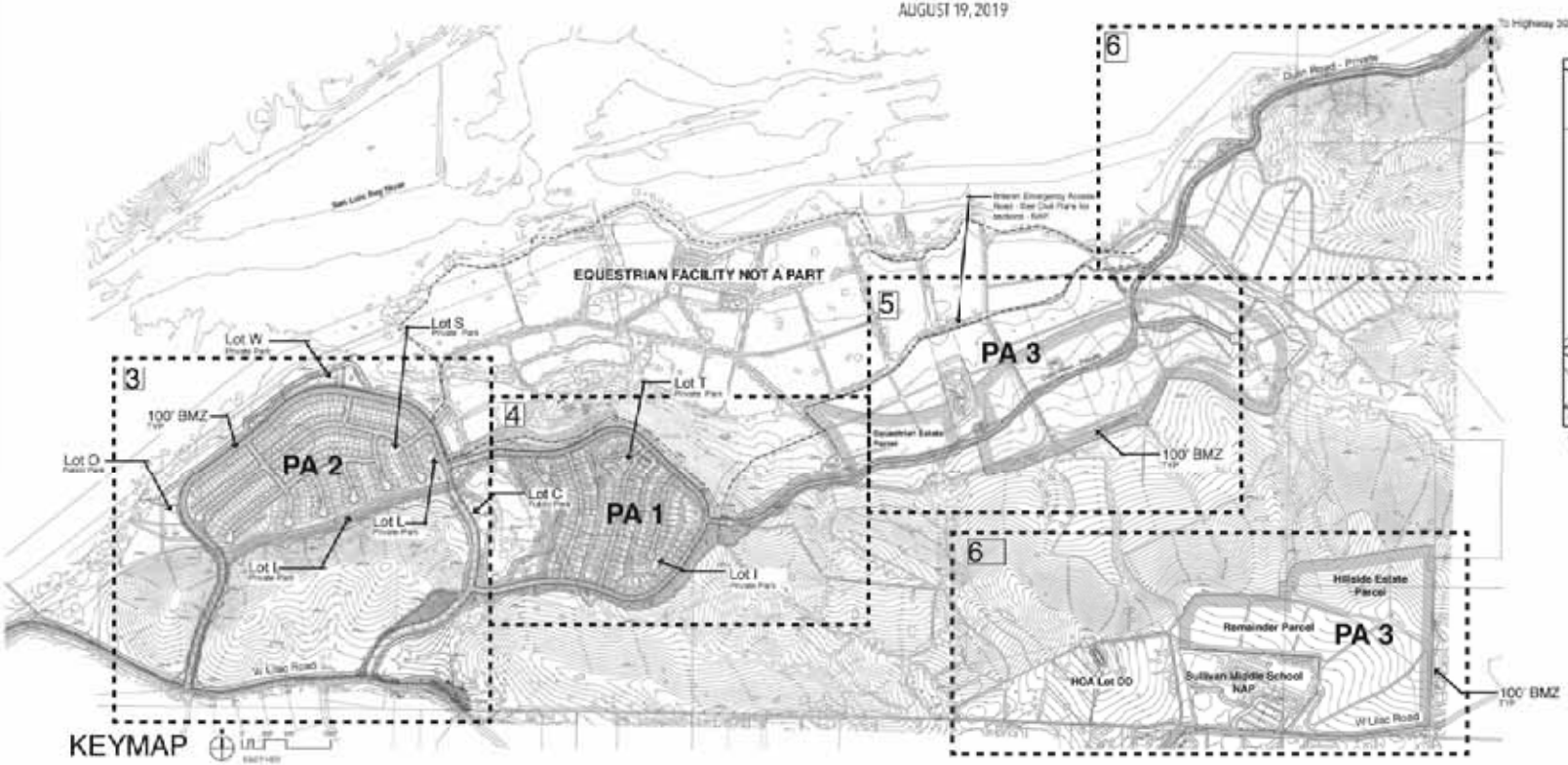
COUNTY OF SAN DIEGO TRACT 5615

CONCEPTUAL LANDSCAPE PLAN FOR:

OCEAN BREEZE RANCH

MUP #PDS2016-MUP-16-012

AUGUST 19, 2019



KEYMAP

VICINITY MAP NTS

NOTE: MAJOR USE PERMIT

The approved site plan, site design, conceptual landscape plans, and architectural elevations of particular design elements of the project including, but not limited to residences, recreational sites, signage, and lighting are conceptual and have been provided for illustrative purposes only. Certain deviations to the design, scale, bulk, and coverage of the project may be required during the final design and development of the project to meet the Ocean Breeze Major Use Permit implementation standards. Proposed deviations that are in substantial conformance with or meet the intent of, the scale, bulk, coverage, and density of the approved project may be approved at the discretion of the Director of Planning & Development Services.

A Minor Deviation to the Major Use Permit is not required for any building, structure or projection listed in 4600 or any use listed in the Accessory Use Regulations, Section 6150-6199 or as otherwise referenced, provided the building, structure or projection or use meets the specific accessory use setbacks in the Major Use Permit and meets all other conditions and restrictions in the Major Use Permit.

The Director of Planning & Development Services is authorized, at his discretion, to allow changes to the project without requiring a Minor Deviation to the Major Use Permit provided County staff determines that no new significant impact will be created or no increase in a previously identified significant environmental effect will occur as a result of the requested change(s).

Tree Planting Summary

Total Conceptual Tree Planting - 2,371+/-

Per the County Climate Action Plan - All new residential Lots will be required to plant 2 trees per lot. The following is an estimate of the approximate number trees to be planted within the project. This will be revised and updated during the development of the final Landscape Documentation Package.

Project phasing for landscape development to be determined.

AREA	Approximate Number of Trees
PA 1	
Residential Lots - 144	288 (2 Per lot)
Street A	75
Street B	205
Streets K-O	200
PA 1 Subtotal	768
PA 2	
Residential Lots - 237	474 (2 Per lot)
West Lilac Frontage	50 (Note - Existing trees and native landscape occur on this road)
Street A	250
Streets C-J	300
PA 2 Subtotal	1072

AREA	Approximate Number of Trees
PA 3	
Residential Lots - 15	30 (2 Per lot)
Dulin Road	35 (Note - Portions of road remain undisturbed, native)
West Lilac Frontage	20 (Note - Existing trees and native landscape occur on this road)
PA 3 Subtotal	85
Lot L Private Park	63
Lot O Public Park	28
Lot W Private Park	60
Lot C Private Park	30
Lot I Private Park	10
Parks Subtotal	203
Slopes/Basins	225
HOA Open Space	16
Lot S Private Park	8
Lot T Private Park	4

LANDSCAPE SHEET INDEX

SHEETS	PLANS
L1	LANDSCAPE TITLE SHEET
L2	LANDSCAPE NOTES AND LEGEND
L3-6	LANDSCAPE CONCEPT PLAN
L7	LANDSCAPE PARKS CONCEPT
L8	LANDSCAPE STREET SECTIONS
L9	WALL AND FENCE PLAN
L10	GATE - TRAIL/PATHWAY CONCEPT PLAN

Revised 08-19-2019
5th Submittal 07-30-2018
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TRACT 5615 TENTATIVE MAP
OCEAN BREEZE RANCH
TM PLAN
Landscape Title Sheet
MUP #PDS2016-MUP-16-012
August 19, 2019
SHEET L1 of L-10

BRUSH MANAGEMENT NOTES AND DETAILS

WITHIN THE OCEAN BREEZE RANCH, BRUSH MANAGEMENT ZONES A AND B WILL BE THOUGHTFULLY AND STRATEGICALLY IMPLEMENTED TO BLEND THE PROPOSED SITE ELEMENTS INTO THE NATURAL HILLSIDES, PROVIDE A LOGICAL AND DEFENSIBLE PERIMETER FOR FIRE, EROSION, AND OTHER NATURALLY OCCURRING HAZARDS, AND REHABILITATE DISTURBED TRANSITION ZONES FROM THE NATURAL ENVIRONMENT TO THE BUILT.

REFER TO THE LATEST FIRE PROTECTION PLAN PREPARED BY FIREWISE 2000, SPECIFICALLY DEFENSIBLE SPACE AND VEGETATION MANAGEMENT.

ZONE A

- CLEAR ALL UNDESIRABLE NON-NATIVE VEGETATION (APPENDIX 'B')
- NO PLANTING OF UNDESIRABLE NON-NATIVE VEGETATION (APPENDIX 'B')
- PLANT APPROVED VEGETATION (APPENDIX 'A') IN SINGLES/CLUSTERS
- NO PYROPHYTES CAN BE PLANTED. EXCEPTION: NON-FIRE-RESISTIVE TREES (CONIFERS, PEPPERS, EUCALYPTUS, ARAUCARIA) CAN BE PLANTED AND MAINTAINED (WITH PRIOR FIRE MARSHALL APPROVAL) IF LOCATED SO THAT THERE IS 50 MIN. MATURE CANOPY CLEARANCE FROM STRUCTURES.
- NO DENSE PLANT MASSES ADJACENT TO STRUCTURES OR UNDER TREES
- TREES ALLOWED IF THEY ARE PRUNED TO MAINTAIN 10' VERTICAL SEPARATION ABOVE UNDERLYING SHRUBS/GROUNDCOVER OR 3X THE HEIGHT OF THE UNDERSTORY OR 10' (WHICHEVER IS GREATER)
- THREE CLUSTERS OF 3 MAXIMUM WITH 10' MATURE CANOPY SEPARATION (LESS THAN 20% SLOPE), OR 20' (MORE THAN 20% SLOPE)
- MATURE CANOPY WILL BE 10' MINIMUM FROM BUILDING EAVES AND NOT OVERHANG ANY STRUCTURES.
- MULCH, CHIPS, OTHER SMALL CUTTINGS MAY BE EVENLY SPREAD TO A MAXIMUM DEPTH OF 4" AND WILL BE 50' MIN. FROM BUILDINGS.

ZONE B

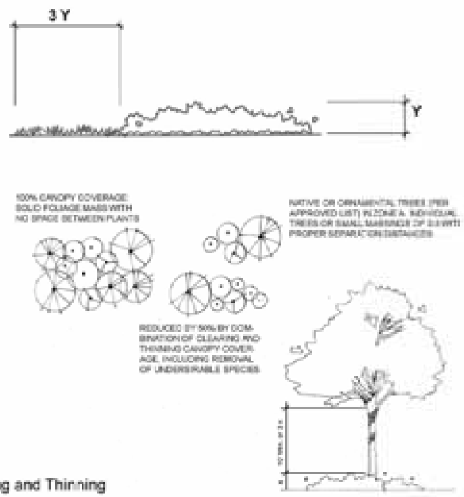
CAN BE CLEARED IN CONFORMANCE WITH ZONE A REQUIREMENTS OR MODIFIED PER THE FOLLOWING:

- FUEL VOLUME TO BE REMOVED OR THINNED BY 50%
- TEMPORARY IRRIGATION USED ONLY TO ESTABLISH FIRE-RESISTIVE LANDSCAPING.
- ALL GRASSES AND WEEDS WILL BE MOWED OR WEED-WHIPPED (NO PULLING OR ROOT REMOVAL) TO 4-6 IN. HT. BY JUNE 1ST OF EACH YEAR OR WHEN FUEL IS CURED (WHICHEVER IS FIRST)
- VEGETATIVE DEBRIS/TRIMMINGS WILL BE REMOVED FROM SITE OR CONVERTED TO MULCH (EVENLY SPREAD WITH 4" MAX. DEPTH)
- VEGETATION WITHIN 30' OF NEW ROADS WILL BE MODIFIED/REDUCED TO 50% OF FULL COVERAGE AREA.
- NONE OF THE FOLLOWING WILL BE PERMITTED TO GROW IN THIS ZONE:
  - ARTEMISIA CALIFORNICA, CALIFORNIA SAGEBRUSH
  - ERIOGONUM FASCICULATUM, FLAT-TOPPED BUCKWHEAT
  - SALVIA MELLIFERA, BLACK SAGE

MAINTENANCE

YEAR-ROUND MAINTENANCE WILL INCLUDE THE FOLLOWING:

- PRUNE AND THIN TREES AROUND STRUCTURES TO A PROPER CANOPY SEPARATION.
- BRANCHES OVERHANGING ROOFS WILL BE REMOVED.
- TRASH AND COMBUSTIBLE DEBRIS WILL BE CLEARED FROM GUTTERS, ROOFS, AND AROUND STRUCTURES.
- IRRIGATION SYSTEMS WILL BE MAINTAINED IN FULL WORKING CONDITION.



Pruning and Thinning

LANDSCAPE NOTES

ALL NEW LANDSCAPING SHALL CONFORM TO THE FOLLOWING DOCUMENTS:

- COUNTY OF SAN DIEGO WATER EFFICIENT LANDSCAPE DESIGN MANUAL
- APPROVED FINAL PROJECT FIRE PROTECTION PLAN FOR FUEL MODIFICATION BY FIREWISE 2000
- COUNTY OF SAN DIEGO WATER CONSERVATION IN LANDSCAPE ORDINANCE
- [illegible]

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. STREET TREES: [illegible]
9. MINIMUM STREET TREE SEPARATION DISTANCES:

IMPROVEMENT:	STREET TREE:
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET
SEWER MAINS AND SEWER LATERALS	10 FEET

10. IRRIGATION: [illegible]
11. MAINTENANCE: [illegible]

RESPONSIBLE ENTITY:	AREAS RESPONSIBLE FOR:
INDIVIDUAL PROPERTY OWNER	RESIDENTIAL PROPERTIES, BRUSH MANAGEMENT ZONE A
HOMEOWNERS ASSOCIATION	HOA COMMON AREAS, BRUSH MANAGEMENT ZONE B, PRIVATE STREETS, PRIVATE PARKS, ENTRY SIGNAGE LANDSCAPE
PUBLIC AGENCY MAINTENANCE	PUBLIC STREETS, PUBLIC PARKS

12. [illegible]
13. [illegible]
14. [illegible]
15. [illegible]
16. [illegible]
17. [illegible]
18. [illegible]

EXISTING TREES TO REMAIN

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]

WATER DELIVERY SYSTEM AND IRRIGATION NOTES

[illegible]

1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]
   a. SLOPE AREAS WILL BE SEPARATED FROM FLAT AREAS.
   b. TOP AND BOTTOM OF SLOPES WILL BE ON SEPARATE SYSTEMS.
   c. DIFFERING MICRO-CLIMATE AREAS WILL BE ON DIFFERENT STATIONS.
   d. [illegible]

[illegible]

LANDSCAPE CONCEPT LEGEND

[illegible]

Collector Loop Road Landscape

Trees – 70% 24" Box, 20% 15 gallon

Arbutus marina	Madrone
Olea europea – 'Fruitless'	Fruitless Olive
Platanus racemosa	California Sycamore
Quercus agrifolia	Coast Live Oak
Umbellularia californica	Bay Laurel

