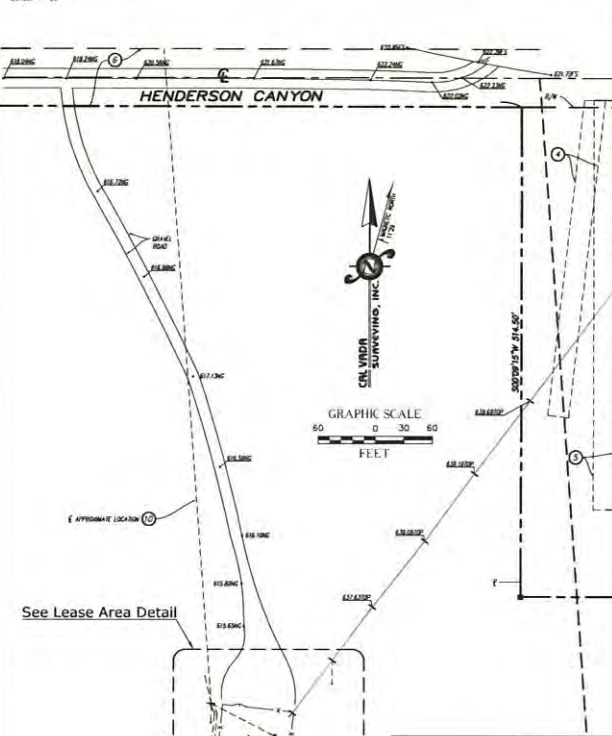
#### Date of Survey

FEBRUARY 02, 2017

**CAL VADA**  
**SURVEYING, INC.**  
 411 JONAS CAY, SUITE 205, CORONA, CA 92609  
 PHONE 951-260-0900 FAX 951-260-0740  
 TOLL FREE 800-254-1028 WWW.CALVADA.COM  
 JOB NO. 17224

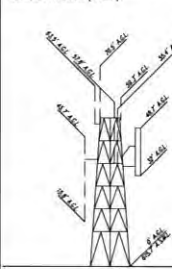


**Overall Site Detail**  
 SCALE: 1"=60'



See Lease Area Detail

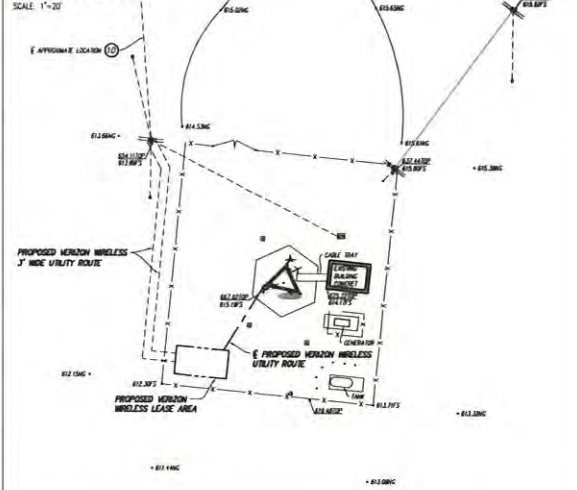
**Existing Tower Profile**  
 SOUTHERLY ELEVATION (A.S.M.L.)



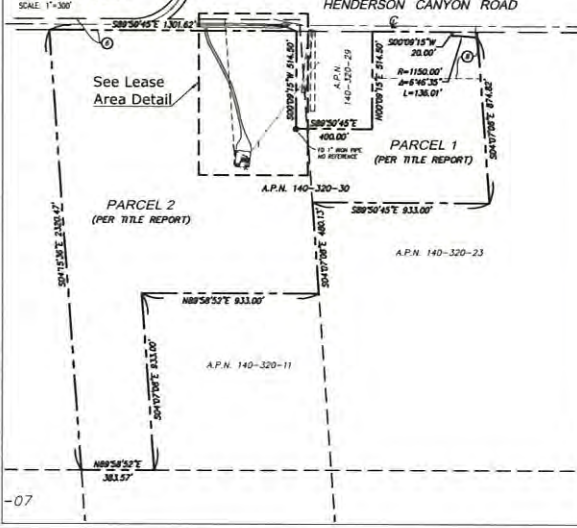
#### Legend

- CENTER LINE
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- ELECTRIC RAIL ROW
- ROAD MONUMENT AS NOTED
- GATE
- GUY POLE
- FINISH SURFACE
- NATURAL OBSTACLE
- POWER POLE
- PROPERTY LINE
- WATER WHEEL
- QUARRY PILE
- GUY WIRE
- OVERHEAD LINE
- PROPERTY LINE
- CHAIN LINK FENCE

**Lease Area Detail**  
 SCALE: 1"=20'



**Boundary Detail**  
 SCALE: 1"=300'



**verizon**

PLANS PREPARED BY:

**Technology Associates**

**SAN DIEGO MARKET OFFICE**

3111 CAMINO DEL RIO NORTH,  
 SUITE 400  
 SAN DIEGO, CA 92108

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET  
 OF DRAWINGS IS THE PROPERTY OF TECHNOLOGY ASSOCIATES, INC. AND IS NOT TO BE  
 REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,  
 INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM,  
 WITHOUT THE WRITTEN PERMISSION OF TECHNOLOGY ASSOCIATES, INC.

PROJECT INFORMATION:

**PEG LEG**

2285 HENDERSON CANYON RD  
 BORREGO SPRINGS, CA 92004

ISSUE DATE:

02/13/2017

ISSUED FOR:

DESIGN

#### REVISIONS

REV	DATE	DESCRIPTION	BY
0	02/13/17	SUBMITTAL	VO
1	02/16/17	TITLE REPORT	MA
2	02/21/17	DESIGN UPDATE	JC

LICENSURE:

SHEET TITLE:

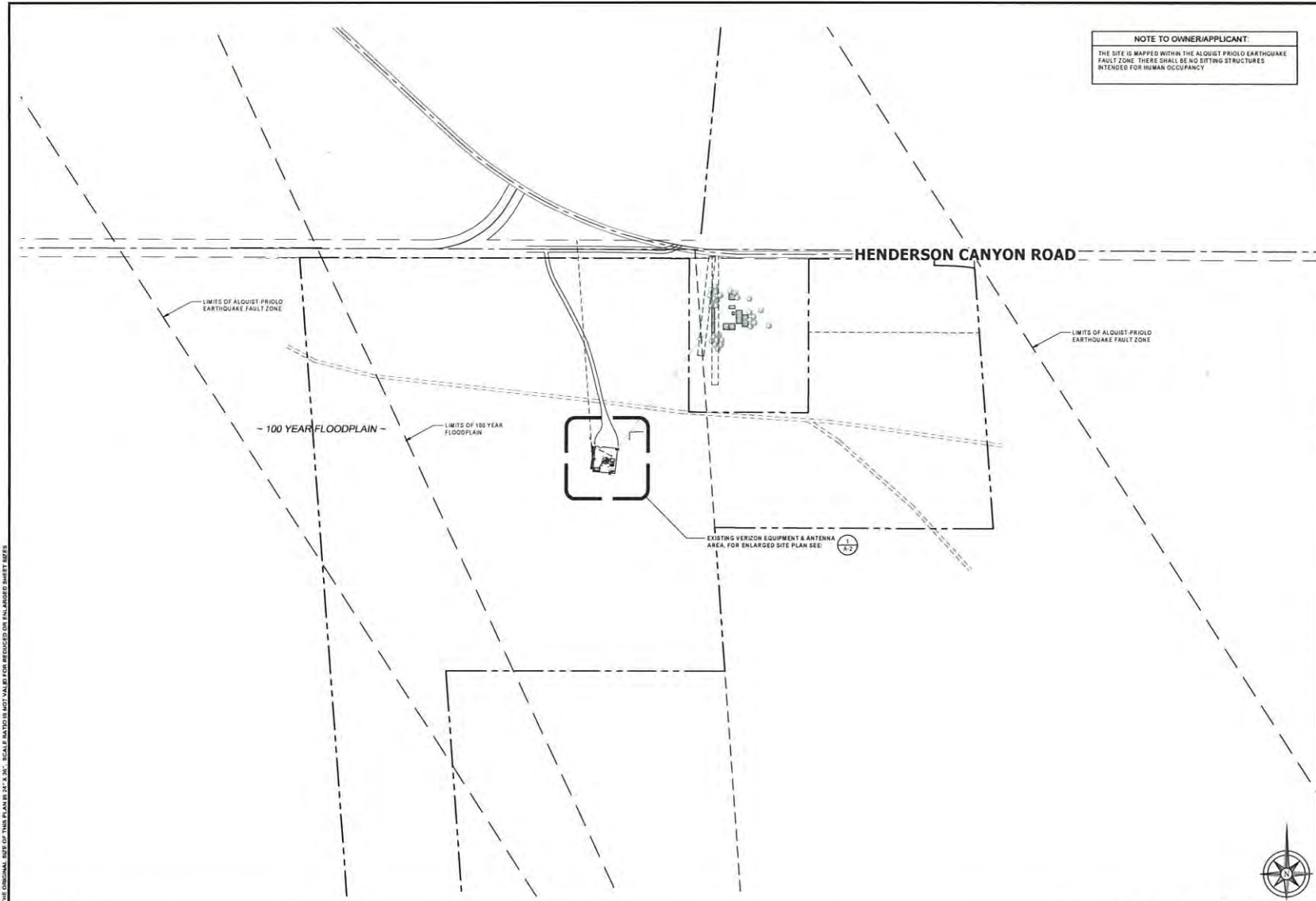
**TOPOGRAPHIC SURVEY**

SHEET NUMBER:

REVISION:

**LS-11**

3-19



**NOTE TO OWNER/APPLICANT:**  
THE SITE IS MAPPED WITHIN THE ALQUIST PRIOLO EARTHQUAKE FAULT ZONE. THERE SHALL BE NO EXISTING STRUCTURES INTENDED FOR HUMAN OCCUPANCY.

15555 SAND CANYON AVE  
BUILDING 17 1st FLOOR  
IRVINE, CA 92618

SAN DIEGO MARKET OFFICE  
3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
1	08/12/17	PLANNING COMMENTS	SV
2	08/12/17	PLANNING COMMENTS	SV
3	02/27/17	SUPPLEMENTARY SURVEY	HT
4	11/01/16	REWORKING	SM
5	09/16/16	REL CONSTRUCTION	JF
6	09/01/16	REWORK FOR NIS CD REVIEW	SM

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**PEG LEG (MW)**  
2285 Henderson Canyon Rd  
BORREGO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE  
**OVERALL SITE PLAN**

SHEET NUMBER  
**A-0**

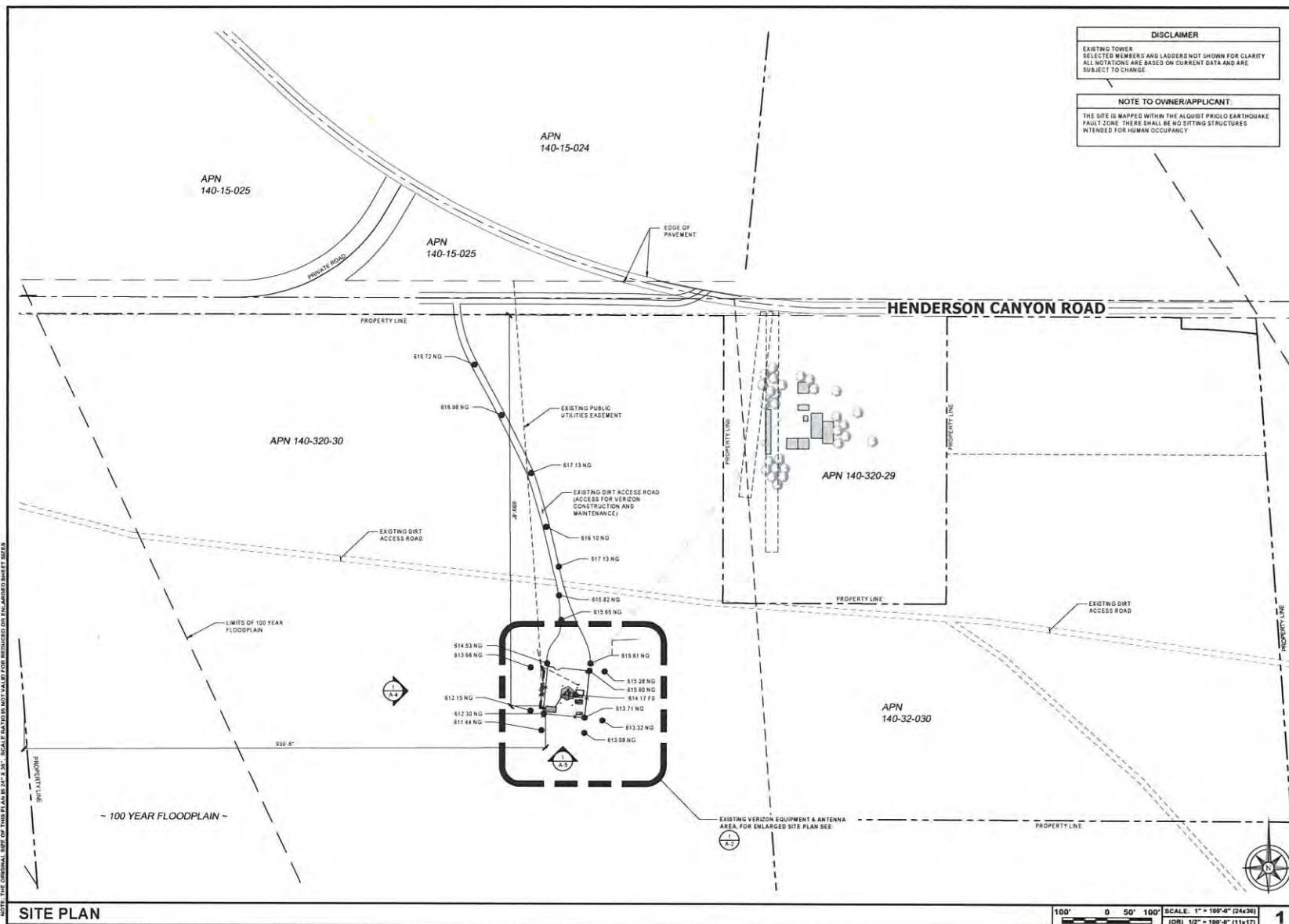
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIOS DO NOT VARY FOR REDUCED OR ENLARGED SHEET SIZES.

**SITE PLAN**

150' 0 75' 150' SCALE: 1" = 150'-0" (24x36)  
(OR) 1/2" = 150'-0" (11x17)

**1**

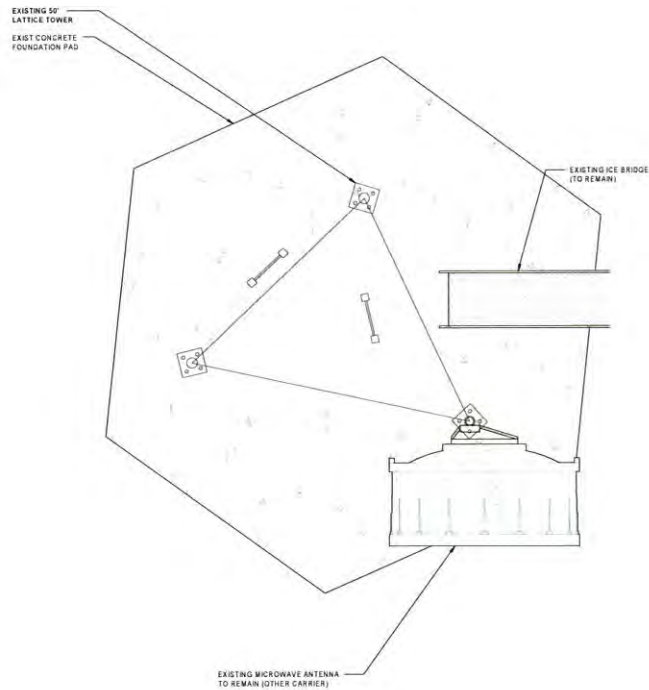
**3 - 20**







NOTE: THE ORIGINAL SET OF THIS PLAN IS 24" X 36". SCALE MAY VARY BASED ON DIMENSIONS ON ENLARGED SHEET BOOKS.

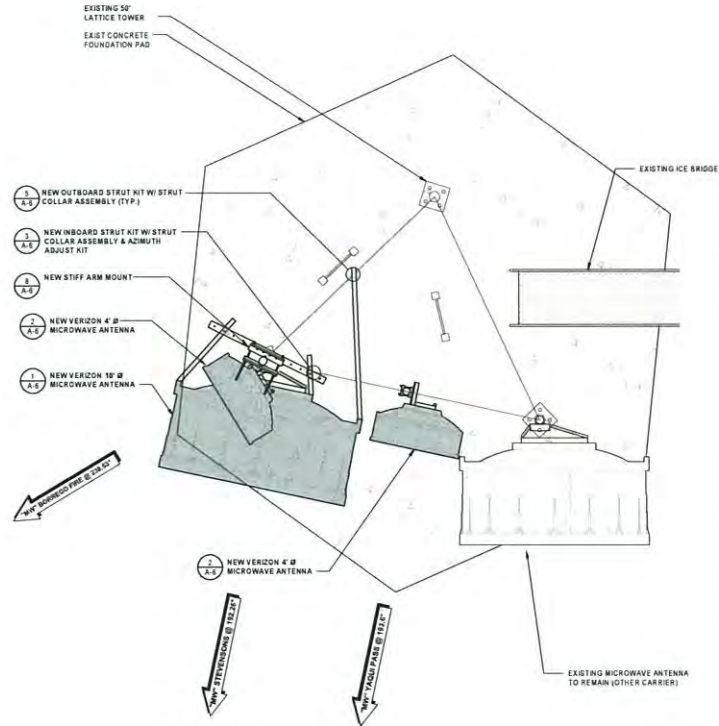


ANTENNA PLAN (EXISTING)

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)  
(OR) 3/16" = 1'-0" (11x17)

1

ANTENNA PLAN (FINAL)



0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)  
(OR) 3/16" = 1'-0" (11x17)

2

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BUILDING 101 1st FLOOR  
IRVINE, CA 92618

**Technology Associates**

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3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
F	08/10/2017	PLANNING COMMENTS	SV
E	08/10/2017	PLANNING COMMENTS	SV
D	02/21/2017	INTERIM SITE SURVEY	HT
C	11/01/2016	RECONSTRUCTION	SP
B	08/10/2016	REV CONSTRUCTION	JR
A	08/10/2016	ISSUED FOR REV CONSTRUCTION	SP

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OF A LICENSED PROFESSIONAL ENGINEER  
TO ALTER THIS DOCUMENT

**PEG LEG  
(MW)**

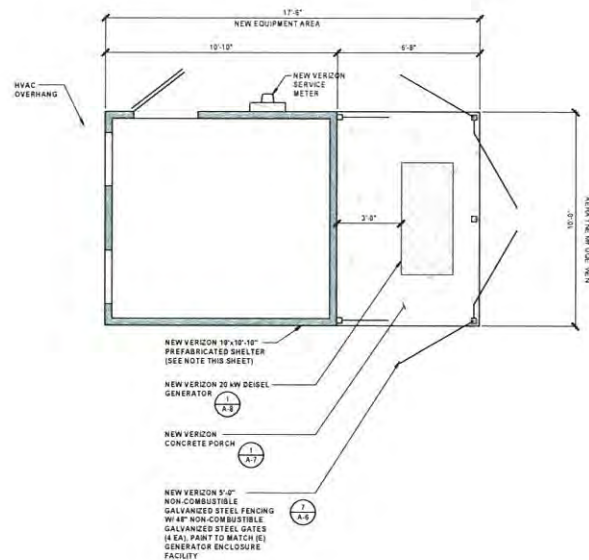
2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE

**ANTENNA  
PLANS**

SHEET NUMBER

**A-3**



**GENERATOR NOTE**  
 THE PROPOSED GENERATOR IS A GENERAC MODEL 80C20 WITH A SOUND PRESSURE LEVEL OF 67.5 DBA AT A REFERENCE DISTANCE OF 25 FEET OR AN EQUIVALENTLY SIZED UNIT. THIS UNIT SHALL BE LOCATED AT A MINIMUM DISTANCE OF 330 FEET FROM THE PROPERTY LINE.

