



The County of San Diego

Planning Commission Hearing Report

Date:	May 15, 2020	Case/File No.:	Appeal of La Cresta Gas Station PDS2018-STP-18-021; PDS2018-ER-18-14-013
Place:	No in Person Attendance Allowed – Teleconference Only - County Conference Center, 5520 Overland Avenue, San Diego, CA 92123	Project:	Appeal of Director's decision to approve a Site Plan
Time:	9:00 a.m.	Location:	1103 La Cresta Boulevard
Agenda Item:	#5	General Plan:	General Commercial
Appeal Status:	No further appeals available for the Site Plan	Zoning:	General Commercial (C36)
Applicant/Owner:	Kasay Esho, E&B Petroleum Corporation	Community:	Crest/Dehesa/Granite Hills/Harbison Canyon Community Planning Area
Environmental:	CEQA §15301 Exemption	APNs:	509-043-08

A. EXECUTIVE SUMMARY

1. Introduction

The purpose of this staff report is to provide the Planning Commission with the information necessary to consider an appeal of the Director of Planning & Development Service's approval of a Site Plan (STP) to allow for two gas pumps to be added to an existing 4,000 square-foot convenience store located within the Crest-Dehesa Community Plan area.

On July 25, 2018, a STP application for the addition of two gas pumps to an existing 4,000 square-foot convenience store was submitted to ensure compliance with a Design Review Designator governing the project site; a gas station is an otherwise permitted use in the C36 General Commercial Use Regulations. On February 20, 2020, the Director approved the STP to authorize construction and operation of the two-pump gas station.

On February 27, 2020, the Chair of the Crest/Dehesa/Granite Hills/Harbison Canyon Community Planning Group (CPG) filed an appeal. The CPG voted to uphold the Chair's appeal on March 9, 2020, at which time the appeal was ratified. The CPG recommends that the STP be denied because a modification to a County road standard for sight distance was granted, which the CPG thinks will result in an impact to traffic safety. The Planning Commission is asked to consider the appeal of the Director's decision for the STP and determine whether to uphold or overturn the Director's decision.

This report describes the following: the project proposal, analysis and discussion, community planning group input and the PDS decision.

2. Requested Actions

Staff recommends the Planning Commission take the following actions:

- a. Deny the Appeal filed by the Crest/Dehesa/Granite Hills/Harbison Canyon Community Planning Group.
- b. Uphold the Director's Decision approving Site Plan Permit PDS2018-STP-18-023 (Attachment B), including the adoption of the Environmental Findings included in Attachment E, which includes a finding that the project is categorically exempt from further environmental review pursuant to Section 15301 of the California Environmental Quality Act (CEQA).

B. DEVELOPMENT PROPOSAL

1. Project Description

The project is a Site Plan (STP) to allow for two gas pumps to be added to an existing 4,000 square-foot convenience store. The project consists of a request for a 720 square-foot drive-under canopy with lighting and two fuel pumps, which includes a total of four fueling stations (Figure 1). The project is a permitted use in the C36 Use Regulations; however, a 'D4' Design Review Designator in the Zoning Regulations applies to the site, which requires a STP be processed to ensure conformance with design elements as described in the D4 Designator. The project includes landscaping in conformance with the D4 Design Review Designator, including a 10-foot strip along the project frontage consisting of low shrubs and groundcover; a crib wall planted with vines to reinforce an embankment at the rear of the lot; and four evenly spaced shade trees at the top of an embankment along the western boundary of the lot. Access will be provided by two driveway entrances (Driveway 1 and Driveway 2), one on either side of the proposed gas station, connecting to La Cresta Road (Figure 1). Earthwork will consist of 405 cubic yards of cut, 32 cubic yards of fill and 373 cubic yards of export. The site is developed with an existing 4,000 square-foot convenience store that will be retained as part of the project. The project will be served by an existing onsite wastewater treatment (septic) system, and water will be provided by the same water provider as the convenience store uses, Padre Dam Municipal Water District.

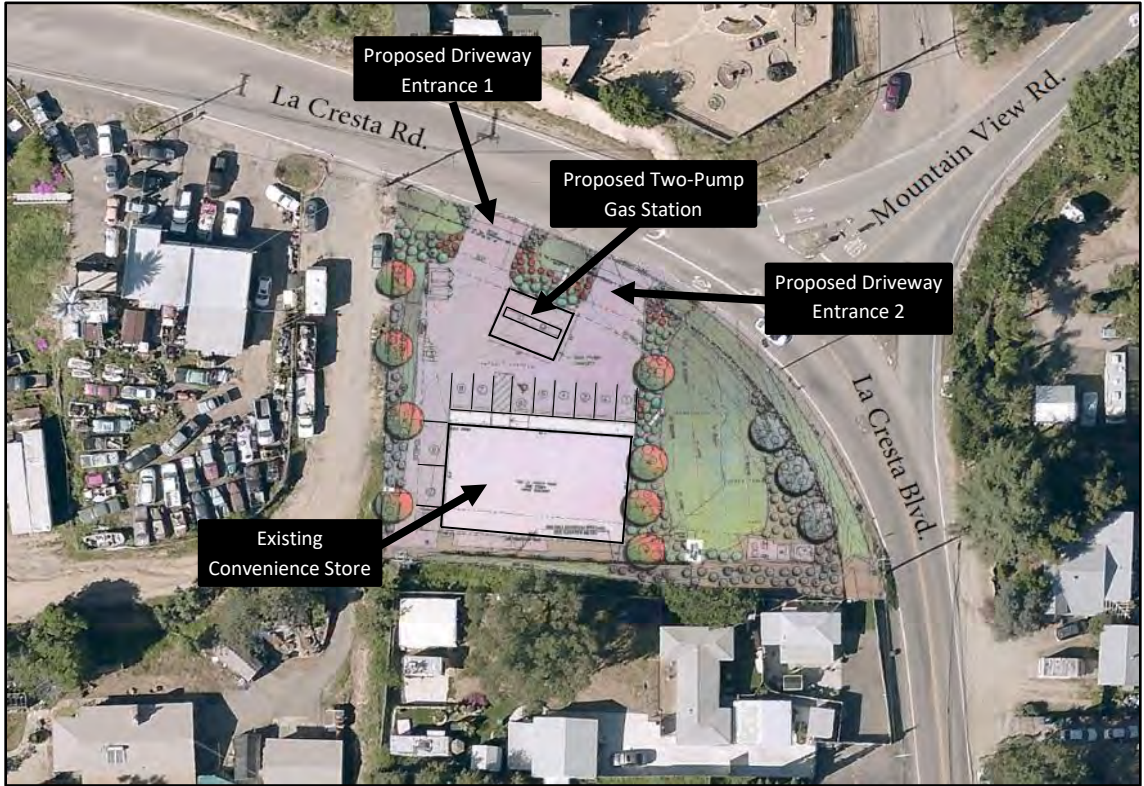


Figure 1: Proposed Project

2. Subject Property and Surrounding Land Uses

The 0.53-acre project site is located at 1103 La Cresta Boulevard in the Crest/Dehesa/Granite Hills/Harbison Canyon Community Plan area. The project site is developed with an existing 4,000 square-foot convenience store that will remain (Figures 2 and 3). Properties surrounding the site to the north, east, south and west can be generally classified as semi-rural residential and general commercial. Surrounding the site directly to the north, east and south is single-family residential development and directly west of the site is an existing auto repair shop (Figure 4).



Figure 2: Project Site Looking South from La Cresta Road (Existing Convenience Store)



Figure 3: Project Site Looking West from La Cresta Boulevard (Existing Convenience Store)

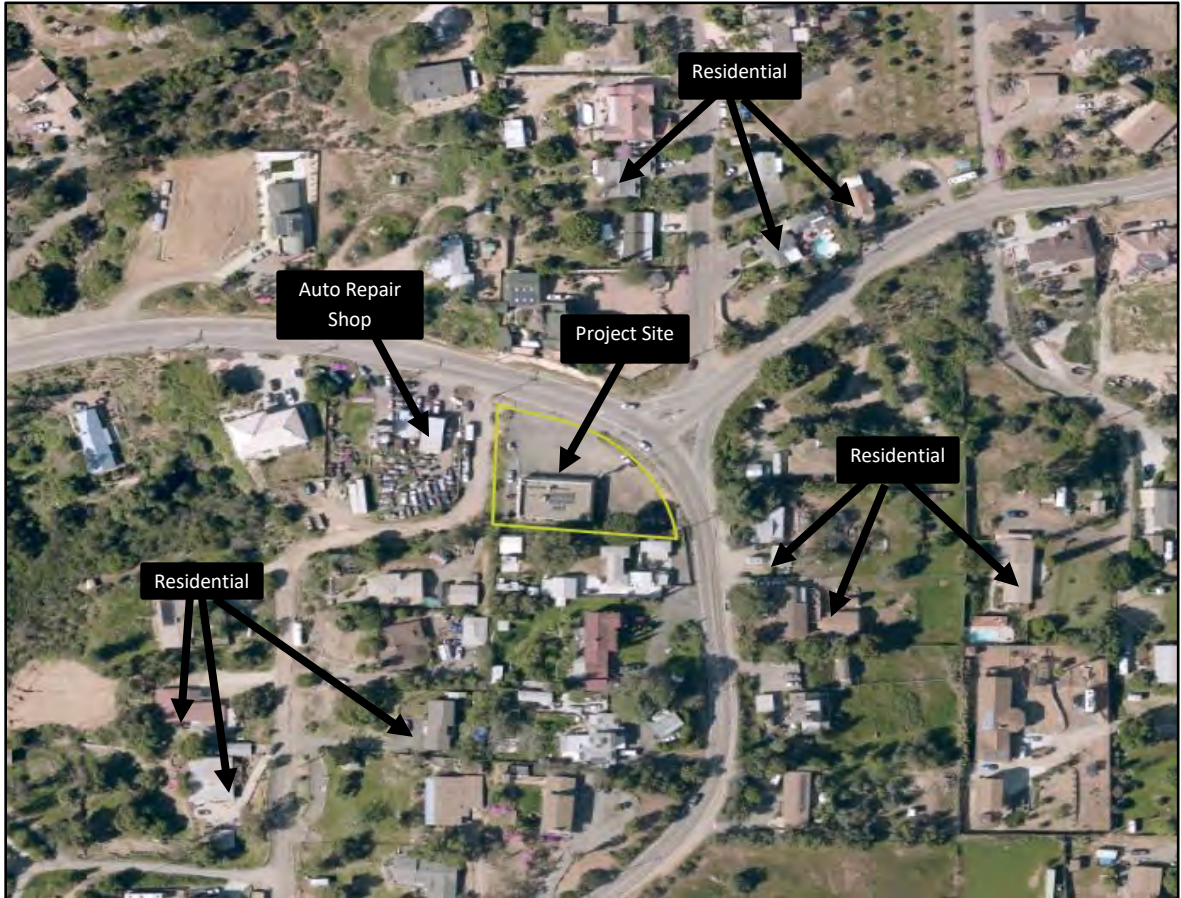


Figure 4: Surrounding Uses

Table B-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Semi-Rural Residential	RR (Rural Residential) A70 (Limited Agricultural)	La Cresta Road; Mountain View Road	Residential
East	Semi-Rural Residential	RR (Rural Residential) A70 (Limited Agricultural)	La Cresta Boulevard; Mountain View Road	Residential

Location	General Plan	Zoning	Adjacent Streets	Description
South	Semi-Rural Residential	RR (Rural Residential)	N/A	Residential
West	General Commercial, Semi-Rural Residential	C36 (General Commercial) RR (Rural Residential)	Hamlet Drive (private road)	Commercial; Residential

C. ANALYSIS AND DISCUSSION

The project has been reviewed to ensure it conforms to the relevant ordinances, plans, and guidelines, including the San Diego County General Plan, Crest/Dehesa/Granite Hills/Harbison Canyon Community Plan, the Zoning Ordinance, the requirements of the D4 Special Area Designator for design review, and CEQA Guidelines. A detailed discussion of the project analysis and consistency with applicable codes, policies, and ordinances is included below.

PDS staff reviewed and analyzed the Crest/Dehesa/Granite Hills/Harbison Canyon Community Planning Group's point of appeal set forth in their appeal form dated February 27, 2020 (Attachment C). The CPG is appealing the STP on concerns of impacts to traffic safety.

1. Project Analysis

Land Use Compatibility

The project site is subject to the Semi-Rural General Plan Regional Category, General Commercial Land Use Designation. Zoning for the project site is General Commercial (C36). The proposed fuel pumps, classified in the Zoning Ordinance as Gasoline Sales, are an allowed use in the C36 Use Regulations, provided no open storage of goods or materials are proposed, and that all repair and lubrication services take place in an enclosed building. The project does not propose open storage of good or materials, nor does it propose repair or lubrication services. Therefore, the proposal to add two fuel pumps is an allowed use on the project site. However, a D4 Special Area Designator for design review governs the project site requiring a STP permit be processed to ensure conformance with design elements as described in the D4 Designator. This STP was reviewed and approved for the following D4 Designator requirements:

- a. The architectural style should reflect the original mountain cabin or bungalow styles that were part of the original resort developments in Crest.

To compliment the current, developed state of the project site, the 2-pump gas station design was revised during the STP review process from a blue/grey color scheme to a brown/tan color scheme to ensure conformance with the prominent color features of the existing 4,000 square-foot convenience store (Figure 5). While the original mountain cabin or bungalow

style is not defined, Policy 1.1.12 of the Crest/Dehesa/Granite Hills/Harbison Canyon Community Plan states that colors should blend with the existing earth tones and granitic landscape which a brown/tan color scheme does.

- b. Any outside storage shall be obscured from public view with decorative fencing or walls.

No outside storage is proposed as part of this project. However, an existing trash enclosure will be removed and replaced with a new concrete masonry enclosure with decorative roofing with a medium-brown color scheme to match existing and proposed development (Figure 6).

- c. A ten-foot landscaped strip shall be provided along the front of the lot where it does not interfere with the necessary ingress and egress to the site.

A ten-foot strip along the project frontage will be landscaped with low-lying groundcover and small accent shrubs, such as Heavenly Bamboo Hybrid, Dwarf Bottlebrush, Canyon Prince Wild Rye and Society Garlic. Furthermore, as recommended by the Crest/Dehesa/Granite Hills/Harbison Canyon Community Planning Group, trees will remain outside this strip so as not to interfere with sight distance for those entering and/or exiting the site (Figure 6).

- d. The embankment along the rear of the lot shall be reinforced with a crib wall and planted with vines.

The embankment at the rear of the lot will be reinforced with a crib wall and planted with vines, such as Bougainvillea and Red Trumpet Vine (Figure 6).

- e. The embankment along the east side of Hamlet Drive (i.e. the western boundary of the lot) shall also be landscaped and a five-foot wide area along the top of the embankment shall be planted with three evenly spaced shade trees.

The embankment along the east side of Hamlet Drive will be landscaped, and the project has been conditioned to ensure three evenly spaced shade trees, such as Strawberry Tree, Western Redbud Tree and Gold Medallion Tree, are planted within a five-foot wide area along the top of the embankment (Figure 6).

- f. The area adjacent to La Cresta Road shall have a ten-foot landscaped strip that will include the embankment. Plantings shall be limited to low shrubs and groundcover so as not to create a sight distance hazard.

A ten-foot strip adjacent to La Cresta Road, including the embankment, will be landscaped with low-lying groundcover and small accent shrubs, such as Rosemary, Compact Myrtle, Coyote Brush and Flowering Gooseberry so as not to create a sight distance hazard (Figure 6).

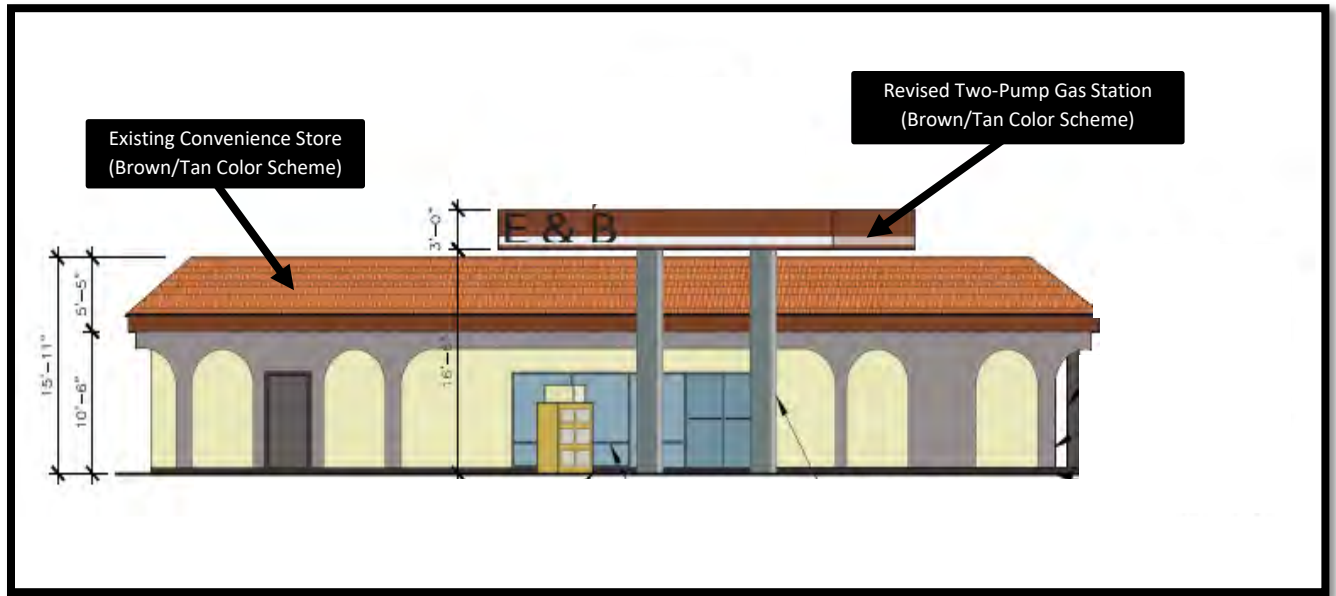


Figure 5: Project Looking South from La Cresta Road (Revised Color Scheme to Match Existing)



Figure 6: Revised Site Plan with D4 Landscaping Requirements Incorporated

Traffic Impacts

The Crest/Dehesa/Granite Hills/Harbison Canyon CPG's appeal of the Site Plan cites concerns related to traffic safety. The CPG identified concerns with the analysis prepared to support a modification to County sight distance standards, and requests that the analysis be brought before the Planning Commission for further consideration.

The County Public Road Standards require a minimum corner sight distance of 450 feet based on the prevailing speed of traffic and the design speed of La Cresta Road. Corner sight distance is the distance a driver exiting the driveway can see along the road before turning onto it. In situations that do not meet the County standard for corner sight distance, modifications are allowed on a case-by-case basis with the submittal of a Design Exception Request. In cases where corner sight cannot reasonably be achieved, the County applies the American Association of Highway Traffic Officials (AASHTO) standards for stopping sight distance, which is the distance a driver on the road needs to have enough time to stop if a vehicle is exiting the driveway. Although AASHTO standards for stopping sight distance are less than the County's standards for corner sight distance, they are national standards determined to be safe.

A Sight Distance Analysis was prepared by a County approved California Environmental Quality Act (CEQA) consultant, Darnel & Associates, on October 3, 2019 (Attachment A). The analysis concluded that sight distance using AASHTO standards can be achieved on La Cresta Road looking east and west from both proposed project driveway entrances (Driveway 1 and Driveway 2). The Department of Public Works (DPW) reviewed the Design Exception Request that included the following:

- A request to approve the use of the minimum AASHTO stopping sight distances of 290 feet looking west, and 280 feet looking east from proposed Driveway 1 in lieu of the County's corner sight distance standards (Figure 7); and
- A request to approve the use of the minimum AASHTO stopping sight distances of 290 feet looking west, and 214 feet looking east from proposed Driveway 2 in lieu of the County's corner sight distance standards (Figure 8).

DPW reviewed and determined that the Design Exception Request to allow for the use of AASHTO stopping sight distance is consistent with AASHTO standards because the project meets the sight distance requirements outlined in *A Policy on Geometric Design of Highways and Streets, Exhibit 3-2* and, when applied to the traffic analysis for the project, will not impact sight distance safety. Based on the Sight Distance Analysis certified by Darnell & Associates, dated October 3, 2019 (Attachment A), the sight distances available for eastbound and westbound traffic on La Cresta Road are in conformance with AASHTO stopping sight distance standards.

Additionally, consistent with the recommendations in the certified Sight Distance Analysis, the project has been conditioned to grant the County two clear space easements for sight distance purposes that provide, in perpetuity, clear lines of site of: 1) 282 feet from proposed Driveway 1; and 2) 226 feet from proposed Driveway 2 easterly along La Cresta Road (Figures 7 and 8). These clear space easements will ensure the certified sight distances remain free from any visual obstructions for both the safety of drivers on the road, and those existing the site.

It has been determined that the Design Exception Request to allow for the use of AASHTO stopping sight distance standards in lieu of County corner sight distance standards will not adversely affect traffic safety nor flow of traffic in the area. The Design Exception Request was approved by DPW on October 29, 2019 (Attachment A).

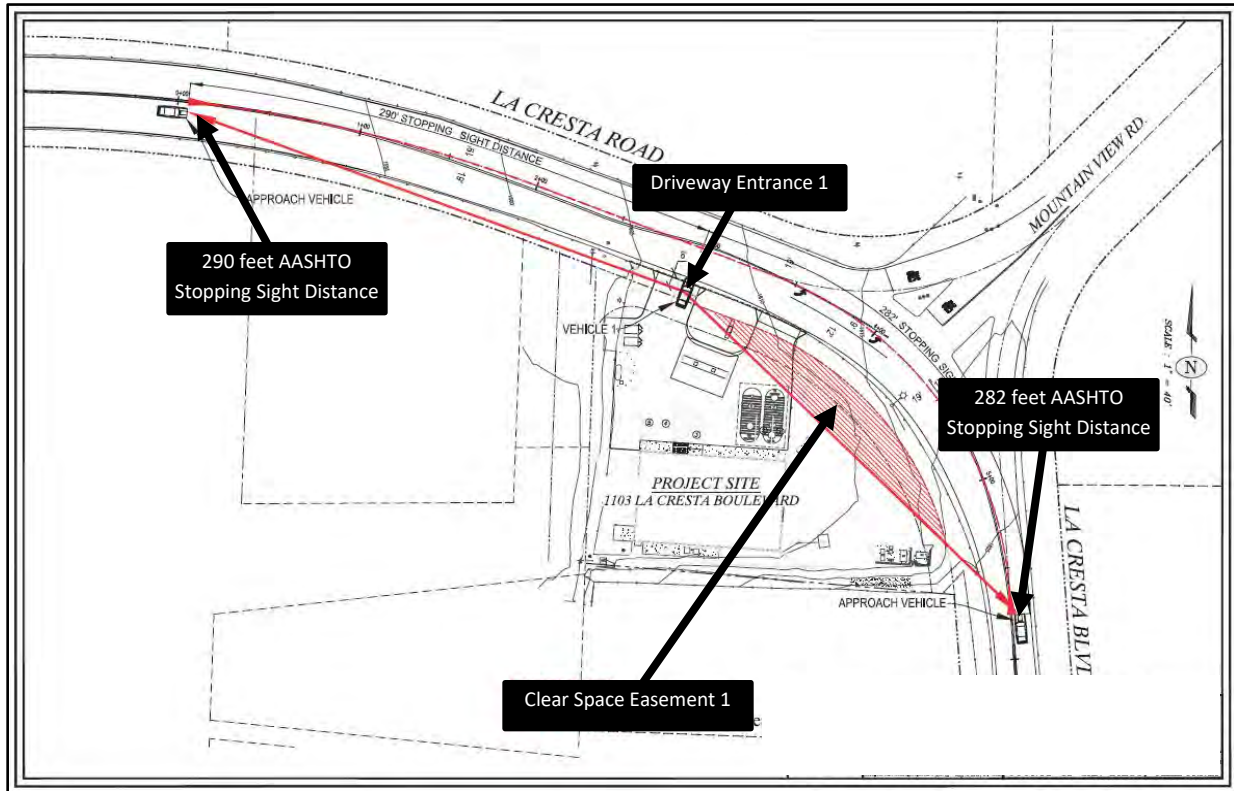


Figure 7: Driveway 1, AASHTO Stopping Sight Distances Looking both West and East

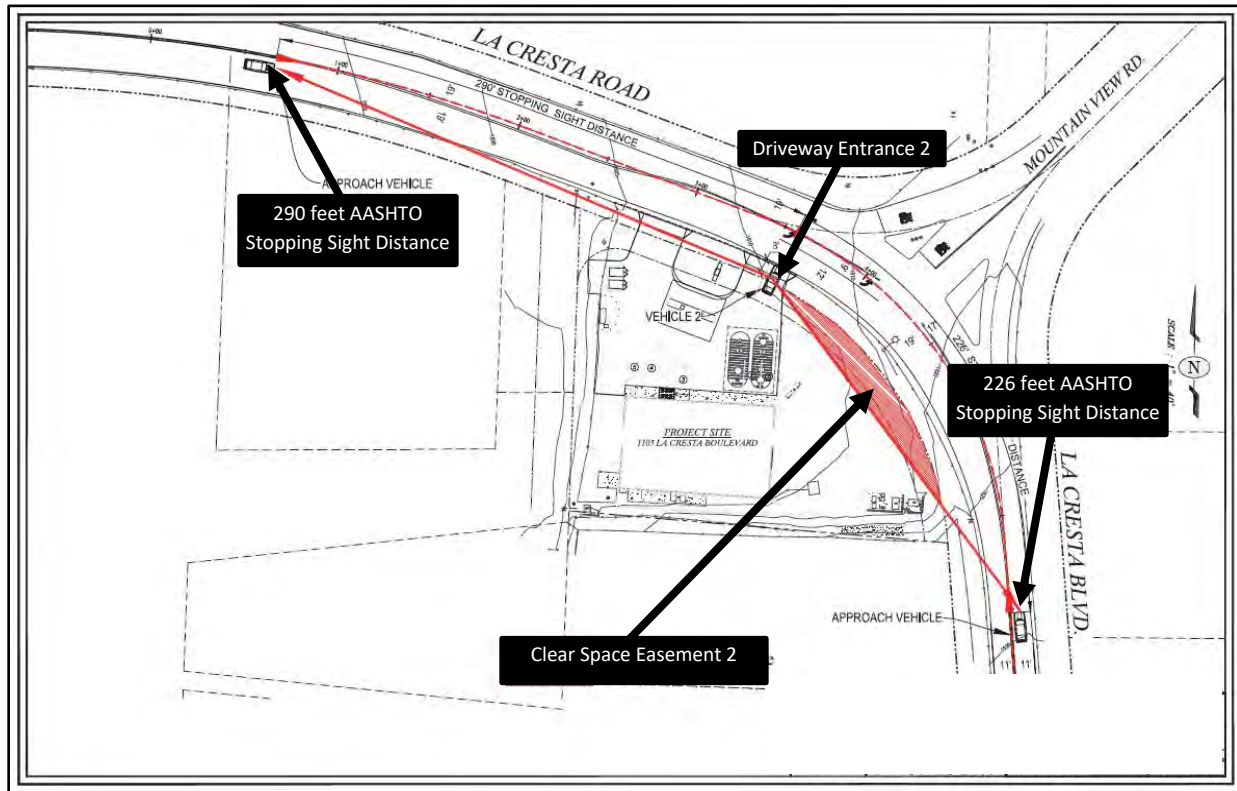


Figure 8: Driveway 2, AASHTO Stopping Sight Distances Looking both West and East

2. General Plan Consistency

The site is subject to the General Commercial General Plan Land Use Designation. The proposed project is consistent with the following relevant General Plan goals, policies, and actions as described in Table C-1.

Table C-1: General Plan Consistency

General Plan Policy	Explanation of Project Conformance
LU-6.5: Sustainable Stormwater Management. Ensure that development minimizes the use of impervious surfaces and incorporates other Low Impact Development techniques as well as a combination of site design, source control, and stormwater best management practices, where applicable and consistent with the County's Low Impact Development (LID) Handbook.	A Stormwater Quality Management Plan (SWQMP) has been prepared that identifies how stormwater source control requirements are met. The fueling area will consist of impermeable concrete, sloping to prevent ponding and grade breaks to prevent run-on within the fuel canopy floor area, ensuring the fuel area is hydraulically disconnected from the rest of the site. The fueling area would also be covered by the proposed canopy, further reducing contaminated stormwater run-off.

General Plan Policy	Explanation of Project Conformance
LU-6.10: Protection from Hazards. Require that development be located and designed to protect property and residents from the risks of natural and man-induced hazards.	In order to ensure proper hazardous materials handling, storage, and spill prevention and response measures, the project has been conditioned to prepare and submit a Hazardous Materials Management Plan to the County for review and approval prior to operation of the gas station.
LU-11.2: Compatibility with Community Character. Require that commercial, office, and industrial development be located, scaled, and designed to be compatible with the unique character of the community.	The project complies with the specific requirements of the D4 Special Area Designator for design review. The project has been revised and approved with appropriate landscaping and aesthetic conformity to existing development onsite.

3. Crest/Dehesa/Granite Hills/Harbison Canyon Community Plan Consistency

The proposed project is consistent with the following relevant Crest/Dehesa/Granite Hills/Harbison Canyon Community Plan goals, policies, and actions as described in Table C-2.

Table C-2: Crest/Dehesa/Granite Hills/Harbison Canyon Community Plan Consistency

Community Plan Policy	Explanation of Project Conformance
Policy LU 1.1.9 The concept of a self-contained, self-sufficient rural community should be used to guide the future character of development in Crest.	The project will add two fuel pumps to an existing convenience store. Because there are no other gas stations within a 2-mile radius of the site, the project would help reduce overall vehicle miles traveled (VMT) for residents in the area, resulting in a reduction in greenhouse gas (GHG) emissions by offering gasoline sales to residents of the Crest community where none was previously available in the immediate area.
Policy LU 1.1.10. Major new development south and west of Crest should not impact the traffic within the Crest Rural Village.	DPW reviewed a Sight Distance Analysis submitted for the project and determined the project will not adversely affect traffic safety, nor impact traffic flow in the area.
Policy LU 2.2.3 Prohibit commercial and civic uses from interfering, either functionally or visually, with adjacent land uses or the rural atmosphere of the community.	It has been determined that the project would not adversely affect traffic safety nor traffic flow in the area. The project meets the requirements of the D4 designator for design review. The landscaping and color scheme of the proposed gas station will ensure the project visually blend into the surrounding area.

4. Zoning Ordinance Consistency

The proposed project complies with all applicable zoning requirements of the C36 Use Regulations, with the incorporation of the STP conditions of approval (see table C-3).

