



The County of San Diego

Planning Commission Hearing Report

Date:	November 16, 2018	Case/File No.:	Marshall Road Tentative Map and Site Plan; PDS2017-TM-5621, PDS2017-STP-17-039; PDS2017-ER-17-14-010
Place:	County Conference Center 5520 Overland Avenue San Diego, CA 92123	Project:	Tentative Map and Site Plan
Time:	9:00 a.m.	Location:	Marshall Road and Marshall Way, Alpine
Agenda Item:	#2	General Plan:	Village Residential (VR-15)
Appeal Status:	Appealable to the Board of Supervisors	Zoning:	Variable Residential (RV)
Applicant/Owner:	Richard J. Bonjorno	Community:	Alpine Community Plan Area
Environmental:	CEQA §15315 Exemption	APN:	403-271-20 & -21

A. EXECUTIVE SUMMARY

1. Requested Actions

This is a request for the Planning Commission to evaluate the proposed Tentative Map (TM) and Site Plan (STP) for a residential development, determine if the required findings can be made and, if so, take the following actions:

- a. Adopt the Environmental Findings which includes a finding that the project is exempt from further environmental review pursuant to Section 15315 of the California Environmental Quality Act (CEQA) Guidelines (Attachment E).
- b. Adopt the TM Resolution PDS2017-TM-5602, which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County of San Diego (County) Regulations as set forth in the Resolution of Approval (Attachment B).
- c. Grant STP PDS2017-STP-17-039, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment C).

2. Key Requirements for Requested Actions

- a. Is the proposed project consistent with the vision, goals, and policies of the General Plan?

- b. Is the proposed project consistent with the County's Zoning Ordinance?
- c. Is the proposed project consistent with the County's Subdivision Ordinance?
- d. Is the project consistent with the Alpine Community Plan and Design Guidelines?
- e. Is the project consistent with other applicable County regulations?
- f. Does the project comply with CEQA?

B. REPORT SUMMARY

The purpose of this staff report is to provide the Planning Commission with the information necessary to consider the proposed TM, STP and environmental findings prepared in accordance with CEQA.

Based on staff's analysis, it is the position of Planning & Development Services (PDS) that the required findings can be made, and staff recommends approval of the TM and STP, with the conditions noted in the attached Resolution and Form of Decision (Attachments B and C).

C. DEVELOPMENT PROPOSAL

1. Project Description

The applicant proposes a TM and STP on a 1.78-acre site for a residential development consisting of 23 condominium units on one common lot. The project site currently contains a single-family residence and accessory structures, all of which will be removed. The majority of the proposed units are duplexes with three standalone units near the back of the property (Figures 1 and 2).



Figure 1: Proposed Elevations



Figure 2: Proposed Site Plan and Landscaping

The site is located on Marshall Road between Marshall Way and Alpine Boulevard, in the Alpine Community Plan area (Figures 3 and 4).

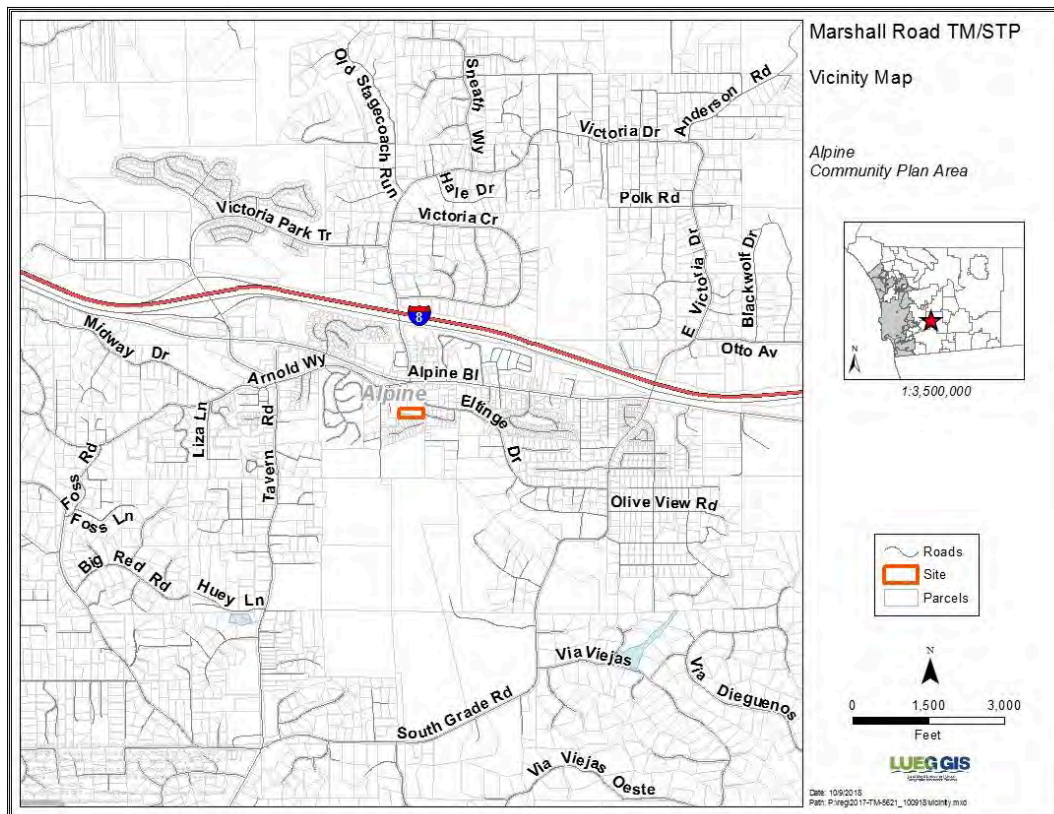


Figure 3: Vicinity Map



Figure 4: Aerial Photo of Project Site

Access

The project is located approximately 0.3 mile south of Interstate 8 (I-8) and is accessed from Marshall Road, a private road, connecting to Alpine Boulevard to the north, and Marshall Way to the east, both public roads. Site improvements include a new private road, which will extend west from Marshall Road into the site serving all 23 condominium units (see Figure 2). Improvements also include a knuckle at the northwest corner of the intersection of Marshall Way and Marshall Road to provide driveway access for the project site. The knuckle intersection design will include curb, gutter, and sidewalk improvements.

Earthwork

Earthwork will consist of 5,500 cubic yards of cut and 2,500 cubic yards of fill, resulting in 3,000 cubic yards of export.

Municipal Services

The project has demonstrated that all necessary services and facilities are available to serve the proposed development as required by the General Plan and Board of Supervisors Policy I-84 (Project Facility Availability and Commitment for Public Sewer, School, Water, and Fire Services).

The project will be served by the following Districts:

Sewer: San Diego County Sanitation District

Water: Padre Dam Municipal Water District

Fire: Alpine Fire Protection District

School: Grossmont Union High School District and Alpine Union School District

Project Facility Availability Forms have been provided for all services and are included in Attachment F – Service Availability Forms.

2. Subject Property and Surrounding Land Uses

The site is relatively flat with a small slope on the west end of the property. The project site currently contains a single-family residence and accessory structures. All existing structures will be removed.

The General Plan Regional Category for the site is Village. The General Plan Land Use Designation on the site is Village Residential (VR-15), which allows a maximum of 15 dwelling units per acre. Surrounding land uses consist of single-family residential uses to the south, east, and west, and multi-family developments to the north.

Zoning for the site is Variable Residential (RV). To the north and west, zoning consists of Alpine Village Core, Edge, and Civic Districts, and to the south and east is Single-Family Residential (RS). Table C-1 provides a summary of the surrounding land uses. The proposed project is similar in density and lot sizes to the existing developments in the surrounding area.

Please refer to Attachment A – Planning Documentation, for maps of surrounding land uses and zoning designations.

Table C-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Village Core Mixed Use	Alpine Village Edge District (ALV1)	Alpine Blvd.	Residential, Commercial
East	Village Residential (VR-15)	RS	Olivewood Lane	Residential
South	Village Residential (VR-7.3, VR-4.3)	RS	Marquand Court	Residential
West	Village Core Mixed Use, Village Residential (VR-15)	ALV1, RU	Marshall Way	Residential

D. ANALYSIS AND DISCUSSION

The project has been reviewed for conformance with all relevant ordinances and guidelines, including, but not limited to the San Diego County General Plan, the Alpine Community Plan, the County Zoning Ordinance, the County Subdivision Ordinance, and CEQA Guidelines. A detailed discussion of the project's technical analysis and consistency with applicable codes, policies, and ordinances is described on the following pages.

1. Project Analysis

General Plan Land Use, Density and Community Compatibility

The site is subject to the Village Residential (VR-15) General Plan Land Use Designation, which authorizes a maximum density of 15 dwelling units per acre, and the Zoning Ordinance Use Regulation of Variable Residential (RV), with a building type development regulation that authorizes duplexes and multiple dwelling units on the same lot. The project will develop residential units at an overall density of 12.9 dwelling units per acre, therefore the proposed project complies with the density requirements of the General Plan and the Use Regulations of the Zoning Ordinance.

Surrounding properties share the same or similar land use designations, and most of the surrounding area is built to its full density potential, with either single-family homes on separate lots or high density apartment complexes. The proposed project complies with the allowed density and is compatible with lot size and densities of the surrounding community.

Circulation

The project has been conditioned to improve the northwest corner of the intersection of Marshall Way and Marshall Road, within the County right-of-way, with a knuckle to provide driveway access for the project site. The knuckle improvement will consist of concrete curb, gutter, and sidewalk for connectivity with the surrounding road and pedestrian network.

Drainage

A Storm Water Quality Management Plan (SWQMP) and Preliminary Drainage study have been prepared for the project and concluded that the project will adequately retain and treat stormwater, and will not alter or increase drainage flows. The increase in storm water runoff caused by the development will be mitigated to pre-project levels by the use of an infiltration basin and other stormwater Best Management Practices (BMPs) identified in the SWQMP. It was determined that the project will not substantially alter the existing drainage pattern of the project site or surrounding area, and will not cause flooding or erosion.

2. General Plan Consistency

The site is subject to the General Plan Village Residential (VR-15) Land Use Designation. The proposed project is consistent with the following relevant General Plan goals, policies, and actions as described in Table D-1.

Table D-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p>LU-1.9: Achievement of Planned Densities. Recognizing that the General Plan was created with the concept that subdivisions will be able to achieve densities shown on the Land Use Map, planned densities are intended to be achieved through the subdivision process except in cases where regulations or site specific characteristics render such densities infeasible.</p>	<p>The site is subject to Village Residential (VR-15) General Plan Land Use Designation which authorizes a maximum density of 15 du/ac. The proposed project will achieve a density of 12.9 dwelling units per acre, conforming to the allowed General Plan density for the site. The full density of 15 du/ac is not achieved because of constraints related to the implementation of bioretention basins for stormwater treatment.</p>

General Plan Policy	Explanation of Project Conformance
<p>LU-2.8: Mitigation of Development Impacts. Require measures that minimize significant impacts to surrounding areas from uses or operations that cause excessive noise, vibrations, dust, odor, aesthetic impairment and/or are detrimental to human health and safety.</p>	<p>The project is designed to minimize significant impacts to surrounding areas. The project will not introduce new uses that will create or cause excessive noise or vibrations. The project will not result in odors or ongoing dust impacts.</p>
<p>LU-6.5: Sustainable Stormwater Management. Ensure that development minimizes the use of impervious surfaces and incorporates other Low Impact Development (LID) techniques as well as a combination of site design, source control, and stormwater best management practices, where applicable and consistent with the County's LID Handbook.</p>	<p>A SWQMP has been prepared and identifies how stormwater will be adequately captured and treated on-site. The project will utilize a storm water detention basin to capture runoff.</p>
<p>LU-6.9: Development Conformance with Topography. Require development to conform to the natural topography to limit grading; incorporate and not significantly alter the dominant physical characteristics of a site; and to utilize natural drainage and topography in conveying stormwater to the maximum extent practicable.</p>	<p>The project does not contain steep slopes as defined by the RPO. The applicant has designed the residential pad locations to maintain the natural topography to the extent feasible and to minimize the grading required for the project. The Drainage Study prepared for this project concludes that the natural drainage pattern and conveyance of stormwater will not be substantially altered. The project will construct a storm drain system that will utilize natural drainage patterns.</p>
<p>LU-6.10: Protection from Hazards. Require that development be located and designed to protect property and residents from the risks of natural and man-induced hazards.</p>	<p>The project site was analyzed for hazardous conditions by County staff and no environmental concerns were identified on the site. The County Fire Authority and the Alpine Fire Protection District reviewed the project for fire hazards and did not require the preparation of a Fire Protection Plan. The subdivision design and proposed access have been found to be acceptable to the County Fire Authority and Alpine Fire Protection District.</p>
<p>LU-13.2: Commitment of Water Supply. Require new development to identify adequate water resources, in accordance with State law, to support the development prior to approval.</p>	<p>The Padre Dam Municipal Water District issued a Project Facility Service Availability Form for this development. The project will be required to obtain a commitment letter prior to approval of the Final Map.</p>

General Plan Policy	Explanation of Project Conformance
LU-14.2: Wastewater Disposal. Require that development provide for the adequate disposal of wastewater concurrent with the development and that the infrastructure is designed and sized appropriately to meet reasonable expected demands.	A Project Facility Availability form was completed by the San Diego County Sanitation District stating that adequate sewer facilities are available for the project. The project will be required to install a private pump and force main.
POLICY COS 4.1 – Water Conservation. Require development to reduce the waste of potable water through use of efficient technologies and conservation efforts that minimize the County's dependence on imported water and conserve groundwater resources.	The project will be required to comply with the County Water Conservation in Landscaping Ordinance and the County Water Efficient Landscape Design Manual, which includes water conservation requirements and water efficient landscaping. These policies are enforced at building permit.
COS-14.3: Sustainable Development. Require design of residential subdivisions and nonresidential development through "green" and sustainable land development practices to conserve energy, water, open space, and natural resources.	The project has been designed using sustainable land development practices, including the installation of stormwater detention basins to treat stormwater runoff and maintaining the existing natural drainage patterns.
S-3.6: Fire Protection Measures. Ensure that development located within fire threat areas implement measures that reduce the risk of structural and human loss due to wildfire.	The project has been reviewed and approved by the County Fire Authority and the Alpine Fire Protection District. The project meets the County Consolidated Fire Code by appropriate means of access to the site, compliance with the Exterior Ignition-Resistance Standards of the County Building Code, defensible space and vegetation management, and residential sprinklers pursuant to County Code Requirements.
S-6.4: Fire Protection Services for Development. Require that new development demonstrate that fire services can be provided that meets the minimum travel times identified in Table S-1 (Travel Time Standards from Closest Fire Station).	The maximum travel time based on the Village Residential Regional Category is 5 minutes. The project complies with the travel time requirement.
H-1.6 – Land for All Housing Types Provided in Villages. Provide opportunities for small-lot single-family, duplex, triplex, and other multi-family building types in Villages.	The project proposes duplexes. Surrounding residential developments include apartment complexes and single-family homes, therefore the proposed development is consistent with the character of surrounding residential developments, and provides a specific housing type not yet offered in the Alpine Village area.

3. Alpine Community Plan Consistency

The proposed project is consistent with the following relevant Alpine Community Plan goals, policies, and actions as described in Table D-2.

Table D-2: Community Plan Conformance

Alpine Community Plan Policy	Explanation of Project Conformance
Site designs should: <ol style="list-style-type: none"> Be in harmony with existing topography. Grading shall not unduly disrupt the natural terrain, or cause problems associated with runoff, drainage, erosion, or siltation. Landscape disturbed by grading shall be revegetated. Have grading plans that maximize retention of sensitive native vegetation, existing tree stands, and rock outcroppings, and natural topography. 	The applicant has designed the residential pad locations to maintain the natural topography to the extent feasible and to minimize the grading required for the project. The natural drainage pattern and conveyance of stormwater will not be substantially altered.
Higher density development in the existing sanitation district area is encouraged over that in areas requiring major extension of sewer lines, with the exception of the Willows Road area east of the Viejas casino where mixed use development is also encouraged.	The proposed project is located within the existing sanitation district area, and no LAFCO annexations are required.
Direct the appropriate County agency to require an acceptable level of fire protection for all approved development through appropriate discretionary permit processes.	The County Fire Authority and the Alpine Fire Protection District reviewed the proposed project. The subdivision design and proposed access have been found to be acceptable to the County Fire Authority and Alpine Fire Protection District.

4. Zoning Ordinance Consistency

The proposed project complies with all applicable zoning requirements of the Variable Residential (RV) zone with the incorporation of conditions of approval (See Table D-3).

Table D-3: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	RV	Yes
Animal Regulation:	Q	N/A
Density:	-	N/A
Lot Size:	6,000 SF	N/A
Building Type:	K	Yes
Height:	G	Yes
Lot Coverage:	-	N/A
Setback:	C	Yes
Open Space:	A	Yes
Special Area Regulations:	B	Yes, upon approval of Site Plan

Development Standard	Proposed/Provided	Complies?
Section 2100 of the Zoning Ordinance regulates Residential Uses, including Variable Residential.	The project proposes the development of family residential uses, compliant with RV Use Regulations.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4600 of the Zoning Ordinance sets the maximum height requirements. This parcel has a designated height of "G" which requires structures to be no more than 35 feet in height.	The proposed structures do not exceed 35 feet in height.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires that the project meet the "C" setback requirements of a 60-foot front yard setback, 15-foot interior side yard setback, 35-foot exterior side yard setback, and a 25-foot rear yard setback.	The proposed project complies with setback requirements of the Zoning Ordinance.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Development Standard	Proposed/Provided	Complies?
Section 7160 of the Zoning Ordinance requires that findings be made for the Site Plan.	The proposed project meets the required findings for a Site Plan, including compatibility with adjacent land uses and design standards specified in the Alpine Community Plan and Design Guidelines. No standards or criteria have been waived.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Upon approval of STP.

5. County Subdivision Ordinance Consistency

The project has been reviewed for compliance with the Subdivision Ordinance. The project is consistent with the requirements for subdivisions including, dedication and access (Section 81.402). The project includes requirements and conditions necessary to ensure that the project is implemented in a manner consistent with the Subdivision Map Act and the Subdivision Ordinance.

6. Applicable County Regulations

Table D-4: Applicable Regulations

County Regulation Policy	Explanation of Project Conformance
1. Resource Protection Ordinance (RPO)	The project complies with the RPO because it will not impact any wetlands, floodplains/floodways, or sensitive habitat lands. Archaeological monitoring is proposed to ensure archaeological resources are not disturbed. The project does not contain any steep slopes. Therefore, it has been found that the proposed project complies with Section 86.604(e) of the RPO.
2. Multiple Species Conservation Program (MSCP) and Biological Mitigation Ordinance (BMO)	The project has been reviewed in accordance with the BMO which implements the MSCP. Findings have been prepared demonstrating conformance with the BMO and are included in Attachment D.
3. County Consolidated Fire Code	The project has been reviewed by the County Fire Authority and Alpine Fire Protection District and has been found to comply with the County Consolidated Fire Code.
4. Noise Ordinance	The project as conditioned will not generate significant noise levels which exceed the allowable limits of the County Noise Element or Noise Ordinance.
5. Watershed Protection Ordinance (WPO)	A Priority Development Project SWQMP was prepared for the project in compliance with the WPO.

7. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed for compliance with the CEQA Guidelines and the project qualifies for a categorical exemption pursuant to CEQA Guidelines Section 15315. Section 15315 exempts the division of property in urbanized areas zoned for residential, commercial, or industrial use when the division is in conformance with the General Plan and zoning, no variances are required, all appropriate services and access are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The proposed project is consistent with the General Plan and zoning, would use existing sewer provided by the County Sanitation District and imported water from Padre Dam Municipal Water District, would develop a private road connecting to Marshall Road for access as required by County standards, and has an average slope of 14 percent. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway.

E. COMMUNITY PLANNING GROUP

On February 22, 2018, the Alpine Community Planning Group (CPG) voted to recommend approval of the project by a vote of 8-4-0-3 (Ayes – 8, Noes – 4, Absent –0, Vacant – 3). The Alpine CPG meeting minutes are included in Attachment G.

F. PUBLIC INPUT

Staff received emails and phone calls from neighbors requesting additional information about the proposed project. Staff provided all requested information at the time of inquiry and no further concerns were noted. No formal written comments were received as a result of the public notices sent at the time of project application.

G. RECOMMENDATIONS

Staff recommends that the Planning Commission take the following actions:

- a. Adopt the Environmental Findings included in Attachment E which includes a finding that the project is exempt from CEQA.
- b. Adopt the TM Resolution PDS2017-TM-5621, which includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with State law and County regulations as set forth in the Resolution of Approval (Attachment B).
- c. Grant STP PDS2017-STP-17-039, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment C).

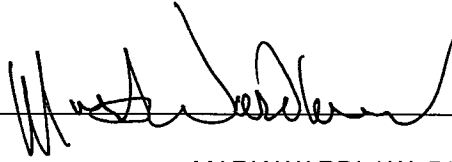
Report Prepared By:

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Report Approved By:

Mark Wardlaw, Director
858-694-2962
mark.wardlaw@sdcounty.ca.gov

AUTHORIZED REPRESENTATIVE:

A handwritten signature in black ink, appearing to read 'Mark Wardlaw', is written over a horizontal line.