**SHELTER NOTE**  
 PRE-FABRICATED SHELTER IS STATE APPROVED AND SHALL MEET OR EXCEED THE COUNTY OF SAN DIEGO PP-2 POLICY "FIRE CODE COMPLIANCE FOR CELLULAR FACILITIES".

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REV	DATE	DESCRIPTION	BY
F	08/10/2017	PLANNING COMMENTS	BY
E	08/10/2017	PLANNING COMMENTS	BY
D	02/10/2017	INCORPORATE SURVEY	HT
C	11/10/2016	REV. UPDATE	SP
B	08/10/2016	REV. CONSTRUCTION	JW
A	08/10/2016	DESIGNED FOR REV. 10 REVIEW	SP

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**PEG LEG (MW)**  
 2285 Henderson Canyon Rd  
 BORREGO SPRINGS, CA  
 LATTICE TOWER

SHEET TITLE  
**EQUIPMENT PLANS**

SHEET NUMBER  
**A-3.1**

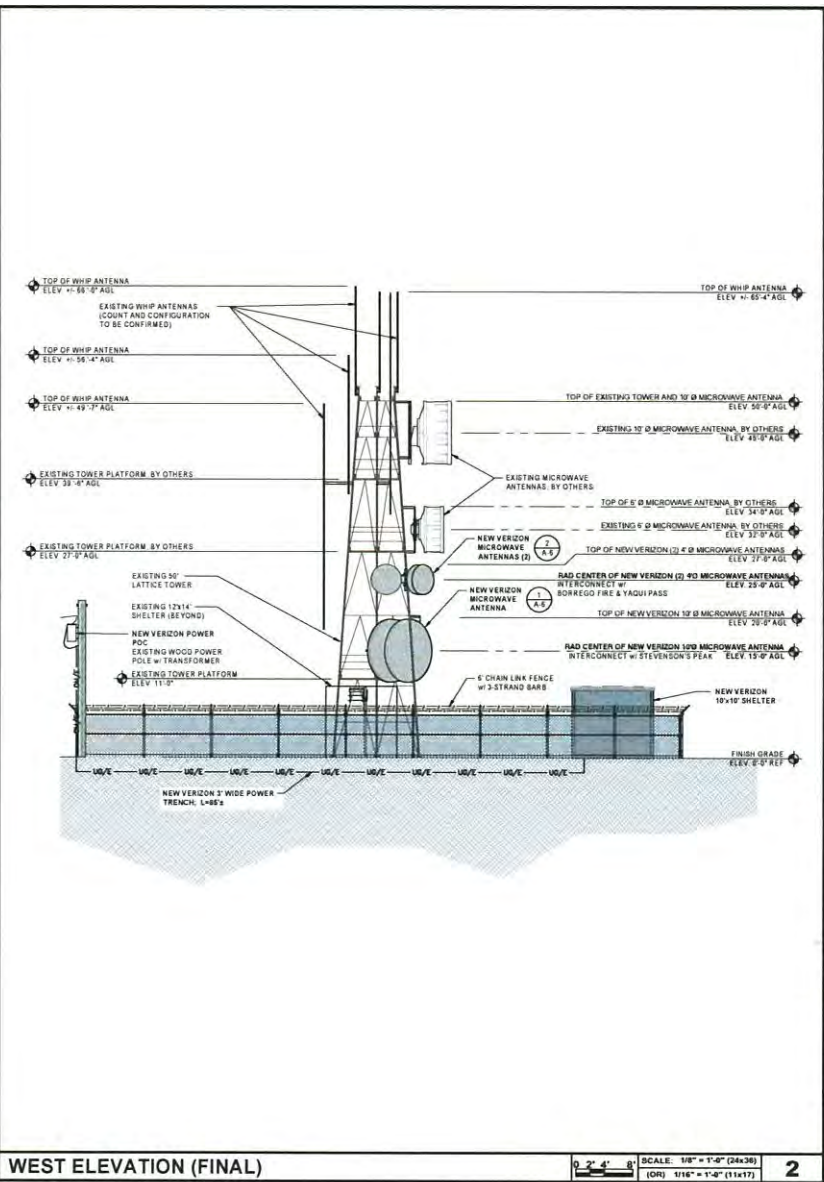
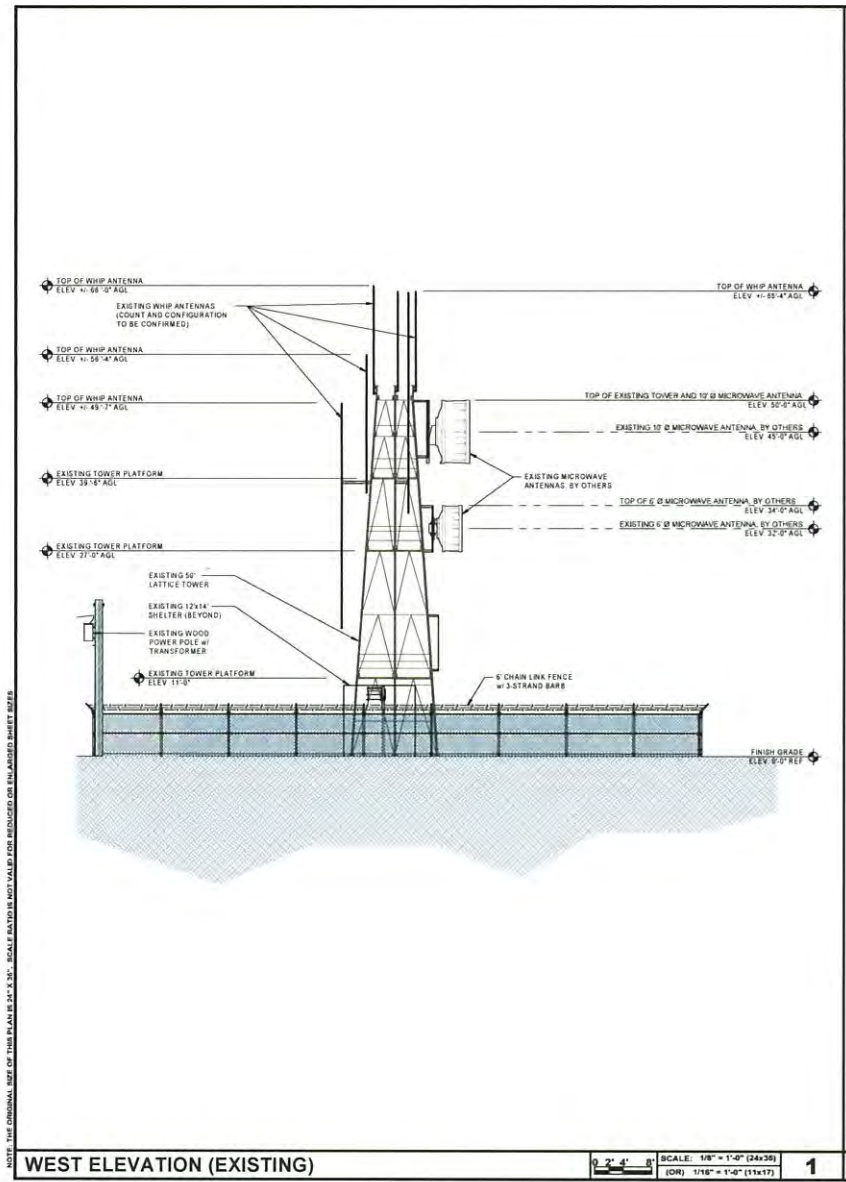
EQUIPMENT PLAN (FINAL)

0 6" 1" SCALE: 1/2" = 1'-0" (24x36)  
 (OR) 1/4" = 1'-0" (11x17)



1





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REV	DATE	DESCRIPTION	BY
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E	08/10/17	PLANNING COMMENTS	BY
D	02/10/17	PLANNING COMMENTS	BY
C	11/10/16	SDW UPDATE	SP
B	08/10/16	SDW UPDATE	SP
A	08/10/16	SDW UPDATE	SP

PEG LEG (MW)  
2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**A-4**



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REV	DATE	DESCRIPTION	BY
F	08/10/17	PLANNING COMMENTS	SV
E	08/10/17	PLANNING COMMENTS	SV
D	02/10/17	INCORPORATE SURVEY	HT
C	11/10/16	BDU UPDATE	SPJ
B	09/02/16	REV CONSTRUCTION	JAK
A	08/02/16	REVISION FOR REV. CO REVIEW	SPJ

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**PEG LEG  
(MW)**

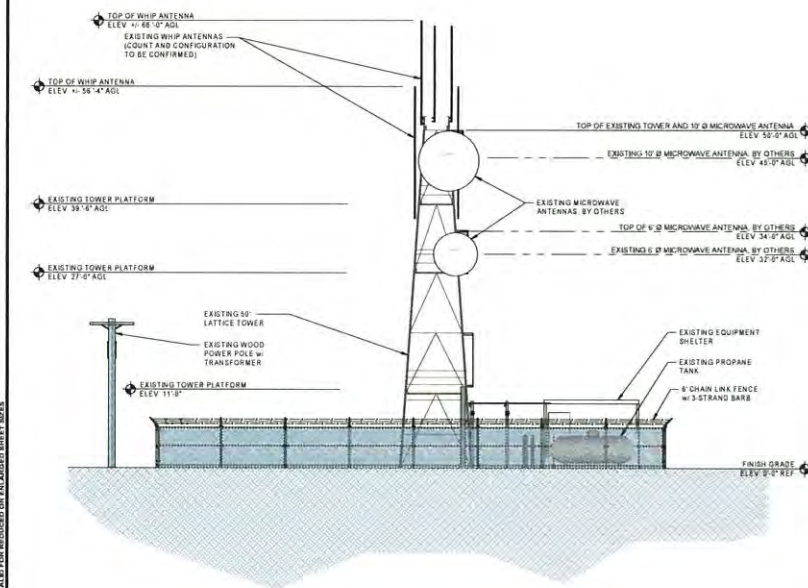
2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE

**ELEVATIONS**

SHEET NUMBER

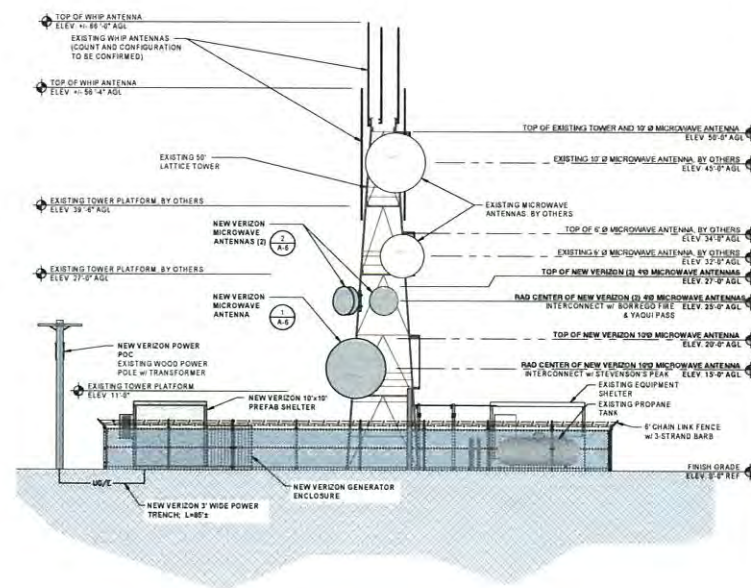
**A-5**



**SOUTH ELEVATION (EXISTING)**

SCALE: 1/8" = 1'-0" (24x36)  
(OR) 1/16" = 1'-0" (11x17)

**1**



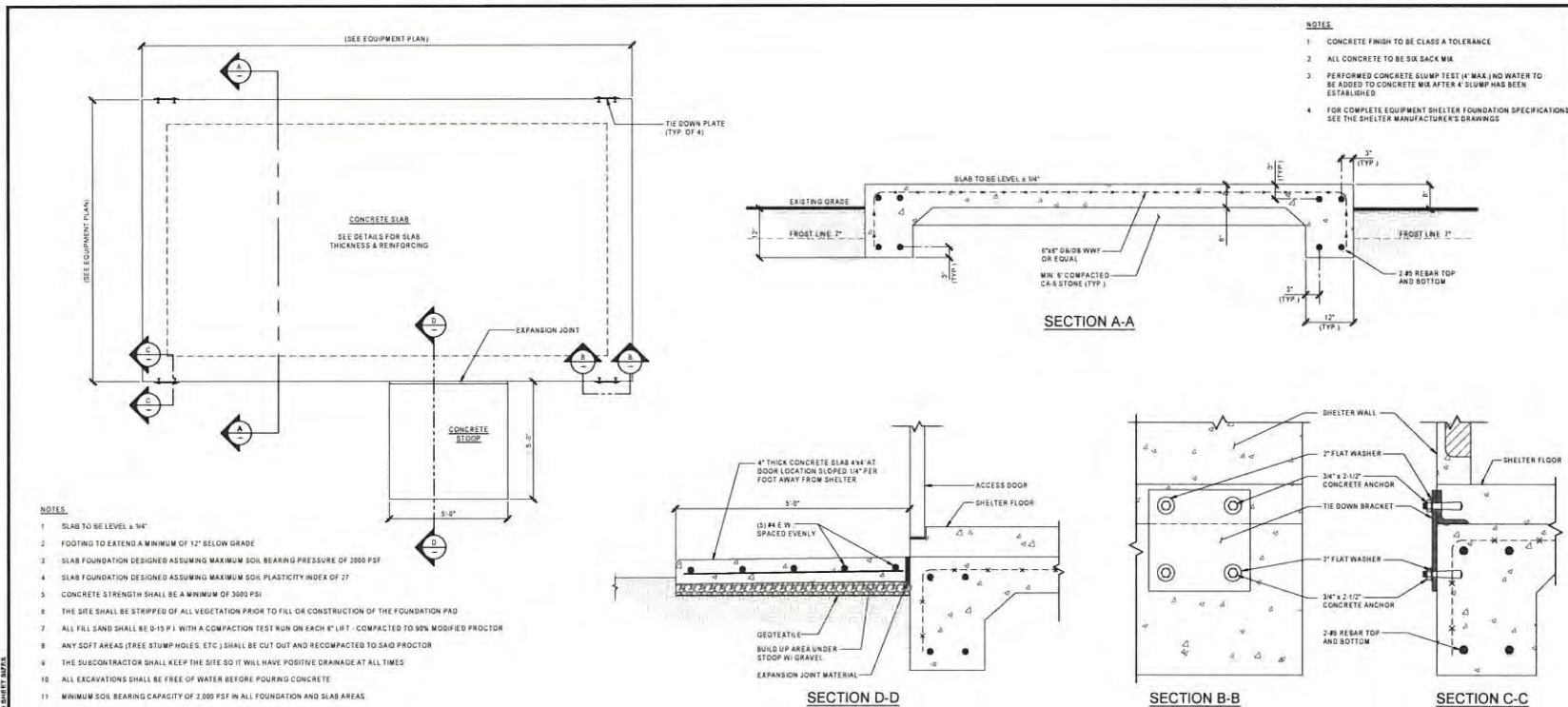
**SOUTH ELEVATION (FINAL)**

SCALE: 1/8" = 1'-0" (24x36)  
(OR) 1/16" = 1'-0" (11x17)

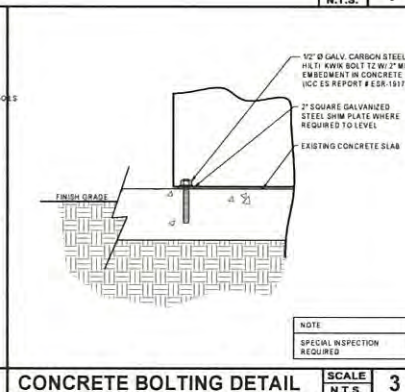
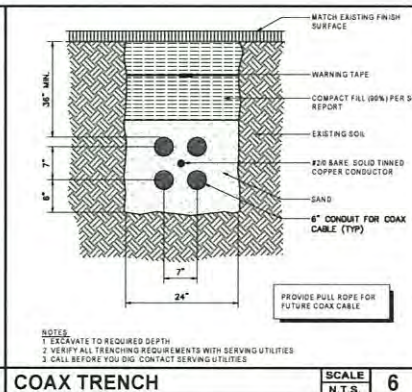
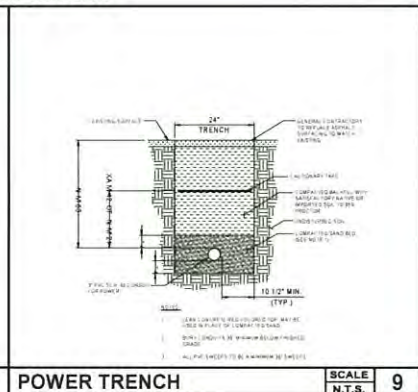
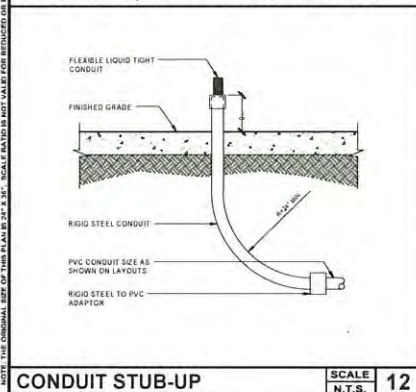
**2**







# TYPICAL EQUIPMENT SHELTER FOUNDATION PLAN



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SAN DIEGO, CA 92108

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F	08/11/2017	PLANNING COMMENTS	SV
E	08/15/2017	PLANNING COMMENTS	SV
D	10/21/2017	DESIGN/DATE SURVEY	MT
C	11/15/2018	SOIL UPDATE	SP
B	08/16/2018	REV CONSTRUCTION	JR
A	08/16/2018	ISSUED FOR REV. CO-REVIEW	SP

REV	DATE	DESCRIPTION	BY
F	08/11/2017	PLANNING COMMENTS	SV
E	08/15/2017	PLANNING COMMENTS	SV
D	10/21/2017	DESIGN/DATE SURVEY	MT
C	11/15/2018	SOIL UPDATE	SP
B	08/16/2018	REV CONSTRUCTION	JR
A	08/16/2018	ISSUED FOR REV. CO-REVIEW	SP

**PEG LEG (MW)**

2285 Henderson Canyon Rd  
BORREGO SPRINGS, CA  
LATTICE TOWER

**SHEET TITLE**

**DETAILS**

**SHEET NUMBER**

**A-7**





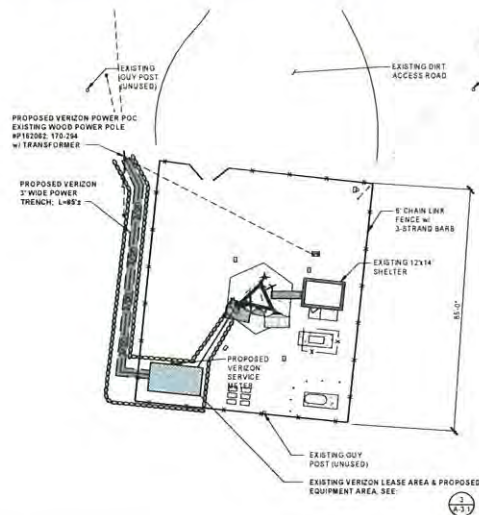


VOLTS	120/240V	FEED	200A
PHASE	1 Ø		
WIRE	3	PANEL SCHEDULE	
		A	B
VZW RADIO	60	1	20
		3	4
TVSS	30	5	6
		7	8
		9	10
		11	12
		13	14
		15	16
		17	18
			RECEPTACLE
			LIGHTS

- NOTES
1. ALL EQUIPMENT (FUSES, CIRCUIT BREAKERS, BUSSING, ETC.) SHALL HAVE A SHORT CIRCUIT RATING EQUAL TO, OR GREATER THAN, THE AVAILABLE SHORT CIRCUIT CURRENT AT THE LOCATION.
  2. ALL ELECTRICAL EQUIPMENT SHALL BE U.L. LISTED.
  3. ALL ELECTRICAL EQUIPMENT EXPOSED TO THE WEATHER SHALL BE LISTED FOR EXTERIOR USE.
  4. SQUARE "D" MOOD PANELBOARD.
  5. CU-2 SHALL OPERATE ONLY IF CU-1 IS DISCONNECTED FROM POWER BY AUTOMATIC CONTROLS.
  6. MULTIPLE CIRCUITS NEED COMMON "OFF" HANDLE CUPS.