Shrubs and Ground Covers – 40% 1 Gallon, 30% 5 Gallon, 30% Flats

Aloe species*	Aloe
Arctostaphylos species*	Manzanita - Approved Varieties Only
Baccharis species*	Baccharis
Callistemon 'little john'	NCN
Ceanothus species*	California Lilac - Approved Varieties Only
Cistus purpureus	Orchid Rockrose
Muhlenbergia rigens	Deer Grass
Nolina species*	Nolina
Opuntia species*	Cactus
Rosmarinus Officinalis**	Rosemary
Salvia cultivars*	Sage - Approved Varieties Only

Neighborhood Streets

Trees – 100% 24" Box

Agonis flexuosa	Peppermint Willow
Arbutus unedo 'Marina'	Marina Strawberry Tree
Geijera parviflora	Australian Willow
Pistacia chinensis	Chinese Pistache
Pittosporum undulatum	Victorian Box
Quercus ilex	Holly Oak
Quercus virginiana	Southern Live Oak
Rhus lancea	African Sumac

Shrubs and Ground Covers – 100% Flats

Aloe species*	Aloe
Arctostaphylos species*	Manzanita
Baccharis species*	Baccharis
Ceanothus g. horizontalis	Carmel Creeper - Approved Varieties Only
Dymondia margaretae	Silver Carpet
Festuca glauca 'Elijah Blue'	Elijah Blue Fescue
Sedum species and hybrids	Stonecrop

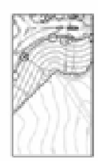
Park Landscape

Trees – 10% 36" Box, 70% 24" Box, 20% 15 Gallon

Alnus rhombifolia	White Alder
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis	Chitalpa
Cinnamomum camphora	Camphor Tree
Fraxinus species	Evergreen Ash
Lagerstroemia indica	Crape Myrtle
Platanus racemosa	California Sycamore
Quercus species	Oak
Umbellularia californica	Bay Laurel

Shrubs and Ground Covers – 40% 1 Gallon, 30% 5 Gallon, 30% Flats

Aloe species*	Aloe
Arctostaphylos species*	Manzanita
Baccharis species*	Baccharis
Callistemon 'little john'	NCN
Cistus purpureus	Orchid Rockrose
Muhlenbergia rigens	Deer Grass
Nolina species*	Nolina
Opuntia species*	Cactus
Rosmarinus species**	Rosemary Approved Varieties Only
Salvia cultivars*	Sage - Approved Varieties Only



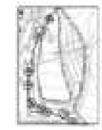
Naturalized Transition Landscape/Exterior Slopes

Trees and Shrubs – Trees 100% 15 gallon, Shrubs 100% 1 Gallon

Arbutus unedo 'Marina'	Strawberry Tree
Heteromeles arbutifolia	Toyon
Lophostemon confertus	Brisbane Box
Platanus racemosa	California Sycamore
Quercus agrifolia	Coast Live Oak
Quercus engelmannii	Mesa Oak
Rhus ovata	Sugar Bush
Rhus integrifolia	Lemonade Berry

Hydroseed Mix for Slopes [illegible]

Ambrosia psilostachya	Ragweed
Baccharis pilularis	Coyote Bush
Encelia californica	Bush Sunflower
Eriophyllum Confertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Lupinus Succulentus	Arroyo Lupine
Mimulus sp.	Monkeyflower
Nassella pulchra	Purple Needlegrass
Plantago erecta	California Plantain
Vulpia microstachys	Three Week Fescue



Storm Water Basins (SWB) - Native Species

Trees – 20% 24" Box, 80% 15 gallon

Aesculus californica	California Buckeye
Platanus racemosa	California Sycamore
Salix species*	Willow
Sambucus mexicana	Blue Elderberry
Umbellularia californica	California Bay

Shrubs/ Ground Covers – 20% 1 Gallon, 80% Flats

Baccharis species*	Baccharis
Rhamnus californica	Coffeeberry
Ribes species	Currant/Gooseberry
Rosa californica	California Rose
Salvia cultivars*	Sage - Approved Varieties Only

Grasses – 100% Flats or Seed

Carex spp*	Sedge
Elymus spp*	NCN
Festuca californica	California Fescue
Festuca idahoensis	Idaho Fescue
Iris douglasiana	Douglas Iris
Juncus patens	Common Rush
Juncus textilis	Basket Rush
Muhlenbergia rigens	Deer Grass

Interior Slopes

Trees – 50% 24" Box, 50% 15 gallon

Aesculus californica	California Buckeye
Arbutus unedo 'Marina'	Strawberry Tree
Cercis occidentalis	Western redbud
Sambucus mexicana	Blue Elderberry
Arctostaphylos spp*	Manzanita
Quercus engelmannii	Engelmann Oak

Shrubs/ Ground Covers – 20% 1 Gallon, 80% Flats

Baccharis species*	Baccharis
Ceanothus species*	California Lilac
Dendromecon Harfordii	Bush Poppy
Feijoa sellowiana	Pineapple Guava
Garrya elliptica	Silk Tassel Bush
Heteromeles arbutifolia	Toyon
Rosmarinus species**	Rosemary - Approved Varieties Only
Rhamnus californica	Coffeeberry
Ribes species*	Currant/Gooseberry
Rosa californica	California Rose
Rhus integrifolia	Lemonade Berry
Salvia cultivars*	Sage - Approved Varieties Only

* There are many cultivar/drought tolerant plants with multiple species and sizes that will do well here. Rather than list multiple plants, the variety should be appropriate for use in the region and the specific micro-climate and landscape use. Selections should based on five most criteria, readily available, and resistant to pest and disease prevalent in the area.

** These Plant species are acceptable on a limited basis (maximum 30% of the area) in wet Fuel Modification Zones.

Revised 08-19-2019
5th Submittal 07-30-2019
4th Submittal 05-21-2019
3rd Submittal 12-10-2018
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Original Submittal 9-28-2016

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SUMMERS/MURPHY & PARTNERS, INC.
34197 COAST HWY SUITE 200
DANA POINT, CA 92629
(949) 443-1446

TRACT 5615 TENTATIVE MAP
OCEAN BREEZE RANCH
TM PLAN

Notes & Legends

MUP #PDS2016-MUP-16-012

August 19, 2019

Lot W
Private Park
See Sheet 7

EQUESTRIAN FACILITY
NOT A PART

100' BMZ

Lot S
Private Park
Amenities - Paths, Seating, Landscape
See Park Notes Sheet 7

Private Gated Equestrian
Facility Entry - See Sheet 10

Lot X Bio Open Space

PA 2

Public Access to
SLR River Trail

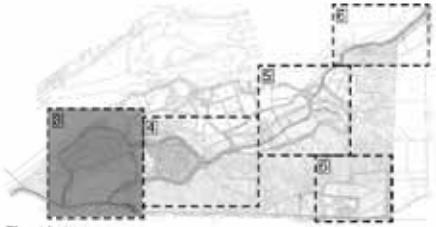
Lot O
Public Park
See Sheet 7

Lot C
Public Park
See Sheet 7

Lot L
Private Park
See Sheet 7

Project Entry Signage -
See Sheet 9

Project Entry
Signage -
See Sheet 9



Legend

- Future Public SLR River Trail (By County)
- DG Pathway Public (8 FT Street A, 6 FT Street B)
- DG Pathway Private (5 ft - Dulin Road)
- DG Trail (Privately Maintained Open to Public)
- West Lilac Road Public DG Pathway
  8' Public Trail within 15' easmt (Privately Maintained Open to Public)
- Brush Management Zone

See Sections - Sheet 8 for Pathway and Trail widths

LANDSCAPE CONCEPT LEGEND

See Sheet 2 for Plant List

- Collector Loop Road Landscape
- Naturalized Transition Landscape/Exterior Slopes
- Neighborhood Streets
- Storm Water Basins (SWB)
- Park Landscape
- Interior Slopes

NOTES

All slopes over 3 in vertical height within individual residential lots will be similarly planted and irrigated from landscape documentation package plans submitted during review of grading permit application. The developer will plant, irrigate, and maintain these slopes until such time as others purchase and build upon the lot. At that time irrigation point of connections will be converted over to the individual lot owner/or HOA and no longer the responsibility of the developer.

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OCEAN BREEZE RANCH
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SHEET L3 of L-10

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- Park Landscape
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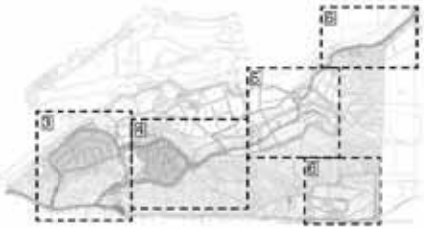

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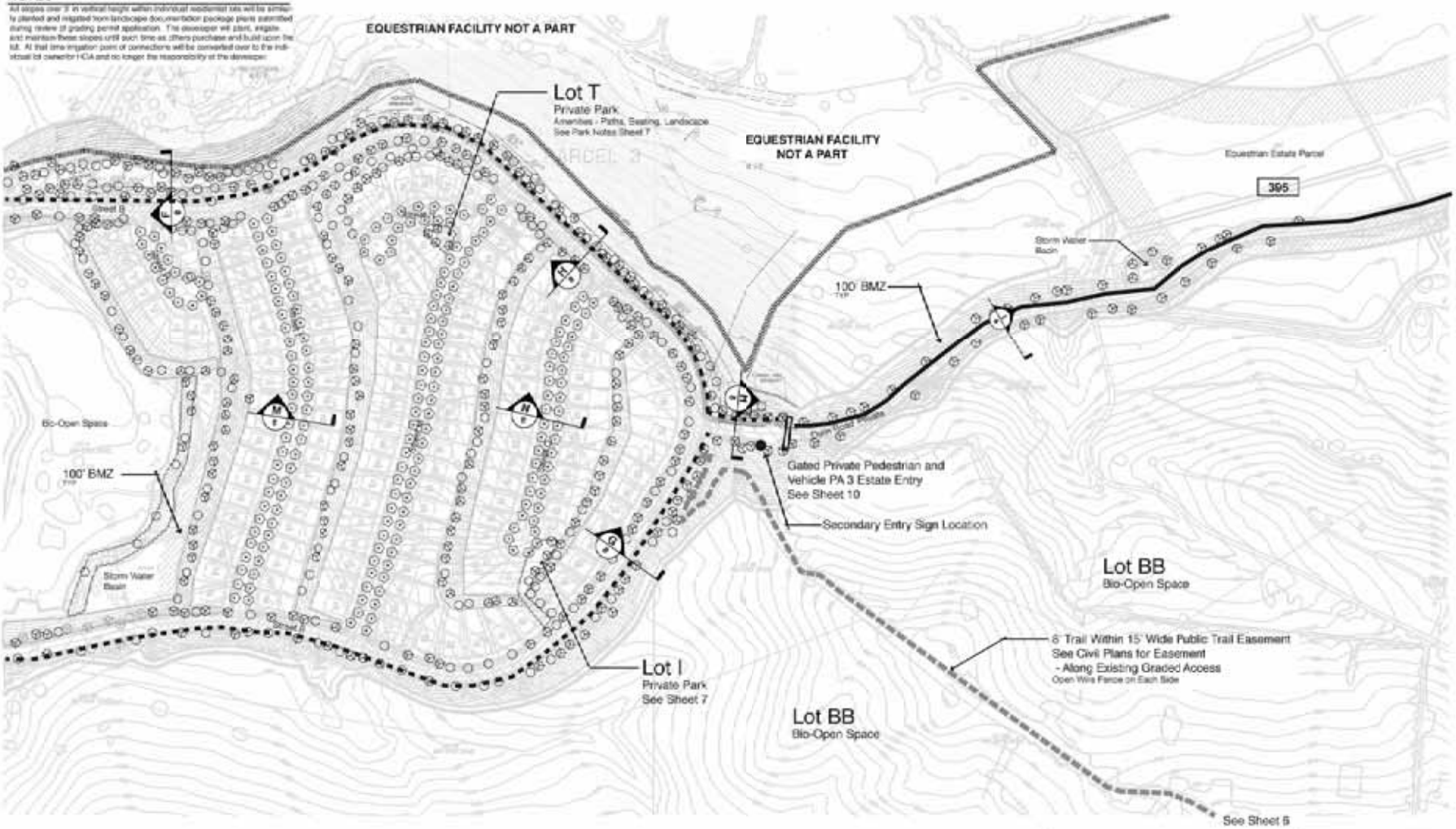

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TRACT 5615 TENTATIVE MAP

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Landscape Concept Plan

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SHEET L4 of L-10

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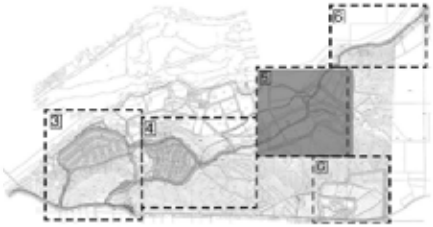

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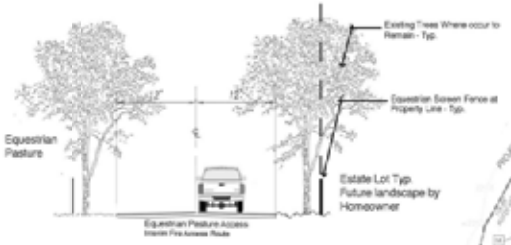

A Equestrian MUP Edge at Estate Lots

LANDSCAPE CONCEPT LEGEND

See Sheet 2 for Plant List

- Naturalized Transition Landscape/Exterior Slopes
- Interior Slopes
- Neighborhood Streets
- Storm Water Basins SWB

NOTES

1. Temporary irrigation may be required to establish plantings in gradient areas, or any areas that may be disturbed during development and not planned for permanent irrigation
2. For typical Estate Lot layout and fencing see sheet L-9.
3. All slopes over 3' in vertical height within individual residential lots will be similarly planted and irrigated from landscape documentation package plans submitted during review or grading permit application. The developer will plant, irrigate, and maintain these slopes until such time as others purchase and build upon the lot. At that time irrigation point of connections will be converted over to the individual lot owner/or HOA and no longer the responsibility of the developer

Property Fence - See Sheet 9

PA 3 Pedestrian Gate to Future SLR Trail - Location to be Determined. See Sheet 10

PA 3 - Equestrian Internal Gate D - See Sheet 10

End of Proposed Landscape - Existing natural landscape to remain as is to project boundary at Rancho Monserate. Non Irrigated native seed mix to be applied to any disturbed areas.