MARK WARDLAW, DIRECTOR

ATTACHMENTS:

- Attachment A – Planning Documentation
- Attachment B – Resolution Approving PDS2017-TM-5621
- Attachment C – Form of Decision Approving PDS2017-STP-17-039
- Attachment D – Environmental Documentation
- Attachment E – Environmental Findings
- Attachment F – Service Availability Forms
- Attachment G – Public Documentation
- Attachment H – Ownership Disclosure

Attachment A – Planning Documentation

Marshall Road TM/STP

Vicinity Map

Alpine
Community Plan Area



1:3,500,000



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Land Use Engineering & GIS
Sustainable Community Planning

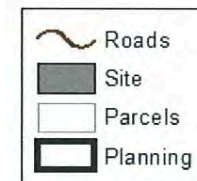
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Marshall Road TM/STP

General Plan

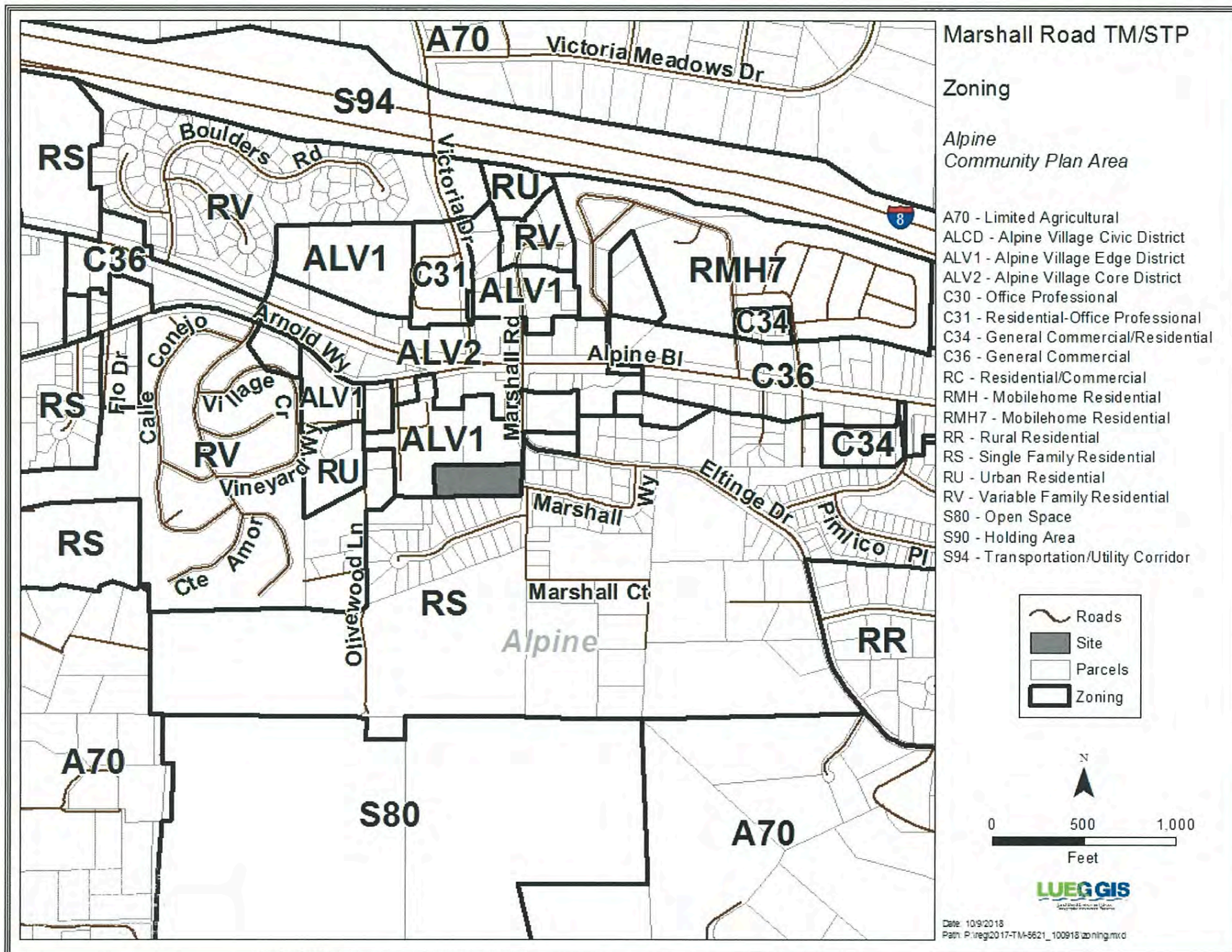
Alpine
Community Plan Area

- (2) Village Residential (VR-24)
- (3) Village Residential (VR-15)
- (4) Village Residential (VR-10.9)
- (5) Village Residential (VR-7.3)
- (6) Village Residential (VR-4.3)
- (7) Village Residential (VR-2.9)
- (8) Village Residential (VR-2)
- (9) Semi-Rural Residential (SR-1)
- (11) Semi-Rural Residential (SR-2)
- (23) Office Professional
- (25) General Commercial
- (32) Public/Semi-Public Facilities
- (37) Open Space (Conservation)
- (39) Village Core Mixed Use



LUEGGIS
LAND USE & ENVIRONMENTAL GROUP, INC.

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Marshall Road TM/STP

Alpine Community Plan Area

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□ Site

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Feet

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Olivewood Ln

Marshall Rd

Eltinge Dr

Marshall Wy

Alpine

Marquand Ct

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Source: San Diego GIS, Esri, DeLorme, GeoEye, (GeoEye, Inc.), USGS, AeroGRID, IGN, and the GIS User Community

Marshall Road TM/STP

Alpine Community Plan Area

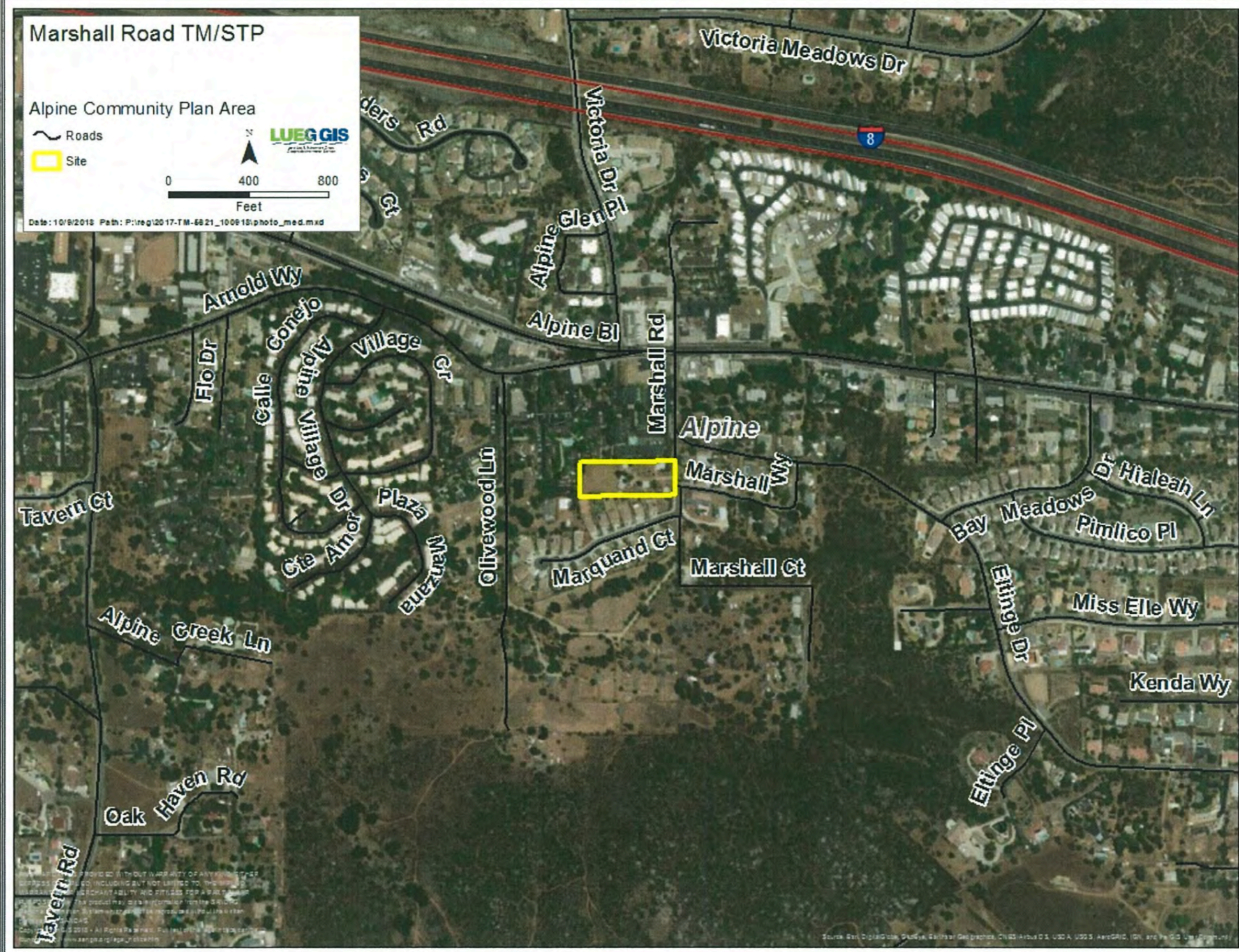
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Marshall Road TM/STP

Alpine Community Plan Area

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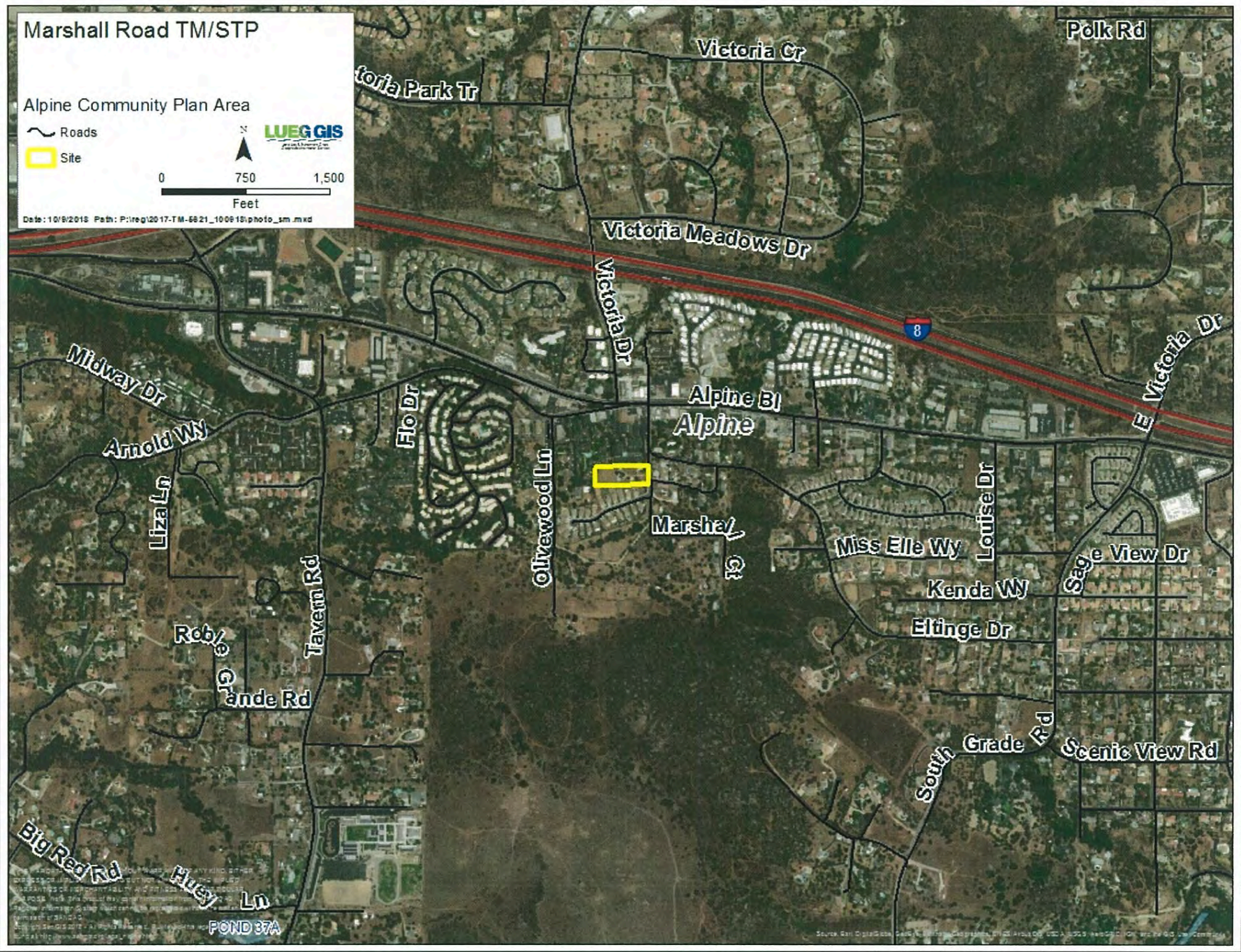
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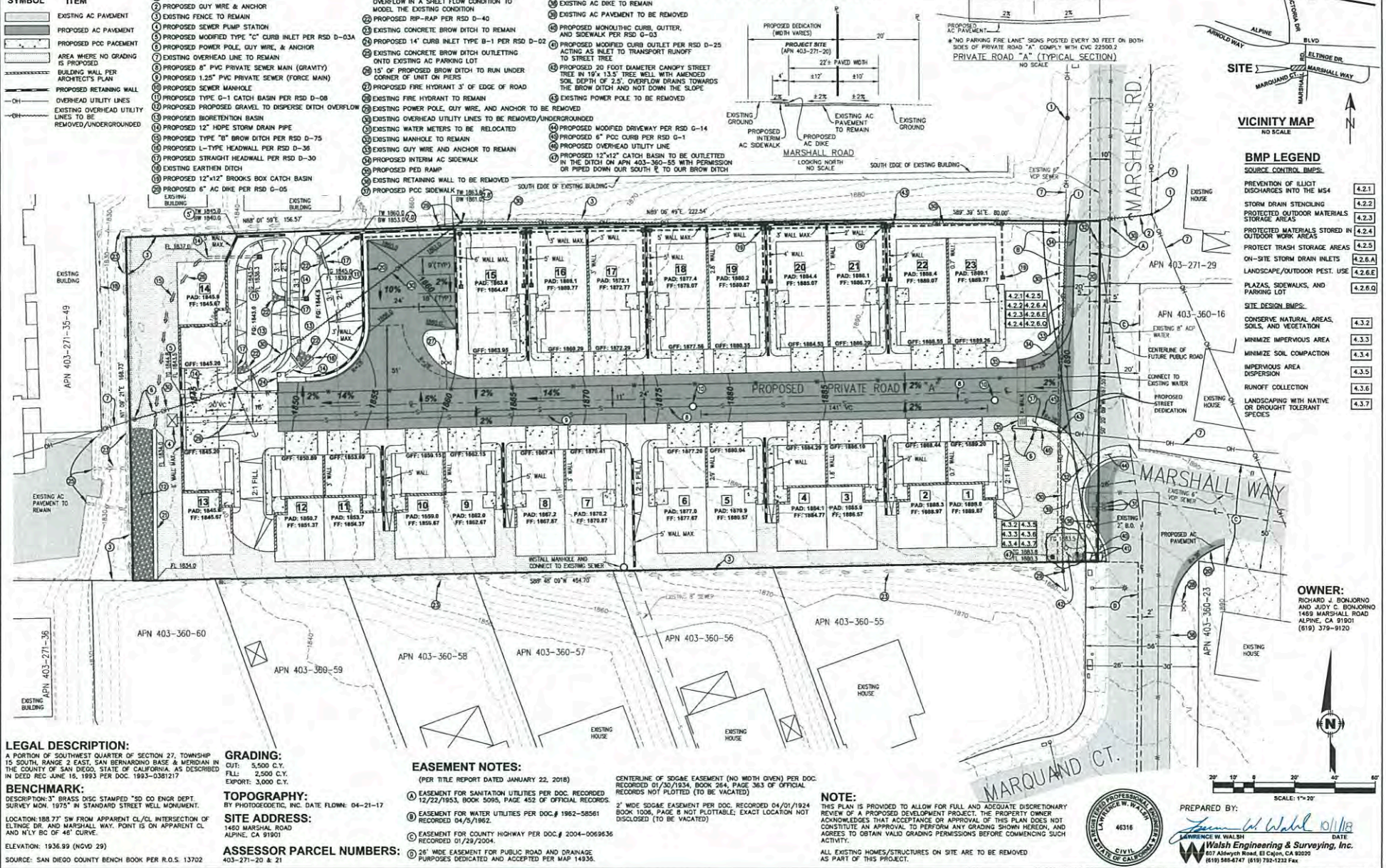
SYMBOL	ITEM
	EXISTING AC PAVEMENT
	PROPOSED AC PAVEMENT
	PROPOSED PCC PAVEMENT
	AREA WHERE NO GRADING IS PROPOSED
	BUILDING WALL PER ARCHITECT'S PLAN
	PROPOSED RETAINING WALL
	OVERHEAD UTILITY LINES
	EXISTING OVERHEAD UTILITY LINES TO BE REMOVED/UNDERGROUND

NOTES:

- EXISTING POWER POLE TO REMAIN
- PROPOSED GUY WIRE & ANCHOR
- EXISTING FENCE TO REMAIN
- PROPOSED SEWER PUMP STATION
- PROPOSED MODIFIED TYPE "C" CURB INLET PER RSD D-03A
- PROPOSED POWER POLE, GUY WIRE, & ANCHOR
- EXISTING OVERHEAD UTILITY TO REMAIN
- PROPOSED 8" PVC PRIVATE SEWER MAIN (GRAVITY)
- PROPOSED 1.25" PVC PRIVATE SEWER (FORCE MAIN)
- PROPOSED SEWER MANHOLE
- PROPOSED TYPE G-1 CATCH BASIN PER RSD D-08
- PROPOSED PROPOSED GRAVEL TO DISPERSE DITCH OVERFLOW
- PROPOSED BIOTENTION BASIN
- PROPOSED 12" HOPE STORM DRAIN PIPE
- PROPOSED TYPE "B" BROW DITCH PER RSD D-75
- PROPOSED L-TYPE HEADWALL PER RSD D-36
- PROPOSED STRAIGHT HEADWALL PER RSD D-30
- EXISTING EARTHEN DITCH
- PROPOSED 12"x12" BROOKS BOX CATCH BASIN
- PROPOSED 6" AC DIKE PER RSD G-05

- 80' OF CONCRETE BROW DITCH AT ZERO PERCENT SLOPE DITCH IS DESIGNED TO OVERFLOW IN A SHEET FLOW CONDITION TO MODEL THE EXISTING CONDITION
- PROPOSED R/R-RAP PER RSD D-40
- EXISTING CONCRETE BROW DITCH TO REMAIN
- PROPOSED 14" CURB INLET TYPE B-1 PER RSD D-02
- EXISTING CONCRETE BROW DITCH OUTLETTING INTO EXISTING AC PARKING LOT
- 15' OF PROPOSED BROW DITCH TO RUN UNDER CORNER OF UNIT ON PIERS
- PROPOSED FIRE HYDRANT 3' OF EDGE OF ROAD
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING OVERHEAD UTILITY POLE, GUY WIRE, AND ANCHOR TO BE REMOVED
- EXISTING OVERHEAD UTILITY LINES TO BE REMOVED/UNDERGROUND
- EXISTING WATER METERS TO BE RELOCATED
- EXISTING MANHOLE TO REMAIN
- EXISTING GUY WIRE AND ANCHOR TO REMAIN
- PROPOSED INTERM AC SIDEWALK
- PROPOSED PED RAMP
- EXISTING RETAINING WALL TO BE REMOVED
- PROPOSED PCC SIDEWALK PER RSD G-05

PRELIMINARY GRADING PLAN



BONJORNO MARSHALL TOWNHOME FOR RICHARD J. BONJORNO AND JUDY C. BONJORNO 1460 MARSHALL ROAD ALPINE, CA. 91901

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES AND STANDARDS AS ADOPTED BY THE GOVERNING AUTHORITIES:

- 2016 CALIFORNIA BUILDING CODE (CBC)
PART 2, TITLE 24, CDR
(2009 IBC AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 2.5, TITLE 24, CDR
(2016 IRC)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGC)
PART 11, TITLE 24, CDR
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
PART 3, TITLE 24, CDR
(2011 NEC AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
PART 4, TITLE 24, CDR
(2009 UMC AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
PART 5, TITLE 24, CDR
(2009 UPC AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA FIRE CODE (CFC)
PART 9, TITLE 24, CDR
(2009 IFC AND 2016 CALIFORNIA AMENDMENTS)

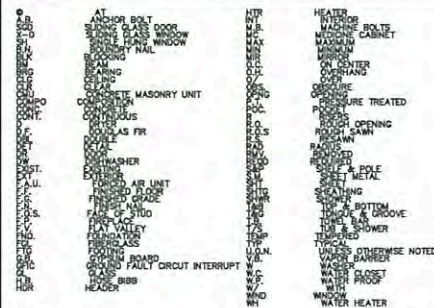
CODE NOTES:

1. THIS PROJECT AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA GREEN CODE, CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA GREEN (ENERGY) CODE (CGC), CALIFORNIA FIRE CODE (CFC), AND THE 2016 CALIFORNIA ELECTRICAL CODE (CEC), AND ALL APPLICABLE CITIES OF EL CAJON CODES AND ORDINANCES.
2. PROPERLY COMPLETED AND SIGNED INSTALLATION CERTIFICATES (CF-8R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD.
3. "HERS VERIFICATION AND/OR DIAGNOSTIC TESTING REQUIRED, PROPERLY COMPLETED (FORMS MAY NOT BE FILLED OUT BY HAND), REGISTERED, AND SIGNED FIELD VERIFICATION AND/OR DIAGNOSTIC TESTING DOCUMENTATION (SF-4R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD."
4. FIRE SPRINKLERS - (SEPARATE PERMIT REQ.) ALL NEW HOMES ARE REQUIRED TO HAVE AUTOMATIC FIRE SPRINKLER SYSTEMS THROUGHOUT THE HOUSE. AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13C OR THE CALIFORNIA RESIDENTIAL CODE IS REQUIRED.