## PANEL SCHEDULE

SCALE  
N.T.S. 2

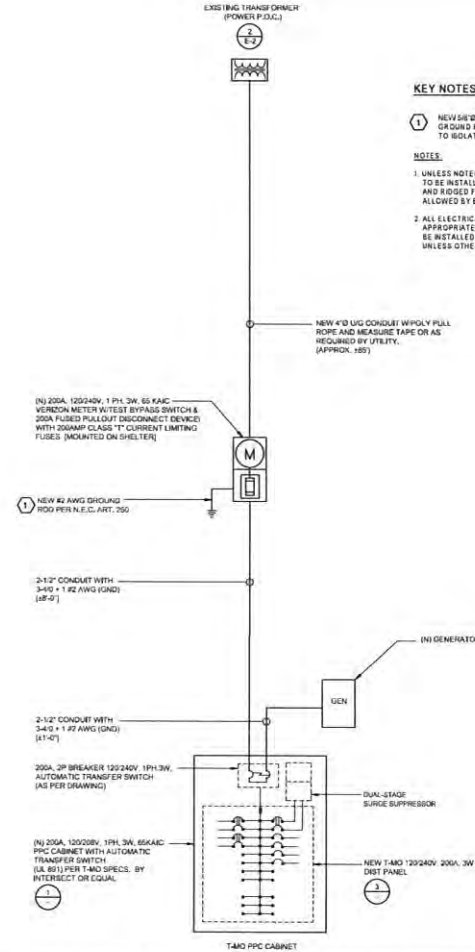


## SITE PLAN

20' 0 10' 20' SCALE: 1" = 20'-0" (24x36)  
(OR) 1/2" = 20'-0" (11x17)

3

## ONE LINE DIAGRAM



## KEY NOTES

1. NEW 5/8" x 10'-0" COPPER CLAD STEEL GROUND ROD AND #2 CU GROUND BOND TO ISOLATED GROUND ROD.

## NOTES

1. UNLESS NOTED OTHERWISE, ALL CONDUITS TO BE INSTALLED TO BE EMT FOR INDOOR AND RIGID FOR OUTDOOR, UNLESS NOT ALLOWED BY ELEC CODE.
2. ALL ELECTRICAL CONDUCTORS TO BE APPROPRIATELY SIZED AND TO BE INSTALLED AND CONNECTED BY GC, UNLESS OTHERWISE NOTED.

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REV	DATE	DESCRIPTION	BY
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**PEG LEG  
(MW)**

2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE  
**ELECTRICAL  
PLAN**

SHEET NUMBER  
**E-2**

SCALE  
N.T.S. 1

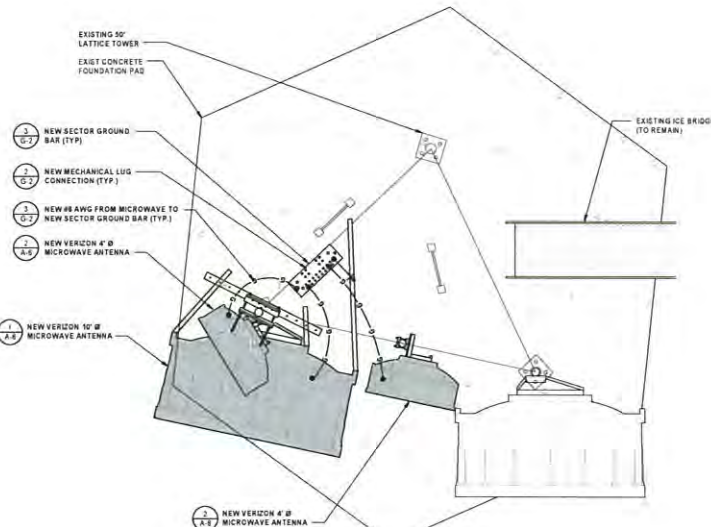


# **ELECTRICAL GROUNDING SPECIFICATIONS**

- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE CURRENTLY IN EFFECT FOR THE AUTHORITY HAVING JURISDICTION.
- ALL GROUNDING DEVICES SHALL BE U.L. LISTED FOR THEIR INTENDED USE.
- GROUND WIRES SHALL BE THINNED #2 AWG BARE SOLID COPPER UNLESS OTHERWISE NOTED.
- CONNECTIONS OF ALL GROUND WIRES TO THE GROUND RING SHALL BE EXOTHERMIC (CAD WELDED) UNLESS OTHERWISE NOTED AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND VERIZON WIRELESS BRACED AND STANDARDS.
- GROUNDING CONDUCTORS SHALL BE ROUTED ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE WHEN REQUIRED. GROUND LEADS SHALL BE BENT TO A MINIMUM OF 90 DEGREES.
- WHERE GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO THE GROUND RING, INSTALL WIRE IN 3/4" HEAVY WALL LIQUID TIGHT FLEXIBLE CONDUIT FROM CONNECTION POINT TO 5' BELOW GRADE AND SEAL THE TOP WITH SILICONE SEALANT.
- ALL GROUND BARS SHALL BE THINNED 1/4" COPPER SECTOR BARS 2" COLLECTOR AND MOB BARS 4" OF SUFFICIENT LENGTH TO ACCOMMODATE ALL REQUIRED CONNECTIONS WITHOUT DOUBLING LUGS, AND EACH INSTALLED WITH ISOLATORS WHEN CONNECTING GROUND BARS (WITHIN 10 FEET OF GRADE) DIRECTLY TO THE GROUND RING. 2 EA #2 SOLID DOWNLEADS SHALL BE CAD WELDED TO THE GROUND BAR 1 AT EACH OPPOSITE BOTTOM CORNER, AND EACH SHALL RUN IN 3/4" HEAVY WALL LIQUID TIGHT FLEXIBLE CONDUIT FROM GROUND BAR DOWN TO THE GROUND RING WHEN CONNECTING SECTOR GROUND BARS. DAILY CHAIN THE GROUND BARS AND RUN 1 EA #2 AWG STRANDED COPPER WIRE WITH THINN INSULATION FROM THE MIDDLE GROUND BAR TO THE GROUND RING AND CAD WELD TO THE RING.
- WHEN ATTACHING STRANDED GROUND LEADS TO THE GROUND BARS, 7 HOLE COMPRESSION LUGS SHALL BE USED. PROTECT WITH WEATHERPROOF HEAT SHIELD, AND WITH A THIN COAT OF "KOPR SHIELD" OR EQUIVALENT PROPERLY APPLIED AND ATTACHED ONLY WITH STAINLESS STEEL HARDWARE.
- WHEN GROUNDING EQUIPMENT ENCLOSURES, PANELS, FRAMES AND OTHER METAL APPARATUS, A #6 AWG STRANDED COPPER WIRE WITH THINN INSULATION SHALL BE ATTACHED UTILIZING A 2 HOLE COMPRESSION TYPE LUG, PROTECTED WITH WEATHERPROOF HEAT A CLEAN AND CORROSION FREE METALLIC SURFACE UTILIZING STAINLESS STEEL SELF TAPPING SCREWS AS NOTED IN NOTE 10 BELOW.
- PREPARE ALL BONDING SURFACES FOR GROUND CONNECTIONS BY REMOVING ANY AND ALL PAINT AND CORROSION TO SHINY METAL. FOLLOWING CAD WELDED CONNECTIONS TO NON-COPPER SURFACES, APPLY ONE COAT OF ANY ANTI-OSIDIZING PAINT, "GOLD GALT" OR EQUIVALENT.
- GROUND RODS SHALL BE COPPER-CLAD STEEL 5/8" DIA. SPACED NO LESS THAN 10' ON CENTER.
- ALL GROUND SYSTEM CONDUCTORS AND CONDUITS SHALL BE SECURED UTILIZING ONLY NONMETALLIC NON-CONDUCTIVE UV RATED CLAMPS, BRACKET AND OR SUPPORTS.
- WHEN REQUIRED, THE CONTRACTOR SHALL ENGAGE THE SERVICES OF AN INDEPENDENT TESTING FIRM TO VERIFY, UTILIZING A MEGGER TEST, THAT THE RESISTANCE TO EARTH OF THE NEW GROUND SYSTEM IS EQUAL TO OR LESS THAN 5 OHMS. A COPY OF THE COMPLETE TESTING REPORT SHALL BE PROVIDED TO THE VERIZON REPRESENTATIVE.
- ALL MATERIALS AND HARDWARE SHALL BE INSTALLED IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND DEFINED IN NFPA 70 AND APPROVED BY A.H.J.

LEGEND	
	EXOTHERMIC CONNECTION
	MECHANICAL CONNECTION
	EQUIPMENT GROUND BAR
	ANTENNA GROUND BAR (AS REQUIRED)
	#2 AWG GROUND LEAD (AS REQUIRED)

**NOTE:**  
1. CONTRACTOR TO REPLACE ALL MISSING GROUND BARS AND GROUNDING CONNECTIONS AS REQUIRED.



## **NOTES & LEGEND**

SCALE  
N.T.S.

1

## **ANTENNA GROUNDING**

SCALE  
N.T.S.

2

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IRVINE, CA 92618

**Technology Associates**

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SAN DIEGO, CA 92108

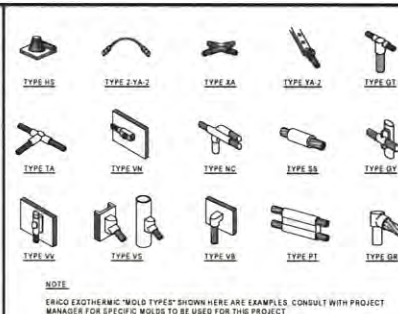
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3	02/02/2015	PLANNING COMMENTS	SV
4	11/15/2015	REV UPDATE	SV
5	08/18/2016	REV CONSTRUCTION	JH
6	10/02/2016	REV PER REV 02 REVIEW	SV

**PEG LEG (MW)**  
2285 Henderson Canyon Rd  
BORRERO SPRINGS, CA  
LATTICE TOWER

SHEET TITLE  
**GROUNDING PLANS**

SHEET NUMBER  
**G-1**

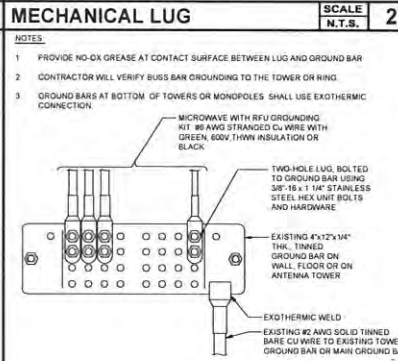
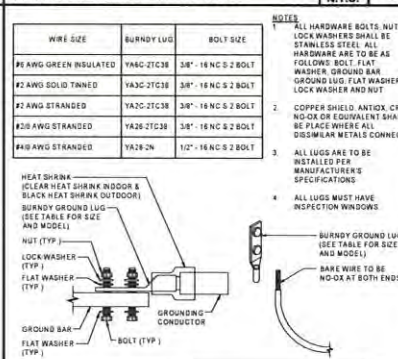




**verizon**✓  
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**Technology**  **Associates**

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3111 CAMINO DEL RIO NORTH, STE 400  
SAN DIEGO, CA 92108

[illegible]

PEG LEG (MW) 2285 Henderson Canyon Rd BORREGO SPRINGS, CA LATTICE TOWER
SHEET TITLE <b>GROUNDING DETAILS</b>
SHEET NUMBER <b>G-2</b>

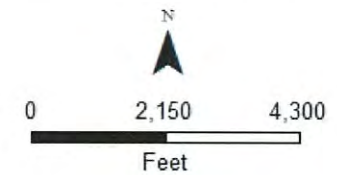
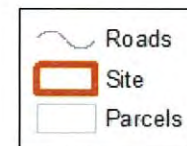
**Peg Leg Wireless**  
PDS2017-MUP-17-004

Vicinity Map

*Borrego Springs  
Community Plan Area*

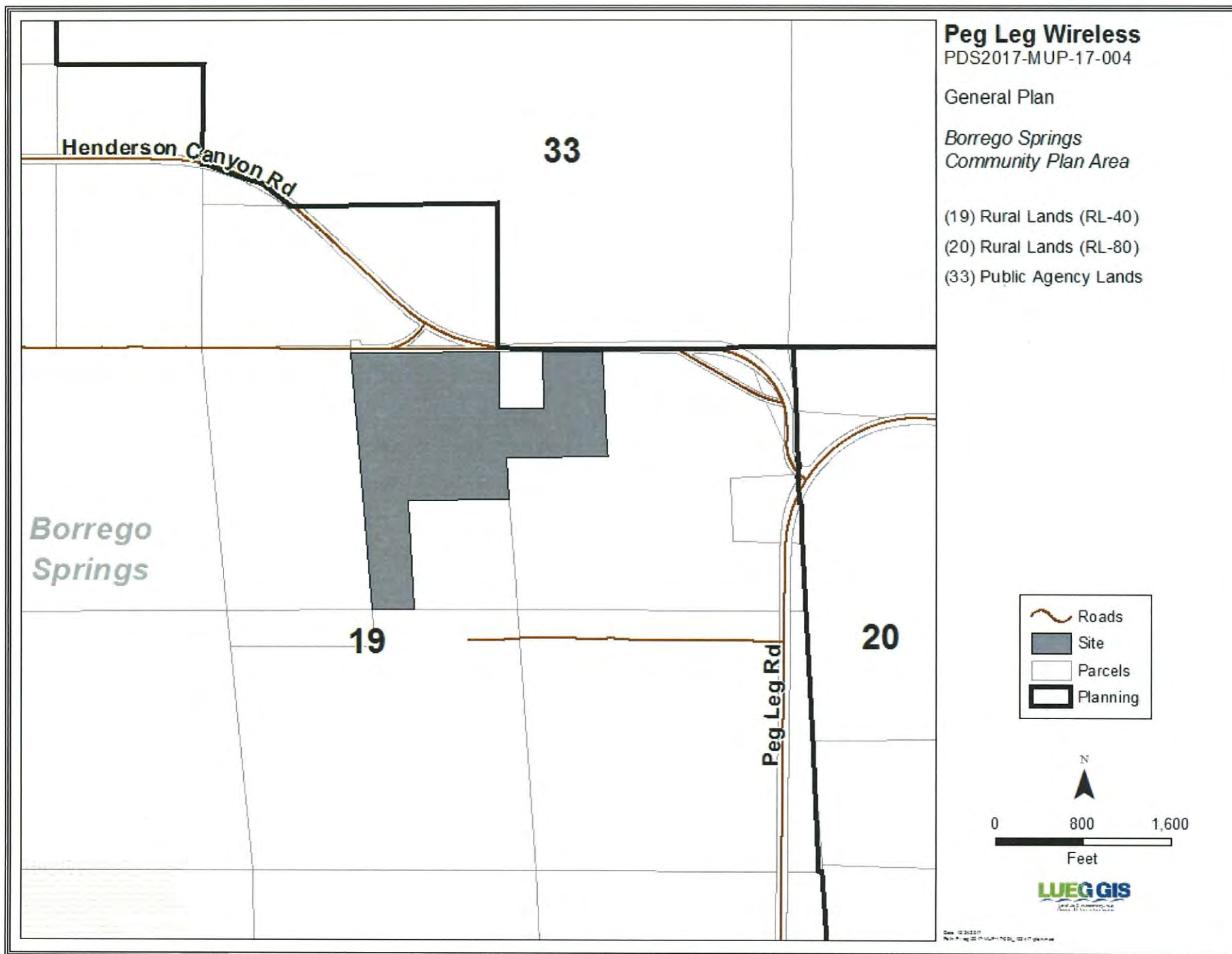


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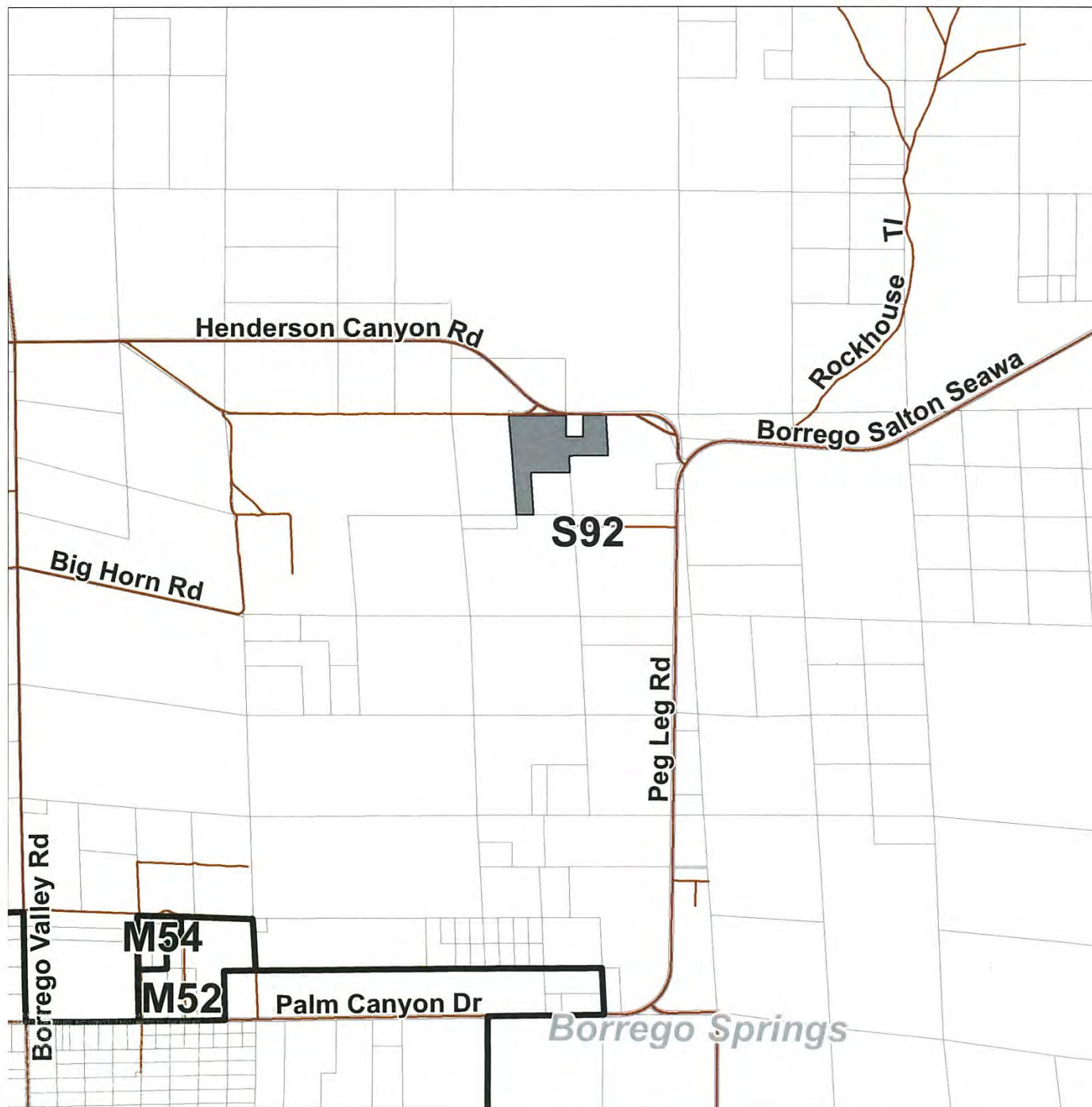


