



The County of San Diego

Zoning Administrator Hearing Report

Date:	October 20, 2022	Case/File No.:	Pankey Farm Minor Use Permit Modification; PDS2020-ZAP-99-024W1; PDS2020-ER-99-02-037A
Place:	County Operations Center (COC) Hearing Room 5520 Overland Avenue San Diego, CA 92123	Project:	Wireless Telecommunication Facility
Time:	8:30 a.m.	Location:	4881 Highway 76, Fallbrook, CA 92028
Agenda Item:	#2	General Plan:	Semi-Rural
Appeal Status:	Appealable to the Planning Commission	Zoning:	Specific Plan (S88)
Applicant/Owner:	Crown Castle/Edgar Pankey	Community:	Fallbrook Community Planning Area
Environmental:	CEQA § Addendum 15164	APN:	125-063-09 & 125-063-10

A. OVERVIEW

The purpose of this staff report is to provide the Zoning Administrator with the information necessary to consider the proposed Minor Use Permit (ZAP) Modification for the Pankey Farm Modification Wireless Telecommunication Facility (Project), conditions of approval, and environmental findings prepared in accordance with the California Environmental Quality Act (CEQA). Planning & Development Services (PDS) staff recommends approval of the ZAP Modification, with the conditions noted in the attached ZAP Modification decision (Attachment B).

The Project, submitted December 2020, is a request for Crown Castle (Applicant) to revise, operate, and maintain an existing wireless telecommunication facility. The Project includes adding stealth branching to the twelve existing 15-foot-tall monopoles. The addition of the branching will bring the height to 17-feet and nine inches. The number of existing panels is twelve (four per sector), which will remain the same. Six of the existing antennas will be replaced, and three will be relocated. The number of existing Tower Mounted Antennas (TMAs) is 12 and will decrease to six. The number of existing Remote Radio Unit (RRUs) is 12 and will increase to 15. Three filters will be removed, and the number of coax jumpers will decrease from 12 to six. Other changes include installing three 24-pair fiber trunks, three DC trunks and one battery cabinet and removing one GSM cabinet. The project does not propose to expand the footprint of the lease area. The 62.47-acre parcel, located

at 4881 Highway 76 within the Fallbrook Community Plan area, is zoned Specific Plan (S88) and contains the existing telecommunication facility.

The ZAP for the existing wireless telecommunication facility was approved on January 23, 2001, and expired on January 23, 2016, in accordance with the amortization schedule in the County of San Diego's Zoning Ordinance Section 6991. Although the Project expired in 2016, the proposed modification will bring the existing wireless telecommunication facility into conformance with the amortization requirements outlined in Zoning Ordinance Sections 6985 and 6991. The design of the wireless telecommunication facility was found to utilize the most current technology and will be granted an additional 10 years of operation before it needs to be re-evaluated against the technology available in the future.

This report includes a staff recommendation, a Project description, analysis and discussion, and the Fallbrook Community Planning Group recommendation.

B. REQUESTED ACTIONS

This is a request for the Zoning Administrator to evaluate the Project and determine if the required findings can be made and, if so, take the following actions:

- a. Adopt the Environmental Findings included in Attachment D, which includes a finding that the Project is exempt from the California Environmental Quality Act (CEQA).
- b. Grant Minor Use Permit Modification PDS2020-ZAP-99-024W1, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment B).

C. DEVELOPMENT PROPOSAL

1. Project Description

The Applicant requests a ZAP Modification to revise and continue operating an existing wireless telecommunication facility located at 4881 Highway 76 in the Fallbrook Community Plan Area. The Applicant proposes to remove and replace antennas and RRUs and rebranch the 12 existing, 15-foot-tall monopipes. All antennas will have "socks" installed over them for camouflage and RRUs and equipment will be painted dark green to match the mono-broadleaf foliage (Figure 1). The adjacent equipment enclosure is 11-feet and three inches high and is tucked within the hillside, limiting the visibility of the existing equipment cabinet. The project does not propose to expand the footprint of the lease area.

On January 23, 2001, the Zoning Administrator approved Minor Use Permit PDS2002-3400-99-024 for the wireless telecommunication facility. Since approval of the ZAP, multiple Minor Deviations have been approved for minor equipment changes, upgrades, and maintenance of the faux monopipes. Pursuant to the County of San Diego's Zoning Ordinance, monopipes facilities are defined as "high-visibility" and the project site is located in a non-preferred zone. Therefore, the original ZAP was granted for a period of 15 years and expired on January 23, 2016. Pursuant to the amortization schedule in Zoning Ordinance Section 6991, the Applicant is required to obtain a modified ZAP to bring the facility into compliance with the Zoning Ordinance and renew the facility for an additional 10 years. The Applicant submitted for the Modification in December of 2020.

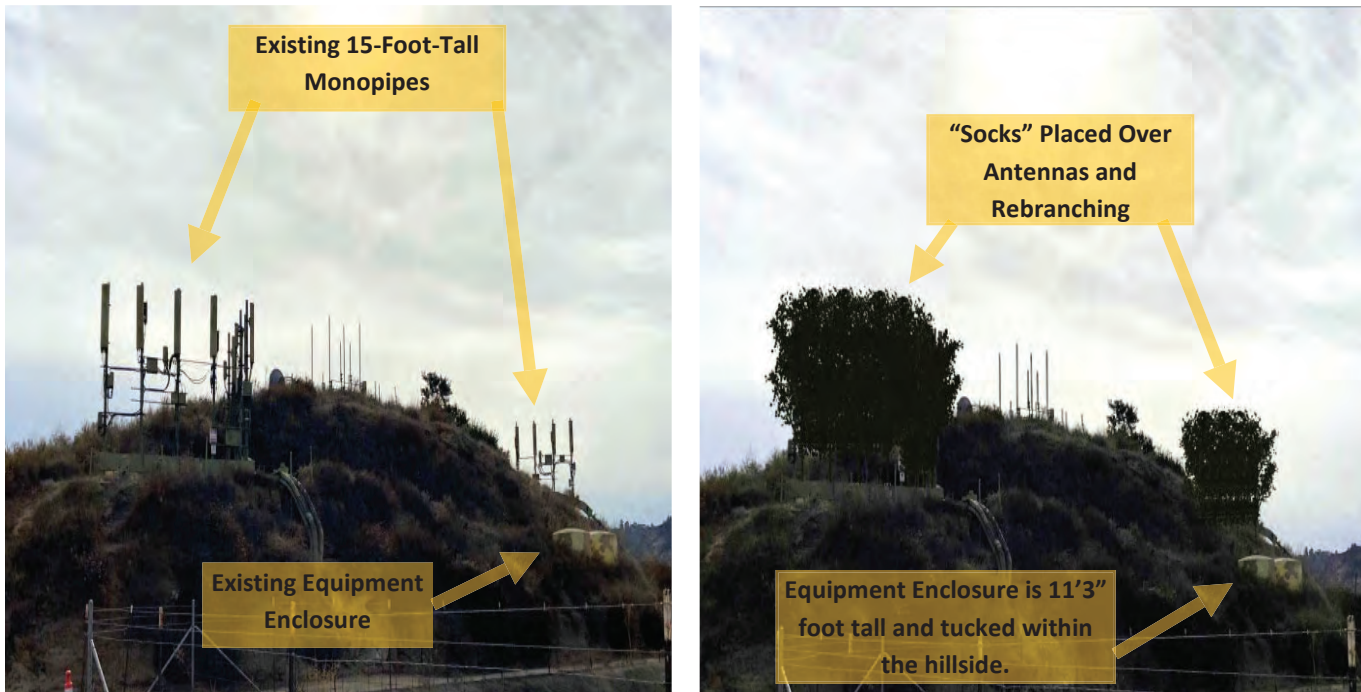


Figure 1: View on site of existing (left) and proposed (right) mono-broadleaf tree and equipment enclosure, looking northwest.

2. Subject Property and Surrounding Land Uses

The Project is located on a 62.47-acre parcel within the Fallbrook Community Plan Area (Figure 2). Zoning for the site is Specific Plan Area (S88), Freeway Commercial (C44) and General Agriculture (A72), however the structures are located within the Specific Plan Area (S88) portion of the property. The site is subject to the General Plan Regional Categories Semi-Rural, Rural and Rural Lands, Land Use Designations Semi-Rural Residential (SR-10) General Commercial and Rural Lands (RL-40), however the structures are located within the Regional Category Semi-Rural, Land Use Designation Semi-Rural Residential (SR-10).

The site contains the existing telecommunication facility and a mature citrus and avocado grove. Immediately surrounding land uses are citrus groves and a private reservoir used for agriculture irrigation. Northeast of the proposed project is agriculture use and open space (San Luis Rey River), while southeast of the proposed project are residences (Table C-1).

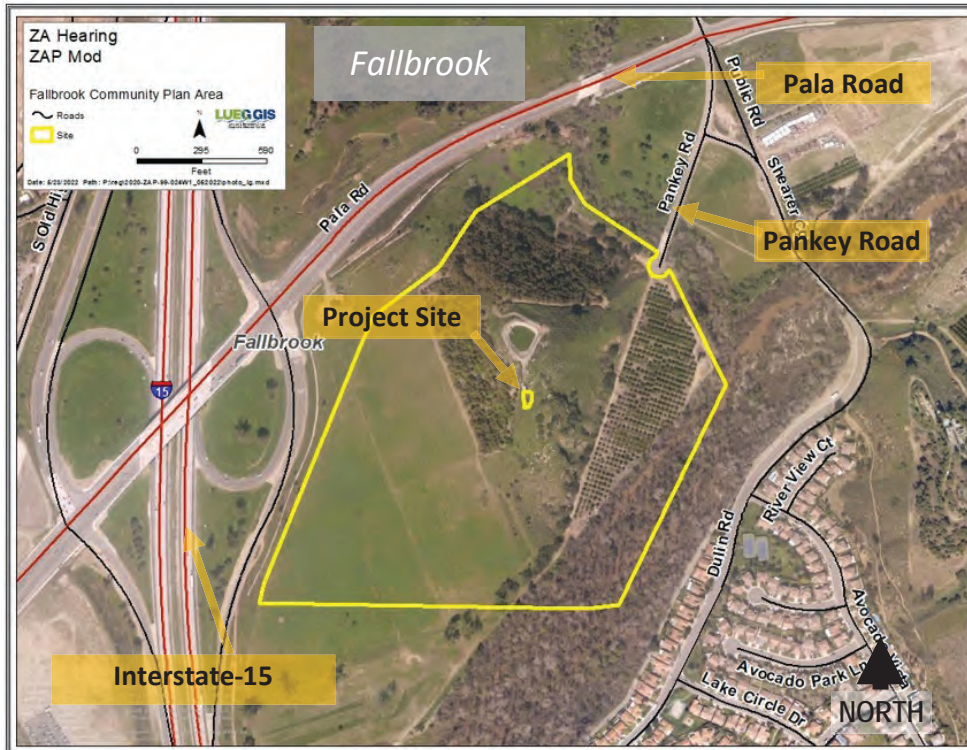


Figure 2: Vicinity map

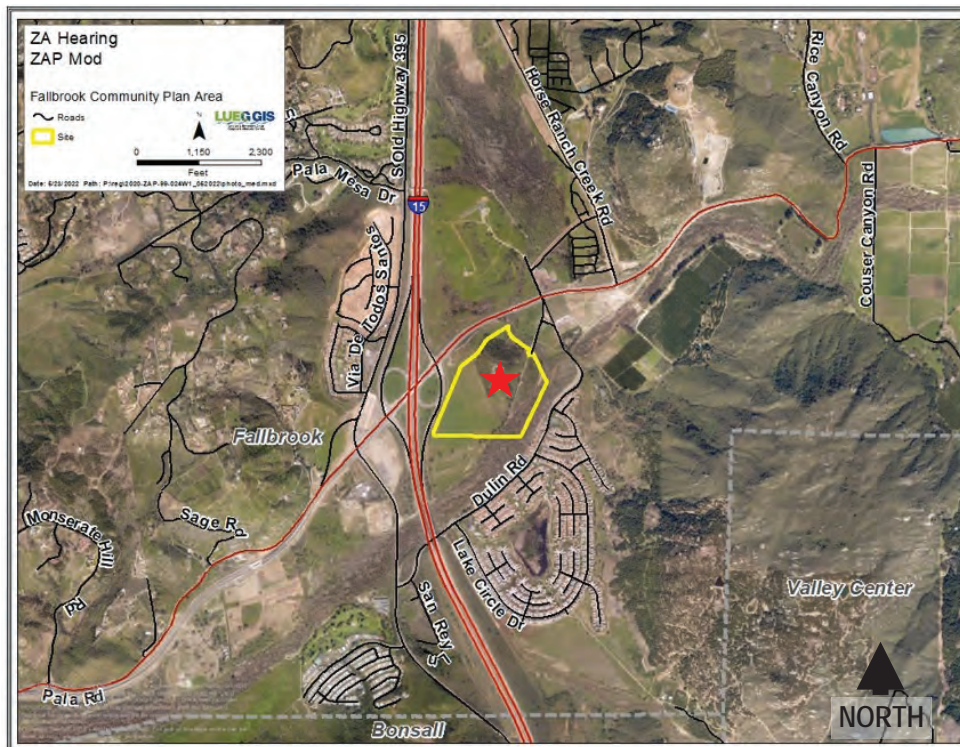


Figure 3: Aerial photograph of project site. Location of existing facility identified with red star.

Table C-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Public/Semi-Public Lands	General Commercial	SR-15/Pala Road	Vacant Land
East	Rural Lands (RL-40)	Limited Agriculture (A70)	Avocado Vista Lane	Agriculture, Rural Residential
South	Semi-Rural Residential (SR-10)	General Agriculture (A72)	Dulin Road	Agriculture, Rural Residential
West	Specific Planning Area	Limited Agriculture (A70)	I-15	Agriculture, Vacant Land

D. ANALYSIS AND DISCUSSION

The Project has been reviewed to ensure it conforms to all the relevant ordinances and guidelines, including, but not limited to, the San Diego County General Plan, the Zoning Ordinance, and CEQA. The following topics were reviewed during the Project's processing and are detailed below: Amortization, Site Plan Analysis, Community Compatibility/Visual Impacts, and Alternative Site Analysis (ASA).

1. Key Requirements for Requested Actions

- a. Is the Project consistent with the vision, goals, and policies of the General Plan?
- b. Is the Project consistent with the goals and policies of the Fallbrook Community Plan?
- c. Is the Project consistent with the County's Zoning Ordinance?
- d. Is the Project consistent with the County's Wireless Ordinance?
- e. Does the Project comply with CEQA?

2. Analysis

The Project is located on a property zoned Specific Plan Area (S88), which is a non-preferred zone for wireless telecommunication facilities according to Zoning Ordinance Section 6986A. Section 6985 of the County Zoning Ordinance requires the approval of a Minor Use Permit for all wireless facilities that are located in zones not identified within Tiers 1, 2, and 4.

Amortization

The Project is subject to amortization because a monopipes are defined as a "high visibility" facility and the site is within a rural zone, which is a non-preferred zone. This means the existing facility must be brought into conformance with the Zoning Ordinance requirements within a specified time, as stated in Section 6991 of the Zoning Ordinance. It also has a term limit pursuant to Zoning Ordinance section 6985.C.11, which

states that projects that are considered high visibility and require use permits are given a maximum term limit based on the valuation of the facility. This Project is considered a high visibility structure and requires a ZAP Modification to continue operation and maintenance and renew the facility's term limits. The Project subject to this ZAP Modification is valued at approximately \$100,000 and will therefore have a maximum term of 10 years. This time may be extended by modifying the permit, if it is found that no smaller or less visible technology is available or feasible to replace the facility at the time of the request for a modification.

Site Planning Analysis

The Project is located on a privately owned 62.47-acre site. The proposed 17-foot and nine inch tall mono-broadleaf trees are designed to be compatible with the surrounding land uses and mountainous, vegetated backdrop. The facility is located approximately 1,500 feet west of Pala Road or State Route 76/Interstate 15 interchange, the nearest public road, and approximately 1,000 feet northwest of the single-family residences. Interstate 15 is at an elevational difference of approximately 131 feet below the project site. West of Interstate 15 is low-density residential use. The facility will remain on the north and northwest slopes of the knoll, a considerable distance away from surrounding uses. Due to topography and existing surrounding vegetation, including citrus and avocado groves, it is not visible from most residences. The facility may be visible from some nearby residences but will blend with several existing citrus and avocado trees as they grow to similar height.

Community Compatibility/Visual Impacts

General Plan Policy COS 11.1 requires protection of scenic highways, corridors, regionally significant vistas, and natural features. The County of San Diego General Plan identifies State Route 76 (SR-76), or Pala Road/I-15 interchange, as a County Scenic Highway in the vicinity of the site. The proposed mono-broadleaf scrub tree is approximately 0.29 miles from SR-76 and is not visible from the scenic corridor due to distance and intervening topography, vegetation, and camouflage design.

The facility is located approximately 1,000 feet northwest of the nearest off-site residential structure. The residents there will have limited views of the Project due to the distance and topography. The faux mono-broadleaf scrub tree will not be visible from surrounding areas but due to distance, topography, and the vegetated landscape, the facility blends in with the rural character of the area. Therefore, the proposed wireless telecommunication facility will not introduce a negative visual impact to the community.

Alternative Site Analysis

The facility currently provides cellular service to the surrounding residents, visitors, and motorists. The site is zoned Specific Plan Area (S88), Freeway Commercial (C44) and General Agriculture (A72), however the structures are located within the Specific Plan Area (S88), a non-preferred zone for wireless facilities. Section 6986.C. of the Zoning Ordinance states that wireless facilities shall not be approved in non-preferred zones when siting in a preferred zone or preferred location is feasible unless the proposed site is preferable due to aesthetic and community character compatibility. The Applicant provided an Alternative Site Analysis (ASA) to demonstrate the feasibility of co-location opportunities on existing wireless telecommunication facilities in the Project vicinity. The Applicant demonstrated in the ASA that there are no feasible co-location opportunities, and that moving the facility would create a gap in area coverage (Figure 6). All other wireless telecommunication facilities are located outside the Applicant's target coverage area and other existing sites are not capable of supporting an additional carrier.

Further information detailing the ASA analysis can be found in Attachment F.

The Geographic Service Area (GSA) maps shown in the below figure illustrate coverage in the area, with and without the wireless telecommunication facility. The GSA maps demonstrate that the existing location is necessary to provide continued coverage and adequate service to motorists and residents in the area (Figure 6). The 17-foot and nine inch- t height of the facility is necessary to allow the antennas to provide coverage due to the surrounding topography. These GSA maps for AT&T can also be found in Attachment F.

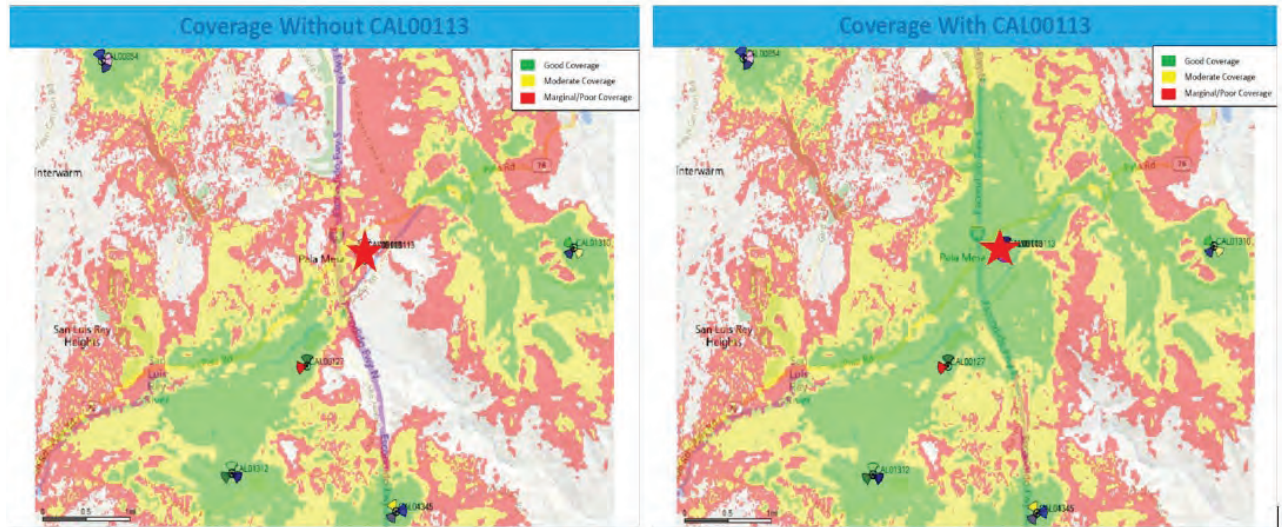


Figure 6: Coverage without Project (left) and coverage with Project (right).

3. General Plan Consistency

The Project is consistent with the following relevant General Plan goals, policies, and actions as described in Table D-1.

Table D-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
GOAL S-1 – Public Safety. Enhanced public safety and the protection of public and private property.	The Project will continue to provide coverage throughout the area, which is essential in the event of an emergency. In addition, service to the North County Fire Protection District will be provided by the facility for further public safety and accessibility to prompt emergency response in the surrounding area.
GOAL S-2 – Emergency Response. Effective emergency response to disasters that minimizes the loss of life and damage to property, while also reducing disruption in the delivery of vital public and private services during and following a disaster.	

General Plan Policy	Explanation of Project Conformance
Policy LU-15.1 – Telecommunication Facilities Compatibility with Setting. Require that wireless telecommunication facilities be sited and designed to minimize visual impacts, adverse impacts to the natural environment, and are compatible with existing development and community character.	The Project will minimize visual impacts through adding additional branching and covering antennas with “socks” to blend equipment into the mono-broadleaf scrub tree design and painting the existing equipment enclosure to match the color of the existing surrounding areas, which aids in making the facility compatible with existing development and the rural community character.
POLICY LU 15.2 – Co-Location of Telecommunication Facilities. Encourage wireless telecommunication services providers to co-locate their facilities whenever appropriate, consistent with the Zoning Ordinance.	The facility is available to provide co-location opportunities for other carriers as feasible.

4. Zoning Ordinance Consistency

a. Development Regulations

The Project complies with all applicable zoning requirements of the Specific Plan Area (S88) zone with the incorporation of conditions of approval (See Table D-2).

Table D-2: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	S88, C44 and A72, (The structures are located within the S88 portion)	Yes, upon approval of a ZAP Modification
Animal Regulation:	K/O/Q	N/A
Density:	-/.05	N/A
Lot Size:	-/20AC/4AC	N/A
Building Type:	C/W	N/A
Maximum Floor Area:	-	N/A
Floor Area Ratio:	-	N/A
Height:	G	Yes
Lot Coverage:	-	N/A
Setback:	A/C/O	Yes
Open Space:	-	N/A
Special Area Regulations:	B	N/A

Development Standard	Proposed/Provided	Complies?
Section 4600 of the Zoning Ordinance sets the maximum height requirements. This parcel has a designated height of "G" which requires structures to be no more than 35 feet in height.	The mono-broadleaf scrub tree is 17-feet and nine inches-tall.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires that the project meet the "C" setback requirements for a 60-foot front yard setback, 15-foot interior side yard setback, 35-foot exterior side yard setback, and a 25-foot rear yard setback.	The proposed location of the mono-broadleaf scrub tree and associated equipment enclosure are located outside all required setbacks including front, rear, and side yard setbacks.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

b. Wireless Ordinance Consistency

By federal law, the County is prohibited from regulating the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency (RF) emissions, if the facilities comply with the Federal Communication Commission's (FCC) regulations concerning RF emissions. Therefore, County decision makers do not consider comments or information concerning potential health effects or other environmental effects when determining whether to approve permits for cellular facilities. Also, staff does not require information from the Applicant concerning such effects from RF emissions associated with the Project. Information regarding potential health effects is available from the cellular providers upon request as it is also required from the FCC.

The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular facilities. Therefore, staff does not require information from the Applicant on potential health effects from EMR associated with the Project. Generally, this information is available from the cellular providers upon request as it is also required from the FCC.

Table D-3: Wireless Ordinance Consistency

Development Standard	Proposed/Provided	Complies?
Section 6985.C.2 of the Wireless Telecommunication Ordinance requires that the equipment accessory to a facility not exceed 10 feet in height unless a greater height is necessary to maximize architectural integration and the facility is screened by landscaping.	The existing equipment and cabinets are of varying height but are all less than 10 feet. The existing nine-foot and two inches CMU block wall equipment enclosure will be painted to match the color of the existing surrounding areas and the existing trees on-site will provide further screen the facility.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Development Standard	Proposed/Provided	Complies?
Section 6985.C.4 of the Wireless Telecommunication Ordinance requires that a minimum 50-foot setback for a telecommunication tower when it is placed adjacent to a residential use.	The 17-foot and nine inch-"- -tall mono-broadleaf scrub tree is setback approximately 700 feet from nearest residential property line and 1,000 feet from nearest single-family residences.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.5 of the Wireless Telecommunication Ordinance prohibits the placement of a telecommunication tower or equipment in the front, rear, or side yard setback.	The tower and equipment enclosure are located outside all required building setbacks including front, rear, and side yard.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.6 of the Wireless Telecommunication Ordinance states that noise from any equipment supporting the facility shall meet the requirements of the County's Noise Ordinance on an average hourly basis.	No new noise-producing equipment or operational uses are proposed as part of the Project. The Project will not create a change in the existing noise environment and is therefore anticipated to comply with the County of San Diego Noise Ordinance Section(s) 36.404.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.11 of the Wireless Telecommunication Ordinance limits the term of a "high visibility" facility, depending on the valuation of the wireless facility.	The Project is considered a "high visibility" facility because the facility is a faux tree (mono-broadleaf shrub). High visibility facilities with a valuation of \$10,000 to \$500,000 are required by the Zoning Ordinance to have a maximum term of 10 years. Since the Project has a valuation of approximately \$100,000, the ZAP Modification has been conditioned to have a maximum term of 10 years. This time may be extended for an additional period of time by modifying the permit, if it is found that no smaller or less visible technology is available or feasible to replace the facility at the time of the request for a modification.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6987.D of the Wireless Telecommunication Ordinance states that sites visible from a Scenic Highway, as identified in the General Plan, shall be designed in such a manner as to	The site is not visible from any nearby scenic roads or highways due to the distance and topography.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Development Standard	Proposed/Provided	Complies?
avoid adverse visual impacts and does not permit the use of monopoles, lattice towers, or guyed towers.		

5. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed for compliance with CEQA and it is determined that the proposed project qualifies for addendum to the existing Mitigated Negative Declaration. Under CEQA Section 15164, it allows an addendum to a previously certified or adopted environmental document to be prepared when only minor technical changes or changes that would not result in new significant impacts are proposed in a project. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway. The proposed project will modify the existing facility to camouflage with the surrounding areas and to comply with the Wireless facility Amortization requirements.

E. COMMUNITY PLANNING GROUP RECOMMENDATION

On August 16, 2021, the Fallbrook Community Planning Group (CPG) reviewed the Project. The CPG recommended approval of the ZAP Modification with no conditions (12-Yes, 0-No, 0-Abstain, 0-Absent). The Applicant provided an Alternative Site Analysis (ASA) to demonstrate the feasibility of co-location opportunities on existing wireless telecommunication facilities in the Project vicinity. The Applicant demonstrated in the ASA that there are no feasible co-location opportunities, and that moving the facility would create a gap in area coverage. The nearest commercial zone is located approximately ½ mile from the current site, approximately 160-feet lower in elevation and adjacent to residential uses. The ASA and Geographic Service Area Maps can be found in Attachment F. The Fallbrook CPG meeting minutes can be found in Attachment E.

F. PUBLIC INPUT

The Project was first submitted to PDS in January 2020. At the time of application submittal and in accordance with Board Policy I-49, public notices were sent to property owners within a minimum radius of 300 feet of the project site until at least 20 different property owners were noticed. A total of thirty property owners were noticed within a 00-foot radius from the project site. No written comments or phone calls were received from community members as a result of the public notices sent at the time of application. In addition, public notices for the Zoning Administrator hearing were sent to a total of thirty-two property owners, including owners of properties beyond the minimum of 300 feet, for a radius of 500 feet from the project site.

G. RECOMMENDATIONS

Staff recommends that the Zoning Administrator take the following actions:

1. Adopt the Environmental Findings included in Attachment D which include a finding that the project is exempt from CEQA.
2. Grant MUP Modification PDS2020-ZAP-99-024W1, make the findings, and impose the requirements and conditions as set forth in the Form of Decision in Attachment B.

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Report Approved By:

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AUTHORIZED REPRESENTATIVE:


ASHLEY SMITH, CHIEF

ATTACHMENTS:

Attachment A – Planning Documentation

Attachment B – Form of Decision Approving PDS2021-ZAP-99-024W1

Attachment C – Environmental Documentation

Attachment D – Environmental Findings

Attachment E – Public Documentation

Attachment F – Photos, Geographic Service Area Maps, Alternative Site Analysis

Attachment G – Ownership Disclosure

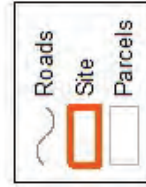
Attachment A – Planning Documentation

ZA Hearing
ZAP Mod
Vicinity Map

Fallbrook
Community Plan Area

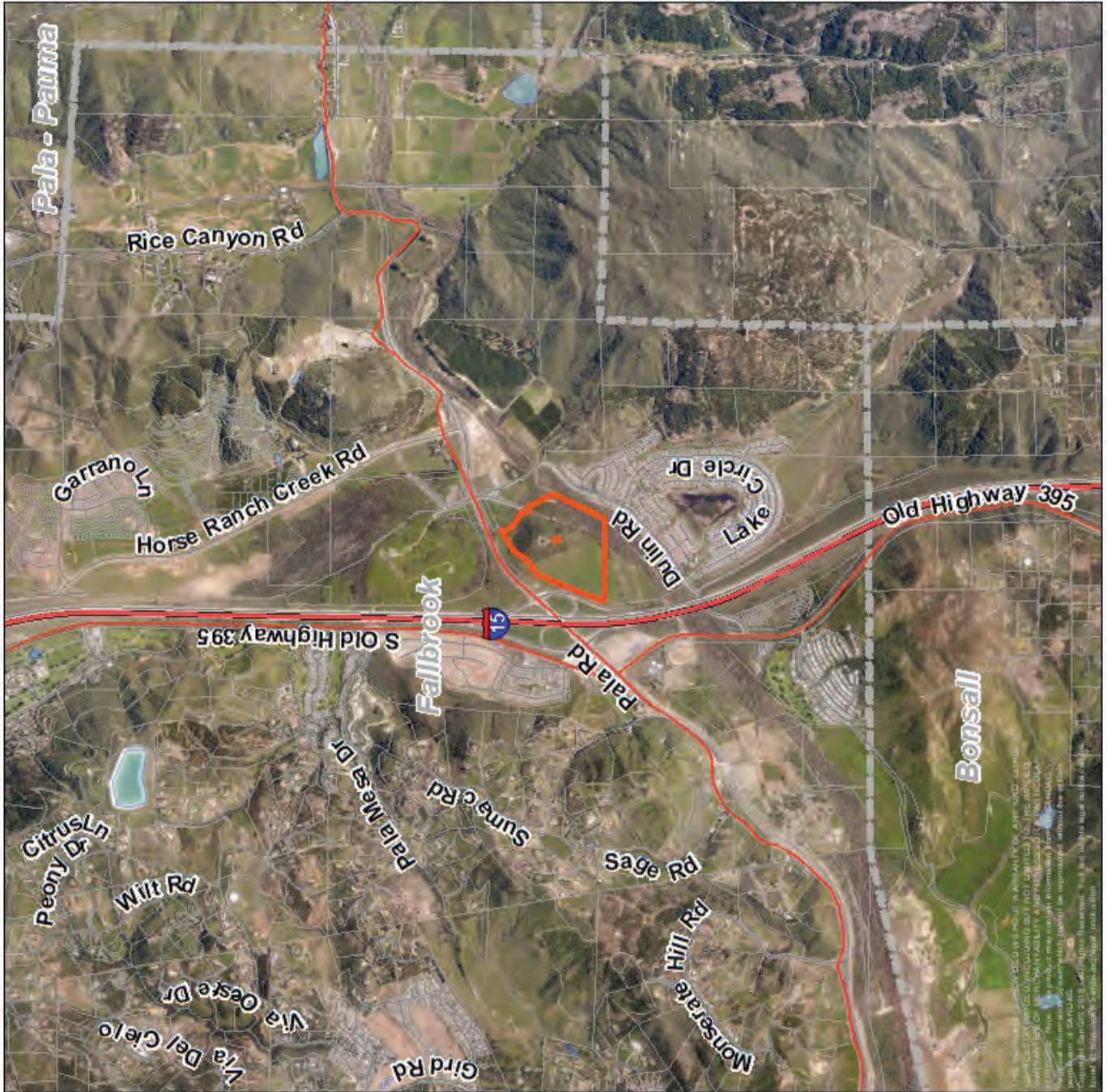


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LAND USE & GIS

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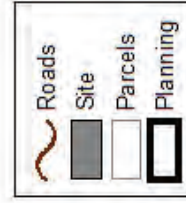


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**ZA Hearing
ZAP Mod
General Plan**

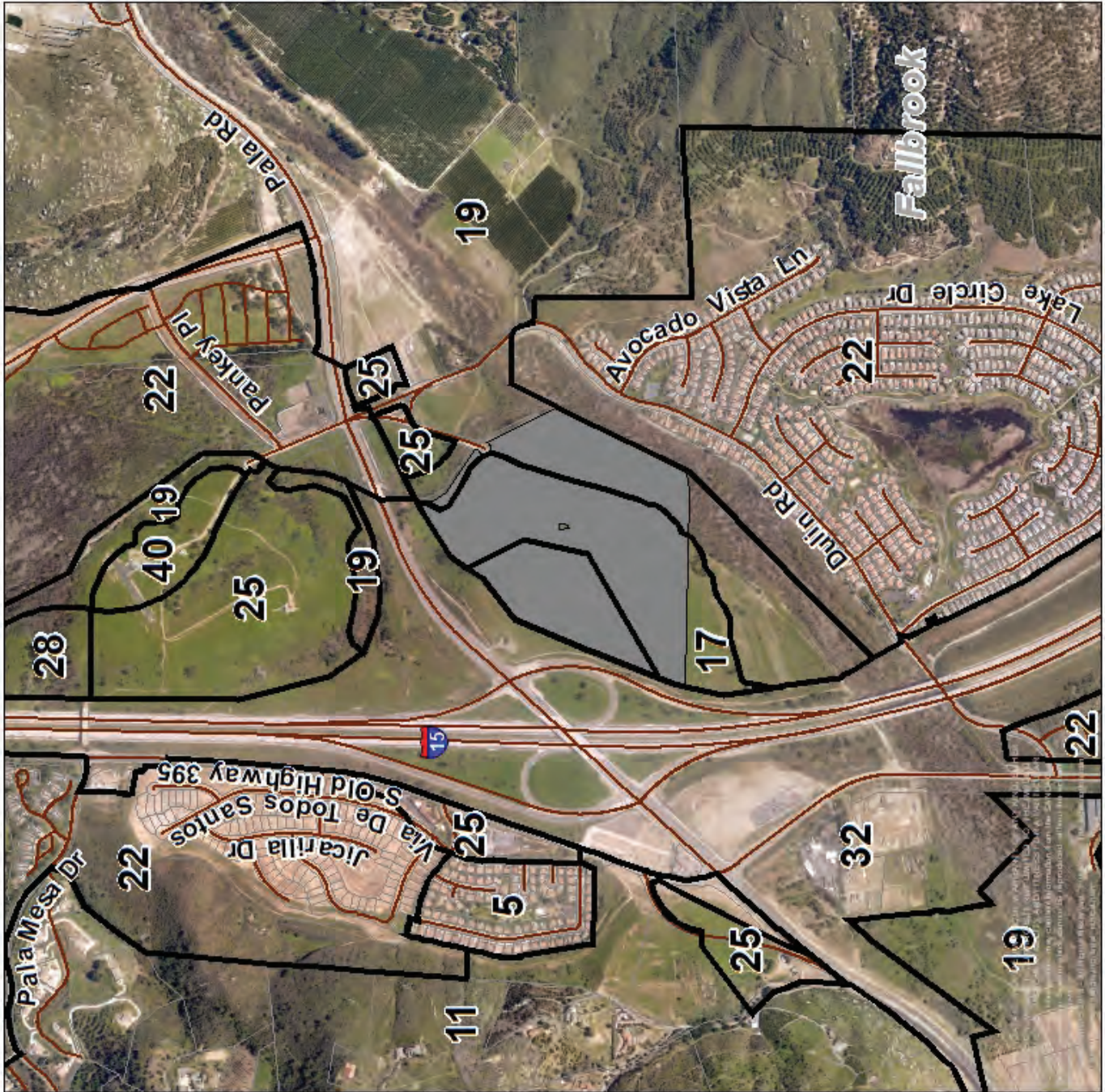
**Fallbrook
Community Plan Area**

- (5) Village Residential (VR-7.3)
- (11) Semi-Rural Residential (SR-2)
- (17) Semi-Rural Residential (SR-10)
- (19) Rural Lands (RL-40)
- (22) Specific Plan Area
- (25) General Commercial
- (28) Limited Impact Industrial
- (32) Public/Semi-Public Facilities
- (40) Village Residential (VR-20)



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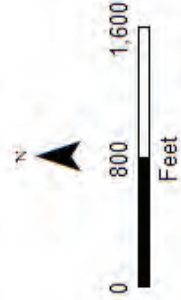
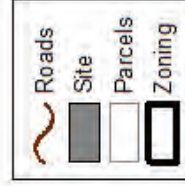
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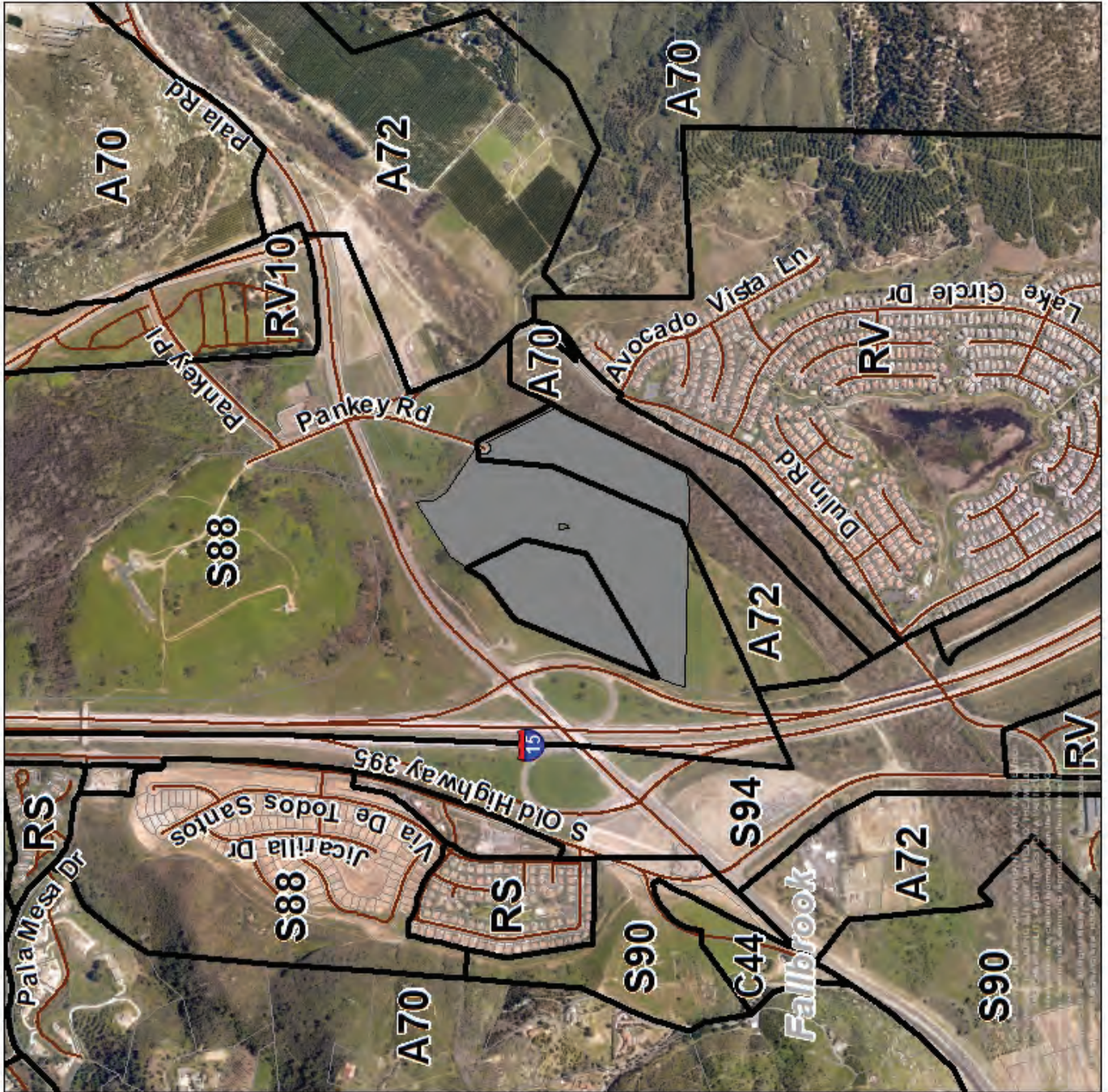
**ZA Hearing
ZAP Mod
Zoning**

Fallbrook
Community Plan Area

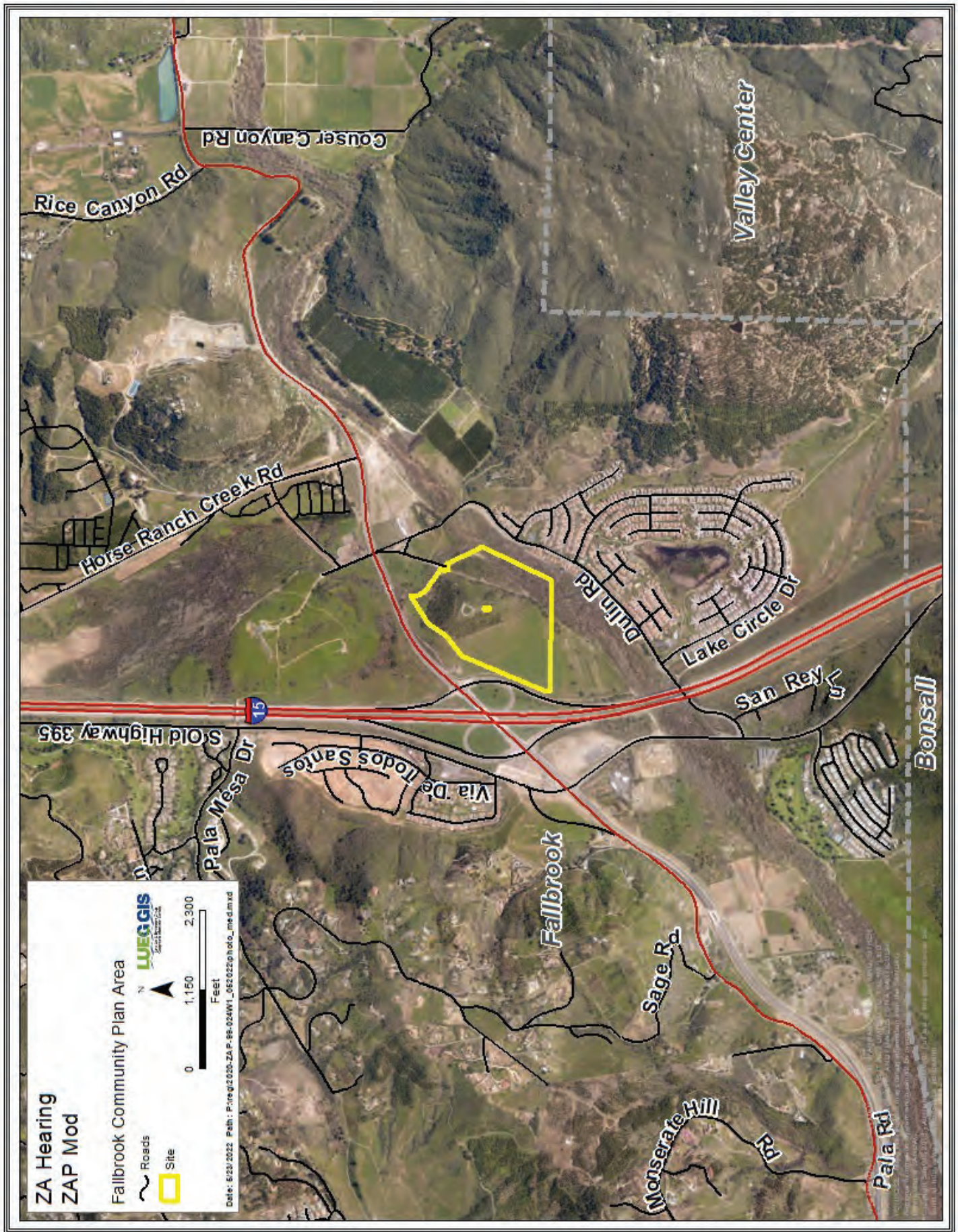
- A70 - Limited Agricultural
- A72 - General Agricultural
- C36 - General Commercial
- C44 - Freeway Commercial
- RS - Single Family Residential
- RV - Variable Family Residential
- RV10 - Variable Family Residential
- S88 - Specific Planning Area
- S90 - Holding Area
- S94 - Transportation/Utility Corridor

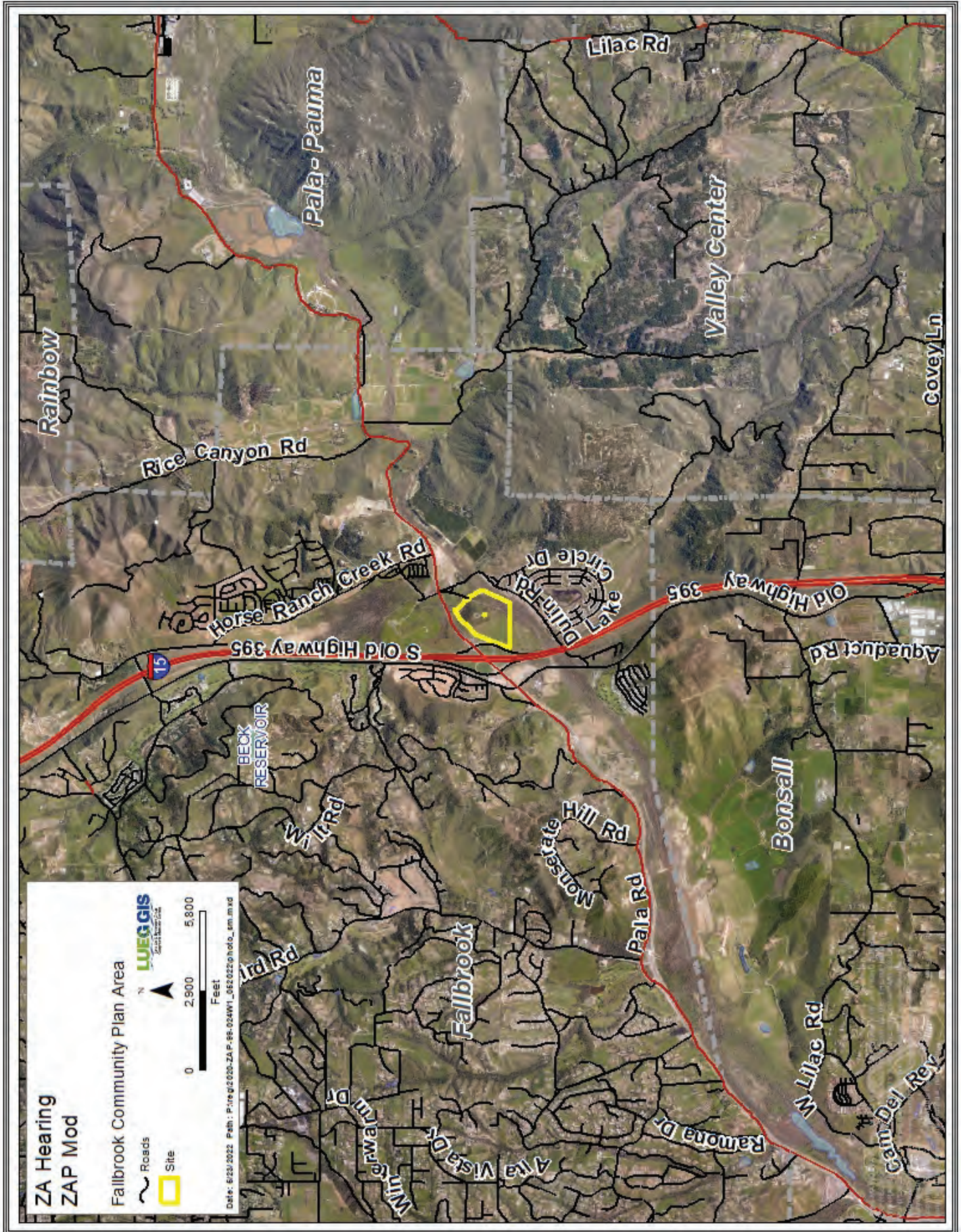


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SD0113
PANKY FARM
CROWN CASTLE BU#: 844805
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5C/LTE 6C

SPECIAL INSPECTION NOTE SPECIAL INSPECTIONS ARE NOT REQUIRED FOR CONSTRUCTION OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS EXPRESSED BY THE BUILDING CONTRACT.	
ENGINEERING	
2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2017 NATIONAL ELECTRICAL CODE TIA-222-H STANDARD IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL	
GENERAL NOTES THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL BE MAINTAINED BY THE CLIENT. NO SURFACE WATER, PORTABLE WATER, OR WASTE DISPOSAL IS REQUIRED AND NO COMMERCIAL SPACE IS PROPOSED.	
PROJECT DESCRIPTION AT&T WIRELESS PROPOSES TO MODIFY AN EXISTING WIRELESS INSTALLATION. THE SCOPE WILL CONSIST OF THE FOLLOWING: ● REMOVE (6) PANEL ANTENNAS ● REMOVE (3) SURGE SUPPRESSION UNITS ● INSTALL (1) DC12 SURGE SUPPRESSION UNIT ● INSTALL (6) PANEL ANTENNAS ● RELOCATE (5) RRUS ● RELOCATE (6) RRUS ● RELOCATE (3) PANEL ANTENNAS ● REMOVE (3) DC TRUNKS IN EXISTING CONDUITS ● REMOVE (3) TMMs ● REMOVE (3) WCS FILTERS ● REMOVE (1) BATTERY CABINET ● INSTALL (1) BATTERY CABINET ● INSTALL (1) STEALTH BRANCHES (BY SCO)	
PROJECT INFORMATION PROPERTY OWNER: EDGAR & EDZUBATH S. PANKY-TRUST ADDRESS: NA SITE NAME: PANKY FARM ADDRESS: 4881 HIGHWAY 76 FALLBROOK, CA 92028 SITE CONTACT: MICHAEL LYNCH NUMBER: (762) 235-2262 COUNTY: SAN DIEGO COUNTY LATITUDE (NAD 83): 33° 19' 54" N LONGITUDE (NAD 83): 117° 9' 14" W GROUND ELEVATION: 446' AMSL ANTENNA TP HEIGHT: 17'-5" AGL ZONING JURISDICTION: CITY OF SAN DIEGO ZONING DISTRICT: - PARCEL #: 125-063-09 OCCUPANCY GROUP: U CONSTRUCTION TYPE: V-B OTHER WIRELESS FACILITIES: - POWER COMPANY: SDG&E TELEPHONE COMPANY: AT&T RF ENGINEER: RAY JINDAL NUMBER: (925) 922-4394 LEASING AGENCY: TIMOTHY GROVES NUMBER: (913) 458-1043 ZONING AGENCY: CRISTOBAL VILLEGAS NUMBER: (913) 458-2210 CONSTRUCTION MANAGER: VIC LERA NUMBER: (919) 339-8379	
LEGAL DESCRIPTION LEGAL DESCRIPTION NEEDED BEFORE S&S.	
CONTACT INFORMATION NAMED REPRESENTATIVE: MICHAEL LYNCH BLACK & VEATCH CORPORATION 5000 N 11TH STREET, SUITE 2292 DENVER, COLORADO 80202	