SITE REQUIREMENTS:

1. THE COMMON DRIVEWAY IS TO BE DEDICATED AND MAINTAINED AS A FIRE ACCESS LANE AND MARKED BY SIGNAGE. THE FIRE ACCESS LANE MUST BE CLEAR MIN. WIDTH OF 30'-0" FEET WIDE BY 13'-4" IN HEIGHT. THE FIRE DEPT. TURN AROUND IS TO BE MARKED AS FIRE DEPT. ACCESS ONLY.
2. PARALLEL PARKING IN NOT ALLOWED ON CURBS.
3. THE ROADWAY & FIRE DEPARTMENT TURNAROUND MUST BE ABLE TO SUPPORT A VEHICLE OF 75,000 LBS.
4. IF AN ELECTRIC VEHICLE GATE IS PROPOSED IN THE FUTURE, THE GATE IS REQUIRED TO HAVE AN ELECTRIC DEVICE AND KNOX KEY OVERRIDE. PEDESTRIAN GATES ALSO REQUIRE A KNOX BOX. CONTACT FIRE DEPARTMENT FOR APPLICATION.
5. IF IRRIGATION CONTROLLERS ARE INSTALLED, THEY SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLED SYSTEMS (SECTION 4.304.1)
6. TRASH MANAGEMENT-TRASH CANS TO BE PLACED INSIDE GARAGES.
7. A) "NO SITE WORK BEFORE 7:00AM OR AFTER 7:00 PM." B) "NO WORK ON SUNDAYS OR CITY HOLIDAYS." C) "DELIVERIES SHALL OCCUR ONLY BETWEEN 8 AM AND 6 PM."
8. ENTRY MONUMENT SIGN WILL BE SUBMITTED UNDER SEPARATE PERMIT BY A SIGN CONTRACTOR PER CITY OF EL CAJON REQUIREMENT.

PLAN ABBREVIATIONS:



VICINITY MAP



SCOPE OF WORK

PROPOSED PROJECT TO BUILD 23 UNIT HOUSING TRACT WITH 2 CAR GARAGE. THERE WILL BE 10 DUPLEXES AND 3 SINGLE UNITS. UNIT SIZES WILL BE 1,088 SF AND 1,886 SF. THERE WILL BE 5 OFF STREET PARKING SPACES.

SHEET INDEX

- C COVER SHEET
- P PLOT PLAN
- MODEL 1 E-1
- MODEL 1 E-2
- MODEL 2 E-1
- MODEL 2 E-2
- MODEL 3 E-1
- MODEL 3 E-2
- LANDSCAPE

PROJECT CONSULTANTS

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LAND SURVEYOR:

LAWRENCE W. WALSH
807 ALDWINCH ROAD
EL CAJON, CA 92020
TEL: (619) 588-6747
FAX: (619) 792-1232

ENGINEER:

SITE DATA

MODEL 1	MODEL 2
UNIT "A"	UNIT "A"
LIVING AREA: 1,886	LIVING AREA: 1,886
GARAGE: 447	GARAGE: 447
UNIT "B"	UNIT "B"
LIVING AREA: 1,886	LIVING AREA: 1,886
GARAGE: 447	GARAGE: 447

MODEL 3
LIVING AREA: 1,896
GARAGE: 457

TOTAL UNITS = 23 UNITS WITH
2 CAR GARAGES

GUEST PARKING:
0.2 X 23= 4.6
5 SPACES PROVIDE.

COLOR SCHEME 1

MODEL 1 (E-1, E-2)

ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
CAMELBACK
HGSW 2165-SW 6122
BASE COLOR
LA HABRA STUCCO
830 CLAY (40) BASE 200
ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

COLOR SCHEME 2

MODEL 2 (E-1, E-2)

ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
TKI HUT
HGSW 2492-SW 7509
BASE COLOR
LA HABRA STUCCO
BELLA GLADE (27)
BASE 100 81 583
ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

COLOR SCHEME 3

MODEL 3 (E-1, E-2)

ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
COCCOA ISLAND
HGSW 2492
BASE COLOR
LA HABRA STUCCO
278 TRABUCO (42)
BASE 200
ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

LEGAL DESCRIPTION:

A PORTION OF SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 15 SOUTH, RANGE 2 EAST, SAN BERNARDINO BASE & MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN DEED REC JUNE 16, 1993 PER DOC. 1993-0381217

ASSESSOR PARCEL NUMBERS:

403-271-20 & 21

OWNER:

RICHARD J. BONJORNO
AND JUDY C. BONJORNO
1460 MARSHALL ROAD
ALPINE, CA 91901
(619) 379-9120

REVISIONS	BY

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A B D

DRAWN BY:
CHECKED BY:
DESIGNED BY:
DATE:
SCALE:
45 NOTED
JOB NO:



2-23





LEFT ELEVATION MODEL 1 E-1



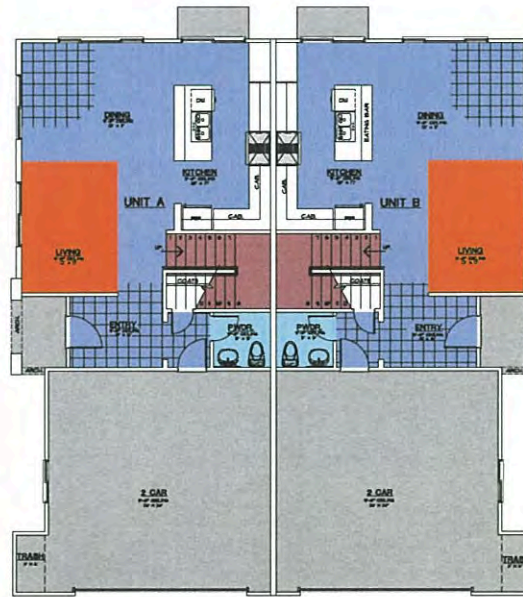
RIGHT ELEVATION MODEL 1 E-1



BACK ELEVATION MODEL 1 E-1



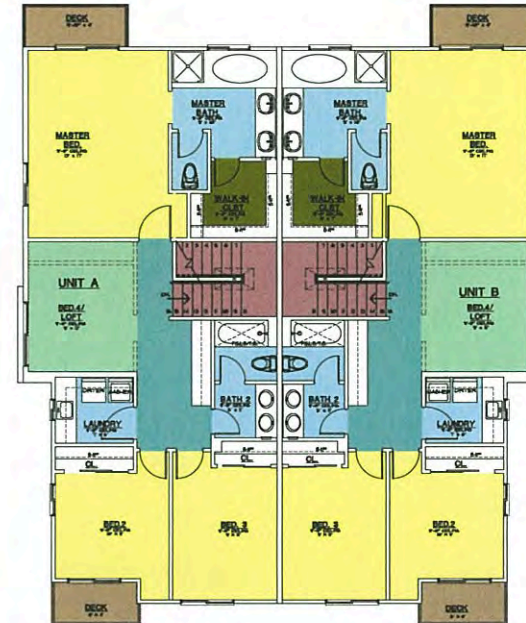
RIGHT ELEVATION MODEL 1 E-1



UNIT "A"		UNIT "B"	
LOWER LEVEL	• 711 SQ. FT.	LOWER LEVEL	• 711 SQ. FT.
UPPER LEVEL	• 1716 SQ. FT.	UPPER LEVEL	• 1716 SQ. FT.
TOTAL	• 2427 SQ. FT.	TOTAL	• 2427 SQ. FT.
GARAGE	• 4116 SQ. FT.	GARAGE	• 4116 SQ. FT.
OPTION DECK FRONT	• 31.6 SQ. FT.	OPTION DECK FRONT	• 31.6 SQ. FT.

LOWER FLOOR PLAN MODEL 1

SCALE: 3/8" = 1'-0"



UNIT "A"		UNIT "B"	
LOWER LEVEL	• 711 SQ. FT.	LOWER LEVEL	• 711 SQ. FT.
UPPER LEVEL	• 1716 SQ. FT.	UPPER LEVEL	• 1716 SQ. FT.
TOTAL	• 2427 SQ. FT.	TOTAL	• 2427 SQ. FT.
GARAGE	• 4116 SQ. FT.	GARAGE	• 4116 SQ. FT.
OPTION DECK FRONT	• 31.6 SQ. FT.	OPTION DECK FRONT	• 31.6 SQ. FT.

UPPER FLOOR PLAN MODEL 1

SCALE: 3/8" = 1'-0"

BONJORNO (MARSHALL TOWNHOME)

COLOR SCHEME 1

MODEL 1 (E-1, E-2)
ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
CAMEL BACK
HGSW 2155/SW 6122
BASE COLOR
LA HABRA STUCCO
830 CLAY (40) BASE 200

ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

COLOR SCHEME 2

MODEL 2 (E-1, E-2)
ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
TINI HUT
HGSW 2492/SW 7509
BASE COLOR
LA HABRA STUCCO
BELLA GLADE (27)
BASE 100 91 583

ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

COLOR SCHEME 3

MODEL 3 (E-1, E-2)
ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
COCCA ISLAND
HGSW 2450
BASE COLOR
LA HABRA STUCCO
278 TRABUCCO (42)
BASE 200

ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

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DRAWN BY: GCM/MC
CHECKED BY: ALA
DATE: -11-
SCALE: AS NOTED
JOB NO.

**MODEL 1
E-1**

BONJORNO



LEFT ELEVATION MODEL 1 E-2



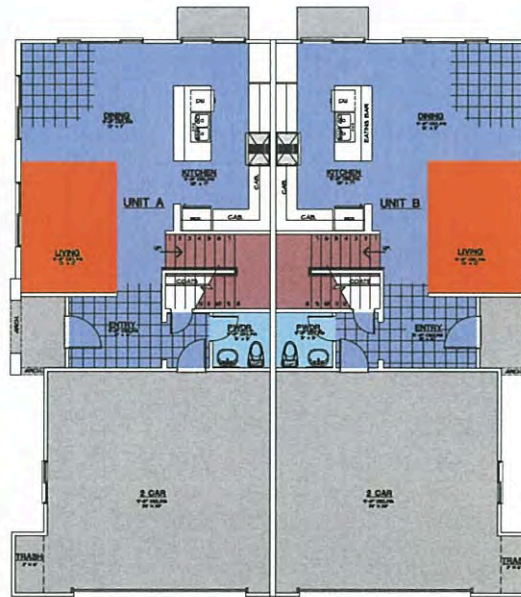
RIGHT ELEVATION MODEL 1 E-2



BACK ELEVATION MODEL 1 E-2



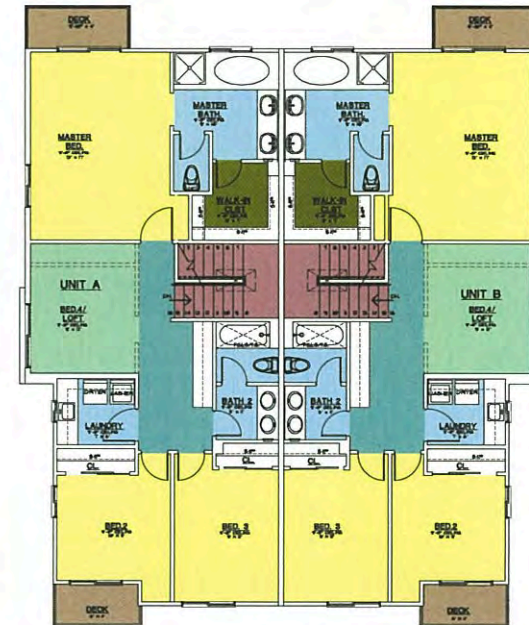
FRONT ELEVATION MODEL 1 E-2



UNIT "A"		UNIT "B"	
LOWER LEVEL	• 751 SQ. FT.	LOWER LEVEL	• 751 SQ. FT.
UPPER LEVEL	• 176 SQ. FT.	UPPER LEVEL	• 176 SQ. FT.
TOTAL	• 927 SQ. FT.	TOTAL	• 927 SQ. FT.
GARAGE	• 441 SQ. FT.	GARAGE	• 441 SQ. FT.
OPTION DECK FRONT	• 35 SQ. FT.	OPTION DECK FRONT	• 35 SQ. FT.

LOWER FLOOR PLAN MODEL 1

SCALE: 3/8" = 1'-0"



UNIT "A"		UNIT "B"	
LOWER LEVEL	• 751 SQ. FT.	LOWER LEVEL	• 751 SQ. FT.
UPPER LEVEL	• 176 SQ. FT.	UPPER LEVEL	• 176 SQ. FT.
TOTAL	• 927 SQ. FT.	TOTAL	• 927 SQ. FT.
GARAGE	• 441 SQ. FT.	GARAGE	• 441 SQ. FT.
OPTION DECK FRONT	• 35 SQ. FT.	OPTION DECK FRONT	• 35 SQ. FT.

UPPER FLOOR PLAN MODEL 1

SCALE: 3/8" = 1'-0"

BONJORNO (MARSHALL TOWNHOME)

COLOR
SCHEME 1
MODEL 1 (E-1 E-2)

ROOF MATERIAL
CAPISTRANO EAGLE
SOC 8830
ALBUQUERQUE BLEND

TRIM COLOR
CAMELBACK
HOSW 2185/SW 6122

BASE COLOR
LA HABRA STUCCO
830 CLAY (42) BASE 200

ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

COLOR
SCHEME 2
MODEL 2 (E-1 E-2)

ROOF MATERIAL
CAPISTRANO EAGLE
SOC 8830
ALBUQUERQUE BLEND

TRIM COLOR
THI HUT
HOSW 2492/SW 7509

BASE COLOR
LA HABRA STUCCO
BELLA OLIVE (27)
BASE 100 R1 583

ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

COLOR
SCHEME 3
MODEL 2 (E-1 E-2)
MODEL 3 (SE-5)

ROOF MATERIAL
CAPISTRANO EAGLE
SOC 8830
ALBUQUERQUE BLEND

TRIM COLOR
COCOA ISLAND
HOSW 2492

BASE COLOR
LA HABRA STUCCO
278 TRABUCCO (42)
BASE 200

ACCENT / FACING
PACIFIC CLAY
AMERICAN THIN
BRICK SARATOGA

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DESIGN BY:
CHECKED BY:
DATE:
SCALE:
AS NOTED
JOB NO.

MODEL 1
E-2

BONJORNO



LEFT ELEVATION MODEL 2 E-1



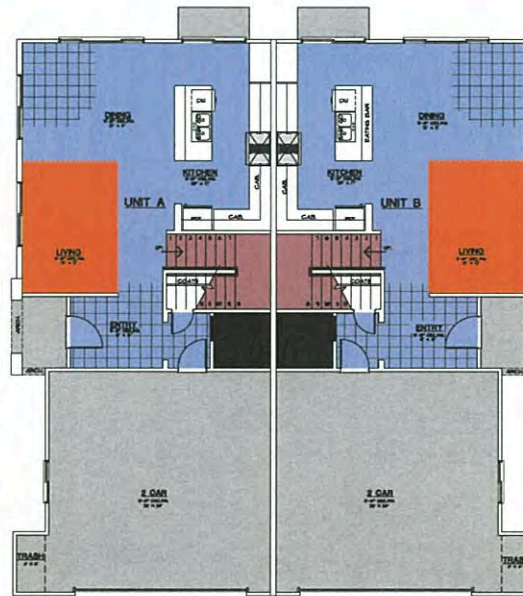
RIGHT ELEVATION MODEL 2 E-1



BACK ELEVATION MODEL 2 E-1



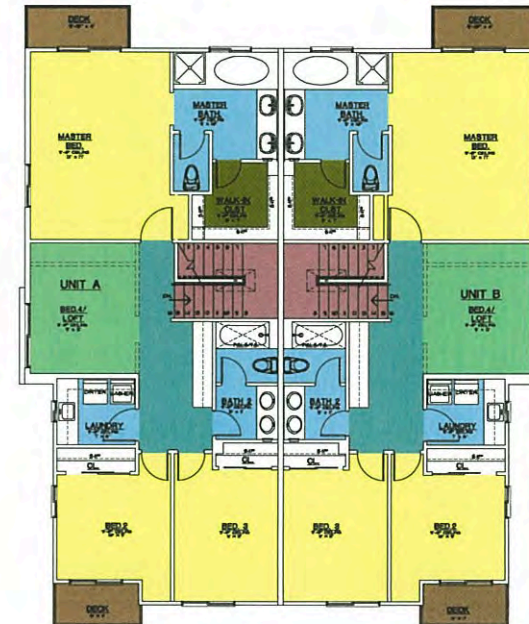
FRONT ELEVATION MODEL 2 E-1



UNIT "A"		UNIT "B"	
LOWER LEVEL	• 711 SQ. FT.	LOWER LEVEL	• 711 SQ. FT.
UPPER LEVEL	• 1716 SQ. FT.	UPPER LEVEL	• 1716 SQ. FT.
TOTAL	• 2427 SQ. FT.	TOTAL	• 2427 SQ. FT.
GARAGE	• 441B SQ. FT.	GARAGE	• 441B SQ. FT.
OPTION DECK FRONT	• 318B SQ. FT.	OPTION DECK FRONT	• 318B SQ. FT.

LOWER FLOOR PLAN MODEL 2

SCALE: 3/8" = 1'-0"



UNIT "A"		UNIT "B"	
LOWER LEVEL	• 711 SQ. FT.	LOWER LEVEL	• 711 SQ. FT.
UPPER LEVEL	• 1716 SQ. FT.	UPPER LEVEL	• 1716 SQ. FT.
TOTAL	• 2427 SQ. FT.	TOTAL	• 2427 SQ. FT.
GARAGE	• 441B SQ. FT.	GARAGE	• 441B SQ. FT.
OPTION DECK FRONT	• 318B SQ. FT.	OPTION DECK FRONT	• 318B SQ. FT.

UPPER FLOOR PLAN MODEL 2

SCALE: 3/8" = 1'-0"

BONJORNO (MARSHALL TOWNHOME)

COLOR SCHEME 1 MODEL 1 (E-1 E-2)	COLOR SCHEME 2 MODEL 2 (E-1 E-2)	COLOR SCHEME 3 MODEL 3 (E-1 E-2) MODEL 3 (3E-5)
ROOF MATERIAL CARPENTRANO EAGLE SCC 8830 ALBUQUERQUE BLEND	ROOF MATERIAL CARPENTRANO EAGLE SCC 8830 ALBUQUERQUE BLEND	ROOF MATERIAL CARPENTRANO EAGLE SCC 8830 ALBUQUERQUE BLEND
TRIM COLOR CAMELBACK HDSW 2145/SW 6122	TRIM COLOR TK3 HUT HDSW 2482/SW 7509	TRIM COLOR COCOA ISLAND HDSW 2482
BASE COLOR LA HABRA STUCCO 830 CLAY (42) BASE 200	BASE COLOR LA HABRA STUCCO BELLA GLADE (27) BASE 100 81 583	BASE COLOR 278 TRABUCO (42) BASE 200
ACCENT / FACING PACIFIC CLAY AMERICAN THIN BRICK SARATOGA	ACCENT / FACING PACIFIC CLAY AMERICAN THIN BRICK SARATOGA	ACCENT / FACING PACIFIC CLAY AMERICAN THIN BRICK SARATOGA

REVISIONS	BY

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DESIGN BY: CQM/C
CHECKED BY: AL A
DATE: -11-
SCALE: AS NOTED
JOB NO.

**MODEL 2
E-1**

BONJORNO



LEFT ELEVATION MODEL 2 E-2



RIGHT ELEVATION MODEL 2 E-2



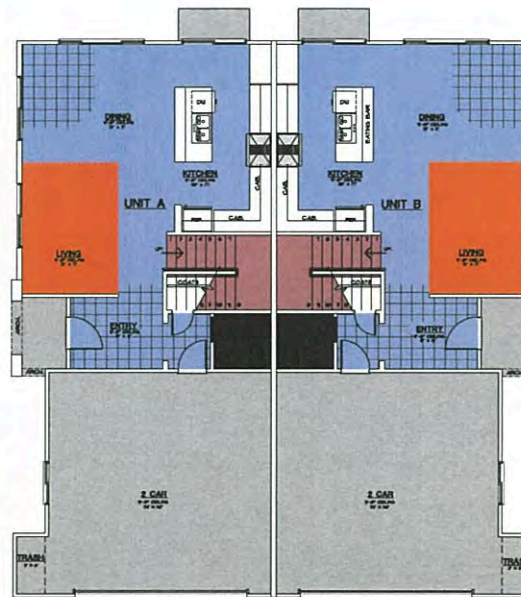
BACK ELEVATION MODEL 2 E-2



FRONT ELEVATION MODEL 2 E-2

BONJORNO (MARSHALL TOWNHOME)

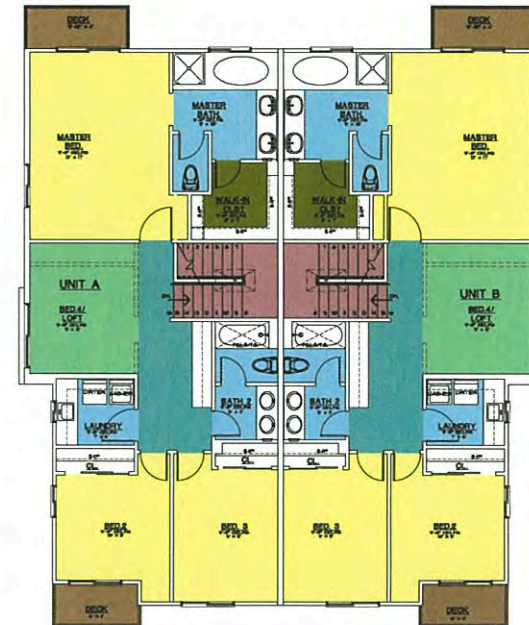
COLOR	COLOR	COLOR
SCHEME 1	SCHEME 2	SCHEME 3
MODEL 1 (E-1 E-2)	MODEL 2 (E-1 E-2)	MODEL 2 (E-1 E-2)
MODEL 3 (3E-6)	MODEL 3 (3E-6)	MODEL 3 (3E-6)
ROOF MATERIAL CAPISTRANO EAGLE SCC 8830 ALBUQUERQUE BLEND	ROOF MATERIAL CAPISTRANO EAGLE SCC 8830 ALBUQUERQUE BLEND	ROOF MATERIAL CAPISTRANO EAGLE SCC 8830 ALBUQUERQUE BLEND
TRIM COLOR CAMELBACK HGSW 2185/SW 6122	TRIM COLOR TINI HUT HGSW 2492/SW 7509	TRIM COLOR COCOA ISLAND HGSW 2492
BASE COLOR LA HABRA STUCCO 830 CLAY (40) BASE 200	BASE COLOR LA HABRA STUCCO 830 CLAY (40) BASE 200	BASE COLOR LA HABRA STUCCO 830 CLAY (40) BASE 200
ACCENT / FACING PACIFIC CLAY AMERICAN TRIM BRICK SARATOGA	ACCENT / FACING PACIFIC CLAY AMERICAN TRIM BRICK SARATOGA	ACCENT / FACING PACIFIC CLAY AMERICAN TRIM BRICK SARATOGA



UNIT "A"	UNIT "B"
LOWER LEVEL • 711 SQ. FT.	LOWER LEVEL • 711 SQ. FT.
UPPER LEVEL • 1719 SQ. FT.	UPPER LEVEL • 1719 SQ. FT.
TOTAL • 2430 SQ. FT.	TOTAL • 2430 SQ. FT.
GARAGE • 441.8 SQ. FT.	GARAGE • 441.8 SQ. FT.
DECK • 31.8 SQ. FT.	DECK • 31.8 SQ. FT.
OPTION DECK FRONT • 31.8 SQ. FT.	OPTION DECK FRONT • 31.8 SQ. FT.