EQUESTRIAN FACILITY NOT A PART

Storm Water Basin

PLANNING AREA 3

Storm Water Basin

Storm Water Basin

Equestrian Estate Parcel

ESTATE LOT

100 BMZ - Fuel Modification Landscape and other Landscape Improvements by Future Owners

391 390 389 392 393 394 388 385 386 387 384 383 382 395

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SHEET LS of L-10

LANDSCAPE CONCEPT LEGEND

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Naturalized Transition Landscape/Exterior Slopes

Interior Slopes

Neighborhood Streets

Storm Water Basins

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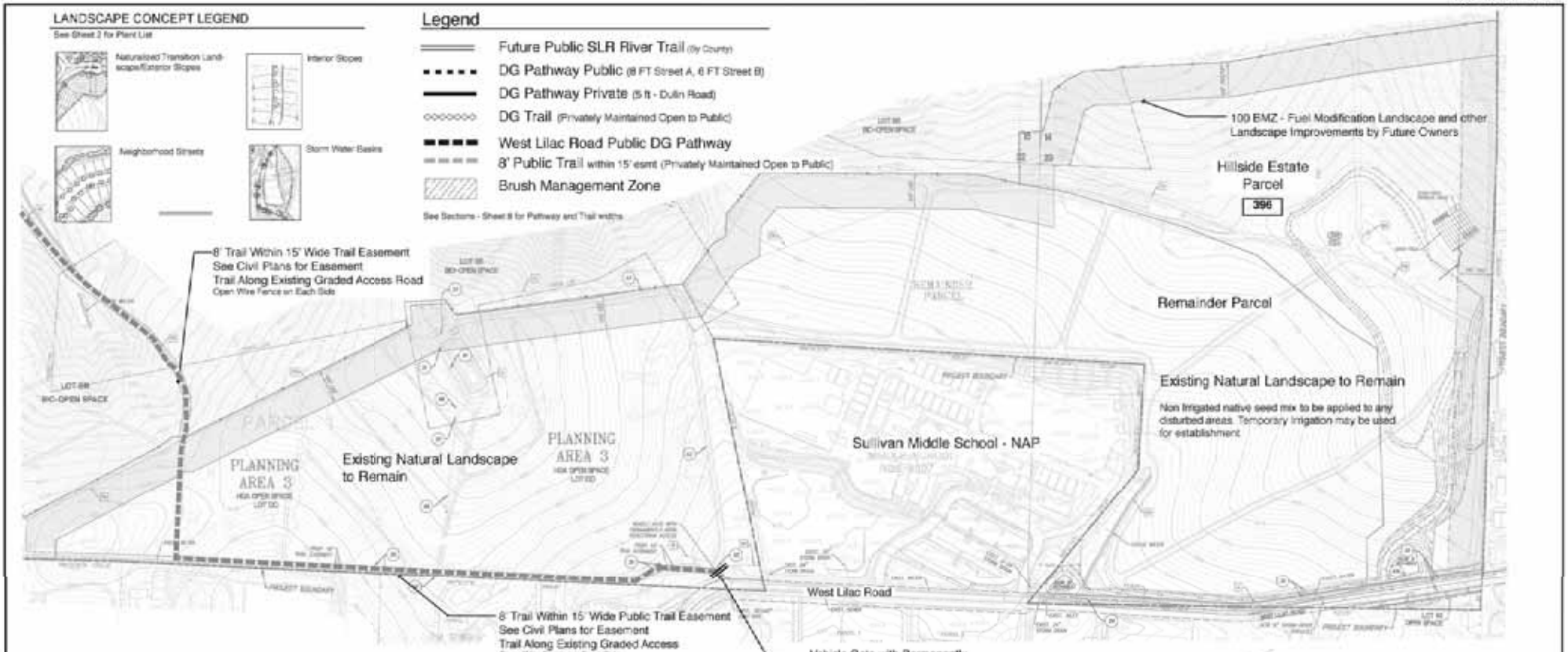


NOTES

1. Temporary irrigation may be required to establish plantings in graded areas, or any areas that may be disturbed during development and not planned for permanent irrigation.

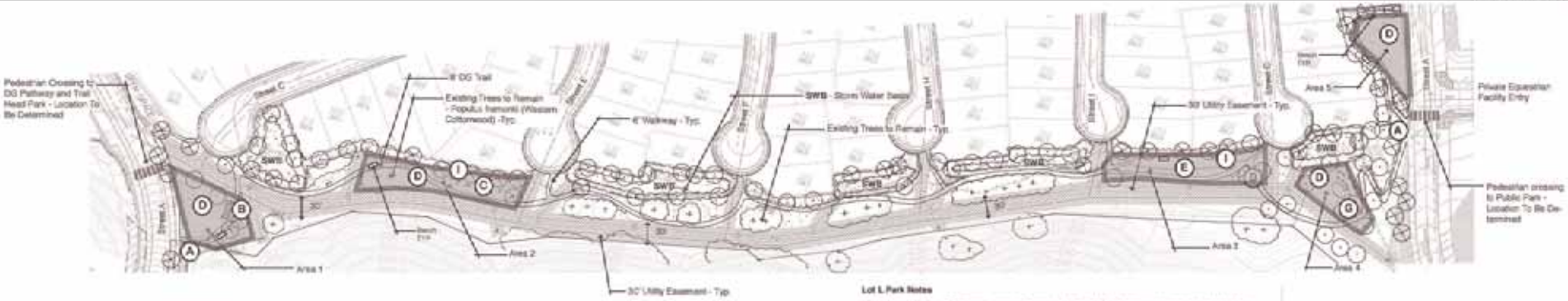
2. For typical Estate Lot layout and fencing see sheet L-5.

3. All slopes over 3' in vertical height within individual residential lots will be similarly planted and irrigated from landscape documentation package plans submitted during review of grading permit application. The developer will plant, irrigate, and maintain these slopes until such time as others purchase and build upon the lot. At that time irrigation point of connections will be converted over to the individual lot owner or HOA and no longer the responsibility of the developer.

Revised 08-19-2019
5th Submittal 07-30-2019
4th Submittal 05-01-2019
3rd Submittal 12-10-2018
2nd Submittal 5-03-2018
Original Submittal 9-28-2016

SMP ENVIRONMENTAL DESIGN
SUMMERS/MURPHY & PARTNERS, INC.
34100 COAST HWY SUITE 206
DANA POINT CA 92629
(949) 443-1440

TENTATIVE MAP
TRACT 5615
OCEAN BREEZE RANCH
TM PLAN
Landscape Concept Plan
MUP #PDS2016-MUP-16-012
August 19, 2019
SHEET L6 of L-10



Lot L- Pivate Linear Park

Linear Park - PLDO Active Rec Use Areas

Areas of Active Recreational Uses - Exclude Utility Easements

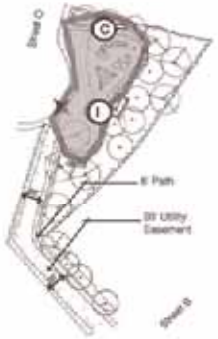
Area 1 -	10,000 sf
Area 2 -	15,000 sf
Area 3 -	11,700 sf
Area 4 -	8,600 sf
Area 5 -	8,000 sf
Total -	53,300sf +/-

Lot L Park Notes

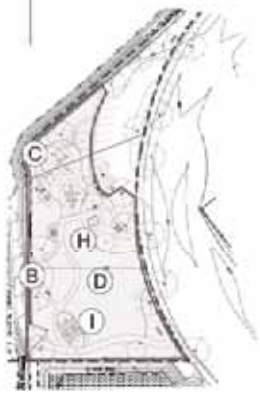
1. For Existing Trees to Remain - see landscape notes sheet L-2 for notes on development of a tree protection plan that will be required to protect trees during construction on Final Landscape Development Plans.
2. Storm drain will be maintained by HOA.
3. Existing Overhead Lines within the Residential MUP will be removed and service will be provided [illegible]

KEYMAP - Park Distance Diagram (1/4 Mile Radius)

Areas of Active Recreational Uses - Exclusive Utility Easements

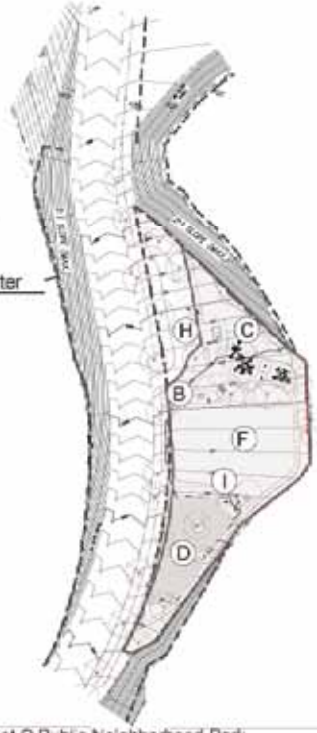


Lot I - Private Pocket Park

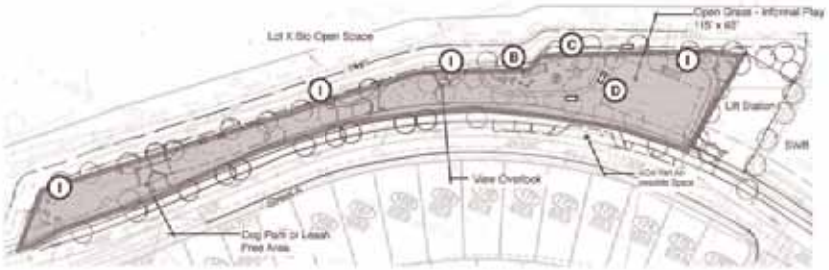


Lot O - Public Trail Head Park

Lot S Private Park / Rec Center



Lot C Public Neighborhood Park



Lot W Private Park

Park Plan Notes

1. Park planting shall avoid/or reduce using plant types that drop plant material (seeds, flowers, pods) that may impede or limit ADA path of travel.
2. Parks shall incorporate ADA component(s) to the proposed play equipment structure.
3. Wood Chips/Rubberized surfacing (or a combination of) shall be used at all play equipment.
4. All County Public Parks will require DPR themed monument sign(s) to be located at park entrances. Final type and location will need to be approved by DPR during the Final Landscape Documentation package.
5. Roadway crossings are desired between parks where feasible. PDS and DPW to work together to access optimum locations for crossings to connect parks.
6. Tree species with known surface roots shall be restricted from areas of public use.
7. All plant species for parks shall be drought tolerant and resilient to local pests.
8. Buffer Planting along park edges adjacent to Lot X open space shall consist of locally native species to avoid the spread of non native and invasive species into the San Luis Rey River Park and Corridor.
9. San Diego County DPR recommends locally native Quercus species to avoid hybridization along the San Luis Rey River Corridor

Park Plan Legend

- (A) Park Monument Entry Sign - typ.
- (B) Picnic/Seating Area w/ Trellis
- (C) Play Area (Age Separated)
- (D) Open Turf Area*
- (E) Fenced Dog Run
- (F) Half Court Basketball
- (G) Grass Amphitheater*
- (H) Restroom/Maintenance
- (I) Picnic Table
- (J) Pool and Deck Area / Bench - Typical
- Mini Monument Sign

Summary Park Acreage Type And Credits

SUMMARY PARK ACRE: AGE TYPE AND CREDIT

Required	Units	Residential Acres	Required Acres
Revised LPFA	DU	[illegible]	[illegible]

Provided

Lot Number - Park Name	Public or Private	Gross Acres	Net Acres (Acre PDS2012)	Eligible Recreational Uses
Lot L - Linear Park	Private	1.22	[illegible]	50% (Informal Open Lawn Area, Hiking Trail, Grass Shade Structure, Picnic Area Tables, Multi Age Play Area, Landscape areas, Trees, Bike Rack, Wildlife/Habitat)
Lot C - Neighborhood Park	Public	5.42		100% (Informal Open Lawn, Half Court Basketball, Shade Structure, Picnic Area Tables, Multi Age Play Equipment, Bike Racks, Landscape areas, Trees)
Lot O - Trail Head Park	Public	.08		100% (Trails Structure, Picnic Area Tables, Multi Age Equipment, Play Area, Shade Structure, Landscape areas, Trees, Bike Rack)
Lot I - Pocket Park	Private	0.31	0.1-0	50% (Multi Age Equipment, Play Area, Walking Areas, Shade, Landscape Area)
Lot T - Pocket Park	Private	0.11		50% (Walking Areas, Trees, Lawn)
Lot W - Neighborhood Park	Private	2.29	0.62	50% (Multi Age Equipment, Play Area, Shade Structure, Picnic Area, Benches, Walking Areas, Trees, Lawn, Bike Racks, Wi-Fi, Trees, Lawn Area, Water Fountain)
Lot S - Rec Center	Private	0.43		50% Pool Area, Two Racks, Two Shade Structures, Seating Area, Restroom Building
TOTAL		10.12		

Total Acreage for PLDO Credit subject to DPR review

Revised 08-19-2016
5th Submittal 07-09-2015
4th Submittal 03-21-2014
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2nd Submittal 9-23-2013
Original Submittal 9-28-2012

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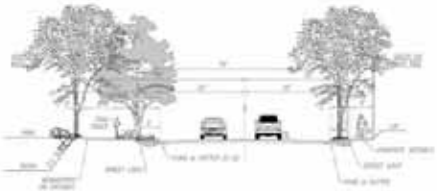
(949) 443-1446

TRACT 5615 TENTATIVE MAP
OCEAN BREEZE RANCH
TM PLAN
Park Concept Plan
MUP #PDS2016-MUP-16-012
NOVEMBER 24, 2014
SHEET L7 of L-10

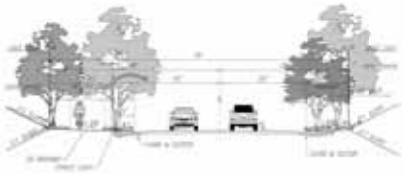
A Street A (Public) - Entry
NTS



B Street A (Public)
NTS

C Street A (Public)
NTS

D Street A (Public)
NTS

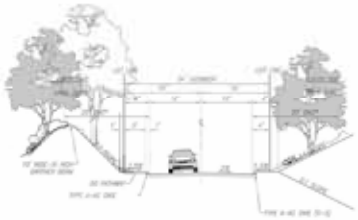


E Street A (Public)
NTS

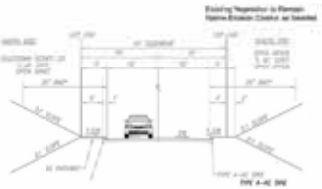
F Street B (Public)
NTS

G Street B (Public)
NTS

H Street B (Public)
NTS



I Dulin Road (Private)
NTS



J Dulin Road (Private)
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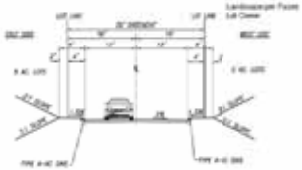
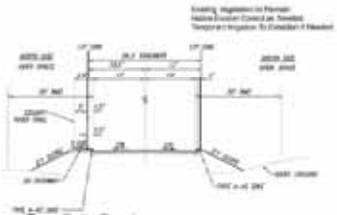