Table C-3: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	C36	Yes
Animal Regulation:	Q	N/A
Density:	1	N/A
Lot Size:	1 acre	Yes
Building Type:	G	Yes
Height:	35 feet	Yes
Floor Area Ratio:	-	Yes
Lot Coverage:	-	Yes
Setback:	I	Yes
Open Space:	--	N/A
Special Area Regulations:	D4	Yes, upon approval of a STP

5. Applicable County Regulations Consistency

Table C-4: Applicable Regulations Consistency

County Regulation Policy		Explanation of Project Conformance
1	Resource Protection Ordinance (RPO)	The project has been found to comply with the RPO because it will not impact any wetlands, floodplains/floodways, steep slopes, or sensitive habitat lands. Therefore, it has been found that the proposed project complies with the RPO.
2	Noise Ordinance	The proposed project demonstrates compliance with the County Noise Ordinance.
3	County Fire Code	The County Fire Authority and San Miguel Fire Protection District completed their review and the project complies with the County Fire Code.
4	Light Pollution Code	The project is conditioned to comply with the County Light Pollution Code.
5	Watershed Protection Ordinance (WPO)	A Stormwater Quality Management Plan was prepared for the project in compliance with the WPO.

6. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed for compliance with the California Environmental Quality Act (CEQA) and the project qualifies for a categorical exemption from additional environmental review pursuant to CEQA Section 15301. Pursuant to CEQA Section 15301, the project is exempt from CEQA because it is a 720 square-foot commercial gas station addition to an existing 4,000 square-foot convenience store located on site. This project would not result in an addition of more than 50 percent of the floor area of the convenience store, nor would it result in an addition of more than 10,000 square feet. Additionally, the project is not located in an environmentally sensitive area.

D. COMMUNITY PLANNING GROUP

The proposed project was reviewed by the Crest/Dehesa/Granite Hills/Harbison Canyon CPG collectively three times between project application (2018) and project approval (2020). There were several items discussed at these meetings including: community character; landscaping; ingress and egress to the site; uses allowed 'by-right' in the C36 Use Regulations; and traffic.

On November 18, 2019, the Crest/Dehesa/Granite Hills/Harbison Canyon CPG recommended approval of the project for the D4 Designator requirements by a vote of 8-3-0-0 (Ayes – 8; Noes – 3; Abstain – 0; Absent – 0) on the condition that at least two trees be removed from the conceptual landscape sheet that the CPG thought would inhibit sight distance for those entering and existing the site. The project was modified prior to the Director's approval to address the Crest-Dehesa CPG's specific design concerns by removing two trees from the conceptual landscape sheet along the project frontage.

However, after the project was approved, the Chair of the Crest/Dehesa/Granite Hills/Harbison Canyon CPG appealed the Director's decision on February 27, 2020, which was ratified by the CPG on March 9, 2020 by a vote of 10-0-0-0 (Ayes - 10; Noes – 0; Abstain – 0; Absent – 0), citing that the project was granted a Design Exception to a County roadway standard which would contribute to impacts to sight distance safety in the immediate area (Attachment C).

E. RECOMMENDATIONS

Staff recommends the Planning Commission take the following actions:

- a. Deny the Appeal filed by the Crest/Dehesa/Granite Hills/Harbison Canyon Community Planning Group.
- b. Uphold the Director's Decision approving Site Plan Permit PDS2018-STP-18-023 (Attachment B), including the adoption of the Environmental Findings included in Attachment E, which includes a finding that the project is categorically exempt from further environmental review pursuant to Section 15301 of the California Environmental Quality Act (CEQA).

Report Prepared By:
 Hunter McDonald, Project Manager
 858-495-5330
Hunter.McDonald@sdcounty.ca.gov

Report Approved By:
 Mark Wardlaw, Director
 858-694-2962
Mark.Wardlaw@sdcounty.ca.gov

AUTHORIZED REPRESENTATIVE:



MARK WARDLAW, DIRECTOR

ATTACHMENTS:

Attachment A – Planning Documentation

Attachment B – Form of Decision Approving PDS2018-STP-18-023

Attachment C – Appeal Form

Attachment D – Environmental Documentation

Attachment E – Environmental Findings

Attachment F – Public Documentation

Attachment G – Ownership Disclosure

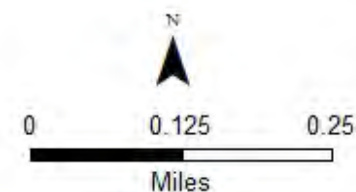
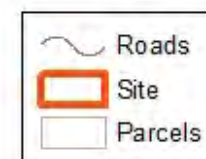
Attachment A – Planning Documentation

La Cresta Gas Station PDS2018-STP-18-023 Vicinity Map

Crest - Dehesa
Community Plan Area

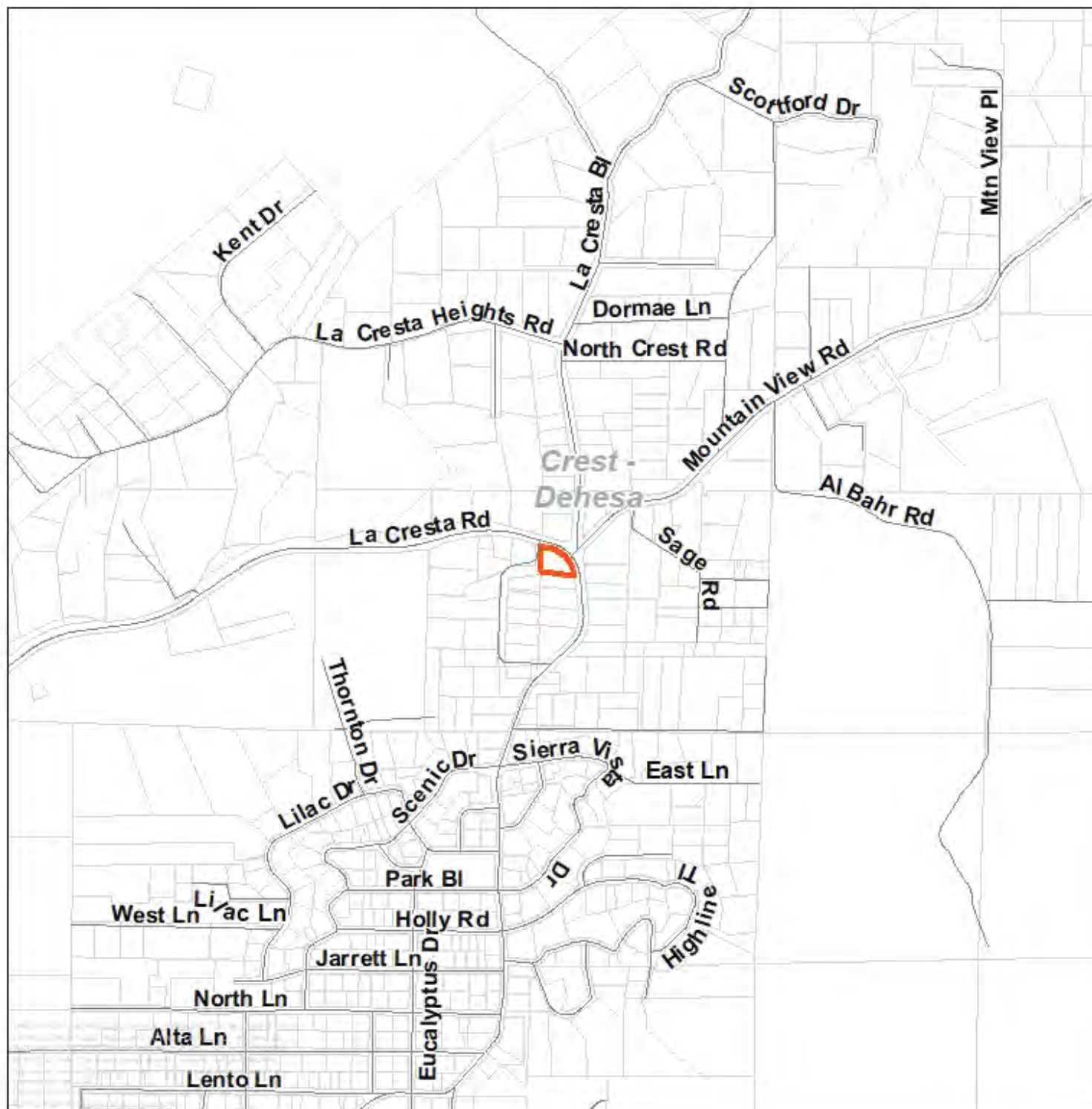


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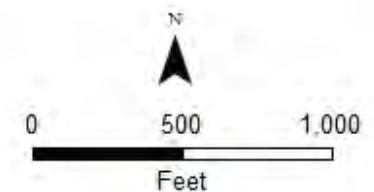
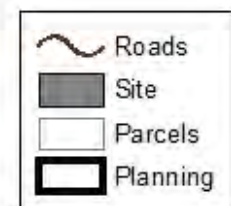
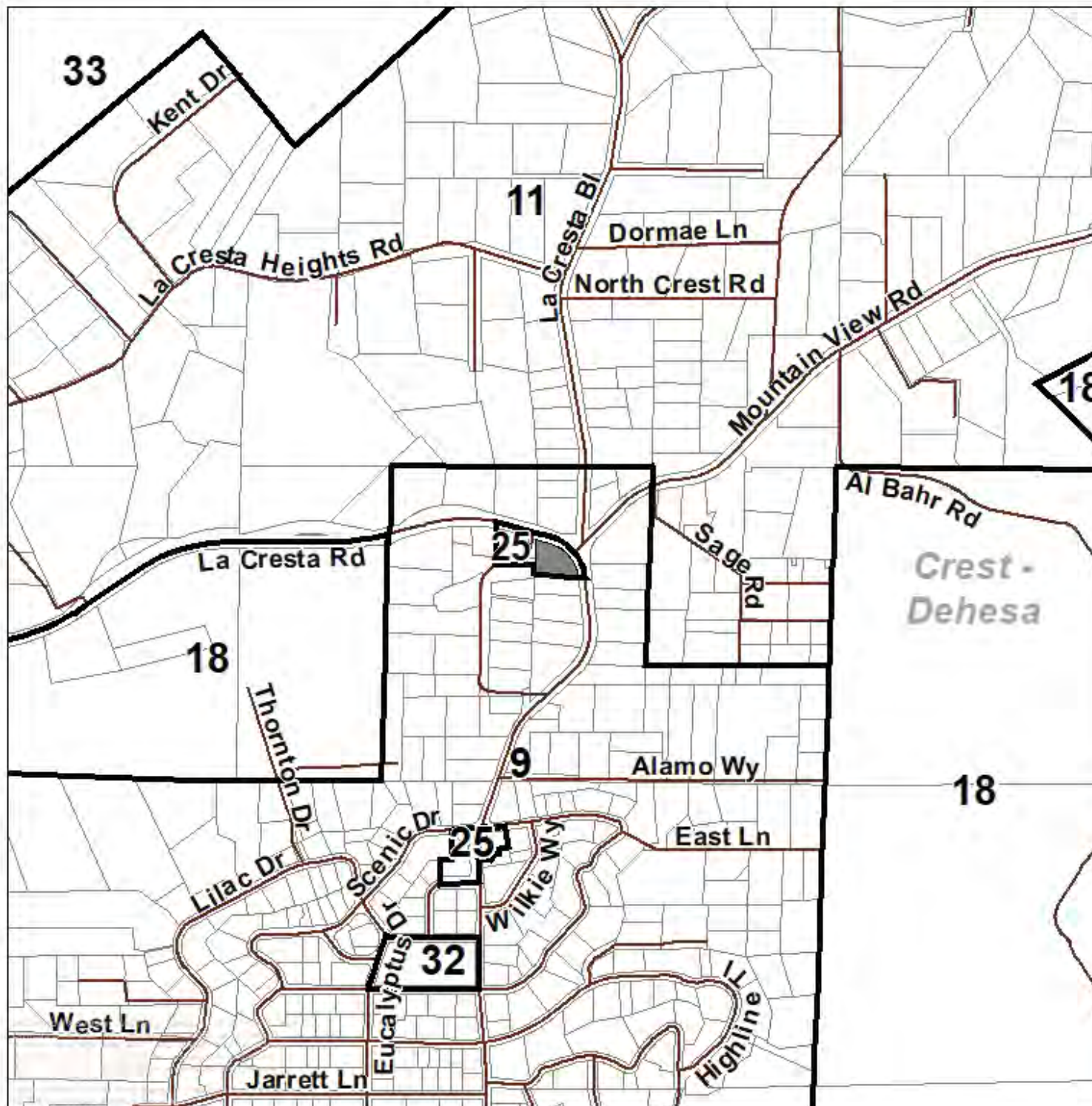
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La Cresta Gas Station PDS2018-STP-18-023 General Plan

*Crest - Dehesa
Community Plan Area*

- (9) Semi-Rural Residential (SR-1)
- (11) Semi-Rural Residential (SR-2)
- (18) Rural Lands (RL-20)
- (25) General Commercial
- (32) Public/Semi-Public Facilities
- (33) Public Agency Lands



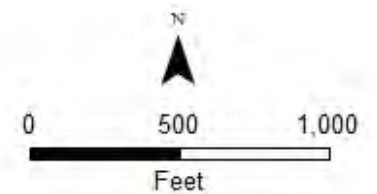
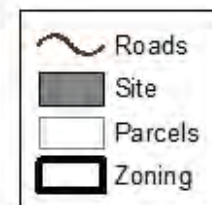
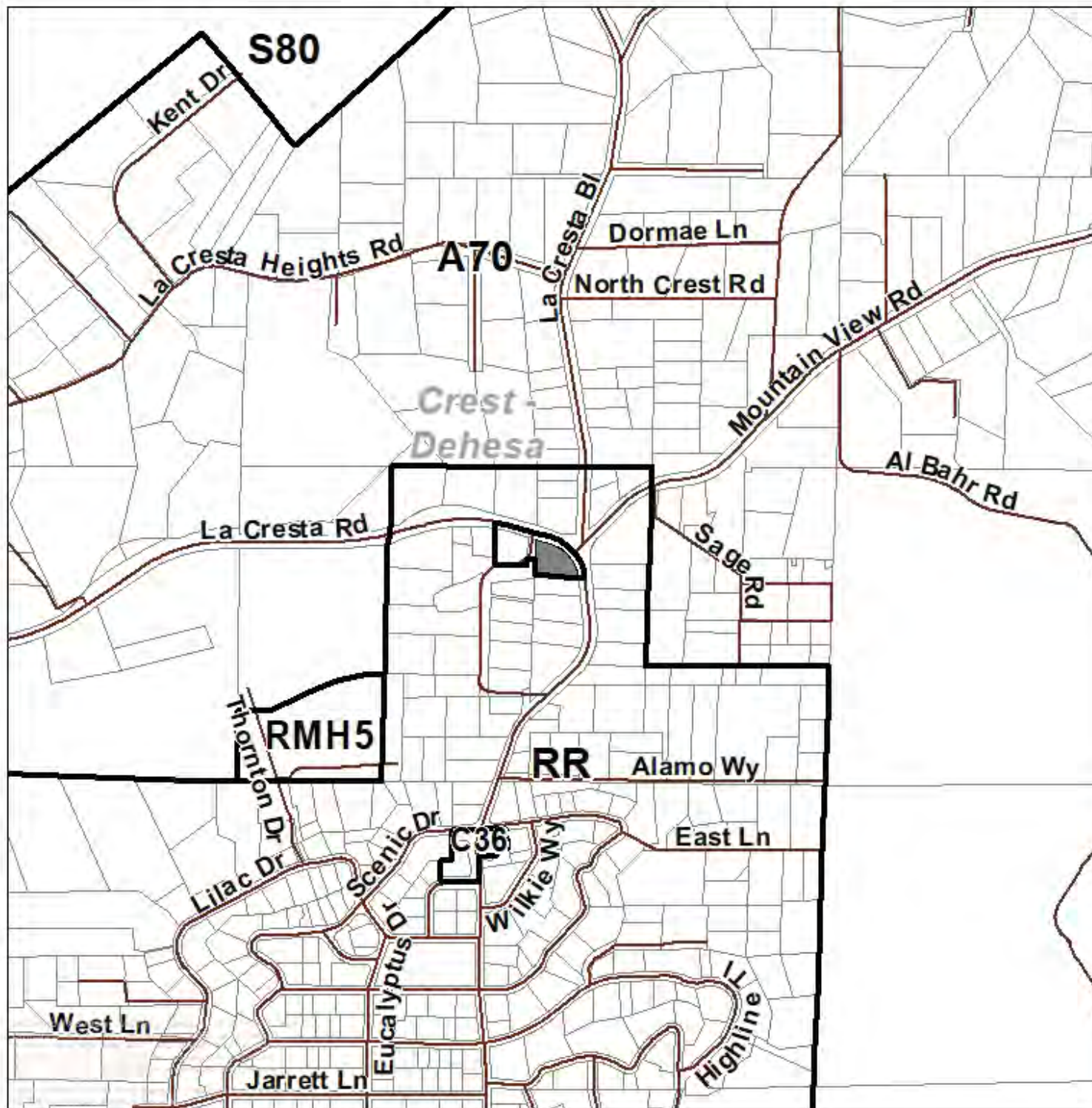
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La Cresta Gas Station PDS2018-STP-18-023 Zoning

*Crest - Dehesa
Community Plan Area*

A70 - Limited Agricultural
C36 - General Commercial
RMH5 - Mobilehome Residential
RR - Rural Residential
S80 - Open Space



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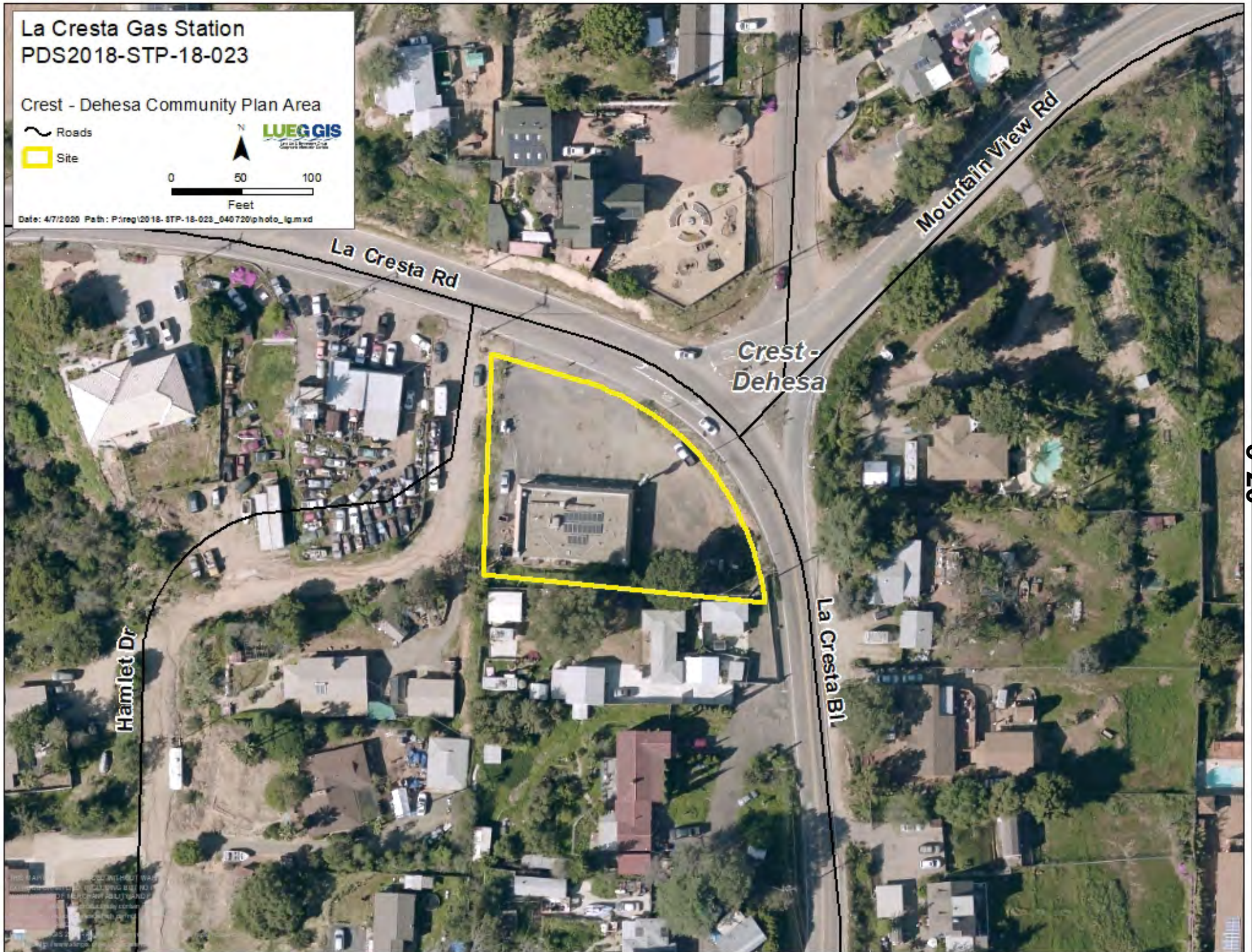
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La Cresta Gas Station
PDS2018-STP-18-023

Crest - Dehesa Community Plan Area



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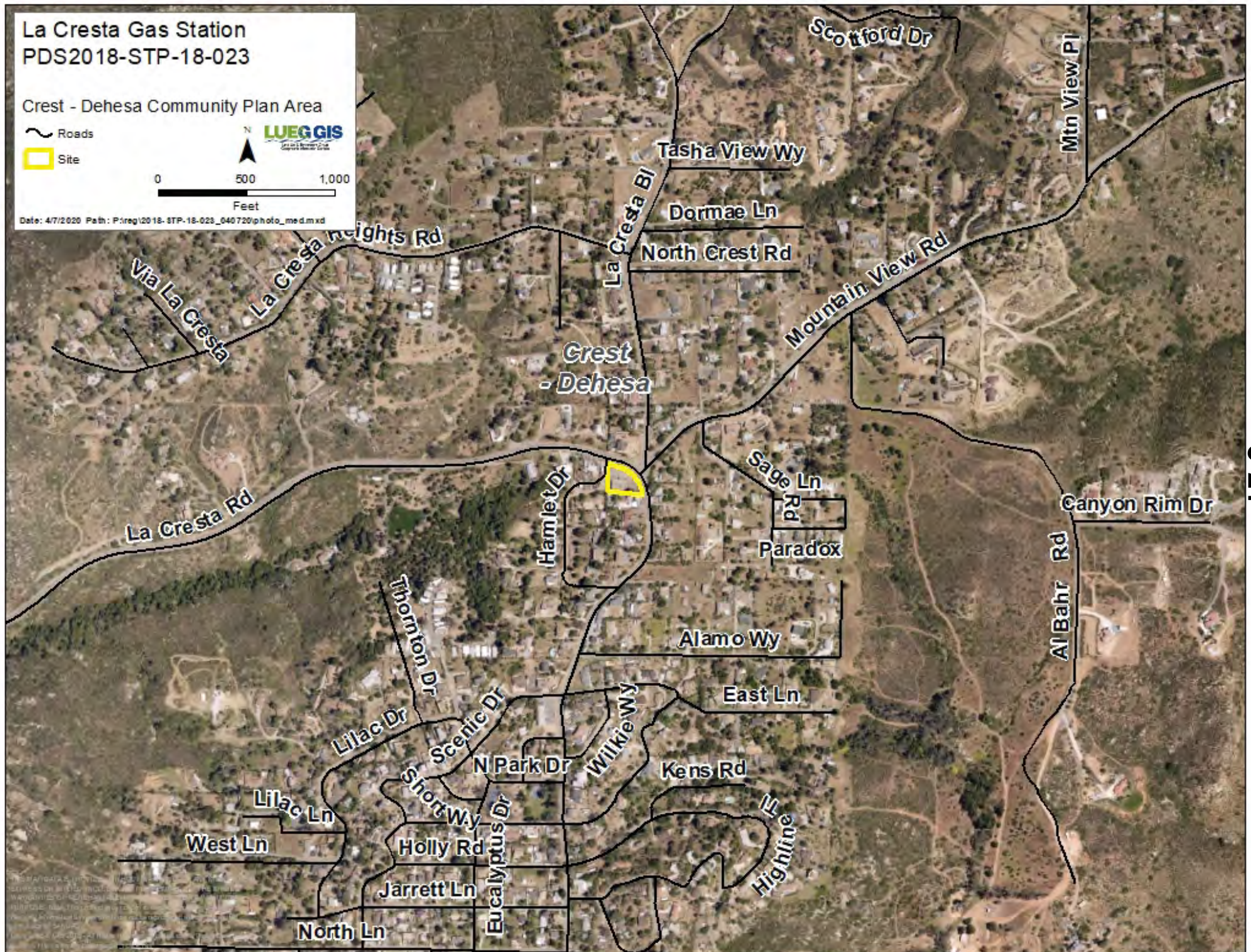


La Cresta Gas Station
PDS2018-STP-18-023

Crest - Dehesa Community Plan Area

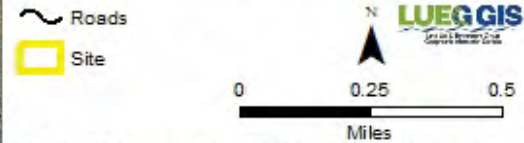


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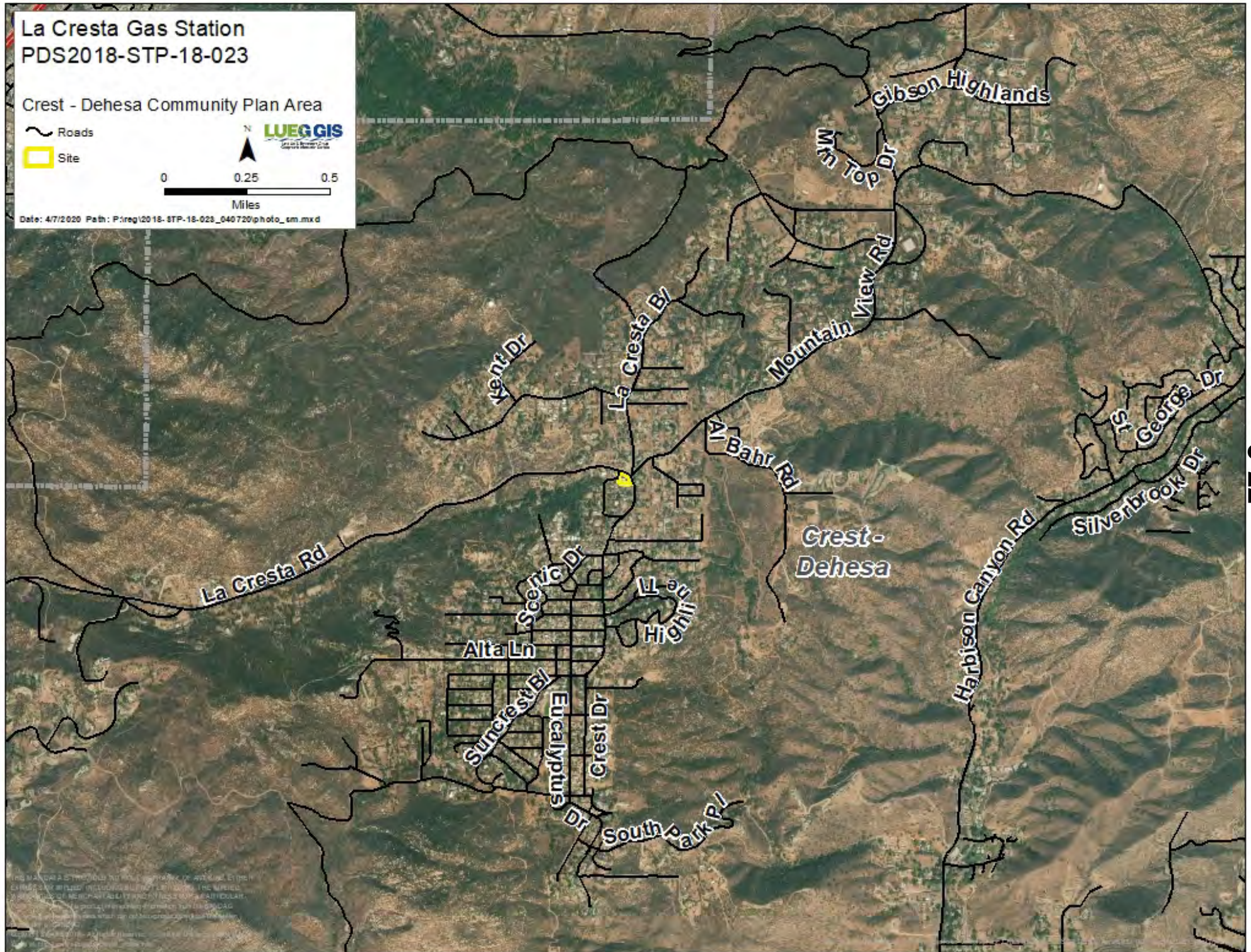


La Cresta Gas Station
PDS2018-STP-18-023

Crest - Dehesa Community Plan Area



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Darnell & ASSOCIATES

TRANSPORTATION PLANNING & TRAFFIC ENGINEERING

October 3, 2019

Kasay Esho
1103 La Cresta Boulevard
El Cajon, CA. 91921

D&A Ref. No: #190705

Subject: E&B Petroleum Corner Sight Distance Analysis for Project Driveway to add two (2) Gas Pumps to the existing Convenience Market located at 1103 La Cresta Road, El Cajon area of San Diego County. (PDS2018-STP-18-023, APN# 509-043-08)

Dear Mr. Esho:

In accordance with your authorization, Darnell & Associates, (D&A) has revised the site distance assessment of the projects two (2) driveways shown on the projects site plan to respond to County comments dated September 30, 2019. **Figure 1** is a vicinity map and **Figure 2** presents a copy of the project site plan located on the southside of La Cresta Road. Review of the site plan shows the location of the two (2) proposed driveways. Presently the access to the existing Convenience Store is one open area of the two (2) proposed driveways.

The County of San Diego Public Road Standards requires corner sight distance of 10 feet per mile per hour, based on the higher of the design speed of the roadway or the prevailing speeds on the roadway. A check of the County of San Diego General Plan Mobility Element for La Cresta Road shows the roadway is designated a 2.1D Collector Road west of Mountain View Road with a design speed of 40 miles per hour (MPH) and a 2.2 F Light Collector roadway east and south of Mountain View Road with a design speed of 40 MPH.

Further check of the design of the La Crest Road east and south of Mountain View Road found centerline curvature of the roadway to be 200 feet resulting in a design speed of approximately 30 MPH. Based on the design speeds of 40 MPH corner sight distance of 400 feet is required. The next step in the analysis process, we reviewed speed surveys for La Cresta Road provided in the September 22, 2018 Traffic Study for the project. A copy of speed surveys identified the eastbound 85th percentile speed was 48 MPH and the northbound to westbound 85th percentile speed is 34 MPH. Based on County of San Diego Public Road Standards the required design corner sight distance is 400 feet for eastbound traffic and 400 feet for westbound traffic based on design speeds. The prevailing speeds of 48 MPH and 34 MPH requires 480 Feet and 340 feet of corner sight distance

Investigation of the 480 feet for the prevailing speed of 48 MPH and 400 feet for the design speed of 40 MPH corner sight distance at the projects driveways is shown on **Figures 3A** and **3B** for the project's westerly driveway and **Figures 4A** and **B** for the project's easterly driveway. Review of **Figures 3** and **4** show the 480 feet and 400 feet of corner sight distance can not be provided within the available public right-of-way.