174F: 10086077	ANTENNA MOD PAGE ID: MRS0.024908	LTE 5C PAGE ID: MRS0.024932	LTE 6C PAGE ID: MRS0.024531
APPROVALS THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO THE FINAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS. LEASING VENDOR: _____ DATE: _____ ZONING VENDOR: _____ DATE: _____ AT&T RF ENGINEER: _____ DATE: _____ CONSTRUCTION MANAGER: _____ DATE: _____ AT&T CONSTRUCTION MANAGER: _____ DATE: _____ SITE ACQUISITION MANAGER: _____ DATE: _____ A/E MANAGER: _____ DATE: _____ AT&T PROJECT MANAGER: _____ DATE: _____ PROPERTY OWNER: _____ DATE: _____			
RF INFORMATION			
Tx	LTE	GSM	UMTS
	704.0 - 716.0 MHz	869 - 874.4 MHz	874.6 - 879.6 MHz
	1900 MHz	890 - 891.4 MHz	1945 - 1950 MHz
		1950 - 1952.8 MHz	
		834 - 835.4 MHz	
Rx	704.0 - 716.0 MHz	845 - 846.4 MHz	823.6 - 834.4 MHz
	1900 MHz	1870 - 1872.8 MHz	1865 - 1869.8 MHz
		1890 - 1902 MHz	
MAX EIRP: 500.0 WATTS MAX ERP: 1900 MHz: 54.5 WATTS			
DRAWING INDEX			
SHEET NO.	SHEET TITLE	REV	
T-1	TITLE SHEET	1	
A-1	SITE PLAN	2	
A-2	ENLARGED SITE PLAN	2	
A-2.1	STORMWATER QUALITY MANAGEMENT PLAN	2	
A-2.2	GRANT DEED	2	
A-3	EQUIPMENT LAYOUT (EXISTING & NEW)	0	
A-4	ANTENNA LAYOUT (EXISTING)	0	
A-4.1	ANTENNA LAYOUT (NEW)	2	
A-5	ELEVATIONS	4	
A-6	ELEVATIONS	4	
A-8	ELEVATIONS	4	
A-9	DETAILS	0	
E-1	ELECTRICAL AC ONE-LINE DIAGRAM	0	
E-2	ELECTRICAL DC ONE-LINE DIAGRAM	0	
G-2	GROUNDING DETAILS	0	
GN-1	GENERAL ELECTRICAL NOTES	0	
GN-2	GENERAL NOTES, LEGEND & ASSOCIATIONS	0	
RF-1	PLAN VIEW (SD - 30 DRAWINGS)	2	
RF-2	ELEVATION VIEW (SD - 30 DRAWINGS)	2	
RF-3	ISOMETRIC VIEW (SD - 30 DRAWINGS)	2	
RF-4	PERSPECTIVE VIEW (SD - 30 DRAWINGS)	2	
RF-1	PLAN VIEW (SD - DRAWINGS WITH EPA VALUES)	2	
RF-2	ELEVATION VIEW (SD - DRAWINGS WITH EPA VALUES)	2	
RF-3	ELEVATION VIEW (SD - DRAWINGS WITH EPA VALUES)	2	
RF-4	ELEVATION VIEW (SD - DRAWINGS WITH EPA VALUES)	2	
RF-5	EPA VALUES (SD - DRAWINGS WITH EPA VALUES)	2	
RF-6	EPA VALUES & DETAIL VIEW (SD - DRAWINGS WITH EPA VALUES)	2	
RF-7	DETAIL VIEW (SD - DRAWINGS WITH EPA VALUES)	2	
PHASE 1 OF 4	PHOTOSM (SD)	4	
PHASE 2 OF 4	PHOTOSM (SD)	4	
PHASE 3 OF 4	PHOTOSM (SD)	4	
PHASE 4 OF 4	PHOTOSM (SD)	4	

 4391 LAS VEGAS DR. SUITE 110 FALLBROOK, CA 92028	 BLACK & VEATCH CORPORATION 8905 S. EASTERN AVENUE, SUITE 325, LAS VEGAS, NV 89123	PROJECT NO: 199711 DRAWN BY: SAL CHECKED BY: MSH	2-20		3. A WIRELESS FACILITY MAY NOT BE CONSIDERED A "STRUCTURE" UNLESS IT MEETS THE REQUIREMENTS OF A LICENSED PROFESSIONAL ENGINEER. IT IS THE RESPONSIBILITY OF THE ENGINEER TO OBTAIN THE NECESSARY PERMITS AND APPROVALS.	SD0113 PANKY FARM 4881 HIGHWAY 76 FALLBROOK, CA 92028 ANTENNA MOD/LTE 5C/LTE 6C	SHEET TITLE TITLE SHEET	SHEET NUMBER T-1
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4391 LAS VEGAS BLVD. SUITE 110
FALLBROOK, CA 92028



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SAL
CHECKED BY: MSH

2-21

REV	DATE	DESCRIPTION
5	06/10/21	PER J.K. COMMENTS
4	05/24/21	PER J.K. COMMENTS
3	06/01/20	CLIENT COMMENTS
2	05/19/20	CLIENT COMMENTS
1	06/01/19	CITY COMMENTS
0	07/02/19	ISSUED FOR CONSTRUCTION



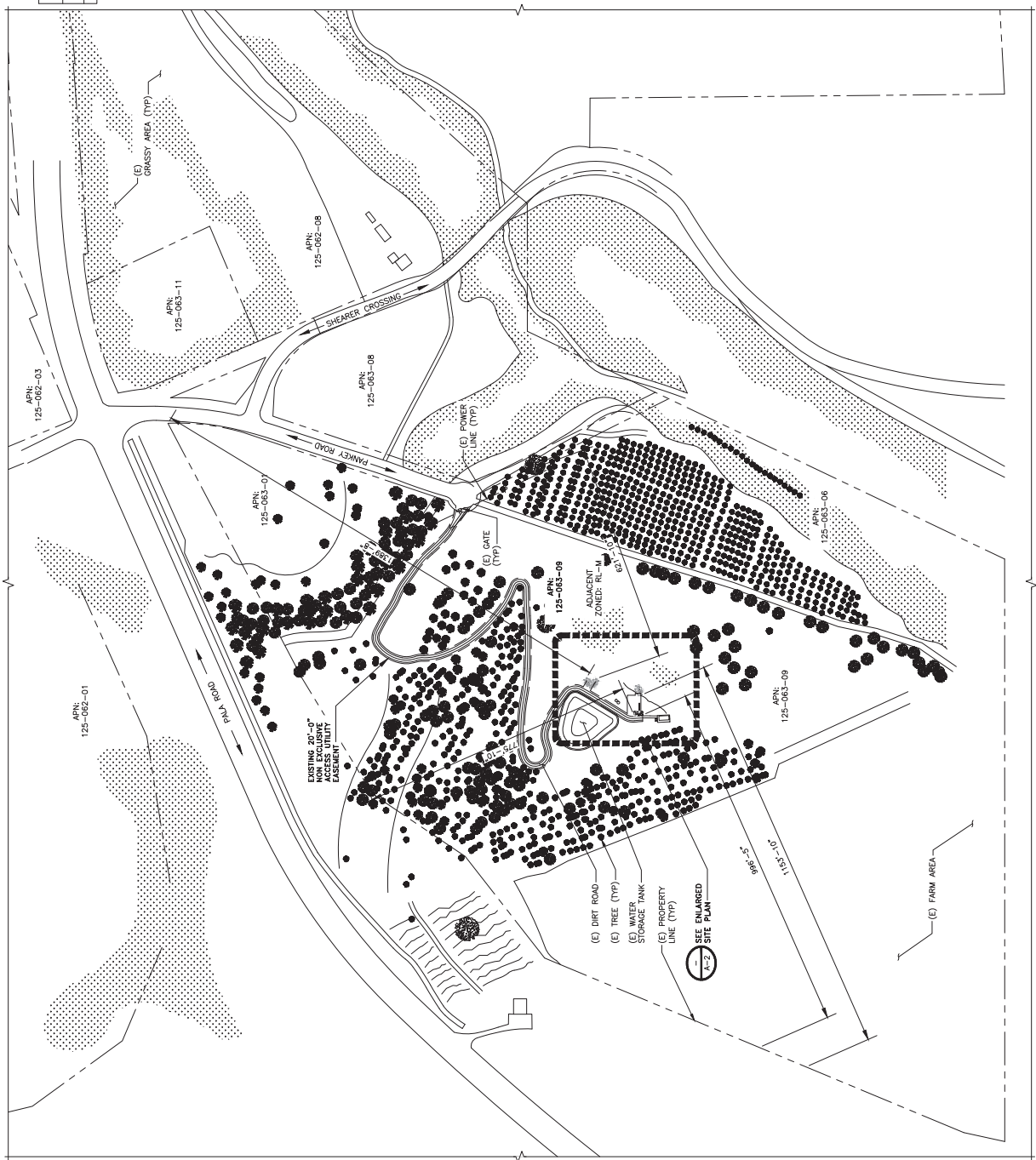
I, D.A. SMITH, A PROFESSIONAL ENGINEER, CERTIFICATE NO. 80199, EXPIRATION DATE 12/31/22, DO HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS PROJECT AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.

SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5G/LTE 6C

SHEET TITLE
SITE PLAN

SHEET NUMBER
A-1

PROPOSED PERVIOUS/IMPERVIOUS AREA		
EXISTING (PERVIOUS/IMPERVIOUS)	CREATED OR REMOVED IMPERVIOUS SURFACES (FT ²)	TOTAL EXISTING AREA (ACRES OR FT ²)
1614.34 FT ²	0 FT ²	0 FT ²



SITE PLAN



4301 LAS VEGAS DR. SUITE 410
LAS VEGAS, NV 89138



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SAL
CHECKED BY: MSH

2-24



I, S. V. VANDERKAM, AM AN ENGINEER,
UNLESS I HAVE ACTED UNDER THE DECISION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALLOW THIS DOCUMENT.

SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5C/LTE 6C

SHEET TITLE
GRANT DEED

SHEET NUMBER
A-2.2

EXHIBIT A

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RECEIVED

CLERK OF SUPERIOR COURT

SAN DIEGO COUNTY, CALIFORNIA

RECORDS SECTION

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FILED

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Execution Requested by:

Chump Title Company

1401 E. Street, Suite 100

San Diego, CA 92101

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CK & VEATCH CORPORATION
5 EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

CT NO:	199711
BY:	SAL
ED BY:	MSH

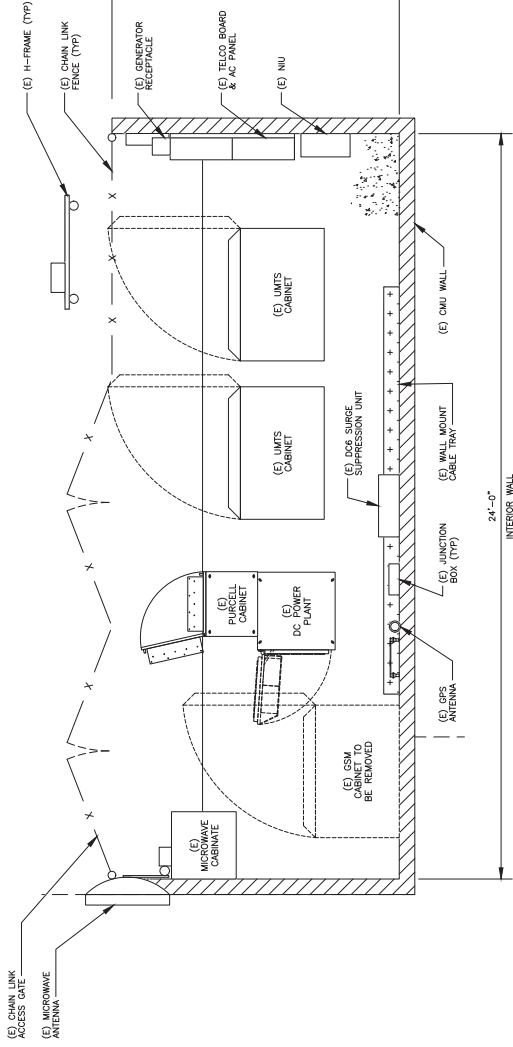
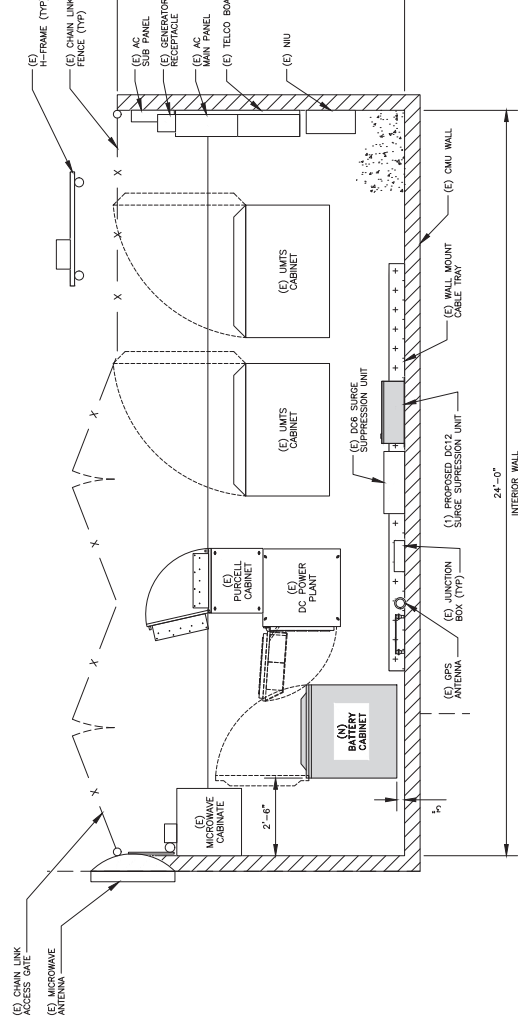
DATE	DESCRIPTION
/02/19	ISSUED FOR CONSTRUCTION
/01/19	CITY COMMENTS
/19/20	CLIENT COMMENTS
/01/20	CLIENT COMMENTS
/24/21	PER JX COMMENTS
/10/21	PER JX COMMENTS

VIOLATION OF LAW FOR ANY PERSON,
THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

4881 HIGHWAY 76
LDBROOK, CA 92028
MINA MOD/LTE 5C/LTE 6C

SHEET TITLE
EQUIPMENT LAYOUT (EXISTING & NEW)

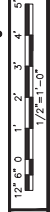
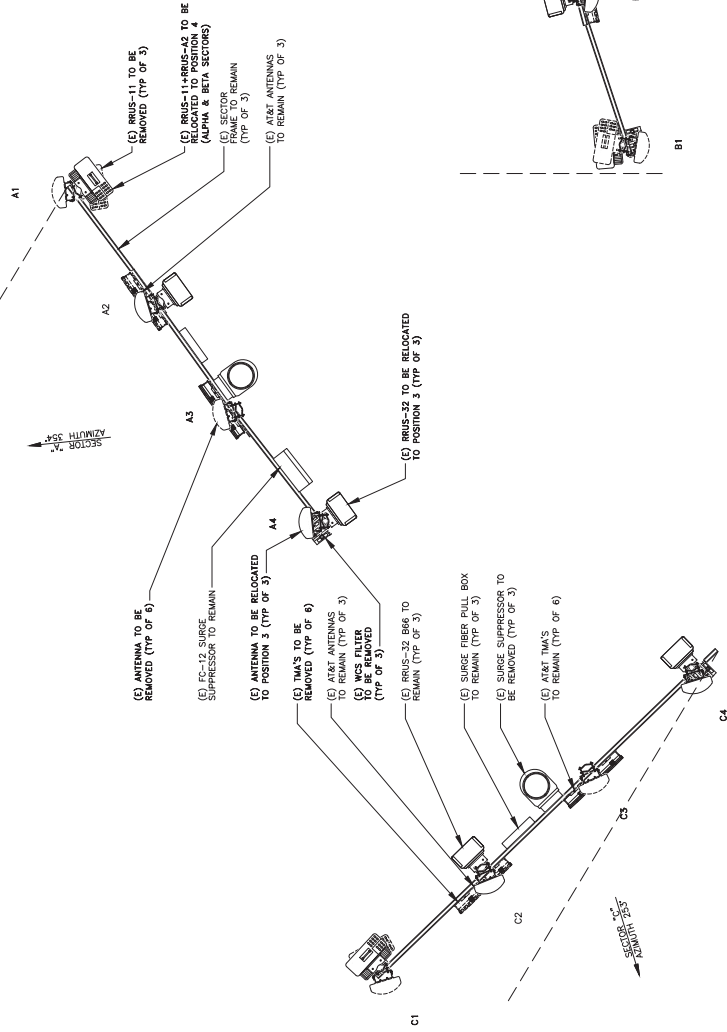
A-3

EQUIPMENT LAYOUT (EXISTING)EQUIPMENT LAYOUT (NEW)

NOTES:

1. CONTRACTOR TO MOUNT EQUIPMENT ON WALLS IN A LOCATION WHICH ALLOWS ROOM FOR FUTURE EQUIPMENT.
2. NO NEW BATTERY TO BE INSTALLED. THE EXISTING BATTERIES ARE MADE BY EXIDE/GNB AND NORTHSTAR.

EXISTING ANTENNA SCHEDULE									
SECTOR	POS.	TECH.	STATUS	MODEL NO.	ANTENNA	SIZE	ADMPH	TP	HEIGHT
A	1	LTE 700	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	354"	14'-0"	17'-1"
	2	LTE 1900	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	343"	14'-0"	17'-1"
	3	UMTS 800	EXISTING	KATHREIN	800-10745	6'-4"	344"	14'-0"	17'-2"
	4	UMTS 1900	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	354"	14'-0"	17'-1"
B	1	LTE 700	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	189"	14'-0"	17'-1"
	2	LTE 1900	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	197"	14'-0"	17'-1"
	3	UMTS 800	EXISTING	KATHREIN	800-10745	6'-4"	186"	14'-0"	17'-2"
	4	LTE WCS	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	189"	14'-0"	17'-1"
C	1	LTE 700	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	253"	14'-0"	17'-1"
	2	LTE 1900	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	248"	14'-0"	17'-1"
	3	UMTS 800	EXISTING	KATHREIN	800-10745	6'-4"	245"	14'-0"	17'-2"
	4	LTE WCS	EXISTING	COMSCOPE	SRNH-1065B	6'-1"	253"	14'-0"	17'-1"
TOTALS				12 ANTENNAS				12 TMA'S	
								3 SURGE SUPPRESSORS	
								12 RRUS	
								3 FILTERS	
								12 COAX	



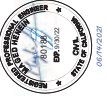
ANTENNA LAYOUT (EXISTING)



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SUL
CHECKED BY: MSH

REV	DATE	DESCRIPTION
5	06/10/21	PER J.K. COMMENTS
4	05/24/21	PER J.K. COMMENTS
3	06/01/20	CLIENT COMMENTS
2	05/19/20	CLIENT COMMENTS
1	06/01/19	CITY COMMENTS
0	07/02/19	ISSUED FOR CONSTRUCTION



IT IS THE POLICY OF BLACK & VEATCH NOT TO BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT UNLESS THE USER ACTS AS A LICENSED PROFESSIONAL ENGINEER. TO ALTER THIS DOCUMENT.

SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5C/LTE 6C

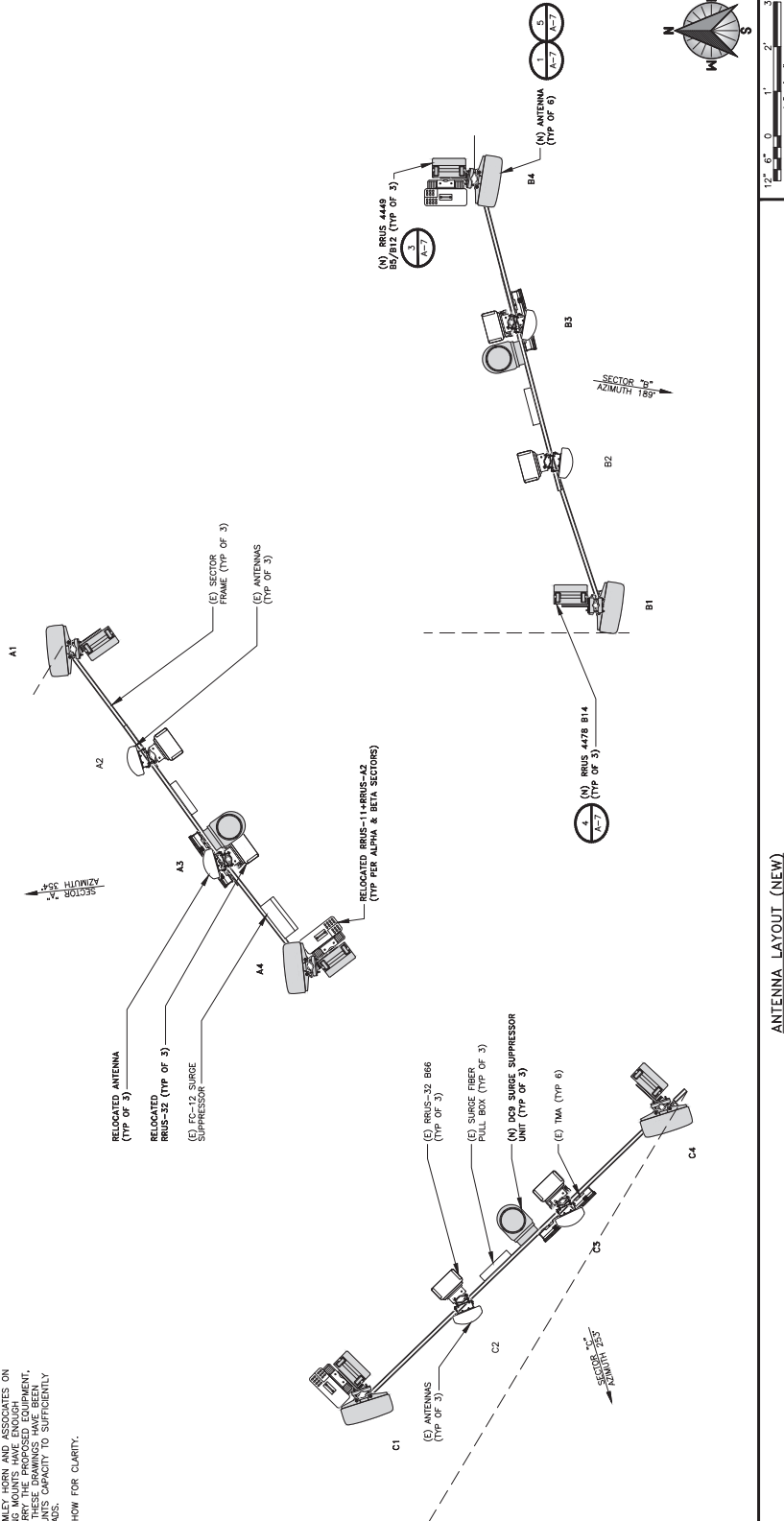
SHEET TITLE
ANTENNA LAYOUT
(EXISTING)

SHEET NUMBER
A-4

PROPOSED ANTENNA SCHEDULE													
SECTOR	POS.	TECH.	STATUS	ANTENNA MODEL NO.	SIZE /W/HT	RAD CENTER HEIGHT	TWA	SURGE SUPPRESSOR	REU	FILTER	FIBER & POWER	TRANSMISSION LINE COAX	LENGTH (ft)
A	1	LTE 700	NEW	KATHREIN 800-10985	6'-6" 354"	14'-0" 17'-3"	-	-	(1) B14 4478	-	-	-	-
	2	LTE AWS	EXISTING	COMSCOPE SRNH-1065B	6'-1" 343"	14'-0" 17'-1"	-	-	(1) RRUS-32 B66	-	-	-	-
	3	UMTS 850 LTE WCS	RELOCATED	COMSCOPE SRNH-1065B	6'-1" 344"	14'-0" 17'-1"	(2) ERICSSON TWA	-	(1) RRUS-32	-	-	2 1 5/8"	140'-0"
	4	700/850/1900 LTE	NEW	KATHREIN 800-10985	6'-6" 354"	14'-0" 17'-3"	-	-	(1) B5/B12 4449 (1) RRUS-11+A2	-	-	-	-
B	1	LTE 700	NEW	KATHREIN 800-10985	6'-6" 189"	14'-0" 17'-3"	-	-	(1) B14 4478	-	-	-	-
	2	LTE AWS	EXISTING	COMSCOPE SRNH-1065B	6'-1" 190"	14'-0" 17'-1"	-	-	(1) RRUS-32 B66	-	-	(6) DC TRUNKS	-
	3	UMTS 850 LTE WCS	RELOCATED	COMSCOPE SRNH-1065B	6'-1" 186"	14'-0" 17'-1"	(2) ERICSSON TWA	(3) DCS-46-60-24-9C	(1) RRUS-32	-	-	(3) DC TRUNKS	2 1 5/8" 140'-0"
	4	700/850/1900 LTE	NEW	KATHREIN 800-10985	6'-6" 189"	14'-0" 17'-3"	-	-	(1) B5/B12 4449 (1) RRUS-11+A2 (1) RRUS-32 B66	-	-	(3) 24-PAIR FIBER TRUNKS	-
C	1	700/850/1900 LTE	NEW	KATHREIN 800-10985	6'-6" 253"	14'-0" 17'-3"	-	-	(1) B5/B12 4449 (1) RRUS-11+A2	-	-	-	-
	2	LTE AWS	EXISTING	COMSCOPE SRNH-1065B	6'-1" 246"	14'-0" 17'-1"	-	-	(1) RRUS-32 B66	-	-	-	-
	3	UMTS 850 LTE WCS	RELOCATED	COMSCOPE SRNH-1065B	6'-1" 245"	14'-0" 17'-1"	(2) ERICSSON TWA	-	(1) RRUS-32	-	-	2 1 5/8"	140'-0"
	4	LTE 700	NEW	KATHREIN 800-10985	6'-6" 253"	14'-0" 17'-3"	-	-	(1) B14 4478	-	-	-	-
TOTALS						12 ANTENNAS	6 TWA'S	3 SURGE SUPPRESSORS	15 RRUS'S	0 FILTERS	-	6 COAX	-

NOTES

- THE PASSING STRUCTURAL ANALYSIS FOR THE EXISTING MOUNT HAS BEEN COMPLETED BY KIMLEY HORN AND ASSOCIATES ON APRIL 22, 2014. THE EXISTING MOUNTS HAVE ENOUGH STRENGTH TO SUPPORT THE EXISTING EQUIPMENT, THE PROPOSED EQUIPMENT, COAX, AND ANTENNA LOADS. THESE DRAWINGS HAVE BEEN SUBMITTED TO THE CITY ENGINEER FOR HIS REVIEW AND CAPACITY TO SUPPORT THE PROPOSED LOADS.
- PROPOSED BRANCHES NOT SHOWN FOR CLARITY.