LOWER FLOOR PLAN MODEL 2

SCALE: 1/8" = 1'-0"



UNIT "A"	UNIT "B"
LOWER LEVEL • 711 SQ. FT.	LOWER LEVEL • 711 SQ. FT.
UPPER LEVEL • 1719 SQ. FT.	UPPER LEVEL • 1719 SQ. FT.
TOTAL • 2430 SQ. FT.	TOTAL • 2430 SQ. FT.
GARAGE • 441.8 SQ. FT.	GARAGE • 441.8 SQ. FT.
DECK • 31.8 SQ. FT.	DECK • 31.8 SQ. FT.
OPTION DECK FRONT • 31.8 SQ. FT.	OPTION DECK FRONT • 31.8 SQ. FT.

UPPER FLOOR PLAN MODEL 2

SCALE: 1/8" = 1'-0"

REVISIONS	BY

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DESIGN BY:	COMUC
CHECKED BY:	AL-A
DATE:	-17-
REVISIONS:	AS NOTED
JOB NO.:	

**MODEL 2
E-2**

BONJORNO



LEFT ELEVATION MODEL 3 E-5



RIGHT ELEVATION MODEL 3 E-5



BACK ELEVATION MODEL 3 E-5



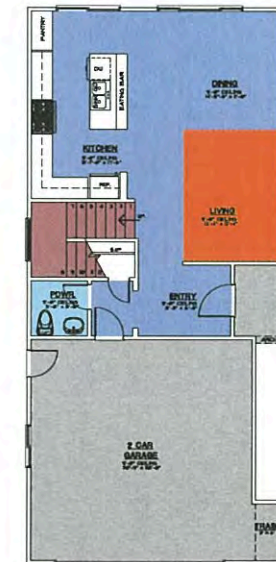
FRONT ELEVATION MODEL 3 E-5



LOWER LEVEL: 1100 SQ. FT.
UPPER LEVEL: 1100 SQ. FT.
TOTAL: 2200 SQ. FT.
GARAGE: 450 SQ. FT.
DECK: 100 SQ. FT.

UPPER FLOOR PLAN MODEL 3

SCALE: 1/4" = 1'-0"



LOWER LEVEL: 1100 SQ. FT.
UPPER LEVEL: 1100 SQ. FT.
TOTAL: 2200 SQ. FT.
GARAGE: 450 SQ. FT.
DECK: 100 SQ. FT.

LOWER FLOOR PLAN MODEL 3

SCALE: 1/4" = 1'-0"

BONJORNO (MARSHALL TOWNHOME)

COLOR SCHEME 1

MODEL 1 (E-1 E-2)
ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
CAMELBACK
HGSW 2185/SW 6122
BASE COLOR
LA HABRA STUCCO
830 CLAY (40) BASE 200
ACCENT / FACING
PACIFIC CLAY
AMERICAN THIR
BRICK SARATOGA

COLOR SCHEME 2

MODEL 2 (E-1 E-2)
ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
TKI HUT
HGSW 2402/SW 7509
BASE COLOR
LA HABRA STUCCO
BELLA GLADE (27)
BASE 100 81 583
ACCENT / FACING
PACIFIC CLAY
AMERICAN THIR
BRICK SARATOGA

COLOR SCHEME 3

MODEL 3 (E-1 E-2)
MODEL 3 (1E-5)
ROOF MATERIAL
CAPISTRANO EAGLE
SCC 8830
ALBUQUERQUE BLEND
TRIM COLOR
COCOIA ISLAND
HGSW 2402
BASE COLOR
LA HABRA STUCCO
278 TRABUCCO (42)
BASE 200
ACCENT / FACING
PACIFIC CLAY
AMERICAN THIR
BRICK SARATOGA

REVISIONS	BY

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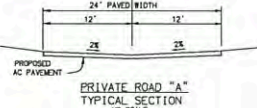
DESIGN BY:
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DATE:
SCALE:
AS NOTED
JOB NO.

**MODEL 3
E-5**

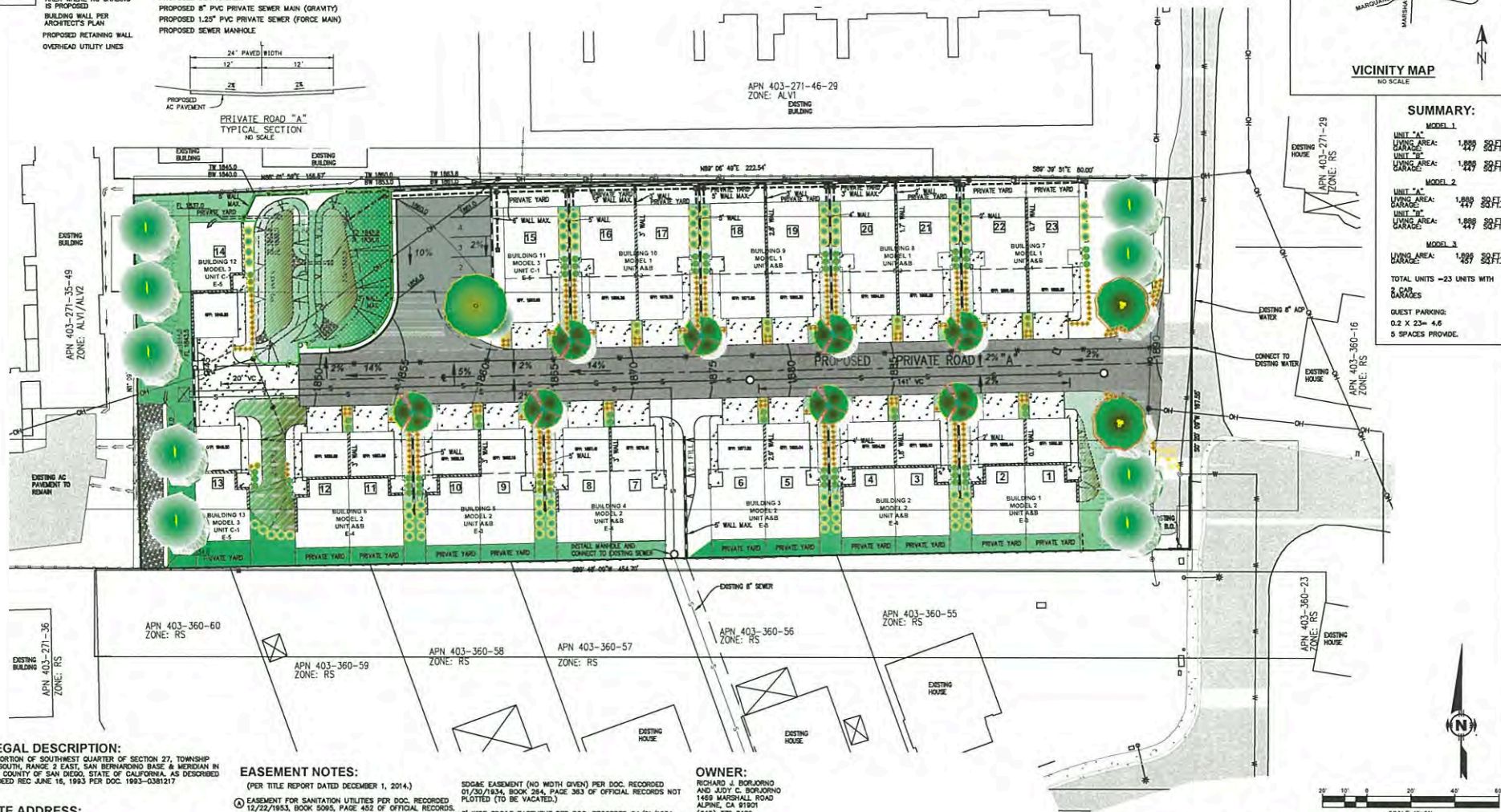
BONJORNO

- LEGEND:**
- | SYMBOL | ITEM |
|----------|------------------------------------|
| [Symbol] | EXISTING AC PAVEMENT |
| [Symbol] | PROPOSED AC PAVEMENT |
| [Symbol] | PROPOSED POC PAVEMENT |
| [Symbol] | AREA WHERE NO GRADING IS PROPOSED |
| [Symbol] | BUILDING WALL PER ARCHITECT'S PLAN |
| [Symbol] | PROPOSED RETAINING WALL |
| [Symbol] | OVERHEAD UTILITY LINES |

- NOTES:**
- EXISTING POWER POLE TO REMAIN
 - EXISTING POWER POLE TO BE RELOCATED
 - EXISTING FENCE TO REMAIN
 - PROPOSED SEWER PUMP STATION
 - PROPOSED MODIFIED TYPE "C" CURB INLET PER RSD D-03A
 - REMOVE EXISTING GUY ANCHOR AND INSTALL
 - PROPOSED GUY POLE
 - PROPOSED GUY ANCHOR
 - PROPOSED 8" PVC PRIVATE SEWER MAIN (GRAVITY)
 - PROPOSED 1.25" PVC PRIVATE SEWER (FORCE MAIN)
 - PROPOSED SEWER MANHOLE



SITE PLAN



SUMMARY:

MODEL 1:	
UNIT "A"	1,000 sq. ft.
GARAGE	1,000 sq. ft.
UNIT "B"	1,000 sq. ft.
GARAGE	1,000 sq. ft.
MODEL 2:	
UNIT "A"	1,000 sq. ft.
GARAGE	1,000 sq. ft.
UNIT "B"	1,000 sq. ft.
GARAGE	1,000 sq. ft.
MODEL 3:	
UNIT "A"	1,000 sq. ft.
GARAGE	1,000 sq. ft.
UNIT "B"	1,000 sq. ft.
GARAGE	1,000 sq. ft.
TOTAL UNITS - 23 UNITS WITH 2 CAR GARAGES	
QUEST PARKING: 0.2 X 23 = 4.6	
5 SPACES PROVIDED.	

LEGAL DESCRIPTION:

A PORTION OF SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 15 SOUTH, RANGE 2 EAST, SAN BERNARDINO BASE & MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN DEED REC JUNE 16, 1993 PER DOC. 1993-0361217

SITE ADDRESS:

1459 MARSHALL ROAD
ALPINE, CA 91901

ASSESSOR PARCEL NUMBERS:

403-271-20 & 21

EASEMENT NOTES:

(PER TITLE REPORT DATED DECEMBER 1, 2014.)

- ① EASEMENT FOR SANITATION UTILITIES PER DOC. RECORDED 12/22/1953, BOOK 5065, PAGE 452 OF OFFICIAL RECORDS.
- ② EASEMENT FOR WATER UTILITIES PER DOC. # 1962-58561 RECORDED 04/5/1962.
- ③ EASEMENT FOR COUNTY HIGHWAY PER DOC. # 2004-0059636 RECORDED 01/29/2004.
- ④ 20' WIDE EASEMENT FOR PUBLIC ROAD AND DRAINAGE PURPOSES DEDICATED AND ACCEPTED PER MAP 14936.

SDG&E EASEMENT (NO WIDTH GIVEN) PER DOC. RECORDED 01/30/1934, BOOK 284, PAGE 383 OF OFFICIAL RECORDS NOT PLOTTED (TO BE VACATED.)

2' WIDE SDG&E EASEMENT PER DOC. RECORDED 04/01/1934 BOOK 1006, PAGE 8 NOT PLOTTABLE, EXACT LOCATION NOT DISCLOSED (TO BE VACATED.)

2' WIDE SDG&E EASEMENT PER DOC. RECORDED 11/24/1934 BOOK 164, PAGE 228 NOT PLOTTABLE, EXACT LOCATION NOT DISCLOSED (TO BE VACATED.)

OWNER:

RICHARD J. BORJORNO
AND JUDY C. BORJORNO
1459 MARSHALL ROAD
ALPINE, CA 91901
(619) 379-9120

GRADING:

CUT: 5,500 C.Y.
FILL: 2,500 C.Y.
EXPORT: 3,000 C.Y.

LAND SURVEYOR:

LAWRENCE W. WALSH
607 ALDWINCH ROAD
EL CAJON, CA 92020
TEL: (619) 398-6141
FAX: (619) 773-0232

ENGINEER:

NABIL N. KACHI, P.E.
1010 ONGING RIDGE ROAD
EL CAJON, CA 92019
TEL: (619) 398-5713
CELL: (619) 440-6533

DESIGNER:

AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
1622 PIONEER WAY
EL CAJON, CA 92020
619-440-3624

**Attachment B – Resolution
Approving PDS2017-TM-5621**

November 16, 2018

RESOLUTION OF SAN DIEGO COUNTY)
CONDITIONALLY APPROVING)
TENTATIVE MAP NO. TM-5621)

WHEREAS, Tentative Map No. TM-5621 proposing the division of property located at 1460 Marshall Road and generally described as:

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was filed with the County of San Diego pursuant to the Subdivision Map Act and San Diego County Subdivision Ordinance on October 16, 2017; and

WHEREAS, on November 16, 2018, the Planning Commission of the County of San Diego pursuant to Section 81.306 of the San Diego County Subdivision Ordinance held a duly advertised public hearing on said Tentative Map and received for its consideration, documentation, written and oral testimony, recommendations from all affected public agencies, and heard from all interested parties present at said hearing; and

WHEREAS, the Planning Commission of the County of San Diego has determined that the conditions hereinafter enumerated are necessary to ensure that the subdivision and the improvement thereof will comply with the Subdivision Map Act and conform to all ordinances, plans, rules, standards, and improvement and design requirements of San Diego County.

IT IS RESOLVED, DETERMINED, AND ORDERED, that based on the findings, said Tentative Map is hereby approved subject to the following conditions:

MAP EXPIRATION: The approval of this Tentative Map Expires Thirty-Six (36) Months after the date of the approval of this Resolution at 4:00 P.M. Unless, prior to that date, an application for a Time Extension has been filed as provided by Section 81.313 of the County Subdivision Ordinance.

STANDARD CONDITIONS: The "Standard Conditions (1-29) for Tentative Subdivision Maps" approved by the Board of Supervisors on June 16, 2000, and filed with the Clerk, as Resolution No. 00-199, shall be made conditions of this Tentative Map approval. Only the following exceptions to the Standard Conditions set forth in this Resolution or shown on the Tentative Map will be authorized. **The following Standard Subdivision Conditions are here by waived:**

- (1) Standard Condition 10.a: Said condition states that all fixtures shall use a low pressure sodium (LPS) vapor light source. This waiver/modification allows the use of Light-Emitting Diode (LED) vapor light sources at the project site unless

within a 15 mile radius of Palomar or Mount Laguna observatories pursuant to direction from the Board of Supervisors [statement of proceedings of 1-29-03].

- (2) Standard Condition 22: Said condition pertains to construction of septic sewer system. The project is serviced by a public sewer system.
- (3) Standard Condition 27.1: Said condition states that the Final Map may be filed as units or groups of units. The Final Map for this Tentative Map shall include the entire area on the Tentative Map and shall not be filed as units or groups of units.

PRELIMINARY GRADING PLAN: The approval of this Tentative Map here by adopts the Preliminary Grading and Improvement Plan dated October 1, 2018 consisting of one sheet pursuant to Section 81.305 of the County Subdivision Ordinance. In accordance with the Section 87.207 of the County Grading Ordinance, Environmental Mitigation Measures or other conditions of approval required and identified on this plan, shall be completed or implemented on the final engineering plan before any improvement or grading plan can be approved and any permit issued in reliance of the approved plan. Any Substantial deviation therefrom the Preliminary Grading and Improvement Plan may cause the need for further environmental review. Additionally, approval of the preliminary plan does not constitute approval of a final engineering plan. A final engineering plan shall be approved pursuant to County of San Diego Grading Ordinance (Sec 87.701 et. al.)

APPROVAL OF MAP: THE FOLLOWING SPECIFIC CONDITIONS SHALL BE COMPLIED WITH BEFORE A MAP IS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS AND FILED WITH THE COUNTY OF SAN DIEGO RECORDER: (and where specifically, indicated, conditions shall also be complied with prior to the approval and issuance of grading or other permits as specified):

- 1-29.** The "Standard Conditions (1-29) for Tentative Subdivision Maps" approved by the Board of Supervisors on June 16, 2000, with the exception of those "Standard Conditions" waived above.

30.GEN#1 – COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO]
INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.

31. GEN#2 – GRADING PLAN CONFORMANCE: [DPW, ESU] [DPR, TC PP] [GP, IP, MA]

INTENT: In order to implement the required avoidance measures for the project, the required grading plan and improvement plans shall conform to the approved Preliminary Grading Plan. **DESCRIPTION OF REQUIREMENT:** The grading and or improvement plans shall conform to the approved Preliminary Grading Plan.

DOCUMENTATION: The applicant shall submit the grading plans and improvement plans, which conform to the preliminary grading plan for the project.

TIMING: Prior to the approval of the map and prior to the approval of any plan and issuance of any permit, the notes and items shall be placed on the plans as required.

MONITORING: The *[DPW, ESU, or PDS, BD for PDS Minor Grading, DPR, TC for trails and PP for park improvements]* shall verify that the grading and/or improvement plan requirements have been placed on the final grading and/or improvement plans as applicable. The avoidance notes shall be made conditions of the issuance of said grading or construction permit.

32. ROADS#1–PUBLIC ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.404 and the Community Trails Master Plan ***Marshall Road*** shall be improved. **DESCRIPTION OF REQUIREMENT:**

- a. Improve or agree to improve and provide security for a knuckle at the northwest corner of the intersection of ***Marshall Way*** and ***Marshall Road*** to provide driveway access for the project site. The knuckle shall be improved to the San Diego County Design Standards DS-15 modified as shown on Preliminary Grading Plans, with Portland cement concrete curb, gutter and sidewalk to the satisfaction of the Director of Public Works and PDS.
- b. Asphalt concrete surfacing material shall be hand-raked and compacted to form smooth tapered connections along all edges including those edges adjacent to soil. The edges of asphalt concrete shall be hand-raked at 45 degrees or flatter, so as to provide a smooth transition next to existing soil, including those areas scheduled for shoulder backing.

All plans and improvements shall be completed pursuant to the County of San Diego Public Road Standards, the Land Development Improvement Plan Checking Manual and the Community Trails Master Plan. The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities.

DOCUMENTATION: The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to improve intersection of ***Marshall Road*** and ***Marshall Way***.

- b. Provide Secured Agreement and post security in accordance with Subdivision Ordinance Sec. 81.408.
- c. Upon approval of the plans, pay all applicable inspection fees/deposits with [DPW, PDCI].
- d. If the applicant is a representative, then one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.
- e. Obtain approval for the design and construction of all driveways, turnarounds, and private easement road improvements to the satisfaction of the Alpine Fire Protection District and the [PDS, LDR].

TIMING: Prior to the recordation of the Final Map, the plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the condition and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

33. ROADS#2—INTERNAL PRIVATE ROAD IMPROVEMENTS

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.404, internal private road serving the condominiums shall be improved. **DESCRIPTION OF REQUIREMENT:** Improve or agree to improve and provide security for internal private road serving the condominiums in conformance with the following requirements to the satisfaction of the Alpine Fire Protection District and the director of PDS:

- a. Minimum unobstructed private road width shall be 24 feet.
- b. Private road structural section shall be a minimum of two inches of asphalt concrete over four inches of approved base. Grades shall be a minimum of 1.0 percent and a maximum of 15 percent and designed to drain the surface water properly. Adequacy of the structural section and surface drainage shall be inspected and certified by the Director of Public Works.
- c. Property owners shall agree to preserve and save harmless the County of San Diego and each officer and employee thereof from any liability or responsibility for any accident, loss or damage to persons or property, happening or occurring as the proximate result of any of the work undertaken to complete this work, and that all of said liabilities are hereby assumed by the property owner.

- d. The applicant shall deposit with the County Department of Public Works sufficient funds to cover the cost of inspection of the private improvements.
- e. Private roads shall be marked with signage/ground markings stating "Fire Lane – Do Not Block". Exit driveways shall not be obstructed or limited.

The improvements shall be completed within 24 months from the approval of the improvement plans, execution of the agreements, and acceptance of the securities. **DOCUMENTATION:** The applicant shall complete the following:

- a. Process and obtain approval of Improvement Plans to construct the internal private road serving the condominium.
- b. Provide Secured Agreement and post security in accordance with Subdivision Ordinance Sec. 81.408.
- c. Upon approval of the plans, pay all applicable inspection deposits/fees with [DPW, PDCI].
- d. If the applicant is a representative, then one of the following is required: a corporate certificate indicating those corporation officers authorized to sign for the corporation, or a partnership agreement recorded in this County indicating who is authorized to sign for the partnership.