The next step in the analysis process, we evaluated the adequacy of corner sight distance at each driveway, based on AASHTO stopping sight distance and measurement of corner sight distance from the driveway eight (8) feet from the edgeline of the roadway to a point in the center of the approaching travel lane.

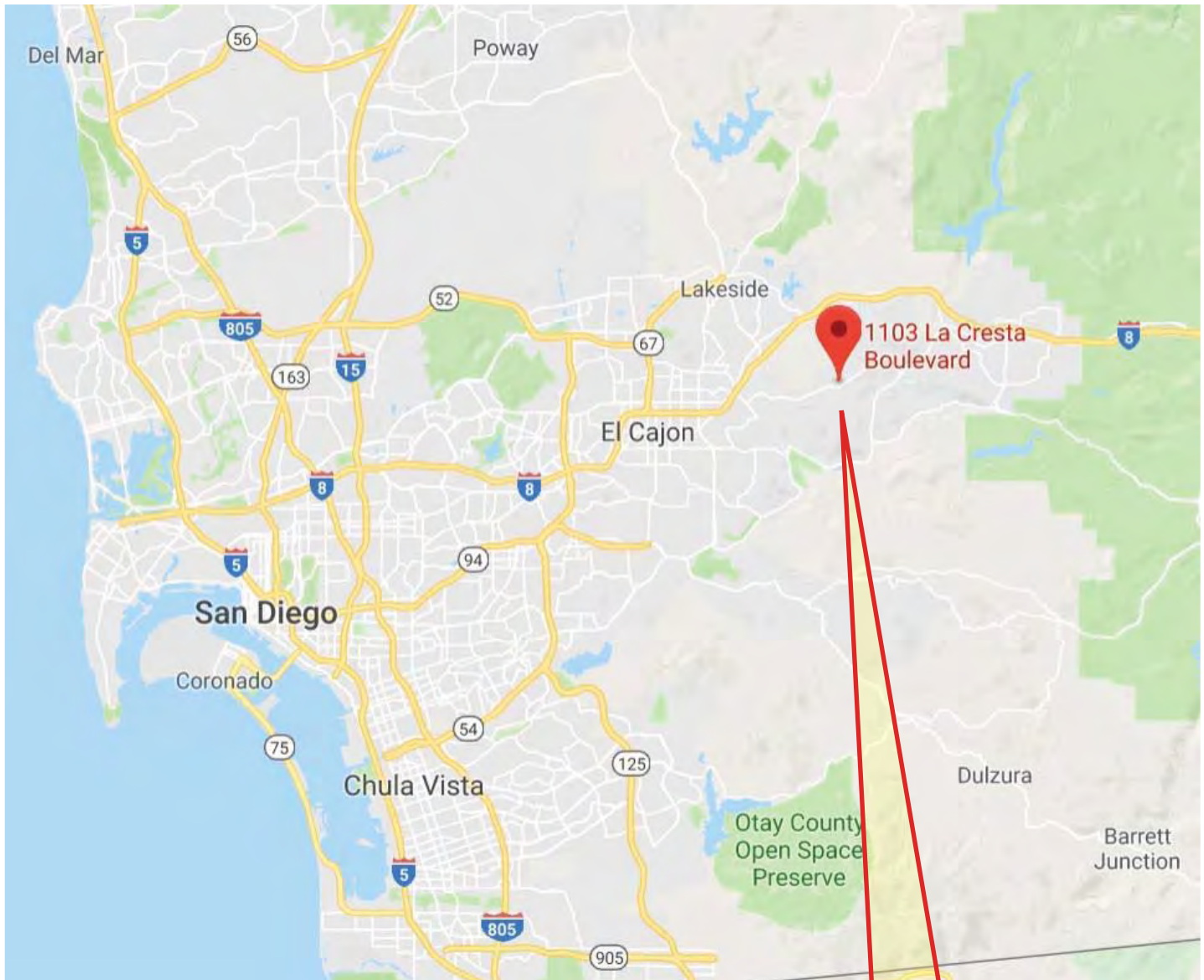
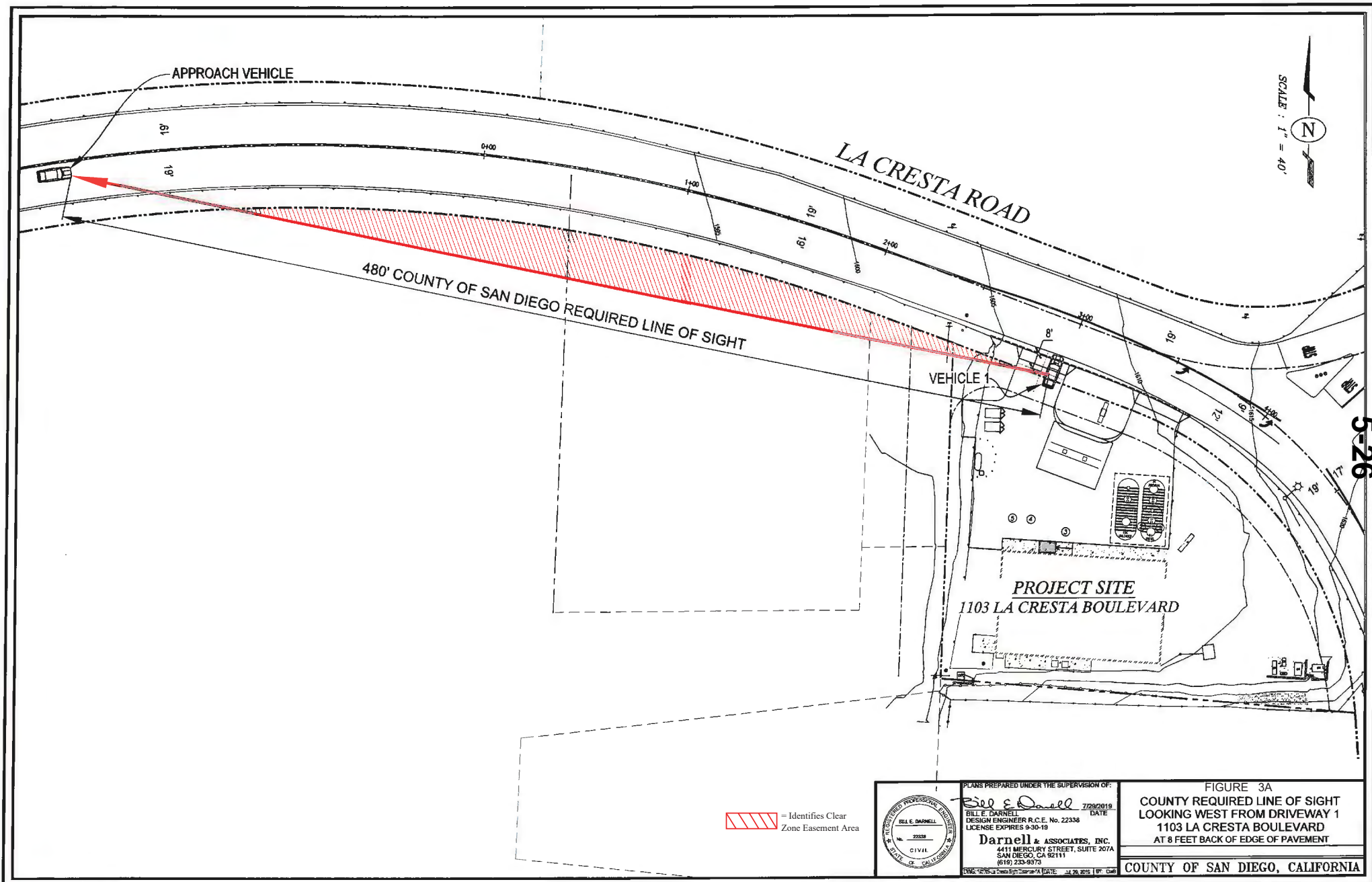
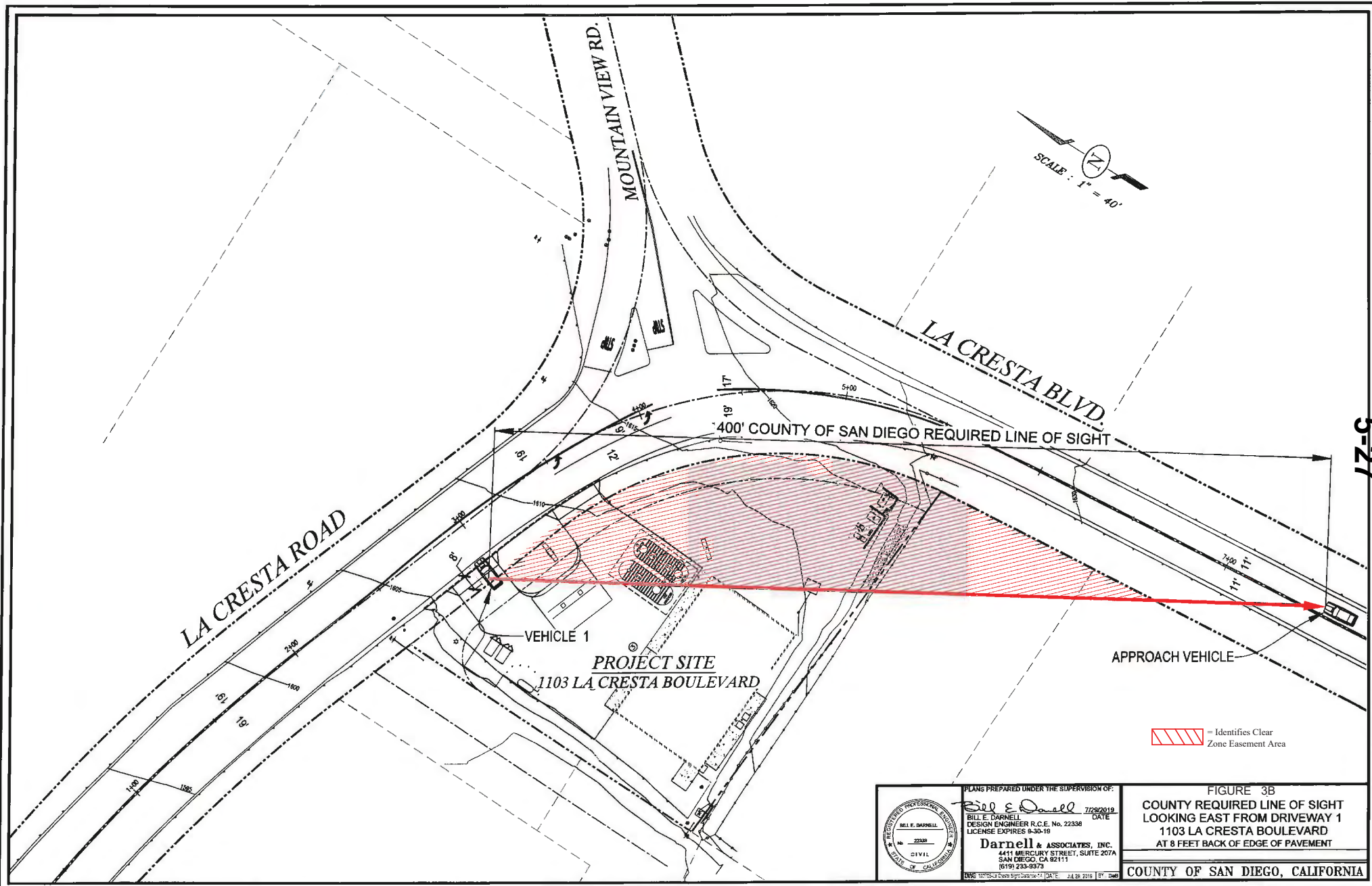
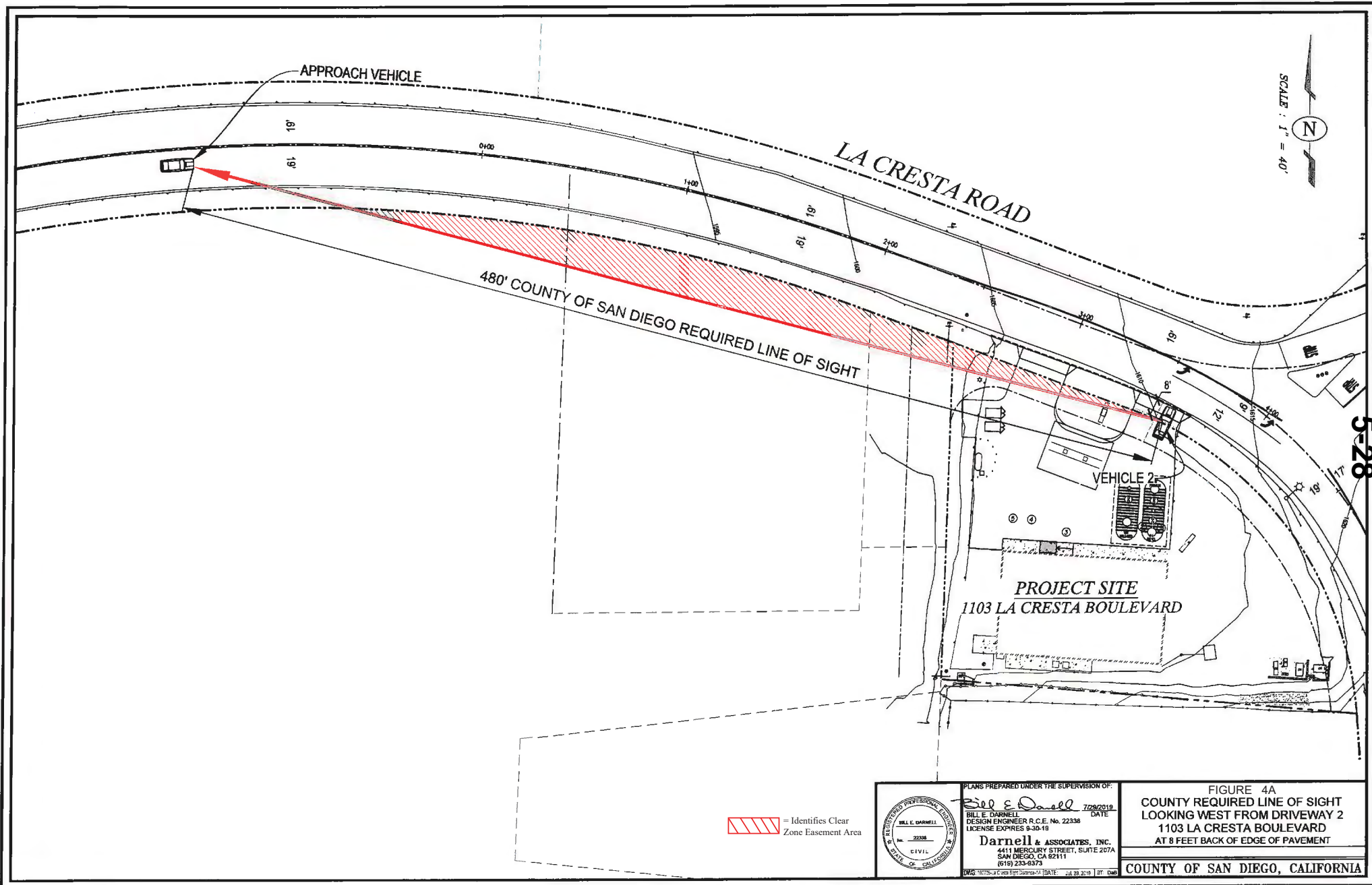


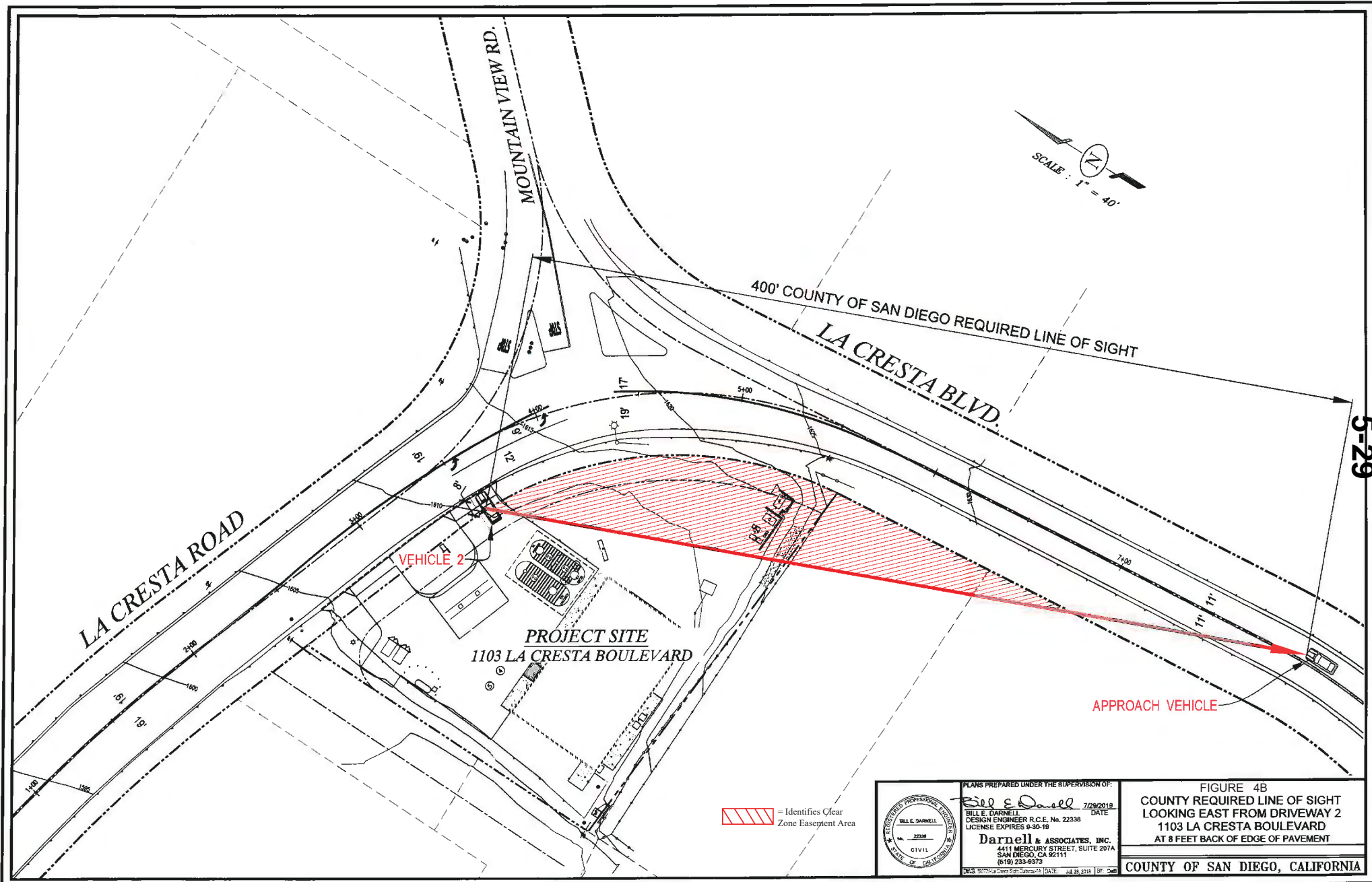
FIGURE 1 - VICINITY MAP





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The measurements were made from a height of 3.5 feet in each driveway to a height of 4.25 feet in the center of the approaching travel lane, based on the Association of State Highway and Transportation Officials (AASHTO) criteria to determine the minimum corner sight distance.

Table 1 presents the stopping sight distance calculations for the projects westerly Driveway #1 and Table 2 presents the calculations for the projects easterly Driveway #2. The calculations on Tables 1 and 2 were rechecked and revised as needed to respond to County comments dated September 30, 2019.

Table 1 - Stopping Sight Distance Requirements Per AASHTO for Project Driveway #1 (Westerly)							
Location	Speed - V ^(a) (mph)	Reaction Time - t (seconds)	Deceleration Rate - a (ft/sec ²)	Grade (%)	Reaction Distance - d ₁ (feet)	Braking Distance (feet)	Required Stopping Sight Distance (feet)
La Cresta Road Westerly Project Driveway #1							
La Cresta Road (Eastbound Traffic)	48 (PS)	1.5	11.2	+7%	105.84'	183.8'	289.6'
La Cresta Road (Westbound Traffic)	40 (DS)	1.5	11.2	-7%	88.2'	194'	280.2'

(a) Speeds are based on the Prevailing Speeds on La Cresta Road,
Note: All calculations based on average grades obtained in the field, PS = Prevailing Speed, DS = Design Speed
 $d_1 = 1.47Vt$; $d_2 = V^2 \div [30 \cdot ((11.2 \div 32.2) \pm G)]$; $d = d_1 + d_2$

Review of Table 1 shows 289.6 feet of stopping sight distance is required looking west at eastbound traffic from the project's westerly driveway #1. Looking east 280.2 feet of stopping sight distance is required.

Table 2 - Stopping Sight Distance Requirements Per AASHTO for Project Driveway #2 (Easterly)							
Location	Speed - V ^(a) (mph)	Reaction Time - t (seconds)	Deceleration Rate - a (ft/sec ²)	Grade (%)	Reaction Distance - d ₁ (feet)	Braking Distance (feet)	Required Stopping Sight Distance (feet)
La Cresta Road Easterly Project Driveway #2							
La Cresta Road (Eastbound Traffic)	48 (PS)	1.5	11.2	+7%	105.84'	183.8'	289.6'
La Cresta Road (Westbound Traffic)	34 (DS)	1.5	11.2	-7%	74.97'	138.7'	213.7'

(a) Speeds are based on the Prevailing Speeds on La Cresta Road,
Note: All calculations based on average grades obtained in the field, PS = Prevailing Speed, DS = Design Speed
 $d_1 = 1.47Vt$; $d_2 = V^2 \div [30*((11.2 \div 32.2) \pm G)]$; $d = d_1 + d_2$

Kasay Esho,
E&B Petroleum
October 3, 2019
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Review of Table 2 shows 289.6 feet of stopping sight distance is required looking west at eastbound traffic on La Cresta Road from the projects easterly Driveway #2. Looking southeasterly from the projects easterly project Driveway #2, 213.7 feet of stopping sight distance is required. The next step in the analysis and review requires the review of the available stopping sight distance.

Westerly Project Driveway #1

Field Measurements from the centerline of the project driveway eight (8) feet from the edgeline of the roadway from a height 3.5 feet to a point 290 feet west of the project Driveway #1 to a point 4.25 feet high in the center of the eastbound travel lane. Looking east 282 feet to a point 4.25 feet in the center of the westbound travel lane from project Driveway #1 was conducted. **Figures 5 and 6** present the available corner stopping sight distance of 290 feet and 282 feet respectively. Based on these measurements, corner stopping sight distance looking west 290 feet and 282 feet looking east from the project Driveway #1 can be certified.

Easterly Project Driveway #2

Stopping sight distance measurements from project Driveway #2 were collected looking west from the center of Driveway #2 at a height of 3.5 feet located eight (8) feet from the edgeline of La Cresta Road. Looking west to a point 4.5 feet high in the center of the eastbound travel lane found 290 feet of stopping sight distance. **Figure 7** presents the measurements. Looking east to a point 4.25 feet high in the center of the westbound travel lane found 226 feet of stopping sight distance. **Figure 8** presents the measurements. Based on these measurements, corner stopping sight distance looking west 290 feet and 282 feet looking east from the project Driveway #2 can be certified.

The next step in the analysis process requires a determination if the corner sight distance falls within the existing public right-of-way. **Figures 9 and 10** were prepared showing corner stopping sight distance from the projects Driveway #1 and #2. Review of **Figures 9 and 10** show a clear zone easement will be required looking east from Driveway #1 and #2.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #1.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #1. (Zoomed In)

Darnell & Associates

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FIGURE 5 Corner Stopping Sight Distance

Looking Southwesterly on La Cresta Road from the projects easterly Driveway #1.



Looking Southeasterly 282' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #1, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane.



Looking Southeasterly 282' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #1, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane. (Zoomed In)

Darnell & ASSOCIATES

190705-AA.dwg 08-09-2019 vla

FIGURE 6 Corner Stopping Sight Distance

Looking Southeasterly on La Cresta Road from the projects westerly Driveway #1.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #2.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #2. (Zoomed In)

Darnell & ASSOCIATES

190705-AA.dwg 08-09-2019 vla

FIGURE 7 Corner Stopping Sight Distance

Looking Southwesterly on La Cresta Road from the projects easterly Driveway #2.



Looking Southeasterly 226' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #2, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane.



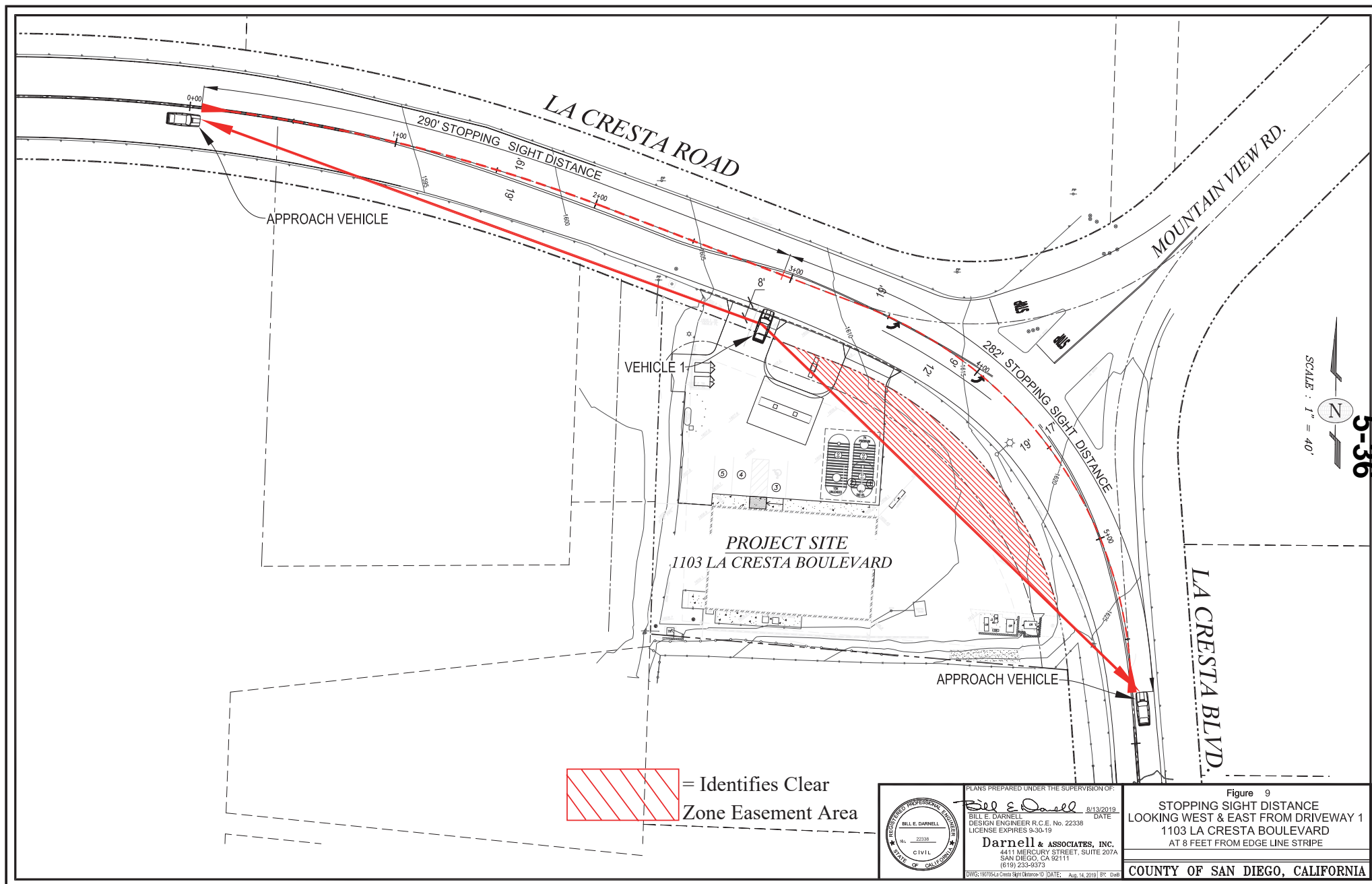
Looking Southeasterly 226' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #2, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane. (Zoomed In)

Darnell & ASSOCIATES

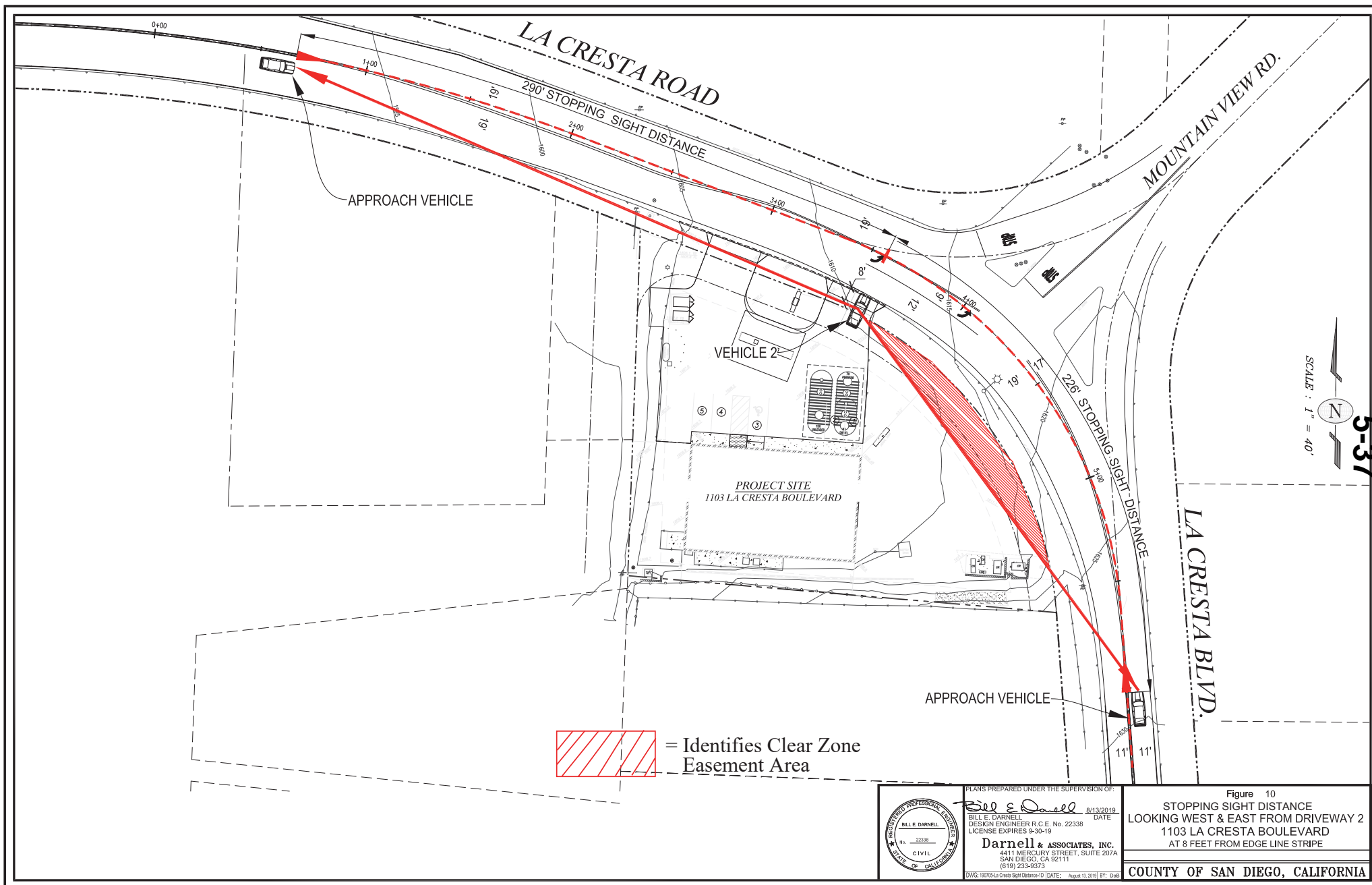
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FIGURE 8 Corner Stopping Sight Distance

Looking Southeasterly on La Cresta Road from the projects westerly Driveway #2.