**LUEG GIS**  
LAND-USE EVALUATION & GIS SERVICES

Draw: 10/24/2017  
Print: 11/14/2017 11:14:11 AM 11:14:11 AM







## Peg Leg Wireless

PDS2017-MUP-17-004

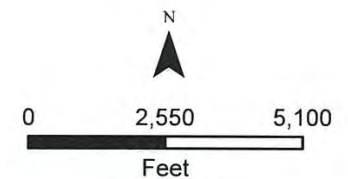
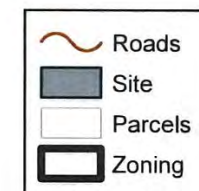
Zoning

*Borrego Springs  
Community Plan Area*

S92 - General Rural

M52 - Limited Industrial

M54 - General Impact Industrial



**LUEGGIS**  
Land Use & Environment Consultants  
Geographic Information Services

Date: 10/30/2017  
Path: P:\eg\2017-MUP-17-004 102417\zoning.mxd

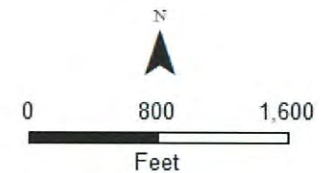
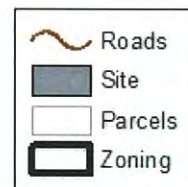
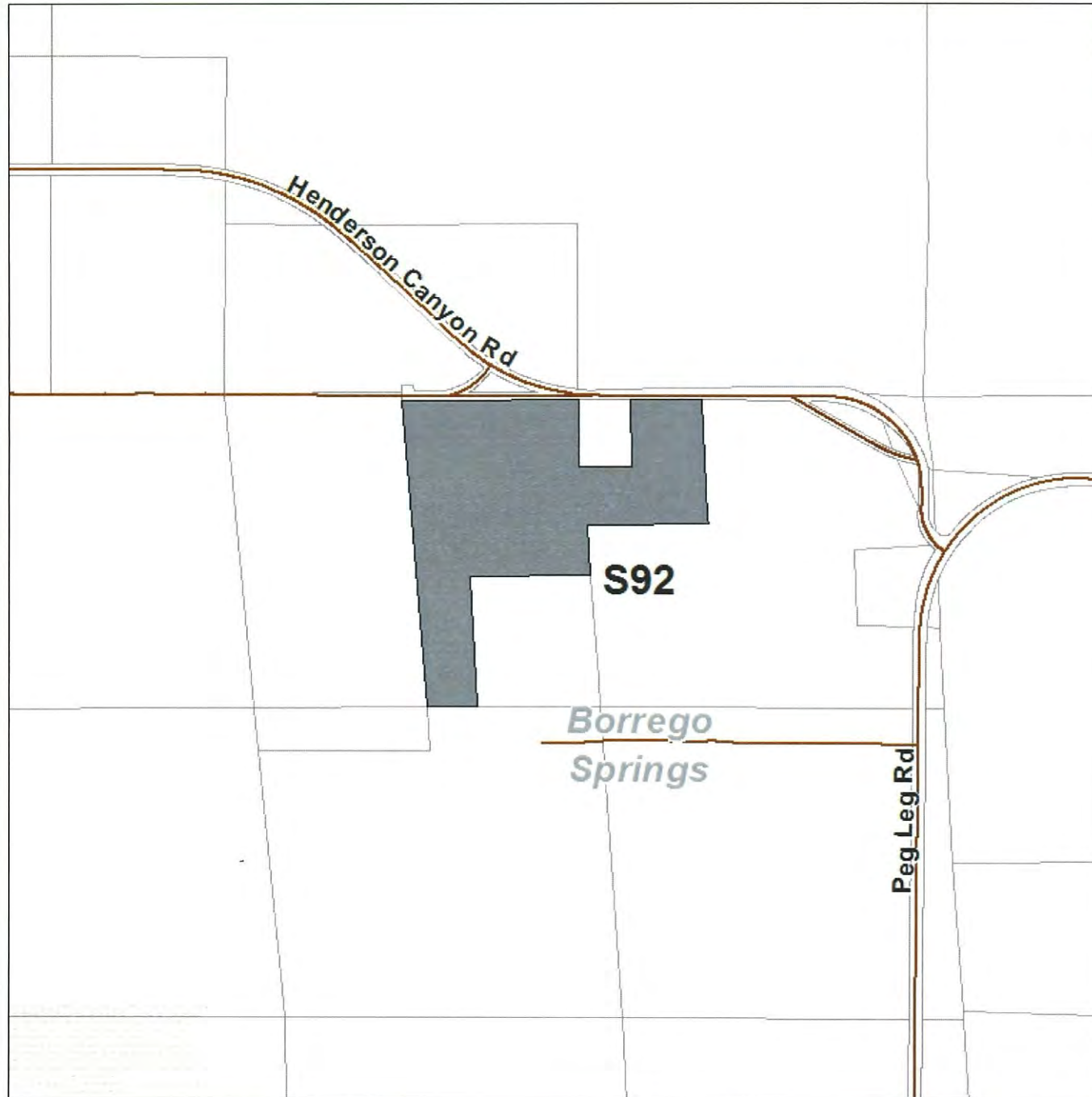
## Peg Leg Wireless

PDS2017-MUP-17-004

Zoning

*Borrego Springs*  
*Community Plan Area*

S92 - General Rural



**LUEG GIS**  
LAND USE ENGINEERING GROUP, INC.  
www.luegis.com

Date: 10/24/2017  
Map: Peg Leg Wireless PDS2017-MUP-17-004



**Peg Leg Wireless**  
PDS2017-MUP-17-004

Borrego Springs Community Plan Area

~ Roads

□ Site

N

**LUEGGIS**  
LAND USE & ENVIRONMENTAL CONSULTANTS

0 335 670

Feet

Scale: 1:62,500 Date: Aug 2017 MUP: 17-004-02115 Photo: Google

Henderson Canyon Rd

Borrego  
Springs



**Peg Leg Wireless**  
PDS2017-MUP-17-004

Borrego Springs Community Plan Area

~ Roads

□ Site



**LUEGGIS**  
Land Use & Planning  
Consultants

0 1,150 2,300  
Feet

Source: LUEGGIS, Inc. PDS2017-MUP-17-004, 2017. Digitized from aerial photography.

Henderson Canyon Rd

Borrego  
Springs

Borrego Salton Seawa

Peg Leg Rd



**Peg Leg Wireless**  
PDS2017-MUP-17-004

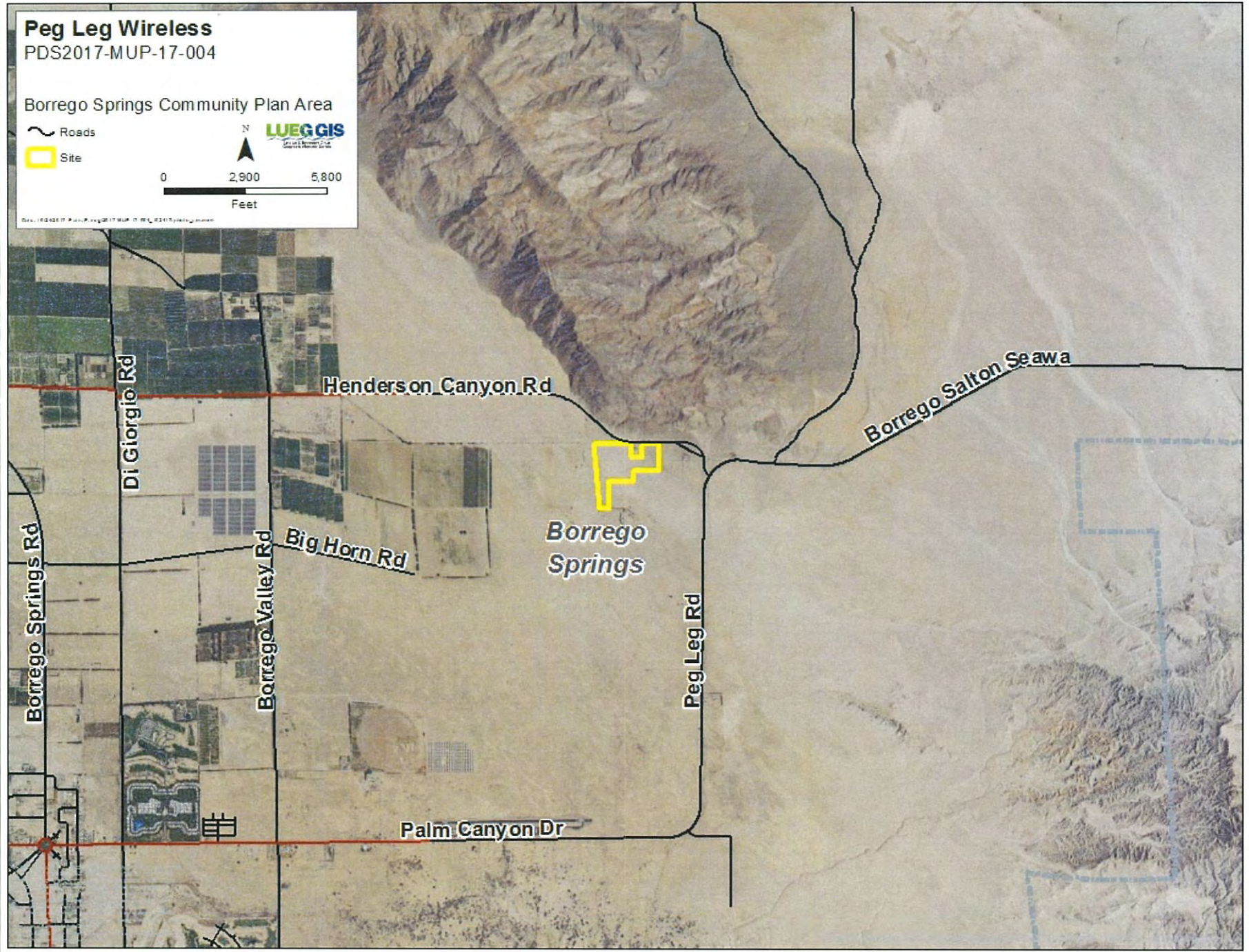
Borrego Springs Community Plan Area

~ Roads  
□ Site

**LUEGGIS**  
Land Use & Planning Group

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Feet

Date: 10/4/2017 File: PDS2017-MUP-17-004-0217-0001.mxd





# Peg Leg Wireless

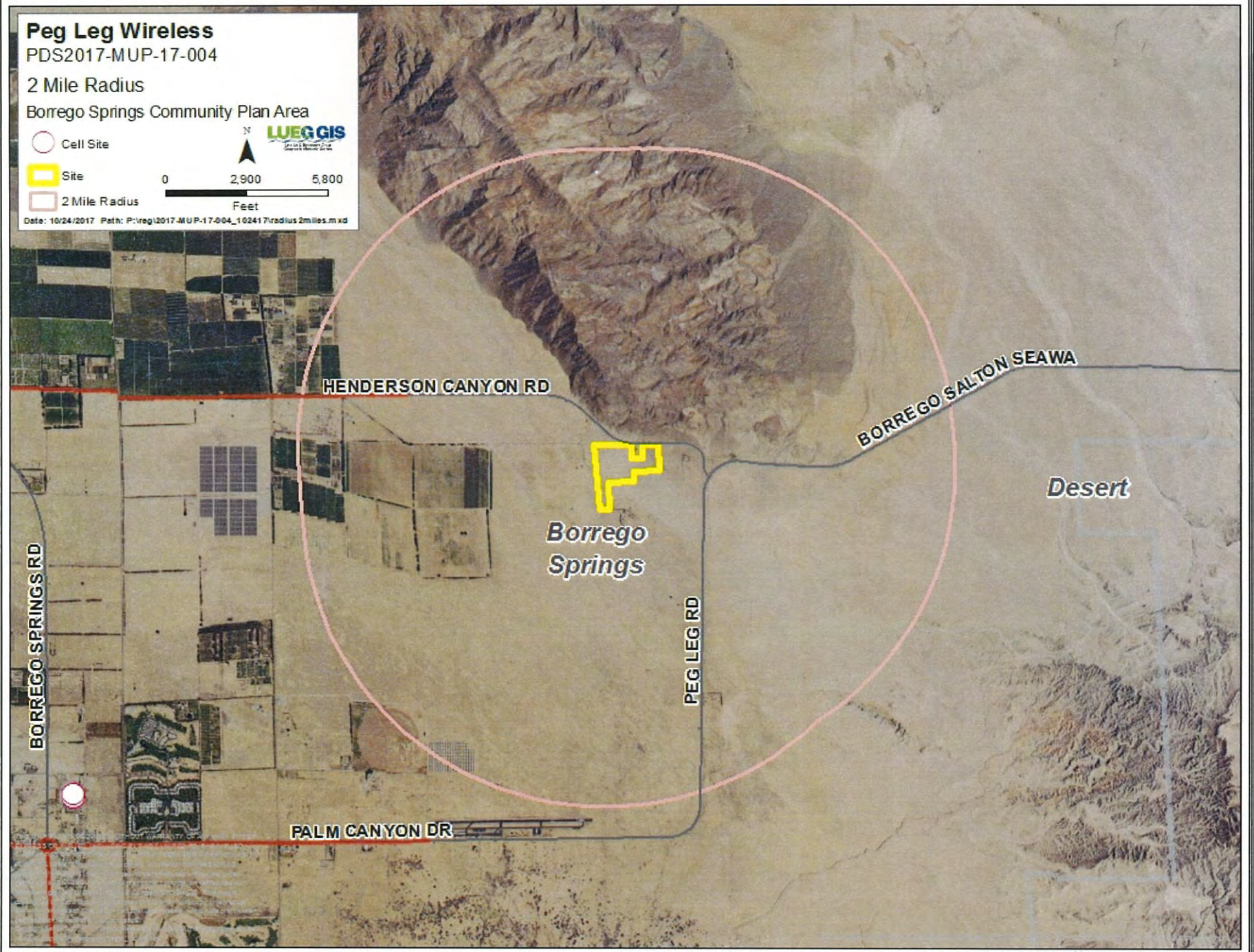
PDS2017-MUP-17-004

2 Mile Radius

Borrego Springs Community Plan Area



Date: 10/24/2017 Path: P:\reg\2017-MUP-17-004\_102417radius2miles.mxd



**Attachment B – Form of Decision  
Approving PDS2017-MUP-17-004**

Recording requested by and for the benefit )  
of the County of San Diego, Planning & )  
Development Services )  
) )  
Return to: County of San Diego )  
Planning & Development Services )  
Mail Station O650 )  
5510 Overland Avenue, Suite 110 )  
San Diego, CA 92123 )  
Attention: Denise Russell )  
)

(No Transfer Tax Due)

(Above Space For Recorder's Use)

Major Use Permit PDS2017-MUP-17-004  
**ISSUED BY COUNTY OF SAN DIEGO**

The Planning Commission of the County of San Diego on December 15, 2017 hereby grants Major Use Permit PDS2017-MUP-17-004 subject to the terms and conditions listed below, relating to that real property located in the County of San Diego, California, more particularly described as follows:

See Exhibit A

The Zoning Ordinance of the County of San Diego requires that this Major Use Permit be recorded with the San Diego County Recorder, and provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this Major Use Permit. (Zon. Ord. § 7019.)

The undersigned Owners of the property subject to this Major Use Permit hereby agree, for themselves and their successors, to perform and at all times comply with all terms and conditions specified herein.

OWNER(S)

Verizon Wireless  
[Name]

\_\_\_\_\_  
Date:

(Attach California All Purpose Acknowledgements)



**EXHIBIT "A"**

All that certain real property situated in the County of San Diego, State of California, described as follows:

**PARCEL 1:**

THE WEST 933 FEET OF THE NORTH 933 FEET OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 10 SOUTH, RANGE 6 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 24; THENCE NORTH 89°50'45" WEST, ALONG THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF THE HENDERSON CANYON ROAD, 2664.07 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°09'15" WEST, 544.50 FEET; THENCE SOUTH 89°50'45" EAST, 400.00 FEET, THENCE NORTH 00°09'15" EAST, 544.50 FEET TO THE NORTH LINE OF SAID SECTION 24; THENCE NORTH 89°50'45" WEST ALONG THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF HENDERSON CANYON ROAD, 400.00 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION 24, DISTANT THEREON NORTH 89°51'01" WEST, 1843.70 FEET FROM THE NORTHEAST CORNER OF SAID SECTION; THENCE SOUTH 0°08'59" WEST, 50 FEET TO A POINT ON A NON-TANGENT CURVE, THE CENTER OF WHICH BEARS SOUTH 0°08'59" WEST, 1550 FEET FROM SAID POINT; THENCE SOUTHEASTERLY ALONG SAID CURVE TO A POINT ON THE EAST LINE OF THE WEST 933 FEET OF SAID NORTHEAST QUARTER; THENCE NORTHERLY ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF SAID SECTION; THENCE NORTH 89°51'01" WEST TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ONE-SIXTEENTH OF ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS AS RESERVED IN PATENT FROM STATE OF CALIFORNIA TO HAROLD G. OLIVER, RECORDED IN BOOK 15, PAGE 285 OF PATENTS, RECORDS OF SAN DIEGO COUNTY.

**PARCEL 2:**

THE EAST ONE-HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 10 SOUTH, RANGE 6 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING FROM THE ABOVE DESCRIBED PROPERTY THE SOUTH 933 FEET OF THE EAST 933 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 24.