K Street P (Private)
NTS



L Dulin Road (Private)
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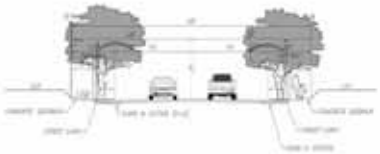

M Residential Street (Public)
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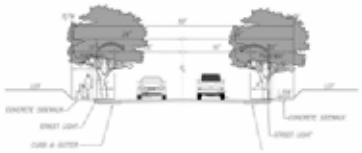

N Residential Street - Cul De Sac (Public)
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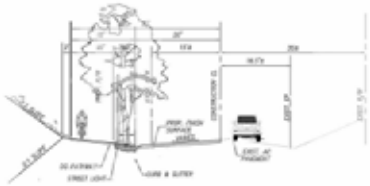


O West Lilac Road (Public)
NTS

P West Lilac Road (Public)
NTS

Revised 08-19-2019
5th Submittal 07-30-2019
4th Submittal 05-01-2019
3rd Submittal 12-10-2018
2nd Submittal 5-03-2018
Original Submittal 9-28-2016

SMP

SUMMERS/MURPHY & PARTNERS, INC.
34161 COAST HWY SUITE 200
DANA POINT CA 92629
(949)363-1148

TENTATIVE MAP
TRACT 5615
OCEAN BREEZE RANCH
TM PLAN
Landscape Sections
MUP #PCS2016-MUP-16-012
August 19, 2019
SHEET L8 of L-10

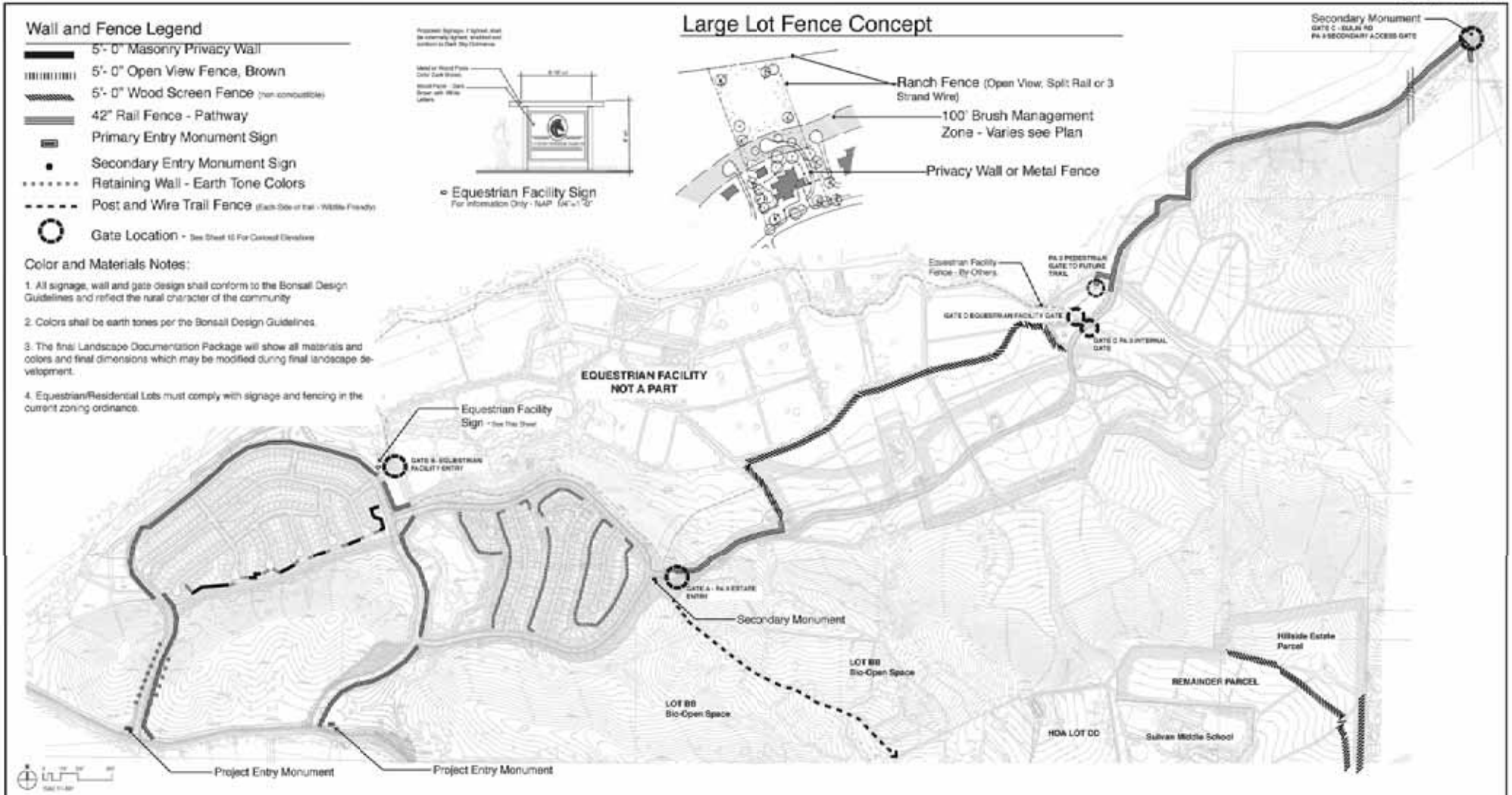
Wall and Fence Legend

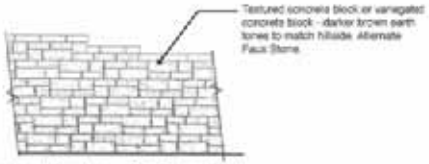
- 5'- 0" Masonry Privacy Wall
- 5'- 0" Open View Fence, Brown
- 5'- 0" Wood Screen Fence (non-combustible)
- 42" Rail Fence - Pathway
- Primary Entry Monument Sign
- Secondary Entry Monument Sign
- Retaining Wall - Earth Tone Colors
- Post and Wire Trail Fence (Each Side of trail - Wildlife Friendly)
- Gate Location - See Sheet 10 For Concept Elevations

Color and Materials Notes:

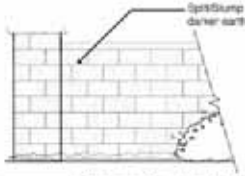
1. All signage, wall and gate design shall conform to the Bonsall Design Guidelines and reflect the rural character of the community
2. Colors shall be earth tones per the Bonsall Design Guidelines.
3. The final Landscape Documentation Package will show all materials and colors and final dimensions which may be modified during final landscape development.
4. Equestrian/Residential Lots must comply with signage and fencing in the current zoning ordinance.

Large Lot Fence Concept

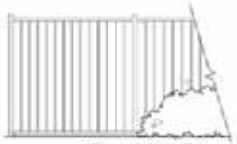




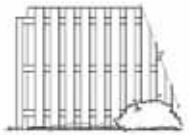
Textured Surface Retaining Wall - Along Entry Road



Masonry Privacy Wall



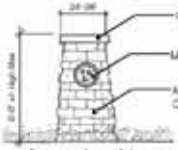
Open View Fence - Metal



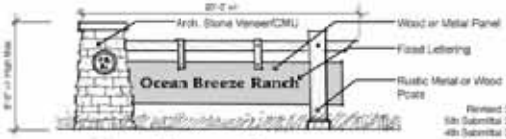
Wood Screen Fence

Cable/Wire/Rail Fence

Secondary Monument Sign (option)



Secondary Monument Sign (option)



Primary Monument Sign

Revised 08-19-2019
5th Submittal 07-30-2019
4th Submittal 05-21-2019
3rd Submittal 12-10-2018
2nd Submittal 5-03-2018
Original Submittal 8-08-2016

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24 NO COAST HWY SUITE 200
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TENTATIVE MAP
TRACT 5615
OCEAN BREEZE RANCH
TM PLAN
Wall & Fence Plan
MUP #PDS2016-MUP-16-012
August 19, 2019
SHEET L9 of L-10

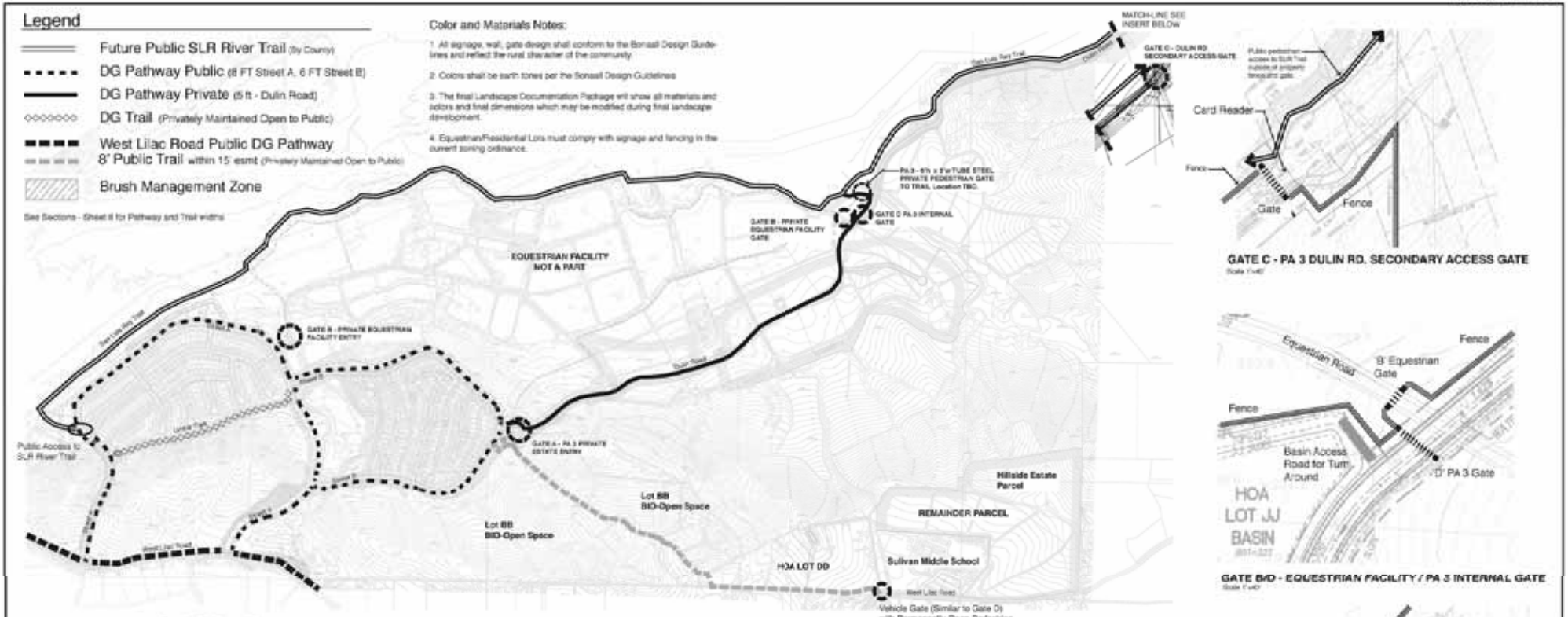
Legend

- Future Public SLR River Trail (By County)
- DG Pathway Public (8 FT Street A, 6 FT Street B)
- DG Pathway Private (5 ft - Dulin Road)
- DG Trail (Privately Maintained Open to Public)
- West Lilac Road Public DG Pathway
- 8' Public Trail within 15' esmt (Privately Maintained Open to Public)
- Brush Management Zone

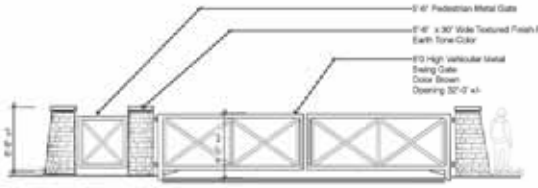
See Sections - Sheet 8 for Pathway and Trail widths

Color and Materials Notes:

1. All signage, wall, gate design shall conform to the Bonsall Design Guidelines and reflect the rural character of the community.
2. Colors shall be earth tones per the Bonsall Design Guidelines
3. The final Landscape Documentation Package will show all materials and colors and final dimensions which may be modified during final landscape development.
4. Equestrian/Residential Lots must comply with signage and fencing in the current zoning ordinance.

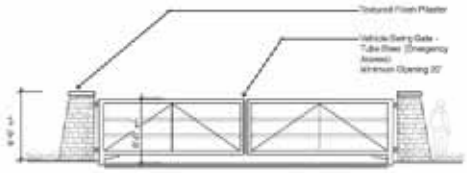


KEYMAP

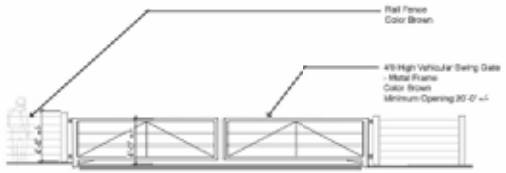


GATE A - PA 3 ESTATE MAIN ENTRY GATE

GATE B - EQUESTRIAN FACILITY GATE
FOR INFORMATION ONLY - NAP



GATE C - DULIN ROAD SECONDARY ACCESS GATE



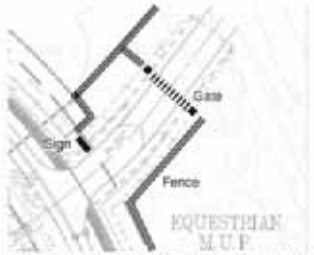
GATE D - PA 3 INTERNAL GATE

General Notes:

1. All gates shall conform to the Bonsall Design Guidelines and reflect the rural character of the community.
2. All gates must conform to Zoning Ordinance Section 6708. If gate entry structures are proposed on individual lots, they must conform to section 6708.h.
3. The final Landscape Documentation Package will show all materials and colors and final dimensions which may be modified during final landscape development.

SDCFA Notes:

1. A thirty-foot (30') minimum radius turnaround shall be provided at the gated entrance.
2. The gated driveway entrance and card reader location shall be designed according to San Diego County Design Standards (such as DS 17, DS 18 or DS 19) and to the satisfaction of the Director of Public Works.
3. Gates shall be designed, placed, installed, and accessory features (such as key boxes, "break-away" devices, automatic openers, etc.) provided to the satisfaction of the Director of Public Works and in accordance with provisions outlined by the San Diego County fire protection district.