43941 MAGNAN DR. SUITE 110
PLEASANTON, CA 94588

BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SML
CHECKED BY: MSH

2 - 27

STATE OF CALIFORNIA
PROFESSIONAL ENGINEER
06/10/2014
06/10/2020

IT IS THE POLICY OF B&V AND ANY SUBSIDIARY, CONTRACTOR, OR CONSULTANT, TO PROVIDE PROFESSIONAL ENGINEERING SERVICES ONLY TO LICENSED PROFESSIONAL ENGINEERS. UNLESS THE USER ACTS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, THIS DRAWING IS VOID.

SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5C/LTE 6C

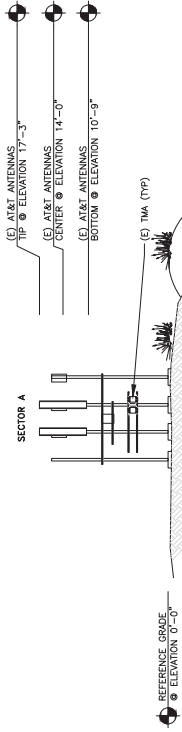
SHEET TITLE
ANTENNA LAYOUT
(NEW)

SHEET NUMBER
A-4.1

ANTENNA LAYOUT (NEW)

NOTE

A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH DATED JUNE 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT CAPACITY FOR THE PROPOSED IMPROVEMENTS.



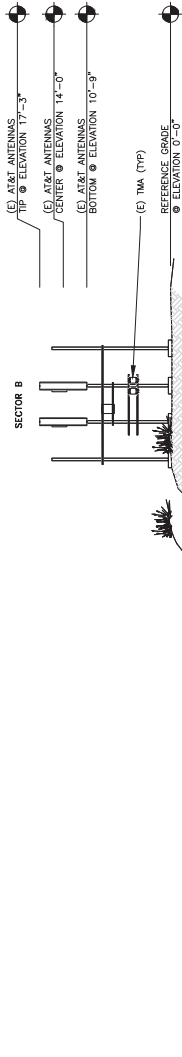
EXISTING NORTH ELEVATION

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NOTE

A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH DATED JUNE 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT CAPACITY FOR THE PROPOSED IMPROVEMENTS.



EXISTING SOUTH ELEVATION

B



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SUL
CHECKED BY: MSH

REV	DATE	DESCRIPTION
1	06/01/19	CITY COMMENTS
2	06/01/20	CLIENT COMMENTS
3	06/01/20	CLIENT COMMENTS
4	06/01/21	PER. JK. COMMENTS
5	06/01/21	PER. JK. COMMENTS



IT IS A VIOLATION OF ANY LAW OR PERSONAL
UNLESS THE USER ACTS UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER.
TO ALTER THIS DOCUMENT.

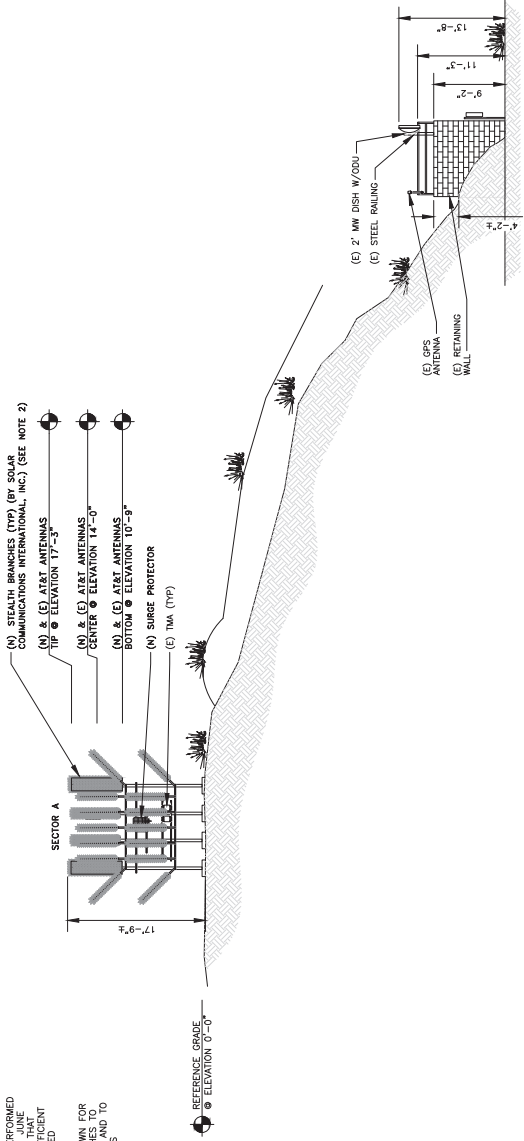
SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5G/LTE 6C

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-5

NOTES

1. A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH DATED JUNE 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT STRENGTH TO SUPPORT THE PROPOSED IMPROVEMENTS.
2. BRANCH QUANTITY NOT SHOWN FOR CLARITY. PROPOSED BRANCHES TO BE ADDED PER SDI DESIGN AND TO MATCH ATTACHED PHOTOGRAPHS

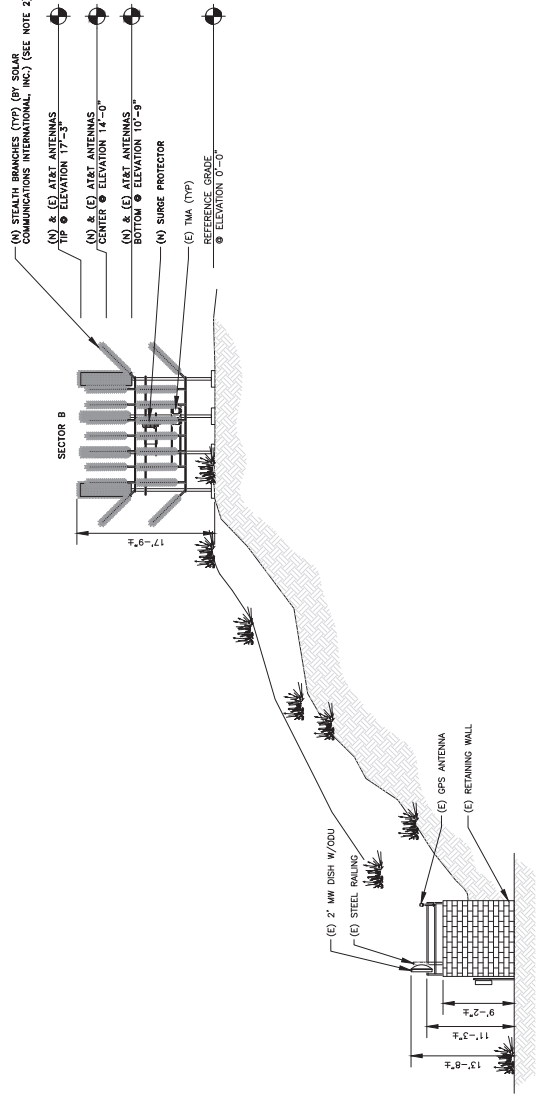


PROPOSED NORTH ELEVATION



NOTES

1. A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH DATED JUNE 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT STRENGTH TO SUPPORT THE PROPOSED IMPROVEMENTS.
2. BRANCH QUANTITY NOT SHOWN FOR CLARITY. PROPOSED BRANCHES TO BE ADDED PER SDI DESIGN AND TO MATCH ATTACHED PHOTOGRAPHS



PROPOSED SOUTH ELEVATION



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SAL
CHECKED BY: MSH

REV	DATE	DESCRIPTION
5	06/10/21	PER JK COMMENTS
4	05/24/21	PER JK COMMENTS
3	06/01/20	CLIENT COMMENTS
2	06/01/20	CLIENT COMMENTS
1	06/01/19	CITY COMMENTS
0	07/02/19	ISSUED FOR CONSTRUCTION



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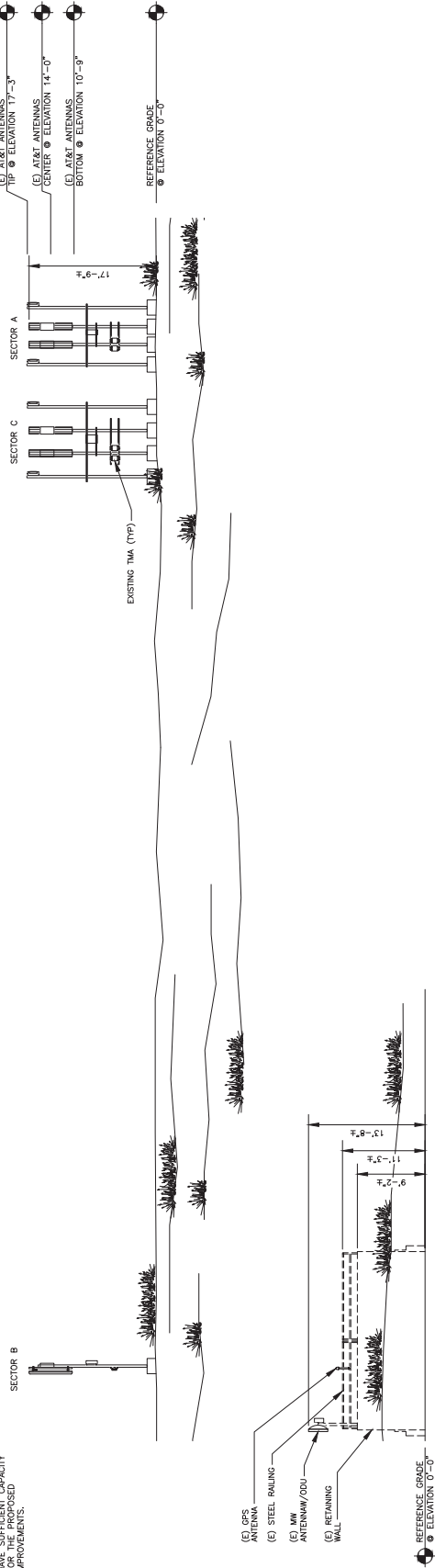
SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5G/LTE 6C

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-6

NOTE

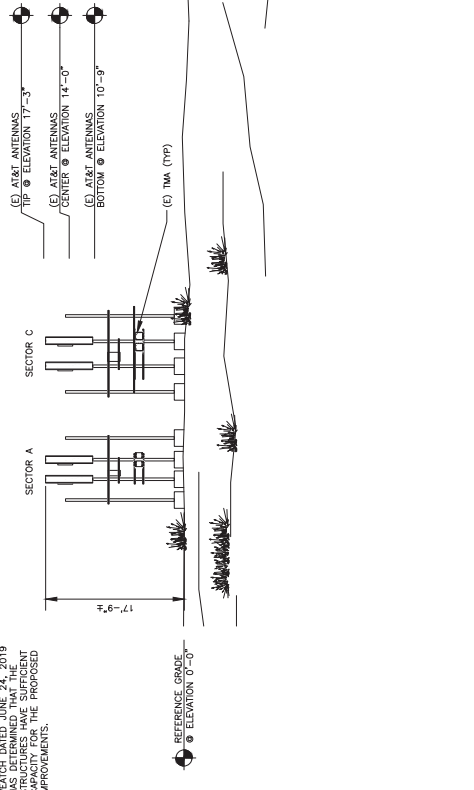
A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH, DATED JANUARY 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT CAPACITY FOR THE PROPOSED IMPROVEMENTS.



EXISTING EAST ELEVATION

NOTE

A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH, DATED JANUARY 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT CAPACITY FOR THE PROPOSED IMPROVEMENTS.



EXISTING WEST ELEVATION



4381 LAS VEGAS BLVD. SUITE 110
FALLBROOK, CA 92688



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S. EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SAL
CHECKED BY: MSH

2-30

REV	DATE	DESCRIPTION
1	06/01/19	CITY COMMENTS
2	06/01/20	CITY COMMENTS
3	06/01/20	CITY COMMENTS
4	06/01/21	PER. JK. COMMENTS
5	06/01/21	PER. JK. COMMENTS



I, DAVID J. SMITH, AM AN ENGINEER
UNLESS THE STATE OF NEVADA
OR A LICENSED PROFESSIONAL ENGINEER
HAS REVIEWED THIS DOCUMENT.

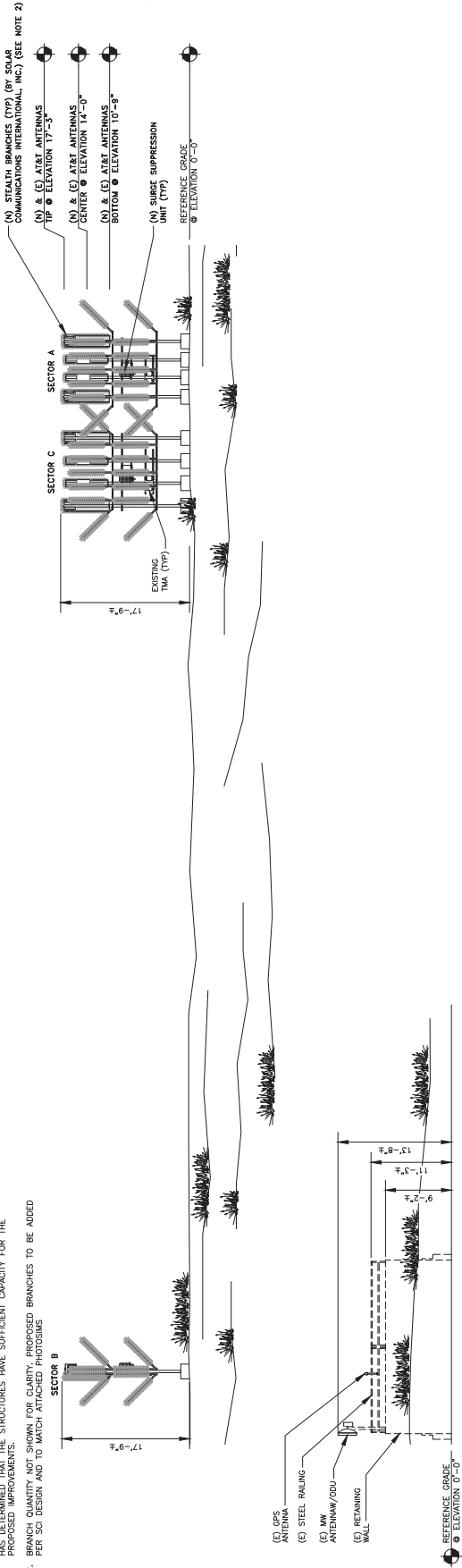
SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5G/LTE 6C

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-7

NOTES

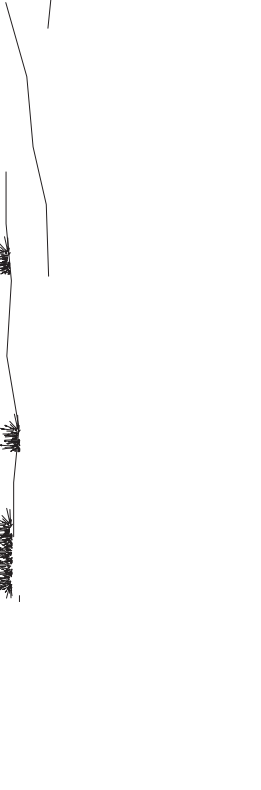
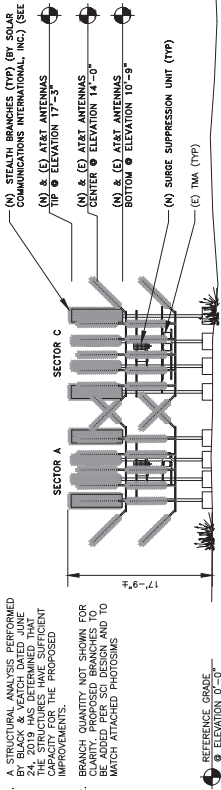
1. A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH DATED JUNE 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT CAPACITY FOR THE PROPOSED IMPROVEMENTS.
2. BRANCH QUANTITY NOT SHOWN FOR CLARITY. PROPOSED BRANCHES TO BE ADDED PER SDI DESIGN AND TO MATCH ATTACHED PHOTOGRAPHS.



PROPOSED EAST ELEVATION

NOTES

1. A STRUCTURAL ANALYSIS PERFORMED BY BLACK & VEATCH DATED JUNE 24, 2019 HAS DETERMINED THAT THE STRUCTURES HAVE SUFFICIENT CAPACITY FOR THE PROPOSED IMPROVEMENTS.
2. BRANCH QUANTITY NOT SHOWN FOR CLARITY. PROPOSED BRANCHES TO BE ADDED PER SDI DESIGN AND TO MATCH ATTACHED PHOTOGRAPHS.



PROPOSED WEST ELEVATION



BLACK & VEATCH
BLACK & VEATCH CORPORATION
8905 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO: 199711
DRAWN BY: SAL
CHECKED BY: MSH

2-31

REV	DATE	DESCRIPTION
5	06/10/21	PER J.K. COMMENTS
4	05/24/21	PER J.K. COMMENTS
3	06/01/20	CLIENT COMMENTS
2	05/09/20	CLIENT COMMENTS
1	06/01/19	CITY COMMENTS
0	07/02/19	ISSUED FOR CONSTRUCTION



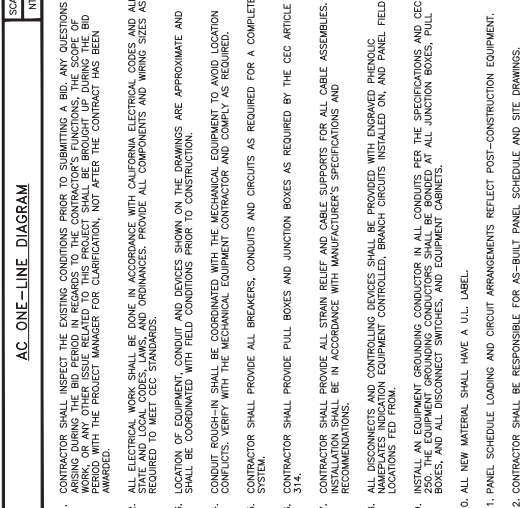
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SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5G/LTE 6C

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-8

[illegible]



AC ONE-LINE DIAGRAM

- CONTRACTOR SHALL MEET THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD. ANY QUESTIONS NOT BROUGHT UP DURING THE BID PERIOD WILL BE CONSIDERED AS NOT A PART OF THE PROJECT MATERIAL FOR COMPARISON. NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CALIFORNIA ELECTRICAL CODES AND ALL CITY ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET CEC STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE CORRELATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE CEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC LABELS TO IDENTIFY THE DEVICES. ALL DISCONNECTS, SWITCHES, AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC LABELS TO IDENTIFY THE DEVICES. ALL DISCONNECTS, SWITCHES, AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC LABELS TO IDENTIFY THE DEVICES.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND CEC ARTICLE 250.4(B)(1) THROUGH (4). PROVIDE ALL GROUNDING CONDUCTORS AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U/L LABEL.
1. PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.



LOAD CENTER SCHEDULE - SUB PANEL

NOTES





BLACK & VEATCH
BLACK & VEATCH CORPORATION
8965 S EASTERN AVENUE, SUITE 325,
LAS VEGAS, NV 89123

PROJECT NO:	199711
DRAWN BY:	SAL
CHECKED BY:	MSH

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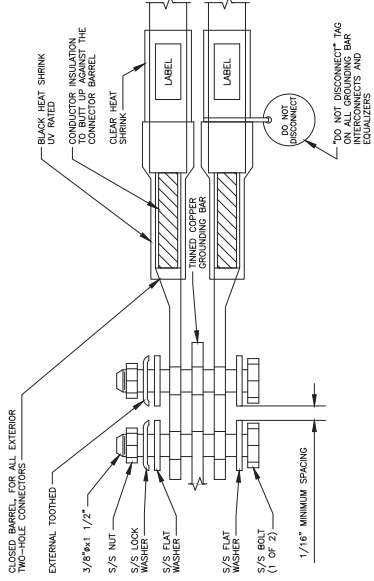
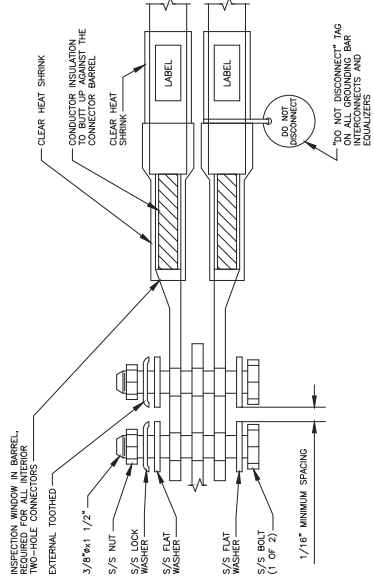
SD0113
PANKY FARM
4881 HIGHWAY 76
FALLBROOK, CA 92028
ANTENNA MOD/LTE 5C/LTE 6C

SHEET TITLE

GROUNDING DETAILS

G-2

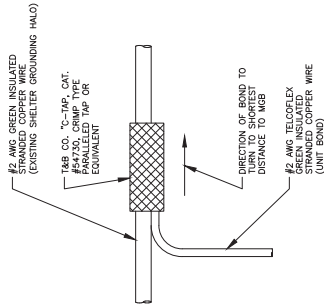
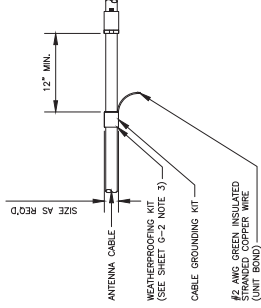
BACK SIDE

NOTES
SCALE

INTERIOR TWO HOLE LUG DETAIL

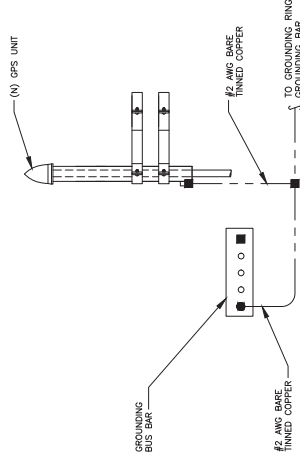
SCALE
A

EXTERIOR TWO HOLE LUG DETAIL



CABLE GROUNDING KIT TO ANTENNA CABLE

GROUNDING WIRE CONNECTION




NOT USED

SCALE

GPS ANTENNA GROUNDING

NOT USED

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CLIENT

PROJECT
17' RTRANSPARENT BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR
PRODUCTION