ALSO EXCEPTING THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED LAND:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 24; THENCE NORTH 89°50'45" WEST, ALONG THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF THE HENDERSON CANYON ROAD, 2664.07 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°09'15" WEST, 544.50 FEET; THENCE SOUTH 89°50'45" EAST, 400.00 FEET, THENCE NORTH 00°09'15" EAST, 544.50 FEET TO THE NORTH LINE OF SAID SECTION 24; THENCE NORTH 89°50'45" WEST ALONG THE NORTH LINE OF SAID SECTION 24, WHICH IS ALSO THE CENTER LINE OF HENDERSON CANYON ROAD, 400.00 FEET TO THE TRUE POINT OF BEGINNING.

Assessor's Parcel No.: 140-320-30-00



**County of San Diego**  
**PLANNING & DEVELOPMENT SERVICES**

MARK WARDLAW  
*Director*

KATHLEEN A.  
FLANNERY  
*Assistant Director*

5510 OVERLAND AVENUE, SUITE 110, SAN DIEGO, CALIFORNIA 92123  
INFORMATION (858) 694-2960  
TOLL FREE (800) 411-0017  
[www.sdcountry.ca.gov/pds](http://www.sdcountry.ca.gov/pds)

**COMMISSIONERS**

Leon Brooks (Chairman)  
David Pallinger (Vice Chairman)  
Douglas Barnhart  
Michael Beck  
Michael Edwards  
Michael Seiler  
Bryan Woods

December 15, 2017

**PERMITEE:** VERIZON WIRELESS  
**MAJOR USE PERMIT:** PDS2017-MUP-17-004  
**E.R. NUMBER:** PDS2017-ER-17-05-001  
**PROPERTY:** 2285 HENDERSON ROAD, BORREGO SPRINGS  
**APN(s):** 140-320-30-00

**DECISION OF THE PLANNING COMMISSION**

This Major Use Permit for an unmanned wireless telecommunication facility consists of 17 sheets including plot plan, site plan, and elevations dated September 15, 2017. This permit authorizes the construction, operation and maintenance of three (3) new microwave dish antennas on an existing 50-foot high lattice tower, no higher than 27 feet, and associated equipment within a new 10-foot by 10-foot equipment shelter inside an existing chain link fence enclosure pursuant to Section 6980 and 7350 of the Zoning Ordinance.

**MAJOR USE PERMIT EXPIRATION:** This Major Use Permit shall expire on **December 15, 2019** at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Major Use Permit has commenced prior to said expiration date.

**SPECIFIC CONDITIONS:** Compliance with the following Specific Conditions shall be established before the property can be used in reliance upon this Major Use Permit. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

**ANY PERMIT:** *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

**1. GEN#1-COST RECOVERY**

**INTENT:** In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit.

**DOCUMENTATION:** The applicant shall provide evidence to Planning & Development Services, Zoning Counter, which shows that all fees and trust account deficits have been paid. No permit can be issued if there are deficit trust accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and trust account deficits shall be paid. **MONITORING:** The PDS Zoning Counter shall verify that all fees and trust account deficits have been paid.

## 2. GEN#2-RECORDATION OF DECISION

**INTENT:** In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an 'all purpose acknowledgement' and return the original recordation form to PDS. **DOCUMENTATION:** Signed and notarized original recordation form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

## 3. ROADS#1-PRIVATE ROAD EASEMENT

**INTENT:** In order to promote orderly development and to comply with the County Subdivision Ordinance Section 81.702 proof of private road easement access shall be provided. **DESCRIPTION OF REQUIREMENT:** The applicant shall show private road easement rights from Henderson Canyon Road to the project site. **DOCUMENTATION:** The applicant shall demonstrate easement rights via a title report. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, the applicant shall provide evidence of easement rights. **MONITORING:** PDS shall review the title report or similar documentation for compliance with this condition.

**BUILDING PERMIT:** *(Prior to approval of any building plan and the issuance of any building permit).*

## 4. NOISE#1-NOISE REQUIREMENT [PDS, FEE X1]

**INTENT:** In order to reduce the impacts of the exterior sound levels from the project site on the adjacent parcels and to comply with the County of San Diego Noise Ordinance 36.404 as evaluated in the County of San Diego Noise Guidelines for Determining Significance, the following design measures shall be implemented on the building plans and in the site design. **DESCRIPTION OF REQUIREMENT:** The following design elements and noise attenuation measure shall be implemented and indicated on the building plans and made conditions of its issuance:

"The proposed generator is a Generac Model SDC20 with a sound pressure level of 67.8 dBA at a reference distance of 23 feet or an equivalently sized

unit. This unit shall be located at a minimum distance of 330 feet from the property line.”

**DOCUMENTATION:** The applicant shall place the design elements, or notes on the building plans and submit the plans to [PDS, BPPR] for review and approval. **TIMING:** Prior to issuance of any building permit, the design elements and noise attenuation measures shall be incorporated into the building plans. **MONITORING:** The [PDS, BPPR] shall verify that the specific note(s), and design elements, and noise attenuation measures have been placed on all sets of the building plans and made conditions of its issuance.

## 5. FLOOD#1–FLOODPLAIN COMPLIANCE

**INTENT:** In order to provide protection from flood damage for the structure from flows coming from the Coyote Canyon Creek Alluvial Fan (Coyote Creek) and to comply with the County Flood Damage Prevention Ordinance NO. 10091 (Title 8, Division 11 Sec 501 (c)(2)), County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq., all structures on-site shall be elevated a minimum of one-foot above the Federal Emergency Management Agency (FEMA) base flood depth and/or comply with Guideline letter dated April 28, 2011 (see attached). **DESCRIPTION OF REQUIREMENT:**

- a. The building plans shall indicate that the inverter room structures, substation components, substation buildings, 12kV switchgear and scada/relay protection skid, battery storage/inverter skid and maintenance sheds shall be constructed on stilts as indicated on the approved plot plan. The structure’s lowest horizontal structural member shall be elevated at least one-foot above the base flood depth to ensure that there will be no changes to the base flood depths or floodplain boundary.

Or

- b. The placement of inverters and transformers units at grade or the use of fill, to elevate the inverter and transformer units shall be done such that the placement and distribution of the inverter and transformer units shall be one (1) unit per five (5) acres and located a sufficient distance from the project property lines. The maximum width, perpendicular to the flow of each unit, or of the top of fill (if fill is used) shall be four (4) feet. The length, dimension, and orientation shall be to the satisfaction of the Director of Planning & Development Services and shall be parallel to flow of water.

**DOCUMENTATION:** The applicant shall indicate on the building plans that the requirements of either (a) or (b) above have been met. **TIMING:** Prior to approval of any building plan and the issuance of any building permit associated with the structures referenced above, compliance with this condition is required. **MONITORING:** The [PDS, BPPR] shall review the building plans for consistency with this condition.



**6. DRNG#1- LINES OF INUNDATION COMPLIANCE**

**INTENT:** In order to provide protection from flood damage for the structures and to comply with the County Flood Damage Prevention Ordinance NO. 10091 (Title 8, Division 11 Sec 501 (c)(2)), County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq., all on-site structures located within the inundation area shall be elevated one foot above the 100-year base flood elevation (BFE).

**DESCRIPTION OF REQUIREMENT:** The building plans shall indicate all proposed on-site structures located within the inundation area.

**DOCUMENTATION:** The applicant shall indicate on the building plans that the requirement above has been met. **TIMING:** Prior to approval of any building plan and the issuance of any building permit associated with the structures referenced above, compliance with this condition is required. **MONITORING:** The [PDS, BPPR] shall review the building plans for consistency with this condition.

**OCCUPANCY:** *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

**7. GEN#3-INSPECTION FEE**

**INTENT:** In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the [PDS, ZC] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [PDS, PCC]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, ZC] shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

**8. HAZ#1-HEALTH AND SAFETY PLAN**

**INTENT:** In order to protect workers from hazardous chemicals and to notify the public of potential hazardous chemicals and substances and to comply with the California Health and Safety Code, Chapter 6.95, the applicant shall receive approval from the Department of Environmental Health. **DESCRIPTION OF REQUIREMENT:** The applicant of the facility shall obtain all necessary permits for the storage, handling, and disposal of the hazardous materials as required by the Department of Environmental Health-Hazardous Materials Division. The plan shall be approved by [DEH, HMD]. The Hazardous Materials Division, Plan Check section contact is Joan Swanson, (858) 505-6880 or by email at joan.swanson@sdcounty.ca.gov. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Health and Safety Plan, and Hazardous Materials Business Plan shall be prepared, approved and implemented. **MONITORING:** [DEH, HMD] shall verify and approve all compliance with this condition.

**9. PLN#1-PHOTO-SIMULATION [PDS, FEE]**

**INTENT:** In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photosimulations. **DESCRIPTION**

**OF REQUIREMENT:** The site shall be built to substantially comply with the approved photo-simulations dated February 14, 2017. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the photos and photo-simulations for compliance with this condition.

#### 10. PLN#2–SITE PLAN IMPLEMENTATION

**INTENT:** In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes, but is not limited to: installing all required design features, painting all structures with the approved colors, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter and cannot be seen by an adjacent residence, parcel or roadway, shall not require modification or deviation of the permit. Expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either modification or deviation. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, BI] shall inspect the site for compliance with the approved Building Plans.

**ONGOING:** *(Upon establishment of use the following conditions shall apply during the term of this permit).*

#### 11. NOISE#2–ON-GOING SOUND LEVEL COMPLIANCE: [PDS, CODES] [OG]

**INTENT:** In order to comply with the applicable sections of Title 3, Division 6, Chapter 4 (County of San Diego Noise Ordinance), the site shall comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** Major Use Permit associated activities shall comply with the one-hour average sound level limit property line requirement pursuant to the County Noise Ordinance, Section 36.404. **DOCUMENTATION:** The property owner(s) and applicant shall conform to the ongoing requirements of this condition. Failure to conform to this condition may result in disturbing, excessive or offensive noise interfering with a person's right to enjoy life and property and is detrimental to the public health and safety pursuant to the applicable sections of Chapter 4. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, CODES] is responsible for enforcement of this permit.

#### 12. PLN#3–SITE CONFORMANCE

**INTENT:** In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved building plans and plot plan(s). This includes, but

is not limited to maintaining the following: painting all necessary aesthetic design features, and all lighting wall/fencing. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a deviation or a modification pursuant to the County of San Diego Zoning Ordinance. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter that cannot be seen by an adjacent residence, parcel or roadway, shall not require modification or deviation of the permit. Expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require a modification or deviation. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

### 13. PLN#4-SITE CONFORMANCE

**INTENT:** In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a) Maintain the appearance of the facility and associated equipment shelter, as depicted in the approved photo simulations dated February 14, 2017. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of PDS (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit).
- b) All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c) All wireless telecommunications sites including antennae, faux palm fronds, and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d) Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

- e) The applicant is responsible for the maintenance and repair of any damage caused by them to on-site and off-site private roads that serve the project.
- f) The telecommunication facility shall be inspected annually to ensure it is operating properly and the facility remains undamaged. The applicant shall provide the necessary inspection deposit on an annual basis.
- g) The generator shall only be tested up to once a week for 15 minutes between the hours of 7am to 6pm on a business day (Monday through Friday).

**DOCUMENTATION:** The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

#### 14. ROADS#1–SIGHT DISTANCE

**INTENT:** In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.E of the County of San Diego Public Road Standards, an unobstructed sight distance shall be maintained for the life of this permit. **DESCRIPTION OF REQUIREMENT:** There shall be a minimum unobstructed corner sight distance in both directions along Henderson Canyon Road from the project driveway for the life of this permit. **DOCUMENTATION:** Minimum unobstructed corner sight distance shall be maintained. The sight distance of adjacent driveways and street openings shall not be adversely affected by this project at any time. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Compliance Division] is responsible for compliance of this permit.

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### MAJOR USE PERMIT FINDINGS

Pursuant to Section 7358 of The Zoning Ordinance, the following findings in support of the granting of the Major Use Permit are made:

- (a) *The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to:*

- 1. *Harmony in scale, bulk, coverage, and density*

The project is a Major Use Permit to allow the construction, operation, and maintenance of an unmanned wireless telecommunication facility. The facility would consist of microwave dishes mounted on an existing 50-foot tall lattice tower owned by the County of San Diego. The associated equipment and emergency backup generator would be located approximately 40 feet south west of the lattice tower within the existing chain link fence area. The equipment would be housed in a ten-foot tall pre-fabricated shelter, and the generator would be



located within an enclosure adjacent to the shelter. The equipment enclosures are designed to blend with the surrounding landscape and other existing equipment shelters by utilizing earth-tone colors similar to the surroundings.

The proposed wireless telecommunications facility would occupy approximately 176 square feet within the existing 6,337 square foot chain link fence area on the 66 acre parcel. The project is subject to the Rural (RL-40) General Plan Land Use Designation and General Rural (S92) Zoning.

*Scale and Bulk:*

The project area can be characterized as rural. The area surrounding the project site consists of flat land, interspersed with residential and agricultural use types and vacant lands. The proposed microwave dishes and associated wireless telecommunication equipment would be located over 300 feet south west of the closest residential property line.

The photo simulations illustrate that the proposed microwave dishes and equipment enclosure would be unobtrusive to the surrounding residential and roadway view shed. The view of the wireless facility would be minimized due to the distance from surrounding residences and project design. The new wireless telecommunication equipment includes one ten-foot wide microwave dish and two four-foot wide microwave dishes. Each of the dishes and associated equipment would be painted to match the existing equipment attached to the lattice tower. The wireless telecommunication facility is located approximately 0.14 miles south of Henderson Canyon Road, separated by undeveloped flat terrain. The facility is located in the center of the subject property, over 300 feet from the nearest property line. Open space and long distance separates the subject property from the closest residences, helping minimize the scale and bulk of the proposed facility. Considering the distance between the proposed wireless facility and the nearest public roadway and nearby residences, the co-location of the facility and its associated equipment shelter, and large amounts of open space, the proposed facility would blend in with the surrounding area and meet the coverage objectives that Verizon requires. For the reasons stated above, the project would be in harmony with surrounding land uses in terms of scale and bulk and would not result in a negative impact to the surrounding area.

*Coverage:*

The project would not result in coverage that is out of character with the surroundings. The subject property is approximately 66 acres in size and contains only the existing lattice tower and associated equipment which is enclosed within a chain link fence totaling approximately 6,337 square feet. The surrounding area is characterized as rural. Surrounding land uses include residential, agricultural, and vacant lands on lots of a similar size. Coverage of the surrounding properties ranges from zero percent for undeveloped lots to approximately 2 percent for smaller residential lots. The pre-project coverage of the site is approximately 0.2 percent. With the addition of the new equipment

shelter within the existing equipment area, the coverage of the site would not change. The addition of the microwave dishes would not result in additional coverage because they would be mounted on the existing lattice tower.

*Density:*

No residential structures are proposed. The project is a MUP for the authorization of a wireless telecommunication facility and does not have a residential component subject to density.

Therefore, the location, design and operating characteristics of the proposed project would be compatible with adjacent uses and structures with consideration given to scale, bulk, coverage and density.

2. *The availability of public facilities, services, and utilities*

The project is within the jurisdiction of the San Diego County Fire Authority. The project is in compliance with Cell Site Policy FP-2 for fire protection. The project does not require sewer service. Electrical and telephone services are available on-site. Therefore, all required services are available for the project.

3. *The harmful effect, if any, upon desirable neighborhood character:*

The project is an unmanned wireless telecommunication facility which would consist of three microwave dishes mounted on an existing lattice tower, as well as a pre-fabricated equipment enclosure containing associated equipment and an emergency backup generator. The microwave dishes would be painted the same color as existing microwave dishes on the lattice tower, helping them blend in with the existing structure. The equipment enclosure would be located within the existing equipment area, and would be colored an earth tone to match the surrounding landscape and existing equipment shelters. The enclosure would also be no taller than ten feet in height, which would be the same height as the existing equipment shelter on site, helping further camouflage the enclosure.

The photo simulations illustrate that the line, form, and color of the new equipment would be largely consistent with the communications facility on which it will be located.

The facility would be located in the middle portion of the 66 acre parcel and approximately 0.14 miles south of Henderson Canyon Road. Considering the distance of the proposed facility from the closest residential property line (over 300 feet) and the co-location on an existing lattice tower, the siting of the facility, as designed, would not cause an adverse aesthetic effect to the surrounding land uses or roadways. For the reasons stated above, the project would not have a harmful effect on the desirable neighborhood character.

4. *The generation of traffic and the capacity and physical character of surrounding streets:*

The traffic generated from the project is expected to be one maintenance trip per month and would utilize Henderson Canyon Road, a public road, for access. Existing parking is available on the property. The use associated with this MUP would be compatible with the existing nature of the area because the number of maintenance trips will not substantially alter the expected traffic or physical character of the surrounding streets and would be compatible with adjacent uses. Therefore, the number of maintenance trips would not substantially increase or alter the physical character of surrounding streets.

5. *The suitability of the site for the type and intensity of use or development, which is proposed:*

The applicant proposed a MUP for the authorization of an unmanned wireless telecommunication facility. The subject property is developed with access and utility services adequate to serve the proposed use. The installation of the telecommunication facility would not require significant alteration to the land form. The project, as designed, would blend into the existing structure, and would not change the characteristics of the area and is suitable for this site and the type and intensity of uses and development. For reasons stated above, the proposed project would be compatible with adjacent land uses.

6. *Any other relevant impact of the proposed use:*

No relevant impacts were identified.

- (b) *The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan:*

The project is subject to the Regional Category Rural, Land Use Designation Rural Lands (RL-40). The project is consistent with Goal S-1 (Public Safety) and S-2 (Emergency Response) of the Public Safety Element of the County General Plan because it encourages enhanced public safety and effective emergency response to natural or human-induced disasters, while also reducing disruptions in the delivery of vital public and private services during and following a disaster. Furthermore, the project complies with General Plan Policy LU 15.1 – telecommunication facilities compatibility with setting because it would support the surrounding community, has been designed and sited to minimize visual impacts, would not result in adverse impacts to the natural environment and would be compatible with existing nearby development and community character. The project also complies with General Plan Policy LU 15.2 because the project is designed as a co-location facility. Lastly, the project complies with General Plan Policy COS 11.3 because the project has been designed to minimize visual impacts by camouflaging the facility so as not to impact the viewshed of neighboring uses or detract from the visual settings of nearby roads. Therefore, the project is consistent with the San Diego County General Plan.

- (c) *That the requirements of the California Environmental Quality Act have been complied with:*

Pursuant to CEQA Guidelines Section 15303, the project is exempt from CEQA because it is an unmanned wireless telecommunication facility that involves the installation of small, new equipment and facilities and structures. It has been determined that the project is not in an environmentally sensitive location; would not have a cumulative effect on the environment; is not on a hazardous waste site; would not cause a substantial change in the significance of historical resources and would not result in visual impacts to a scenic highway.

#### **WIRELESS TELECOMMUNICATION FINDING**

The project site is a preferred location in a non-preferred zone. Pursuant to Section 6986B of the Wireless Telecommunication Facilities Ordinance, the applicant provided an alternative site analysis and discussed preferred locations in the area and why they were not technologically or legally feasible. Due to the co-location of the facility and the lack of preferred zones in the surrounding area, the proposed project has been determined to be preferable due to its aesthetic and community character compatibility.

.....