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Kasay Esho,
E&B Petroleum
October 3, 2019
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In summary, it can be concluded that corner stopping sight distance can be certified on La Cresta Road looking west and east from the two (2) project driveways provided the attached design exception is approved.

- Driveway #1 – STOPPING SIGHT DISTANCE
 - Looking westbound – 290 feet/48 MPH
 - Looking eastbound – 282 feet/40 MPH
- Driveway #2- STOPPING SIGHT DISTANCE
 - Looking westbound – 290 feet/48 MPH
 - Looking eastbound – 226 feet/35 MPH

It should be noted that required clear-zone easements looking east from Driveways #1 and #2 are depicted on **Figures 9 and 10**.

If you have any questions, please feel free to contact the office.

Sincerely,

Darnell & Associates,



Bill E. Darnell, P.E. Firm Principal
RCE 22338



10/3/2019

Date Signed:

BED/jam

190705 - La Cresta Market Corner Sight Distance Analysis_10-3-19

Attachments:

A - Speed Surveys

B - County of San Diego Design Exception Modification

ATTACHMENT A

➤ Speed Surveys

VEHICLE SPEED SURVEY SHEET FOR CITY AND COUNTY THROUGH HIGHWAYS, ARTERIALS, AND COLLECTOR ROADS

Jurisdiction SAN DIEGO COUNTY Date 1-31-18
Location LA CRESTA RD W/ HAMLET DR Weather CLEAR & DRY
Recorder MARTIN LAUBER Begin Time 12:40 End Time 1:15

MPH	NUMBER OF VEHICLES						PERCENT OF TOTAL	CUMULATIVE PERCENTAGE
	5	10	15	20	25	30		
65								
60								
	X						1	100
55	X						1	99
	X						1	98
	X						3	97
	X						2	94
50	X						1	92
	X						1	91
	X	X					7	90
	X	X					2	83
	X	X					2	81
45	X	X					5	79
	X	X					6	74
	X	X					5	68
	X	X					6	63
	X	X	X				12	57
40	X	X	X				7	45
	X	X	X				12	38
	X	X	X				3	26
	X	X	X				10	23
35	X	X	X				2	13
	X	X	X				5	11
	X	X					3	6
	X						1	3
30								
	X						1	1
25								
20								
								10
15								
TOTAL NUMBER OF VEHICLES							100	

Other Considerations

Accident History:

Unusual Conditions: Speed Zone transition from 55 mph
to 30 mph. 30 mph sign at project driveway

Signed Martin C. Lauber Date 1-31-18 Title Traffic Engineer.

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VEHICLE SPEED SURVEY SHEET FOR CITY AND COUNTY THROUGH HIGHWAYS, ARTERIALS, AND COLLECTOR ROADS

Jurisdiction SAN DIEGO COUNTYDate 1-31-18Location LA CRESTA BLVD 5/0 MOUNTAIN VIEW ROAD Weather CLEAR & DRYRecorder MARTIN LAUBERBegin Time 10:15End Time 11:40

MPH	NUMBER OF VEHICLES						PERCENT OF TOTAL	CUMULATIVE PERCENTAGE
	5	10	15	20	25	30		
65								
60								
55								
50								
45								
40	X						1	100
	X	X					3	99
	X	X					0	96
	X	X	X				6	96
35	X	X	X				5	90
	X	X	X				5	85
	X	X	X				3	80
	X	X	X	X			8	77
	X	X	X	X			7	69
30	X	X	X	X	X		12	62
	X	X	X	X	X		9	50
	X	X	X	X	X		4	41
	X	X	X	X	X		11	37
	X	X	X	X	X		9	26
25	X	X	X	X	X		9	17
	X	X	X	X	X		0	8
	X	X	X	X	X		0	3
	X	X	X	X	X		5	8
20	X	X	X	X	X		2	3
	X	X	X	X	X		1	1
							0	
							0	
							0	
							0	
15							0	
TOTAL NUMBER OF VEHICLES							100	

Other Considerations

Accident History :

Unusual Conditions :

Signed

Martin P. Lauber

Date

1-31-18

Title

Traffic Engineer.

ATTACHMENT B

- County of San Diego Design Exception Modification
to a Road Standard and/or a Project Condition

DEPARTMENT OF PUBLIC WORKS

**Request for a
Modification to a Road Standard
and/or to Project Conditions**

Project Number: PDS2018-STP-18-025 **Date of Request:** October 3, 2019

Project Location: La Cresta Road @ Project Drives

Thos. Bros. Map/Grid: **APN:** APN: 509-043-08

Requestor Name: Bill E. Darnell, Darnell & Associates, Inc. **Telephone:** (619) 233-9373

Address: 4411 Mercury Street, Suite 207A, San Diego, CA 92111

Requested Modification (attach engineering sketches showing existing layout, details and notes):

Request to use AASHTO Stopping Sight Distance criteria to certify corner sight distance looking east and west on La Cresta Road from the project driveways shown on Figure 1.

Reason for requested Modification (provide attachment if additional space is required):

The project cannot meet County of San Diego corner sight distance requirements to the north of west and east on La Cresta Road due to the horizontal curvature of the roadway.

List alternatives that could mitigate the requested Modification (attach engineering sketches showing proposed layouts, details and notes):

Mitigation alternatives would include realigning the horizontal curvature of La Cresta Road.

Describe the hardship(s) to the property owner(s) and/or neighbor(s) if the request is not approved (see note 3. on reverse):

The realignment of the roadway would be excessively expensive, require acquisition of rights of way, and major grading.

Provide Design and Cost Estimate for meeting the Condition (see note 3. on reverse):

The cost of mitigation has not been fully explored, however, there would be substantial costs involved in the redesign of the alignment of the roadway to remove the horizontal curve and to grade and construct the roadway to provide the required sight distance.

Revised: Aug 30, 2007

Bill E. Darnell
Bill E. Darnell

10/3/2019
Date



This form is to be used for the following:

- A. Request modification to a Road Standard and/or modify DPW Conditions included in the **Preliminary Approval** *prior* to the issuance of the Final Approval.
- B. Request modification to a Road Standard and/or modify DPW Conditions included in the **Final Approval** document(s) *prior* to the recordation of the map, which may also require an amendment of conditions.

Note: Request for modifications to conditions of a recorded map, in most cases, requires a map modification, which is a separate process.

This request may be initiated by the owner or by an agent or consultant, the local fire prevention district or the local planning group acting on behalf of the owner. Where professional opinions, judgments, analysis, etc are included, these documents shall be signed, sealed and dated by the responsible licensed professional.

The following guidelines apply to this request:

1. Incomplete or unclear requests, or requests not supported by appropriate documents will be returned as incomplete applications. Requests must be specific and clear.
2. This request must be completed and submitted with supporting attachments. Attachments may consist of documents from the relevant County departments, regulatory agencies, fire prevention districts, water and utility districts, planning groups. Photos, plan and profile sketches, diagrams, engineering studies, certifications, cost estimates, and other pertinent information may also be included.
3. Provide detailed cost estimates for work included in this request. Single figure summary and "bottom line" cost estimates will not be accepted. Please note that financial hardship cannot be the sole basis of a modification request.

Example 1: A request to reduce an intersectional sight distance condition must, as a minimum, be supported by a detailed plan of the intersection showing the right-of-way easements, the available/required line(s) of sight and the existing obstructions to the line(s) of sight, a certification by a registered engineer of the prevailing speed along the major road, certification as to the minimum acceptable sight distance and the availability of such distance, as well as a detailed cost estimate for compliance with the initial condition.

Example 2: A request to reduce road width improvement standard must, as a minimum, cite the reasons necessitating the request, a letter from the local Fire Prevention District stipulating the acceptable changes to the road(s), plan and profile sketches of the road showing centerline stationing, nature, size and location of utilities that are impacted, and a detailed cost estimate for compliance with the initial improvement condition(s).

4. The applicant will be contacted if additional information or clarification is required. Your request may be forwarded to the local planning group for input. The DPW Project Team responsible for the project area will evaluate the request and make a recommendation to the Director through the Deputy Director. The Director's decision, which is final, will be conveyed to the applicant in writing, with copies to all parties and agencies concerned.
5. Requests take an average of ten (10) working days to process. They may take longer if submitted without the proper supporting documents or if there is insufficient balance in the project account.
6. Mail or submit your completed request(s) to the Department of Public Works (DPW), 5201 Ruffin Road (MS-O336), Suite D, San Diego, CA, 92123. An emailed pdf copy is recommended, also.
7. Staff time to process this request will be charged against the project account. The applicant will be contacted for additional funds if the account balance is insufficient to cover the estimated charges for processing the request.

Attachment B

- Project Driveway Corner Sight Distance Photos based on Stopping Sight Distance



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #1.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #1. (Zoomed In)

Darnell & Associates

190705-AA.dwg 08/09/2019 via

FIGURE 5

Corner Stopping Sight Distance

Looking Southwesterly on La Cresta Road from the projects easterly Driveway #1.



Looking Southeasterly 282' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #1, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane.



Looking Southeasterly 282' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #1, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane. (Zoomed In)

Darnell & ASSOCIATES

190705-AA.dwg 08-09-2019 v1a

FIGURE 6
Corner Stopping Sight Distance

Looking Southeasterly on La Cresta Road from the projects westerly Driveway #1.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #2.



Looking Southwesterly 290' feet on La Cresta Road at eastbound traffic at a height of 3.5 feet to a point 4.25' foot high in the center of the eastbound travel lane on La Cresta Road from the project Driveway #2. (Zoomed In)

Darnell & ASSOCIATES

190705-AA.dwg 08-09-2019 via

FIGURE 7

Corner Stopping Sight Distance

Looking Southwesterly on La Cresta Road from the projects easterly Driveway #2.



Looking Southeasterly 226' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #2, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane.



Looking Southeasterly 226' feet on La Cresta Road at westbound traffic on La Cresta Road from the projects driveway to a point in the center of the Driveway #2, 8' feet from the edgeline to a point 4.25' foot high in the center of the westbound travel lane. (Zoomed In)

Darnell & ASSOCIATES

190705-AA.dwg 08-09-2019 jam

FIGURE 8

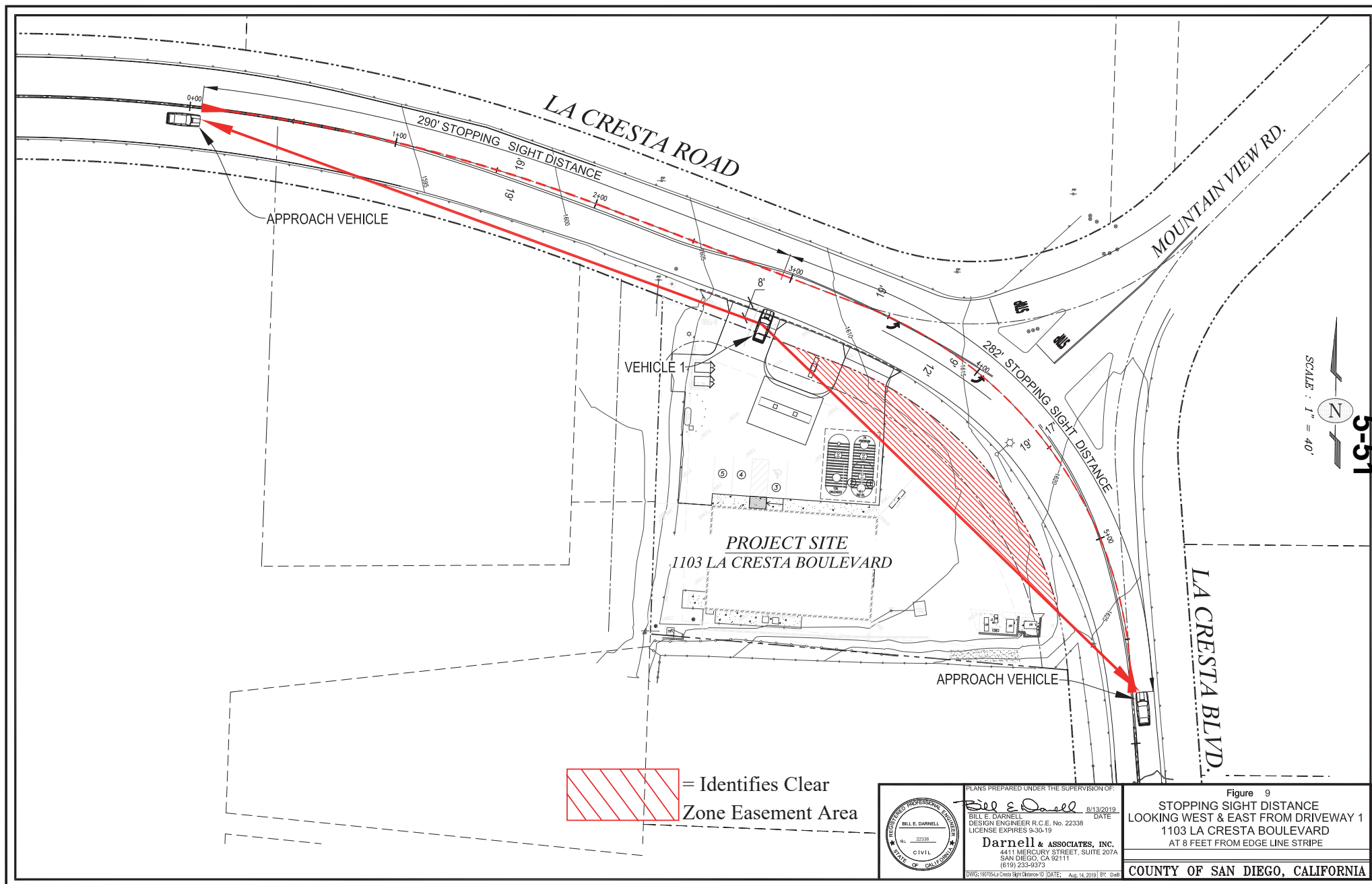
Corner Stopping Sight Distance

Looking Southeasterly on La Cresta Road from the projects westerly Driveway #2.

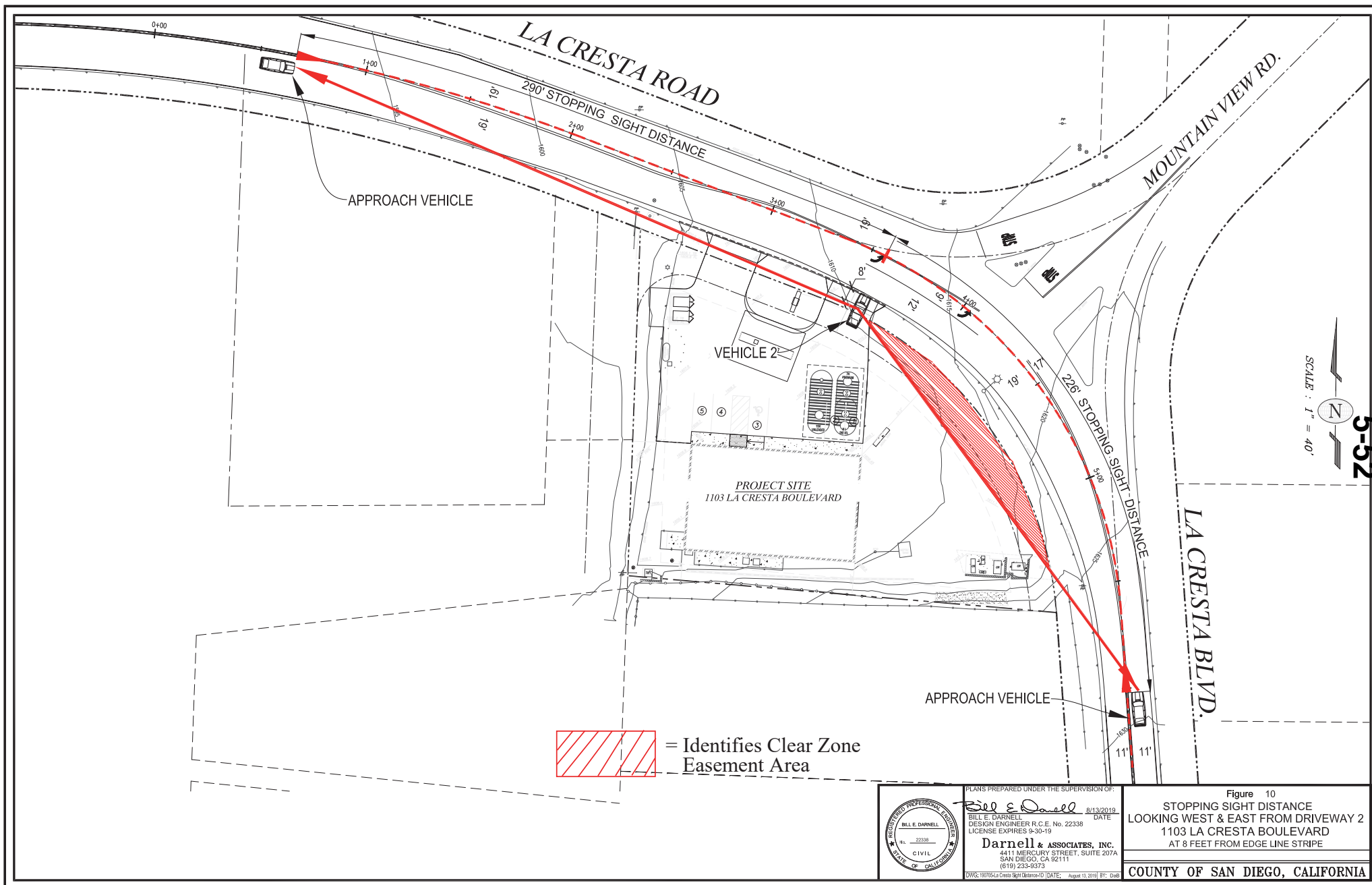
Attachment C

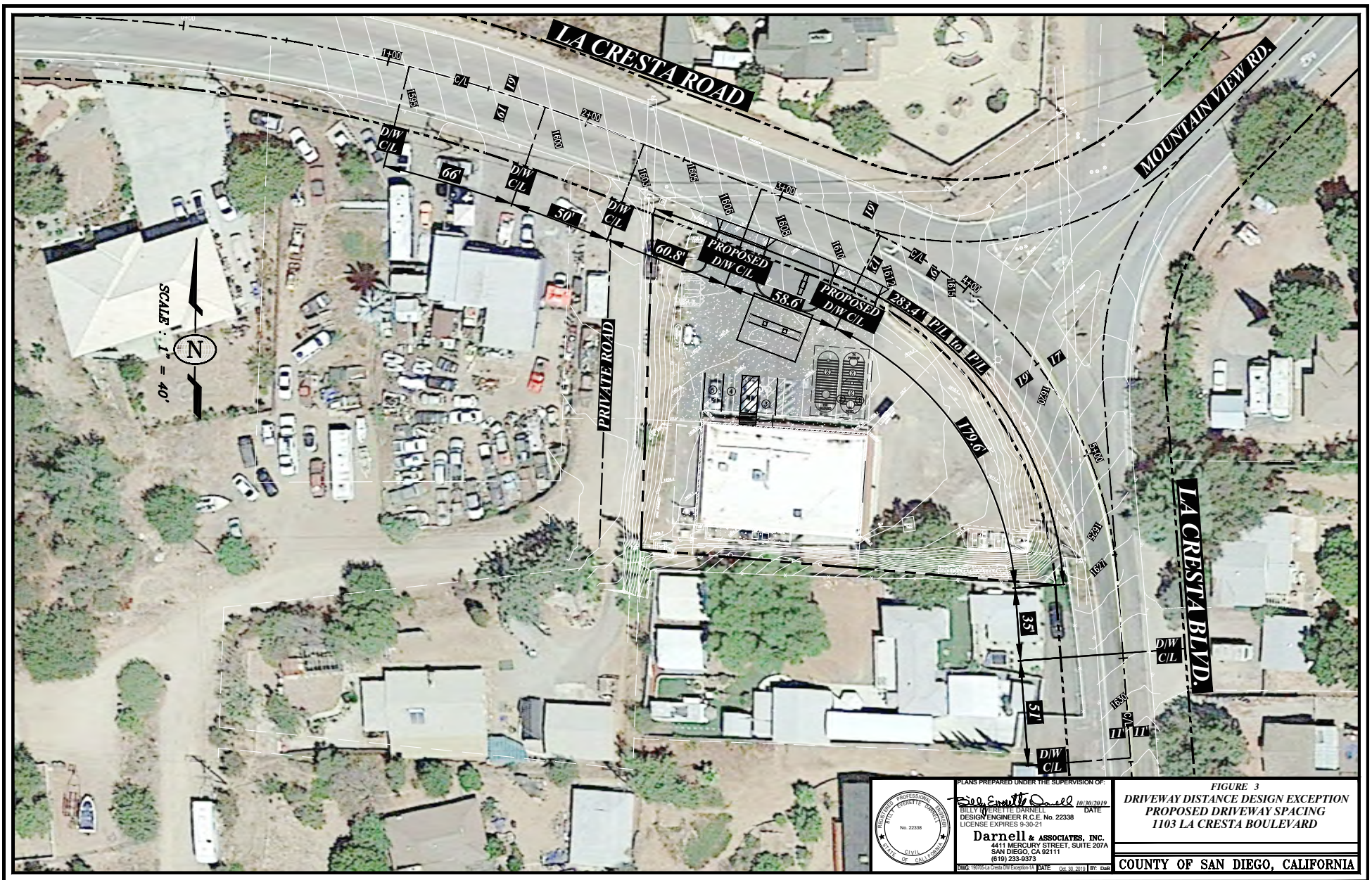
Stopping Corner Sight Distance Figures

- Figures 9 and 10 from the October 3, 2019 Report
- Figure 2 and 3 from the December 9, 2019 Memo showing Corner Sight Distance overlaid on Landscape Plan



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PLANS PREPARED UNDER THE SUPERVISION OF:
Billy Herbert Darnell
 BILLY HERBERT DARNELL DATE 10/30/2019
 DESIGN ENGINEER R.C.E. No. 22338
 LICENSE EXPIRES 6-30-21
Darnell & Associates, Inc.
 4411 MERCURY STREET, SUITE 207A
 SAN DIEGO, CA 92111
 (619) 233-9073
 DWG: 10105-03-001-001-001 DATE: 04.30.2019 BY: dmh

FIGURE 3
 DRIVEWAY DISTANCE DESIGN EXCEPTION
 PROPOSED DRIVEWAY SPACING
 1103 LA CRESTA BOULEVARD
 COUNTY OF SAN DIEGO, CALIFORNIA



County of San Diego

BRIAN ALBRIGHT
DIRECTOR

DEPARTMENT OF PUBLIC WORKS
5510 OVERLAND AVENUE, SUITE 410
SAN DIEGO, CA 92123-1237
(858) 694-2212
www.sdcountry.ca.gov/dpw/

October 29, 2019

Kasay Esho
1103 La Cresta Boulevard
El Cajon, CA 91921

Dear Ms. Esho:

REQUEST FOR EXCEPTION(S) TO PUBLIC ROAD STANDARD(S) – EXISTING RETAIL STORE AND GAS STATION LOCATED IN THE UNINCORPORATED PORTION OF SAN DIEGO COUNTY WITHIN THE CREST-DEHESA COMMUNITY PLANNING AREA, APN 509-043-08-00, PDS2018-STP-18-023.

County of San Diego (County) Department of Public Works (DPW) has reviewed your request, dated October 3, 2019, for the following design exception(s) to County Public Road Standard(s):

- Request to approve the use of the minimum stopping sight distance of 290 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 1) and La Cresta Road (2.1D Light Collector). The County's required corner sight distance for a Design Speed of 45 MPH is 450 feet. The existing sight distance is 290 feet looking westerly of the proposed private driveway. The existing sight distance is limited due to existing alignment of La Cresta Road.
- Request to approve the use of the minimum stopping sight distance of 280 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 1) and La Cresta Road (2.1D Light Collector). The County's required corner sight distance for a Design Speed of 45 MPH is 450 feet. The existing sight distance is 282 feet looking easterly of the proposed private driveway. The existing sight distance is limited due to existing alignment of La Cresta Road.
- Request to approve the use of the minimum stopping sight distance of 290 feet in accordance with the American Association of State Highway and Transportation

Ms. Esho
October 29, 2019
Page 2

Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 2) and La Cresta Road (2.1D Light Collector). The County's required corner sight distance for a Design Speed of 45 MPH is 450 feet. The existing sight distance is 290 feet looking westerly of the proposed private driveway. The existing sight distance is limited due to existing alignment of La Cresta Road.

- Request to approve the use of the minimum stopping sight distance of 214 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 2) and La Cresta Road (2.1D Light Collector). The County's required corner sight distance for a Design Speed of 45 MPH is 450 feet. The existing sight distance is 226 feet looking easterly of the proposed private driveway. The existing sight distance is limited due to existing alignment of La Cresta Road.

County staff has assessed the appropriateness of the requested exceptions to use AASHTO stopping sight distance criteria in lieu of corner sight distance, and the County Traffic Engineer has reviewed and supports the request. Found the request to be consistent with the sight distance requirements outlined in *A Policy on Geometric Design of Highways and Streets*, Exhibit 3-2 per AASHTO standards. The sight distance available for eastbound and westbound traffic on La Cresta Road approaching the intersection with the proposed driveway opening(s) complies with the AASHTO stopping sight distance criteria, based upon the sight distances cited in the sight distance certification provided by Darnell & Associates, dated October 3, 2019. It has been determined that your request for modification will not adversely affect traffic safety and flow of traffic in the area. This Design Exception Request is hereby approved. All other standards, conditions, and improvements required shall be met.

If you have any questions or need additional information related to this request, please contact Zoubir Ouadah, DPW County Traffic Engineer at (858) 694-3857, at: Zoubir.Ouadah@sdcounty.ca.gov.

Sincerely,



DEREK R. GADE, P.E., Assistant Director
Department of Public Works

cc: PDS2018-STP-18-023 File
Zoubir Ouadah – Department of Public Works
Kasay Esho – kesho@cox.net



County of San Diego

BRIAN ALBRIGHT
DIRECTOR

DEPARTMENT OF PUBLIC WORKS
5510 OVERLAND AVENUE, SUITE 410
SAN DIEGO, CA 92123-1237
(858) 694-2212
www.sdcountry.ca.gov/dpw/

November 22, 2019

Kasay Esho
1103 La Cresta Boulevard
El Cajon, CA 91921

Dear Ms. Esho

REQUEST FOR EXCEPTION(S) TO PUBLIC ROAD STANDARD(S) – EXISTING RETAIL STORE AND GAS STATION LOCATED IN THE UNINCORPORATED PORTION OF SAN DIEGO COUNTY WITHIN THE CREST-DEHESA COMMUNITY PLANNING AREA, APN 509-043-08-00, PDS2018-STP-18-023.

County of San Diego (County) Department of Public Works (DPW) has reviewed your request, dated October 31, 2019, for the following design exception(s) to County Public Road Standard(s):

- Request to approve a reduction in the required minimum separation distance between intersecting centerlines of a Non-Mobility Element road entering into a Non-Mobility Element road, (including driveways). In accordance with Section 6.1.C.1, from 200 feet to 59 feet at the project's proposed loop driveway entrance (Non-Mobility Element road) and the project's proposed loop driveway exit, accessing the proposed gas station, and La Cresta Road (2.1D Light Collector).

County staff assessed the appropriateness of the requested reduction in separation distance(s), and the County Traffic Engineer has reviewed and supports the request. Found the request to be consistent with the current classification of the public road, and the project's private driveway location(s) will cause the least traffic impact considering the constraints. It has been determined that your request for the proposed driveway location(s) provides proper vehicular circulation within the project site area and the exception will not adversely affect traffic safety and flow of traffic in the area. This Design Exception Request is hereby approved. All other standards, conditions, and improvements required shall be met.