DRAWN BY
NGL
DATE
21APR20

REVISIONS	
REV.	CHANGES

ENGINEER SEAL

SHEET TITLE
PLAN VIEW

WISC PROJECT NUMBER

DRAWING NUMBER


PAGE NUMBER
RF-1

PLAN VIEW

SCALE: NONE

1

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PROJECT

17' RTRANSPARENT BUSH

LOCATION

PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR

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DATE: 21APR20

2 - 40

REVISIONS

REV. CHANGES DATE

ENGINEER SEAL

SHEET TITLE

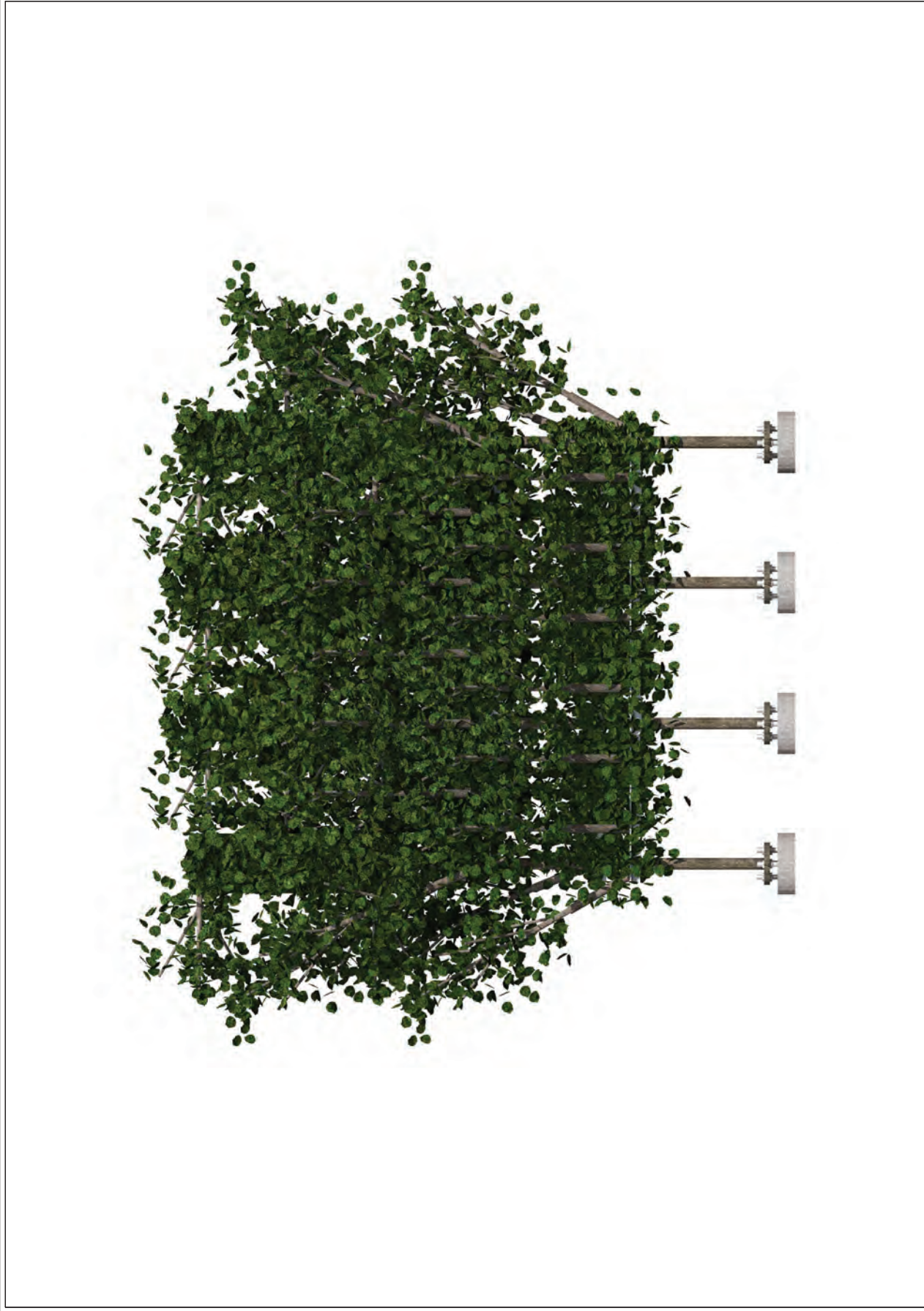
ELEVATION
VIEW

WISC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

RF-2



ELEVATION VIEW

SCALE: NONE

1



ISOMETRIC VIEW

SCALE: NONE

1

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PROJECT

17' RTRANSPARENT BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

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DATE: 21APR20

REVISIONS		DATE
REV.	CHANGES	

ENGINEER SEAL

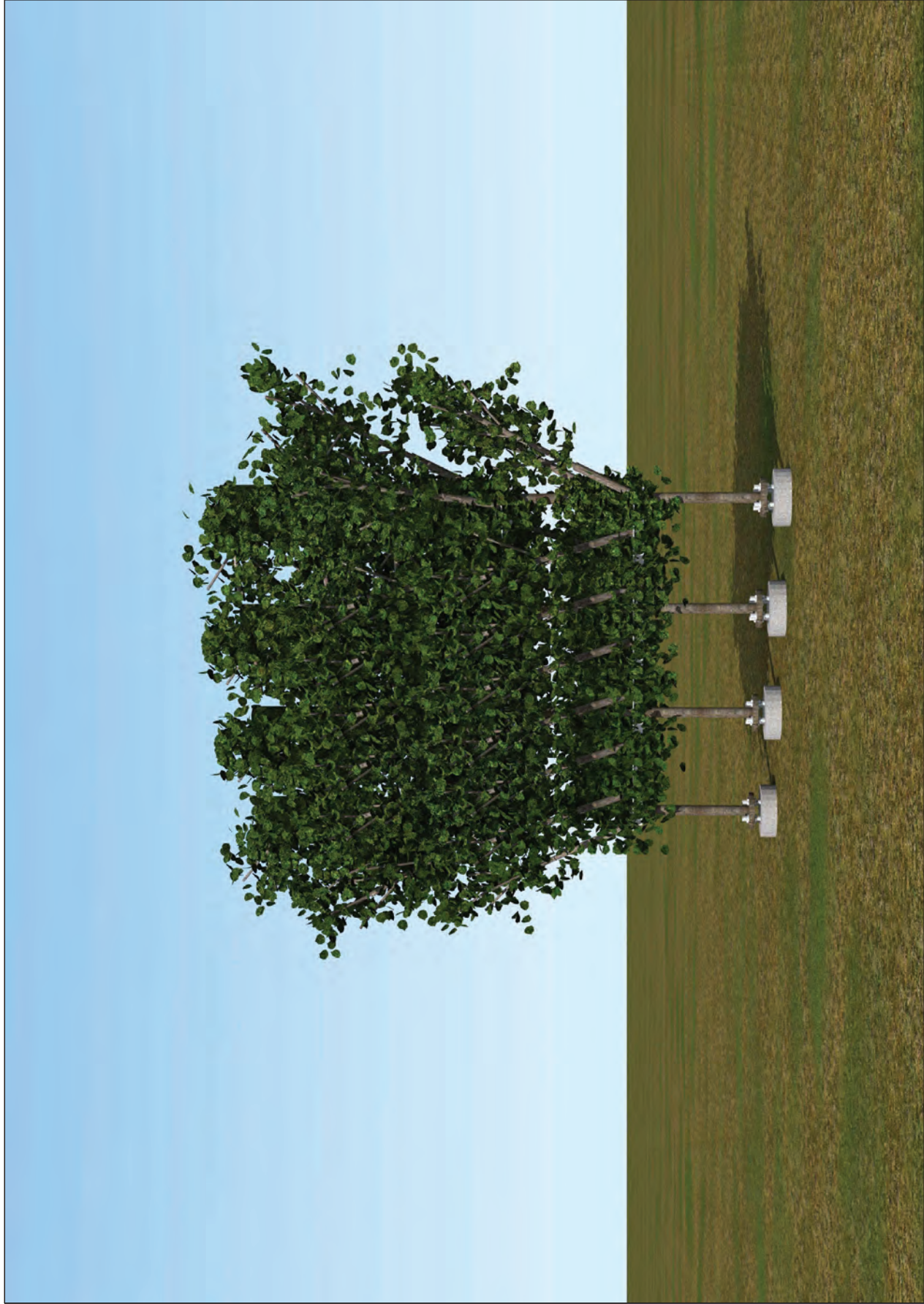
SHEET TITLE
**ISOMETRIC
VIEW**

WISC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER
RF-3

2-41



PERSPECTIVE VIEW

SCALE: NONE

1

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PROJECT

17' RTRANSPARENT BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR
PRODUCTION

DRAWN BY
NGL
DATE
LE 21APR20

REVISIONS	
REV.	CHANGES

ENGINEER SEAL

SHEET TITLE
PERSPECTIVE
VIEW

WISC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER
RF-4



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PROJECT _____
17' RFT/TRANSPARENT BUSH

LOCATION **PANKY FARM SD0113**
#844805

4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR _____

PRODUCTION

OW'N BY—CK'D BY—DA—
LE LE 15APR20

REV.	CHANGES	DATE
		43

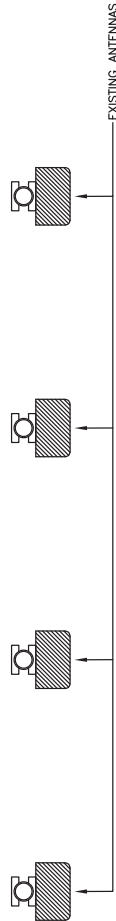
- ENGINEER SEAL -

PLAN
VIEW

MISC PROJECT NUMBER -

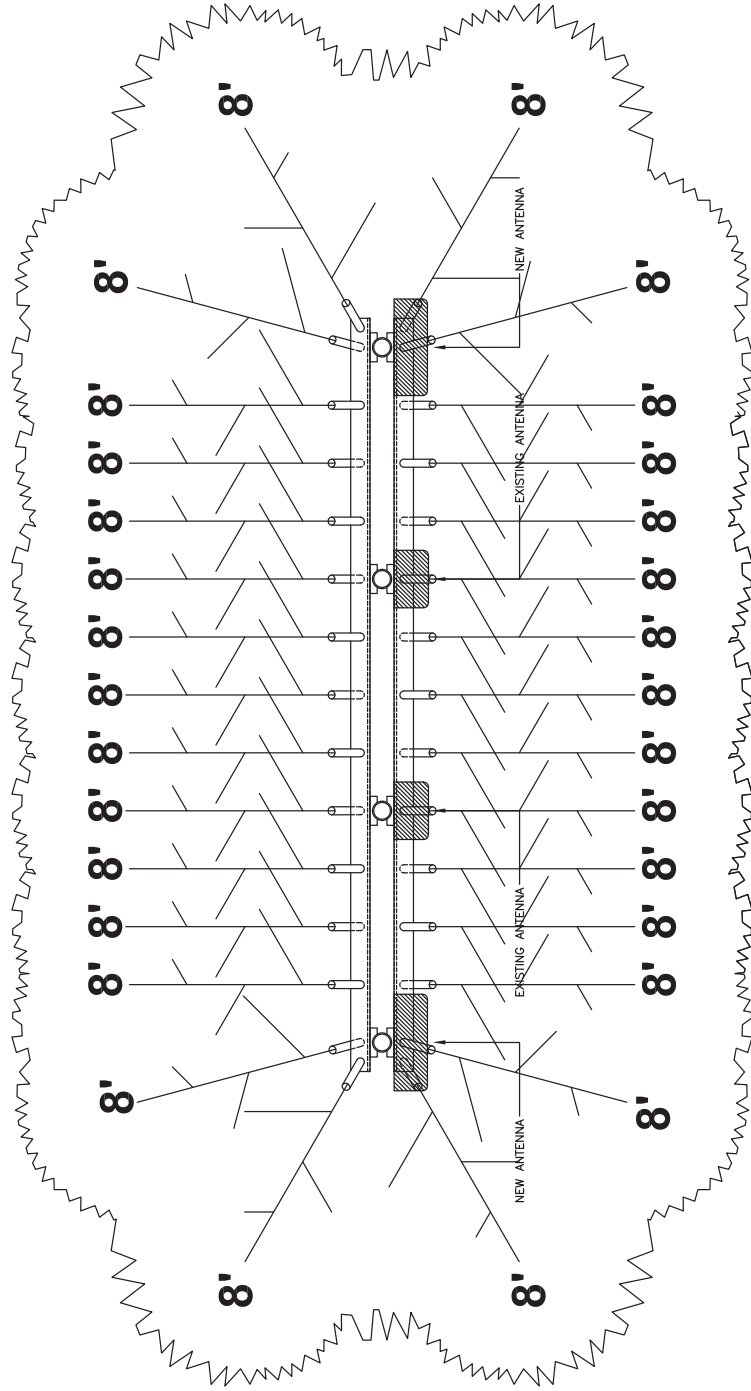
DRAWING NUMBER -

PAGE NUMBER _____



SECTOR "A", "B" & "C" EXISTING PLAN VIEW

SCALE:	1
NON	




NOTE:
BRANCHES AND ANTENNA SIFFEVS WITH EUC FOLIAGE

SECTOR "A", "B" & "C" NEW PLAN VIEW

SCALE:	2
NONE	

CONSULTANT



S&I
SOLAR COMMUNICATIONS
INTERNATIONAL, INC.
41745 ANZA ROAD
TERRACOTA, CA 95228
TEL (925) 698-0085
WWW.SANDI.COM

CONTRACT: 2000 STATE COMMUNICATIONS INTERNATIONAL, INC.
S&I HAS BEEN SELECTED TO PROVIDE DESIGN SERVICES FOR THE
INSTALLATION OF A 1000 KW SOLAR RADIANT HEATING SYSTEM AT
THE FALLBROOK, CA. S&I HAS BEEN SELECTED TO PROVIDE DESIGN
SERVICES FOR THE INSTALLATION OF A 1000 KW SOLAR RADIANT
HEATING SYSTEM AT THE FALLBROOK, CA. S&I HAS BEEN SELECTED
TO PROVIDE DESIGN SERVICES FOR THE INSTALLATION OF A 1000 KW
SOLAR RADIANT HEATING SYSTEM AT THE FALLBROOK, CA.

CLIENT

PROJECT
17' RETRANSFERENT BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 95228
SAN DIEGO COUNTY

ISSUED FOR
PRODUCTION

DW'N BY: CK'D BY: D
LE LE 15APR20

REVISIONS	
REV.	CHANGES

ENGINEER SEAL

SHEET TITLE
ELEVATION
VIEW

WSC PROJECT NUMBER

DRAWING NUMBER

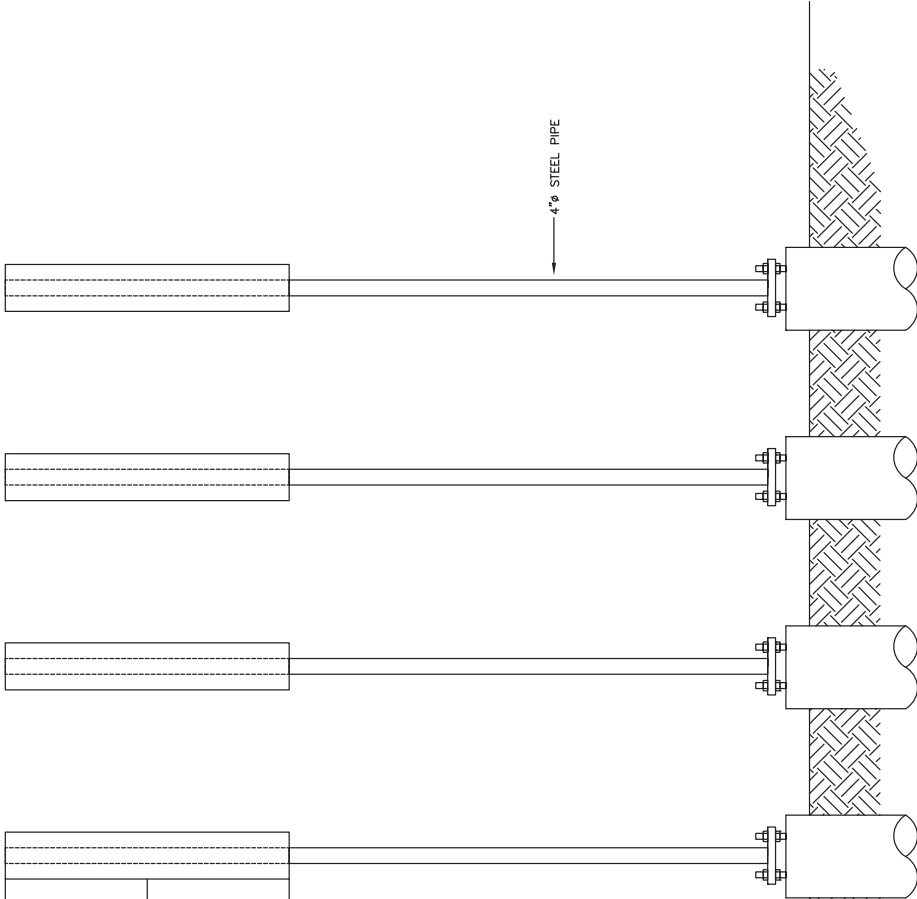
PAGE NUMBER
RF-2

TOP OF (E) STEEL & ANTENNAS
17'-0" A.G.L.

C.L. OF (E) ANTENNAS
14'-0" A.G.L.

BOTTOM OF (E) ANTENNAS
11'-0" A.G.L.

GROUND LEVEL
0'-0"




SECTOR "A", "B" & "C" EXISTING FRONT ELEVATION VIEW

SCALE: NONE

1

CONSULTANT



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SOLAR COMMUNICATIONS
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41745 ANZA ROAD
THERMIDON, CA 92582
TEL: (951) 698-0085
WWW.S&I.COM

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S&I HAS BEEN SELECTED BY THE CLIENT TO PROVIDE DESIGN AND
CONSTRUCTION SERVICES FOR THE PROJECT. S&I HAS AGREED TO
PROVIDE THE SERVICES FOR THE PROJECT ON THE BASIS OF THE
PROVISIONS OF THE STANDARD CONDITIONS OF CONTRACT, WHICH
ARE ATTACHED TO THIS CONTRACT. S&I HAS AGREED TO HOLD
THE CLIENT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES,
LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S
FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THE
CLIENT OR ANY OF ITS OFFICERS, EMPLOYEES OR AGENTS, AS A
RESULT OF THE PERFORMANCE OR NON-PERFORMANCE OF THE
SERVICES PROVIDED BY S&I.

CLIENT

PROJECT
17' RETRANSFER BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR
PRODUCTION

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LE 15 APR 20

REVISIONS	
REV.	CHANGES

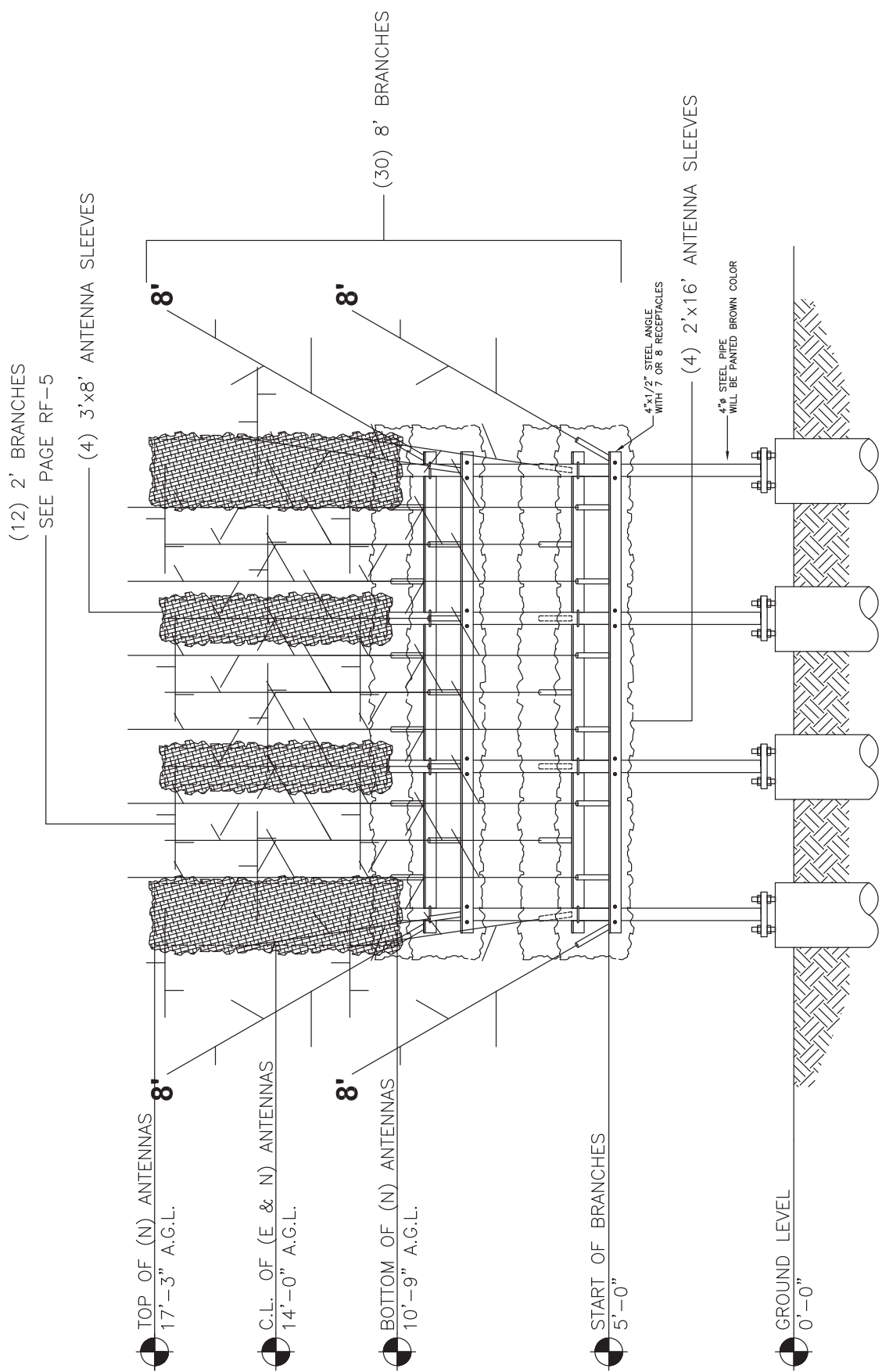
ENGINEER SEAL

SHEET TITLE
ELEVATION
VIEW

WSC PROJECT NUMBER


DRAWING NUMBER

PAGE NUMBER
RF-3



NOTE:
BRANCHES AND ANTENNA SLEEVES WITH EUC FOLIAGE

CONSULTANT



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41745 ANZA ROAD

TERRACOTA, CA 92582

TEL: (951) 680-0085

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CONTRACT: 2000 STATE COMMUNICATIONS INTERNATIONAL, INC.
 17' RETRANSFER BUSH
 4881 HIGHWAY 76
 FALLBROOK, CA 92028
 SAN DIEGO COUNTY
 PROJECT: 2000 STATE COMMUNICATIONS INTERNATIONAL, INC.
 17' RETRANSFER BUSH
 4881 HIGHWAY 76
 FALLBROOK, CA 92028
 SAN DIEGO COUNTY

CLIENT

PROJECT
17' RETRANSFER BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR
PRODUCTION

DWN BY: CKD BY: D
 LE LE 15APR20

REV.	CHANGES	DATE
1		
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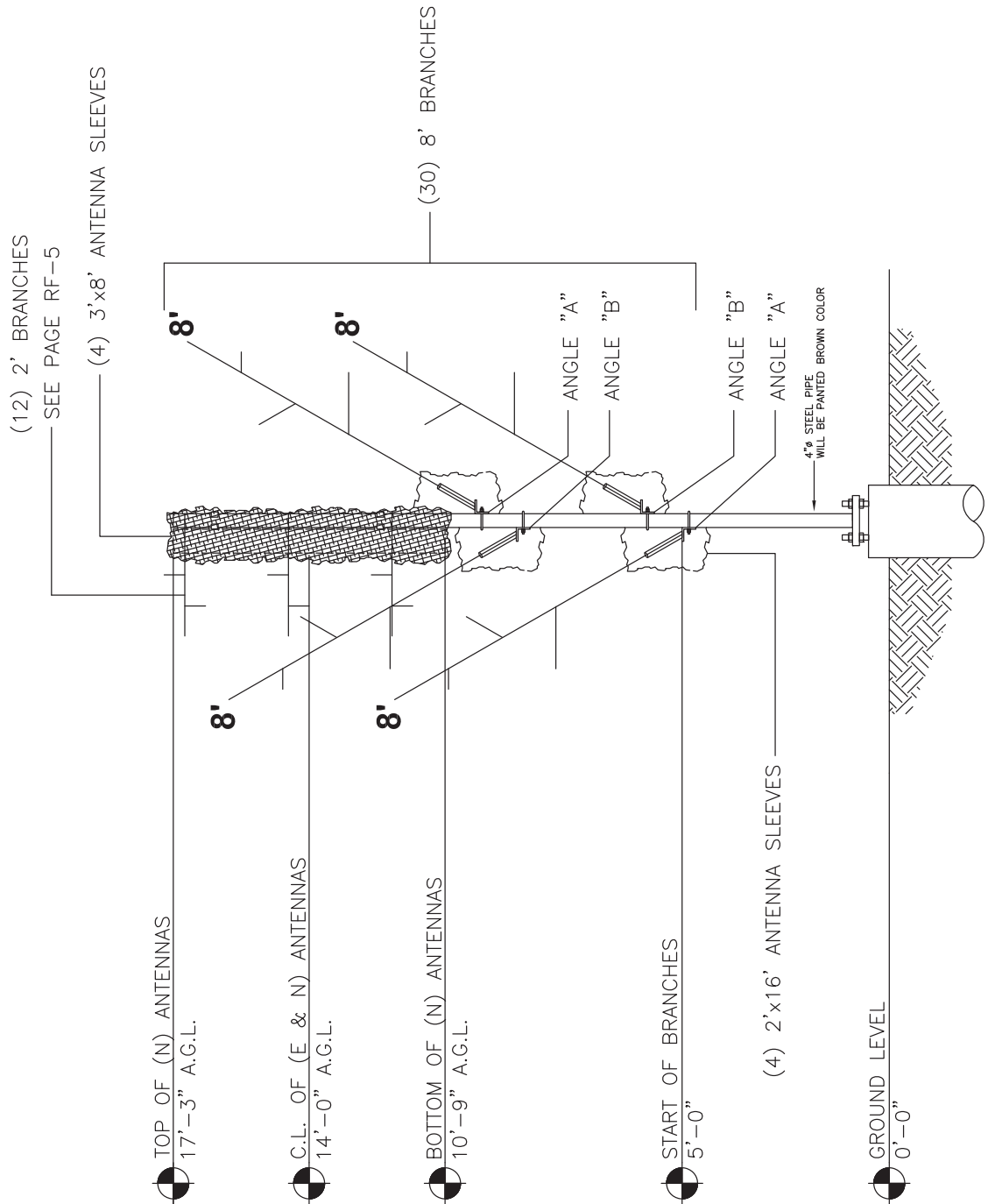
ENGINEER SEAL

SHEET TITLE
 ELEVATION VIEW

WSC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER
RF-4



NOTE:
 BRANCHES AND ANTENNA SLEEVES WITH EUC FOLIAGE

RF-6



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17' RFT/TRANSPARENT BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO COUNTY

ISSUED FOR _____
PRODUCTION _____

DOWN BY—CK'D BY—DA
LE LE 15APR20

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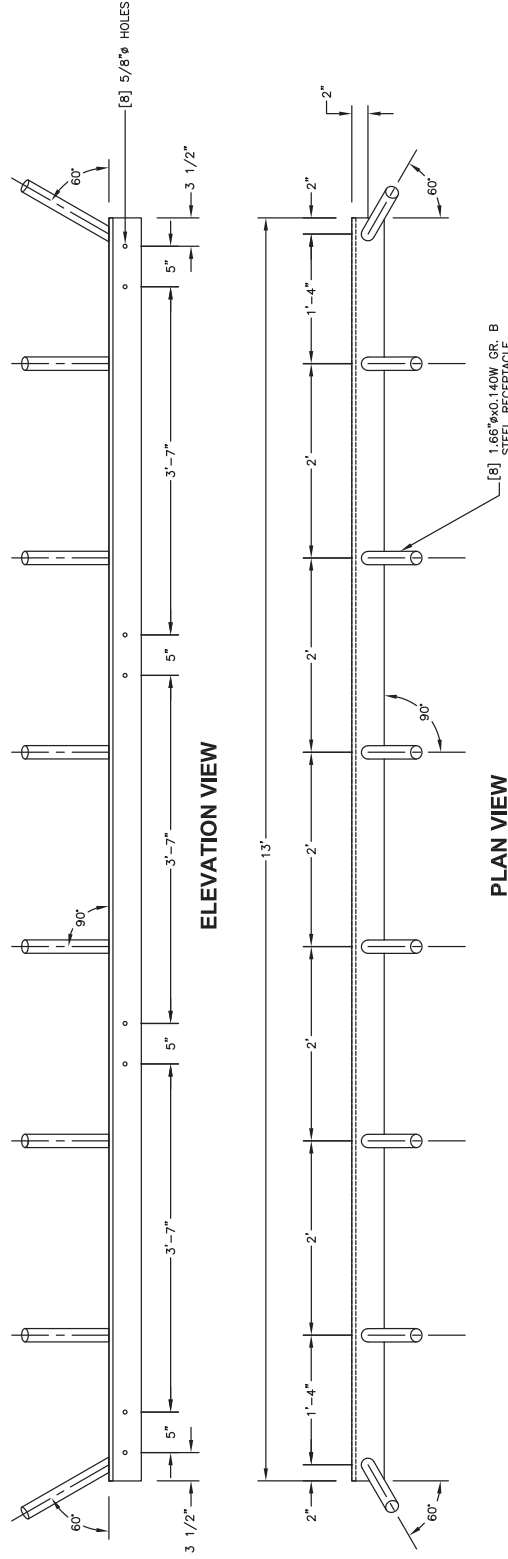
ENGINEER SEAL