**ORDINANCE COMPLIANCE AND NOTICES:** The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

**STORMWATER ORDINANCE COMPLIANCE (REGION 7):** In order to comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the California State Water Resources Control Board (CSWRCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 10410 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Quality Management Plan (SWQMP), all requirements for Low Impact Development (LID), materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that the property owner keep additional and updated information onsite concerning stormwater runoff. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

**LOW IMPACT DEVELOPMENT NOTICE:** Low Impact Development (LID) is a sustainable practice that benefits water supply and contributes to water quality protection. Unlike traditional storm water management, which collects and conveys storm water runoff through storm drains, pipes, or other conveyances to a centralized storm water facility, LID takes a different approach by using site design and storm water management to maintain the site's pre-development runoff rates and volumes. The goal of LID is to mimic a site's predevelopment hydrology by using design techniques that infiltrate, filter, store, evaporate, and detain runoff close to the source of rainfall. LID has been a proven approach in other parts of the country



and is seen in California as an alternative to conventional storm water management. The SWRCB is advancing LID in California in various ways.

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. Visit the following link:

[http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED\\_PROTECTION\\_PROGRAM/susmppdf/lid\\_handbook\\_2014sm.pdf](http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf)

**DRAINAGE:** The project shall be in compliance with the County of San Diego Flood Damage Prevention Ordinance No. 10091, adopted December 8, 2010.

**GRADING PERMIT REQUIRED:** A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill, pursuant to Section 87.201 of Grading Ordinance.

**CONSTRUCTION PERMIT REQUIRED:** A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate County requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

**ENCROACHMENT PERMIT REQUIRED:** An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

**EXCAVATION PERMIT REQUIRED:** An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

**TRANSPORTATION IMPACT FEE:** The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to County TIF Ordinance number 77.201 – 77.223. The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

**NOISE ORDINANCE COMPLIANCE:** In order to comply with the County Noise Ordinance 36.401 et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with

this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

<b>EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS</b>			
<b>Planning &amp; Development Services (PDS)</b>			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
<b>Department of Public Works (DPW)</b>			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
<b>Department of Environmental Health (DEH)</b>			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
<b>Department of Parks and Recreation (DPR)</b>			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
<b>Department of General Service (DGS)</b>			
Real Property Division	RP		

**APPEAL PROCEDURE:** Within ten calendar days after the date of this Decision of the Planning Commission, the decision may be appealed to the Board of Supervisors in accordance with Section 7366 of the County Zoning Ordinance. An appeal shall be filed with the Director of Planning & Development Services or by mail with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

MUP 17-004

December 15, 2017

COUNTY OF SAN DIEGO PLANNING COMMISSION  
MARK WARDLAW, SECRETARY

BY:

Mark Slovick, Chief  
Project Planning Division  
Planning & Development Services

cc: Jo Ann Stoddard, 2851 Camino Del Rio South, Suite 200, San Diego, CA 92108  
Verizon Wireless, 15505 Sand Canyon Ave, Irvine, CA 92618

email cc:

Ken Brazell, Team Leader, Land Development/Engineering, PDS  
Ashley Smith, Planning Manager, Project Planning, PDS  
Denise Russell, Project Manager, Project Planning, PDS  
Borrego Springs Community Sponsor Group, [rebfolk7@gmail.com](mailto:rebfolk7@gmail.com)



## **Attachment C – Environmental Documentation**

## NOTICE OF EXEMPTION

TO: Recorder/County Clerk  
Attn: James Scott  
1600 Pacific Highway, M.S. A33  
San Diego, CA 92101

FROM: County of San Diego  
Planning & Development Services, M.S. O650  
Attn: Project Planning Division Section Secretary

SUBJECT: **FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152**

Project Name: Peg Leg Wireless; PDS2017-MUP-17-004, PDS2017-ER-17-05-001

Project Location: 2285 Henderson Canyon Rd., Borrego Springs Community Planning Area within the unincorporated San Diego County, APN: 140-320-30-00

Project Applicant: Verizon Wireless; 15505 Sand Canyon Ave, Irvine, CA 92618; 949-286-7000

Project Description: The proposed project consists of the installation of microwave antennas to an existing lattice tower, and the installation of an equipment shelter with a 20kW backup generator and new service meter.

Agency Approving Project: County of San Diego

County Contact Person: Denise Russell; 858-694-2019

Date Form Completed: October 27, 2017

This is to advise that the County of San Diego Planning Commission has approved the above described project on December 15, 2017 and found the project to be exempt from the CEQA under the following criteria:

- Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)
  - ☐ Declared Emergency [C 21080(b)(3); G 15269(a)]
  - ☐ Emergency Project [C 21080(b)(4); G 15269(b)(c)]
  - ☐ Statutory Exemption. C Section:
  - ☒ Categorical Exemption. G Section: 15303
  - ☐ G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.
  - ☐ G 15182 - Residential Projects Pursuant to a Specific Plan
  - ☐ G 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning
  - ☐ Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
- Mitigation measures ☐ were ☐ were not made a condition of the approval of the project.
- A Mitigation reporting or monitoring plan ☐ was ☐ was not adopted for this project.

Statement of reasons why project is exempt: Section 15303 is for the construction and location of limited numbers of new small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. The proposed project includes the installation of small new equipment on an existing lattice tower, and the installation of a small structure for equipment.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: \_\_\_\_\_ Telephone: (858) 694-2019

Name (Print): Denise Russell Title: Land Use/Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.



State of California - Department of Fish and Wildlife

**2017 ENVIRONMENTAL FILING FEE CASH RECEIPT**

DFW 753.5a (Rev. 01/01/17) Previously DFG 753.5a

Print

Scan

Finalize &amp; Email

RECEIPT NUMBER:

37 — 10202017 — 099

STATE CLEARINGHOUSE NUMBER (if applicable)

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY.

LEAD AGENCY

PLANNING &amp; DEVELOPMENT SERVICES

LEAD AGENCY EMAIL

DATE

10202017

COUNTY/STATE AGENCY OF FILING

San Diego

DOCUMENT NUMBER

PROJECT TITLE

PDS2017-MUP-17-004

PROJECT APPLICANT NAME

TECHNOLOGY ASSOCIATES

PROJECT APPLICANT EMAIL

PHONE NUMBER

(760) 765-5275

PROJECT APPLICANT ADDRESS

3115 MELROSE DR STE 110

CITY

CARLSBAD

STATE

CA

ZIP CODE

92010-6531

PROJECT APPLICANT (Check appropriate box)

☐ Local Public Agency☐ School District☐ Other Special District☐ State Agency☒ Private Entity

## CHECK APPLICABLE FEES:

☐ Environmental Impact Report (EIR)

\$3,078.25

\$

0.00

☐ Mitigated/Negative Declaration (MND)(ND)

\$2,216.25

\$

0.00

☐ Certified Regulatory Program document (CRP)

\$1,048.50

\$

0.00

☐ Exempt from fee☐ Notice of Exemption (attach)☐ CDFW No Effect Determination (attach)☐ Fee previously paid (attach previously issued cash receipt copy)☐ Water Right Application or Petition Fee (State Water Resources Control Board only)

\$850.00

\$

0.00

☒ County documentary handling fee

\$

50.00

☐ Other

\$

0.00

## PAYMENT METHOD:

☐ Cash☐ Credit☒ Check☐ Other

TOTAL RECEIVED

\$

50.00

SIGNATURE

X

AGENCY OF FILING PRINTED NAME AND TITLE

Cara Trieu / Cashier

23475

## TECHNOLOGY ASSOCIATES EC INC

3115 MELROSE DRIVE, SUITE 110  
CARLSBAD, CA 92010  
(760) 765-5275BANK OF THE WEST  
San Diego REID Office

90-4284/1222

Bank of the West  
Member FDICFOR  
TO THE  
ORDER  
OF

\*\*\*\*\*50 DOLLARS AND 00 CENTS\*\* 10/18/17 023475 \*\*\*\*\*50.00

County of San Diego-P&D  
Planning & Development Svcs.  
5510 Overland Avenue, Suite 110  
San Diego, CA 92121

VOID AFTER 90 DAYS

Security Features: Details on back.



**County of San Diego**

Planning & Development Services  
 5510 Overland Avenue, Suite 110  
 San Diego, CA 92123  
 Phone: 1-800-411-0017

Receipt #: 3797213  
 Date: 10/20/2017  
 Cashier: CTRIEU

**Receipt****Record Information**

Record ID	Record Name	Site Address	City	APN	Contact
PDS2017-MUP-17-004	Peg Leg			140-320-30-00	

**Fee Information**

Invoice Date	Invoice Number	Record Number	Fee Code	Description	Amount
10/18/2017	2494622	PDS2017-MUP-17-004	9FSHGMFEEO	Fish & Wildlife Fee-Processing	\$50.00

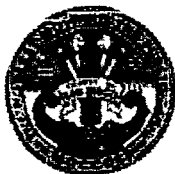
**Payment Information**

Pymt Method	Reference #	Comments	Amount Paid
Check	23475		\$50.00

Amount Received: \$50.00

Change: \$0.00





**COUNTY OF SAN DIEGO  
PLANNING & DEVELOPMENT SERVICES**

5510 Overland Avenue, Suite 110  
San Diego, CA 92123  
Information (858) 684-2880 Toll Free (800) 411-0017  
Website: <http://publicservices.sdcountry.ca.gov/citizenaccess>

Invoice Date:  
10/18/2017

**Record Reference:**

Record ID #: PDS2017-MUP-17-004  
Record Name: PEG LEG  
Site Address:  
APN: 140-320-30-00

**Financially Responsible Party:**

Customer #: 2010422  
Name: TECHNOLOGY ASSOCIATES  
Address: 3115 MELROSE DR STE 110  
City, ST, Zip: CARLSBAD, CA 92010-6531  
Trust Acct #: 2010422-D-04691

**Project Description / Scope**

Verizon wireless plans to:

Install (3) new MW dishes onto the existing tower along with (3) new e...

**Flat Fees To Be Paid**

Fee Item	Fee Item Description	Invoice #	Amount
9FSHGMFEEO	Fish & Wildlife Fee- Processing	2494622	\$50.00
<b>FEE AMOUNT DUE:</b>			<b>\$50.00</b>

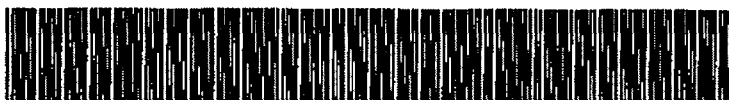
**Deposits To Be Paid** (Now accepting online deposits to Trust Accounts! Check out "Access Updates" at [WWW.SDCPDS.ORG](http://WWW.SDCPDS.ORG) for details!)

**DEPOSITS AMOUNT DUE:**

**TOTAL AMOUNT DUE: \$50.00**

**PLEASE PROCEED TO THE CASHIER WITH THIS INVOICE TO MAKE YOUR PAYMENTS...THANK YOU FOR YOUR BUSINESS**

**DID YOU KNOW PLANNING & DEVELOPMENT SERVICES NOW ACCEPTS ONLINE FEE PAYMENTS AND DEPOSITS TO TRUST ACCOUNTS? LOG ON TO [HTTPS://PUBLICSERVICES.SDCOUNTY.CA.GOV/CITIZENACCESS](https://publicservices.sdcountry.ca.gov/citizenaccess) TO GET STARTED!**



\*W.X1.XWPDS2017-MUP-17-004\*

## REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH ORDINANCES/POLICIES

### FOR PURPOSES OF CONSIDERATION OF Peg Leg Wireless, PDS2017-MUP-17-004

December 15, 2017

**I. HABITAT LOSS PERMIT ORDINANCE** – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES  
☐

NO  
☐

NOT APPLICABLE/EXEMPT  
☒

Discussion:

While the proposed project and off-site improvements are located outside of the boundaries of the Multiple Species Conservation Program, the project site and locations of any off-site improvements do not contain habitats subject to the Habitat Loss Permit/Coastal Sage Scrub Ordinance. Therefore, conformance to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings is not required.

**II. MSCP/BMO** - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES  
☐

NO  
☐

NOT APPLICABLE/EXEMPT  
☒

Discussion:

The proposed project and any off-site improvements related to the proposed project are located outside of the boundaries of the Multiple Species Conservation Program. Therefore, conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance is not required.

**III. GROUNDWATER ORDINANCE** - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES  
☐

NO  
☐

NOT APPLICABLE/EXEMPT  
☒

Discussion:

The project is exempt from the requirements of the San Diego County Groundwater Ordinance Section 67.720. The project will not have a significant adverse impact on groundwater quantity because the project is not proposed to use water.

**IV. RESOURCE PROTECTION ORDINANCE** - Does the project comply with:

The wetland and wetland buffer regulations (Sections 86.604(a) and (b)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Sections 86.604(c) and (d)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The <u>Steep Slope</u> section (Section 86.604(e))?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

**Discussion:*****Wetland and Wetland Buffers:***

The site contains no wetland habitats as defined by the San Diego County Resource Protection Ordinance. The site does not have a substratum of predominately undrained hydric soils, the land does not support, even periodically, hydric plants, nor does the site have a substratum that is non-soil and is saturated with water or covered by water at some time during the growing season of each year. Therefore, it has been found that the proposed project complies with Sections 86.604(a) and (b) of the Resource Protection Ordinance.

***Floodways and Floodplain Fringe:***

The project is in compliance. The project is adjacent to the Coyote Creek floodway/floodplain fringe area, but there are no proposals for any offsite uses or improvements that need compliance with the Resource Protection Ordinance. Therefore, it has been found that the proposed project complies with Sections 86.604(c) and (d) of the Resource Protection Ordinance.

***Steep Slopes:***

The average slope for the property is less than 25 percent gradient. Slopes with a gradient of 25 percent or greater and 50 feet or higher in vertical height are required to be placed in open space easements by the San Diego County Resource Protection Ordinance (RPO). There are no steep slopes on the property. Therefore, it has been found that the proposed project complies with Sections 86.604(e) of the RPO.

***Sensitive Habitats:***

No sensitive habitat lands were identified on the site. Therefore, it has been found that the proposed project complies with Section 86.604(f) of the RPO.

***Significant Prehistoric and Historic Sites:***

Based on an analysis of County of San Diego archaeology resource files, archaeological records, maps, and aerial photographs by County of San Diego staff archaeologist, it has been determined that the project site does not contain any archaeological resources. Therefore, it has been found that the proposed project complies with Section 86.604(g) of the RPO.

**V. STORMWATER ORDINANCE (WPO)** - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES

☒

NO

☐

NOT APPLICABLE

☐

Discussion:

The project Storm Water Management Plan has been reviewed and is found to be complete and in compliance with the WPO.

**VI. NOISE ORDINANCE** – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES

☒

NO

☐

NOT APPLICABLE

☐

Discussion:

The proposal would not expose people to nor generate potentially significant noise levels which exceed the allowable limits of the County of San Diego Noise Element of the General Plan, County of San Diego Noise Ordinance, and other applicable local, State, and Federal noise control regulations.

The project includes modifications to an existing Verizon cell site in Borrego Springs, including installation of three additional antennas on the existing tower, a 10-foot by 10-foot equipment shelter, new coax cables, a service meter, and a 20 kW generator located adjacent to the shelter. The equipment shelter would include heating, ventilation, and air conditioning (HVAC) units located on the outside of the shelter. The project and surrounding land uses are zoned S92. Staff has assessed this project based on the most restrictive one-hour average nighttime sound level limit of 45 dBA at the project property lines. The property line to the northeast of the wireless facility was considered as the worst-case receptor location. The main noise sources associated with the project are the HVAC units and the generator. The HVAC units would be located on the western side of the equipment shelter, the opposite side from facing the property line to the northeast. Noise from the HVAC units would be heavily attenuated from the shelter and from their orientation to the nearest property line to the northeast, and would generate less than significant noise levels. The primary noise source would be from a 20 kW Generac generator unit with a sound pressure level of 67.8 dBA at a reference distance of 23 feet. The proposed generator would be located approximately



330 feet from the nearest property line located to the northeast, which is an existing single-family residential property. Noise attenuation by distance would reduce levels to below 45 dBA, and therefore generator noise levels would be less than significant. The project design and layout demonstrates County Noise Ordinance compliance and no noise mitigation is required.

## **Attachment D – Environmental Findings**

**VERIZON PEG LEG  
WIRELESS TELECOMMUNICATIONS FACILITY  
MAJOR USE PERMIT: PDS2017-MUP-17-004  
ENVIRONMENTAL LOG NO.: PDS2017-ER-17-05-001**

**ENVIRONMENTAL FINDINGS**

**December 15, 2017**

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines section 15303 for the reasons stated in the Notice of Exemption.
2. Find that the proposed project is consistent with the Resource Protection Ordinance (County Code, section 86.601 et seq.).
3. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).

## **Attachment E – Public Documentation**



**County of San Diego  
BORREGO SPRINGS COMMUNITY SPONSOR GROUP  
MEETING MINUTES**

**Thursday March 2nd, 2017 at 4:30 P.M.  
Borrego Springs High School Community Room  
2281 Diegueno Road, Borrego Springs, California**

**Administrative Items**

- A. Chair R. Falk called the meeting to order at 4:29 p.m.
- B. Roll Call of Members. Members present: Tom Beltran, Rebecca Falk, David Farley, Judy Haldeman, Bonnie Petrach and Linda Haddock. Member absent: None.
- C. Approval of the Agenda. Haldeman moved to approve the agenda; Petrach seconded. All members voted to approve the March 2<sup>nd</sup>. Agenda.
- D. Members' review of maps and other printed materials for meeting: Chair Falk had a package from Verizon showing the location of an existing cell tower that Verizon would like to install an additional microwave dish to.
- E. Consideration and approval of Minutes from the meeting(s) of February 2, 2017: Haldeman moved to approve the minutes with minor corrections, Petrach seconded. Corrections were noted and all members voted to approve the February 2 minutes as amended.
- F. Public Comment: an opportunity for members of the public to speak to the Sponsor Group on any subject matter within the group's jurisdiction that is not already on today's agenda, with a time limit of three minutes (3:00) per speaker.  
None
- G. Correspondence & Chair's report: Chair Falk noted to the members that FORM 700, conflict of interest declaration, was due by April 3<sup>rd</sup> to the County of San Diego.
- H. Chair Falk noted that a request was made by the owners of the old motel on Borrego Valley Road to have its zoning changed back to its historical zoning of motel use. No action to be taken at this meeting since the request was too late for inclusion on the agenda.
- I. Housing element update: The County corresponded with Chair Falk about a study of areas that are zoned for "lower to middle income, higher density" housing. Bill Wright was present and spoke about the land. He had previously donated a portion of the land for the new library only. Mr. Wright informed the group that the land was donated for civic use only, no commercial use.
- J. Committee reports: Chair Falk announced the first meeting of the Borrego Springs Groundwater Sustainability Advisory Committee will be held on March 6th at 10:00 a.m. to 3:00 p.m. in the Borrego Springs High School Community Room.
- K. Member Haldeman spoke about the new Library. She was asked to attend a meeting by the County in regards to the three contractors/architect proposals for the new library. Library, Parks and the Sheriff's department had representatives at the meeting. 3 designs were presented at the meeting. Judy said it was a long but very interesting meeting concerning materials, look, landscaping, etc. She also noted that all three contractors were asked to complete the design and build within 365 days. They all agreed that they could. No action taken by the group. Mr. Bill Wright again spoke noting that the sewer connection was being installed by Fredericks Construction and being paid for by the Wright Family Foundation.