Ms. Esho
November 22, 2019
Page 2

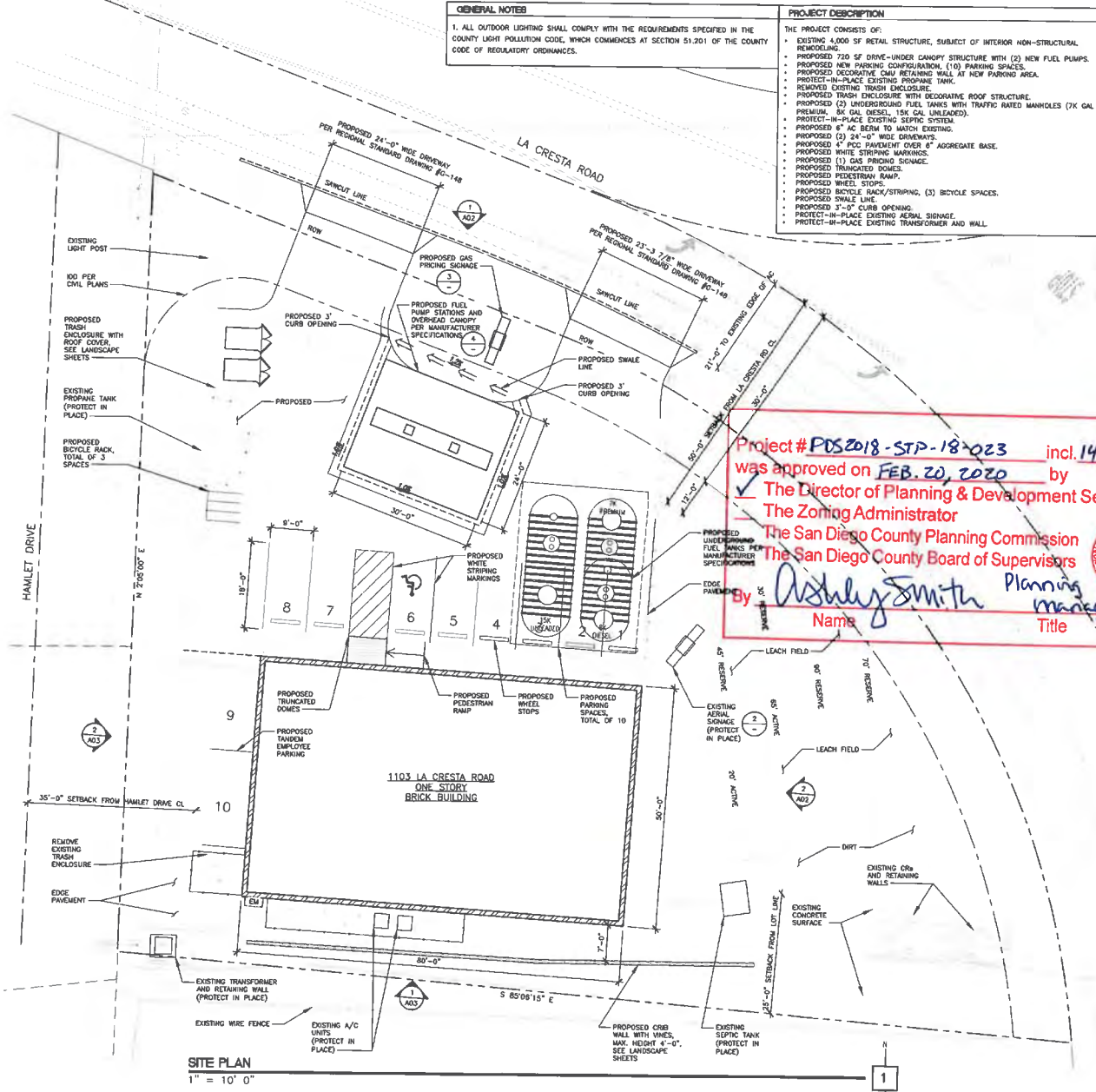
If you have any questions or need additional information related to this request, please contact Zoubir Ouadah, DPW County Traffic Engineer at (858) 694-3857, at: Zoubir.Ouadah@sdcounty.ca.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Derek R. Gade', with a long horizontal flourish extending to the right.

DEREK R. GADE, P.E., Assistant Director
Department of Public Works

cc: PDS2018-STP-18-023 File
Zoubir Ouadah – Department of Public Works
Kasay Esho – kesho@cox.net



Project # PDS2018-STP-18-023 incl. 14 sheets
 was approved on FEB. 20, 2020 by
 The Director of Planning & Development Services
 The Zoning Administrator
 The San Diego County Planning Commission
 The San Diego County Board of Supervisors

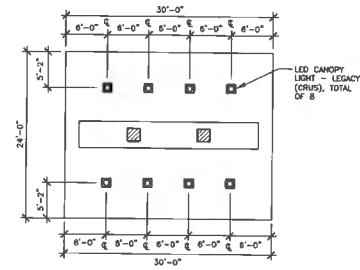
By Ashley Smith Planning manager
 Name Title



EXISTING AERIAL SIGNAGE
NTS



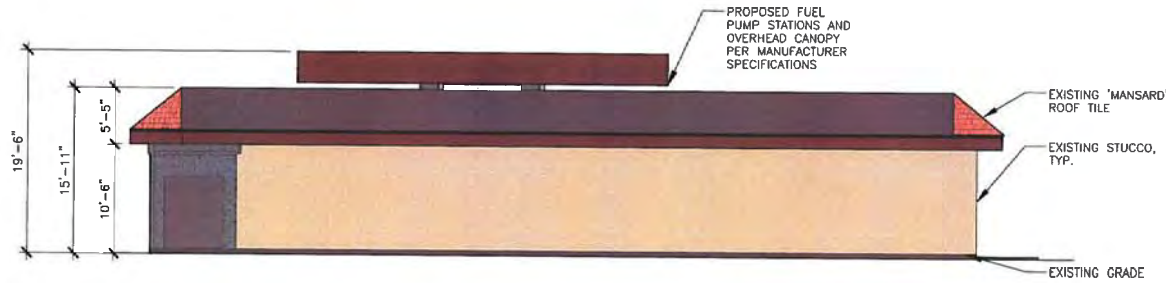
PROPOSED GAS PRICING SIGNAGE
NTS



CANOPY - LIGHTING PLAN
1/8"=1'-0"

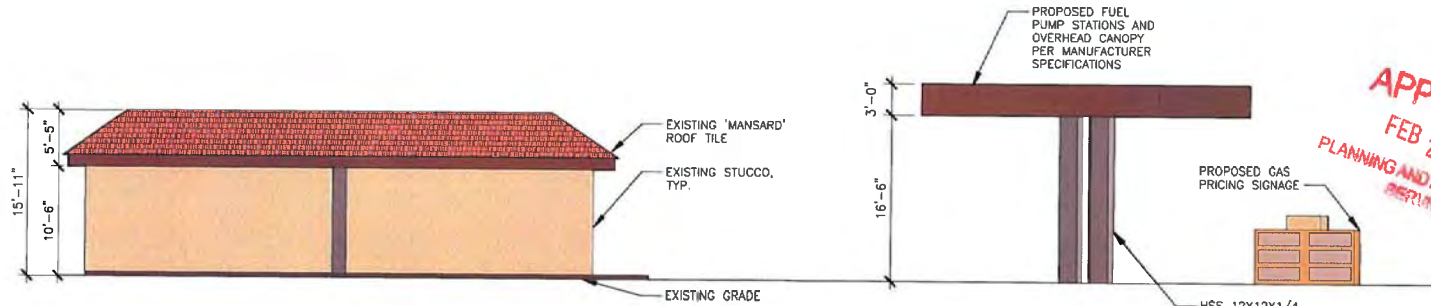
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2	DATE
3	BY
4	REVIEW
5	DATE
6	BY
7	REVIEW
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11	DATE
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100	REVIEW

5-59



SOUTH ELEVATION
3/16"=1'-0"

1



WEST ELEVATION
3/16"=1'-0"

2

APPROVED
FEB 20 2020
PLANNING AND DEVELOPMENT
PERMIT

ARCHITECT

DI DONATO ASSOCIATES
ARCHITECTURE GRAPHICS
1103 LA CUESTA ROAD, E. CAJON, CA 92021
TEL: 951.279.7272 FAX: 951.279.7273

PROJECT NAME

E&B PETROLEUM
1103 LA CUESTA ROAD, E. CAJON, CA 92021

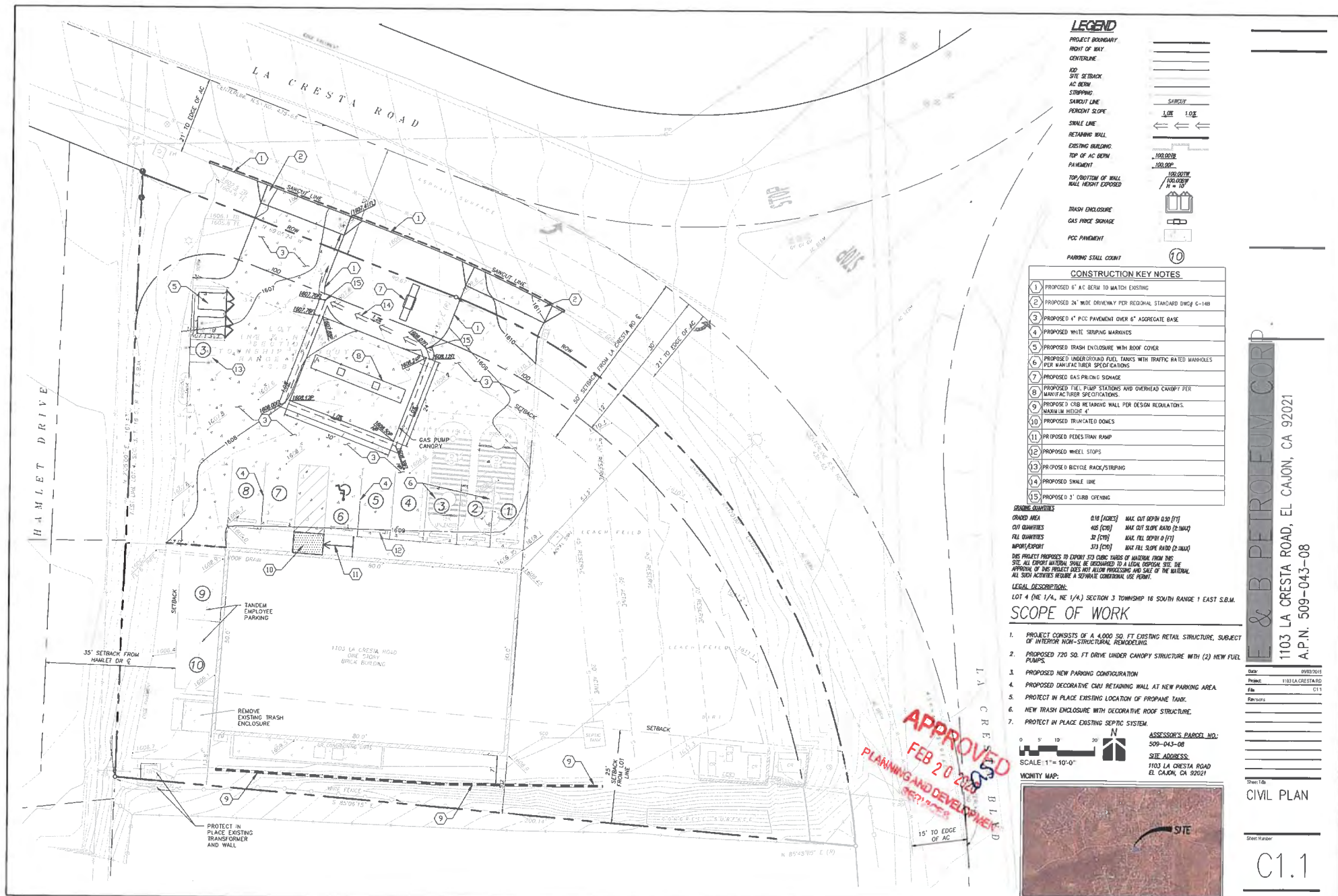
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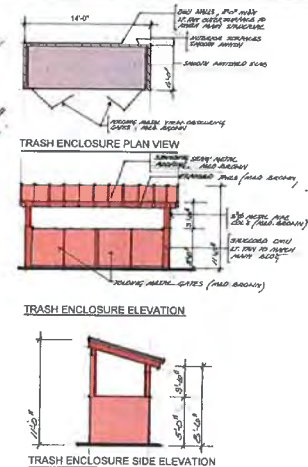
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SHEET INFORMATION

DI DONATO ASSOCIATES
ARCHITECTURE GRAPHICS
A03
EXTERIOR ELEVATIONS


DOA/Project: 1102
PLOT SCALE: 1/2"=1'-0"





NOTE: THERE ARE NO EXISTING TREES ON THIS PROJECT

APPROVED
FEB 20 2020
TRAINING AND DEVELOPMENT
SERVICES


NORTH

SCALE: 1" = 10'-0"



LA CRESTA NEW FUEL SYSTEM

1103 LA CRESTA BLVD.
EL CAJON CA 92021

SHEETS F-1 THROUGH F-7 HAVE BEEN INCLUDED ONLY FOR THE REVIEW OF THE UNDERGROUND STORAGE TANKS BY THE DEPARTMENT OF ENVIRONMENTAL HEALTH - HAZARDOUS MATERIALS DIVISION. SHEETS A01 THROUGH A03, C1.1 AND THE CONCEPTUAL LANDSCAPE SHEET HAVE BEEN REVIEWED AND APPROVED FOR THE "D4" SITE PLAN REQUIREMENTS.

SHEET INDEX

F-1	TITLE SHEET/SITE PLAN
F-2	DISPENSER & 3+1 LOC DETAILS
F-3	VENT BOX WITH CARBON CANISTER
F-4	15K VST CROSS-SECTION
F-4.1	15K SPLIT VST CROSS-SECTION
F-4.2	BUOYANCY CALCULATIONS
F-5	TYPICAL TANK SLAB DETAILS
F-6	MATERIAL LIST
F-7	DETAILS

PROJECT DATA

PROJECT NAME	E & B PETROLEUM
PROJECT ADDRESS	1103 LA CRESTA BLVD., EL CAJON CA 92021
BUILDING CODES	2015 CBC: CALIFORNIA BUILDING CODE 2016 CMC: CALIFORNIA MECHANICAL CODE 2016 CPC: CALIFORNIA PLUMBING CODE 2016 CEC: CALIFORNIA ELECTRICAL CODE 2016 CFC: CALIFORNIA FIRE CODE 2016 CALIFORNIA CODE FOR BUILDING CONSERVATION 2015 NFPA-30A 2012 NFPA 30, NFPA 407, NFPA 70, ASCE 7-10

SCOPE OF WORK

- MARK OUT TANK SLAB LOCATIONS AFTER OWNER'S SURVEYOR HAS SAVED BUT TAKE CORNERS AND ELEVATIONS.
- DIG TANK HOLE. DISPOSE OF SPILLS - ASSASSIN SUE IN ELEVATION AND NOT CONTAMINATED.
- INSTALL 2 NEW TANKS (TWO 15000 GALLON - ONE SPLIT 8 / 7).
- SET UP AND POUR CANOPY FOOTINGS (2) DEPART SITE WITH CANOPY (1) ERECTED.
- TRENCH FOR INSULATION OF NEW FUEL LINES.
- INSTALL CONTAMINANT Sumps FOR THE DISPENSERS (2).
- INSTALL TANK HARDWARE (ELEVATION, RISERS FOR THE TANK GAUGE, TANK INTERIOR SENSOR, FILL AND VAPOR).
- INSTALL FUEL PIPING - FIBERGLASS DOUBLE WALL PIPING SYSTEM AND SHADE PIPING - DOUBLE WALL FIBERGLASS.
- RAN ELECTRICAL CONDUITS TO FUEL SYSTEM.
- OBTAIN INSPECTIONS ON THE UNDERGROUND FUEL PIPING AND ELECTRICAL PRIOR TO BACKFILL.
- UPON APPROVAL FROM ALL INSPECTIONS, BACKFILL ALL TRENCHES. WE WILL UTILIZE PEA GRAVEL TO INSURE PROPER CONNECTION.
- SET UP CANOPY WALL. WE WILL USE #3 REBAR TIE AT 18" ON CENTERS.
- POUR CONCRETE FOR CANOPY WALL.
- SET THE NEW DISPENSERS (2). COMPLETE PIPING AND ELECTRICAL TO DISPENSERS.
- WIRE UP ALL FUEL EQUIPMENT. INSTALL MONITOR SYSTEM.
- COMPLETE THE TANK HARDWARE - VENT BACK, VENT CAPS, SPILL CONTAINMENT BOARDS, DROP LINES AND TANK GAUGES.
- PERFORM ENHANCED LEAK DETECTION TEST.
- COORDINATE THE FUEL ORDER. INSTALL THE DISPENSER HARDWARE (HOSES, WHIP HOSES AND NOZZLES) AND FIRE UP THE DISPENSERS AND MONITORING SYSTEM. PURGE FUEL LINES AND CARBONATE DISPENSER.
- OBTAIN FINAL INSPECTION FROM SAN DIEGO COUNTY ENVIRONMENTAL HEALTH AND SAN JUANES FIRE DEPARTMENT. ALSO, WE WILL SCHEDULE AN AFD INSPECTION. WHEN THE PLACE IS TO GO DAYS AFTER OPENING.

NOTES

- FUELING FACILITY WILL BE SELF ATTENDED SEE CFC 2306.2.
- THE REQUIRED FIRE EXTINGUISHER (MINIMUM RATING OF 2-A20-B-C) WITHIN 75' OF THE FUELING DISPENSING SYSTEM WILL MEET COMPLIANCE WITH CFC 2306.3.
- 2305.7 CONTROL OF BRUSH AND DEBRIS. FENCED AND UNFENCED AREAS SURROUNDING ABOVE-GROUND TANKS SHALL BE KEPT FREE FROM VEGETATION, DEBRIS AND OTHER MATERIAL THAT IS NOT NECESSARY TO THE PROPER OPERATION OF THE TANK AND PIPING SYSTEM. WEEDS, GRASS, BRUSH, TRASH AND OTHER COMBUSTIBLE MATERIALS SHALL BE KEPT NOT LESS THAN 10 FEET (3048MM) FROM FUEL HANDLING EQUIPMENT.
- AN ACCURATE DAILY INVENTORY RECORDS FOR THE UNDERGROUND STORAGE TANKS WILL MEET CFC 2306.2.1.1.

VICINITY MAP



ENGINEERING & CONSTRUCTION, INC.
1103 LA CRESTA BLVD., EL CAJON, CA 92021
3720 Camino del Rio, Suite 208
San Diego, California 92108
Tel: 619-441-1100 Fax: 619-441-1101

DATE: 04/05/19

SCALE: 1"=10'

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS

IMPORTANT NOTICE

PER CFC 2303.103, THE LOCATION OF THE DISPENSING DEVICES SHALL BE 70 FEET OR MORE FROM ANY FIXED SOURCES OF IGNITION

FOR UNDERGROUND LOCATING

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating

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1-800-227-2600 or B11

For Underground Locating

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1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

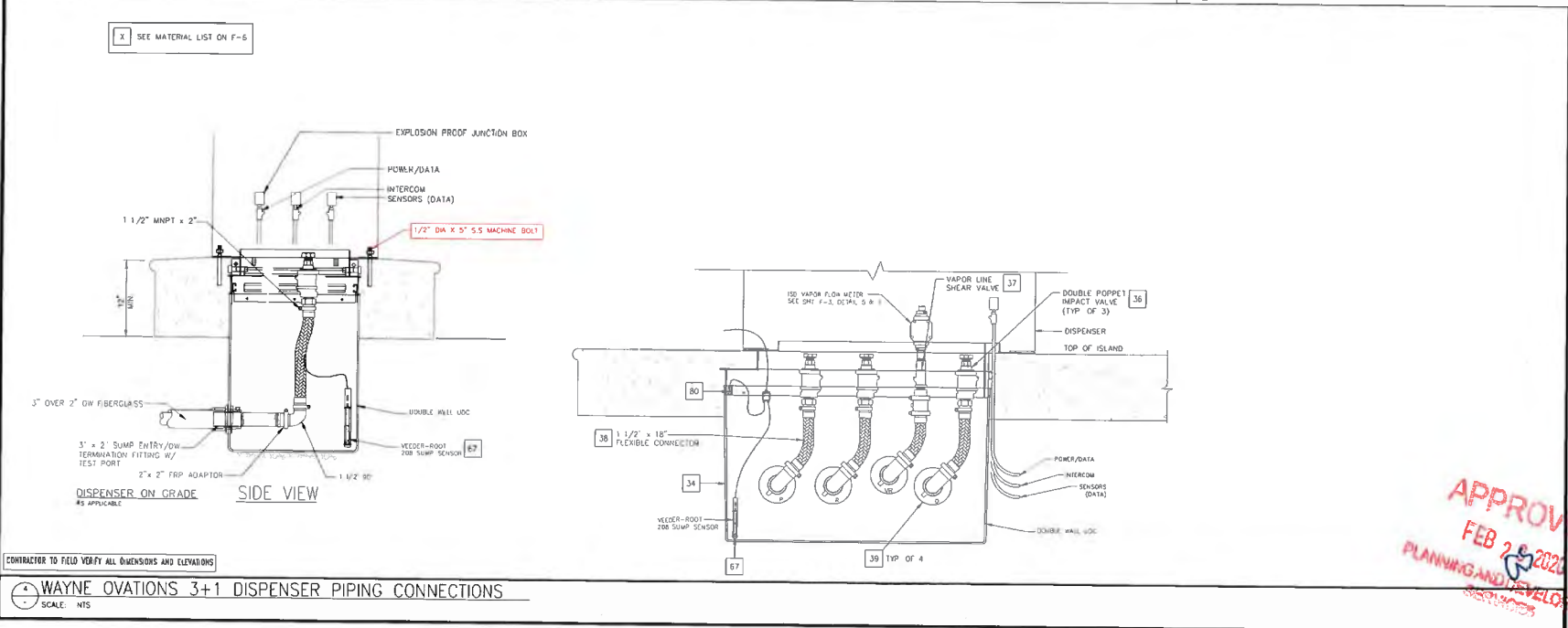
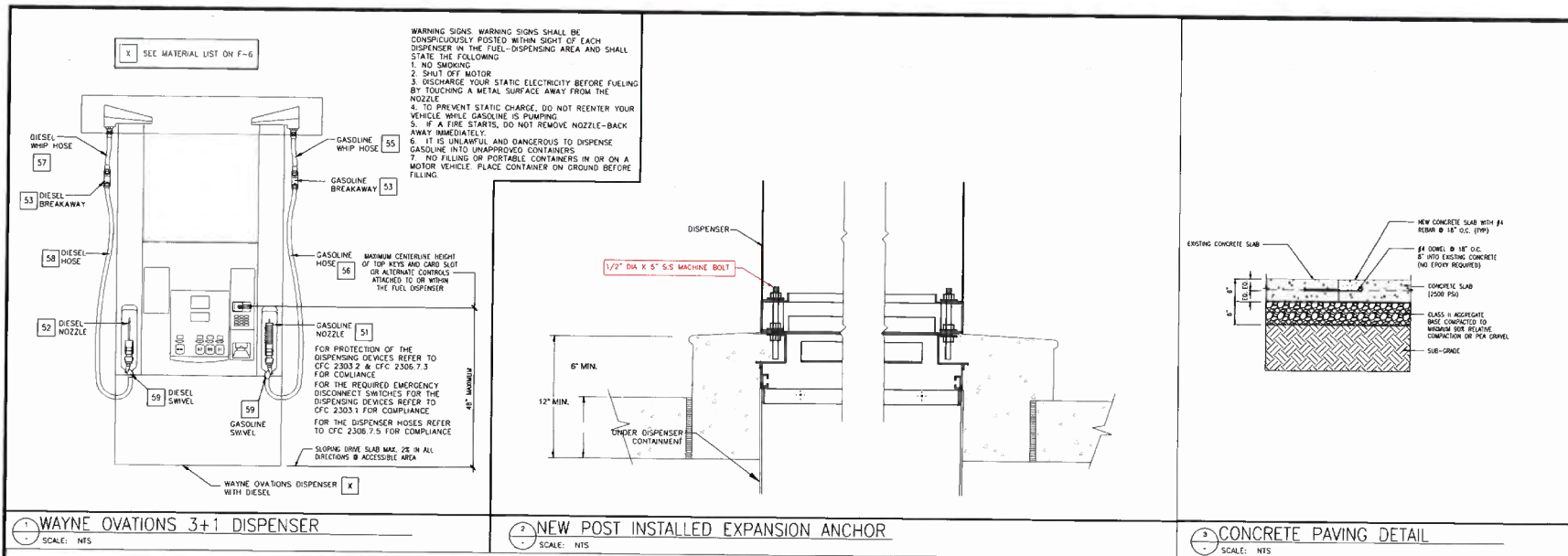
1-800-227-2600 or B11

For Underground Locating

2. Working Depth before: 100 Dg

1-800-227-2600 or B11

For Underground Locating



ENGINEERING & CONSTRUCTION, INC.
 3720 Emerald Way, Suite 205
 92090
 714-921-4100
 714-921-4009

NO.	DATE	BY	REVISION/SCALE/DESCRIPTION
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1	3/22/20		
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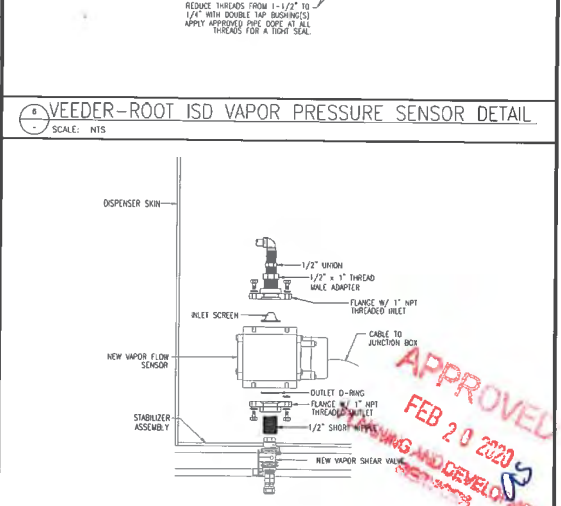
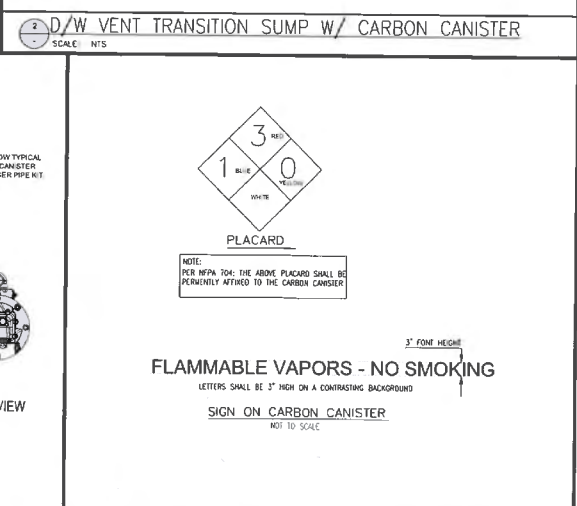
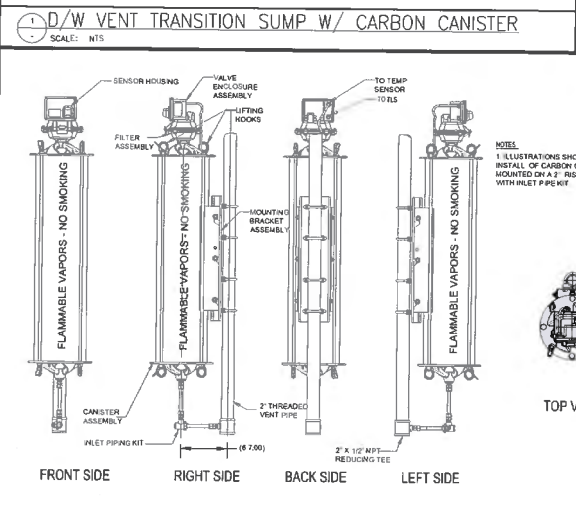
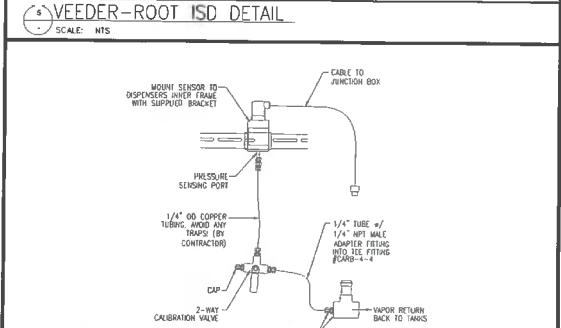
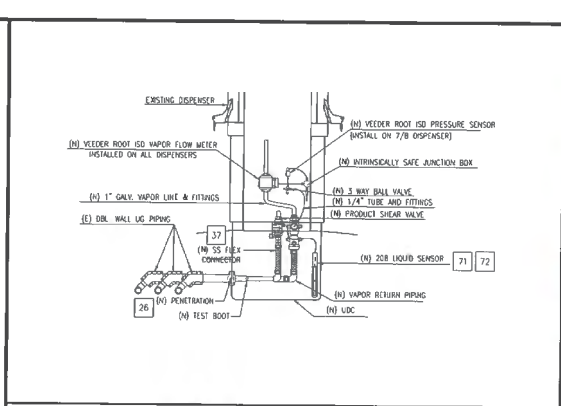
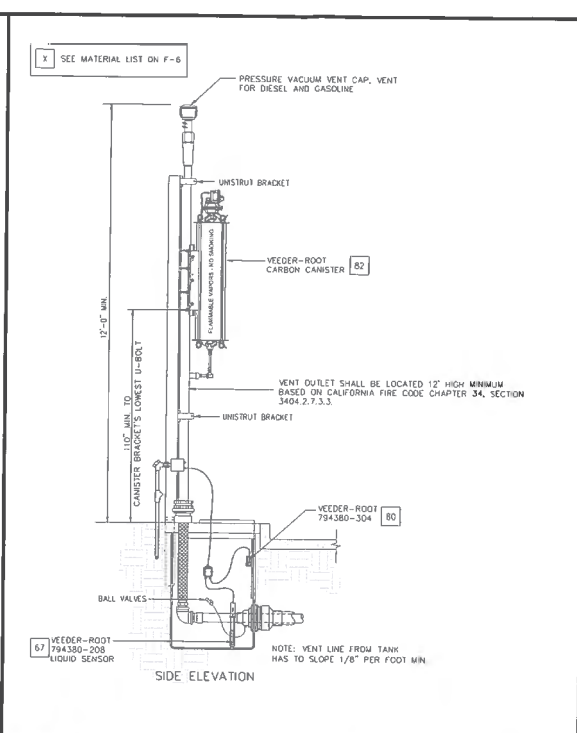
DISPENSER & 3+1 UDC DETAILS
 E & B PETROLEUM
 1103 LA CRESTA BLVD.
 EL CAJON CA 92021

APPROVED
 FEB 28 2020
 PLANNING AND DEVELOPMENT
 8/20/20

DRAWN BY: MW
 REVIEWED BY: JK
 DATE: 02.04.19

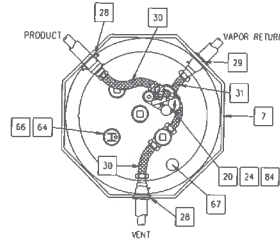
SHEET
 F-2

5-65

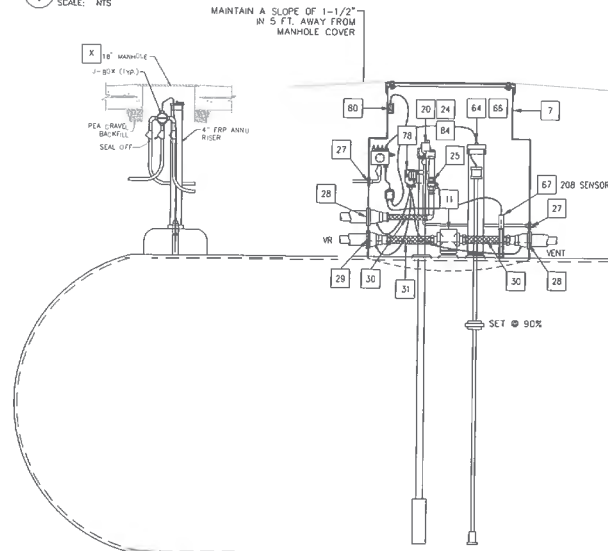


CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS

X SEE MATERIAL LIST ON F-5



1 PLAN VIEW - 15,000 GALLON UST - 15K REGULAR UNLEADED
SCALE: NTS



2306.7.6 FUEL DELIVERY NOZZLES. A LISTED AUTOMATIC-CLOSING-TYPE HOSE NOZZLE VALVE WITH A LATCH-OPEN DEVICE SHALL BE PROVIDED ON ISLAND-TYPE DISPENSERS USED FOR DISPENSING CLASS I, II OR III LIQUIDS.