DETAIL
VIEW

WISC PROJECT NUMBER:

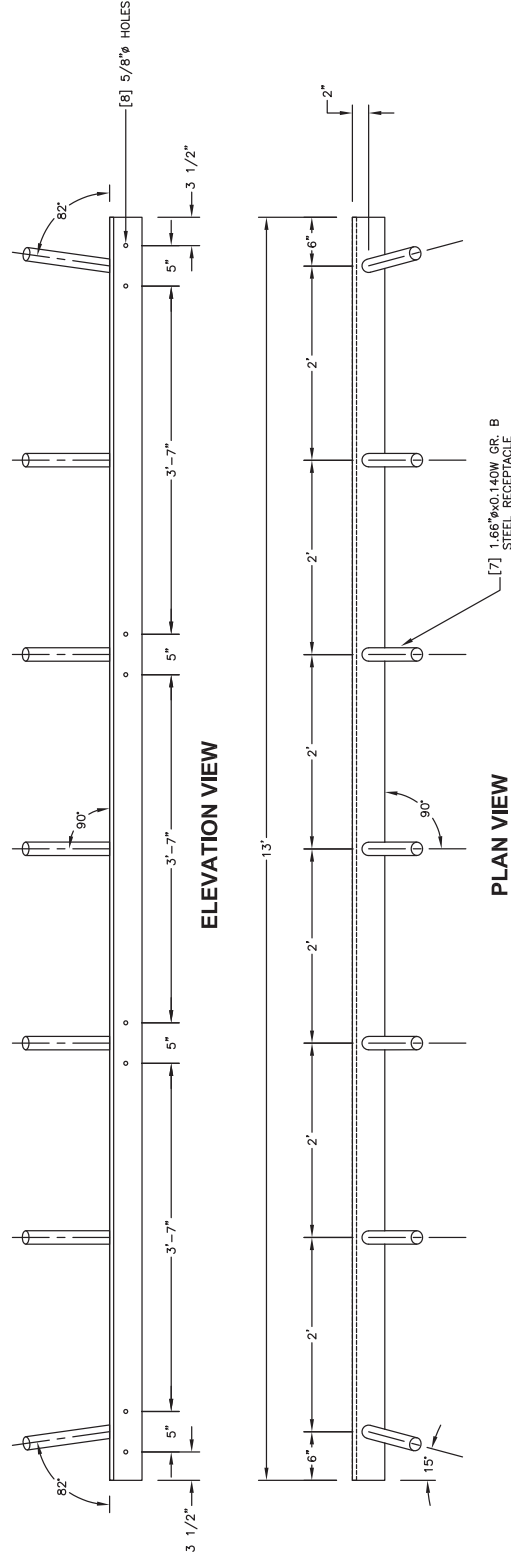
— DRAWING NUMBER —

PAGE NUMBER _____



STEEL ANGLE "A" 4"x1/2"x13'-0" PLAN & ELEVATION VIEW (6 REQUIRED)

SCALE:	1
NONE	



STEEL ANGLE "B" 4"x1/2"x13'-0" PLAN & ELEVATION VIEW (6 REQUIRED)

SCALE:	2
NONE	



AERIAL MAP VIEW

SCALE: SCALE: 1




EXISTING VIEW -1

PROPOSED VIEW -1

SCALE: SCALE: 3

CONSULTANT



S&T

S&T

SOLAR COMMUNICATIONS
INTERNATIONAL, INC.

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AVENUE, SUITE 207
SAN DIEGO, CA 92108
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CLIENT

PROJECT
17' RETRANSPARENT BUSH

LOCATION
PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO, COUNTY

ISSUED FOR
PRODUCTION

DRAWN BY: CKD BY: DATE: 29DEC20
NGL LE

REVISIONS	
REV.	CHANGES

ENGINEER SEAL

SHEET TITLE
PHOTOSIM


WISC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER
1



CONSULTANT



SOLAR COMMUNICATIONS
INTERNATIONAL, INC.

3800 SAN JUAN AVENUE
SUITE 207
SAN DIEGO, CA 92108
Tel: (619) 545-9700 Fax: (619) 545-2749
www.s&ttransparent.com

PROJECT

17' RETRANSPARENT BUSH

LOCATION

PANKY FARM SD0113

#844805

4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO, COUNTY

ISSUED FOR

PRODUCTION

DRAWN BY

DATE

NG

LE

29DEC20

REVISIONS

REV.

CHANGES

DATE

ENGINEER SEAL

CLIENT

2-51

SHEET TITLE

PHOTOSIM

WISC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

2



EXISTING VIEW-3

SCALE:
SCALE

1

PROPOSED VIEW-3

SCALE:
SCALE

2

CONSULTANT

S&T

SOLAR COMMUNICATIONS INTERNATIONAL, INC.
180 SAN MARINO AVE., SUITE 207
SAN MARINO, CA 91108
Tel: (619) 245-2700, Fax: (619) 245-2749
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PROJECT

17' RETRANSPARENT BUSH

LOCATION

PANKY FARM SD0113
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO, COUNTY

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NGL LE

REVISIONS	
REV.	CHANGES

ENGINEER SEAL

SHEET TITLE

PHOTOSIM

WISC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

3

Suite 207, San Diego, CA 92108
Tel: (619) 243-2750; Fax: (619) 243-2749
www.RFTransparent.com

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CLIENT -

PROJECT _____
17' RFT/TRANSPARENT BUSH

LOCATION **PANKY FARM SD0113**
#844805
4881 HIGHWAY 76
FALLBROOK, CA 92028
SAN DIEGO, COUNTY

ISSUED FOR _____
PRODUCTION

OWN BY—CK'D BY—DATE—
 NGL LE 29DEC20

[illegible]

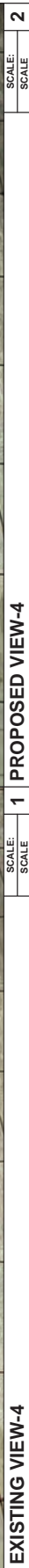
ENGINEER SEAL—

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PHOTOSIM

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DRAWING NUMBER -

PAGE NUMBER —



EXISTING VIEW-4

PROPOSED VIEW-4

SCALE:	2
SCALE	

**Attachment B – Form of Decision
Approving PDS2020-MUP-99-024W1**



DAHVIA LYNCH
Director

County of San Diego
PLANNING & DEVELOPMENT SERVICES

5510 OVERLAND AVENUE, SUITE 110, SAN DIEGO, CALIFORNIA 92123
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COMMISSIONERS

David Pallinger (Chair)
Yolanda Calvo (Vice Chair)
Douglas Barnhart
Ginger Hitzke
Ronald Ashman
Tommy Hough
Michael Edwards

October 20, 2022

PERMITTEE: CROWN CASTLE C/O AT&T
MAJOR USE PERMIT: PDS2020-ZAP-99-024W1
E.R. NUMBER: PDS2020-ER-99-02-037A
PROPERTY: 4881 Highway 76
APN(S): 125-063-09-00

DECISION OF THE ZONING ADMINISTRATOR

ORIGINAL MINOR USE PERMIT DECISION (3400-99-024)

Grant in substantial conformance with the replacement plot plan and elevation, dated January 8, 2001, consisting of six (6) sheets, a Minor Use Permit pursuant to Sections 1355, 2903 (b), and 7352(b) of The Zoning Ordinance to allow construction of an unmanned telecommunications facility consisting of three antenna arrays, with four antennas per array, mounted on twelve monopipes approximately 15 feet-in height, and seven radio and power cabinets on an approximately 223 square-foot concrete base located approximately 50 feet away.

The facility will be constructed within the southwest portion of a 62.48-acre site. The proposed project will be installed on the north and west slopes of a knoll, in near proximity to an existing Airtouch telecommunications facility (ZAP 96-006), which consists of a support structure with antennas located atop the knoll and a 390 square foot support building on the knoll's west slope.

MODIFICATION TO MINOR USE PERMIT DECISION (ZAP-99-024W1)

Grant, as per plot plan, equipment layout and elevations dated June 14, 2021, consisting of thirty-four (34) sheets approved concurrently herewith, a Minor Use Permit Modification for the renewal of the existing telecommunication facility pursuant to Section 6985 and 6991 of the Zoning Ordinance. This permit authorizes the continued use and maintenance of the existing 15-foot-tall telecommunication facilities. The Project includes adding stealth branching to the twelve existing 15-foot-tall monopipes. The addition of the branching will bring the height to 17'9" feet. The number of existing panels is twelve (four per sector), which will remain the same. Six of the existing antennas will be replaced, and three will be relocated. The number of existing Tower Mounted Antennas (TMAs) is 12 and will decrease to 6. The number of existing Remote Radio Unit (RRUs) is 12 and will increase to 15. Three filters will be removed, and the number of coax jumpers will decrease from 12 to 6. Other changes include installing three 24-pair fiber trunks, three DC trunks and one battery cabinet and removing one GSM cabinet.

The wireless telecommunication facility is considered "high visibility" and is located within a "residential zone", therefore, pursuant to Section 6985(c)(11) of the Zoning Ordinance, this Minor Use Permit Modification shall have a maximum term of 10 years (ending October 20, 2032 at 4:00 p.m.). This may be extended for an additional period of time through a modification of the Minor Use Permit if it is found that no smaller or less visible technology is available or feasible to replace the facility at that time.

MAJOR USE PERMIT MODIFICATION EXPIRATION: This Major Use Permit Modification shall expire on **October 20, 2024** at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Major Use Permit Modification has commenced prior to said expiration date.

.....

CONDITIONS FOR MAJOR USE PERMIT (3300-99-024)

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Major Use Permit. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

- A. Prior to obtaining any building, grading and/or clearing permit pursuant to this Minor Use Permit, prior to commencement of construction or use of the property in reliance on this Minor Use Permit, the applicant shall:
 - 1. Pay off all existing deficit accounts associated with processing this application to the satisfaction of the Department of Planning and Land Use.
 - a. Provide evidence for the approval of the Director of Planning and Land Use that at least 0.2 acre of Diegan coastal sage scrub habitat credit has been secured in a County approved mitigation bank, preferably in 1he North County. This will constitute acceptable off-site mitigation for the impact to 0.1 acres of Diegan coastal sage scrub associated with the development of ZAP 99-024 (2:1 mitigation).
 - b. Provide the Director of Planning and Land Use an accounting of the status of the Mitigation Bank. This shall include the total amount of credits available at the bank, the amount required by this project and the amount remaining after utilization by this project. This shall also identify the entity responsible for the maintenance and management of this bank and must include information regarding how the land will be protected in perpetuity.
 - 2. Submit to the Director, Department of Planning and Land Use a signed, stamped statement from a California Registered Engineer, or licensed surveyor that temporary fences have been placed to protect from inadvertent disturbance all native habitat outside of the identified project impact area. All temporary fencing shall be removed only after the conclusion of all grading, clearing and construction.

3. Submit to the Director, Department of Planning and Land Use a signed, stamped statement from a California Registered Engineer, or licensed surveyor that temporary fences have been placed to protect from inadvertent disturbance all native habitat outside of the identified project impact area. All temporary fencing shall be removed only after the conclusion of all grading, clearing and construction.
 4. Restrict activities such that no brushing, clearing, or grading shall be allowed during the breeding season of the California gnatcatcher. This is generally defined as occurring between February 15 through August 30. The Director of Planning and Land Use may waive this condition, through written concurrence from the United States Fish and Wildlife Service and the California Department of Fish and Game, that no California gnatcatchers are present in the vicinity of the brushing, clearing or grading. This condition shall be placed on all future plot, improvement and/or grading plans.
- B. Prior to any occupancy or use of the premises pursuant to this Minor Use Permit, the applicant shall:
1. Provide (ie, photographs) to the satisfaction of the Director of the Department of Planning and Land Use that the color of any visible equipment cabinets, monopipes, and antennas shall be green or tan, as appropriate, with a non-reflective finished surface.

Upon certification by the Director of Planning and Land Use for occupancy or establishment of use allowed by this Minor Use Permit, the following conditions shall apply:

- C. The access road shall be well maintained.
- D. The equipment shall be well maintained.
- E. Any visible portions of the antennas and cabinets shall be painted as stated above in B.1.
- F. Remove equipment from the site when no longer in use.
- G. Restrict activities such that no brushing, clearing- or grading shall be allowed during the breeding season of the California gnatcatcher. This is generally defined as occurring between February 15 through August 30. The Director of Planning and Land Use may waive this condition, through written concurrence from the United States Fish and Wildlife Service and the California Department of Fish and Game, that no California gnatcatchers are present in the vicinity of the brushing, clearing or grading. This condition shall be placed on all future plot, improvement and/or grading plans.

CONDITIONS FOR MINOR USE PERMIT MODIFICATION (ZAP-99-024W1)

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Site Plan. Where specifically indicated, actions are required prior to the approval of

any grading, improvement, or building plan, and the issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

1. **GEN#1–COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO] INTENT:** In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. DESCRIPTION OF REQUIREMENT: The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.

2. **GEN#2–RECORDATION OF DECISION: [PDS], [GP, CP, BP, UO]**
INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an ‘all-purpose acknowledgement’ and return the original Recordation Form to PDS. **DOCUMENTATION:** Signed and notarized original Recordation Form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder’s Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

3. **GEN#3–INSPECTION FEE**
INTENT: In order to comply with Zoning Ordinance Section 7362.e, the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the *[PDS, ZC]* to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information *[PDS, PCC]*. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The *[PDS, ZC]* shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

4. **PLN#1–PHOTO SIMULATION (WIRELESS): [PDS, PCC] [UO, FG] [PDS, FEE]**

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photo-simulations. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved photo-simulations dated April 1, 2022 to ensure that the site was built to be screened from public view.

- a. Each panel antenna mounted to the mono-broadleaf must be covered with a “sock”.
- b. Both the interior and exterior of the CMU block wall enclosure must be painted to match the color of the existing single-family residence.

DOCUMENTATION: The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the provided photos for compliance with this condition and compliance with the photo-simulations.

5. **PLN#2–SITE PLAN IMPLEMENTATION: [PDS, BI] [UO] [DPR, TC, PP].**

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes but is not limited to: installing all required design features, painting all structures with the approved colors, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit). **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, Building Inspector] and DPR [TC, PP] shall inspect the site for compliance with the approved Building Plans.

6. **NOISE#1–NOISE REQUIREMENT [PDS, FEE X1]**

INTENT: In order to reduce the impacts of the installation of any generator or any external noise-generating device, that would use the external power stub (generator receptacle) and to comply with the [County of San Diego Noise Ordinance 36.404](#) as evaluated in the [County of San Diego Noise Guidelines for Determining Significance](#), the following requirements shall be continued for the life of this permit. **DESCRIPTION OF REQUIREMENT:** Prior to the installation of any generator or any external noise-generating device, that would use the external power stub and/or proposed pad location approved with this Use Permit, the permittee shall obtain approval of a minor deviation or modification:

- a. The minor deviation shall comply with Zoning Ordinance Sections 7609 and 6985.b as defined by 6983.I for Invisible – Facilities. Upon the approval of the minor deviation, the proposed generator shall comply with the County Noise Ordinance Section 36.404.
- b. Failure to comply with the invisibility standards of Zoning Ordinance Section 6983.I, and compliance with the County Noise Ordinance Section 36.404, will require an application and subsequent approval of a Modification to this Use Permit before any generator can added or used on the site.

DOCUMENTATION: The property owner and permittee shall comply with the permittee or property owner chooses to install a generator unit associated with the cellular facility, they must apply for a Deviation or Modification of this permit pursuant to the County of San Diego Zoning Ordinance. **TIMING:** Prior to the installation of any generator or any external noise-generating device, that would use the external power stub and/or proposed pad location approved with this Use Permit, the permittee shall obtain approval of a minor deviation or modification to the approved plot plan and provide proof that the device complies with the County Noise Ordinance. **MONITORING:** The County Noise Specialist shall review all proposed generator unit installation and ensure that the project complies with on-going noise ordinance standards. The *[PDS, Code Enforcement Division]* is responsible for enforcement of this permit.

7. **HAZ#1–HEALTH AND SAFETY PLAN**

INTENT: In order to protect workers from hazardous chemicals and to notify the public of potential hazardous chemicals and substances and to comply with the California Health and Safety Code, Chapter 6.95, the applicant shall receive approval from the Department of Environmental Health and Quality. **DESCRIPTION OF REQUIREMENT:** The applicant of the facility shall obtain all necessary permits for the storage, handling, and disposal of the hazardous materials as required by the Department of Environmental Health and Quality-Hazardous Materials Division. The plan shall be approved by [DEH, HMD]. The Hazardous Materials Division, Plan Check section contact is Sayed Khalid, (858) 935-0028 or by email at sayed.khalid@sdcounty.ca.gov. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Health and Safety Plan, and Hazardous Materials Business Plan shall be prepared, approved and implemented. **MONITORING:** [DEHQ, HMD] shall verify and approve all compliance with this condition.

ONGOING: *(The following conditions shall apply during the term of this permit).*

8. **PLN#3–SITE CONFORMANCE**

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plans, building plans, and plot plans. This includes but is not limited to maintaining the following: painting all necessary aesthetics design features, and all lighting wall/fencing. Failure to conform to the approved plot plans; is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **Documentation:** The property owner and

permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a deviation or a modification pursuant to the County of San Diego Zoning Ordinance. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter that cannot be seen by an adjacent residence, parcel or roadway, shall not require modification or deviation of the permit. Expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require a modification or deviation. **Timing:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **Monitoring:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

9. PLN#4–SITE CONFORMANCE (WIRELESS): [PDS, PCO] [OG].

INTENT: In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility and associated equipment shelter, as depicted in the approved photo simulations dated April 1, 2022. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit).
- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

DOCUMENTATION: The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plans; is an unlawful use of the land and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

10. **ROADS#1–PRIVATE ROAD MAINTENANCE**

INTENT: In order to ensure that the on and offsite private roads are maintained and not damaged during construction and during the term of the permit, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for the repair of any damage caused by this Project during construction and the term of this permit to on-site and offsite private roads that serve the Project. Furthermore, the applicant is responsible for maintenance on a proportional basis (number of trips) during the term of this permit to on-site and offsite private roads that serve the Project. **DOCUMENTATION:** The applicant shall assume responsibility pursuant to this condition. **TIMING:** Upon establishment of use, this condition shall apply during the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

MAJOR USE PERMIT FINDINGS FOR 3300-99-024

- a. That the location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures, with consideration given to:

1. Harmony in scale, bulk, coverage and density;

The project proposes an unmanned telecommunications facility consisting of 12 monopipes with a total of twelve (12) panel antennas (6' high by 4' wide): one (1) primary cabinet, two (2) power cabinets, three (3) growth cabinets, and one (1) telco/power cabinet; to be located within an approximately 223 square-foot lease area in the southwest portion of an approximately 62.48-acre site.

Scale: The proposed 12 monopipes (approximately 15 feet in height) and panel antennas, will be in conformance with existing onsite 13-foot-high antennas and a digital dish antenna. The proposed equipment cabinets, located on a concrete base set into the slope through use of a retaining wall (maximum 8 feet high), will be painted to match the background vegetation and will be consistent in scale with the other telecommunications facilities in the area. scale with the other telecommunications facilities in the area. The existing mature citrus orchard will also screen the equipment cabinets.

Bulk: The bulk of the project is minimal, and is compatible with the existing onsite monopipes, digital dish antenna, and equipment structure. The existing mature citrus orchard will screen the equipment cabinets.

Coverage: The project will cover approximately 223 square-feet of the 62.48-acre site, or less than 1.0 percent of the site. This represents a minimal change in overall site coverage.

Density: There will be no change in density because the proposed use is non-residential.

2. The availability of public facilities, services and utilities;
The project proposes an unmanned telecommunications facility that will require maintenance service approximately once a month. The project will be accessed by an existing dirt road, which will be widened to 12 feet and paved. Vehicles will utilize the improved access road off via the cul-de-sac of Pankey Road, a paved public road. There is adequate parking onsite. Electrical and telephone service will be extended onsite from existing power poles. Therefore, the project will not have a harmful effect on the availability of public facilities, services, or utilities.
3. The harmful effect, if any, upon desirable neighborhood character;
The proposed telecommunications facility will be located on the west side of a knoll in an existing mature citrus grove. The dominant existing land use in the vicinity of the proposed project is agricultural. Immediately surrounding the proposed project are citrus groves and a private reservoir used for agriculture irrigation. Northeast of the proposed project is agriculture use and open space (San Luis Rey River), while southeast of the proposed project is low density residential. A limited area of business activity is located west of the proposed project, at the State Route 76/Interstate 15 interchange. Interstate 15 is at an elevational difference of approximately 131 feet below the project site. West of Interstate 15 is some low-density residential use. The facility will be installed on the north and northwest slopes of the knoll, a considerable distance away from surrounding uses. The project will not disrupt the surrounding residential area or the overall operation of the grove, thereby maintaining the existing character. Therefore, the proposed project will not have a harmful effect on neighborhood character or planned land use because of the considerable distance to residential uses and because the existing development will not be materially altered.

The project proposes only minimal grading to install a concrete retaining wall and to improve the access road, therefore, the existing landform remains unaltered. The facility will produce no noise or glare. Maintenance activities will not occur after daylight hours except in emergency situations. The facility is similar in scale and building material to the existing Airtouch equipment shelter onsite.

4. The generation of traffic and the capacity and physical character of surrounding streets;

The project proposes an unmanned telecommunications facility that will require monthly maintenance. The two vehicle trips (one in, one out) per month that will be generated by the project will not impact the capacity and physical character of surrounding streets. The facility will be accessed off a private dirt road directly accessed from Pankey Road, a paved public road that provides access to the adjacent agricultural operation.

5. The suitability of the site for the type and intensity of use or development which is proposed;

The proposed facility will encumber only a small portion (223 square feet) of the 62.48-acre site. Access to the project site will be provided by a private access easement via a 12 feet wide paved road, to be accessed off a paved public road. Required electrical and telephone utilities are available onsite to serve the unmanned facility. The project proposes no grading. Drainage patterns will not be altered. The site has been disturbed by previous agriculture activity and existing telecommunications use. The facility will not disrupt any existing buildings onsite. The one vehicle that will visit the site each month will be able to park onsite while maintenance duties are performed. Therefore, the site is suitable for the type and intensity of development that is proposed by the project.

6. Any other relevant impact of the proposed use.
No other impacts have been identified.

- b. That the impacts, as described in Paragraph "a" of this section and the location of the proposed use will be consistent with the San Diego County General Plan. The proposed project is subject to Regional Land Use Element Policy 1. 7 Special Study Areas (SSA) and General Plan Land Use Designation (21) Specific Plan Area. The (21) Specific Plan Area Land Use Regulation is used where a specific plan has been adopted or must be adopted prior to development. No SPA has been submitted. The Fallbrook Community Plan stipulates that until the Interstate 15/Highway 76 Interchange Master Specific Plan is adopted, the land uses allowed shall be those allowed by the S90 Use Regulation in The Zoning Ordinance. Consistent with this Land Use Designation, the subject property is zoned S90 Holding Area Use and A72 General Agriculture. The proposed facilities are located in the portion of the property zoned S90. The S90 Zone permits cellular antenna facilities under the Minor Impact Utilities use type pursuant to The Zoning Ordinance Section 2904 (b), subject to approval of a minor use permit. The subject project will not conflict with the anticipated future residential development of the SPA because Minor Impact Utilities, which include telecommunications facilities, are currently allowed in residential areas through the Minor Use Permit process. Therefore, the proposed project is consistent with plan and zone. The Public Safety Element policies encourage continual improvement of a County-wide telephone communications system. The proposed facility improves the service capability for a consumer oriented communications company. Therefore, the proposed use is consistent with the San Diego County General Plan.
- c. That the requirements of the California Environmental Quality Act have been complied with A Negative Declaration has been prepared for this project and is on file at the Department of Planning and Land Use of the County of San Diego (File #99-02- 037.)

Public notification was completed as required by CEQA for the Negative Declaration. No negative comments were received: The Wildlife Agencies have reviewed and approved a Habitat Loss Permit (HLP 00-004) for 0.1 acres of Coastal Sage Scrub.

MINOR USE PERMIT MODIFICATION FINDINGS FOR ZAP-99-024W1

Pursuant to Section 7358 (see Section 7359 for findings required for permits filed pursuant to Regional Land Use Element 3.8) of The Zoning Ordinance, the following findings in support of the granting of the Minor Use Permit Modification are made:

(a) The location, size, design, and operating characteristics of the proposed use would be compatible with adjacent uses, residents, buildings, or structures with consideration given to:

1. Harmony in scale, bulk, coverage, and density

The 62.47-acre subject property is developed an existing cell site facility. The proposed modification to the unmanned wireless telecommunication facility would consist of rebranching the twelve existing 17-foot-tall monopipes and painting the equipment enclosure to match the surrounding areas. The wireless telecommunication facility, including the equipment enclosure that is located behind a 9'2" concrete masonry wall. The dominant existing land use in the vicinity of the proposed project is agricultural. Immediately surrounding the proposed project are citrus groves and a private reservoir used for agricultural irrigation. Northeast of the site is agricultural operation and open spaces and southeast is residential developments.