GATE B - EQUESTRIAN FACILITY MAIN GATE
FOR INFORMATION ONLY - NAP

GATE A - PA 3 MAIN ENTRY GATE

Revised 08-19-2019
5th Submittal 07-30-2019
4th Submittal 05-21-2019
3rd Submittal 12-19-2018
2nd Submittal 5-23-2018
Original Submittal 9-28-2016

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SUMMERS/MURPHY & PARTNERS, INC.
34193 COAST HWY SUITE 200
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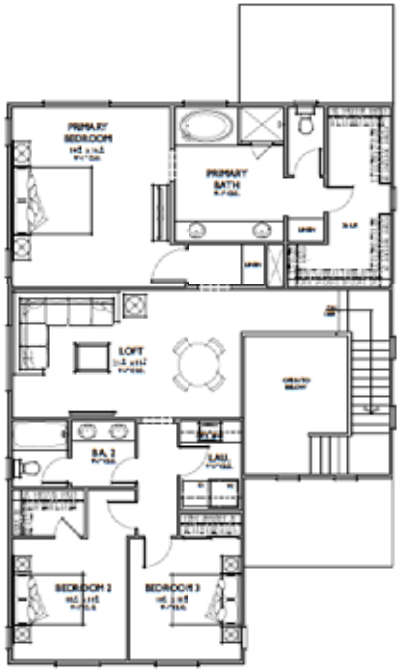
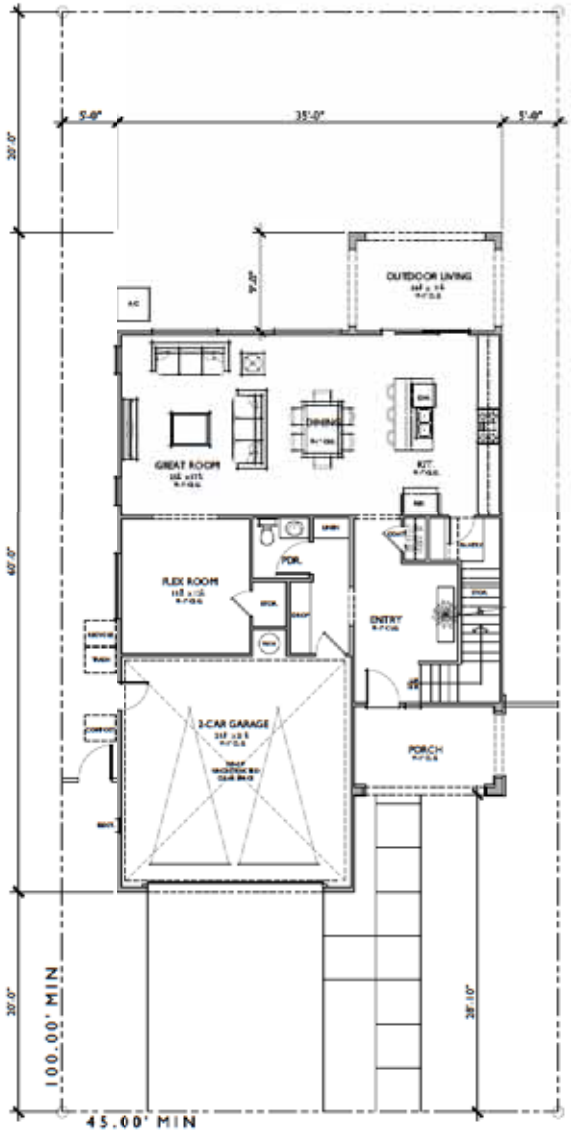
TRACT 5615 TENTATIVE MAP
OCEAN BREEZE RANCH
TM PLAN
Gate -Trail/Pathway Concept Plan
MUP #PDS2016-MUP-16-012
August 19, 2019
SHEET L10 of L-10



SECOND FLOOR



FIRST FLOOR

PLAN 1
2,456 SQ.FT.

3 BEDROOMS / 2.5 BATHS / FLEX / LOFT
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,094 SQ. FT.
2ND FLOOR	1,362 SQ. FT.
TOTAL LIVING	**2456 SQ. FT.**
2-CAR GARAGE	458 SQ.FT.
OUTDOOR LIVING	127 SQ.FT.
PORCH	108 SQ.FT.

NOTE: SQUARE FOOTAGE ARE APPROXIMATE AND FOR ESTIMATE PURPOSES ONLY

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PLAN 1

OCEAN BREEZE RANCH | PA2 - 45A

Bonsall , California

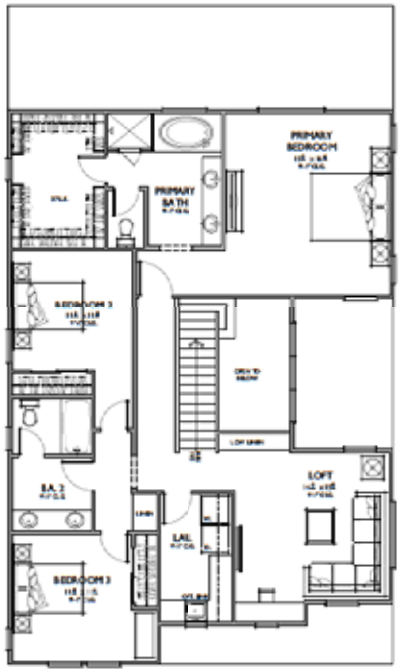
670.24058

SHEET

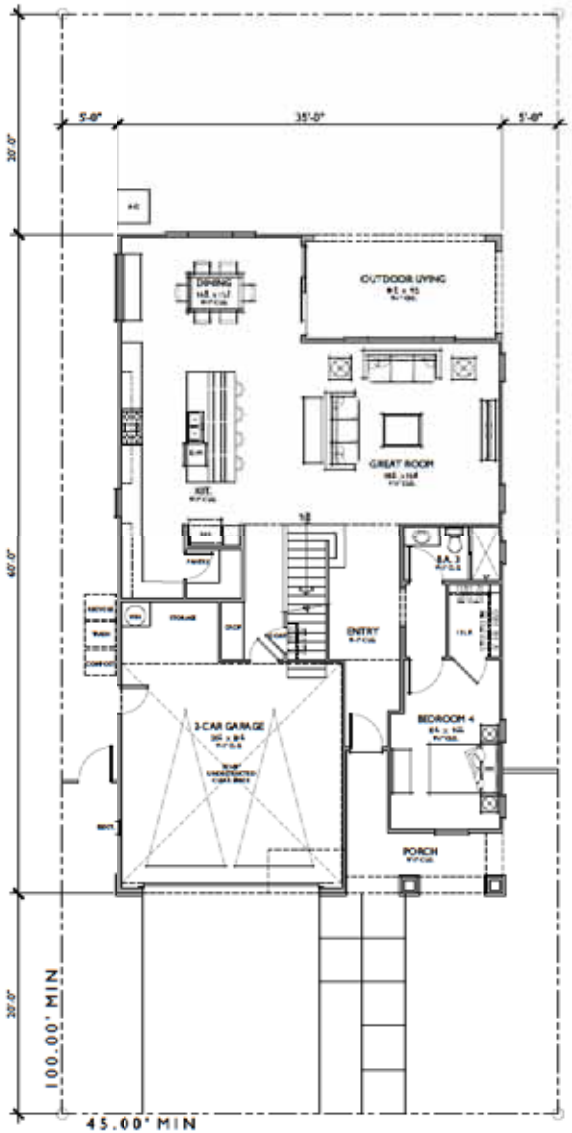
A-1 OF A-20

08.26.24

TRUMARK HOMES



SECOND FLOOR



FIRST FLOOR

PLAN 2
2,756 SQ.FT.

4 BEDROOMS / 3 BATHS / LOFT
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,340 SQ. FT.
2ND FLOOR	1,416 SQ. FT.
TOTAL LIVING	**2,756 SQ. FT.**
2-CAR GARAGE	483 SQ.FT.
OUTDOOR LIVING	172 SQ.FT.
PORCH	109 SQ.FT.

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PLAN 2

OCEAN BREEZE RANCH | PA2 - 45A

Bonsall , California

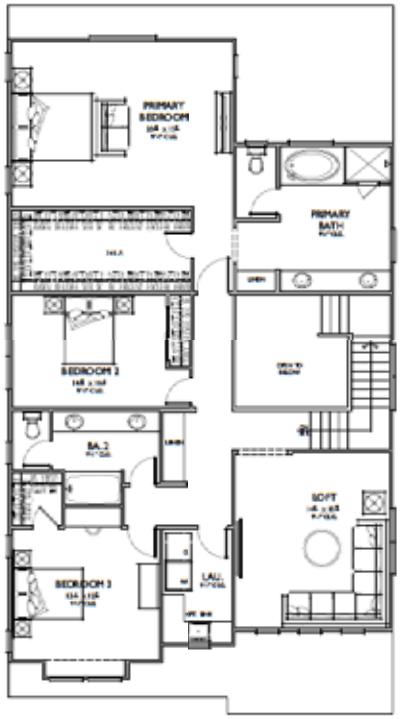
670.24058

SHEET

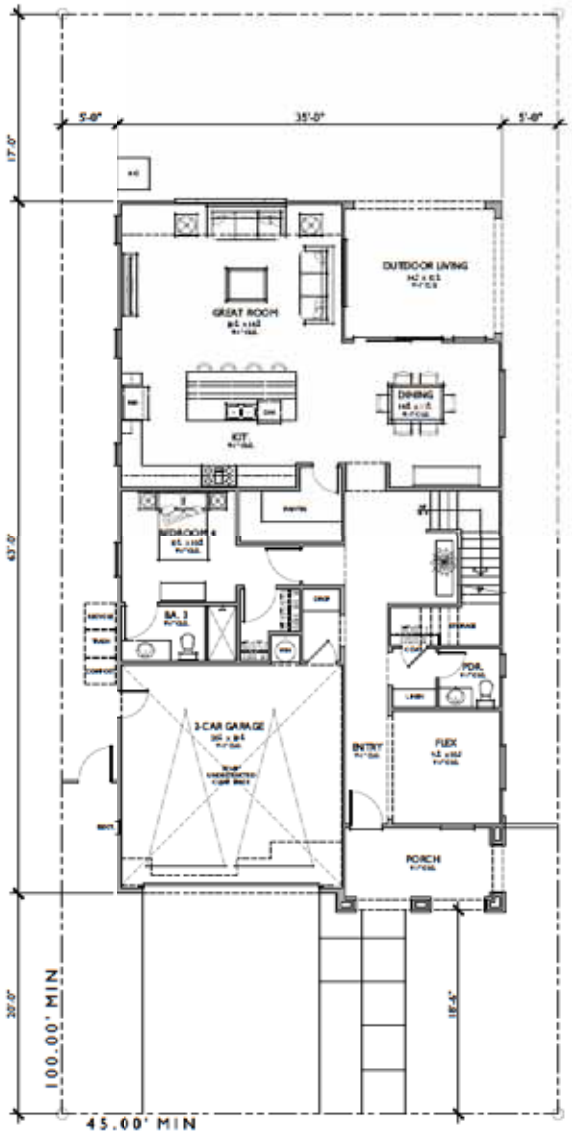
A-2 OF A-20

08.26.24

TRUMARK HOMES



SECOND FLOOR



FIRST FLOOR

PLAN 3
3,143 SQ. FT.

4 BEDROOMS / 3.5 BATHS / FLEX / LOFT
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,508 SQ. FT.
2ND FLOOR	1,635 SQ. FT.
TOTAL LIVING	**3,143 SQ. FT.**
2-CAR GARAGE	411 SQ.FT.
OUTDOOR LIVING	180 SQ.FT.
PORCH	110 SQ.FT.

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PLAN 3

OCEAN BREEZE RANCH | PA2 - 45A

Bonsall , California

670.24058

SHEET

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08.26.24

TRUMARK HOMES

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CONCEPTUAL STREET SCENE

OCEAN BREEZE RANCH | PA2 - 45A

Bonsall , California

470.24038

SHEET

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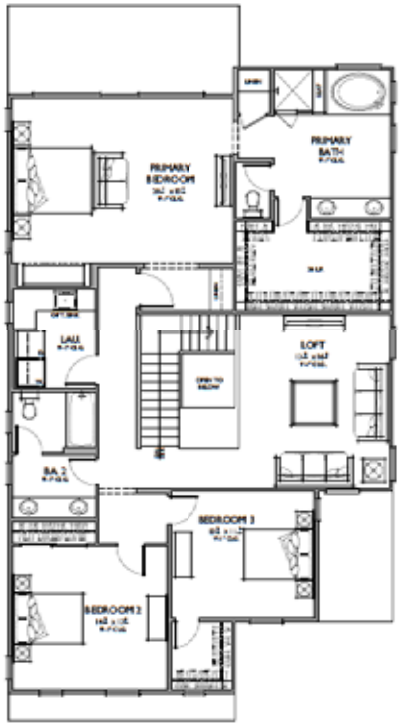
08.08.24

TRUMARKHOMES



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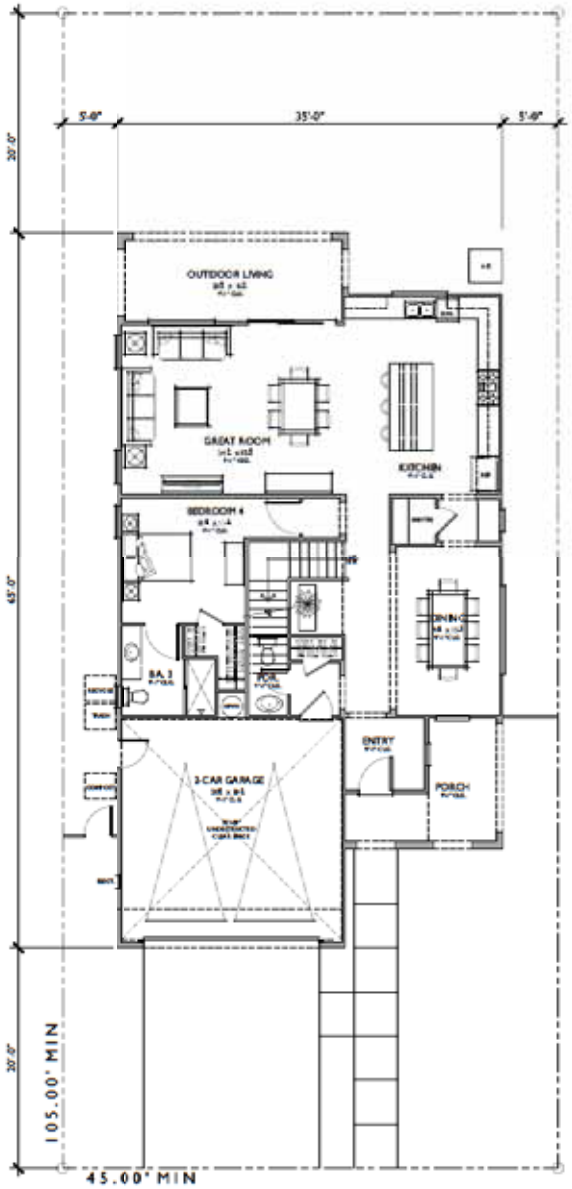

FIRST FLOOR

PLAN 1

3,032 SQ. FT.