TIMING: Prior to the recordation of the Final Map, the required improvement plans, agreements, and securities shall be approved. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the resolution conditions and County Standards. Upon approval of the plans [PDS, LDR] shall request the required securities and improvement agreements. The securities and improvement agreements shall be approved by the Director of PDS.

34. ROADS#3–ROAD DEDICATION (ONSITE ONLY)

INTENT: In order to promote orderly development and to comply with the Subdivision Ordinance Sec. 81.402, road right of way shall be dedicated to the County. **DESCRIPTION OF REQUIREMENT:**

- a. Dedicate on the Final Map to the County of San Diego an easement for road purposes that provides adequate right-of-way for the proper construction of a knuckle at the northwest corner of Marshall Way and Marshall Road intersection, plus slope rights and drainage easements to the satisfaction of the Director of Public Works and PDS.
- b. The dedication shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required, and shall be accepted for public use.

DOCUMENTATION: The applicant shall dedicate the easement concurrently with the Final Map recordation. **TIMING:** Concurrently with the Final Map recordation, the onsite dedication shall be provided for all public roads that abut or provide access to the proposed development. **MONITORING:** The [PDS, LDR] shall verify that the dedication is indicated on the map and Accepted by the County.

35. ~~ROADS#4~~–PAVEMENT CUT POLICY

INTENT: In order to prohibit trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface, and to comply with County Policy RO-7 adjacent property owners shall be notified and solicited for their participation in the extension of utilities. **DESCRIPTION OF REQUIREMENT:** All adjacent property owners shall be notified who may be affected by this policy and are considering development of applicable properties, this includes requesting their participation in the extension of utilities to comply with this policy. No trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface. **DOCUMENTATION:** The applicant shall sign a statement that they are aware of the County of San Diego Pavement Cut Policy and submit it to the [PDS, LDR] for review. **TIMING:** Prior to the approval improvement plans and the approval of the Final Map the letters shall be submitted for approval. **MONITORING:** The [PDS, LDR] shall review the signed letters.

36. ~~ROADS#5~~–SIGHT DISTANCE

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.E of the County of San Diego Public Road Standards, an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor provide a certified signed statement that: "There is _____feet of unobstructed intersectional sight distance in southerly directions along **Marshall Road** from the proposed knuckle connection to the existing dead end barricade located at the intersection of Marshall Road and Marquand Court. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."
- b. A registered civil engineer or a licensed land surveyor provide a certified signed statement that: "There is _____feet of unobstructed intersectional sight distance in easterly directions along Marshall Way from the proposed knuckle connection in accordance with the methodology described in Section 6.1 E, Table 5 of the March 2012

County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of _____ as described in Table 5 based on a speed of _____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."

- c. If the lines of sight fall within the existing public road right-of-way, the engineer or surveyor shall further certify that: "Said lines of sight fall within the existing right-of-way and a clear space easement is not required."

DOCUMENTATION: The applicant shall have a Registered Civil Engineer, or a Licensed Land Surveyor provide a signed statement as detailed above, and submit them to the [PDS, LDR] for review. **TIMING:** Prior to the approval of the Final Map, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications.

37. LNDSCP#1 – LANDSCAPE DOCUMENTATION PACKAGE

INTENT: In order to provide adequate landscaping that provides drought tolerant plant species, and to comply with the Alpine Design Review Guidelines, a landscape plan shall be prepared. **DESCRIPTION OF REQUIREMENT:** The Landscape Plans shall be prepared pursuant to the COSD Water Efficient Landscape Design Manual and the COSD Water Conservation in Landscaping Ordinance, the COSD Parking Design Manual, the COSD Grading Ordinance, and the Alpine Design Guidelines. All Plans shall be prepared by a California licensed Landscape Architect, Architect, or Civil Engineer, and include the following information:

- a. Indication of the proposed width of any adjacent public right-of-way, and the locations of any required improvements and any proposed plant materials to be installed or planted therein. The applicant shall also obtain a permit approving the variety, location, and spacing of all trees proposed to be planted within said right(s)-of-way. A copy of this permit and a letter stating that all landscaping within the said right(s)-of-way shall be maintained by the landowner(s) shall be submitted to PDS.
- b. A complete planting plan including the names, sizes, and locations of all plant materials, including trees, shrubs, and groundcover. Wherever appropriate, native or naturalizing plant materials shall be used which can thrive on natural moisture. These plants shall be irrigated only to establish the plantings.
- c. A complete watering system including the location, size, and type of all backflow prevention devices, pressure, and non-pressure water lines,

valves, and sprinkler heads in those areas requiring a permanent, and/or temporary irrigation system.

- d. The watering system configuration shall indicate how water flow, including irrigation runoff, low head drainage, overspray or other similar conditions will not impact adjacent property, non-irrigated areas, structures, walkways, roadways or other paved areas, including trails and pathways by causing water to flow across, or onto these areas.
- e. Spot elevations of the hardscape, building and proposed fine grading of the installed landscape.
- f. The location and detail of all walls, fences, and walkways shall be shown on the plans, including height from grade and type of material. A lighting plan and light standard details shall be included in the plans (if applicable) and shall be in compliance with the County's Light Pollution Code.
- g. No landscaping material or irrigation or other infrastructure shall be located within a proposed trail easement or designated pathway.
- h. Parking areas shall be landscaped and designed pursuant to the Parking Design Manual and the County Zoning Ordinance Section 6793.b.

DOCUMENTATION: The applicant shall prepare the Landscape Plans using the Landscape Documentation Package Checklist (PDS Form #404), and pay all applicable review fees. **TIMING:** Prior to approval of any plan, issuance of any permit, and prior to use of the premises in reliance of this permit, the Landscape Documentation Package shall be prepared and approved. **MONITORING:** The [PDS, LA] and [DPR, TC, PP] shall review the Landscape Documentation Package for compliance with this condition.

38.CULT#1 ARCHAEOLOGICAL MONITORING

INTENT: In order to avoid potential impacts to undiscovered buried archaeological resources, an Archaeological Monitoring Program and potential Data Recovery Program shall be implemented pursuant to the County of San Diego Guidelines for Determining Significance for Cultural Resources and the California Environmental Quality Act (CEQA). **DESCRIPTION OF REQUIREMENT:** A County Approved Principal Investigator (PI) known as the "Project Archaeologist," shall be contracted to perform archaeological monitoring and a potential data recovery program during all grading, clearing, grubbing, trenching, and construction activities. The archaeological monitoring program shall include the following:

- a. The Project Archaeologist shall perform the monitoring duties before, during and after construction pursuant to the most current version of the County of San Diego Guidelines for Determining Significance and Report

Format and Requirements for Cultural Resources. The Project Archaeologist and Kumeyaay Native American monitor shall also evaluate fill soils to determine that they are clean of cultural resources. The contract or letter of acceptance provided to the County shall include an agreement that the archaeological monitoring will be completed, and a Memorandum of Understanding (MOU) between the Project Archaeologist and the County of San Diego shall be executed. The contract or letter of acceptance shall include a cost estimate for the monitoring work and reporting.

- b. The Project Archeologist shall provide evidence that a Kumeyaay Native American has been contracted to perform Native American Monitoring for the project.
- c. The cost of the monitoring shall be added to the grading bonds or bonded separately.

DOCUMENTATION: The applicant shall provide a copy of the Archaeological Monitoring Contract or letter of acceptance, cost estimate, and MOU to [PDS, PPD]. Additionally, the cost amount of the monitoring work shall be added to the grading bond cost estimate. **TIMING:** Prior to recordation of the Final Map for PDS207-TM-5621 and prior to the approval of any plan and issuance of any permit, the contract shall be provided. **MONITORING:** [PDS, PPD] shall review the contract or letter of acceptance, MOU and cost estimate or separate bonds for compliance with this condition. The cost estimate should be forwarded to [PDS, PPD] for inclusion in the grading bond cost estimate, and grading bonds and the grading monitoring requirement shall be made a condition of the issuance of the grading or construction permit.

ANY PERMIT: *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

39. STRMWTR#1—STORMWATER MAINTENANCE DOCUMENTATION

INTENT: In order to promote orderly development and to comply with the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq., the maintenance agreements shall be completed.

DESCRIPTION OF REQUIREMENT: To the satisfaction of the Director of PDS, complete the following:

Process a Stormwater Facilities Maintenance Agreement (SWMA) to assure maintenance of the Category 2 Structural BMPs and provide security to back up the maintenance pursuant to the County Maintenance Plan Guidelines to the satisfaction of the Director of DPW and/or PDS. The SWMA shall be signed and notarized by the applicant and recorded by the County.

DOCUMENTATION: The applicant shall process the agreement forms with [PDS, LDR] and pay the deposit and applicable review fees. **TIMING:** Prior to the recordation of the Final Map, execution of the agreements and securities shall be completed. **MONITORING:** The [PDS, LDR] shall review the agreements/mechanisms for consistency with the condition and County Standards.

40. STRMWTR#2-EROSION CONTROL

INTENT: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the State Construction General Permit, Order No. 2009-00090-DWQ, or subsequent order and the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq. and all other applicable ordinances and standards for this priority project. **DESCRIPTION OF REQUIREMENT:** The applicant shall maintain the appropriate on-site and offsite Best Management Practices pursuant to the approved Stormwater Management Plan (SWMP) and Erosion Control Plan including, but not limited to the erosion control measures, irrigation systems, slope protection, drainage systems, desilting basins, energy dissipators, and silt control measure.

- a. An agreement and instrument of credit shall be provided pursuant to Subdivision Ordinance 81.408, for an amount equal to the cost of this work as determined or approved by the [PDS, LDR], in accordance with the County of San Diego Grading Ordinance Section 87.304(e). The cash deposit collected for grading, per the grading ordinance, will be used for emergency erosion measures. The developer shall submit a letter to [PDS, LDR] authorizing the use of this deposit for emergency measures.
- b. An agreement in a form satisfactory to County Counsel shall accompany the Instrument of Credit to authorize the County to unilaterally withdraw any part of or all the Instrument of Credit to accomplish any of the work agreed to if it is not accomplished to the satisfaction of the County PDS and/or DPW by the date agreed.

DOCUMENTATION: The applicant shall provide the letter of agreement and any additional security and/or cash deposit to the [PDS, LDR]. **TIMING:** Prior to recordation of the Map, and the approval of any plan and the issuance of any permit, the agreement and securities shall be executed. **MONITORING:** The [PDS, LDR] shall ensure that the agreement and the securities provided adequately satisfy the requirements of the conditions to potentially perform the required erosion control and stormwater control measures proposed on all construction and grading plans. [DPW, PDCI] shall use the securities pursuant to the agreement to implement and enforce the required stormwater and erosion control measures pursuant to this condition during all construction phases as long as there are open and valid permits for the site.

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

41.LNDSCP#2–CERTIFICATION OF INSTALLATION

INTENT: In order to provide adequate landscaping that provides drought tolerant plant species, and to comply with the COSD Water Efficient Landscape Design Manual, the COSD Water Conservation in Landscaping Ordinance, the COSD Parking Design Manual, the COSD Grading ordinance, and the Alpine Design Guidelines all landscaping shall be installed. **DESCRIPTION OF**

REQUIREMENT: All of the landscaping shall be installed pursuant to the approved Landscape Documentation Package. This does not supersede any erosion control plantings that may be applied pursuant to Section 87.417 and 87.418 of the County Grading Ordinance. These areas may be overlapping, but any requirements of a grading plan shall be complied with separately. The installation of the landscaping can be phased pursuant to construction of specific buildings or phases to the satisfaction of the [PDS, LA, PCC] [DPR, TC, PP].

DOCUMENTATION: The applicant shall submit to the [PDS LA, PCC], a Landscape Certificate of Completion from the project California licensed Landscape Architect, Architect, or Civil Engineer, that all landscaping has been installed as shown on the approved Landscape Documentation Package. The applicant shall prepare the Landscape Certificate of Completion using the Landscape Certificate of Completion Checklist, PDS Form #406. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the landscaping shall be installed. **MONITORING:** The [PDS, LA] shall verify the landscape installation upon notification of occupancy or use of the property, and notify the [PDS, PCC] [DPR, TC, PP] of compliance with the approved Landscape Documentation Package.

The following Grading and/or Improvement Plan Notes shall be placed on the Preliminary Grading Plan and made conditions of the issuance of said permits.

PRE-CONSTRUCTION MEETING: *(Prior to any clearing, grubbing, trenching, grading, or any land disturbances.)*

1. CULT#GR-1 – ARCHAEOLOGICAL MONITORING – PRECONSTRUCTION MEETING

INTENT: In order to comply with the County of San Diego Guidelines for Significance – Cultural Resources, an Archaeological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The County approved Project Archaeologist and Kumeyaay Native American Monitor shall attend the pre-construction meeting with the contractors to explain and coordinate the requirements of the archaeological monitoring program. The Project Archaeologist and Kumeyaay Native American Monitor shall monitor the original cutting of previously undisturbed deposits in all areas identified for development including off-site improvements. The Project Archaeologist and Kumeyaay Native American monitor shall also evaluate fill soils to determine that they are

clean of cultural resources. The archaeological monitoring program shall comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources. **DOCUMENTATION:** The applicant shall have the contracted Project Archeologist and Kumeyaay Native American attend the preconstruction meeting to explain the monitoring requirements. **TIMING:** Prior to any clearing, grubbing, trenching, grading, or any land disturbances this condition shall be completed. **MONITORING:** The [DPW, PDCI] shall confirm the attendance of the approved Project Archaeologist.

DURING CONTRUCTION: *(The following actions shall occur throughout the duration of the grading construction).*

2. NOISE #1. TEMPORARY CONSTRUCTION NOISE: [DPW, PDCI].

INTENT: In order to minimize temporary construction noise for grading operations associated with the project subdivision and to comply with County Noise Ordinance 36.408 and 36.409. **DESCRIPTION OF REQUIREMENT:** The project shall comply with the following temporary construction noise control measures:

- a. Turn off equipment when not in use.
- b. Equipment used in construction should be maintained in proper operating condition, and all loads should be properly secured, to prevent rattling and banging.
- c. Use equipment with effective mufflers.
- d. Minimize the use of back up alarm.
- e. Equipment staging areas should be placed at locations away from noise sensitive receivers.

DOCUMENTATION: The applicant shall comply with the temporary construction noise measures of this condition. **TIMING:** The following actions shall occur throughout the duration of the grading construction. **MONITORING:** The [DPW, PDCI] shall make sure that the grading contractor complies with the construction noise control measures of this condition. The [DPW, PDCI] shall contact the [PDS, PCC] if the applicant fails to comply with this condition.

3. NOISE#2-ON-GOING SOUND LEVEL COMPLIANCE: [PDS, CODES] [OG]

INTENT: In order to comply with the applicable sections of Title 3, Division 6, Chapter 4 (County of San Diego Noise Ordinance), the site shall comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements:

- a. Tentative Map associated activities shall comply with the one-hour average sound level limit property line requirement pursuant to the County Noise Ordinance, Section 36.404.

DOCUMENTATION: The property owner(s) and applicant shall conform to the ongoing requirements of this condition. Failure to conform to this condition may result in disturbing, excessive or offensive noise interfering with a person's right to enjoy life and property and is detrimental to the public health and safety pursuant to the applicable sections of Chapter 4. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, CODES] is responsible for enforcement of this permit.

4. CULT#GR-2 - ARCHAEOLOGICAL MONITORING - DURING CONSTRUCTION

INTENT: In order to comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources, a Cultural Resource Grading Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The Project Archaeologist and Kumeyaay Native American Monitor shall monitor the original cutting of previously undisturbed deposits in all areas identified for development including off-site improvements. The archaeological monitoring program shall comply with the following requirements during earth-disturbing activities:

- a. **Monitoring.** During the original cutting of previously undisturbed deposits, the Project Archaeologist and Kumeyaay Native American Monitor shall be onsite as determined necessary by the Project Archaeologist. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The frequency and location of inspections will be determined by the Project Archaeologist in consultation with the Kumeyaay Native American Monitor. Monitoring of the cutting of previously disturbed deposits will be determined by the Project Archaeologist in consultation with the Kumeyaay Native American Monitor.
- b. **Inadvertent Discoveries.** In the event that previously unidentified potentially significant cultural resources are discovered:
 1. The Project Archaeologist or the Kumeyaay Native American monitor shall have the authority to divert or temporarily halt ground disturbance operations in the area of discovery to allow evaluation of potentially significant cultural resources.
 2. At the time of discovery, the Project Archaeologist shall contact the PDS Staff Archaeologist.
 3. The Project Archaeologist, in consultation with the PDS Staff Archaeologist and the Kumeyaay Native American Monitor, shall determine the significance of the discovered resources.

4. Construction activities will be allowed to resume in the affected area only after the PDS Staff Archaeologist has concurred with the evaluation.
5. Isolates and clearly non-significant deposits shall be minimally documented in the field. Should the isolates and/or non-significant deposits not be collected by the Project Archaeologist, then the Kumeyaay Native American monitor may collect the cultural material for transfer to a Tribal Curation facility or repatriation program.
6. If cultural resources are determined to be significant, a Research Design and Data Recovery Program (Program) shall be prepared by the Project Archaeologist in consultation with the Kumeyaay Native American Monitor. The County Archaeologist shall review and approve the Program, which shall be carried out using professional archaeological methods. The Program shall include (1) reasonable efforts to preserve (avoidance) "unique" cultural resources or Sacred Sites; (2) the capping of identified Sacred Sites or unique cultural resources and placement of development over the cap, if avoidance is infeasible; and (3) data recovery for non-unique cultural resources. The preferred option is preservation (avoidance).

c. **Human Remains.** If any human remains are discovered:

1. The Property Owner or their representative shall contact the County Coroner and the PDS Staff Archaeologist.
2. Upon identification of human remains, no further disturbance shall occur in the area of the find until the County Coroner has made the necessary findings as to origin. If the human remains are to be taken offsite for evaluation, they shall be accompanied by the Native American monitor.
3. If the remains are determined to be of Native American origin, the NAHC shall immediately contact the Most Likely Descendant (MLD).
4. The immediate vicinity where the Native American human remains are located is not to be damaged or disturbed by further development activity until consultation with the MLD regarding their recommendations as required by Public Resources Code Section 5097.98 has been conducted.
5. The MLD may with the permission of the landowner, or their authorized representative, inspect the site of the discovery of the Native American human remains and may recommend to the owner or the person responsible for the excavation work means for treatment or disposition, with appropriate dignity, of the human remains and any associated grave goods. The descendants shall complete their inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site.

6. Public Resources Code §5097.98, CEQA §15064.5 and Health & Safety Code §7050.5 shall be followed in the event that human remains are discovered.

- d. **Fill Soils.** The Project Archaeologist and Kumeyaay Native American monitor shall evaluate fill soils to determine that they are clean of cultural resources.
- e. **Disagreements.** The County Archaeologist shall make a determination for any disagreements between the Project Archaeologist and the Kumeyaay Native American monitor related to archaeological monitoring.

DOCUMENTATION: The applicant shall implement the Archaeological Monitoring Program pursuant to this condition. **TIMING:** The following actions shall occur throughout the duration of the earth disturbing activities. **MONITORING:** The [DPW, PDCI] shall make sure that the Project Archeologist is on-site performing the monitoring duties of this condition. The [DPW, PDCI] shall contact the [PDS, PPD] if the Project Archeologist or applicant fails to comply with this condition.

ROUGH GRADING: *(Prior to rough grading approval and issuance of any building permit).*

5. CULT#GR-3 - ARCHAEOLOGICAL MONITORING – ROUGH GRADING

INTENT: In order to comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources, an Archaeological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The Project Archaeologist shall prepare one of the following reports upon completion of the earth-disturbing activities that require monitoring:

- a. **No Archaeological Resources Encountered.** If no archaeological resources are encountered during earth-disturbing activities, then submit a final Negative Monitoring Report substantiating that earth-disturbing activities are completed and no cultural resources were encountered. Archaeological monitoring logs showing the date and time that the monitor was on site and any comments from the Native American Monitor must be included in the Negative Monitoring Report.
- b. **Archaeological Resources Encountered.** If archaeological resources were encountered during the earth disturbing activities, the Project Archaeologist shall provide an Archaeological Monitoring Report stating that the field monitoring activities have been completed, and that resources have been encountered. The report shall detail all cultural artifacts and deposits discovered during monitoring and the anticipated time schedule for completion of the curation and/or repatriation phase of the monitoring.

DOCUMENTATION: The applicant shall submit the Archaeological Monitoring Report to [PDS, PPD] for review and approval. Once approved, a final copy of the report shall be submitted to the South Coastal Information Center and any culturally-affiliated Tribe who requests a copy. **TIMING:** Upon completion of all earth-disturbing activities, and prior to Rough Grading Final Inspection (Grading Ordinance SEC 87.421.a.2), the report shall be completed. **MONITORING:** [PDS, PPD] shall review the report or field monitoring memo for compliance with the project MMRP, and inform [DPW, PDCI] that the requirement is completed.

FINAL GRADING RELEASE: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

6. CULT#GR-4 - ARCHAEOLOGICAL MONITORING – FINAL GRADING

INTENT: In order to comply with the County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Cultural Resources, an Archaeological Monitoring Program shall be implemented. **DESCRIPTION OF REQUIREMENT:** The Project Archaeologist shall prepare a final report that documents the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program if cultural resources were encountered during earth-disturbing activities. The report shall include the following, if applicable:

- a. Department of Parks and Recreation Primary and Archaeological Site forms.
- b. Daily Monitoring Logs
- c. Evidence that all cultural materials have been curated and/or repatriated as follows:
 - (1) Evidence that all prehistoric materials collected during the archaeological monitoring program have been submitted to a San Diego curation facility or a culturally affiliated Native American Tribal curation facility that meets federal standards per 36 CFR Part 79, and, therefore, would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records, including title, shall be transferred to the San Diego curation facility or culturally affiliated Native American Tribal curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the prehistoric archaeological materials have been received and that all fees have been paid.

or

Evidence that all prehistoric materials collected during the grading monitoring program have been repatriated to a Native American group of appropriate tribal affinity and shall be accompanied by payment of the fees necessary, if required. Evidence shall be in the form of a letter from the Native American tribe to whom the cultural resources have been repatriated identifying that the archaeological materials have been received.