### Action Items

- A. Joann Stoddard from Verizon communications made a presentation about a major use permit to install a microwave dish on an existing microwave tower that the County owns on land that Verizon owns on Henderson Canyon Road, out by the "pegleg" area. The new microwave dish would help move more cellular calls out of our area. Member Haddock moved to approve the major use permit as presented, Petrach seconded. All members approved, motion passed.
- B. Motion to fill Borrego Springs Community Sponsor Group seat number one that is being vacated by member Tom Beltran. Citizen Clint Brandin applied for seat one. Member Haldeman moved to approve Mr. Brandin to seat one, Farley seconded. All members voted aye. Motion approved.

### Non-Action Items

- A. Continuing "read through" of the Borrego Springs Community Plan pages 36 and 38, Lights and Lighting and Construction Standards and Roads and Parking Lots. Next meeting we will begin the discussion on page 38, Issue LU-3.9 Multi-story Construction.

The meeting was adjourned at 6:03 p.m. after Haddock so moved, Haldeman seconded. All members voted "aye".

David Farley, Secretary

The next regular meeting will be held April 6, 2017 at 4:30 P.M. at the Borrego Springs High School Community Room, 2281 Diegueno Road, Borrego Springs, CA 92004.

#### Public Disclosure

We strive to protect personally identifiable information by collecting only information necessary to deliver our services. All information that may be collected becomes public record that may be subject to inspection and copying by the public, unless an exemption in law exists. In the event of a conflict between this Privacy Notice and any County ordinance or other law governing the County's disclosure of records, the County ordinance or other applicable law will control.

#### Access and Correction of Personal Information

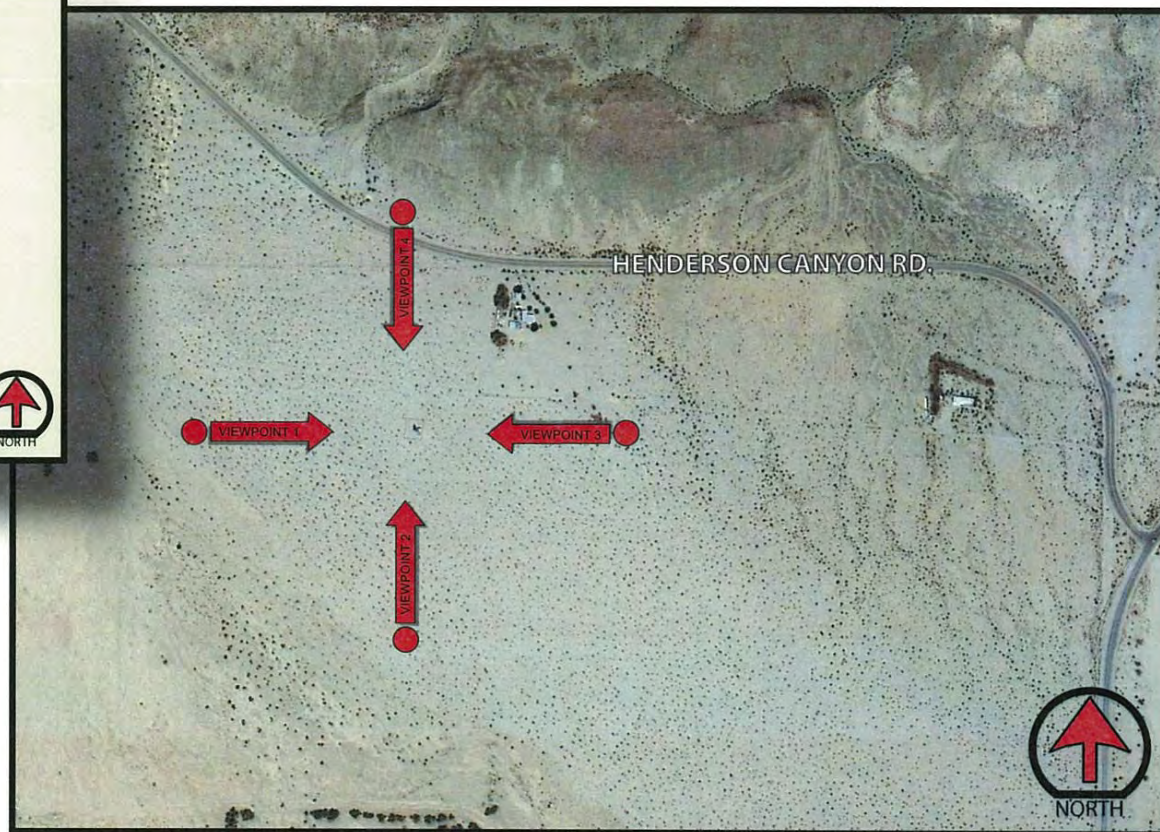
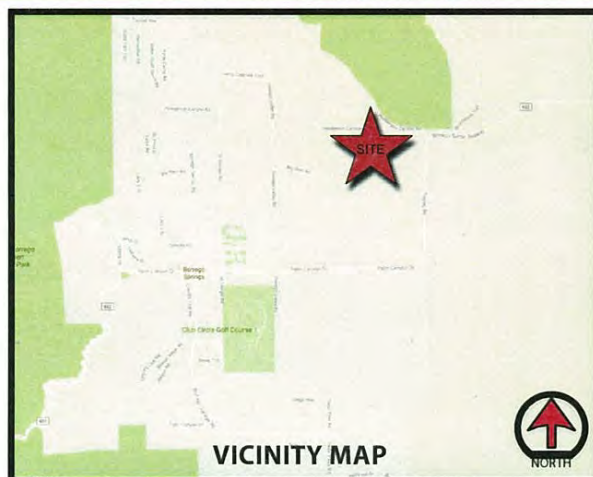
You can review any personal information collected about you. You may recommend changes to your personal information you believe is in error by submitting a written request that credibly shows the error. If you believe that your personal information is being used for a purpose other than what was intended when submitted, you may contact us. In all cases, we will take reasonable steps to verify your identity before granting access or making corrections.

**Attachment F – Photo-Simulations, Geographic  
Service Area Map, and Alternative Site Analysis**





**PEG LEG**  
2285 HENDERSON CANYON RD.  
BORREGO SPRING, CA

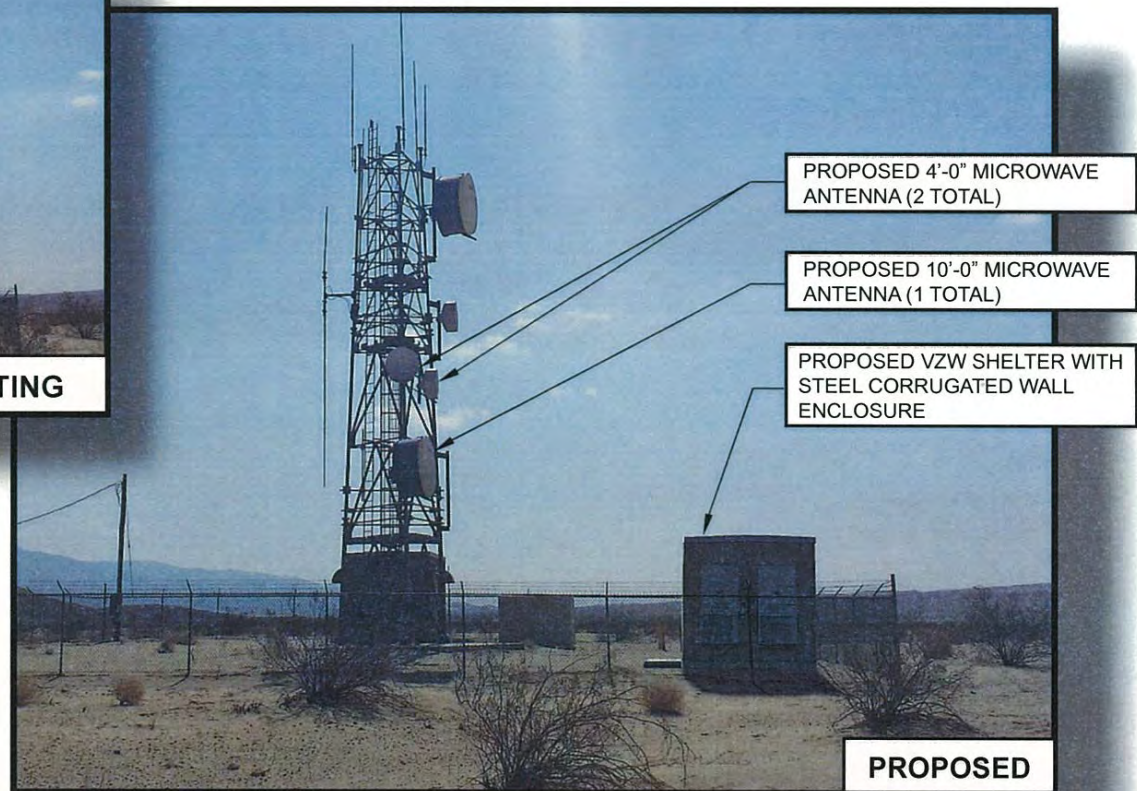
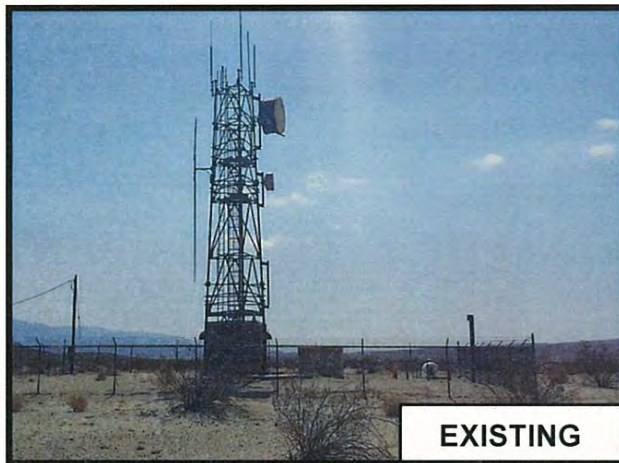


**AERIAL MAP**





**PEG LEG**  
2285 HENDERSON CANYON RD.  
BORREGO SPRING, CA



**VIEWPOINT 1**

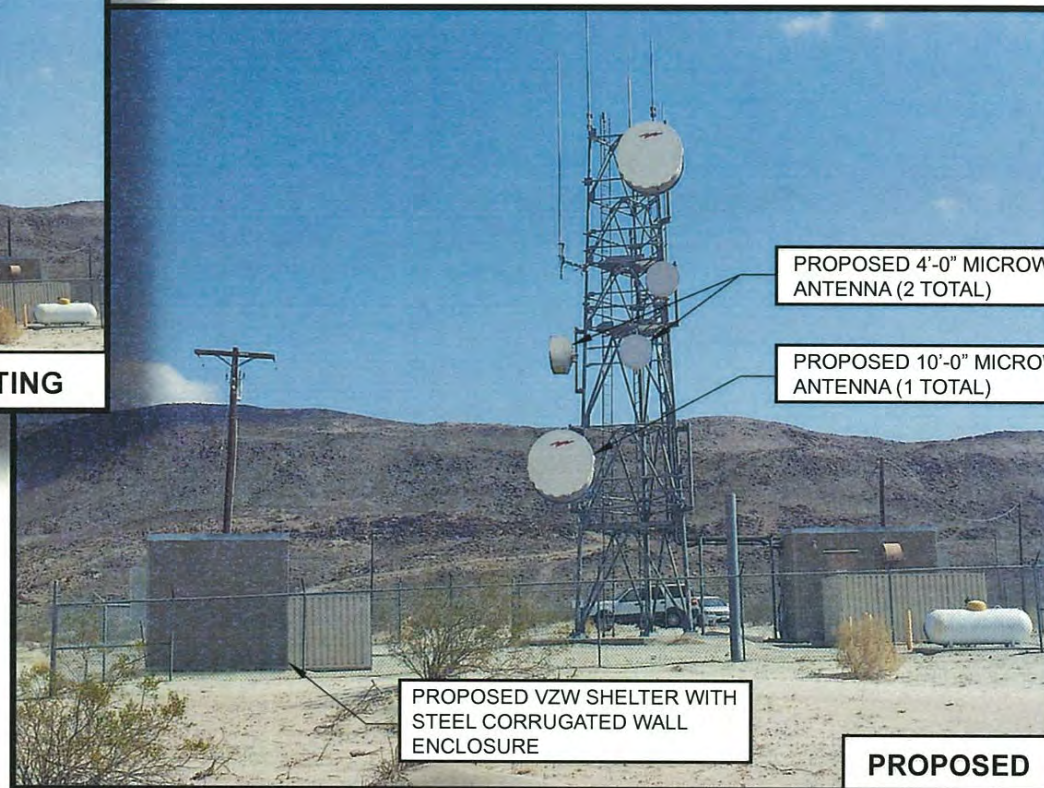




**PEG LEG**  
2285 HENDERSON CANYON RD.  
BORREGO SPRING, CA



**EXISTING**



PROPOSED 4'-0" MICROWAVE  
ANTENNA (2 TOTAL)

PROPOSED 10'-0" MICROWAVE  
ANTENNA (1 TOTAL)

PROPOSED VZW SHELTER WITH  
STEEL CORRUGATED WALL  
ENCLOSURE

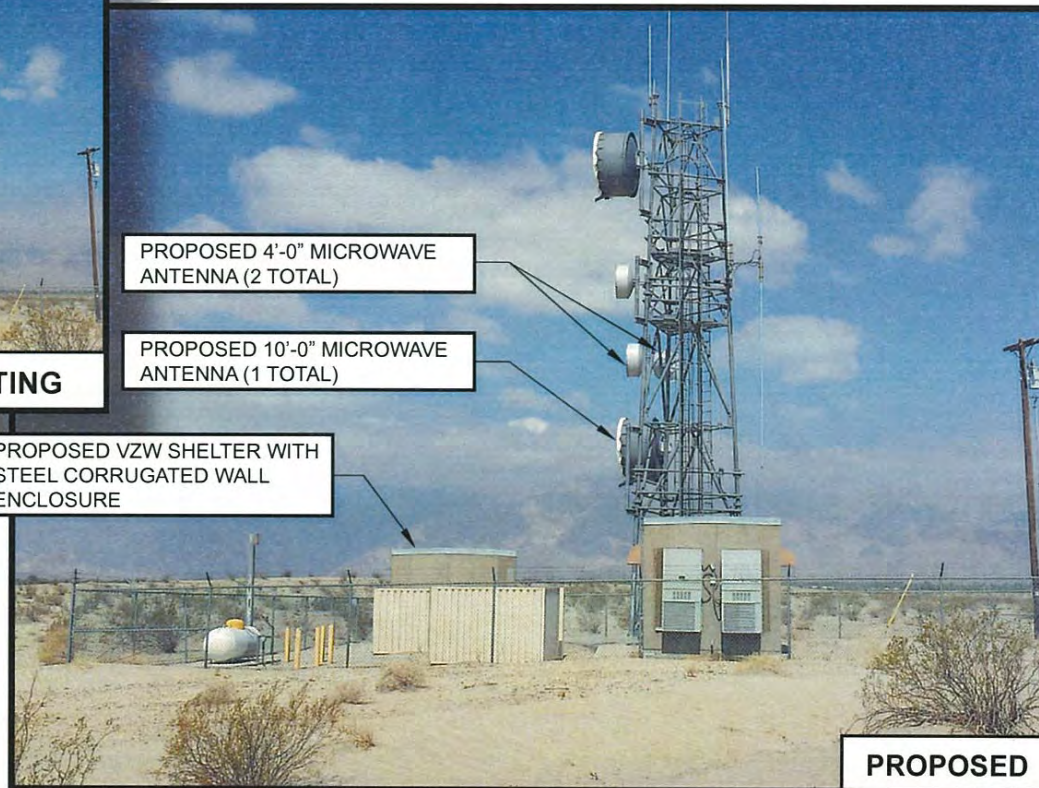
**PROPOSED**

## VIEWPOINT 2





**PEG LEG**  
2285 HENDERSON CANYON RD.  
BORREGO SPRING, CA

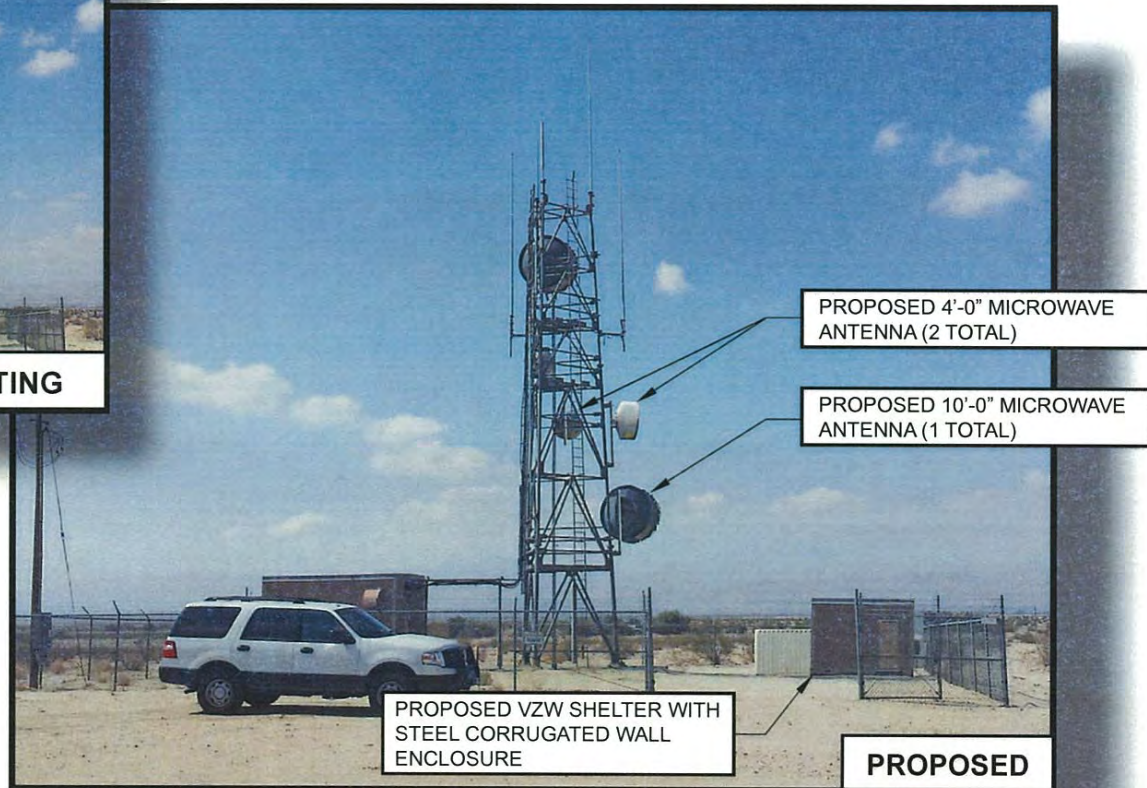
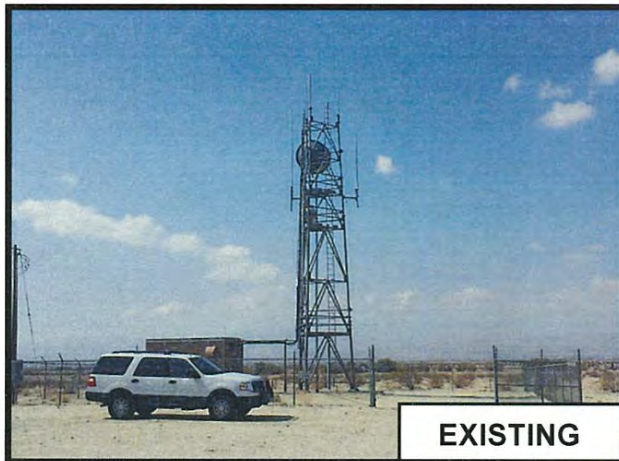


**VIEWPOINT 3**





**PEG LEG**  
2285 HENDERSON CANYON RD.  
BORREGO SPRING, CA



**VIEWPOINT 4**



### Geographic Service Area

Verizon Wireless is leading the industry in developing advanced 4G LTE and 5G wireless technology that keeps their customers connected to a fast, reliable network. Every year, they invest greatly into their network to meet their customer's demand for high speed data. Verizon has to constantly improve and expand its infrastructure to innovate ahead of rapid changing technology and to keep up with the data and speed demands. A majority of this expansion includes modifying existing cell sites and building new cell sites in the different areas that are lacking coverage for its customers. As part of this proposed project, Verizon plans to install a new cell site that is integral in keeping the existing and proposed sites that provide coverage to the City of Borrego Springs, in service and to improve their speed.