4 BEDROOMS / 3.5 BATHS / FORMAL DINING / LOFT
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,350 SQ. FT.
2ND FLOOR	1,682 SQ. FT.
TOTAL LIVING	**3,032 SQ. FT.**
2-CAR GARAGE	415 SQ.FT.
OUTDOOR LIVING	167 SQ.FT.
PORCH	91 SQ.FT.

NOTE: SQUARE FOOTAGE ARE APPROXIMATE AND FOR ENCUMBRANCE CALCULATION

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PLAN 1

OCEAN BREEZE RANCH | PA2 - 45B

Bonsall , California

670.24059

SHEET

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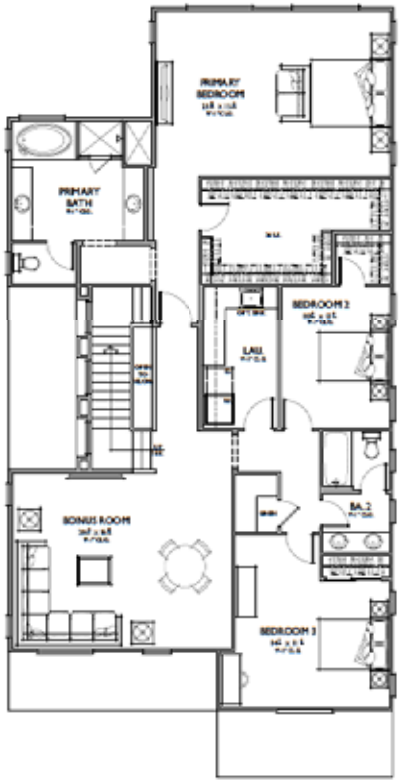
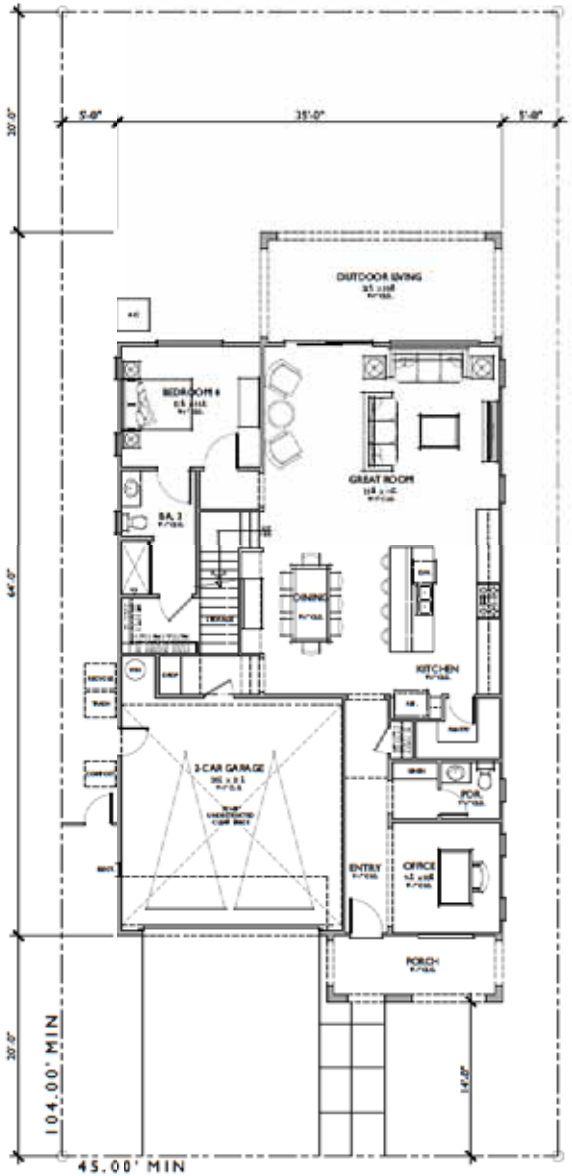
08.26.24

TRUMARK HOMES



SECOND FLOOR



FIRST FLOOR

PLAN 2
3,228 SQ. FT.

4 BEDROOMS / 3.5 BATHS / OFFICE / BONUS ROOM
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,437 SQ. FT.
2ND FLOOR	1,791 SQ. FT.
TOTAL LIVING	**3,228 SQ. FT.**
2-CAR GARAGE	464 SQ.FT.
OUTDOOR LIVING	321 SQ.FT.
PORCH	97 SQ.FT.

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PLAN 2

OCEAN BREEZE RANCH | PA2 - 45B

Bonsall , California

670.24059

SHEET

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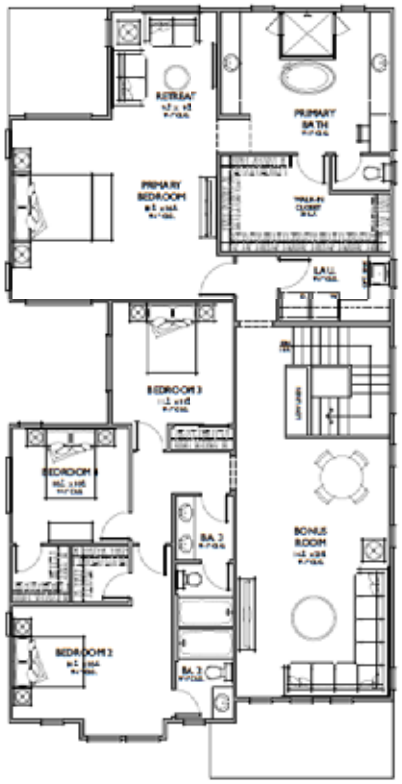
08.26.24

TRUMARK HOMES



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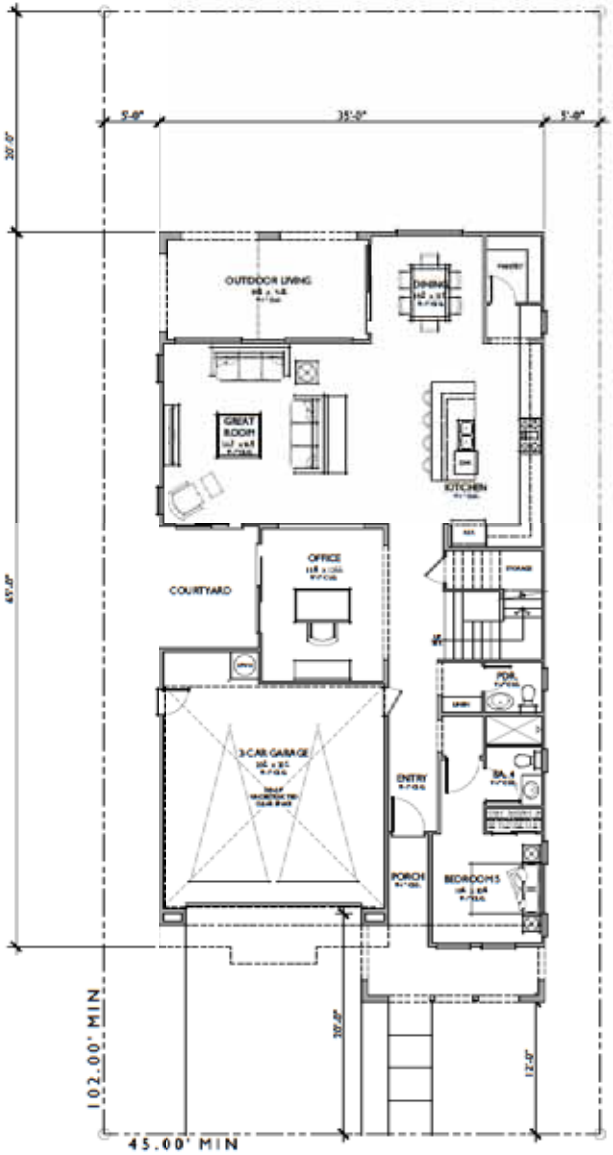

FIRST FLOOR

PLAN 3
3,422 SQ. FT.

5 BEDROOMS / 4.5 BATHS / OFFICE / BONUS / RETREAT
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,433 SQ. FT.
2ND FLOOR	1,989 SQ. FT.
TOTAL LIVING	**3,422 SQ. FT.**
2-CAR GARAGE	464 SQ.FT.
OUTDOOR LIVING	187 SQ.FT.
PORCH	27 SQ.FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO MEASUREMENT ONLY VARIATION

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PLAN 3

OCEAN BREEZE RANCH | PA2 - 45B

Bonsall , California

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SHEET

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08.26.24

TRUMARK HOMES

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CONCEPTUAL STREET SCENE

OCEAN BREEZE RANCH | PA2 - 45B

Bonsall , California

470.24019

SHEET

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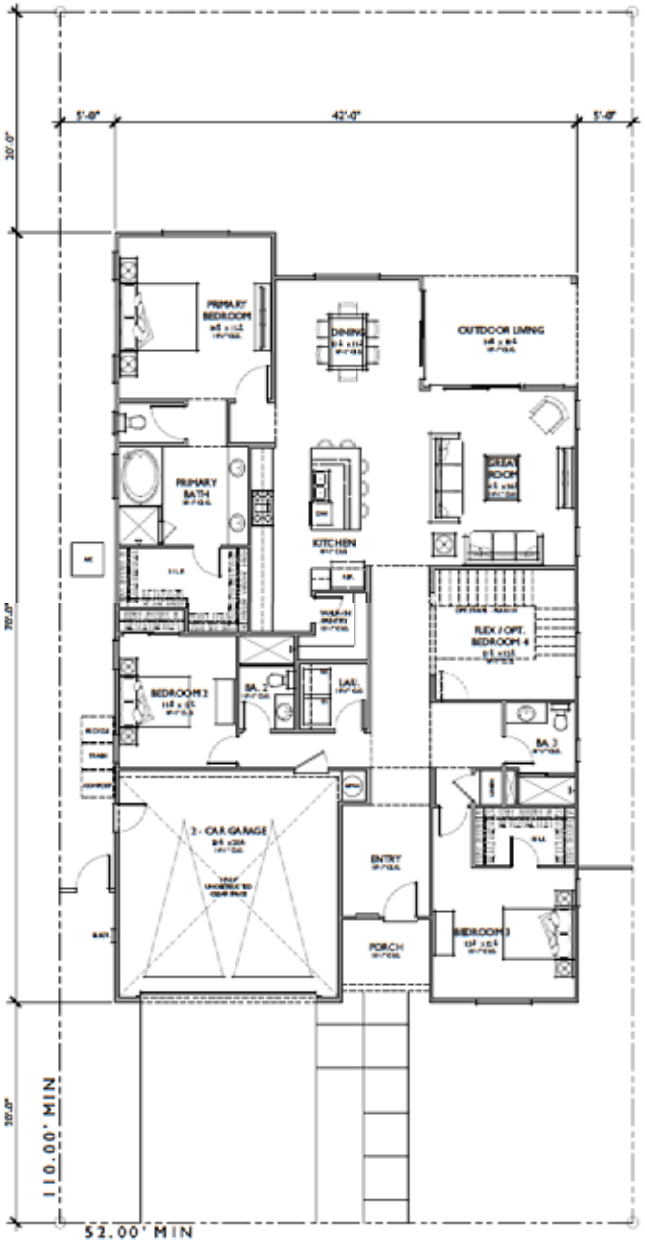
08.08.24

TRUMARKHOMES

(PLAN 1X)
SECOND FLOOR



FIRST FLOOR

OPT. FLEX AT PLAN 1X
IN LIEU OF PLAN 1

PLAN 1
2196 SQ. FT.

3 BEDROOMS / 3 BATHS / FLEX / OPT. BED 4 / OPT. GEN SUITE
2 - CAR GARAGE

FLOOR AREA TABLE	
TOTAL LIVING	**2196 SQ. FT.**
2-CAR GARAGE	485 SQ.FT.
OUTDOOR LIVING	141 SQ.FT.
PORCH	45 SQ.FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 1X
2,732 SQ. FT.

3 BEDROOMS / 3 BATHS / FLEX / OPT. BED 4
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,196 SQ. FT.
2ND FLOOR	536 SQ. FT.
TOTAL LIVING	**2,732 SQ. FT.**
2-CAR GARAGE	485 SQ.FT.
OUTDOOR LIVING	141 SQ.FT.
PORCH	45 SQ.FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 1 / 1X

OCEAN BREEZE RANCH | PA1 - 50A

Bonsall , California

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SHEET

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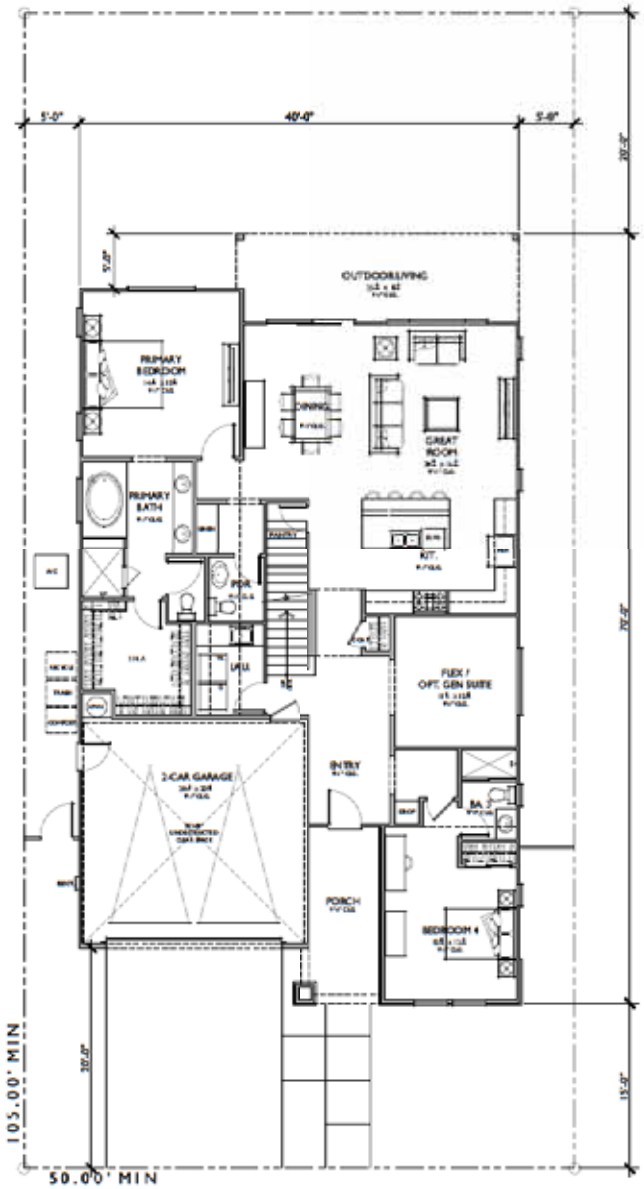
TRUMARK HOMES



PLAN 2

2,761 SQ.FT.