2306.7.8 VAPOR-RECOVERY AND VAPOR-PROCESSING SYSTEMS. VAPOR-RECOVERY AND VAPOR-PROCESSING SYSTEMS SHALL BE IN ACCORDANCE WITH SECTIONS 2306.7.9.1 THROUGH 2306.7.9.2.4

THE TANKS ARE EQUIPPED WITH A VAPOR RECOVERY SYSTEM AND A VAPOR PROCESSING SYSTEM AND WILL COMPLY WITH CFC 2306.7.9 AND NFPA-30 CHAPTER 10

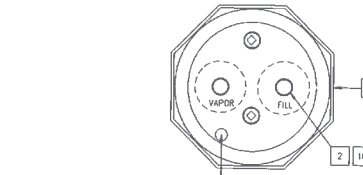
VENTS FOR EACH TANK WILL COMPLY WITH CFC 5704.2.7.3.1 THRU 5704.2.7.3.5.3 AS WELL AS NFPA-30 21.4.5

PRIOR TO BEING PLACED INTO SERVICE, EACH TANK SHALL BE TESTED IN ACCORDANCE TO NFPA-20 SECTION 21.5, NFPA-30A SECTION 5.4 AND CFC 5704.2.12.2

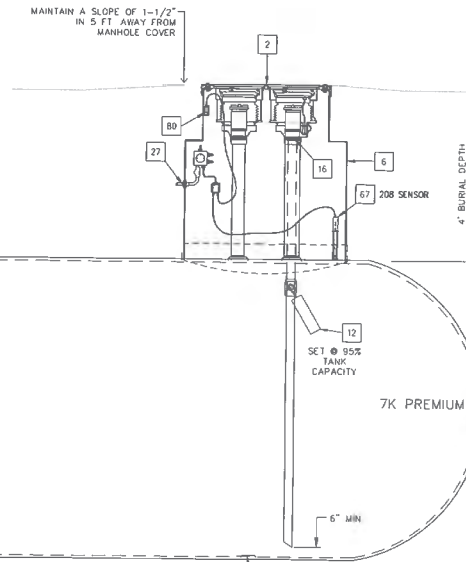
FOR THE REQUIRED LEAK DETECTION SHALL COMPLY WITH CFC 5704.2.11.4.2 AND FOR THE ACCURATE INVENTORY RECORDS OR A LEAK DETECTION PROGRAM SHALL BE MAINTAINED FOR THE STORAGE TANK AND ASSOCIATED PIPING PER NFPA-30 21.7.5

5703.1.1 CLASSIFIED LOCATIONS FOR FLAMMABLE LIQUIDS. AREAS WHERE FLAMMABLE LIQUIDS ARE STORED, HANDLED, DISPENSED OR MIXED SHALL BE IN ACCORDANCE WITH TABLE 5703.1.1. A CLASSIFIED AREA SHALL NOT EXTEND BEYOND AN UNPERFORATED FLOOR, ROOF OR OTHER SOLID PARTITION. THE EXTENT OF THE CLASSIFIED AREA IS ALLOWED TO BE REDUCED, OR ELIMINATED, WHERE SUFFICIENT TECHNICAL JUSTIFICATION IS PROVIDED TO THE FIRE CODE OFFICIAL THAT A CONCENTRATION IN THE AREA IN EXCESS OF 25 PERCENT OF THE LOWER FLAMMABLE LIMIT (LFL) CANNOT BE GENERATED.

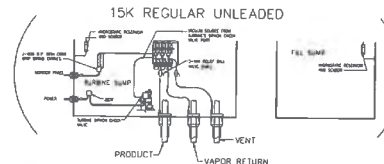
FOR THE REQUIRED SECONDARY CONTAINMENT FOR UNDERGROUND PIPING SYSTEMS THAT ARE CONNECTED TO AN UNDERGROUND TANK SHALL COMPLY WITH ALL REQUIREMENTS FROM CFC 5703.6.2.2



ALL SENSORS SHALL BE PLACED AT THE LOWEST POINT IN SUMP FOR EARLIEST POSSIBLE LEAK DETECTION AND ALL SENSORS SHALL BE PLACED IN A SLEEVE



STRIKER PLATES INSTALLED BY TANK MANUFACTURER (TYPICAL FOR ALL)



2 15K REGULAR UNLEADED VACUUM DETAIL
NOT TO SCALE

1 PLAN VIEW - 15,000 GALLON UST - 15K REGULAR UNLEADED
NOT TO SCALE

ENGINEERING & CONSTRUCTION, INC.
ARIZONA - CALIFORNIA - NEVADA
3720 Olympic Way, Suite 205
Glendale, California 91206
Tel: 818-241-4120
Fax: 818-241-4209

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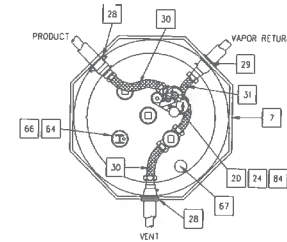
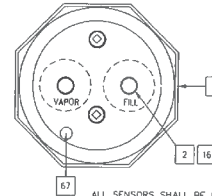
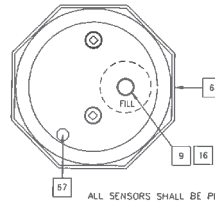
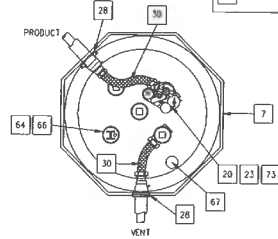
15K UST CROSS-SECTION
E & B PETROLEUM
1103 LA CRESTA BLVD.
EL CAJON CA 92021

DRAWN BY: MW
REVIEWED BY: JK
DATE: 02.04.19
SHEET
F-4

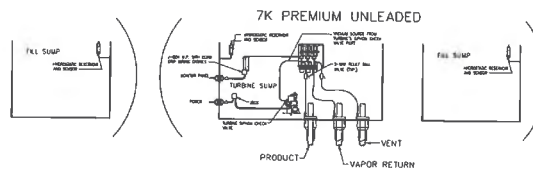
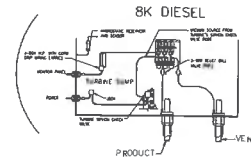
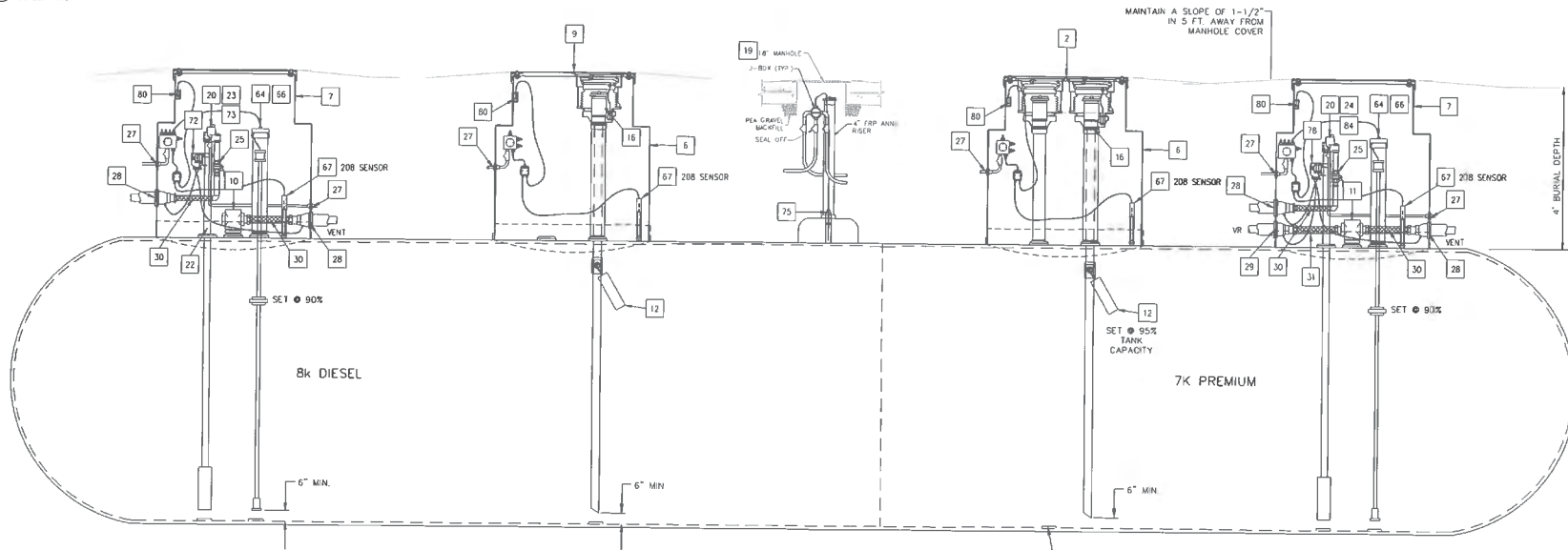
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CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS

X SEE MATERIAL LIST ON F-6



1 PLAN VIEW - 15K SPLIT UST - 7K PREMIUM / 8K DIESEL
SCALE: NTS



1 15K SPLIT UST - 7K PREMIUM / 8K DIESEL
NOT TO SCALE

2 15K SPLIT UST - 7K PREMIUM / 8K DIESEL VACUUM DETAIL
NOT TO SCALE

ENGINEERING & CONSTRUCTION, INC.
General Engineering & Construction
ARIZONA - CALIFORNIA - NEVADA
3750 Central Way, Suite 205
760-721-4120 O'Fallon, California 92054
Fax 760-721-4809

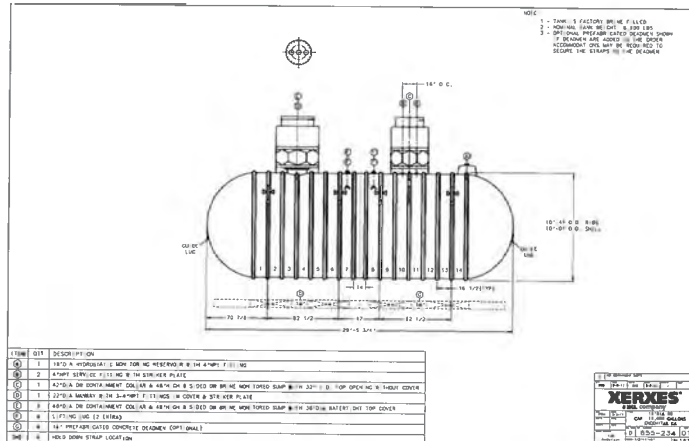
NO.	DATE	BY	REVISION / ISSUE
1	3-12-19	JK	ISSUED FOR CONSTRUCTION

15K SPLIT UST CROSS SECTION
E & B PETROLEUM
1103 LA CRESTA BLVD.
EL CAJON CA 92021

DRAWN BY: MW
REVIEWED BY: JK
DATE: 02.04.19
SHEET
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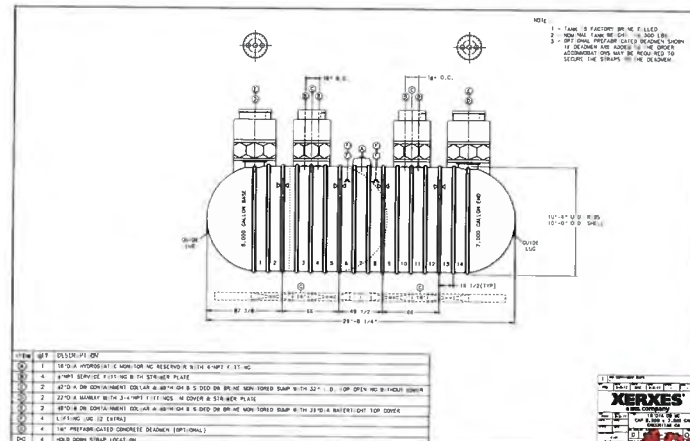
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XERXES CORPORATION		NON-ANCHORED WATER AT TANK TOP		Cardiff Vabro 829 Birmingham Drive, Cardiff 92007		03/12/19
TANK DATA				INSTALLATION		
NOM. CAP. (GAL.)	15000			TOTAL COVER INCLUDING SOIL & TOP SLAB (FT)		5.80
TYPE (SINGLE WALL, L-DOWNS)	3			TOP SLAB THICKNESS (IN)		8.00
NOM. T. DIA. (FT)	1			TOP SLAB LENGTH (H+T)		31.48
PROD. STORED (GAL)	1			TOP SLAB WIDTH (FT)		12.00
SPEC. GRAV. USED	1.00			# OF 48" DIAMETER STUUPS		2
SAFETY FACTOR						
DOWN FORCE/UP FORCE =	1.80 : 1					
TOTAL WEIGHTS						
CONCRETE WEIGHT	37725.00 LBS					
BACKFILL WEIGHT	18720.42 LBS					
TANK WEIGHT	8900.00 LBS					
PRODUCT WEIGHT	0.00 LBS					
TOTAL DOWN FORCE		57345.42 LBS		231814.42 LBS		
UP FORCES						
TANK DISP. FORCE	12902.46 LBS			12902.46 LBS		
WORKSHEET						
TANK DATA						
SHELL DIAMETER	10.00 FT	*		ACTUAL CAP (GAL)	15041.00	
SHELL LENGTH	19.48 FT	*		TANK WT (LBS)	8900.00	
DOME PROJECTION	5.80 FT	*		DIA. (FT)	29.48	
MID POINT HEIGHT	9.31 FT	*		NUMBER OF RIBS	36.00	
COLUMN HEIGHT	14.33 FT	*				
RIB VOLUME	263.00 CU. FT.			DOME A (CU. FT)	78.54	
				DOME VOL. (CU. FT)	523.60	
REINFORCED CONCRETE VOLUMES (CU. FT.)						
TOP SLAB	251.43					
TOTAL DRY VOLUME	251.43					
	FORCE = VOL. X 150 LBS/CF			97775.00 LBS		
BACKFILL VOLUMES (CU. FT.)						
OVER TANK (DRY)	1364.70			126.16 WET		
UNDER TANK (DRY)	155.48			59.31 WET		
TOTAL DRY VOLUME	1520.18					
TOTAL WET VOLUME	385.49					
	FORCE (DRY) = VOL. X 100 LBS			152019.18 LBS		
	FORCE (WET) = VOL. X 60 LBS			23129.23 LBS		
BUOYANCY						
SHELL VOLUME	1529.89 CUBIC FT					
DOME VOLUME	523.60 CUBIC FT					
RIB VOLUME	24.56 CUBIC FT					
TOTAL VOLUME	2078.05 CUBIC FT					
VOL. X 7.48 GAL/CU. FT.	15552.51 GALLONS					
FORCE = GAL. X 8.34 (LBS/GAL.)				129633.16 LBS		



1 PLAN VIEW - 15,000 GALLON UST - 15K REGULAR UNLEADED
NOT TO SCALE

XERXES CORPORATION		NON-ANCHORED WATER AT TANK TOP		03/12/19	
TANK DATA		INSTALLATION			
NOM. CAP. (GAL.)	15000 (8 x 7.5)	TOTAL COVER INCLUDING SOIL & TOP SLAB (FT)		5.00	
TYPE (SINGLE WALL, L-DOWNS)	3	TOP SLAB THICKNESS (IN)		31.67	
18"x14" LBS. (2)	10	TOP SLAB LENGTH (FT)		12.60	
NOM. TANK DIA. (FT)	0	TOP SLAB WIDTH (FT)		12.60	
PROD. STORED (GAL)	0	# OF 48" DIAMETER STUUPS		2	
SPEC. GRAV. USED	0.180				
SAFETY FACTOR					
DOWN FORCE/UP FORCE =		1.81 : 1			
TOTAL WEIGHTS					
CONCRETE WEIGHT	30006.00 LBS				
BACKFILL WEIGHT	18027.24 LBS				
TANK WEIGHT	10300.00 LBS				
PRODUCT WEIGHT	0.00 LBS				
TOTAL DOWN FORCE		58333.24 LBS			
UP FORCES					
TANK DISP. FORCE	136541.83 LBS				
TOTAL UP FORCE		136541.83 LBS			
WORKSHEET					
TANK DATA					
SHELL DIAMETER	10.00 FT.	*	ACTUAL CAP (GAL)	15149.00	
SHELL LENGTH	19.67 FT.	*	TANK WT. (LBS)	10300.00	
DOME PROJECTION	5.00 FT.	*	DIA. (FT)	29.67	
MID POINT HEIGHT	9.33 FT.	*	NUMBER OF RIBS	16.00	
COLUMN HEIGHT	14.33 FT.	*			
RIB VOLUME	263.00 CU. FT.	*	DOME A (CU FT)	78.54	
			DOME VOL. (CU FT)	523.60	
REINFORCED CONCRETE VOLUMES (CU. FT.)					
TOP SLAB	253.33				
TOTAL DRY VOLUME	253.33				
FORCE = VOL. X 150 LBS/CF		38000.00 LBS.			
BACKFILL VOLUMES (CU. FT.)					
OVER TANK (DRY)	1374.47	526.69 WET			
UNDER TANK (DRY)	155.48	59.31 WET			
TOTAL DRY VOLUME	1529.95				
TOTAL WET VOLUME	385.00				
FORCE (DRY) = VOL. X 100 LBS		152947.47 LBS			
FORCE (WET) = VOL. X 60 LBS		23100.00 LBS			
BUOYANCY					
SHELL VOLUME	1544.62 CUBIC FT				
DOME VOLUME	523.60 CUBIC FT				
RIB VOLUME	24.56 CUBIC FT				
TOTAL VOLUME	2092.78 CUBIC FT				
VOL. X 7.48 GAL/CU. FT.	15650.50 GALLONS				
FORCE = GAL. X 8.34 (LBS/GAL.)		130541.83 LBS			



2 15K SPLIT UST - 7K PREMIUM / 8K DIESEL
NOT TO SCALE

ENGINEERING & CONSTRUCTION, INC.
Cardiff Vabro
ARIZONA - CALIFORNIA - NEVADA
Oroville, California 92554
9720 Granada Way, Suite 205
760-721-4120
Fax: 760-721-4205

NO.	DATE	BY	REVISION/DESCRIPTION
1	3/12/19	MM	ISSUED FOR PERMIT SUBMITTAL

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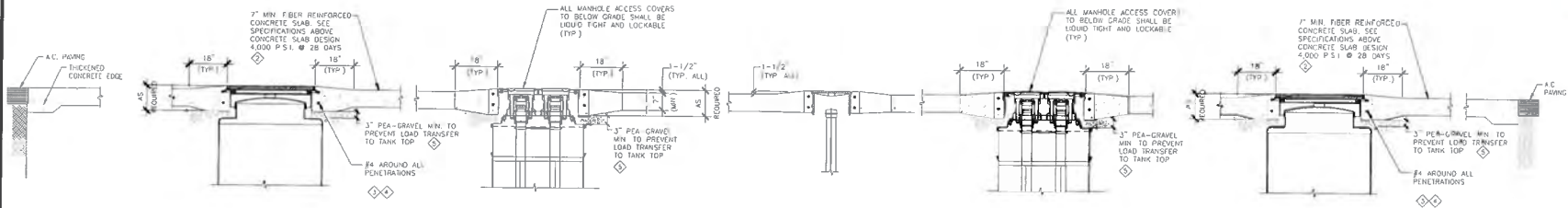
BUOYANCY CALCULATIONS
E & B PETROLEUM
1103 LA CRESTA BLVD.
EL CAJON CA 92021

DRAWN BY: MM
REVIEWED BY: JK
DATE: 02.04.19
SHEET
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Tank Slab Concrete Specifications

1. UNLESS OTHERWISE NOTED ON THESE DRAWINGS:
 - a. CONCRETE - REGULAR WEIGHT HARD ROCK CONCRETE (150 LBS/CU FT)
 - b. CEMENT - TYPE I/II, SULFATE RESISTANT
 - c. AGGREGATES - ASTM C33, (MAXIMUM SIZE 3/4 INCHES)
 - d. 28 DAY CONCRETE STRENGTH (F'c) 4,000 PSI - SLAB
 - e. MINIMUM DESIGN IS BASED ON 2,500 PSI THIS IS A VOLUNTARY UPGRADE THEREFORE NO SPECIAL INSPECTION OR TESTING IS REQUIRED
 - f. SLUMP - 3" ± 1" - 4" MAXIMUM AT POINT OF PLACEMENT
 - g. SHRINKAGE - 0.05% MAXIMUM
 - h. ENTRAINED AIR RANGE - 2% TO 4%
2. CONCRETE SLAB THICKNESS SHALL BE A MINIMUM OF 7.0 INCHES UNLESS OTHERWISE NOTED ON THESE DRAWINGS THICKEN EDGES AT MANHOLES AND SLAB ENDS
3. CONCRETE SHALL BE NORMAL WEIGHT WITH A MIX OF 1 : 2 1/2 : 3 1/2, WITH A MAXIMUM 7 1/2 GALLONS OF WATER PER SACK ADD 1.0 TO 1.5 LB STEALTH FIBER REINFORING PER CU YD TO CONCRETE
4. REINFORCING STEEL - SUMP CAGES AT ALL OPENINGS SHALL BE #4 REBAR
5. MAINTAIN CONCRETE IN A MOIST CONDITION FOR AT LEAST 7 DAYS AFTER PLACEMENT.
6. PLACE CONCRETE DIRECTLY FROM TRUCK INTO FORMS. DO NOT PUMP CONCRETE UNLESS SPECIAL INSPECTION, IN ACCORDANCE WITH CHAPTER 5 OF THE IBC, IS PROVIDED
7. SUBMIT MIX DESIGNS, WITH STRENGTH AND SHRINKAGE TEST RESULTS, TO OWNER'S ENGINEER AT LEAST 7 DAYS BEFORE PLACING CONCRETE
8. CONSOLIDATE CONCRETE IN PLACE USING A MECHANICAL VIBRATOR
9. BEFORE PLACING CONCRETE, SECURE REINFORCING STEEL AND/OR BOLTS, DOWELS, AND OTHER INSERTS IN POSITION TO PREVENT MOVEMENT
10. MATERIALS AND WORKMANSHIP SHALL CONFORM TO A.C.I. - 318 (SPECIFICATIONS OF THE DESIGN AND PLACEMENT OF CONCRETE)

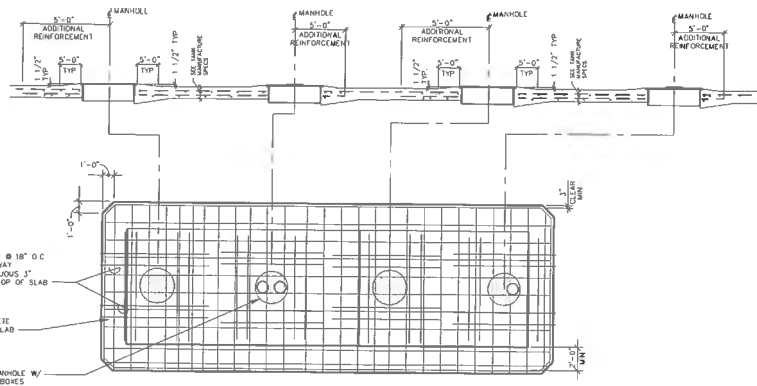
NOTES: UST INSTALLATION
◇ SLOPE CONCRETE AWAY FROM ALL MANHOLES 1" RISE OVER 12" RUN
◇ FIBER REINFORCEMENT TO BE USED THROUGHOUT CONCRETE. CONCRETE STRENGTH SHALL BE 4,000 PSI @ 28 DAYS. HOWEVER THE MINIMUM DESIGN STRENGTH IS 2,500 PSI. AT 28 DAYS THIS CONCRETE SPECIFICATION IS A VOLUNTARY UPGRADE, THEREFORE NO SPECIAL INSPECTION OR TESTING IS REQUIRED
◇ REINFORCING BARS TO BE NO LESS THAN 2" AND NO MORE THAN 4" FROM SURFACE
◇ REINFORCE CONCRETE SLAB AROUND MANHOLES WITH (4) #4 REBAR 60" IN LENGTH FOR LARGE MANHOLES 30" FOR SMALL MANHOLES. PLACE REBAR 6" FROM SIDES OF BOB
◇ USE PEA GRAVEL CONSISTING OF NATURALLY ROUNDED AGGREGATE MIN 8" & MAX OF 16" IN SIZE, FREE OF CLAY, SLAG, CHISLS, OR DEBRIS. ALL SUBSTITUTES MUST BE APPROVED BY MANUFACTURERS & OWNER'S FIELD REPRESENTATIVE
◇ TANK PAD MINIMUM 2'-0" OFF OUTSIDE WALLS OF TANKS AND MUST COVER THE FOOTPRINT OF THE TANKS REQUIRED TO PROVIDE FOR PROPER TANK HOLD DOWN AND TO PREVENT ACCIDENTAL GRINDING WITH BANK
◇ 90° CORNER WHERE MEETING ASPHALT PAVING ONLY. SQUARE CORNERS WHERE MEETING CONCRETE



1. SLAB SECTION AT TANK
SCALE: NTS

NOTE
ALL MANHOLES ON THE TANK SLAB SHALL BE INSTALLED WITH A 1-1/2\"/>

NOTE
CONTRACTOR IS REQUIRED TO THICKEN CONCRETE SLAB AT TANK FILL AND TURBINE SUMPS SUCH THAT THE BOTTOM OF CONCRETE IS BELOW THE TOP OF THE TANK. THE THICKNESS MAY VARY BETWEEN THE FILL AND TURBINE SUMPS AND IS ALSO DEPENDENT UPON EXISTING SITE CONDITIONS



2. TYPICAL TANK SLAB DETAIL
SCALE: NTS

APPROVED
FEB 20 2020
PLANNING AND DEVELOPMENT
SERVICES

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS

TYPICAL TANK SLAB DETAILS

E & B PETROLEUM
1103 LA CRESTA BLVD.
EL CAJON CA 92021

DRAWN BY: MM
REVIEWED BY: JM
DATE: 02.04.19

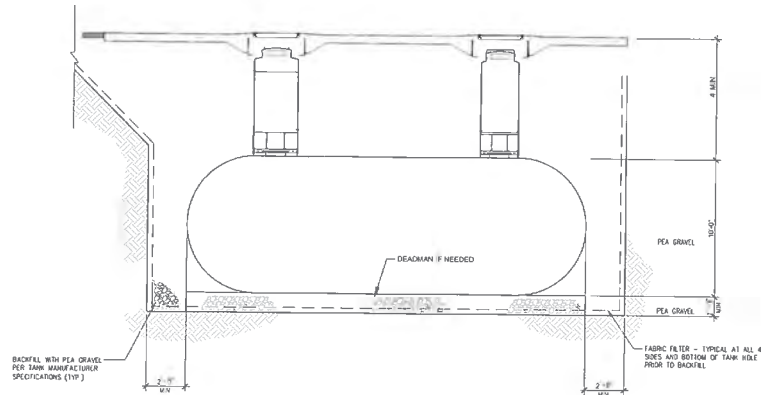
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ENGINEERING & CONSTRUCTION, INC.
ARIZONA - CALIFORNIA - NEVADA
3720 Ocasio Way, Suite 205
Pasadena, California 92366
760-721-4130
Fax: 760-721-4399