Scale and Bulk:

Photo simulations on file with Minor Use Permit Modification ZAP-99-024W1 illustrate that the existing wireless telecommunication facility and the associated equipment enclosure are unobtrusive to the surrounding viewshed. The view from the surrounding area would be minimized because the proposed project is designed to be camouflaged and it is strategically placed within the existing avocado grove, so that it would blend into the surrounding vegetation and topography. The Modification proposes rebranching of the existing 12 monopipes, installation of "socks" over all antennas and RRUs and equipment to be painted dark green matching the existing vegetations in the area to further camouflage the facility. In addition, the Modification proposes to paint both the interior and exterior of the CMU block wall equipment enclosure to match the color of the adjacent single-family residence. The project is compatible with adjacent uses in terms of scale and bulk because of the camouflaged design, the existence of other vertical elements such as the existing citrus and avocado trees, other mature vegetation, and the adjacent single-family residence. Therefore, the proposed wireless telecommunication facility would be consistent with the scale and bulk of the surroundings.

Coverage:

The subject parcel is 62.47 acres in size. The wireless telecommunication facility is located on a parcel that is developed with an existing citrus and avocado grove. The lease area for this unmanned wireless telecommunication facility totals approximately 223 square-feet (less than 1% lot coverage). Due to the small footprint of the facility, the addition of the proposed wireless telecommunication facility would maintains similar coverage with surrounding parcels.

Density:

The project is a Minor Use Permit Modification for the authorization of the placement continued operation of an existing wireless telecommunication facility and does not have a residential component subject to density.

2. The availability of public facilities, services, and utilities

The project is located within the North County Fire Protection District and has been reviewed and found to be FP-2 compliant by the County Fire Marshal. The project would not require water or sewer services. Electrical and telephone service will be extended onsite from existing power poles. All required utilities are therefore available for the project.

3. The harmful effect, if any, upon desirable neighborhood character

The project would not adversely affect the desirable neighborhood character because the project is designed to be camouflaged. The equipment shelter is located within a CMU enclosure to conceal it from the surrounding properties and will be painted to match the surrounding areas. Photo simulations on file with Minor Use Permit Modification MUP-99-024W1 illustrate that the line, form, and color of the facility is largely consistent with other elements that make up the visual setting of the area, such as the existing citrus and avocado trees and matured vegetations. Furthermore, the project was reviewed for noise impacts and determined to be consistent with the County Noise Ordinance. The project, as designed, would not cause any substantial, demonstrable negative aesthetic effect to views from the surrounding area and roadways. Therefore, the project would not have a harmful effect on the neighborhood character.

4. The generation of traffic and the capacity and physical character of surrounding streets

The traffic generated from the project is expected to be one to two maintenance trip(s) per month and would utilize Pankey Road, a public road; for access. Existing parking is available on the property. The use associated with this Minor Use Permit Modification would be compatible with the existing rural nature of the area because the number of maintenance trips will not substantially alter the expected traffic or physical character of the surrounding streets and would be compatible with adjacent uses. Therefore, the number of maintenance trips would not substantially increase or alter the physical character of the surrounding streets.

5. The suitability of the site for the type and intensity of use or development which is proposed

The applicant proposes a Minor Use Permit Modification for the continued operation and maintenance of an existing unmanned wireless telecommunication facility. The subject property is 62.47 acres in size. The continuation of use and maintenance of the existing wireless telecommunication facility would not require significant alteration to the landform. The project, as designed, would be camouflaged and would not change the characteristics of the area and is suitable for this site and the type and intensity of uses and development. For reasons stated above, the proposed project would be compatible with adjacent land uses.

6. Any other relevant impact of the proposed use

None identified.

- (b) The impacts, as described in Findings (a) above, and the location of the proposed use would be consistent with the San Diego County General Plan.

The (21) Specific Plan Area Land Use Regulation is used where a specific plan has been adopted or must be adopted prior to development. The Fallbrook Community Plan stipulates that until the Interstate 15/Highway 76 Interchange Master Specific Plan is adopted, the land uses allowed shall be those allowed by the S88 Use Regulation in the Zoning Ordinance. Consistent with this Land Use Designation, the subject property is zoned S88 Specific Plan Area and A72 General Agriculture. The proposed facilities are located in the portion of the property zoned S88. The S88 Zone permits cellular antenna facilities under the Minor Impact Utilities use type pursuant to The Zoning Ordinance Section 2904 (b), subject to approval of a minor use permit. The subject project will not conflict with the anticipated future residential development of the SPA because Minor Impact Utilities, which include telecommunications facilities, are currently allowed in residential areas through the Minor Use Permit process. Therefore, the proposed project is consistent with plan and zone. In addition, the project is consistent with Policy 4 of the Public Safety Element of the County General Plan that encourages the support, establishment, and continual improvement of Countywide telephone communications system, particularly with respect to enhancing emergency communications. The proposed facility improves the service capability for a consumer-oriented communications company. Therefore, the project complies with the General Plan because civic uses are allowed if they support the local population.

- (c) That the requirements of the California Environmental Quality Act have been complied with.

Pursuant to Section 15164 of the State CEQA Guidelines, it is determined that the proposed project qualifies for addendum to the existing Mitigated Negative Declaration. Under CEQA Section 15164, it allows an addendum to a previously certified or adopted environmental document to be prepared when only minor technical changes or changes that would not result in new significant impacts are proposed in a project. It has been determined that the project is not in an environmentally sensitive location; will not have a

cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway. The proposed project will modify the existing facility to camouflage with the surrounding areas and to comply with the Wireless facility Amortization requirements.

WIRELESS TELECOMMUNICATION FINDINGS

The project is in a non-preferred location in a non-preferred zone. Pursuant to Section 6986.B of the Wireless Telecommunication Facilities Ordinance, the applicant provided an alternative site analysis and discussed preferred locations in the area and why they were not technologically or legally feasible. Pursuant to Section 6986.C of the Ordinance, the applicant has provided a well-designed facility as that of a faux tree. Due to the camouflaging of the facility and lack of preferred zones in the surrounding area, the proposed project has been determined to be preferable and compatible with the character of the community.

.....

ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to, the following County of San Diego, State of California, and U.S. Federal Government, Ordinances, Permits, and Requirements:

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the [County Noise Ordinance 36.401](#) et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(SDRWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control

Ordinance No. 10410 and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below.
<http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill pursuant to [Section 87.201 of the County Code](#).

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit for any and all work within the County Road rights-of-way. Contact DPW/PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate departmental requirements. In addition, before trimming, removing, or planting trees or shrubs in the County Road rights-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the PDS Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County Road rights-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County Road rights-of-way.

NOTICE: THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT

LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health and Quality (DEHQ)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Planning Commission, the decision may be appealed to the Board of Supervisors in accordance with [Section 7366 of the County Zoning Ordinance](#). An appeal shall be filed with the Director of Planning & Development Services or by mail with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Planning Commission until a hearing on your application is held and action is taken by the Board of Supervisors. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

COUNTY OF SAN DIEGO PLANNING COMMISSION
DAHVIA LYNCH, DIRECTOR

BY:

Angelica Truong, Planning Manager
Project Planning Division
Planning & Development Services

email cc:

Ed Sinsay, Land Development, Team Leader, Planning & Development Services
Angelica Truong, Project Planning, Planning Manager, Planning & Development
Services

Attachment C – Environmental Documentation



County of San Diego

PLANNING & DEVELOPMENT SERVICES
 5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123
 (858) 505-6445 General • (858) 694-2705 Codes
 (858) 565-5920 Building Services
www.SDCPDS.org

DAHVIA LYNCH
 DIRECTOR

Date: October 20, 2022

RE: **CEQA Guidelines Section 15164 Addendum to [Original MND]:**
 [Pankey Farm Modification; PDS2020-ZAP-99-024W1], APN [125-063-09 & 125-063-10]

Finding that CEQA Section 15164 applies to [Pankey Farm Modification; PDS2020-ZAP-99-024W1]. CEQA Section 15164 allows an addendum to a previously certified or adopted environmental document to be prepared when only minor technical changes or changes that would not result in new significant impacts are proposed in a project. The [AT&T Wireless Facility-Fallbrook Pankey Farm] is hereby amended by this 15164 letter for the Pankey Farm Modification; PDS2020-ZAP-99-024W1.

Location: The project is located on Assessor's Parcel Number 125-063-09 & 125-063-10, east of State Route 76/Interstate 15, at 4881 Highway 76, in the Fallbrook Planning area, Fifth Supervisorial District.

Background: A Final MND (original environmental document name and number) was prepared for the AT&T Wireless Facility-Fallbrook Pankey Farm; ZAP 99-024, HLP 00-004, Log No. 99-02-037 and adopted by the Zoning Administrator on January 23, 2001. The original MND identified significant but mitigable effects on the environment in the following categories: Biological Resources

Changes in project impacts: The applicant is proposing to modify the project from the original approval by a requesting to revise, operate, and maintain an existing wireless telecommunication facility. The Project includes adding stealth branching to the twelve existing 17-foot-tall monopipes. The addition of the branching will bring the height to 17'9" feet. The number of existing panels is twelve (four per sector), which will remain the same. Six of the existing antennas will be replaced, and three will be relocated. The number of existing Tower Mounted Antennas (TMAs) is 12 and will decrease to 6. The number of existing Remote Radio Unit (RRUs) is 12 and will increase to 15. Three filters will be removed, and the number of coax jumpers will decrease from 12 to 6. Other changes include installing three 24-pair fiber trunks,

three DC trunks and one battery cabinet and removing one GSM cabinet. The project does not propose to expand the footprint of the lease area. These modifications would not involve substantial changes in the magnitude of impacts identified AT&T Wireless Facility-Fallbrook Pankey Farm; ZAP 99-024, HLP 00-004, Log No. 99-02-037 and would not create new potentially significant impacts that would require mitigation. This conclusion is based on the following analysis:

The proposed modification to the existing ZAP was reviewed for impacts to biological resources, cultural, stormwater, fire, and noise and it was determined that no new impacts would occur from the proposed project. The project consists of modifying the existing facilities and would not include expansion of the existing footprint of the lease area. The proposed project will modify the existing facility to camouflage with the surrounding areas and to comply with the wireless facility Amortization requirements.

Finding: It is the finding of Planning & Development Services that the previous environmental document as herein amended may be used to fulfill the environmental review requirements of the current project. Because the current project meets the conditions for the application of State CEQA Guidelines Section 15164, preparation of a new MND is not required. Discretionary processing of the Pankey Farm Modification; PDS2020-ZAP-99-024W1 may now proceed with the understanding that any substantial changes in the proposal may be subject to further environmental review.

2 - 75 NOTICE OF DETERMINATION

TO: ☐ Recorder/County Clerk
Attn: James Scott
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. O650
Attn: Project Planning Section Secretary
5510 Overland Avenue, Suite 110
San Diego, CA 92123

☐ Office of Planning and Research
P.O. Box 3044
Sacramento, CA 95812

SUBJECT: FILING OF NOTICE OF DETERMINATION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152

Project Name and Number(s): Pankey Farm Modification PDS2020-ZAP-99-024W1

State Clearinghouse No.:

Project Location: 4881 Highway 76, Fallbrook, CA 92028

Project Applicant: Jill Cleveland 302 State Place, Escondido, CA 92029 | 760.420.4833

Project Description: A request from Crown Castle (Applicant) to revise, operate, and maintain an existing wireless telecommunication facility. The Project includes adding stealth branching to the twelve existing 17-foot-tall monopoles. The addition of the branching will bring the height to 17'9" feet. The number of existing panels is twelve (four per sector), which will remain the same. Six of the existing antennas will be replaced, and three will be relocated. The number of existing Tower Mounted Antennas (TMAs) is 12 and will decrease to 6. The number of existing Remote Radio Unit (RRUs) is 12 and will increase to 15. Three filters will be removed, and the number of coax jumpers will decrease from 12 to 6. Other changes include installing three 24-pair fiber trunks, three DC trunks and one battery cabinet and removing one GSM cabinet. The project does not propose to expand the footprint of the lease area.

Agency Approving Project: County of San Diego

County Contact Person: Mark Kieser, Mark.Kieser@sdcounty.ca.gov

Date Form Completed:

This is to advise that the County of San Diego _____ (County decision-making body) has approved the above described project on _____ (date/item #) and has made the following determinations:

1. The project ☐ will ☒ will not have a significant effect on the environment.
2. ☐ An Environmental Impact Report was prepared and certified for this project pursuant to the provisions of the CEQA.
☐ A Negative Declaration or Mitigated Negative Declaration was adopted for this project pursuant to the provisions of the CEQA.
☒ An Addendum to a previously certified Environmental Impact Report, or to a previously adopted Negative Declaration or Mitigated Negative Declaration, was prepared and considered for this project pursuant to the provisions of CEQA.
3. Mitigation measures ☐ were ☒ were not made a condition of the approval of the project.
4. A Mitigation reporting or monitoring plan ☐ was ☒ was not adopted for this project.

The following determinations are only required for projects with Environmental Impact Reports:

5. A Statement of Overriding Considerations ☐ was ☐ was not adopted for this project.
6. Findings ☐ were ☐ were not made pursuant to the provisions of State CEQA Guidelines Section 15091.

Project status under Fish and Wildlife Code Section 711.4 (Department of Fish and Wildlife Fees):

- ☐ Certificate of Fee Exemption (attached)
☒ Proof of Payment of Fees (attached)

Fish and Wildlife Code Section 711.4 compliance for the subject project is covered by a previous payment of fees associated with the environmental review conducted for AT&T Pankey Farm- Fallbrook

The Environmental Impact Report or Negative Declaration with any comments and responses and record of project approval may be examined at the County of San Diego, Planning & Development Services, Project Processing Counter, 5510 Overland Avenue, Suite 110, San Diego, California.

Date received for filing and posting at OPR: _____

Signature: _____ Telephone: (858) _____

Name (Print): _____ Title: _____

This notice must be filed with the Recorder/County Clerk within five working days after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15075 or 15094.

REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH ORDINANCES/POLICIES

FOR PURPOSES OF CONSIDERATION OF Pankey Farm Modification Minor Use Permit Modification PDS2020-MUP-99-024W1, PDS2020-ER-99-02-037A October 20, 2022

I. HABITAT LOSS PERMIT ORDINANCE – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES
☐

NO
☐

NOT APPLICABLE/EXEMPT
☒

Discussion:

The original MND identified sensitive habitat lands on the site. The project will mitigate all impacts to Coastal sage scrub through the preservation of habitat off-site in a County approved mitigation bank. The preservation of habitat off-site, which will create a large block of preserved land, will provide a greater benefit than preserving the small piece of habitat adjacent to the agricultural land. The proposed project will not expand the existing footprint that was previously evaluated. Therefore, the project does comply with the Sensitive Habitat Lands section of the Resource Protection Ordinance.

II. MSCP/BMO - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES
☐

NO
☐

NOT APPLICABLE/EXEMPT
☒

Discussion:

The proposed project and any off-site improvements related to the proposed project are located outside of the boundaries of the Multiple Species Conservation Program. Therefore, conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance is not required.

III. GROUNDWATER ORDINANCE - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES
☐

NO
☐

NOT APPLICABLE/EXEMPT
☒

Discussion:

The project will obtain its water supply from the San Luis Rey Municipal Water District which obtains water from surface reservoirs and/or imported sources. The project will not use any groundwater for any purpose, including irrigation or domestic supply.

IV. RESOURCE PROTECTION ORDINANCE - Does the project comply with:

The wetland and wetland buffer regulations (Sections 86.604(a) and (b)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Sections 86.604(c) and (d)) of the Resource Protection Ordinance?	YES <input type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input checked="" type="checkbox"/>
The <u>Steep Slope</u> section (Section 86.604(e))?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

Discussion:

Wetland and Wetland Buffers:

The site contains no wetland habitats as defined by the San Diego County Resource Protection Ordinance. The site does not have a substratum of predominately undrained hydric soils, the land does not support, even periodically, hydric plants, nor does the site have a substratum that is non-soil and is saturated with water or covered by water at some time during the growing season of each year. Therefore, it has been found that the proposed project complies with Sections 86.604(a) and (b) of the Resource Protection Ordinance (RPO).

Floodways and Floodplain Fringe:

The project is not located near any floodway or floodplain fringe area as defined in the resource protection ordinance, nor is it near a watercourse plotted on any official County floodway or floodplain map. Therefore, it has been found that the proposed project complies with Sections 86.604(c) and (d) of the RPO.

Steep Slopes:

The average slope for the property is less than 25 percent gradient. Slopes with a gradient of 25 percent or greater and 50 feet or higher in vertical height are required to be placed in open space easements by the San Diego County Resource Protection Ordinance (RPO). There are no slopes that have a gradient of 25 percent or greater and 50 feet or higher in vertical height on the property. Therefore, it has been found that the proposed project complies with Sections 86.604(e) of the RPO.

Sensitive Habitats:

Sensitive habitat lands include unique vegetation communities and/or habitat that is either necessary to support a viable population of sensitive species, is critical to the proper functioning of a balanced natural ecosystem, or which serves as a functioning wildlife

corridor. No sensitive habitat lands were identified on the site, therefore, it has been found that the proposed project complies with Section 86.604(f) of the RPO.

Significant Prehistoric and Historic Sites:

Based on an analysis of County of San Diego archaeology resource files, archaeological records, maps, and aerial photographs by County of San Diego staff archaeologist, it has been determined that the project site does not contain any archaeological resources. Therefore, it has been found that the proposed project complies with Section 86.604(g) of the RPO.

V. STORMWATER ORDINANCE (WPO) - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES

☒

NO

☐

NOT APPLICABLE

☐

Discussion:

The project Storm Water Management Plan has been reviewed and is found to be complete and in compliance with the WPO.

VI. NOISE ORDINANCE – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES

☒

NO

☐

NOT APPLICABLE

☐

Discussion:

The proposal would not expose people to nor generate potentially significant noise levels which exceed the allowable limits of the County of San Diego Noise Element of the General Plan, County of San Diego Noise Ordinance, and other applicable local, State, and Federal noise control regulations.

Staff has reviewed the plot plans and information provided and has determined it to be adequate as it relates to County Noise Standards conformance. The project consists of a new wireless communication facility. The project site as well as surrounding parcels to the east, west, and south are zoned Limited Agriculture, which is subject to the most restrictive one-hour sound level requirement of 45 dBA at the project property line. The parcels to the north are zoned Solid Waste Facility, which is subject to the arithmetic mean one-hour average of 57.5 dBA. The proposal does not involve the installation of substantial noise generating equipment. The project does not propose any new generator units. The existing equipment cabinet is located within the existing concrete masonry unit wall and is approximately 700 feet away from the nearest property line to the east. Therefore, the project as design would demonstrate compliance with County noise standards. The project is not anticipated to exceed the sound level requirements pursuant to County Noise Ordinance, Section 36.404.

Based on the information above, no additional noise information and/or noise mitigation is required at this time. However, if any changes to the ground-level equipment or a generator is added during a revision, additional noise review would be required.

Attachment D – Environmental Findings

**AT&T RICE RANCH WIRELESS TELECOMMUNICATION FACILITY
MAJOR USE PERMIT MODIFICATION
PDS2020-MUP-09-020W1
ENVIRONMENTAL LOG NO. PDS2020-ER-09-02-009A**

ENVIRONMENTAL FINDINGS

May 6, 2022

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines section 15301 for the reasons stated in the Notice of Exemption.
2. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management, and Discharge Control Ordinance (County Code, section 67.801 et seq.).

Attachment E – Public Documentation



County of San Diego, Planning & Development Services
**COMMUNITY PLANNING OR SPONSOR
 GROUP PROJECT RECOMMENDATION**
 ZONING DIVISION

Record ID(s): PDS2020-ZAP-99-024W1

Project Name: Panky Farms ZAP Modification

Planning/Sponsor Group: Fallbrook

Results of Planning/Sponsor Group Review

Meeting Date: 08/16/2021

A. Comments made by the group on the proposed project.

approved

B. Advisory Vote: The Group ☒ Did ☐ Did Not make a formal recommendation, approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

MOTION:

- ☒ Approve without conditions
☐ Approve with recommended conditions
☐ Deny
☐ Continue

VOTE: 12 Yes 0 No 0 Abstain 0 Vacant / Absent

C. Recommended conditions of approval:

no conditions placed on approval

Reported by: [Signature] Position: Chair Date: 08/16/2021

Please email recommendations to BOTH EMAILS;

Project Manager listed in email (in this format): Firstname.Lastname@sdcounty.ca.gov and to CommunityGroups.LUEG@sdcounty.ca.gov

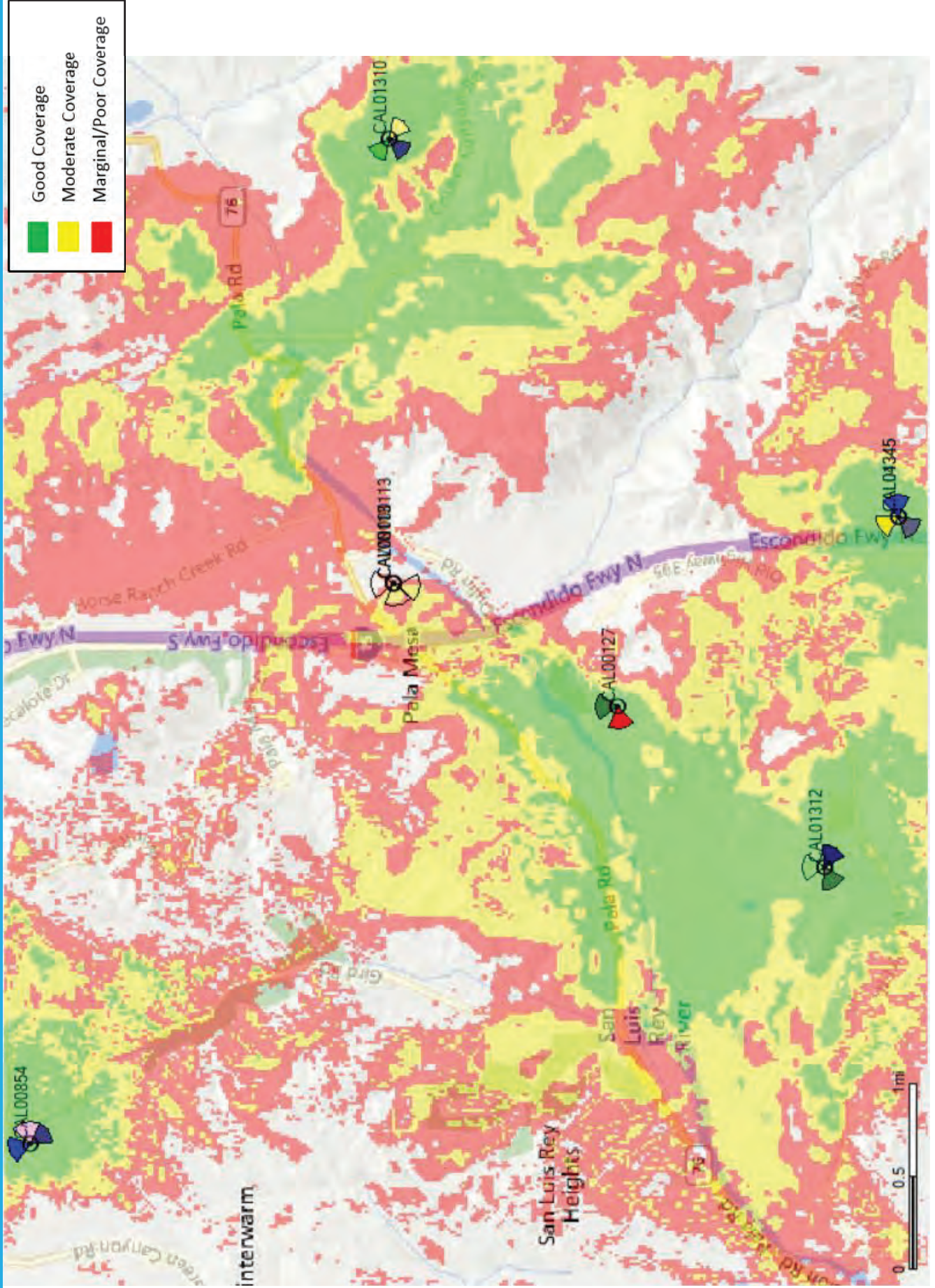
5510 OVERLAND AVE, SUITE 110, SAN DIEGO, CA 92123 • (858) 694-8985 • (888) 267-8770
<http://www.sdcounty.ca.gov/pds>

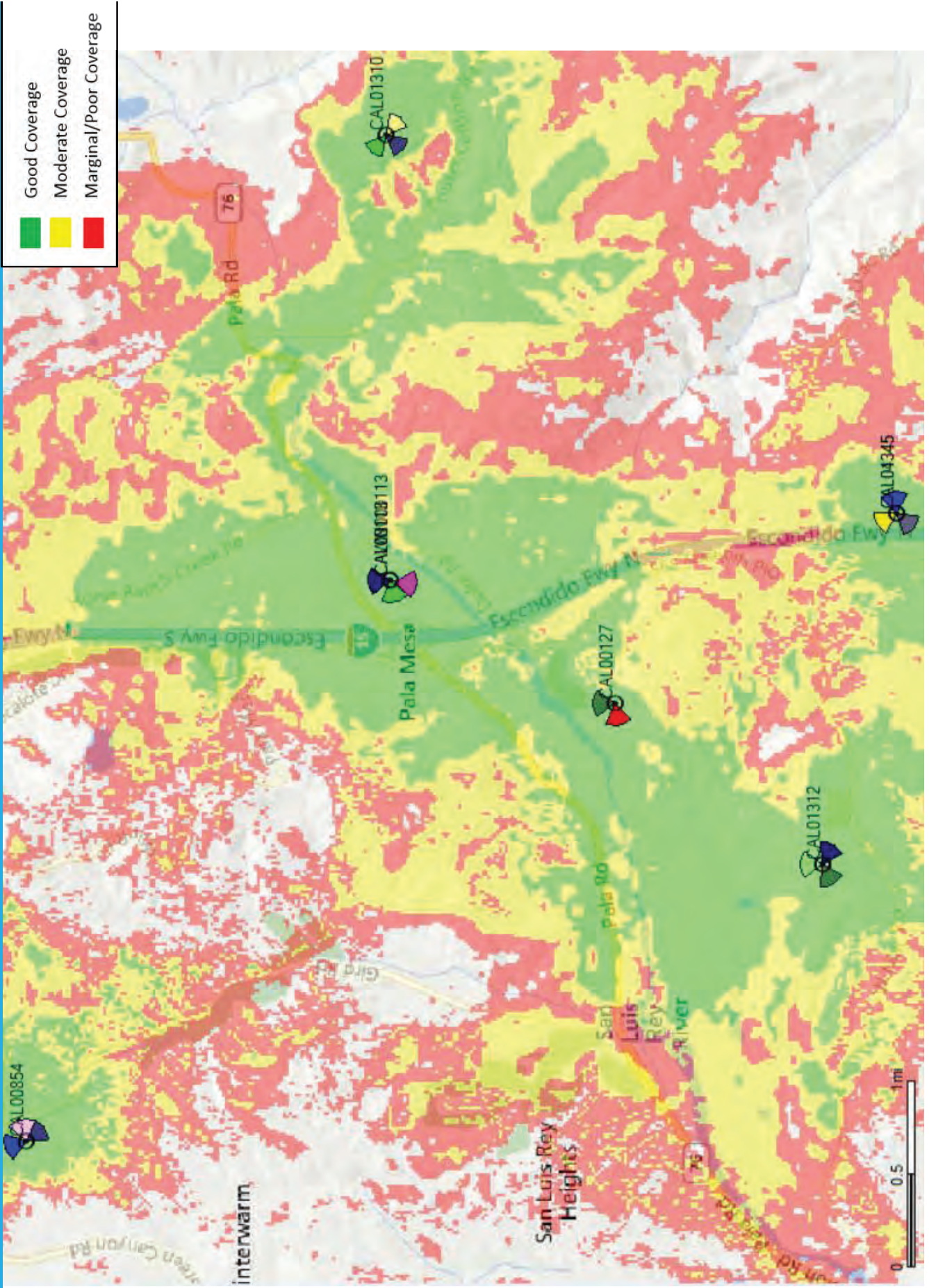
Attachment F – Photos, Geographic Service Area Maps, Alternative Site Analysis