4 BEDROOMS / 3.5 BATHS / FLEX/ LOFT/ STUDY NOOK/ OPT. GEN. SUITE
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,878 SQ. FT.
2ND FLOOR	883 SQ. FT.
TOTAL LIVING	**2,761 SQ. FT.**
2-CAR GARAGE	419 SQ.FT.
OUTDOOR LIVING	304 SQ.FT.
PORCH	105 SQ.FT.

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PLAN 2

OCEAN BREEZE RANCH | PAI - 50A

Bonsall , California

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SHEET

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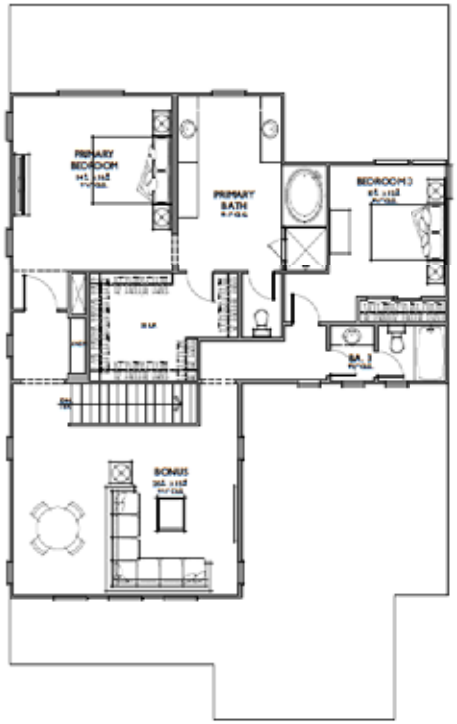
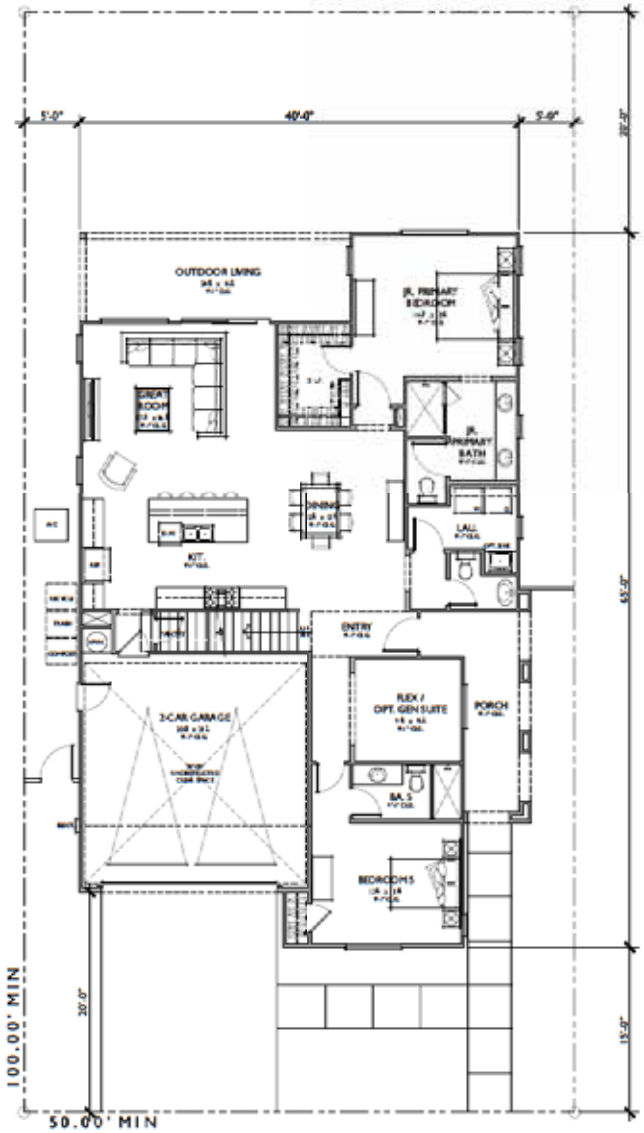
08.26.24

TRUMARK HOMES





PLAN 3

3,033 SQ. FT.

4 BEDROOMS / 4.5 BATHS / FLEX/ BONUS/ OPT. GEN. SUITE
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,695 SQ. FT.
2ND FLOOR	1,338 SQ. FT.
TOTAL LIVING	**3033 SQ. FT.**
2-CAR GARAGE	448 SQ.FT.
OUTDOOR LIVING	198 SQ.FT.
PORCH	104 SQ.FT.

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PLAN 3

OCEAN BREEZE RANCH | PAI - 50A

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SHEET

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08.26.24

TRUMARK HOMES

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CONCEPTUAL STREET SCENE

OCEAN BREEZE RANCH | PA1 - 50A

Bonsall, California

470.24056

SHEET

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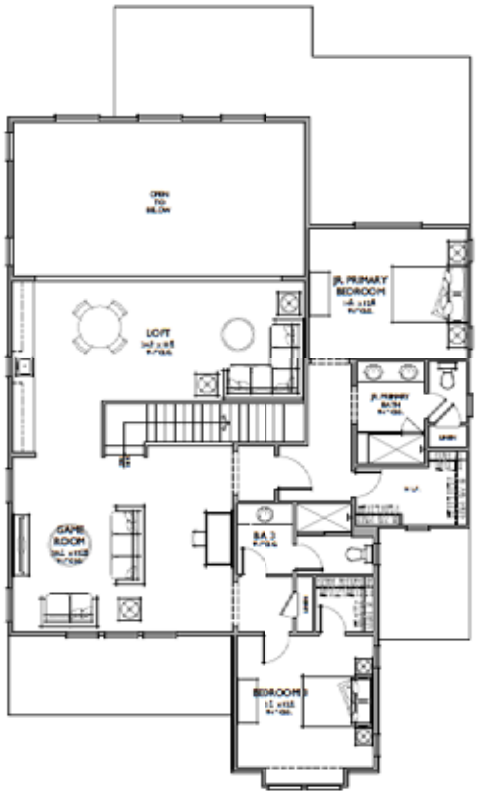
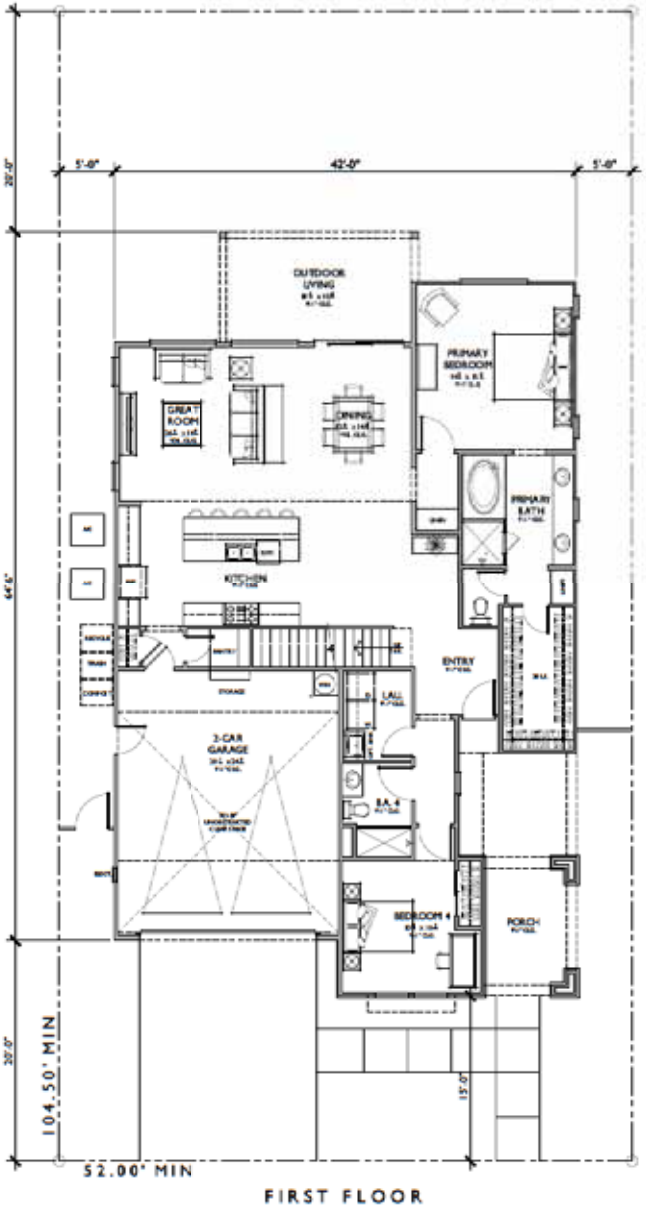
08.08.24

TRUMARK HOMES



SECOND FLOOR



FIRST FLOOR

PLAN 1
3,229 SQ. FT

4 BEDROOMS / 4 BATHS / LOFT + GAME ROOM
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,761 SQ. FT.
2ND FLOOR	1,468 SQ. FT.
TOTAL LIVING	**3,229 SQ. FT.**
2-CAR GARAGE	500 SQ.FT.
OUTDOOR LIVING	177 SQ.FT.
PORCH	320 SQ.FT.

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PLAN 1

OCEAN BREEZE RANCH | PAI - 50B

Bonsall , California

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SHEET

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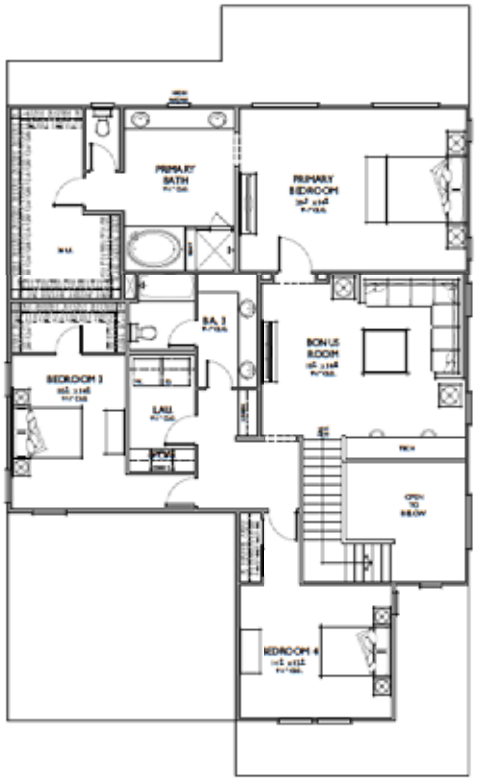
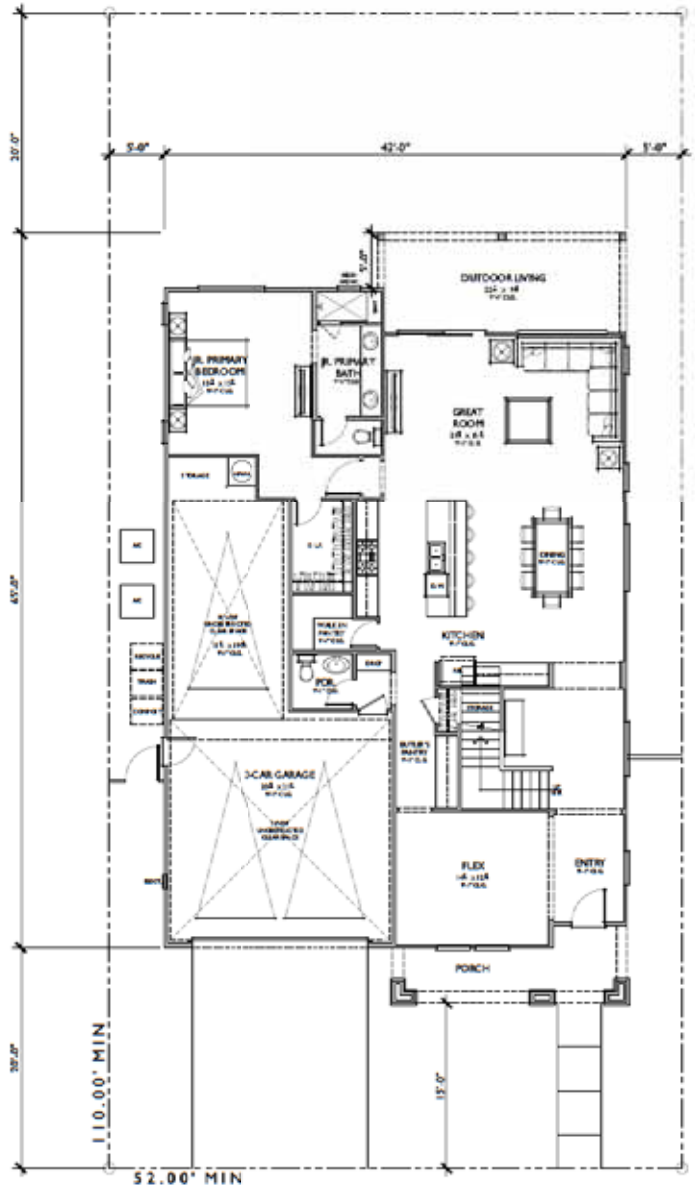
TRUMARK HOMES





PLAN 2
3,430 SQ. FT.

4 BEDROOMS / 3.5 BATHS / FLEX / BONUS ROOM
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,725 SQ. FT.
2ND FLOOR	1,705 SQ. FT.
TOTAL LIVING	**3,430 SQ. FT.**
3-CAR GARAGE	694 SQ.FT.
OUTDOOR LIVING	301 SQ.FT.
PORCH	120 SQ.FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO MEASUREMENT METHODOLOGY

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PLAN 2

OCEAN BREEZE RANCH | PAI - 50B

Bonsall , California

670.24057

SHEET

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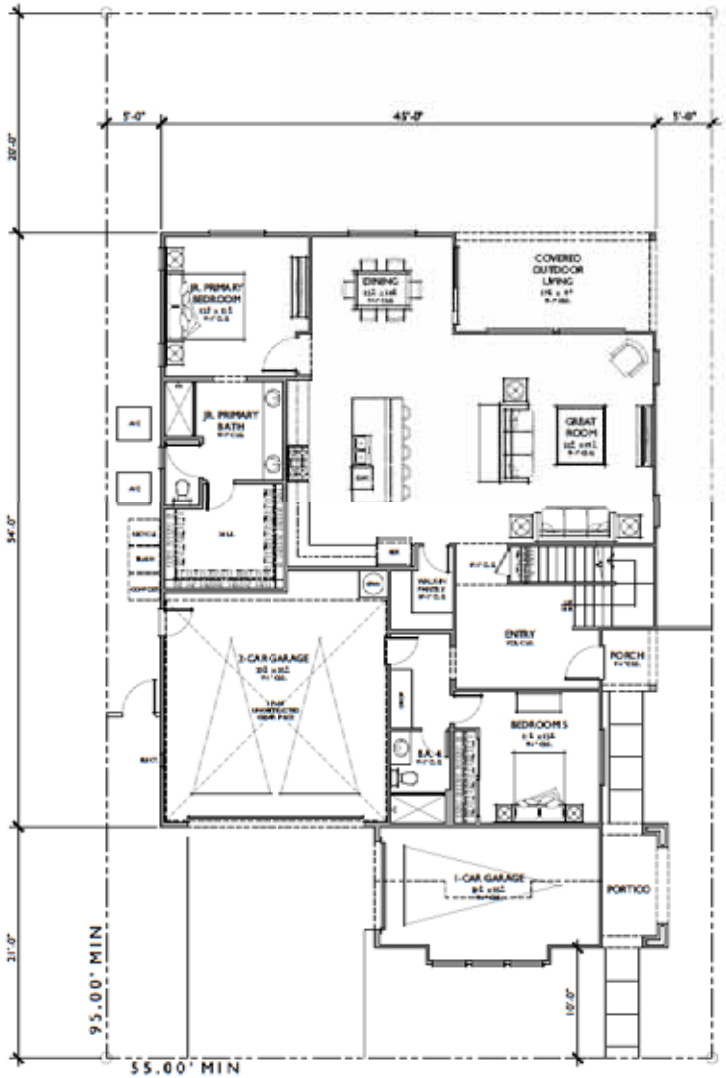
TRUMARK HOMES



PLAN 3
3,722 SQ. FT.