- (2) Historic materials shall be curated at a San Diego curation facility and shall not be curated at a Tribal curation facility or repatriated. The collections and associated records, including title, shall be transferred to the San Diego curation facility and shall be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility stating that the historic materials have been received and that all fees have been paid.
- d. If no cultural resources are discovered, a Negative Monitoring Report must be submitted stating that the archaeological monitoring activities have been completed. Grading Monitoring Logs must be submitted with the negative monitoring report.

DOCUMENTATION: The applicant's archaeologist shall prepare the final report and submit it to [PDS, PPD] for approval. Once approved, a final copy of the report shall be submitted to the South Coastal Information Center (SCIC) and any culturally-affiliated Tribe who requests a copy. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the final report shall be prepared. **MONITORING:** [PDS, PPD] shall review the final report for compliance with this condition and the report format guidelines. Upon acceptance of the report, [PDS, PPD] shall inform [PDS, LDR] and [DPW, PDCI], that the requirement is complete and the bond amount can be relinquished. If the monitoring was bonded separately, then [PDS, PPD] shall inform [PDS or DPW FISCAL] to release the bond back to the applicant.

IT IS FURTHER RESOLVED, THEREFORE, that the Planning Commission of the County of San Diego hereby makes the following findings as supported by the minutes, maps, exhibits, and documentation of said Tentative Map all of which are herein incorporated by reference:

1. The Tentative Map is consistent with all elements of the San Diego County General Plan and with the Village Residential (VR 15) Land Use Designation of the Alpine Community Plan because it proposes a residential use type at a density of 12.9 units per acre and complies with the provisions of the State Subdivision Map Act and the Subdivision Ordinance of the San Diego County Code;

2. The Tentative Map is consistent with the Zoning Ordinance because it proposes a residential use type in the Variable Residential (RV) Use Regulation;
3. The design and improvements of the proposed subdivision are consistent with all elements of the San Diego County General Plan and with the Alpine Community Plan, and comply with the provisions of the State Subdivision Act and the Subdivision Ordinance of the San Diego County Code;
4. The site is physically suitable for the residential type of development because it is located in an existing residential community of similar character and is located near existing infrastructure;
5. The site is physically suitable for the proposed density of development because all public facilities are available to serve the subdivision. The project has received service availability forms for water, sewer, schools and fire.
6. The design of the subdivision and the type of improvements will not cause public health problems because adequate water supply and sewage disposal services have been found to be available or can be provided concurrent with need;
7. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
8. The design of the subdivision or the type of improvements do not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision, as defined under Section 66474 of the Government Code, State of California; and

The division and development of the property in the manner set forth on the approved Tentative Map will not unreasonably interfere with the free and complete exercise of the public entity or public utility right-of-way or easement;

9. The discharge of sewage waste from the subdivision into the San Diego County Sanitation District sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the Water Code, as specified by Government Code Section 66474.6;
10. Because adequate facilities and services have been assured and adequate environmental review and documentation have been prepared, the regional housing opportunities afforded by the subdivision outweigh the impacts upon the public service needs of County residents and fiscal and environmental resources; and

11. Determinations and findings pursuant to the California Environmental Quality Act, the Resource Protection Ordinance, and the Watershed Protection, Stormwater Management, and Discharge Control Ordinance have been made by the Planning Commission.

MAP PROCESSING REQUIREMENTS: The final map shall comply with the following processing requirements pursuant to the Sections 81.501 through 81.517 of the Subdivision Ordinance and the Subdivision Final Map Processing Manual.

- ☐ The Final map shall show an accurate and detailed vicinity map.
- ☐ The Basis of Bearings for the Final Map shall comply with Section 81.507 of the Subdivision Ordinance.
- ☐ Prior to the approval of the Final Map by the Department of Public Works, the subdivider shall provide the Department of Public Works with a copy of the deed by which the subject property was acquired and a Final Map report from a qualified title insurance company.
- ☐ The following notes shall appear on the Final Map:
- ☐ All parcels within this subdivision have a minimum of 100 square feet of solar access for each future dwelling unit allowed by this subdivision (with the exception of Parcel[s]) as required by Section 81.401(m) of the Subdivision Ordinance.
- ☐ At the time of recordation of the Final Map, the name of the person authorizing the map and whose name appears on the SURVEYOR'S CERTIFICATE as the person who requested the map, shall be the name of the owner of the subject property.
- ☐ The public and private easement roads serving this project shall be named. The responsible party shall contact the Street Address Section of Planning & Development Services (858-694-3797) to discuss the road naming requirements for the development. Naming of the roads is necessary for the health and safety of present and future residents.

ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to the following County of San Diego, State of California, and U.S. Federal Government, Ordinances, Permits, and Requirements:

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from

adjoining premises, and shall otherwise conform to the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 10410 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Quality Management Plan (SWQMP), all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that the property owner keep the Storm Water Pollution Prevention Plan (SWPPP) onsite and updated as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013 and amended in November 2015. *Project design shall be in compliance with the new Municipal Permit regulations.*

The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below.

<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410 (N.S.), dated February 26, 2016 and BMP Design Manual. These

requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill pursuant to Section 87.201 of the County Code.

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit for any and all work within the County road right-of-way. Contact DPW/PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of DPW.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to County TIF Ordinance number 77.201 – 77.223. The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, Land Development Counter] and provide a copy of the receipt to the [PDS, Building Division Technician] at time of permit issuance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the County Noise Ordinance 36.401 et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOTICE: This project has been found to conform to the San Diego County Multiple Species Conservation Program Subarea Plan, Biological Mitigation Ordinance and

Implementing Agreement. Upon fulfillment of the requirements for permanent mitigation and management of preserved areas as outlined in Section 17.1 (A) of the County's Implementing Agreement for the Multiple Species Conservation Program (MSCP) Plan, Third Party Beneficiary Status can be attained for the project. Third party beneficiary status allows the property owner to perform "incidental take" under the State and Federal Endangered Species Acts, of species covered by the MSCP Plan while undertaking land development activities in conformance with an approval granted by the County in compliance with the County's Implementing Agreement.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten days after adoption of this Resolution, these findings and conditions may be appealed in accordance with Section 81.310 of the Subdivision Ordinance and as provided in Section 66452.5 of the Government Code. An appeal shall be filed with the appellant body and/or the Board of Supervisors within

TEN CALENDAR DAYS of the date of this Resolution AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. No Final Map shall be approved, no grading permit issues, and no building permits for model homes or other temporary uses as permitted by Section 6116 of the Zoning Ordinance shall be issued pursuant to said Tentative Map until after the expiration of the 10th day following adoption of this Resolution, or if an appeal is taken, until the appeal board has sustained the determination of this advisory body. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of adoption of this Resolution.

ON MOTION of Commissioner _____, seconded by Commissioner _____, this Resolution is passed and approved by the Planning Commission of the County of San Diego, State of California, at a regular meeting held on this 16th day of November, 2018, in Planning & Development Services Conference Center Hearing Room, 5520 Overland Avenue, San Diego, California, by the following vote:

AYES:

NOES:

ABSENT:

DPL/WP 001-TM (06/29/09)

cc: Richard Bonjorno, 1469 Marshall Road, Alpine, CA 91901
Larry Walsh, Walsh Engineering & Surveying, Inc., 607 Aldwych Road, El Cajon, CA 92020

email cc:
Ken Brazell, Project Manager, Planning & Development Services, Land Development
Ashley Smith, Planning Manager, Planning & Development Services

**Attachment C – Form of Decision
Approving PDS2017-STP-17-039**



County of San Diego

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
www.sdcountry.ca.gov/pds

KATHLEEN FLANNERY
ASSISTANT DIRECTOR

November 16, 2018

PERMITEE:	RICHARD BONJORNO
SITE PLAN NO.:	PDS2017-STP-17-039
E.R. NUMBER:	PDS2017-ER-17-14-010
PROPERTY:	1460 MARSHALL ROAD, ALPINE
APN(S):	403-271-20 & -21

FORM OF DECISION

This Site Plan for Marshall Road Tentative Map consists of 10 sheets including plot plans, floor plans, and elevations dated September 21, 2018. This permit, along with Tentative Map No. 5621, authorizes the development of 23 condominium units on one common lot. This Site Plan has been reviewed and approved for the "B" Designator requirements for community design review pursuant to the Alpine Design Review Guidelines.

SITE PLAN EXPIRATION: This Site Plan shall expire concurrently with Tentative Map, PDS2017-TM-5621 except where construction and/or use of the property in reliance on this permit has commenced. Recordation of a Final Map pursuant to Tentative Map, PDS2017-TM-5621 and completion of (or entry into agreements to construct where permitted) all required improvements shall be deemed to establish such construction and/or use in reliance; provided, however, that the period within which such construction and/or use must be commenced may be extended as provided by Section 7168.

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions shall be established before the property can be used in reliance upon this Site Plan. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

1. GEN#1 – COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO]

INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior

to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.

2. GEN#2 – RECORDATION OF DECISION: [PDS], [GP, CP, BP, UO]

INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an 'all purpose acknowledgement' and return the original Recordation Form to PDS. **DOCUMENTATION:** Signed and notarized original Recordation Form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

3. STRMWTR#1–STORMWATER MAINTENANCE DOCUMENTATION

INTENT: In order to promote orderly development and to comply with the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq., the maintenance agreements shall be completed. **DESCRIPTION OF REQUIREMENT:** To the satisfaction of the Director of PDS, complete the following:

Process a Stormwater Facilities Maintenance Agreement (SWMA) to assure maintenance of the Category 2 Structural BMPs and provide security to back up the maintenance pursuant to the County Maintenance Plan Guidelines to the satisfaction of the Director of DPW and/or PDS. The SWMA shall be signed and notarized by the applicant and recorded by the County.

DOCUMENTATION: The applicant shall process the agreement forms with [PDS, LDR] and pay the deposit and applicable review fees. **TIMING:** Prior to approval of any plan and recordation of the Final Map, execution of the agreements and securities shall be completed. **MONITORING:** The [PDS, LDR] shall review the agreements/mechanisms for consistency with the condition and County Standards.

4. STRMWTR#2–EROSION CONTROL

INTENT: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the State Construction General Permit, Order No. 2009-00090-DWQ, or subsequent order and the County Watershed Protection Ordinance (WPO) No.10410, County Code Section 67.801 et. seq. and all other applicable ordinances and standards for this priority project. **DESCRIPTION OF REQUIREMENT:** The applicant shall maintain the appropriate on-site and offsite Best Management Practices pursuant to the approved Stormwater Management Plan (SWMP) and Erosion Control Plan including, but not limited to the erosion control measures, irrigation systems, slope protection, drainage systems, desilting basins, energy dissipators, and silt control measure.

- a. An agreement and instrument of credit shall be provided pursuant to Subdivision Ordinance 81.408, for an amount equal to the cost of this work as determined or approved by the [PDS, LDR], in accordance with the County of San Diego Grading Ordinance Section 87.304(e). The cash deposit collected for grading, per the grading ordinance, will be used for emergency erosion measures. The developer shall submit a letter to [PDS, LDR] authorizing the use of this deposit for emergency measures.
- b. An agreement in a form satisfactory to County Counsel shall accompany the Instrument of Credit to authorize the County to unilaterally withdraw any part of or all the Instrument of Credit to accomplish any of the work agreed to if it is not accomplished to the satisfaction of the County PDS and/or DPW by the date agreed.

DOCUMENTATION: The applicant shall provide the letter of agreement and any additional security and/or cash deposit to the [PDS, LDR]. **TIMING:** Prior to recordation of the Map, and the approval of any plan and the issuance of any permit, the agreement and securities shall be executed. **MONITORING:** The [PDS, LDR] shall ensure that the agreement and the securities provided adequately satisfy the requirements of the conditions to potentially perform the required erosion control and stormwater control measures proposed on all construction and grading plans. [DPW, PDCI] shall use the securities pursuant to the agreement to implement and enforce the required stormwater and erosion control measures pursuant to this condition during all construction phases as long as there are open and valid permits for the site.

GRADING PERMIT: *(Prior to approval of any grading and or improvement plans and issuance of any Grading or Construction Permits).*

5. **GEN#3 – STRUCTURE REMOVAL: [PDS, PCC] [GP, IP, MA] [PDS, FEE] INTENT:** In order to comply with County Zoning Ordinance Section 4800, the structure(s) on site shall be removed, relocated onsite, or demolished. **DESCRIPTION OF REQUIREMENT:** The structures located on-site as shown on the approved Tentative Map have been removed, or demolished.

- a. Evidence shall be a signed stamped statement from a registered professional; Engineer, Surveyor, or Contractor, which states, that the structures have been removed, relocated onsite, or demolished. The letter report shall also include before and after pictures of the area and structures.
- b. A Demolition Permit shall be obtained from the [PDS Building Division]. Compliance with conditions and to determine the presence or absence of Lead Based Paints and or Asbestos shall be completed before any demolition permit can be issued.

DOCUMENTATION: The applicant shall submit to the [PDS, PCC] the signed statement and the photographic evidence that the structures have been removed, relocated, or demolished pursuant to this condition. **TIMING:** Prior to issuance of any permit (excluding demolition permit), the applicant shall comply with this condition.

MONITORING: The [PDS, PCC] shall review the statement and, photos, and any additional evidence for compliance with this condition.

6. **PLN#1 – PLAN CONFORMANCE:** [DPW, ESU] [GP, IP,] [DPR, TC, PP] **INTENT:** In order to implement the required avoidance measures for the project, the required Site Plan shall conform to the approved Preliminary Grading Plan pursuant to Section 87.207 of the County Grading Ordinance. **DESCRIPTION OF REQUIREMENT:** The Site Plan shall conform to the approved Preliminary Grading Plan. All conditions, requirements, and information stated on the sheets of the plans shall be made conditions of the permit's issuance and shall be implemented pursuant to this Permit. No deviation of the requirements can be made without modification of this permit. **DOCUMENTATION:** The applicant shall submit the grading plans and improvement plans, which conform to the preliminary grading plan for the project. **TIMING:** Prior to approval of any grading or improvement plan and prior to issuance of any grading or construction permit, the notes and items shall be placed on the plans as required. **MONITORING:** The [DPW, Environmental Services Unit Division, DPR, TC, or PDS, Building Division for Minor Grading] shall verify that the grading and or improvement plan requirements have been placed on the final grading and or improvement plans as applicable. The avoidance notes shall be made conditions of the issuance of said grading or construction permit.

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

7. **PLN#2 – INSPECTION FEE:** [PDS, ZONING][PDS, PCO] [UO][DPR, TC, PP]. **Intent:** In order to comply with Zoning Ordinance Section 7362.e the Discretionary Inspection Fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the Discretionary Permit Inspection Fee at the [PDS, Zoning Counter] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [PDS, PCC]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, Zoning Counter] shall process an invoice and collect the fee for the Use Permit Compliance Inspection Fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.
8. **PLN#3 – SITE PLAN IMPLEMENTATION:** [PDS, BI] [UO] [DPR, TC, PP]. **INTENT:** In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes, but is not limited to: improving all parking areas, trails, parks and driveways, installing all required design features, painting all structures with the approved colors, trash enclosures are properly screened, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, Building

Inspector] and DPR [TC, PP] shall inspect the site for compliance with the approved Building Plans.

9. **LNDSCP#1—CERTIFICATION OF INSTALLATION**

INTENT: In order to provide adequate Landscaping that provides drought tolerant plant species, and to comply with the COSD Water Efficient Landscape Design Manual, the COSD Water Conservation in Landscaping Ordinance, the COSD Parking Design Manual, the COSD Grading ordinance, and the Alpine Design Guidelines all landscaping shall be installed. **DESCRIPTION OF REQUIREMENT:** All of the landscaping shall be installed pursuant to the approved Landscape Documentation Package. This does not supersede any erosion control plantings that may be applied pursuant to Section 87.417 and 87.418 of the County Grading Ordinance. These areas may be overlapping, but any requirements of a grading plan shall be complied with separately. The installation of the landscaping can be phased pursuant to construction of specific buildings or phases to the satisfaction of the [PDS, LA, PCC] [DPR, TC, PP]. **DOCUMENTATION:** The applicant shall submit to the [PDS LA, PCC], a Landscape Certificate of Completion from the project California licensed Landscape Architect, Architect, or Civil Engineer, that all landscaping has been installed as shown on the approved Landscape Documentation Package. The applicant shall prepare the Landscape Certificate of Completion using the Landscape Certificate of Completion Checklist, PDS Form #406. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the landscaping shall be installed. **MONITORING:** The [PDS, LA] shall verify the landscape installation upon notification of occupancy or use of the property, and notify the [PDS, PCC] [DPR, TC, PP] of compliance with the approved Landscape Documentation Package.

ONGOING: *(Upon establishment of use the following conditions shall apply during the term of this permit).*

10. **PLN#4 – SITE CONFORMANCE: [PDS, PCO] [OG] [DPR, TC, PP].**

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes, but is not limited to maintaining the following: all parking, trails, parks and driveways areas, watering all landscaping at all times, painting all necessary aesthetics design features, and all lighting wall/fencing and required signage. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

11. **PLN#5 – ACCESSORY USES: [PDS, PCO, BPPR] [OG].**

INTENT: A Minor Deviation or Modification to a Site Plan is not required for any building, structure or projection listed in Section 4835 or any use listed in the Accessory

Use Regulations, section 6150-6199 (or as otherwise referenced), provided the building, structure, or projection or use meets the specific accessory use setbacks in the Site Plan and meets all other conditions and restriction in the Site Plan. This condition is intended to comply with Zoning Ordinance Section 7175, ensuring the ability to allow for structures as detailed in this section without Minor Deviation or Modification. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s); should any accessory uses be proposed that do not meet the requirements as detailed in the Zoning Ordinance sections listed above, the property owner shall be responsible for obtaining all necessary permits. **DOCUMENTATION:** None. The property owner and permittee shall conform to the Zoning Ordinance requirements for Accessory Uses as detailed above and within the County Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

12.ROADS#1 – PRIVATE ROAD MAINTENANCE: [DPW, LDR] [BP, IP, GP, UO].

INTENT: In order to ensure that the offsite private roads are maintained and not damaged during construction, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for maintenance and repair, in case of damage caused by this project to the on-site and off-site private roads that serve the property during either construction or subsequent operations. **DOCUMENTATION:** The applicant shall assume responsibility pursuant to this condition. **TIMING:** Upon establishment of use, the following conditions shall apply during the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

.....
SITE PLAN FINDINGS

- a. That the proposed development meets the intent and specific standards and criteria prescribed in Sections 5750 and 7150 of The Zoning Ordinance because the development is compatible with adjacent land uses and design standards specified in the Alpine Community Plan and Alpine Design Guidelines.
 - b. That the proposed development is compatible with the Alpine Community Plan and Design Guidelines because the project has been designed to conform to the goals and policies set forth in those plans.
 - c. That any applicable standards or criteria waived by the Director pursuant to Section 7158d have been or will be fulfilled by the condition or conditions of a Use Permit or Variance. No standard or criteria has been waived.
-

ORDINANCE COMPLIANCE AND NOTICES: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to

reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (SDRWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance No. 10410 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below.
<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410 (N.S.), dated February 26, 2016 and BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

GRADING PERMIT: A grading permit is required prior to commencement of grading when quantities exceed 200 cubic yards of excavation or eight feet (8') of cut/fill per criteria of Section 87.202 (a) of the County Code.

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3284, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of DPW.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to County TIF Ordinance number 77.201 – 77.223. The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the County Noise Ordinance 36.401 et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		

Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Director, the decision may be appealed to the Board of Supervisors in accordance with Section 7166 of the County Zoning Ordinance. An appeal shall be filed with the Secretary of the Board of Supervisors within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

PLANNING & DEVELOPMENT SERVICES
MARK WARDLAW, DIRECTOR

BY:

Ashley Smith, Planning Manager
Project Planning Division

cc: Richard Bonjorno, 1469 Marshall Road, Alpine, CA
Larry Walsh, Walsh Engineering & Surveying, Inc., 607 Aldwych Road, El Cajon, CA 92020

email cc:

Ken Brazell, Team Leader, Land Development, PDS
Denise Russell, Project Manager, Project Planning, PDS
Alpine CPG

Attachment D – Environmental Documentation

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
Attn: James Scott
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. 0650
Attn: Project Planning Division Section Secretary

SUBJECT: FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152

Project Name: Marshall Road Tentative Map PDS2017-TM-5621; PDS2017-ER-17-14-010

Project Location: 1460 Marshall Road, Alpine, CA in the Alpine Community Plan Area (APNs 403-271-20 & -21).

Project Applicant: Richard Bonjorno, 1469 Marshall Road, Alpine, CA 91901 (619-379-9120)

Project Description: The project proposes a Tentative Map (TM) consisting of a 23-unit condominium development on one 1.78 acre common lot. The site is located on Marshall Road between Marshall Way and Alpine Boulevard. Access to the site is provided from a proposed private road connecting to Marshall Road. The project site is zoned Variable Residential (RV) and is subject to Village Residential (VR-15) Land Use Designation. The project is consistent with density and lot size requirements of the General Plan and Zoning Ordinance. Water would be provided by the Padre Dam Municipal Water District. Sewer would be provided by the San Diego County Sanitation District.

Agency Approving Project: County of San Diego

County Contact Person: Denise Russell; 858-694-2019

Date Form Completed: November 16, 2018

This is to advise that the County of San Diego Planning Commission has approved the above described project on November 16, 2018, Item #2 and found the project to be exempt from the CEQA under the following criteria:

- Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)
 - ☐ Declared Emergency [C 21080(b)(3); G 15269(a)]
 - ☐ Emergency Project [C 21080(b)(4); G 15269(b)(c)]
 - ☐ Statutory Exemption. C Section:
 - ☒ Categorical Exemption. G Section: 15315
 - ☐ G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.
 - ☐ G 15182 - Residential Projects Pursuant to a Specific Plan
 - ☐ G 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning
 - ☐ Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
- Mitigation measures ☐ were ☒ were not made a condition of the project.
- A Mitigation reporting or monitoring plan ☐ was ☒ was not adopted for this project.