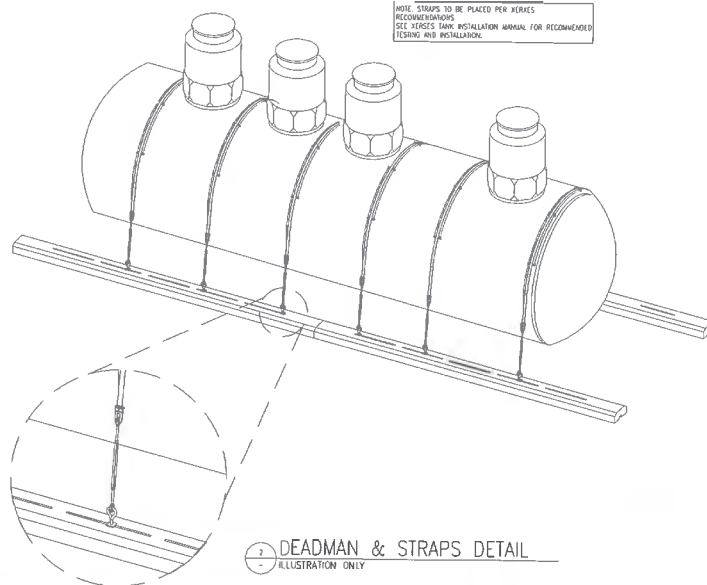
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NO	QTY	PART NO.	MANUFACTURER	DESCRIPTION
XERXES				
1	1	XE-15000-GAL-DW	Xerxes Corporation	XERXES 15,000 GALLON 10FT DIAMETER DR FIB TANK 10'-4" O.D. RIBS, 10'-0" O.D. SHELL x 29'-5 3/4"
2	1	XE-15000-SPUT	Xerxes Corporation	15,000 GALLON W/MAINTAIN IN BOTH COMPARTMENTS 10FT DIAMETER DR FIB TANK 10'-4" O.D. RIBS, 10'-0" O.D. SHELL x 29'-5 3/4"
3	1	XE-22-IV-MANWAY	Xerxes Corporation	22 MANWAY
4	3	XE-4467	Xerxes Corporation	4 FPI MANWAY COVER FITTING
5	8	XE-4TMT	Xerxes Corporation	4 FPI SHELL WALL FITTING
6	8	XE-SUMP PACKAGE	Xerxes Corporation	DOUBLE WALL COLLAR AND SUMP PACKAGE 42" DIAMETER DR. ROUND COLLAR CONFORMANCE WITH 42" X 60" DR SUMP WITH OPEN TOP REDUCED TO 37" (FOR OPW/FFS WATER SHIELD)
7	5	XE-SUMP PACKAGE	Xerxes Corporation	DOUBLE WALL COLLAR AND SUMP PACKAGE 48" DIAMETER DR. ROUND COLLAR CONFORMANCE WITH 42" X 60" DR SUMP WITH CLOSED TOP REDUCED TO 37" WITH WATER RESISTANT LB
OPW FILL - GAS/DIESEL				
8	2	OP-PK2-42RMP-33	OPW Fueling Components	PACKAGED KIT, W/STEEL 42" MULTIPORT KIT W/WHITE RT COVERS, FILL & VAPOR ADAPTORS & CAPS, MPWS-33, NIPPLES, & JSA KIT
9	1	OP-PK3-42RDESEL-33	OPW Fueling Components	PACKAGED KIT DIESEL, W/STEEL 42" SINGLE-PORT KIT W/WHITE RT COVER, FILL ADAPTORS & CAP, MPWS-33, NIPPLE, & JSA KIT
10	2	OP-235-4422	OPW Fueling Components	4 X 2 X 2 EXTRACTOR HOUSING
11	1	OP-235-4432	OPW Fueling Components	4 X 3 X 2 EXTRACTOR HOUSING
12	3	OP-7150-143CT	OPW Fueling Components	4" OVERFILL VALVE, 1/2"IN, VAPOR TIGHT TESTABLE
13	1	OP-10EOL-0005	OPW Fueling Components	PRODUCT ID MARKER, DIESEL
14	1	OP-10EOL-0150	OPW Fueling Components	PRODUCT ID MARKER, PREMIUM
15	1	OP-10EOL-0125	OPW Fueling Components	PRODUCT ID MARKER, UNLEADED
16	3	OP-TSA-4005	OPW Fueling Components	FACE SEAL ADAPTOR - ADDS 1-1/4" HEIGHT CAST IRON BASE
17	3	OPW-SLUPA	OPW Fueling Components	GASKET & SEALANT 1/2"IN TIGHT SUMP SHIELD SHIELD
18	1	OP-223V-2203	OPW Fueling Components	2" THINLAD-ON 3" MC PRESSURE B" MC VAC
19	2	EW-40716-018C	Emco Wharton Victor Corp.	MANHOLE COMPOSITE CARLOCK 18"
TURBINE ASSY.				
20	3	RJ-P200U1-3 R/2	Red Jacket	2 HP SUB PUMP QUICK SET 108.5-168.5" (41042-082) - RISER TO BE SOLD AS A SEPARATE LINE ITEM
21	3	RJ-880-047-1	Red Jacket	68000 CONTROL BOX 1-1/8" W/PLATE & 1/2" VAC INHIB
22	3	RJ-065-160-3	Red Jacket	RISER, 4" DIA, 19'-1/2" - SHIPPED LOOSE
23	1	RJ-410151-001-00	Red Jacket	SIPHON CARTRIDGE KIT W/O TURBINE
24	2	RJ-410151-001-01	Red Jacket	SIPHON CARTRIDGE KIT (WHEN ORDERED W/TURBINE)
25	3	SE-1-100-708	James International, Ltd.	JOINT 2 IP BRASS W/CHROME BALL VALVE
26	3	EW-40716-042C	Emco Wharton Victor Corp.	MANHOLE COMPOSITE 42" W/CARLOCKS
27	9	BR-F-17-RR-0	S. Bravo Systems, Inc.	F-SERIES DR RIGID 3/4" ELECTRICAL PENETRATION
28	7	RI-012030-626-0	NOV	3 BONDED DR SUMP ENTRY/TERM FITTING 1 PORT
29	2	RI-012040-626-0	NOV	4 BONDED DR SUMP ENTRY/TERM FITTING 1 PORT
30	7	FX-F72011BHXZ77G	Flex-Ing, Inc.	FIREFLEX 2 X 1/8 MALE X 1/2 FEMALE GLUE FLEX CONNECTOR
31	2	FX-F72011BHXZ77G	Flex-Ing, Inc.	FIREFLEX 3 X 1/8 MALE X 1/2 FEMALE GLUE FLEX CONNECTOR
32	1	BR-40E54K-42-PS-10	S. Bravo Systems, Inc.	42" W. DUAL CARTRIDGE GUN
33	1	BR-WAN-GUN-PS-10	S. Bravo Systems, Inc.	42" W. DUAL CARTRIDGE GUN
DISPENSER CONTAINMENT				
34	2	BR-B9000-F3L-B D-AB	S. Bravo Systems, Inc.	3 INLET LARGE JUMBO LOC W/EPoxy-COATED GALVANIZED STEEL FRAME, PRODUCT BRACKETS, CO DISPENSER FRAME & ALL FASTENERS
35	1	BR-BRKT-B2	S. Bravo Systems, Inc.	SHOULDER BRACKET F/B1-B055/B-BOLT MOUNT
36	8	OP-10BAP-5030	OPW Fueling Components	1-1/2" MALE TOP DOUBLE POPPET EMERGENCY VALVE
37	2	OP-10BAP-1001	OPW Fueling Components	1 X 1-1/2" VAPOR LINE 1/4"IN MALE POPPET
38	8	FX-F72011BHXZ77G	Flex-Ing, Inc.	FIREFLEX 1 X 1/8 MALE X 1/2 F FEMALE GLUE 90 FLEX CONNECTOR
39	8	RI-012030-626-0	NOV	3 BONDED DR SUMP ENTRY/TERM FITTING 1 PORT
VENT CONTAINMENT (CANISTER)				
40	1	BR-B9000-F3S-B D-AB	S. Bravo Systems, Inc.	3 PRODUCT PLANTER VAPOR VENT DR SMALL
41	1	BR-B9000-600-VRC-ADR	S. Bravo Systems, Inc.	VENT BOX ADOR FOR VR CANISTER SUPPORT
42	1	BR-PS-500-VRC-JS	S. Bravo Systems, Inc.	3P. VENT RACK ASSEMBLY, SMALL, 12" UPRIGHT, 247X24" TUBING (HEAVY DUTY) FOR VEEDEER-ROOT CANISTER SYSTEMS, INCLUDES CLAMPS & SPECIAL HARDWARE. CAN ONLY BE USED W/BR9000-VRC / BR9000-VRC NOT TO BE SOLD OR INSTALLED W/ANY OTHER VENT BOX
43	3	RI-012030-626-0	NOV	3 BONDED DR SUMP ENTRY/TERM FITTING 1 PORT
44	3	FX-F72011BHXZ77G	Flex-Ing, Inc.	FIREFLEX 2 X 1/8 FEMALE X 1/2 F 90 FLEX CONNECTOR
45	1	VR1-861290-002	Veeder Root	CARBON CANISTER FOR 2 VENT PIPE
46	1	SE-PID-VAPOR48	Performance Ink, Incorporated	DECAL 4" X 8" VAPOR
47	1	SE-DIAMOND DECAL	FastSigns	1 X 6 DIAMOND DECAL 1/CARBON CANISTER
48	1	SE-B-14-17-R	SE-B-14-17-R	FLAMMABLE DECAL - 4 X 13.5 FIRE RISK REVERSE ON WHI
49	1	SE-B-14-1-R	Way Group International	NO SMOKING DECAL - 4 X 14
WAYNE OVATIONS 3+1				

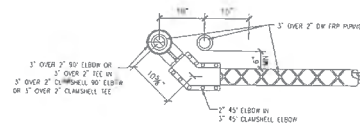
50		WA-823/4-OVATION2	Wayne Fueling Systems LLC	WAYNE 823/4 3 PRODUCT BLENDER PLUS DIESEL - 100% - HOSE PER SIDE * W/ING PSI ELECTRONICS AND KCPHD * HYBRID CARD READER (EQUIP) * CONTACTLESS READER * HIGH HOSE RETRACTORS * DAI/PRODOT * SHIMMERS * MEDIA PACKAGE WITH KIT AND W/ABLE LT UPGRADE * MEDIA PACKAGE INCLUDES WAYNE CONNECT WITH INDOOR GATEWAY * JUNCTION BOX * SECURE ACCESS/DOOR LOCKS * DATION STANDARD BALANCE KIT * 820/825 RATED AND APPROVED
GAS/DIESEL HOSES AND NOZZLES				
51	4	VS-VST-DVR-NB04-2	Vapor Systems Technologies	EVF BALANCE NOZZLE ENHRO-LOC G2 (NEW)
52	4	OP-11B-0100	OPW Fueling Components	3/4 AUTO SHUT-OFF NOZZLE LEADED - GREEN
53	4	VS-V5A-DVR-S04A	Vapor Systems Technologies	EVF REATTACHABLE BALANCE SAFETY BREAKAWAY
54	4	HP-3300	Hasty Corporation	3/4 X 3/4 RECONNECTABLE SWEET-BREAK
55	4	CD-BAL-04B	Consteel USA, Inc.	4" PREMIER COAXIAL HUMP HOSE W/O VENTURI
56	4	CD-BALVEN-095	Consteel USA, Inc.	8" PREMIER PLUS COAXIAL HUMP HOSE W/VENTURI
57	4	FX-FLEX/4-04B-MEWS	Flex-Ing, Inc.	GREEN 3/4 X 4' FLEX-ON HARDWALL HOSE MEWS - FLEX/200000GSPWICE
58	4	FX-FLEX/4-09B-MEWS	Flex-Ing, Inc.	GREEN 3/4 X 4' FLEX-ON HARDWALL HOSE MEWS - FLEX/200000GSPWICE
59	4	HE-350	Hasty Corporation	1/2 MULTI-PLANE SWIVEL 3/4 W X F
60	4	CD-1478-D	CH Manufacturing	CLAMP - 3/4 HARDWALL CURB PUMP HOSE
61	4	CH-B114	CH Manufacturing	1-1/2 ANTI-SUCK HOSE CLAMP F/VS1/ COODTEAR/DAYCO
ISLAND MISC.				
62	1	CH-6488B-12	CH Manufacturing	Wind form 4W x 12L x 12H w/8 radius corners
63	1	FX-BG40417414	Fm-Ing, Inc.	4.0 X 41 X 74 X 14 U-SHAPED PIPE CLAMP
TANK MONITORING				
64	1	VR1-115-300A-SC-1	Veeder Root	115-350 PLUS TANKSOLE PACKAGE (1) 115-300-01 115-300-02 115-300-03 115-300-04 115-300-05 115-300-06 115-300-07 115-300-08 115-300-09 115-300-10 115-300-11 115-300-12 115-300-13 115-300-14 115-300-15 115-300-16 115-300-17 115-300-18 115-300-19 115-300-20 115-300-21 115-300-22 115-300-23 115-300-24 115-300-25 115-300-26 115-300-27 115-300-28 115-300-29 115-300-30 115-300-31 115-300-32 115-300-33 115-300-34 115-300-35 115-300-36 115-300-37 115-300-38 115-300-39 115-300-40 115-300-41 115-300-42 115-300-43 115-300-44 115-300-45 115-300-46 115-300-47 115-300-48 115-300-49 115-300-50 115-300-51 115-300-52 115-300-53 115-300-54 115-300-55 115-300-56 115-300-57 115-300-58 115-300-59 115-300-60 115-300-61 115-300-62 115-300-63 115-300-64 115-300-65 115-300-66 115-300-67 115-300-68 115-300-69 115-300-70 115-300-71 115-300-72 115-300-73 115-300-74 115-300-75 115-300-76 115-300-77 115-300-78 115-300-79 115-300-80 115-300-81 115-300-82 115-300-83 115-300-84 115-300-85 115-300-86 115-300-87 115-300-88 115-300-89 115-300-90 115-300-91 115-300-92 115-300-93 115-300-94 115-300-95 115-300-96 115-300-97 115-300-98 115-300-99 115-300-100
65	1	VR1-130780-001	Veeder Root	130780-001 130780-002 130780-003 130780-004 130780-005 130780-006 130780-007 130780-008 130780-009 130780-010 130780-011 130780-012 130780-013 130780-014 130780-015 130780-016 130780-017 130780-018 130780-019 130780-020 130780-021 130780-022 130780-023 130780-024 130780-025 130780-026 130780-027 130780-028 130780-029 130780-030 130780-031 130780-032 130780-033 130780-034 130780-035 130780-036 130780-037 130780-038 130780-039 130780-040 130780-041 130780-042 130780-043 130780-044 130780-045 130780-046 130780-047 130780-048 130780-049 130780-050 130780-051 130780-052 130780-053 130780-054 130780-055 130780-056 130780-057 130780-058 130780-059 130780-060 130780-061 130780-062 130780-063 130780-064 130780-065 130780-066 130780-067 130780-068 130780-069 130780-070 130780-071 130780-072 130780-073 130780-074 130780-075 130780-076 130780-077 130780-078 130780-079 130780-080 130780-081 130780-082 130780-083 130780-084 130780-085 130780-086 130780-087 130780-088 130780-089 130780-090 130780-091 130780-092 130780-093 130780-094 130780-095 130780-096 130780-097 130780-098 130780-099 130780-100
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67	8	VR1-794380-208	Veeder Root	794380-208 794380-209 794380-210 794380-211 794380-212 794380-213 794380-214 794380-215 794380-216 794380-217 794380-218 794380-219 794380-220 794380-221 794380-222 794380-223 794380-224 794380-225 794380-226 794380-227 794380-228 794380-229 794380-230 794380-231 794380-232 794380-233 794380-234 794380-235 794380-236 794380-237 794380-238 794380-239 794380-240 794380-241 794380-242 794380-243 794380-244 794380-245 794380-246 794380-247 794380-248 794380-249 794380-250 794380-251 794380-252 794380-253 794380-254 794380-255 794380-256 794380-257 794380-258 794380-259 794380-260 794380-261 794380-262 794380-263 794380-264 794380-265 794380-266 794380-267 794380-268 794380-269 794380-270 794380-271 794380-272 794380-273 794380-274 794380-275 794380-276 794380-277 794380-278 794380-279 794380-280 794380-281 794380-282 794380-283 794380-284 794380-285 794380-286 794380-287 794380-288 794380-289 794380-290 794380-291 794380-292 794380-293 794380-294 794380-295 794380-296 794380-297 794380-298 794380-299 794380-300
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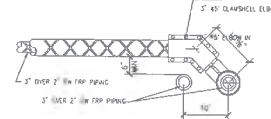
1 TYPICAL UNDERGROUND STORAGE TANK AND EXCAVATION SECTION
SCALE: NOT TO SCALE
NOTE: ALWAYS REFER TO TANK MANUFACTURER'S INSTALLATION MANUAL



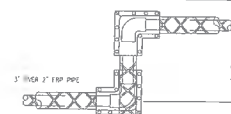
2 DEADMAN & STRAPS DETAIL
ILLUSTRATION ONLY



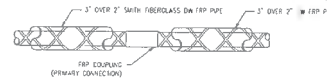
FRP PIPING DETAIL



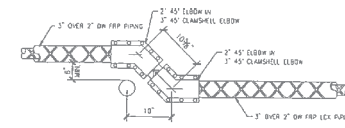
FRP PIPING TEE CROSS DETAIL



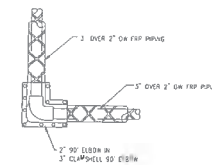
FRP PIPING DIRECTIONAL ANGLE DETAIL



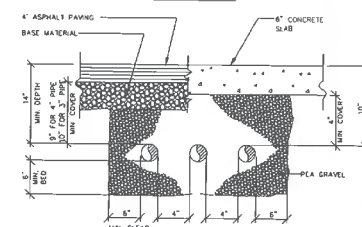
FRP COUPLING / PIPING DETAIL



FRP PIPING CROSS 45 DETAIL



FRP 90 ELBOW DETAIL



TYPICAL PIPING TRENCH DETAIL

ENGINEERING & CONSTRUCTION, INC.
GENERAL CONTRACTORS
ARIZONA - CALIFORNIA - NEVADA
3720 Cassady Way, Suite 205 Oceanside, California 92056
760-721-4120 OFFICE FAX 760-721-4209



NO.	DATE	BY	REVISION/DESCRIPTION
1	3/12/19		ISSUED FOR PERMITS & RECORD

DETAILS

E & B PETROLEUM
1103 LA CRESTA BLVD.
EL CAJON CA 92021

DRAWN BY: MW
REVIEWED BY: JN
DATE: 02-04-19

SHEET
F-7

APPROVED
FEB 20 2020
PLANNING AND DESIGN
GEORGE J. JONES

**Attachment B – Form of Decision Approving
PDS2018-STP-18-023**



County of San Diego

MARK WARDLAW
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
(858) 694-2962 • Fax (858) 694-2555
www.sdcountry.ca.gov/pds

KATHLEEN A. FLANNERY
ASSISTANT DIRECTOR

February 20, 2020

PERMITEE: E&B PETROLEUM ATTN: KASAY ESHO
SITE PLAN No.: PDS2018-STP-18-023
PROPERTY: 1103 LA CRESTA BOULEVARD; CREST-DEHESA
APN: 509-043-08

FORM OF DECISION

This Site Plan for E&B Petroleum consists of 14 sheets including plot plan, preliminary grading, conceptual landscaping, and elevations dated February 20, 2020. This permit authorizes the construction and operation of a new two-pump commercial fuel station to be added to an existing 4,000 square-foot convenience store on approximately 0.5 acres, located at 1103 La Cresta Boulevard in the Crest-Dehesa Community Plan area.

This Site Plan has been reviewed and approved only for the "D4" Designator requirements governing the property, set forth in Ordinance 7711.

SITE PLAN EXPIRATION: This Site Plan expires on February 20, 2022 (two years from the date of approval except where construction or use of the property in reliance on such Site Plan approval has commenced prior to its expiration). If construction or use of the property in reliance on a Site Plan approval has not commenced within the two-year period, said period may be extended by the Director of Planning & Development Services at any time prior to the original expiration date. The request for an extension of time shall be filed prior to the expiration date and accompanied by the required filing fee.

.....

WAIVER(S) AND EXCEPTION(S): This Site Plan is hereby approved pursuant to the provisions of the San Diego County Zoning Ordinance, the County Public Road Standards and Private Road Standards, and all other required ordinances of the County of San Diego. The sole exceptions to the aforementioned are:

Allow a reduction in the required minimum separation distance between intersecting centerlines of a Non-Mobility Element road entering into a Non-Mobility Element road, (including driveways) In accordance with Section 6.1.C.1, from 200 feet to 59 feet at the project's proposed loop driveway entrance (Non-Mobility Element road) and the project's proposed loop driveway exit, accessing the proposed gas station, and La Cresta Road (2.1D Light Collector), pursuant to the Design Exception Request that was approved on November 22, 2019.

Allow the use of the minimum stopping sight distance of 290 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 1) and La Cresta Road (2.1D Light Collector), pursuant to the Design Exception Request that was approved on October 29, 2019.

Allow the use of the minimum stopping sight distance of 280 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 1) and La Cresta Road (2.1D Light Collector), pursuant to the Design Exception Request that was approved on October 29, 2019.

Allow the use of the minimum stopping sight distance of 290 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 2) and La Cresta Road (2.1D Light Collector), pursuant to the Design Exception Request that was approved on October 29, 2019.

Allow the use of the minimum stopping sight distance of 214 feet in accordance with the American Association of State Highway and Transportation Officials (AASHTO) criteria in lieu of the County criteria noted in Section 6.1.E., Table 5 for the intersection of the proposed private driveway (Driveway 2) and La Cresta Road (2.1D Light Collector), pursuant to the Design Exception Request that was approved on October 29, 2019.

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Site Plan. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

1. GEN#1-COST RECOVERY

INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide evidence to Planning & Development Services, Zoning Counter, which shows that all fees and trust account deficits have been paid. No permit can be issued if there are deficit trust accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and trust account deficits shall be paid. **MONITORING:** The PDS Zoning Counter shall verify that all fees and trust account deficits have been paid.

2. GEN#2-RECORDATION OF DECISION

INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations

created by this permit. **DESCRIPTION OF REQUIREMENT:** Upon approval of the Site Plan, the applicant shall sign, notarize with an 'all-purpose acknowledgement' and return the original recordation form to PDS. **DOCUMENTATION:** Signed and notarized original recordation form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

3. **LNDSKP#1-LANDSCAPE DOCUMENTATION PACKAGE**

INTENT: In order to provide adequate Landscaping that provides screening, and to comply with the Special Area Regulation D4 Designator, a landscape plan shall be prepared. **DESCRIPTION OF REQUIREMENT:** The Landscape Plans shall be prepared pursuant to the [COSD Water Efficient Landscape Design Manual](#) and the [COSD Water Conservation in Landscaping Ordinance](#), the [COSD Off-Street Parking Design Manual](#), the COSD Grading Ordinance, and the requirements of the D4 Designator. All Plans shall be prepared by a California licensed Landscape Architect, Architect, or Civil Engineer, and include the following information:

- a. Indication of the proposed width of any adjacent public right-of-way, and the locations of any required improvements and any proposed plant materials to be installed or planted therein. The applicant shall also obtain a permit approving the variety, location, and spacing of all trees proposed to be planted within said right(s)-of-way. A copy of this permit and a letter stating that all landscaping within the said right(s) -of-way shall be maintained by the landowner(s) shall be submitted to PDS.
- b. A complete planting plan including the names, sizes, and locations of all plant materials, including trees, shrubs, and groundcover. Wherever appropriate, native or naturalizing plant materials shall be used which can thrive on natural moisture. These plants shall be irrigated only to establish the plantings.
- c. A complete watering system including the location, size, and type of all backflow prevention devices, pressure, and non-pressure water lines, valves, and sprinkler heads in those areas requiring a permanent, and/or temporary irrigation system.
- d. The watering system configuration shall indicate how water flow, including irrigation runoff, low head drainage, overspray or other similar conditions will not impact adjacent property, non-irrigated areas, structures, walkways, roadways or other paved areas, including trails and pathways by causing water to flow across, or onto these areas.
- e. Spot elevations of the hardscape, building and proposed fine grading of the installed landscape.
- f. The location and detail of all walls, fences, and walkways shall be shown on the plans, including height from grade and type of material. A lighting plan and light standard details shall be included in the plans (if applicable) and shall be in compliance with the [County's Light Pollution Code](#).

- g. No landscaping material or irrigation or other infrastructure shall be located within a proposed trail easement or designated pathway.
- h. Parking areas shall be landscaped and designed pursuant to the [Off-street Parking Design Manual](#) and the County Zoning Ordinance Section 6793.b
- i. Additionally, the following items shall be addressed as part of the Landscape Documentation Package: The embankment along the east side of Hamlet Drive shall be landscaped, and a five-foot wide area along the top of the embankment shall be planted with three evenly spaced shade trees per the Special Area Regulation D4 Designator.
- j. Per the D4 Designator, the crib wall located at the rear of the lot shall be planted with vines as shown on the Conceptual Landscape Plan received on May 13, 2019.
- k. Per SEC.86.709(c)(9) of the County's Landscape Ordinance, the Final Landscape Plans shall demonstrate that landscaping when installed and at maturity will be positioned to avoid obstructing roadway users' (e.g., motorists', bicyclists', pedestrians', and equestrians') views of pedestrian crossings, driveways, roadways and other vehicular travel ways, traffic signs, and traffic signals. Sight distance lines, as provided by a California registered Civil Engineer using the sight distance requirements defined in the County Public Road Standards, shall be shown on the plans. If the landscaping will require maintenance to avoid obstructing roadway users' views, the plan shall describe the maintenance and the frequency of the proposed maintenance. The plan shall demonstrate that landscaping when planted and at full maturity shall not obscure sight distance for all roadway users.

DOCUMENTATION: The applicant shall prepare the Landscape Plans using the [Landscape Documentation Package Checklist](#) (PDS Form #404), and pay all applicable review fees. **TIMING:** Prior to approval of any plan, issuance of any permit, and prior to use of the premises in reliance of this permit, the Landscape Documentation Package shall be prepared and approved. **MONITORING:** The [PDS, LA] and [DPR, TC, PP] shall review the Landscape Documentation Package for compliance with this condition.

4. **ROADS#1–SIGHT DISTANCE**

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.E of the [County of San Diego Public Road Standards](#), an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: "There is 290 feet of unobstructed sight distance in the westerly direction (eastbound traffic) from the proposed private access driveway(s) serving the project along **La Cresta Road** in accordance with the approved Design Exception Request, Dated October 29, 2019. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."

- b. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: "There is 282 feet of unobstructed sight distance in the easterly direction (westbound traffic) from the proposed private access driveway (1) serving the project along **La Cresta Road** in accordance with the approved Design Exception Request, Dated October 29, 2019. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."
- c. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: "There is 226 feet of unobstructed sight distance in the easterly direction (westbound traffic) from the proposed private access driveway (2) serving the project along **La Cresta Road** in accordance with the approved Design Exception Request, Dated October 29, 2019. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."

DOCUMENTATION: The applicant shall complete the certifications and submit them to the [PDS, LDR] for review. **TIMING:** Prior to occupancy of the first structure built in association with this permit or use of the premises in reliance of this permit, and annually after that until the project is completely built, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications for compliance with this condition.

5. **ROADS#2–CLEAR SPACE EASEMENT DEDICATION**

INTENT: In order to promote orderly development and to comply with the [County Public Road Standards](#), and the [Community Trails Master Plan](#), right of way shall be dedicated to the County. **DESCRIPTION OF REQUIREMENT:** Grant by separate document to the County of San Diego a clear space easement for sight distance purposes that provides a clear line of sight of 282 feet from the project driveway (1) and 226 feet from the project driveway (2), plus slope rights along **La Cresta Road**.

The grant of right-of-way shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required. The affected utility company/district shall enter into a joint use agreement with the County of San Diego to the satisfaction of the Director of PDS. **DOCUMENTATION:** The applicant shall prepare the legal descriptions of the easements, and submit them for preparation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. Upon Recordation of the easements, the applicant shall provide copies of the easement documents to the [PDS, LDR] for review. **TIMING:** Prior to approval of any plan or issuance of any permit, and prior to use of the premises in reliance of this permit the easements shall be executed and recorded. **MONITORING:** The [DGS, RP] shall prepare, approve the easement documents for recordation, and forward the recorded copies to [PDS, LDR] for review and approval. The [PDS, LDR] shall review the easements to assure compliance with this condition.

6. **ROADS#3–CLEAR SPACE EASEMENT MARKERS**

INTENT: In order to promote orderly development necessary for public health and safety of the area, and to comply with the [County of San Diego Public Road Standards](#) and

County Standard Drawing, a clear space easement markers for an unobstructed view for safety while exiting the property and accessing a public road from the site shall be installed. **DESCRIPTION OF REQUIREMENT:**

- a. Show clear space easement on a Plat to be submitted with the legal descriptions of the easements.
- b. Install the clear space easement markers per DS-16 to the satisfaction of Director of Planning & Development Services (PDS).

DOCUMENTATION: The applicant shall have a Registered Civil Engineer, a Registered Traffic Engineer, or a Licensed Land Surveyor provide a signed statement that the clear space easement markers have been installed per DS-16 along with pictures, and plan. Show the clear space easement on the Non-Title Sheet and submit them to the [PDS, LDR] for review. **TIMING:** Prior to the recordation of the issuance of the certificate of occupancy, the clear space easement markers, and clear space easement on the Non-Title Sheet shall be verified. **MONITORING:** The [PDS, LDR] shall verify the clear space easement markers certifications and clear space easement on the Non-Title Sheet.

7. **DEH#1–SEPTIC DESIGN FOR PUBLIC RESTROOM USE**

INTENT: In order to ensure the on-site wastewater treatment system (septic system) is adequate for public use of the facility's restrooms, the septic system shall be designed and approved for the projected increase in wastewater flows. No increase in wastewater flows from the structure will be allowed without a design for a proposed primary and reserve onsite wastewater treatment system to serve the proposed use. The previous design approval does not allow for any expansion, nor does it allow for public use of the facility's restrooms. **DESCRIPTION OF REQUIREMENT:** The project is required to disallow public use of the existing restrooms unless the septic system is designed and approved under permit issued by the [DEH, LWQ] to accommodate projected increase in wastewater flows from the proposed uses. **DOCUMENTATION:** The applicant shall apply for and receive approval for a septic system design for the projected increase in wastewater flows to the satisfaction of the [DEH, LWQ]. The applicant shall contract with a licensed septic contractor or equivalent to complete the design to the satisfaction of the [DEH, LWQ]. Upon completion of the septic system design, the applicant shall contact [DEH, LWQ] to schedule a field verification inspection and pay all applicable inspection fees. **TIMING:** Prior to the approval of any plan, issuance of any permit (excluding septic permits) and prior to occupancy or use of the premises in reliance of this permit, the applicant shall have the septic system designed to accommodate projected wastewater flows or be required to disallow public use of the existing restrooms. **MONITORING:** Upon request of the applicant, [DEH, LWQ] shall perform a field inspection to verify that the septic system has been properly designed pursuant to this condition.

BUILDING PERMIT: (Prior to approval of any building plan and the issuance of any building permit).

8. **ROADS#4–CENTERLINE REVIEW**

INTENT: In order to promote orderly development and to comply with the Centerline Ordinance 9974, Section 51.300, frontage improvements may be required. **DESCRIPTION OF REQUIREMENT:** This project is subject to the Centerline Ordinance

(unless otherwise noted per [Sec. 51.305\(b\)](#)). *The applicant must initiate the centerline review process with the Building Official in the Department of Planning and Development Services (PDS) as early as possible in order to coordinate requirements and processing time, and to determine if review is required by PDS Land Development.* Requirements will include, but are not limited to granting of right-of-way, irrevocable offers of dedication, relinquishment of access rights, traffic striping, installation of curb, gutter, & sidewalk, road widening, trails/pathways, street lights, drainage facilities, no-parking restrictions, and undergrounding of utility distribution facilities along the project frontages, and offsite road improvements from the project to the nearest publicly maintained road. **TIMING:** Prior to approval of any building permits, the centerline review shall be completed. **MONITORING:** The [PDS, LDR] shall review the plans for consistency with the centerline conditions and County Standards.

9. UTILITIES#1–PAVEMENT CUT POLICY

INTENT: In order to prohibit trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surfacing, and to comply with County Policy RO-7 adjacent property owners shall be notified and solicited for their participation in the extension of utilities.

DESCRIPTION OF REQUIREMENT: All adjacent property owners shall be notified who may be affected by this policy and are considering development of applicable properties, this includes requesting their participation in the extension of utilities to comply with this policy. No trench cuts for undergrounding of utilities in all new, reconstructed, or resurfaced paved County-maintained roads for a period of three years following project surface. **DOCUMENTATION:** The applicant shall sign a statement that they are aware of the County of San Diego Pavement Cut Policy and submit it to the [PDS LDR] for review. **TIMING:** Prior to approval of any grading or improvement plan and prior to issuance of any grading or construction permit, and prior to use of the property in reliance of this permit, the letters must be submitted for approval. **MONITORING:** [PDS, LDR] shall review the signed letters to determine compliance with the condition.

10. ROADS#5–RELINQUISH ACCESS

INTENT: In order to promote orderly development and to comply with the [Mobility Element of the General Plan](#) access shall be relinquished. **DESCRIPTION OF REQUIREMENT:**

- a. Relinquish access onto La Cresta Road, 2.1D Community Collector Road, and Hamlet Drive, a private road easement, apart from the driveways as shown on the approved plot plan. The access relinquishment shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required.
- b. The access relinquishment shall be free of any burdens or encumbrances, which would interfere with the purpose for which it is required.