This proposed site, known as Peg Leg, will be located in the North East corner of Borrego Springs. It is a new site for Verizon which they will be collocating onto an existing tower that the County of San Diego owns. The tower is located on Verizon Wireless property to which Verizon leases space to the County for their use. This will not be your standard cell site that provides coverage to its surrounding area, but it will be used to install Microwaves that will help offload three sites in the area. The attached coverage maps show the 3 sites in the area that will be offloaded to the Peg Leg site in order to help prevent dropped calls and provide faster data speeds.

Shown on the Coverage maps are the Verizon sites Borrego Fire, Yaqui Pass, Stevenson's Peak, and Peg Leg. Per the attached coverage maps, please note the following color coding and what it means for coverage:

<b>Red:</b>	<b>Marginal/Poor Coverage</b>
<b>Yellow:</b>	<b>Good Coverage</b>
<b>Green:</b>	<b>Great Coverage</b>

Currently, the Yaqui Pass site does not exist. Building this site is contingent upon the addition of this proposed Peg Leg site since Peg Leg will act as a repeater site for the Yaqui Pass site through the use of microwaves. In the maps, you can see that if Yaqui pass does not get built,

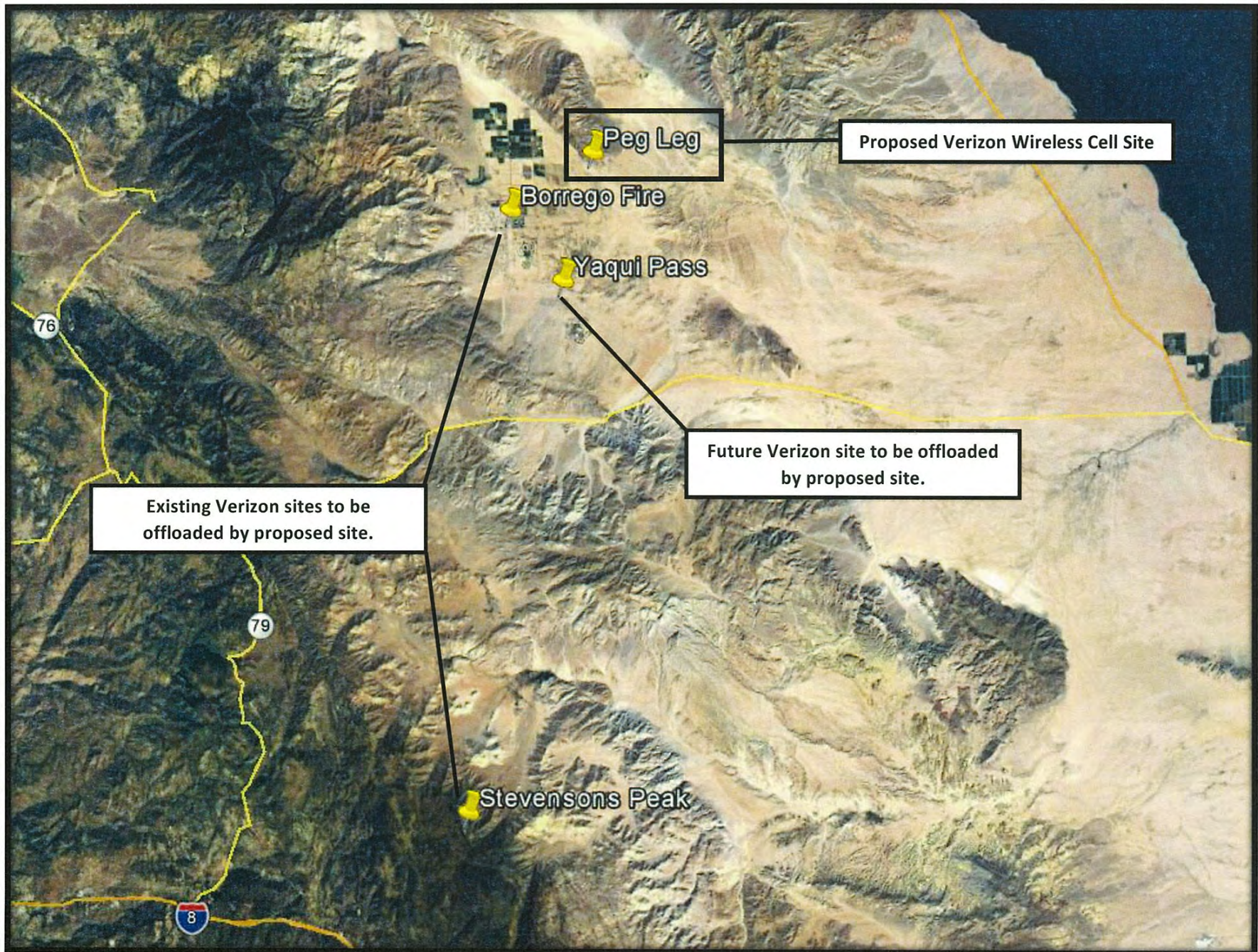
there are several of the major thoroughfares for Borrego Springs that will not have any reliable coverage.

Stevenson's Peak is an existing site that also provides service to a smaller area that is in need of coverage. What you cannot see on these maps is the change in elevation of the surrounding area, as well as the smaller hills and passes where service is needed. Not only does Verizon want to make it easier for their customers to stream movies and have information instantly, but they also want to keep their customers safe by providing service in rural areas where you may need to call for help if your car breaks down or if there is a medical emergency. The Stevenson's Peak site is located on Mt. Laguna where there are a lot of hikers and campers who may need cell service in emergencies. If there are too many calls and requests for data than the site can handle, this is what leads to dropped calls. The Peg Leg Microwave site will be able to assist in making this less likely to happen.

The Last Site that would be offloaded is the Borrego Fire site which provides key coverage to the main community within Borrego. Since this is the main site, Verizon is striving to keep it up-to-date and capable to handle the 4G LTE technologies. Currently, this site experiences dropped calls because it, too, is overloaded causing this and slow data. The Peg Leg site will be able to support this site and allow it to be able to support the ever-changing technologies that will be proposed in the near future.

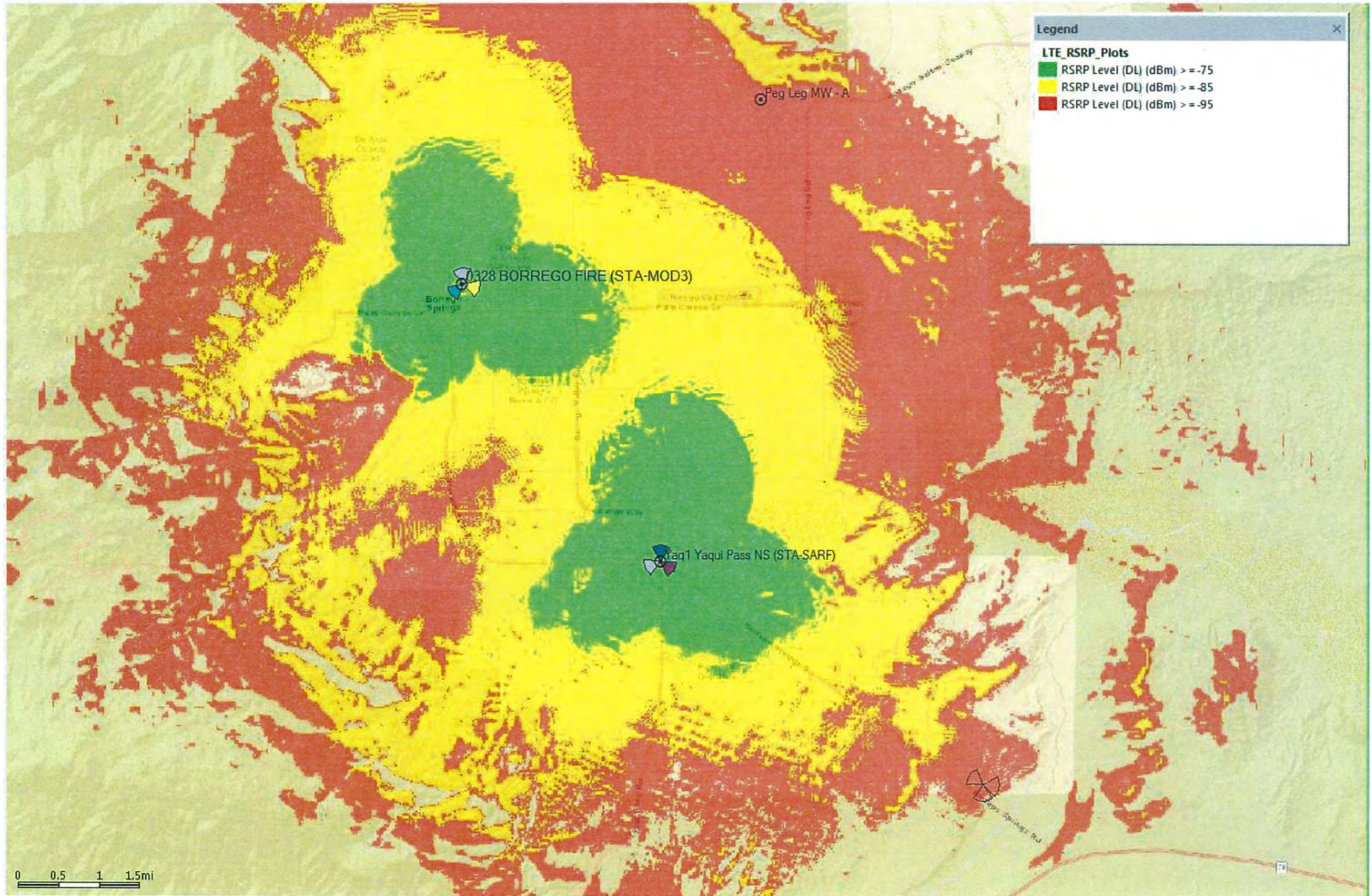
Finally, as you can see on the map, the Peg Leg site does not provide any coverage. It is not your typical site that uses panel antennas meant to fill a coverage gap and provide service. Its sole purpose is to house the 3 Microwaves that will connect with Borrego Fire, the future Yaqui Pass, and Stevenson's Peak. Since the tower is existing, Verizon will locate their 3 microwaves on the existing tower, then build a new shelter which will also include a backup, diesel generator. With this proposed Peg Leg site, the ability for Verizon's customers to have their fast and reliable service at the drop of a hat will increase for the entire Borrego Springs area.





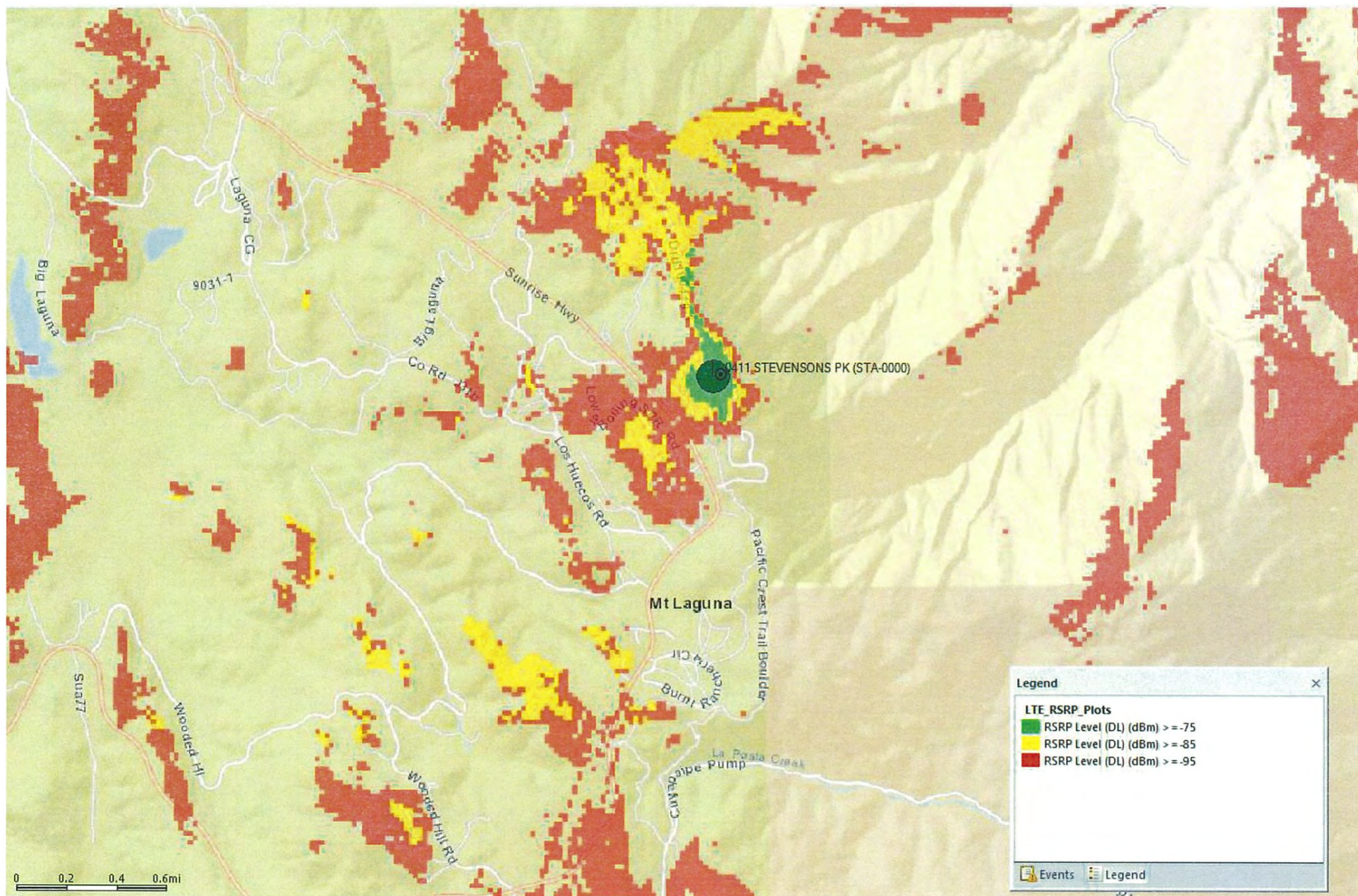


# BORREGO FIRE/ YAQUI PASS Coverage





# STEVENSONS PEAK Coverage



## Alternative Site Analysis

### *Site Background*

For this proposed project, it is a very unique scope of work that is not your standard cell site. Verizon was not looking to increase their coverage area by building a new site and adding antennas, but was looking for an area within Borrego Springs to build a site that would support their other sites in the area through use of Microwaves. Since Verizon was not looking to increase coverage, they did not need to find a site that was close to very populated areas. They started this project knowing they needed to find a space or tower that could support 3 Microwaves which in turn would support existing and future sites throughout Borrego Springs and Mt Laguna areas.

### *Scope of Work*

The Peg Leg site is proposing to house (3) Microwave dishes, an Equipment shelter, and an emergency backup generator. How the dishes work is through a Point to point / Line-of-Sight beam. Verizon needed to find a location where the new site would have unobstructed line-of-sights to each of the 3 existing/proposed cell sites. The Existing County tower is in the perfect location to achieve the sights needed into town and toward Mt. Laguna.

### *Preference Categories*

It is always a Wireless Carrier's best interest to find a site that would not only conform to the County's Wireless policies, but is a good location containing sufficient power and electrical needs. Fortunately, in Borrego, Verizon Wireless already owns a large parcel of land that has an existing tower on it. This was their primary choice of site that would be able to provide them what they needed with the least amount of impact to the surrounding community. Any type of Construction for this proposed site will cause very little disruption to its surrounding areas.

Per Section 6986, the County of San Diego has determined that certain zones are preferable when considering building a cell site. The land that Verizon owns and is proposing to use is zoned Rural Lands. Though this is not listed under the preferred zones category, this parcel is located on the very outskirts of town. The surrounding areas are mainly undeveloped, dirt lots with the same zoning designation.



There is no change in zoning designation until you reach around 5 miles to the South West towards the Town of Borrego Springs.

Though not in a preferred zone, the proposed facility does fall under Section 6986 A(2) which is the preferred locations category. This is an already existing tower and is also owned by the County that Verizon is proposing to collocate on. Verizon understands that collocation is preferred by most jurisdictions as to limit the amount of towers that are built around town. It is usually preferred by Wireless carriers due to ease of permitting and cost savings as well.

Since Borrego is a smaller town that does not require as much service and data demands as a very densely populated City, there are not many towers existing in the area. Options are limited when it comes to collocation. The only other towers in the area that Verizon could use, were the towers with the services that need to be offloaded by this new Peg Leg site. It was not preferable to install (3) larger Microwave dishes on a tower that is visible to majority of the public.

#### *Necessity*

With the growing need for faster, more reliable data and cell services, existing sites need to constantly be upgraded to faster power and newest equipment. These existing Verizon sites in Borrego and Mt. Laguna do not have enough support to help them relay the data and service needs efficiently enough to the surrounding areas resulting in the site overloading and causing dropped calls and slow service. Fiber is not available in the Borrego Area so Microwaves are the only method to help offload these sites. This Peg Leg site is integral in providing the Microwaves to support the existing sites to cause seamless service and data to Verizon's customers.

## **Attachment G – Ownership Disclosure**





County of San Diego, Planning &amp; Development Services

**APPLICANT'S DISCLOSURE OF  
OWNERSHIP INTERESTS ON  
APPLICATION FOR ZONING PERMITS/  
APPROVALS**  
ZONING DIVISION

Record ID(s) pds2017-MUP-89-032W1Assessor's Parcel Number(s) 140-320-30-00

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. NOTE: Attach additional pages if necessary.

A. List the names of all persons having any ownership interest in the property involved.

Verizon Wireless

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

**NOTE: Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."**

Signature of Applicant

Jo Ann Stoddard

Print Name

09/23/2016

Date

--- OFFICIAL USE ONLY ---

SDC PDS RCVD 02-14-17

MUP89-032W1

5510 OVERLAND AVE, SUITE 110, SAN DIEGO, CA 92123 • (655) 555-5951 • (655) 267-6770

<http://www.sdcgov.org/pds>