Statement of reasons why project is exempt: The project has been determined to be CEQA exempt under CEQA Guidelines Section 15315, Minor Land Divisions. The site is located within an urbanized area as defined by the U.S. Census Bureau, is zoned Variable Family Residential (RV), and has a Village Residential (VR-15) General Plan land use designation. The proposed project is therefore consistent with the General Plan and existing zoning for the site. The project would use existing sewer and imported water from the Padre Dam Municipal Water District, and would develop a 24' private road connecting to Marshall Road for access. The parcels have not been involved in a larger subdivision in the past. The average slope of the property is 14 percent and, therefore, does not exceed 20 percent.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: _____ Telephone: (858) 694-2019

Name (Print): Denise Russell Title: Land Use/Environmental Planner

This Notice of Exemption has been signed and filed with the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.

REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH ORDINANCES/POLICIES

FOR PURPOSES OF CONSIDERATION OF
Marshall Road Tentative Map and Site Plan
PDS2017-TM-5621 & PDS2017-STP-17-039
PDS2017-ER-17-14-010

November 16, 2018

I. HABITAT LOSS PERMIT ORDINANCE – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES
☐

NO
☐

NOT APPLICABLE/EXEMPT
☒

The proposed project and any off-site improvements are located within the boundaries of the Multiple Species Conservation Program. Therefore, conformance to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings is not required.

II. MSCP/BMO - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES
☒

NO
☐

NOT APPLICABLE/EXEMPT
☐

Staff has determined the proposed project is exempt from the California Environmental Quality Act pursuant to CEQA Section 15315. Projects found to be exempt from CEQA are also exempt from the County's Biological Mitigation Ordinance (Section 86.503(a)(1)). Therefore, the project is not subject to the requirements of the Biological Mitigation Ordinance. However, no project within the MSCP County Subarea Plan, regardless of exemption status, may conflict or otherwise hinder the MSCP preserve system. Staff completed a finding of conformance with the MSCP Subarea Plan dated November 16, 2018. This finding explains how the project will not conflict with the goals of the MSCP.

III. GROUNDWATER ORDINANCE - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES
☐

NO
☐

NOT APPLICABLE/EXEMPT
☒

The project will obtain its water supply from the Padre Dam Municipal Water District which obtains water from surface reservoirs and/or imported sources. The project will not use any groundwater for any purpose, including irrigation or domestic supply.

IV. RESOURCE PROTECTION ORDINANCE - Does the project comply with:

The wetland and wetland buffer regulations (Sections 86.604(a) and (b)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Sections 86.604(c) and (d)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Steep Slope section (Section 86.604(e))?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

Wetland and Wetland Buffers: The site contains no wetland habitats as defined by the San Diego County Resource Protection Ordinance. The site does not have a substratum of predominately undrained hydric soils, the land does not support, even periodically, hydric plants, nor does the site have a substratum that is non-soil and is saturated with water or covered by water at some time during the growing season of each year. Therefore, it has been found that the proposed project complies with Sections 86.604(a) and (b) of the Resource Protection Ordinance.

Floodways and Floodplain Fringe: The project is not located near any floodway or floodplain fringe area as defined in the resource protection ordinance, nor is it near a watercourse plotted on any official County floodway or floodplain map.

Steep Slopes: The average slope for the property is 14 percent gradient. Slopes with a gradient of 25 percent or greater and 50 feet or higher in vertical height are required to be placed in open space easements by the San Diego County Resource Protection Ordinance (RPO). There are no steep slopes on the property, therefore, it has been found that the proposed project complies with Sections 86.604(e) of the RPO.

Sensitive Habitats: No sensitive habitat lands were identified on the site. Therefore, it has been found that the proposed project complies with Section 86.604(f) of the RPO.

Significant Prehistoric and Historic Sites: The property has been surveyed by County staff archaeologist and it has been determined that the property does not contain any archaeological/ historical sites. As such, the project complies with the RPO.

V. STORMWATER ORDINANCE (WPO) - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES

☒

NO

☐

NOT APPLICABLE

☐

The project Storm Water Management Plan has been reviewed and is found to be complete and in compliance with the WPO.

VI. NOISE ORDINANCE – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES

☒

NO

☐

NOT APPLICABLE

☐

Staff has reviewed the information provided by Walsh Engineering regarding the temporary and operational noise on site and is considered acceptable. The project is a Tentative Map consisting of a 23 unit development. The project is located in proximity to Alpine Blvd and other nearby roadways. Based on staff's review and assessment of the County GIS mapping application, the project site would fall outside of the future traffic 60 dBA CNEL noise contour line. The project subdivision is subject to the County Noise Element and must demonstrate proposed noise sensitive lots would be exposed to 60 dBA CNEL or less. Staff does not anticipate future traffic to exceed 60 dBA CNEL requirement for the proposed lots.

Additionally, the project is also subject to the County Noise Ordinance. Temporary construction noise is subject to Sections 36.408, 409, and 410. Grading of the site would be comprised of approximately a balance cut and fill of 5,500 cubic yards of materials. Grading activities will be completed in one phase. Construction work would be limited to Monday through Saturday between 7a.m. to 6 p.m. Blasting and/or rock crushing is not proposed. Therefore, due to construction equipment operations being temporary in nature, no materials processing and blasting proposed, staff does not anticipate noise levels to exceed the 75 dBA eight- hour average at the boundary line of an occupied residence. The project demonstrates Noise Ordinance compliance and conformance to the County Noise Element.



County of San Diego, Planning & Development Services
Project Planning Division

To: File
From: Denise Russell, Project Manager

RE: Conformance with the MSCP Subarea Plan, Marshall Road Tentative Map;
PDS2017-TM-5621 & PDS2017-STP-17-039; APNs 403-271-20 & -21

The applicant proposes a Tentative Map (TM) consisting of a 23-unit condominium development on one 1.78 acre common lot. The project site is located within the Metro-Lakeside-Jamul segment of the County's Multiple Species Conservation Program.

Staff has determined the proposed project is exempt from the California Environmental Quality Act pursuant to CEQA Section 15315. Projects found to be exempt from CEQA are also exempt from the County's Biological Mitigation Ordinance (Section 86.503 (a)(1)). Therefore, the project is not subject to the requirements of the Biological Mitigation Ordinance. However, no project within the MSCP County Subarea Plan, regardless of exemption status, may conflict or otherwise hinder the MSCP preserve system.

The project is consistent with the MSCP Subarea Plan because the project site does not support sensitive habitat or wildlife, surrounding land uses include dense development, and the site does not support any features that might encourage wildlife movement, such as well-vegetated drainage, streams, or creeks. The site is not within a core, linkage, Pre-Approved Mitigation Area, Preserve Area or other highly sensitive areas as designated by the MSCP.

Based on the above facts, staff has determined that the proposed project will not hinder or conflict with the County Subarea Plan. No take authorization for incidental or deliberate impacts to state or federally listed species is granted with this determination. While no impacts to listed species are anticipated based on staff's review of the project, the applicant is responsible for ensuring that none occur and/or appropriate authorization has been obtained.

Attachment E – Environmental Findings

MARSHALL ROAD TENTATIVE MAP AND SITE PLAN
PERMIT NO.: PDS2017-TM-5621; PDS2017-STP-17-039
ENVIRONMENTAL LOG: PDS2017-ER-17-14-010

ENVIRONMENTAL FINDINGS

November 16, 2018

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15315 for the reasons stated in the Notice of Exemption.
2. Find that the proposed project is consistent with the Resource Protection Ordinance (County Code, section 86.601 et seq.).
3. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management and Discharge Control Ordinance (County Code, section 67.801 et seq.).
4. Find that the project is consistent with the Multiple Species Conservation Plan (MSCP), the County Subarea Plan and the Biological Mitigation Ordinance (County Code, section 86.501 et seq.) as explained in the MSCP Conformance Statement dated November 16, 2018 on file with Planning & Development Services as Environmental Review Number PDS2017-ER-17-14-010.

Attachment F – Service Availability Forms



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - FIRE
 ZONING DIVISION

ALPINE
 FIRE
 DEPT.
 28

Please type or use pen

Richard Bonjorno	619-379-9120	ORG _____	F
Owner's Name	Phone	ACCT _____	
1469 Marshall Road		ACT _____	
Owner's Mailing Address	Street	TASK _____	
Alpine	CA 91901	DATE _____	
City	State	Zip	AMT \$ _____

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. ☐ Major Subdivision (TM) ☐ Specific Plan or Specific Plan Amendment
☐ Minor Subdivision (TPM) ☐ Certificate of Compliance: _____
☐ Boundary Adjustment
☐ Rezone (Reclassification) from _____ to _____ zone.
☐ Major Use Permit (MUP), purpose: _____
☐ Time Extension... Case No. _____
☐ Expired Map... Case No. _____
☒ Other Tentative Map: Condo Conversion
- B. ☒ Residential Total number of dwelling units 23
☐ Commercial Gross floor area _____
☐ Industrial Gross floor area _____
☐ Other Gross floor area _____
- C. Total Project acreage 1.86 Total lots 1 Smallest proposed lot _____

Assessor's Parcel Number(s)
 (Add extra if necessary)

403-271-20

403-271-21

Thomas Guide. Page 1234 Grid B6

1460 Marshall Road

Project address

Street

Alpine

91901

Community Planning Area/Subregion

Zip

OWNER/APPLICANT AGREES TO COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: _____

Date: _____

Address: 1469 Marshall Road, Alpine, CA 91901

Phone: 619-379-9120

(On completion of above, present to the district that provides fire protection to complete Section 2 and 3 below.)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District Name: ALPINE FIRE PROTECTION DISTRICT

Indicate the location and distance of the primary fire station that will serve the proposed project:

1364 TAVERN RD ALPINE, CA - 2 MILES EAST OF STATION

- A. ☒ Project is in the District and eligible for service.
☐ Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation.
☐ Project is not in the District and not within its Sphere of Influence boundary.
☐ Project is not located entirely within the District and a potential boundary issue exists with the _____ District.
- B. ☒ Based on the capacity and capability of the District's existing and planned facilities, fire protection facilities are currently adequate or will be adequate to serve the proposed project. The expected emergency travel time to the proposed project is _____ minutes.
- C. ☐ Fire protection facilities are not expected to be adequate to serve the proposed development within the next five years.
☒ District conditions are attached. Number of sheets attached: _____
☐ District will submit conditions at a later date.

SECTION 3. FUELBREAK REQUIREMENTS

Note: The fuelbreak requirements prescribed by the fire district for the proposed project do not authorize any clearing prior to project approval by Planning & Development Services.

- ☒ Within the proposed project 100' feet of clearing will be required around all structures.
☐ The proposed project is located in a hazardous wildland fire area, and additional fuelbreak requirements may apply. Environmental mitigation requirements should be coordinated with the fire district to ensure that these requirements will not pose fire hazards.

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is 10-11-19, withdrawn, unless a shorter expiration date is otherwise noted.

X EXPIRES 1 YEAR DATE SIGNED.

John M. Brown
 Authorized Signature

JASIN M. BROWN F. M.
 Print Name and Title

6194452635
 Phone

10-11-18
 Date

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services - Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123



ALPINE FIRE PROTECTION DISTRICT

1364 Tavern Rd., Alpine CA 91901-3831 (619) 445-2635 Fax (619) 445-2634 www.alpinefire.org

RESIDENTIAL & MISCELLANEOUS COST RECOVERY SCHEDULE 2018-2019

Date: 10/11/2018 CPC: TM

APN: 403-271-20
403-271-21

AFD:

Owner: RICHARD BONJANO

Contact/ Phone:

Project Location: 1469 MARSHALL RD.

MISCELLANEOUS			
Carnivals and Fairs - inspection (Non profit organization-No fee)		\$ 63.00	\$
Christmas Tree Lot - inspection		\$ 63.00	\$
Fire Protection Plan (shall be charged hourly) Short or Long Form		\$ 63.00	\$
Pyrotechnical special effects (* billed hourly, 1 hr. minimum) - includes inspection		\$ 116.00	\$
Special Events and Fire Watch (* shall be charged hourly per firefighter) (2 hr. minimum)		\$ 150.00	\$
Tents, canopies, special events and temporary membrane includes inspection		\$ 63.00	\$

Organizations registered with the State of California as exempt with non-profit status are exempt from permit costs, however they shall comply with all District requirements. When a Fire Watch is required, and the District provides such personnel, the District shall be reimbursed the employee's wages and a 25% administrative cost. All hourly costs shall be a minimum of one hour and there after billed up to the closest quarter hour.

PLAN REVIEW			
Plan review costs include two meetings with proponent. The District shall be reimbursed the employee's wages and a 25% administrative cost for each additional meeting. All hourly costs shall be a minimum of one hour and there after billed up to the closest quarter hour.			
Administrative Letters		\$ 63.00	\$
False Alarms (Charged per hour after 3 false alarms within a 12 month period. Minimum 1 hour)		\$ 314.00	\$
Grading Plan, Residential Solar Installation		\$ 63.00	\$
Mobile Home Park (includes conditions letter & 2 meetings) site inspection; final inspection, map update		\$ 557.00	\$
Plan Revisions (* shall be charged hourly)		\$ 63.00	\$
Residential Care Facilities - includes inspection		\$ 188.00	\$
Service Availability Letter - includes map review and conditions letter	K	\$ 125.00	\$ 125.00
Subdivision Revisions (* shall be charged hourly)		\$ 63.00	\$
TM - Large Subdivision - includes improvement plan review (up to 8 hrs) (* > 8 hrs = hourly.) site visit, mapping		\$ 602.00	\$
TPM - Small Subdivision - Includes review of improvement plan and site visit, map update		\$ 494.00	\$
Underground Utilities (includes 1 inspection, hydro & flush		\$ 252.00	\$
Zoning Variance or Plot Plan - Residential		\$ 188.00	\$

PLAN CHECK - RESIDENTIAL			
0 - 1500 sq. ft. - includes emergency response map update, site inspection & final inspection		\$ 166.00	\$
1501 - 3000 sq. ft. - includes emergency response map update, site inspection & final inspection		\$ 182.00	\$
3001 - 4500 sq. ft. - includes emergency response map update, site inspection & final inspection		\$ 188.00	\$
4501 sq. ft and up (plus .05 cents per sq. ft in excess of 4500) - map update, site & final inspection		\$ 199.00	\$
Accessory Buildings (Detached Garage, Barn, Storage, etc) - includes site visit		\$ 160.00	\$

FIRE PROTECTION SYSTEMS			
Fire Alarm - includes rough & final inspection		\$ 191.00	\$
Plan re-submittals (*shall be charged hourly)		\$ 63.00	\$
Residential Sprinkler System - includes hydro & final inspection		\$ 160.00	\$
Tenant Improvement Sprinkler Plan review for 25 heads or less - includes inspection		\$ 128.00	\$
Tenant Improvement Sprinkler Plan review for over 25 heads - includes inspection		\$ 191.00	\$

RE-INSPECTION			
The District shall charge re-inspection costs when the project fails an inspection. Re-inspection costs shall apply to Commercial/Industrial/Residential construction, Sprinkler Systems, Fire Alarm Systems, Fire Extinguishing Systems and other mandated inspections. (*shall be charged hourly)		\$ 63.00	\$

ADMINISTRATIVE			
Document reproduction; Fire Reports, Inspection Records, Medical Records, etc (\$20.00 for the first 10 pages, plus \$1.00 per additional page)		\$	\$
Certified document reproduction (\$30.00 for the first 10 pages, plus \$1.00 per additional page.)		\$	\$
Photographs (\$10.00 first photo, and \$1.00 for each additional photo per order)		\$	\$
Returned check fee (Minimum \$25.00 or three times the amount of the check, whichever is greater.)		\$	\$
Administrative late fee, after 3rd billing or 90 days		\$ 25.00	\$
Interest Rate (Accounts ninety (90) days past due shall be assessed at 1.5% monthly, equaling 18% per annum.)		\$	\$

*Hourly cost shall be calculated at current salary/s including all benefit costs and billed per hour with a minimum of one hour and billed there after upward to the closest quarter hour. Apparatus will be billed per hour with a minimum of one hour and billed there after upward to the closest quarter hour per the current California Fire Assistance Agreement. All invoices shall include a 25% administrative charge to cover the cost of, but not limited to: utilities, phone/fax, computers, software, vehicles and District Administration.

TOTAL FEES DUE: \$ 125.00

By: [Signature]

Title: Eric Marshall

Date: 10-11-2018

PAYMENT INFO: ☒ Check #3805 ☐ Cash • Date Paid: 10/11/18

Received by: [Signature]



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - WATER
 ZONING DIVISION

Please type or use pen

Richard Bonjorno Owner's Name	619-379-9120 Phone	ORG _____	W
1469 Marshall Road Owner's Mailing Address	Street	ACCT _____	
Alpine City	CA 91901 State Zip	ACT _____	
		TASK _____	
		DATE _____ AMT \$ _____	

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION**TO BE COMPLETED BY APPLICANT**

- A. ☐ Major Subdivision (TM) ☐ Specific Plan or Specific Plan Amendment
☐ Minor Subdivision (TPM) ☐ Certificate of Compliance: _____
☐ Boundary Adjustment
☐ Rezone (Reclassification) from _____ to _____ zone.
☐ Major Use Permit (MUP), purpose: _____
☐ Time Extension... Case No. _____
☐ Expired Map... Case No. _____
☒ Other Tentative Map: Condo Conversion

Assessor's Parcel Number(s)
 (Add extra if necessary)

403-271-20	403-271-21

- B. ☒ Residential Total number of dwelling units 23
☐ Commercial Gross floor area _____
☐ Industrial Gross floor area _____
☐ Other Gross floor area _____

- C. ☒ Total Project acreage 1.86 Total number of lots 1

- D. Is the project proposing the use of groundwater? ☐ Yes ☒ No
 Is the project proposing the use of reclaimed water? ☐ Yes ☒ No

Thomas Guide Page 1234 Grid B6
 1460 Marshall Road
 Project address Street
 Alpine 91901
 Community Planning Area/Subregion Zip

Owner/Applicant agrees to pay all necessary construction costs, dedicate all district required easements to extend service to the project and
COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature: _____ Date: 10/10/18

Address: 1469 Marshall Road, Alpine, CA 91901 Phone: 619-379-9120

(On completion of above, present to the district that provides water protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY**TO BE COMPLETED BY DISTRICT**

Letter expires 10/15/2019

District Name: PADRE DAM MWD Service area ESA

- A. ☒ Project is in the district.
☐ Project is not in the district but is within its Sphere of influence boundary, owner must apply for annexation.
☐ Project is not in the district and is not within its Sphere of Influence boundary.
☐ The project is not located entirely within the district and a potential boundary issue exists with the _____ District.
- B. ☒ Facilities to serve the project ☒ ARE ☐ ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached _____. (Number of sheets)
☐ Project will not be served for the following reason(s): _____
- C. ☒ District conditions are attached. Number of sheets attached: 2
☐ District has specific water reclamation conditions which are attached. Number of sheets attached: _____
☐ District will submit conditions at a later date.
- D. ☐ How far will the pipeline(s) have to be extended to serve the project? _____

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized Signature: Cheryl Brugman Print Name Cheryl Brugman

Print Title Senior Engineering Technician Phone 619.258.4635 Date 10/15/2018

NOTE: THIS DOCUMENT IS NOT A COMMITMENT OF SERVICE OR FACILITIES BY THE DISTRICT

On completion of Section 2 and 3 by the District, applicant is to submit this form with application to:
 Planning & Development Services - Zoning Counter, 5510 Overland Ave, Suite 110, San Diego, CA 92123





9300 Fanita Parkway, Santee
619-258-4635

**WATER AVAILABILITY ATTACHMENT
CONDITIONS OF APPROVAL**

PROJECT NAME Marshall Road Condo Project FOR 23 Condo Units MAP NUMBER _____

A.P.N.(s) 403-271-20 and 21

FACILITIES

- ☒ [X] Pay for all installation and capacity fees for each meter connection, each lot, or each building. (As determined by project need prior to District providing service or an unconditional commitment letter)
- ☒ [X] Install private/public potable water and sewer lines with the required separation as determined by the Health Department and Padre Dam.

Padre Dam does not require that all lots be connected to the public water system. Alternate sources of water are under the jurisdiction of the County of San Diego, or the City of Santee.

EASEMENTS

- ☒ [X] Developer shall dedicate to Padre Dam all necessary easements for that portion of the water system which is to be public.

FACILITY COMMITMENT

- ☒ [X] Adequate water facility commitment shall be committed prior to final project approval/map recordation and shall be available concurrent with project need. Unconditional Facility Commitment form will be signed upon payment of capacity and meter fees.

SPECIAL CONDITIONS

- ☒ [X] The onsite water system shall be private.
- ☒ [X] All existing water services not used as part of the project will be abandoned by PDMWD at developer's expense.
- ☒ [X] Existing services serving Marshall Way may need to be relocated at Developer expense, including the reconnection of the private side of the service.