San Diego
CAL00113- Coverage Maps
December 15th, 2021

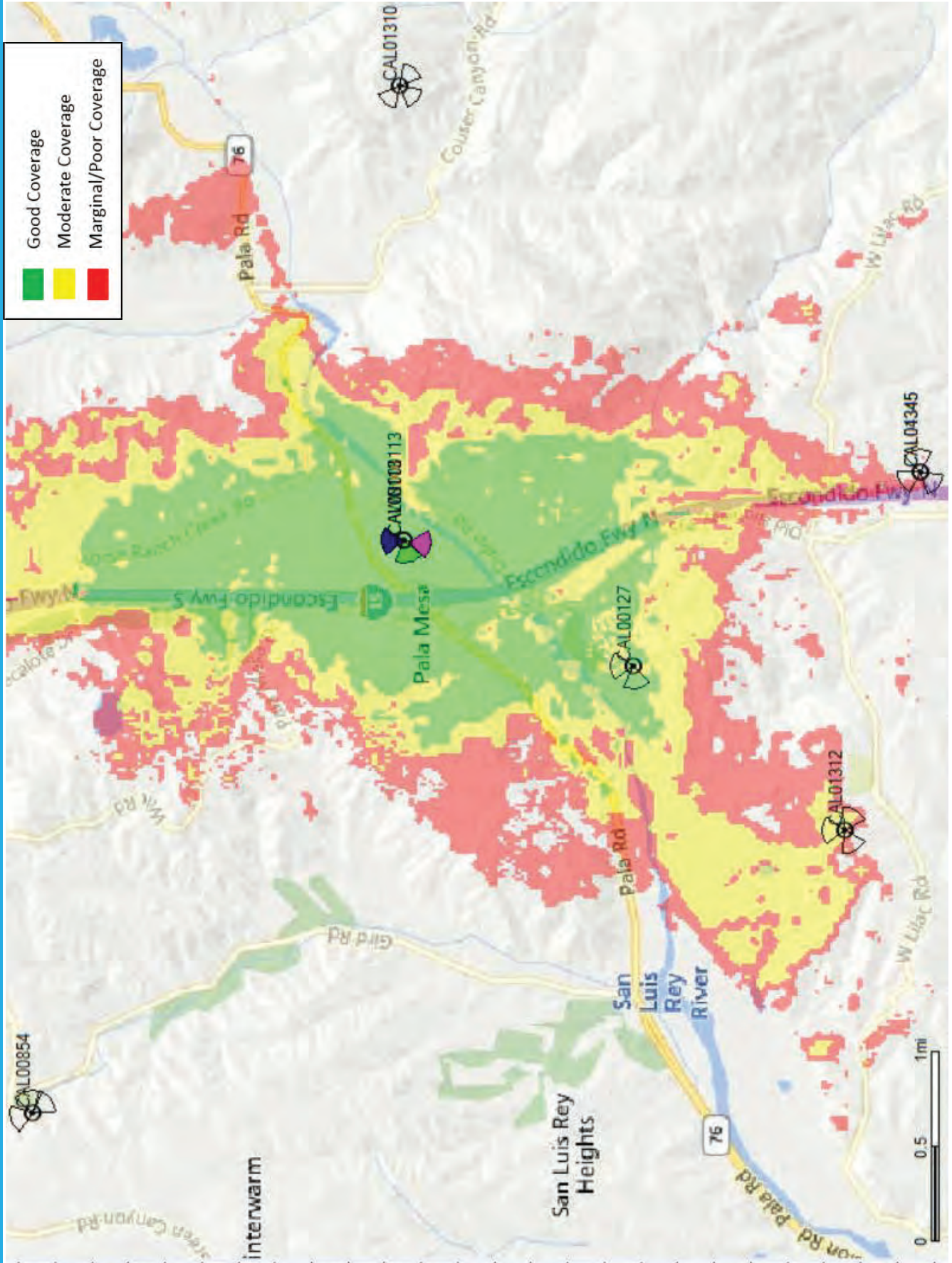


Coverage Without CAL001113





Coverage With CAL00113 only

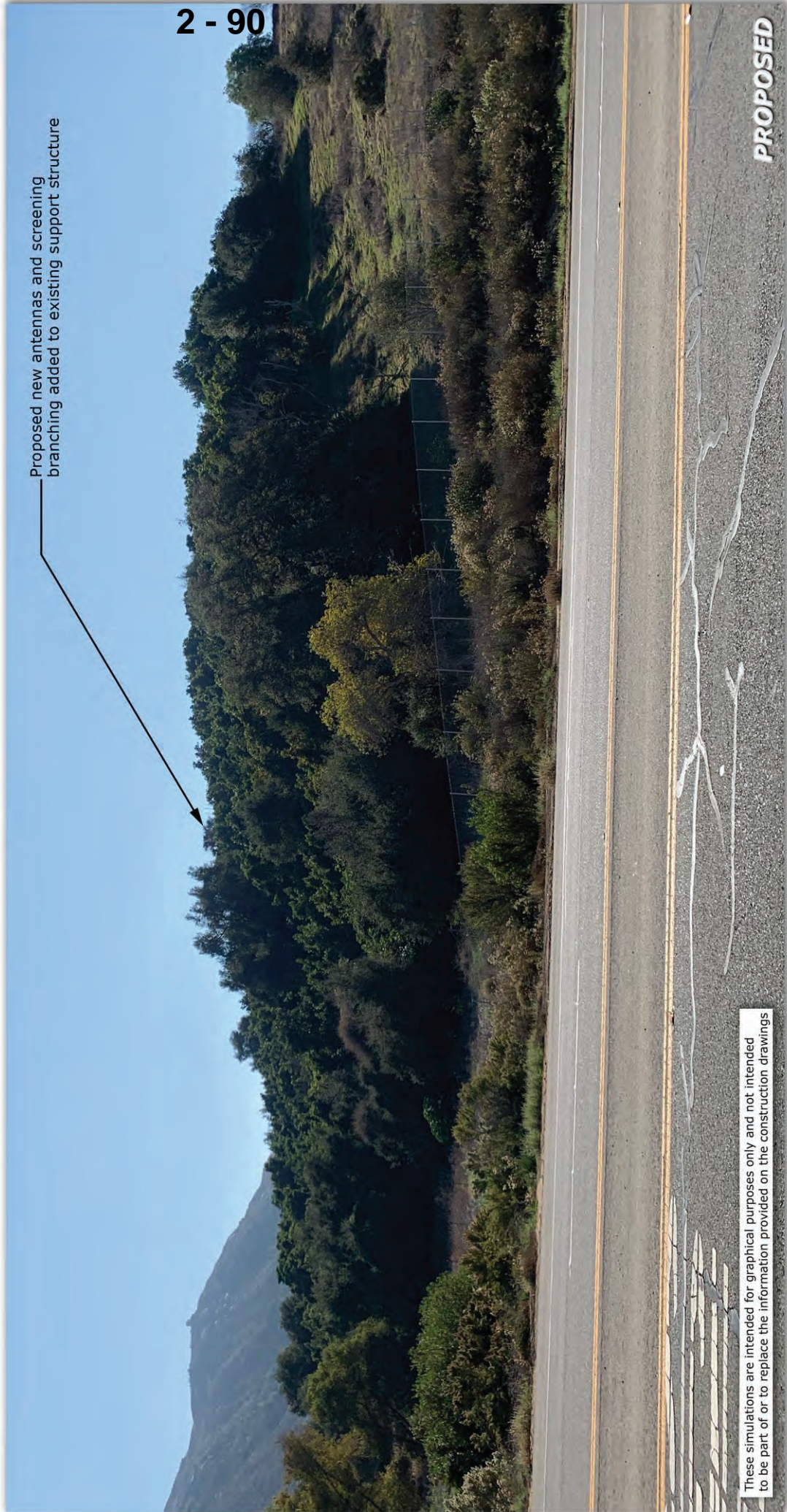




EXISTING

SD0113
Panky Farm
Crown Castle BU#: 844805
Fallbrook, CA 92028
Antennas MOD/LTE 5C/LTE 6C

CROWN CASTLE



Proposed new antennas and screening
branching added to existing support structure

2 - 90

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

Photosimulation of proposed telecommunications site

11/24/2021



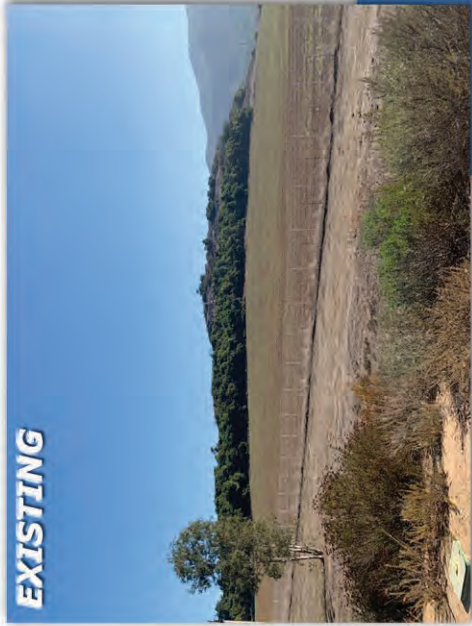
Proposed new antennas and screening
branching added to existing support
structure



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

Photosimulation of proposed telecommunications site



EXISTING



Proposed new antennas and screening
branching added to existing support
structures

2 - 92

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

Photosimulation of proposed telecommunications site

**CCI PANKY FARM
4881 HIGHWAY 76, FALLBROOK
ALTERNATE SITE ANALYSIS**

SITE SELECTION/PREFERRED SITES PER SECTION 6986

The scope of the project is to add stealth branching to the twelve existing 17-foot tall monopoles for an overall height of 17' 9" that make up one of the Wireless Telecommunication Facility's on the property. Crown Castle is the applicant and AT&T is the tenant/user. The number of existing panels is twelve (four per sector), which will remain the same. Six of the existing antennas will be replaced, and three will be relocated. The number of existing TMA's is 12 and will decrease to 6. The number of existing RRU's is 12 and will increase to 15. Three filters will be removed, and the number of coax jumpers will decrease from 12 to 6. Other changes include installing three 24-pair fiber trunks, three DC trunks and removing and replacing a battery cabinet. The adjacent equipment enclosure is 11'3" high and is tucked within the hillside, limiting its visibility. The project does not propose to expand the footprint of the lease area.

The project site is located at 4881 HWY 76, in the Fallbrook Community Planning area, within unincorporated San Diego County. The site is subject to the General Plan Regional Categories Semi-Rural, Rural and Rural Lands, Land Use Designations Semi-Rural Residential (SR-10) General Commercial and Rural Lands (RL-40), however the structures are located within the Regional Category Semi-Rural, Land Use Designation Semi-Rural Residential (SR-10). Zoning for the site is Specific Plan Area (S88), Freeway Commercial (C44) and General Agriculture (A72), however the structures are located within the Specific Plan Area (S88) portion. Access is provided by a driveway connecting to Pankey Road, a public road.

The existing site is situated in a strategic location along the south side of SR-76, approximately 200' higher than the advance roadways (SR-76 and I-15) and are between 1/5 and 1/3 mile away, limiting the visual impact of the site. It was originally chosen because of the coverage afforded by its strategic location and lack of nearby obstructions to allow a signal to reach the geographical service area. It is needed for both coverage and capacity. Without this site would be little to no wireless coverage. With the continued operation of site, it also relieves some capacity off the adjacent sites, allowing them to work more optimally. The project location also provides the technical ability to control the frequencies of the site within a defined geographical area and provide connectivity to its neighboring sites in the local network.

Siting a wireless telecommunication facility requires (at a minimum) the following: the location and available height that can meet the wireless coverage objectives of the search ring, a willing landlord, available utilities and viable access.

Community Planning Group

This project was heard before Fallbrook's Design Review Committee (8/11/21) and the Board (8/16/21) and they recommended approval (12-0) of the project with no design modifications.

Preferred Zones in the Geographical Service Area

Though the project is located in a non-preferred zone and a non-preferred location, there were no other suitable locations that meet the coverage objectives for this site. In the geographical service area most all zoning designations are S-88, RV or A72 in the area. There is a small patch of C36 (commercial) zoning approximately ½ mile from the existing location, however, it is surrounded by residential to the north and west, with freeway to the south and east.

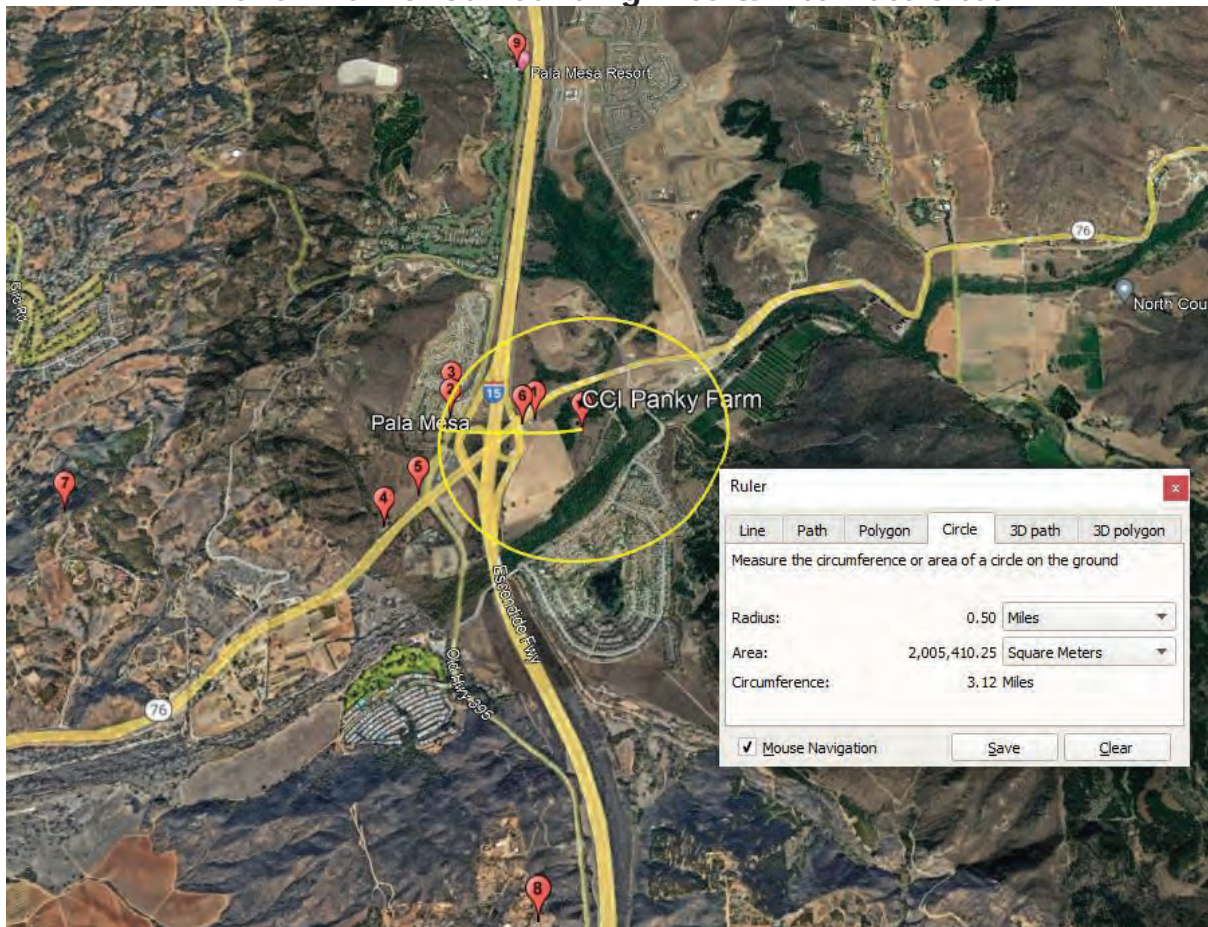
Alternate Site Evaluation

1. Produce Stand – This location is approximately 180' lower in elevation and the hill to the west block the ability for the intended coverage area to be reached, specifically SR-76 to the north and east, as well as the residential development to the southeast. The C44 property appears to be in the ROW.
2. Commercial Center – 3233 Old Hwy 395 – The property consists of single story buildings so a new stealth structure would be required. This location is ½ mile from the current site, approximately 160' lower in elevation and adjacent to residential. Its location limits the ability to see further west along SR-76 to connect to AT&T's next site.
3. Quality Inn - 3135 Old Hwy 395 – There is an existing stealth tree on the property. As with the commercial center to the south, it's location limits the ability to further west along SR-76 to connect to AT&T's next site.
4. Produce Stand - 4558 Pala Road – This location is .64 miles and 215' lower in elevation. Its location limits the ability to see further east along SR- 76 and to the north on I-15. This location does not meet the coverage objectives needed by AT&T.
5. Vacant Parcels – Pala Road – While this location ins in the C44 zone it does not meet the coverage objectives needed by AT&T.
6. Street lights – intersection of SR-76 and I-15, east side – This location is 180' lower in elevation and the hill to the south and east limits the view eastbound on SR-76, as well as the residential development to the south. Because there is no existing infrastructure in the ROW, the ground equipment would be exposed and visible, potential limiting site distance views for those exiting and entering I-15.
7. Sprint Site -3705 Fire Road – This location is 1.75 miles from the search ring and is serviced by another AT&T site.
8. Sprint Site (water tower) – 32751 Ranchos Ladera Road – – This location is 1.8 miles from the search ring and is serviced by another AT&T site.
9. Pala Mesa Resort -2001 Old Hwy 395 - – This location is 1.75 miles from the search ring and is serviced by another AT&T site.

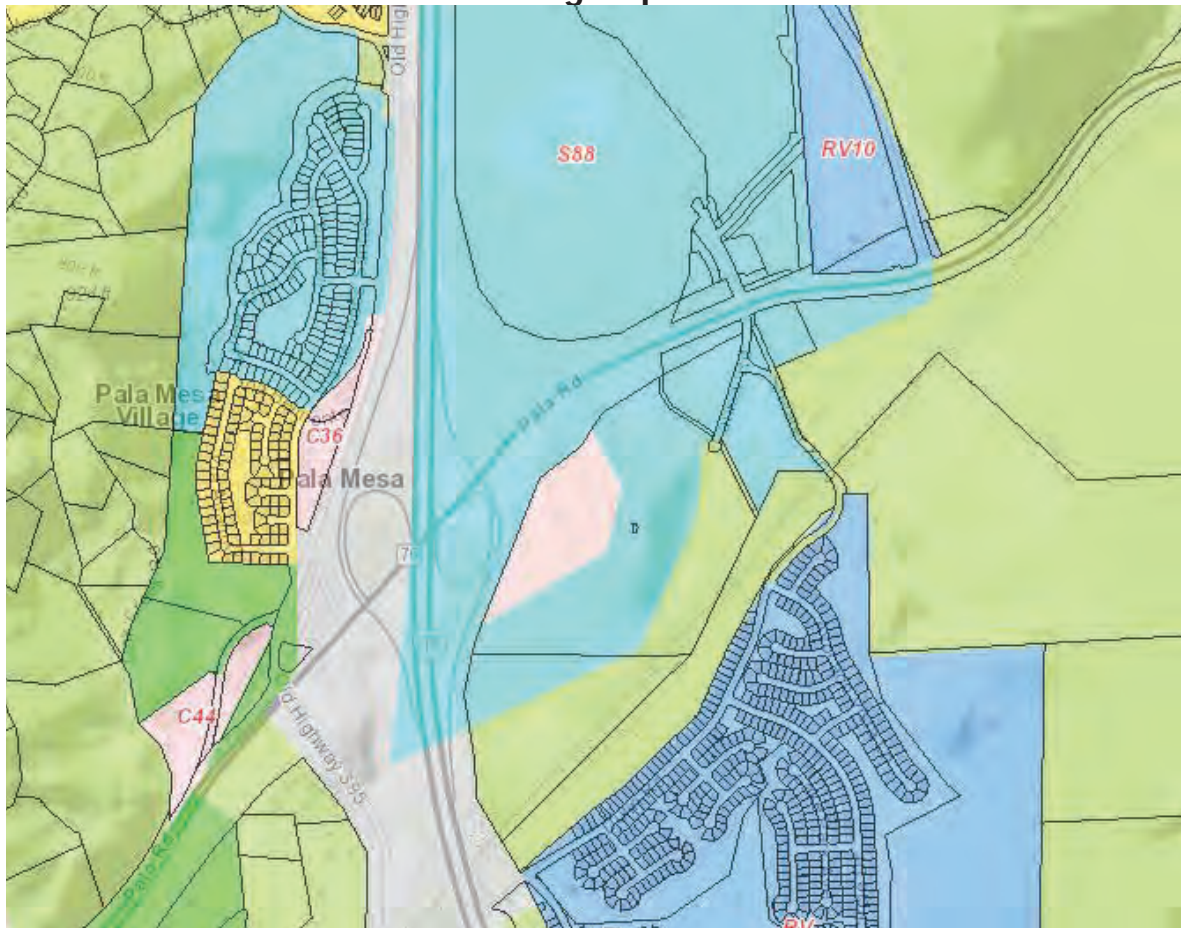
Aerial View of Site



Aerial View of Surrounding Area & Alternate Sites



Zoning Map of Area



Existing Sites in the Geographical Service Area

There are 3 carriers that currently reside on this property. There are no other existing sites within a one-half mile radius of this site. No alternative sites were evaluated as the existing site meets the intent of the ordinance and the terrain limits looking for any alternative site.

Collocation

While collocation can be a viable option in many instances, in this case, any collocation would require a structure to more than double in height bringing greater visual impact to the facilities and this rural hillside. By maintaining the low structures, the antennas can better blend into the existing topography and native vegetation.

Visual Resources

From field observations, the vegetation type surrounding the wireless telecommunication sites are a mix of shrub oak, palm, avocado and citrus trees, including shrubs ranging from sage, sumac, cactus, chapparal and boulders. The proposed faux branching is mimicking the avocado orchards and native chapparal. Given the remote hilltop agricultural area and distance to any

adjacent building or structures, there is no other viable design that would conceal the antennas more than faux branching. Also, this site is higher and further from the roadways to see the vegetation details with any clarity.

ZONING ORDINANCE

The submitted application is in accordance with the amortization requirements of the Zoning Ordinance, Section 6991, which is intended to visually improve existing wireless telecommunication facility infrastructure.

DRAFT FINDINGS

1. Harmony in scale, bulk, coverage and density. The proposed project is in harmony, scale and bulk with the surrounding area, as there are other trees and shrubs of similar height on this property. By adding branching to the existing antenna poles, it blends into the hillside in scale and design. The existing equipment areas are set back in the property concealed from public view.
2. Available public facilities, services and utilities. The property is located within the North County Fire Protection District and meets their guidelines for available service. All public facilities, services and utilities are available and exist on the property.
3. The harmful effect, if any, upon desirable neighborhood character. The project would not adversely affect the neighborhood character because the project is designed to be camouflaged as faux trees/shrubs and blend into the existing uses on the property.
4. The generation of traffic and the capacity and physical character of surrounding streets. The traffic generated from this proposed project is expected to average one to two maintenance trips per month and would utilize an existing driveway off Panky Road.
5. The suitability of the site for the type and intensity of use or development which is proposed. The modification of the telecommunication facility would not require significant alteration to the landform. The existing location is within disturbed areas of the property and the added branching limits requires less construction impact than building a new site. The project, as designed, would be camouflaged, not change the characteristics of the area and is suitable for this site, type and intensity of uses.
6. Project findings 1 through 5 and the project location will be consistent with the San Diego County General Plan.
7. The requirements of the CEQA have been complied with.

Attachment G – Ownership Disclosure



County of San Diego, Planning & Development Services
**APPLICANT'S DISCLOSURE OF OWNERSHIP
 INTERESTS ON APPLICATION FOR ZONING
 PERMITS/ APPROVALS**
 ZONING DIVISION

Record ID(s) PDS 2020 - ZAP-99-024W1

Assessor's Parcel Number(s) 125-063-03

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. **NOTE:** Attach additional pages if necessary.

A. List the names of all persons having any *ownership interest* in the property involved.

Edgard & Ezizabath S. Panky Trust

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

Crown Castle WTA

AT&T

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

NOTE: Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

Signature of Applicant [Signature]

Print Name Agent Stalze

Date 12/24/19

----- OFFICIAL USE ONLY -----

SDC PDS RCVD 1-7-20
ZAP99-024W1

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