5 BEDROOMS / 4 BATHS / BONUS ROOM
2 + 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,726 SQ. FT.
2ND FLOOR	1,996 SQ. FT.
TOTAL LIVING	**3,722 SQ. FT.**
GARAGE	699 SQ. FT.
OUTDOOR LIVING	162 SQ.FT.
PORCH	28 SQ.FT.
PORTICO	68 SQ. FT.

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PLAN 3

OCEAN BREEZE RANCH | PAI - 50B

Bonsall , California

670.24057

SHEET

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08.26.24

TRUMARK HOMES

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CONCEPTUAL STREET SCENE

OCEAN BREEZE RANCH | PA1 - 50B

Bonsall, California

470.24017

SHEET

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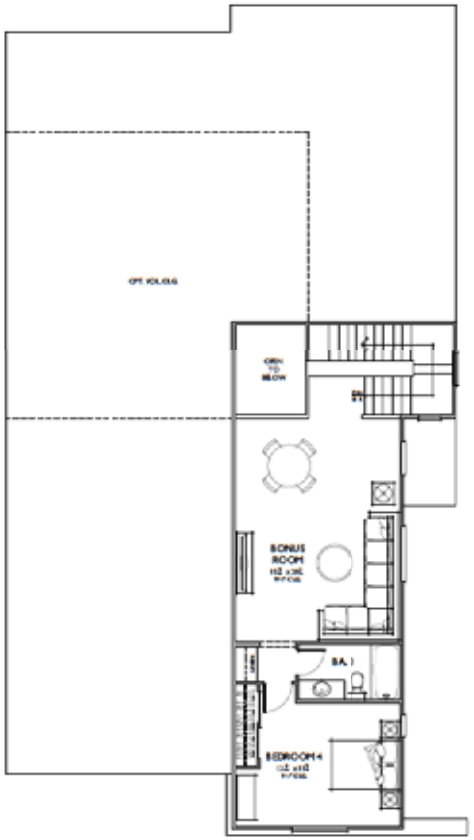
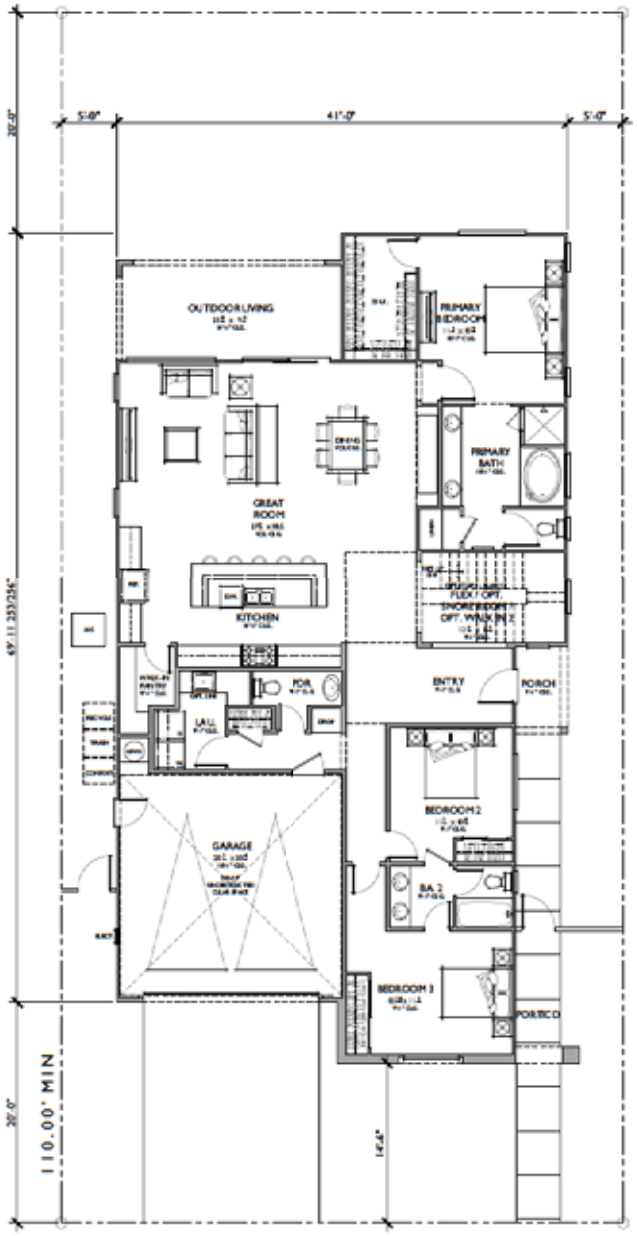
08.08.24

TRUMARKHOMES



SECOND FLOOR (OPT. POP TOP @ PLAN IX)



FIRST FLOOR

OPT. SNORE ROOM

OPT. WALK IN CLOSET 2

PLAN I
2,124 SQ. FT.

3 BEDROOMS / 2.5 BATHS / FLEX / OPT. SNORE/ OPT. WALK-IN CLOSET 2
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,124 SQ. FT.
TOTAL LIVING	**2,124 SQ. FT.**
2-CAR GARAGE	407 SQ.FT.
OUTDOOR LIVING	185 SQ.FT.
PORCH	38 SQ.FT.
PORTICO	56 SQ. FT.

PLAN IX
2,733 SQ. FT.

4 BEDROOMS / 3.5 BATHS / BONUS ROOM
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,124 SQ. FT.
2ND FLOOR	609 SQ. FT.
TOTAL LIVING	**2,733 SQ. FT.**
2-CAR GARAGE	407 SQ.FT.
OUTDOOR LIVING	185 SQ.FT.
PORCH	38 SQ.FT.
PORTICO	56 SQ. FT.

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PLAN I / IX

OCEAN BREEZE RANCH | PA2 - 50C

Bonsall , California

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SHEET

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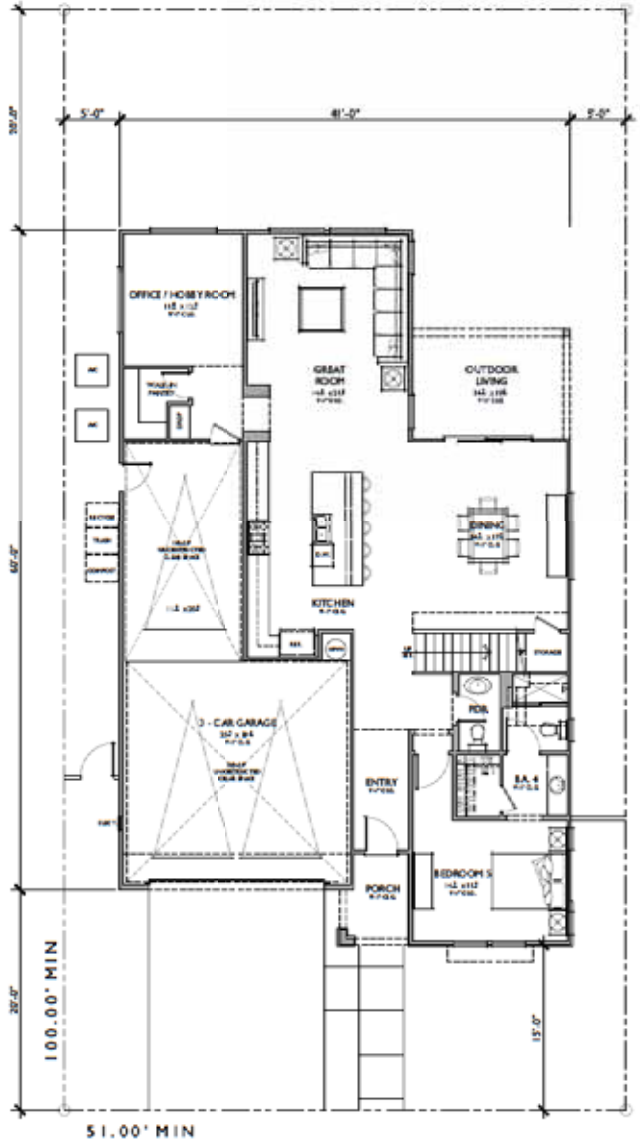
98.26.24

TRUMARK HOMES

SECOND FLOOR



FIRST FLOOR

PLAN 2
3,590 SQ. FT.

5 BEDROOMS / 4.5 BATHS / OFFICE / BONUS ROOM
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,575 SQ. FT.
2ND FLOOR	2,015 SQ. FT.
TOTAL LIVING	**3,590 SQ. FT.**
2-CAR GARAGE	671 SQ.FT.
COURTYARD	145 SQ.FT.
PORCH	49 SQ.FT.

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PLAN 2

OCEAN BREEZE RANCH | PA2 - 50C

Bonsall , California

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SHEET

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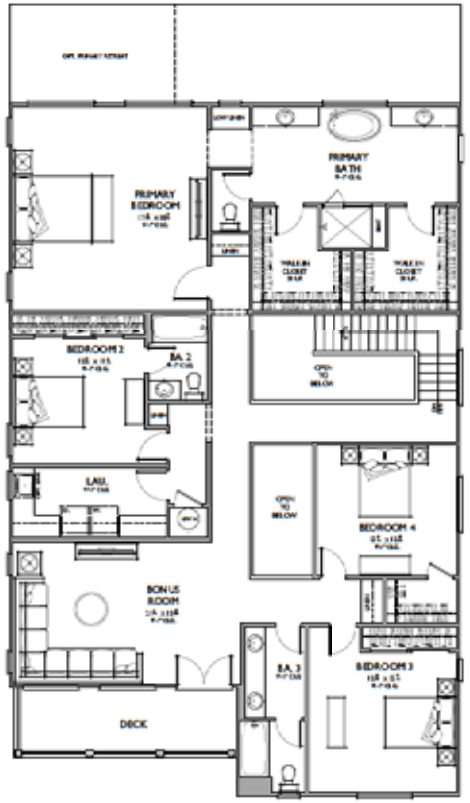
08.26.24

TRUMARK HOMES



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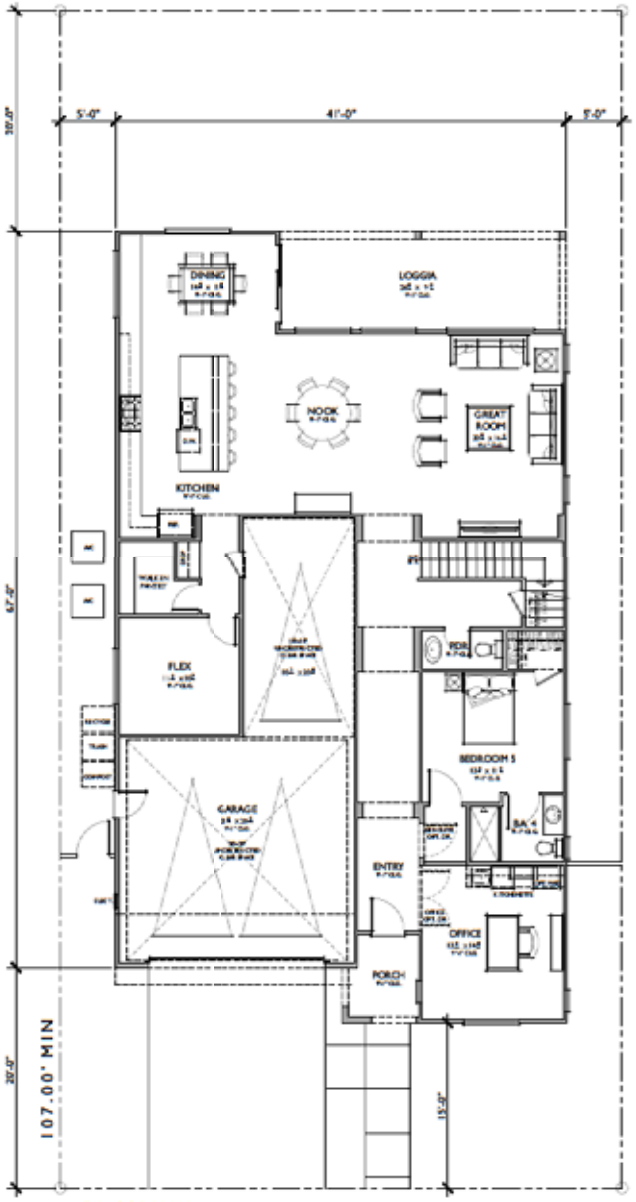

FIRST FLOOR

OPT. PRIMARY RETREAT

IN LIEU OF PRIMARY BEDROOM +100 SQ. FT.

PLAN 3

4,068 SQ. FT.

5 BEDROOMS / 4.5 BATHS / OFFICE/ BONUS ROOM/ OPT. LIVE GEN SUITE
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,905 SQ. FT.
2ND FLOOR	2,163 SQ. FT.
TOTAL LIVING	**4,068 SQ. FT.**
3-CAR GARAGE	660 SQ.FT.
LOGGIA	355 SQ.FT.
DECK	131 SQ. FT.
PORCH	52 SQ.FT.

NOTE: SQUARE FOOTAGE INCLUDES WALLS, EXTERIOR ENCLOSURES AND CALCULATION

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PLAN 3

OCEAN BREEZE RANCH | PA2 - 50C

Bonsall , California

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SHEET

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08.26.24

TRUMARK HOMES

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CONCEPTUAL STREET SCENE

OCEAN BREEZE RANCH | PA2 - 50C

Bonsall , California

470.24019

SHEET

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08.08.24

TRUMARKHOMES