Approved by: Cheryl Brugman

Date: 10/15/18



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SEWER
 ZONING DIVISION

2017-38

Please type or use pen

Richard Bonjomo 619-379-9120
 Owner's Name Phone

1469 Marshall Road
 Owner's Mailing Address Street

Alpine CA 91901
 City State Zip

ORG _____
 ACCT _____
 ACT DPWWWDPOSSAL
 TASK _____
 DATE _____ AMT \$ 15⁰⁰

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION

TO BE COMPLETED BY APPLICANT

- A. ☐ Major Subdivision (TM) ☐ Certificate of Compliance
☐ Minor Subdivision (TPM) ☐ Boundary Adjustment
☐ Specific Plan or Specific Plan Amendment
☐ Rezone (Reclassification) from _____ to _____ zone
☐ Major Use Permit (MUP), purpose: _____
☐ Time Extension, Case No. _____
☐ Expired Map, Case No. _____
☒ Other Tentative Major Condo Conversion

Assessor's Parcel Number(s)
 (Add extra if necessary)

403-271-20	403-271-21

- B. ☒ Residential Total number of dwelling units 23
☐ Commercial Gross floor area _____
☐ Industrial Gross floor area _____
☐ Other Gross floor area _____

Thomas Guide Page 1234 Grid B6

- C. Total Project acreage 1.86 Total lots 1 Smallest proposed lot _____

1460 Marshall Road

- D. Is the project proposing its own wastewater treatment plant? ☐ Yes ☒ No
 Is the project proposing the use of reclaimed water? ☐ Yes ☒ No

Project address Street

Alpine 91901

Community Planning Area/Subregion Zip

Owner/Applicant agrees to pay all necessary construction costs and dedicate all district required easements to extend service to the project.
 OWNER/APPLICANT MUST COMPLETE ALL CONDITIONS REQUIRED BY THE DISTRICT.

Applicant's Signature _____ Date 9/18/17

Address 1469 Marshall Road, Alpine, CA 91901 Phone 619-379-9120

(On completion of above, present to the district that provides sewer protection to complete Section 2 below)

SECTION 2: FACILITY AVAILABILITY

TO BE COMPLETED BY DISTRICT

District name SAN DIEGO COUNTY SANITATION Service area ALPINE

- A. ☒ Project is in the District
☐ Project is not in the District but is within its Sphere of Influence boundary, owner must apply for annexation
☐ Project is not in the District and is not within its Sphere of Influence boundary
☐ Project is not located entirely within the District and a potential boundary issue exists with the _____ District

- B. ☒ Facilities to serve the project ☒ ARE ☐ ARE NOT reasonably expected to be available within the next 5 years based on the capital facility plans of the district. Explain in space below or on attached. Number of sheets attached _____
☐ Project will not be served for the following reason(s) _____

- C. ☐ District conditions are attached. Number of sheets attached: _____
☐ District has specific water reclamation conditions which are attached. Number of sheets attached: _____
☒ District will submit conditions at a later date.

- D. ☒ How far will the pipeline(s) have to be extended to serve the project? PRIVATE PUMP & FORCE MAIN REQUIRED

This Project Facility Availability Form is valid until final discretionary action is taken pursuant to the application for the proposed project or until it is withdrawn, unless a shorter expiration date is otherwise noted.

Authorized Signature Jeff Bosway Print Name and Title JEFF BOSWAY - UNIT MGR Phone (8)694-2711 Date 9/22/17

THIS DOCUMENT IS NOT A COMMITMENT OF FACILITIES OR SERVICE BY THE DISTRICT. On completion of Section 2 by the district, applicant is to submit this form with application to Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123



PDS-399S (Rev. 01/05/2017)

SDC PDS RCVD 10-16-17

TM5621



County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SCHOOL
ZONING DIVISION

Please type or use pen
 (Two forms are needed if project is to be served by separate school districts)

Richard Bonjorno Owner's Name 1469 Marshall Road Owner's Mailing Address Alpine CA 91901 City State Zip	619-379-9120 Phone Street DISTRICT CASHIER'S USE ONLY
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Sc

SECTION 1. PROJECT DESCRIPTION **TO BE COMPLETED BY APPLICANT**

A. LEGISLATIVE ACT

☐ Rezones changing Use Regulations or Development Regulations

☐ General Plan Amendment

☐ Specific Plan

☐ Specific Plan Amendment

B. DEVELOPMENT PROJECT

☐ Rezones changing Special Area or Neighborhood Regulations

☐ Major Subdivision (TM)

☐ Minor Subdivision (TPM)

☐ Boundary Adjustment

☐ Major Use Permit (MUP), purpose: _____

☐ Time Extension... Case No. _____

☐ Expired Map... Case No. _____

☒ Other Tentative Map: Condo Conversion

C. ☒ Residential Total number of dwelling units 23

☐ Commercial Gross floor area _____

☐ Industrial Gross floor area _____

☐ Other Gross floor area _____

D. ☒ Total Project acreage 1.86 Total number lots 1

Applicant's Signature _____ Date: 9/18/17

Address 1469 Marshall Road, Alpine, CA 91901 Phone: 619-379-9120

(On completion of above, present to the district that provides school protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY **TO BE COMPLETED BY DISTRICT**

Grossmont Union High School District

District Name: _____

Indicate the location and distance of proposed schools of attendance.

Elementary _____ miles: _____

Junior/Middle _____ miles: _____

High school Granite Hills High School miles: _____

☐ This project will result in the overcrowding of the ☐ elementary ☐ junior/school ☐ high school (Check)

☐ Fees will be levied or land will be dedicated in accordance with Education Code Section 17620 prior to the issuance of building permits.

☒ Project is located entirely within the district and is eligible for service.

☐ The project is not located entirely within the district and a potential boundary issue may exist with the _____ school district.

Authorized Signature _____ 9/21/17 Print Name Rosa Rosselli

Print Title _____ Phone 619-644-8177

On completion of Section 2 by the district, applicant is to submit this form with application to:
 Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123





County of San Diego, Planning & Development Services
PROJECT FACILITY AVAILABILITY - SCHOOL
ZONING DIVISION

Please type or use pen
 (Two forms are needed if project is to be served by separate school districts.)

Richard Bonjorno 619-379-9120
 Owner's Name Phone

1469 Marshall Road
 Owner's Mailing Address Street

Alpine CA 91901
 City State Zip

ORG _____
 ACCT _____
 ACT _____
 TASK _____
 DATE _____

ELEMENTARY _____
 HIGH SCHOOL _____
 UNIFIED _____

Sc

DISTRICT CASHIER'S USE ONLY

SECTION 1. PROJECT DESCRIPTION **TO BE COMPLETED BY APPLICANT**

A **LEGISLATIVE ACT**
☐ Rezones changing Use Regulations or Development Regulations
☐ General Plan Amendment
☐ Specific Plan
☐ Specific Plan Amendment

B **DEVELOPMENT PROJECT**
☐ Rezones changing Special Area or Neighborhood Regulations
☐ Major Subdivision (TM)
☐ Minor Subdivision (TPM)
☐ Boundary Adjustment
☐ Major Use Permit (MUP), purpose _____
☐ Time Extension... Case No. _____
☐ Expired Map... Case No. _____
☒ Other Tentative Map Condo Conversion

C ☒ Residential Total number of dwelling units 23
☐ Commercial Gross floor area _____
☐ Industrial Gross floor area _____
☐ Other Gross floor area _____

D ☒ Total Project acreage 1.86 Total number lots 1

Assessor's Parcel Number(s)
 (Add extra if necessary)

403-271-20	403-271-21

Thomas Guide Page 1234 Grid B6
 1460 Marshall Road
 Project address Street
 Alpine 91901
 Community Planning Area/Subregion Zip

Applicant's Signature: _____ Date 9/18/17
 Address: 1469 Marshall Road, Alpine, CA 91901 Phone: 619-379-9120
 (On completion of above, present to the district that provides school protection to complete Section 2 below.)

SECTION 2: FACILITY AVAILABILITY **TO BE COMPLETED BY DISTRICT**

ALPINE UNION SCHOOL DISTRICT
 District Name: _____

If not in a unified district, which elementary or high school district must also fill out a form?
 GROSSMONT UNION HIGH SCHOOL DIST.

Indicate the location and distance of proposed schools of attendance: *Kindergarten - Creekside 3.7 mi *
 Elementary Alpine Elementary - 1850 Alpine Blvd. miles .7 mi
 Junior/Middle: Joan MacQueen Middle - 2001 Tavern Road miles 1.5 mi
 High School: *Kindergarten = 8818 Harbison Canyon Road, Alpine * miles _____

☐ This project will result in the overcrowding of the ☐ elementary ☐ junior/school ☐ high school. (Check)
☐ Fees will be levied or land will be dedicated in accordance with Education Code Section 17620 prior to the issuance of building permits.
☒ Project is located entirely within the district and is eligible for service
☐ The project is not located entirely within the district and a potential boundary issue may exist with the _____ School district.

Authorized Signature _____ Jennifer Nerat
 Chief Business Officer Print Name
 (619) 445-3236 x 810
 Print Title Phone

On completion of Section 2 by the district, applicant is to submit this form with application to.
 Planning & Development Services, Zoning Counter, 5510 Overland Ave. Suite 110 San Diego, CA 92123



Attachment G – Public Documentation

Alpine Community Planning Group

P.O. Box 1419, Alpine, CA 91903-1419

MEETING MINUTES

Thursday, February 22nd, 2018 at 6:00pm

Alpine Community Center | 1830 Alpine Boulevard, Alpine, CA 91901

Archived Agendas & Minutes – <http://www.sandiegocounty.gov/content/sdc/pds/gpupdate/comm/alpine.html>

A. Call to Order @ 6:00 pm

B. Invocation / Pledge of Allegiance

C. Roll Call of Members

Present:

Travis Lyon

Jim Easterling

Charles Jerney

Glenda Archer

George Barnett

Jim Lindquist (left after item G2)

Mike Milligan

Leslie Perricone

Richard Saldano

Lou Russo

Kippy Thomas

Roger Garay (arrived 6:35)

Excused:

Jennifer Martinez

Sharmin Self

Larry Watt

D. Approval of Minutes / Correspondence / Announcements

1. Approval of Minutes

i. January 25th, 2018

Motion: Jim Easterling motions to approve January 25th, 2018 minutes with amendment that motion on Item G3 was made by Lyon and 2nd by Barnett.

Second: George Barnett

Discussion: none

Vote: All members present voted yes. Motion passes.

2. ACPG Statement: The Alpine Community Planning Group was formed for the purpose of advising and assisting the Director of Planning, the Zoning Administrator, the Planning Commission and the Board of Supervisors in the preparation, amendment and implementation of community and sub-regional plans. The Alpine Community Planning Group is an advisory body only.

E. Open Discussion: Opportunity for members of the public to speak to the ACPG on any subject matter within the ACPG's jurisdiction that is not on the posted agenda.

Lou Russo announced he is running for Alpine Honorary Mayor.

Mike Milligan reported that Robie Faulkner had been following progress of the proposed Suncrest Dynamic Power Substation and would like the ACPG to address the project. Request for future agenda item.

Member of public commented in opposition to a proposed walking path or sidewalk along Huey Lane, an item on the January 2018 agenda. Group reported that no action was taken on that proposal.

F. Prioritization of this Meeting's Agenda Items

G. Organized / Special Presentations

1. The owner of a single-family residence on 8 acres located at 6150 Juergens Vista, Alpine, CA has applied for a discretionary administrative permit for an exterior wall exceeding 42" in multiple sections. Per the owner's application the wall was built to prevent intrusion and contain pets within the property. The county has requested a formal recommendation regarding this application from the Group. **Presentation, Discussion & Action.**

Motion: Jim Easterling motions to approve without conditions.

Second: Richard Saldano seconds the motion

Discussion: none

Vote: All member present voted yes. Passed 12 yes, 0 no, 3 absent. Motion Passes.

2. The owner of 2 parcels totaling 1.78 acres (APN: 403-271-20 & -21) at Marshall Road and Marshall Way has applied for a Tentative Map and Site Plan (PDS2017-TM-5621; PDS2017-STP-17-039). The project consists of a one lot subdivision with a 23-unit condominium development. The project site is located at Marshall Road and Marshall Way in the Alpine Community Planning area, within unincorporated San Diego County. The site is subject to the General Plan Regional Category Village, Land Use Designation VR-15. Zoning for the site is Urban Residential (RU). The site is developed with existing residences that would be removed. Access would be provided by a 24' wide private road connecting to Marshall Road. The project would be served by sewer and imported water from the Padre Dam Municipal Water District. The county has requested a formal recommendation regarding this project from the Group. **Presentation, Discussion & Action.**

Project architect, Larry Walsh, provided an overview of project and answered questions. Confirmed project meets county parking requirements, hammer head private road meets fire requirements. Project traffic engineer reported the net increase in daily trips does not trigger the need for a traffic study.

Motion: Jim Easterling motions to approve project without conditions.

Second: George Barnett seconds

Discussion: Jim Lundquist voiced his opinion that he believes the project should have a traffic study at minimum. Lundquist raised concerns regarding traffic at Marshall Road/Alpine Blvd intersection along with concerns that project would not provide sidewalk connectivity to Alpine Blvd. Lyon proposed a recommendation that project pay a to be determined "fair share" for the sidewalk connectivity. Multiple members commented that project was meeting existing county requirements and did not want to add additional burdens to a project that would improve the area.

Vote: 8 yes votes, 4 no votes (Lyon, Jerney, Lundquist, Milligan), 3 absent. Motion Passes

Jim Lundquist exited the meeting.

3. The County of San Diego Department for Public Works Capital Improvement Program has requested feedback from the planning group on the County's recommendations regarding annual road maintenance resurfacing priorities within Alpine. **Presentation, Discussion & Action.**

Motion: Lou Russo motions to approve county recommendations.

Second: Jim Easterling second.

Vote: All member present voted yes. Passed 11 yes, 0 no, 4 absent. Motion Passes.

4. The County of San Diego Department for Public Works Capital Improvement Program has proposed a project to improve Alpine Blvd. from the Harbison Canyon offramp to the westerly intersection of Arnold Way. This project proposes to upgrade road to a four-lane major road with intermittent turn lane from the existing two-lane road with partial continuous turn lanes. Project proposes to use existing Traffic Impact Fee funds to complete. **Presentation, Discussion & Action.**

The county reported that the proposed project outlined in agenda item was being de-prioritized based on community feedback. Group discussed with county the need to identify better projects for TIF funds. County to provide group with list of roads eligible for TIF funded projects. No action taken at this meeting.

H. Group Business: None

- I. **Consent Calendar**
- J. **Subcommittee Reports (including Alpine Design Review Board)**
- K. **Officer Reports** – *Form 700 forms due April 2nd, 2018, training (online), state ethics training. Everyone due this year.*
- L. **Open Discussion 2 (if necessary)**
- M. **Request for Agenda Items for Upcoming Agendas**
- N. **Approval of Expenses / Expenditures**
- O. **Announcement of Meetings:**
 - 1. Alpine Community Planning Group – *March 22nd, 2018*
 - 2. ACPG Subcommittees – *Circulation Subcommittee: February 26, 6pm, Alpine library*
 - 3. Planning Commission – *March 23rd, 2018*
 - 4. Board of Supervisors – *March 13th & 14th, 2018*
- P. **Adjournment of Meeting :**
 - Motion:** *Jim Easterling motions to adjourn @ 8:15 pm*
 - Second:** *Travis Lyon seconds the motion*
 - Vote:**
All in favor



County of San Diego, Planning & Development Services
DESIGN REVIEW BOARD
PROJECT REVIEW
ZONING DIVISION

Record ID(s): PDS2017-TM-5621

Project Name: Marshall Road TM & Site Plan

Project Manager: Denise Russell Phone: 858-694-2019

Scope of Review:

The Community Design Review Area Regulations (Sections 5750-5799 of the Zoning Ordinance) set forth the procedures and requirements for design review of structures proposed on certain designated properties (e.g. property with a "B" designator) in the County of San Diego. This review involves the evaluation of proposed Site Plans for conformance with adopted standards and guidelines. Section 5799 describes the scope of review to be conducted by Design Review Boards as follows:

The Design Review Board shall advise the Director as to the site plan's conformance with the Community's Design Guidelines Manual. The Review Board's evaluation shall be limited to the design guidelines set forth in the manual, and the Review Board shall cite the specific guideline(s) in instances where a project may be inconsistent with the adopted design manual. [Note: Along U.S. Hwy 15, refer to the "I-15 Scenic Corridor Scenic Preservation Guidelines."]

Planning & Development Services (PDS) has received an application for the project referenced above. PDS requests that your Board evaluate and provide comment on the project's conformance with the applicable Community Design Guidelines Manual in the following areas:

<ul style="list-style-type: none"> • Building height and number of stories • Parking and circulation • Site lighting requirements • Landscape standards 	<ul style="list-style-type: none"> • Architectural character • Preservation of natural features • Signage • Other standards as may apply
---	--

Timing of Design Review Board review and advisory vote:

The Design Review Board (DRB) will receive the application materials from PDS shortly after application submittal. The DRB should review these materials and take its advisory vote at the earliest available meeting date. Comments should be provided to the PDS Project Manager no later than 60 days from the application date.

Note that should the proposed project be substantially revised, the modified plans will be forwarded to the DRB for further review and a subsequent advisory vote.

Notification of scheduled hearings:

In addition to the public notice and agenda requirements of the Brown Act, the DRB Chair should notify the project applicant's point of contact at least two weeks in advance of the date and time of the scheduled meeting.

Recommendations on the reverse side.



County of San Diego, Planning & Development Services
DESIGN REVIEW BOARD
PROJECT RECOMMENDATION
ZONING DIVISION

Record ID(s): PDS2017-TM-5621

Project Name: Marshall Road TM & Site Plan

Results of Design Review Board Review

Design Review Board: Alpine Meeting Date: 05-07-18

- A. Comments made by the DRB on the proposed project.** *Reference the applicable section of the Community Design Review Guidelines.*

Applicant indicated ADRB comments listed on March 5, 2018 ADRB meeting notes have been addressed and corrected.

- B. Advisory Vote:** The Group ☒ **Did** ☐ **Did Not** make a formal recommendation, approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

MOTION:

- ☒ Approve without specific recommendations
☐ Approve with recommended conditions
☐ Deny (DRB should provide comments)
☐ Waive site plan review

VOTE: 3 Yes 0 No 0 Abstain

- C. Recommended conditions of approval:**

Reported by:  Position: Chairman Date: 05-07-18

Please email recommendations to: CommunityGroups.LUEG@sdcounty.ca.gov

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County of San Diego, Planning & Development Services

**COMMUNITY PLANNING OR SPONSOR
GROUP PROJECT RECOMMENDATION**
ZONING DIVISION
Record ID(s): PDS2017-TM-5621Project Name: Marshall Road TM & Site PlanPlanning/Sponsor Group: Alpine

Results of Planning/Sponsor Group Review

Meeting Date: 2-22-2018

A. Comments made by the group on the proposed project.

*Comments during discussion related to traffic issues
at Marshall Road + Alpine Blvd. and the potential sidewalk
connections from project to Alpine Blvd.*

B. Advisory Vote: The Group ☒ Did ☐ Did Not make a formal recommendation,
approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

MOTION: ☒ Approve without conditions
☐ Approve with recommended conditions
☐ Deny
☐ Continue

VOTE: 8 Yes 4 No 0 Abstain 3 Vacant/Absent

C. Recommended conditions of approval:

None

Reported by: *Travis Lyon* Position: Chair Date: 3-23-2018

Please email recommendations to BOTH EMAILS;

Project Manager listed in email (in this format): Firstname.Lastname@sdcounty.ca.gov and to
 CommunityGroups.LUEG@sdcounty.ca.gov

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Alpine Design Review Board Minutes

Monday, March 5, 2018
1830 Alpine Blvd.
Alpine, CA 91901

- I Call to Order – Roll Call
The meeting of the Alpine Design Review Board was called to order by Chairperson Curt Dean at 7:05 p.m. Board members present: Curt Dean, Carol Morrison, Dan Wasson and Peggy Easterling. Absent: Kippy Thomas.
- II Approval of Minutes
There was a MOTION: to approve the minutes of February 5, 2018 as emailed. Moved by Peggy Easterling. Seconded by: Carol Morrison. Ayes: 4-0-0.
- III Public Comment
None
- IV Review – Marshall Road Townhomes and site plan review. 1460 Marshall Road. Applicant Alan Austin and Richard Borjorno. (Discussion and Vote). There was a MOTION: To conditionally approve the conceptual plans for the condominium project with more information addressing the following issues:
Grading Plan showing existing and proposed grading
Clarification of proposed drainage between Marshall Road/east property line and units 1 and 23
All retaining walls shown including material, height and color. If an additional wall is proposed parallel to Marshall Road, information showing location, material, height and color of wall be indicated on the plans. Maximum height for this wall 42 inches tall.
Parking lot lighting including location, fixture specifications, height and color
Exterior garage lighting location, fixture specification, height and color
Open Space Calculations showing a minimum of 15% of the site is open space
Landscape Plan including location, size and plant list of all trees, shrubs and groundcover
Including (1) 15 gallon tree/400 sf of landscape area (calculation included)
Irrigation Plan showing permanent irrigation for all proposed landscaping
Any red curb locations restricting parking for guests or residents.
Moved by Peggy Easterling. Seconded by: Carol Morrison. Ayes 4-0-0.
- V Review – Tavern Road Shell Gas Station expansion and site plan review. 1140 Tavern Road. Applicant Tom Sheehan. (Discussion)
- VI Next meeting – April 2, 2018 at 7:00pm Alpine Community Center.
- VII Adjournment – The meeting was adjourned at 8:56pm.

Respectfully submitted,
Peggy Easterling
Secretary Alpine Design Review Board

Attachment H – Ownership Disclosure



County of San Diego, Planning & Development Services
**APPLICANT'S DISCLOSURE OF OWNERSHIP
 INTERESTS ON APPLICATION FOR ZONING
 PERMITS/ APPROVALS**
 ZONING DIVISION

PPS2017-ER-17-14810
 Record ID(s) PPS2017-TM5621, STP- 17-039
 Assessor's Parcel Number(s) 403-271-20 & 403-271-21

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. **NOTE:** Attach additional pages if necessary.

A. List the names of all persons having any *ownership interest* in the property involved.

Richard J. Bonjorno
 Judy C. Bonjorno

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

Trust
 Richard & Judy Trust 1983

NOTE: Section 1127 of The Zoning Ordinance defines *Person* as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

Signature of Applicant

Richard J. Bonjorno

Print Name

Richard Bonjorno 10/4/17

Date

----- OFFICIAL USE ONLY -----

SDC PDS RCVD 10-16-17

TM5621

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