DOCUMENTATION: The applicant shall prepare the legal descriptions of the easement(s), submit them for preparation with the [DGS, RP], and pay all applicable fees associated with preparation of the documents. **TIMING:** Prior to approval of any plan or issuance of any permit, and prior to use of the premises in reliance of this permit the access shall be relinquished. **MONITORING:** The [DGS, RP] shall prepare the relinquishment documents and forward a copy of the documents to [PDS, LDR] for

preapproval. [DGS, RP] shall forward copies of the recorded documents to [PDS, LDR]. The [PDS, LDR] shall review the documents for compliance with this condition.

11. **ROADS#6–ENCROACHMENT PERMIT**

INTENT: In order to ensure that improvements for the connection between the onsite parking area and the Public Road, La Cresta Road (2.1D), comply with the County of San Diego Public Road Standards, an encroachment permit from the County of San Diego shall be obtained and implemented. **DESCRIPTION OF REQUIREMENT:** A permit shall be obtained from the County of San Diego for the improvements to be made within the public right-of-way. A copy of the permit and evidence from the issuing agency that all requirements of the permit have been met shall be submitted to the [PDS, LDR]. **DOCUMENTATION:** The applicant shall obtain the encroachment permit and provide a copy of the permit, proof of payment, and evidence that all the requirements of the permit have been met, to the [PDS, LDR]. The developer shall obtain an encroachment permit from the Department of Public Works authorizing the proposed access driveways along the **La Cresta Road** frontage. The applicant should contact the Land Development Permit Office at (858) 694-2055 for additional details. **TIMING:** Prior to the issuance of any Building permit and prior to occupancy or use of the premises in reliance of this permit, the encroachment permit shall be obtained. **MONITORING:** The [PDS, LDR] shall review the permit for compliance with this condition and the applicable improvement plans and implement any conditions of the permit in the County improvement plans.

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

12. **LNDCP#2–CERTIFICATION OF INSTALLATION**

INTENT: In order to provide adequate Landscaping, and to comply with the COSD Water Efficient Landscape Design Manual, the COSD Water Conservation in Landscaping Ordinance, the COSD Parking Design Manual, the COSD Grading ordinance and the Valley Center Design Guidelines all landscaping shall be installed. **DESCRIPTION OF REQUIREMENT:** All of the landscaping shall be installed pursuant to the approved Landscape Documentation Package. This does not supersede any erosion control plantings that may be applied pursuant to Section 87.417 and 87.418 of the County Grading Ordinance. These areas may be overlapping, but any requirements of a grading plan shall be complied with separately. The installation of the landscaping can be phased pursuant to construction of specific buildings or phases to the satisfaction of the [PDS, LA, PCC] [DPR, TC, PP]. **DOCUMENTATION:** The applicant shall submit to the [PDS, LA, PCC], a Landscape Certificate of Completion from the project California licensed Landscape Architect, Architect, or Civil Engineer, that all landscaping has been installed as shown on the approved Landscape Documentation Package. The applicant shall prepare the Landscape Certificate of Completion using the Landscape Certificate of Completion Checklist, PDS Form #406. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the landscaping shall be installed. **MONITORING:** The [PDS, LA] shall verify the landscape installation upon notification of occupancy or use of the property, and notify the [PDS, PCC] [DPR, TC, PP] of compliance with the approved Landscape Documentation Package.

13. **PLN#1–SITE PLAN IMPLEMENTATION**

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved Site Plan, STP-18-023 plot plan and the building plans. This includes but is not limited to: improving all parking areas and driveways, installing all required design features, painting all structures with the approved colors, trash enclosures are properly screened, required and approved signage is installed and located properly, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, BI] and [DPR TC, PP] shall inspect the site for compliance with the approved Building Plans.

14. HAZ#1- HAZARDOUS MATERIALS MANAGEMENT PLAN: [DPLU, DPW]

INTENT: In order to ensure proper hazardous materials handling, storage, and spill prevention and response measures, a Hazardous Materials Management Plan (HMMP) shall be prepared and submitted to the County of San Diego for review and approval. **DESCRIPTION OF REQUIREMENT:** The applicant has proposed to prepare a HMMP which will be reviewed and approved by the County of San Diego, and shall include the following components:

- a. The plan shall identify all hazardous materials that will be present on any portion of the construction site, including, but not limited to, fuels, solvents, and petroleum products. The plan shall address storage, use, transportation, and disposal of each hazardous material anticipated to be used at the site. The plan shall establish inspection procedures, storage requirements, storage quantity limits, inventory control, non-hazardous product substitutes, and disposition of excess materials.
- b. The plan shall identify secondary containment and spill prevention countermeasures, as well as a contingency plan to identify potential spill hazards, how to prevent their occurrence, and responses for different quantities of spills that may occur. Secondary containment and countermeasures shall be in place throughout construction so that if any leaks or spills occur, responses will be made immediately.
- c. The plan shall identify materials (and their locations) that will be on site and readily accessible to clean up small spills (i.e., spill kit, absorbent pads, and shovels). Such emergency spill supplies, and equipment shall be clearly marked and located adjacent to all areas of work and in construction staging areas. The plan shall identify the spill-response materials that must be maintained in vehicles and substation sites during construction and procedures for- to the appropriate authorities.
- d. The plan shall identify adequate safety and fire suppression devices for construction-related activities involving toxic, flammable, or explosive materials (including refueling construction vehicles and equipment). Such devices shall be readily accessible on the project site, as specified by the County's Fire Department and per the Uniform Building Code and Uniform Fire Code. The plan shall be

included as part of all contractor specifications and final construction plans to the satisfaction of the Department of Planning and Land Use. The plan shall also identify requirements for notices to federal and local emergency response authorities and shall include emergency response plans.

- e. Prior to construction, all contractor and subcontractor personnel shall receive training regarding the components of the HMMP, as well as applicable environmental laws and regulations related to hazardous materials handling, storage, and spill prevention and response measures. The applicant shall designate an environmental field representative who shall be on site to observe, enforce, and document adherence to the plan for all construction activities.

DOCUMENTATION: The applicant shall submit a Hazardous Materials Management Plan (HMMP) to the County of San Diego for review and approval. **TIMING:** Prior to occupancy or use of the premises in reliance of this permit, a HMMP shall be submitted to the County for review and approval. **MONITORING:** The County shall review the plan in accordance with this condition and ensure that it is implemented. All measures in the plan shall be adhered to throughout the construction period.

ONGOING: *(Upon establishment of use the following conditions shall apply during the term of this permit).*

15. PLN#2–SITE CONFORMANCE

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions, and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes but is not limited to maintaining the following: all parking and driveways areas, watering all landscaping at all times, painting all necessary aesthetics design features, and all lighting wall/fencing and required signage. Failure to conform to the approved plot plan(s); is an unlawful use of the land and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

16. ROADS#7–SIGHT DISTANCE

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.(E) of the [County of San Diego Public Road Standards](#), an unobstructed sight distance shall be maintained for the life of this permit. **DESCRIPTION OF REQUIREMENT:** There shall be a minimum unobstructed sight distance of 290 feet in the westerly direction (eastbound traffic) along La Cresta Road from the project driveway openings for the life of this permit. There shall be a minimum unobstructed sight distance of 282 feet in the easterly direction (westbound traffic) along La Cresta Road from the project driveway (1) for the life of this permit. There shall be a minimum unobstructed

sight distance of 226 feet in the easterly direction (westbound traffic) along La Cresta Road from the project driveway (2) for the life of this permit. **DOCUMENTATION:** A minimum unobstructed sight distance shall be maintained. The sight distance of adjacent driveways and street openings shall not be adversely affected by this project at any time. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

SITE PLAN FINDINGS

- a. That the proposed development meets the intent and specific standards and criteria prescribed in Sections 2362 and 7150 through 7164 of The Zoning Ordinance because the development is compatible with permitted C36 General Commercial land uses and the Site Plan authorizes a two-pump fuel station within the General Commercial Use Regulations.
- b. That the proposed development is compatible with the Crest-Dehesa Community Plan because the two-pump fuel station has been designed with appropriate landscaping and aesthetic conformity to existing development onsite. Additionally, the Crest-Dehesa Community Planning Group recommended approval of the project with a condition to remove two trees along the project frontage from the conceptual landscape sheet on November 18, 2019 by a vote of 8 yes; 3 no; and 0 abstain. Two trees were removed from the conceptual landscape sheet as a result of their recommendation.
- c. That any applicable standards or criteria waived by the Director pursuant to Section 7158.d have been or will be fulfilled by the condition or conditions of a Use Permit or Variance. County staff assessed the appropriateness of two submitted Design Exception Requests (DERs) as part of the project; one to allow for AASHTO stopping sight distance in lieu of corner sight distance and the other to allow for a reduction in driveway separation distance from 200 feet to 59 feet at the project's proposed loop driveway entrance and exit. The County Traffic Engineer supports both DERs and both were routed to and approved by the Assistant Director of the Department of Public Works (DPW).

This Site Plan has been reviewed pursuant to Ordinance 7711 and approved only for the following "D4" Designator requirements which have the objective of upgrading the appearance of this commercially zoned site and ensuring new development is compatible with the character of the Crest Country Town:

1. The architectural style should reflect the original mountain cabin or bungalow styles that were part of the original resort developments in Crest.

In order to complement the current, developed state of the site, the fuel station has been designed to conform with the architectural style and prominent color features of the existing 4,000 square-foot convenience store on site.

2. Any outside storage shall be obscured from public view with decorative fencing or walls.

No outside storage is proposed as part of this project. However, the existing trash enclosure will be removed and replaced with a new concrete masonry enclosure with decorative roofing and a medium-brown color scheme to match both existing and proposed development on site.

3. A ten-foot landscaped strip shall be provided along the front of the lot where it does not interfere with the necessary ingress and egress to the site.

A ten-foot strip along the project frontage will be landscaped with low-lying groundcover and small accent shrubs as shown on the conceptual landscape sheet. Furthermore, as recommended by the Crest-Dehesa Community Planning Group, trees will remain outside of this landscaped strip so as not to interfere with sight distance for those entering and/or existing the site.

4. The embankment at the rear of the lot shall be reinforced with crib wall and planted with vines.

The embankment at the rear of the lot will be reinforced with crib wall and planted with vines as shown on the conceptual landscape sheet.

5. The embankment along the east side of Hamlet Drive shall also be landscaped and a five-foot wide area along the top of the embankment shall be planted with three evenly spaced shade trees.

The embankment along the east side of Hamlet Drive will be landscaped as shown on the conceptual landscape sheet. Additionally, the project has been conditioned to ensure the three evenly spaced shade trees are located within a five-foot wide area along the top of the embankment.

6. The area adjacent to La Cresta Road shall have a ten-foot landscaped strip that would include the embankment. Plantings shall be limited to low shrubs and groundcover so as not to create a sight-distance hazard.

A ten-foot strip adjacent to La Cresta Road, including the embankment, will be landscaped with low-lying groundcover and small accent shrubs so as not to create a sight distance hazard as shown on the conceptual landscape sheet.

.....
ORDINANCE COMPLIANCE AND NOTICES: The project is subject to, but not limited to the following County of San Diego, State of California, and US Federal Government, Ordinances, Permits, and Requirements:

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(SDRWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the

approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

[http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION PROGRAM/susmppdf/lid_handbook_2014sm.pdf](http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf)

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below.
<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to [County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410 \(N.S.\)](#), dated February 26, 2016 and BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

GRADING PERMIT: A grading permit is required prior to commencement of grading when quantities exceed 200 cubic yards of excavation or eight feet (8') of cut/fill per criteria of [Section 87.202 \(a\) of the County Code](#).

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3284, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to [County TIF Ordinance number 77.201 – 77.223](#). The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the

TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

BIOLOGICAL RESOURCE AVOIDANCE NOTICE: The subject property contains habitat which may be used for nesting by migratory birds. Any grading, brushing or clearing conducted during the migratory bird breeding season, February 1 – August 31, has a potential to impact nesting or breeding birds in violation of the Migratory Bird Treaty Act. The applicant may submit evidence that nesting or breeding migratory birds will not be affected by the grading, brushing or clearing to these agencies: California Department of Fish and Wildlife, 3883 Ruffin Rd., San Diego, CA 92123, (858) 467-4201, <http://www.dfg.ca.gov/>; and United States Fish and Wildlife Service, 2177 Salk Avenue, Suite 250, Carlsbad, California 92008, (760) 431-9440, <http://www.fws.gov/>.

NOTICE: To comply with State law, the applicant/owner must file the Notice of Determination (NOD)/Notice of Exemption (NOE) signed by the lead agency and remit required fees to the County Clerk's Office within five (5) working days of the date of project approval. Payment or sufficient proof of prior payment to the County Clerk is required at the time of filing. The filing of a NOD or NOE reduces the period of time the CEQA document can be challenged to **35 days**. However, if the NOD/NOE is not filed, this period is extended to **180 days**. The CDFW adjusts fees annually based on inflation. You must pay the amount effective January 1 of the year of the project decision.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health (DEH)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Director, the decision may be appealed to the Planning Commission in accordance with [Section 7166 of the County Zoning Ordinance](#). An appeal shall be filed with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

PLANNING & DEVELOPMENT SERVICES
MARK WARDLAW, DIRECTOR

BY:



Ashley Smith, Planning Manager
Project Planning Division

email cc:

Kasay Esho, Project Contact Person
Crest-Dehesa Community Planning Group
Ashley Smith, Planning Manager, PDS
Sean McLean, Civil Engineer / Acting Land Development Manager, PDS
Alishia Ballard, Assistant Engineer, Land Development, PDS

Attachment C – Appeal Form



County of San Diego, Planning & Development Services
APPEAL APPLICATION
 ZONING DIVISION

APPEAL TO:

- ☐ Board of Supervisors
☐ Planning Commission
☒ **Administrative Appeal**
 (Requires Deposit & PDS-346)

FOR OFFICIAL USE ONLY

Thomas Guide Map	Code _____	Record ID
Community Plan Area		
General Plan Designation		Zone

APPELLANT FILL IN BELOW THIS LINE, THIS SIDE ONLY – PLEASE PRINT OR TYPE

1103 LA CRESTA BLVD EL CASON (CREST) 92021 Site Address Number Street City Zip				509-043-08 Assessor's Parcel Number	
RIGGS WALDON G. Appellant's Name Last First Middle				E+B PETROLEUM Owner's Name Last First Middle	
4815 DEHESA RD Mailing Address Number Street				Mailing Address Number Street	
EL CASON CA. 92019 City Zip				City Zip	
619-442-4612 619-249-5303 Telephone				Telephone	

REQUEST: Clearly define all items requested in the appeal. Submit plans if necessary, to illustrate request.

SITE PLAN REVIEW - INGRESS - EGRESS
 INSTALLING OF 2 GAS PUMPS

JUSTIFICATION: Attach additional sheets if necessary.

SEE ATTACHED SHEETS FOR STP-18-023

Signature of Appellant

CREST-DEHESA-GRANITE HILLS-
 HARRISON CANYON PLANNING GROUP
 If Company Officer – indicate Company Name and function
 (Please print)

— OFFICIAL USE ONLY —





5-91

County of San Diego, Planning & Development Services

**COMMUNITY PLANNING OR SPONSOR
GROUP PROJECT RECOMMENDATION**
ZONING DIVISIONRecord ID(s): PDS2018-STP-18-023Project Name: La Cresta Gas Station Site PlanPlanning/Sponsor Group: Crest-Dehesa Community Planning Group

Results of Planning/Sponsor Group Review

Meeting Date: Nov. 18, 2019**A. Comments made by the group on the proposed project.**

At no time during the 14+ months this project was on the table was it revealed to the planning group that the installation of 2 gas pumps was not part of the site plan. There is considerable opposition to the installation of gas pumps by community members to the tune of 193 signatures in opposition.

B. Advisory Vote: The Group ☒ **Did** ☐ **Did Not** make a formal recommendation, on the approval or denial on the project at this time. landscape plan only.

If a formal recommendation was made, please check the appropriate box below:

MOTION:

- ☐ Approve without conditions
☒ Approve with recommended conditions
☐ Deny
☐ Continue

VOTE: 8 Yes 3 No 0 Abstain 0 Vacant/Absent 1 - 3**C. Recommended conditions of approval:**

Removal of two (at least) trees/shrubs that appear to inhibit sight distance for entering and/or exiting the site.

Reported by: Wally Riggs Position: Chair Date: 11/21/19

Please email recommendations to BOTH EMAILS;

Project Manager listed in email (in this format): Firstname.Lastname@sdcounty.ca.gov and to CommunityGroups.LUEG@sdcounty.ca.gov

Here are 3 reasons to appeal to the county for the installment of gas pumps in Crest in my opinion as a resident of Crest.

Reason #1 An appeal would place E and B Petroleum's traffic study using AASHTO stopping sight distance design before the planning commission.

County's Department of Public Works has assessed and approved a Design Exception Request to use AASHTO stopping sight distance rather than the County's standard corner sight distance, based on Site Plan specific measurements and modeling provided by the applicant.

AASHTO stopping sight distance is the sum of two distances: the distance traveled during perception and reaction time and the distance to stop the vehicle.

Curves and gradient of a road affect stopping sight distance. La Cresta Blvd. and La Cresta Rd. meet and are a continuous negative gradient as well as curve around the flat parcel the sits well below the road or above the road depending on which direction a drivers is taking. Any approaching driver in either direction will experience the changes in elevation, and a sharp and fairly short lived curve to south Crest. A forked intersection of a third road leading to Harbison Canyon complicates road conditions and congestion in the area because it is very near the project's front entrance and exit.

The applicant's second traffic engineer said he stood at a fixed point and found drivers did not exceed 30 MPH. No recommendations for traffic impacts are to be implemented. AASHTO stopping sight distance design speed must be 30 MPH.

The projects planned 720 sq. ft. LED lit canopy is a stationary visual obstruction both vertically and horizontally and sits on a flat parcel below the elevation of La Cresta Blvd. The canopy height and width, supporting under structure posts, 2 pumps and cars parked at the pumps total impact on a driver's line of sight may not be fully realized by the applicant's findings since AASHTO design relies on distance traveled during a drivers perception of obstacles on the road ahead, distance traveled during the reaction and distanced traveled to brake and come to a stop.

Ex. #1. La Cresta Blvd. using downhill traffic on La Cresta Blvd. After a car passes the last home on the left a driver is at the highest point and a driver's eye begins to perceive road conditions below. Since the road curves naturally a drivers looks downhill or towards the area in front of the parking lot. Here, the driver may only see the roof of the canopy's solid mass rather than the road conditions below. The canopy roof is a stationary object that creates a visual obstacle that is 24' by 30' or 720 sq.ft. and that horizontal mass of the roof will appear to be more forward then it really is due the driver's perspective. The drivers view will be different as the road begins to lose elevation quickly. The vertical mass of the canopy's 2 under structure supporting posts, gas pumps and cars parked while fueling have the potential to further block the drivers line of sight for road conditions at the entrance or near the entrance. Continuing further down tall vehicles waiting at the exit could block the driver's ability to see road conditions that are just around the curve. Drivers perceptions and reactions to possible obstacles on the road

ahead is shortened by visual onsite stationary obstructions which are in constant change as a driver's eye level follows the decline in elevation. Currently the parking area entrance is wide and open since there are no curbing narrowing an entrance or exit. That will change with the installation of the pumping area structures and pricing sign. Every possible impact to a driver's ability to see road conditions at the entrance and exit should be taken into consideration along the curve of La Cresta Blvd.

Ex. #2 La Cresta Rd. the narrowed entrance will slow traffic entering the site. An overcrowded site plan, the short distance between the parking area and the pump area, and the potential for a driver to back out of the pumping area rather than pull forward will create congestion onsite that a driver entering will have to negotiate. There is no walk way for pedestrians. Uphill traveler's line of sight for road conditions along La Cresta Blvd will be blocked by the canopy especially as it nears the top. Vehicles on La Cresta Rd. waiting to turn in will add to congestion off site.

There are questions that we don't know the answer to.

1. Does the AASHTO stopping sight distance design demonstrate a driver's line of sight into the site using measurements and modeling from the many varied levels of gradient and curve of La Cresta Rd. and La Cresta Blvd.? Or is it one dimensional and from a fixed location.
2. Was the approval of the request for exception based on street view design that addresses slope and topography and all visual obstructions of the canopy, under structure and the entire pumping area with the 4 cars on each side of the pumps and placement of the pricing sign?
3. Crest enjoys dark skies and there are no street lights. The canopy's lighting, glare and digital pricing sign placement will have more impact on a driver's night vision even with dark sky lighting. Was a driver's night time vision and ability to perceive road conditions at the entrance and exit included in the study?
4. This project is too close to the intersection La Cresta Rd, La Cresta Blvd. and Mountain View Rd. The intersection is at the top of the hill is already awkward due to the topography and narrowness of the roads. Currently delivery trucks fill up the parking area already without the addition of the overcrowded site plan design. Sometimes large trucks stick out onto La Cresta Road. There has already been enough tragedy on La Cresta Road. Adding the once a week fuel delivery tanker on the grade is another concern of the residents.

An appeal would bring the applicant's specific measurements and modeling used to a higher level of analysis by planners and residents concerns about traffic impacts would be heard.

SRPG 2019 Nov.meeting. The county managers stated they had approved a D4 designator landscape design but wanted the SRPG recommendation for the D4 designator landscape design only.

The one dimensional landscaped design had trees and plantings shown as green circles placed on a print. The vote was 8 - 3 for the design. A recommendation was to remove trees near the access to the project site due to visual obstruction.

Attachment D – Environmental Documentation

5-95
NOTICE OF EXEMPTION

TO: Recorder/County Clerk
Attn: James Scott
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. O650
Attn: Project Planning Division Section Secretary

SUBJECT: **FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152**

Project Name: La Cresta Gas Station Site Plan, PDS2018-STP-18-023

Project Location: 1103 La Cresta Boulevard; Crest-Dehesa (APN: 509-043-08)

Project Applicant: Kasay Esho, 1103 La Cresta Boulevard, El Cajon, CA 91921 (619-726-4307)

Project Description: The project is a Site Plan to authorize the construction and operation of a two-pump commercial fuel station to be added to an existing 4,000 square-foot convenience store on approximately 0.5 acres located at 1103 La Cresta Boulevard in the Crest-Dehesa Community Plan area. Access would be provided by an entrance-exit looped driveway connecting to La Cresta Road on the northerly portion of the project site. The project would be served by onsite septic and water by the Padre Dam Municipal Water District.

Agency Approving Project: County of San Diego

County Contact Person: Hunter McDonald Telephone Number: (858) 495-5330

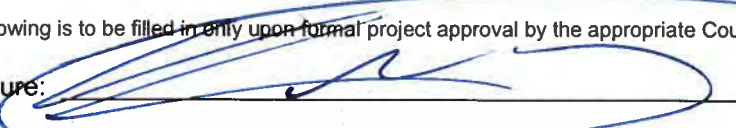
Date Form Completed: February 20, 2020

This is to advise that the County of San Diego Director of Planning & Development Services has approved the above described project on February 20, 2020 and found the project to be exempt from the CEQA under the following criteria:

1. Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)
 - ☐ Declared Emergency [C 21080(b)(3); G 15269(a)]
 - ☐ Emergency Project [C 21080(b)(4); G 15269(b)(c)]
 - ☐ Statutory Exemption. C Section:
 - ☒ Categorical Exemption. G Section: 15301 – Existing Facilities
 - ☐ G 15061(b) (3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.
 - ☐ G 15182 – Residential Projects Pursuant to a Specific Plan
 - ☐ G 15183 – Projects Consistent with a Community Plan, General Plan, or Zoning
 - ☐ Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
2. Mitigation measures ☐ were ☒ were not made a condition of the approval of the project.
3. A Mitigation reporting or monitoring plan ☐ was ☒ was not adopted for this project.

Statement of reasons why project is exempt: Pursuant to Section 15301 of the California Environmental Quality Act (CEQA), the project is exempt from CEQA because it is a 720 square-foot commercial fuel station addition to an existing 4,000 square-foot convenience store located on site. This project does not result in an addition of more than 50 percent of the floor area of the convenience store, nor does it result in an addition of more than 10,000 square feet. Additionally, the project is not located in an environmentally sensitive area. Section 15301 states that projects are exempt from CEQA when they consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination, including, but not limited to additions to existing structures provided the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less; or 10,000 square feet if the project is in an area where are public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature:  Telephone: (858) 495-5330

Name (Print): Hunter McDonald Title: Land Use/Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.

Attachment E – Environmental Findings

**LA CRESTA GAS STATION SITE PLAN
PDS2018-STP-18-023**

ENVIRONMENTAL FINDINGS

February 20, 2020

1. Find that there the project is exempt from further environmental review pursuant to CEQA Section 15301.
2. Find that the proposed project is consistent with the Resource Protection Ordinance (County Code, section 86.601 et seq.).
3. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).

Attachment F – Public Documentation



County of San Diego, Planning & Development Services
**COMMUNITY PLANNING OR SPONSOR
GROUP PROJECT RECOMMENDATION**
ZONING DIVISION

Record ID(s): PDS2018-STP-18-023

Project Name: La Cresta Gas Station Site Plan

Planning/Sponsor Group: Crest-Dehesa Community Planning Group

Results of Planning/Sponsor Group Review

Meeting Date: Nov. 18, 2019

A. Comments made by the group on the proposed project.

At no time during the 14+ months this project was on the table was it revealed to the planning group that the installation of 2 gas pumps was not part of the site plan. There is considerable opposition to the installation of gas pumps by community members to the tune of 193 signatures in opposition.

B. Advisory Vote: The Group ☒ **Did** ☐ **Did Not** make a formal recommendation, on the approval or denial on the project at this time. landscape plan only.

If a formal recommendation was made, please check the appropriate box below:

MOTION:

- ☐ Approve without conditions
☒ Approve with recommended conditions
☐ Deny
☐ Continue

VOTE: 8 Yes 3 No 0 Abstain 0 Vacant/Absent ^{1 - 3}

C. Recommended conditions of approval:

Removal of two (at least) trees/shrubs that appear to inhibit sight distance for entering and/or exiting the site.

Reported by: Wally Riggs Position: Chair Date: 11/21/19

Please email recommendations to BOTH EMAILS;

Project Manager listed in email (in this format): Firstname.Lastname@sdcounty.ca.gov and to CommunityGroups.LUEG@sdcounty.ca.gov

Attachment G – Ownership Disclosure



County of San Diego, Planning & Development Services
**APPLICANT'S DISCLOSURE OF OWNERSHIP
 INTERESTS ON APPLICATION FOR ZONING
 PERMITS/ APPROVALS**
 ZONING DIVISION

Record ID(s) STP-18-023

Assessor's Parcel Number(s) 509-043-08

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. **NOTE:** Attach additional pages if necessary.

A. List the names of all persons having any *ownership interest* in the property involved.

Hasay Esho

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

NOTE: Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

Hasay Esho

Hasay Esho

7/23/18

----- OFFICIAL USE ONLY -----

SDC PDS RCVD 7-25-18

STP18-023

5510 OVERLAND AVE, SUITE 110, SAN DIEGO, CA 92123 • (858) 565-5981 • (888) 267-8770

<http://www.sdcountry.ca.gov/pds>



5-102

RECORDING REQUESTED BY:

WFG National Title Company

DOC# 2017-0386929



AND WHEN RECORDED MAIL TO:

E & B Petroleum Corporation
C/O 1103 La Cresta Blvd.
El Cajon, CA 92021

Aug 24, 2017 11:10 AM

OFFICIAL RECORDS
Ernest J. Dronenburg, Jr.,
SAN DIEGO COUNTY RECORDER
FEES: \$678.00
PCOR: YES

PAGES: 2

THIS SPACE FOR RECORDER'S USE ONLY:

Title Order No.: SD10000313

Escrow No.: 001211-MK

AP#: 509-043-08-00

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is \$660.00

☒ computed on full value of property conveyed, or

☐ computed on full value less value of liens or encumbrances remaining at time of sale.

☐ Unincorporated area ☒ City of El Cajon **AND**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Delly Foods, Inc., a California Corporation

hereby GRANT(s) to:

E & B Petroleum Corporation, a California Corporation

the real property in the City of El Cajon, County of San Diego, State of California, described as:
LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A" AND MADE A PART HEREOF

Also Known as: 1103 La Cresta Blvd., El Cajon, CA 92021

Dated March 16, 2017

Delly Foods, Inc., a California Corporation

By:


Kevin Delly, President/Secretary

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA

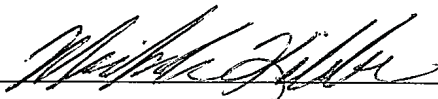
COUNTY OF San Diego

On 8-22-17 before me, Michele Kibbe A Notary Public personally
appeared Kevin Delly who proved to me on the
basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged
to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the
instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



(Seal)



MAIL TAX STATEMENTS TO PARTY SHOWN BELOW; IF NO PARTY SHOWN, MAIL AS SHOWN ABOVE:

5-103

File No. SD10000313-JD

Exhibit A
Legal Description

All that certain real property in the County of San Diego, State of California, described as follows:

ALL THAT PORTION OF LOT 4 OF SECTION 3, TOWNSHIP 16 SOUTH, RANGE 1 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 4, DISTANT THEREON NORTH 02° 05' 00" EAST, 604.40 FEET FROM THE INTERSECTION OF SAID WEST LINE WITH THE CENTER LINE OF THE COUNTY ROAD KNOWN AS LA CRESTA ROAD, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP OF ROAD SURVEY NO. 435, SHOWING A RELOCATION OF A PORTION THEREOF, FILED IN THE OFFICE OF THE COUNTY SURVEYOR; THENCE EASTERLY IN A STRAIGHT LINE TO A POINT ON THE WEST LINE OF SAID ROAD, DISTANT THEREON 211.99 FEET NORTHERLY FROM THE INTERSECTION THEREOF WITH THE SOUTH LINE OF LAND CONVEYED TO T. S. BANNER AND WIFE BY DEED RECORDED MAY 3, 1948 IN BOOK 2779 PAGE 249 OF OFFICIAL RECORDS; THENCE CONTINUING EASTERLY ALONG SAID STRAIGHT LINE, 30.00 FEET TO A CENTER LINE OF SAID ROAD; THENCE NORTH 04° 10' 30" WEST, ALONG SAID CENTER LINE TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 200.00 FEET; THENCE NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE AND CENTER LINE, THROUGH A CENTRAL ANGLE OF 64° 40' 00" FOR A DISTANCE OF 225.73 FEET; THENCE ALONG SAID CENTER LINE, NORTH 63° 50' 30" WEST, 85.00 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WEST LINE OF SAID LOT 4; THENCE SOUTHERLY ALONG SAID WEST LINE TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO, (R.S. 435) RECORDED JANUARY 13, 1966 AS FILE NO. 7338 OF OFFICIAL RECORDS.

APN: 509-043-08-00