



*The County of San Diego*

# Zoning Administrator Hearing Report

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<b>Date:</b>	June 26, 2025	<b>Case/File No.:</b>	T-Mobile SD948 IHDE Residence L600 Minor Use Permit Modification; PDS2021-ZAP-03-006W2, PDS2021-ER-03-02-003B
<b>Place:</b>	County Conference Center 5520 Overland Avenue San Diego, CA 92123	<b>Project:</b>	Wireless Telecommunication Facility
<b>Time:</b>	8:30 a.m.	<b>Location:</b>	1907 Carriage Lane, Fallbrook, CA 92028
<b>Agenda Item:</b>	#1	<b>General Plan:</b>	Semi-Rural (SR-2)
<b>Appeal Status:</b>	Appealable to the Planning Commission	<b>Zoning:</b>	Limited Agriculture (A70)
<b>Applicant/Owner:</b>	T-Mobile	<b>Community:</b>	Fallbrook Subregional Planning Area
<b>Environmental:</b>	CEQA § 15164 Addendum	<b>APN:</b>	107-250-51-00

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## A. OVERVIEW

The purpose of this staff report is to provide the Zoning Administrator with the information necessary to consider the proposed Minor Use Permit (ZAP) Modification for a wireless telecommunication facility, conditions of approval and findings, and environmental findings prepared in accordance with the California Environmental Quality Act (CEQA). Planning & Development Services (PDS) staff recommends approval of the ZAP Modification, with the conditions noted in the attached ZAP Modification decision (Attachment B).

The T-Mobile SD948 IHDE Residence L600 ZAP Modification (Project) is a request from MD7, on behalf of T-Mobile (Applicant), to renew a use permit in order to operate and maintain an existing unmanned wireless telecommunication facility in accordance with the amortization schedule of the Zoning Ordinance. The project is a ZAP Modification proposing to bring the facility into conformance with the County of San Diego Wireless Ordinance. The applicant is proposing several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment.

The scope of the project includes the removal of three (3) existing T-Mobile panel antennas and three (3) existing T-Mobile radios; relocation of six (6) existing T-Mobile panel antennas and three (3) existing T-Mobile tower-mounted amplifiers (TMAs); and installation of three (3) new T-Mobile panel antennas, three (3) new T-Mobile radios, six (6) new antenna mounting pipes, and three (3) new RET cables. The modification will also increase the overall height of the facility to 18 feet to accommodate the new antenna enclosure and meet current concealment standards. The total project valuation is approximately \$100,000.

The 2.32-acre parcel is located at 1907 Carriage Lane within the Fallbrook Community Plan Area. The site is subject to the General Plan Land Use Designation of Semi-Rural (SR-2) and zoned Limited Agriculture (A70). Access to the site is provided via an existing private driveway off Carriage Lane, a private road. The project does not propose any water or sewer facilities.

The facility's previous permit expired in accordance with the amortization schedule outlined in Section 6991 of the Zoning Ordinance. As part of the permit renewal process, the ZAP Modification is required to bring the facility into compliance with the current Wireless Telecommunication Facility standards within Sections 6980 through 6993 of the Zoning Ordinance. The design of the facility has been reviewed and found to utilize concealment features consistent with current County policy.

This report includes a staff recommendation, a project description, analysis and discussion, and the Fallbrook Community Planning Group recommendation.

## **B. REQUESTED ACTIONS**

This is a request for the Zoning Administrator to evaluate the proposed ZAP Modification for a wireless telecommunication facility, determine if the required findings can be made and, if so, take the following actions:

1. Adopt the Environmental Findings included in Attachment C, which includes a finding that the previously adopted Negative Declaration (ND) is adequate with an Addendum.
2. Grant ZAP Modification PDS2021-ZAP-03-006W2, make the findings, and impose the requirements and conditions as set forth in the Form of Decision (Attachment B).

## **C. PROJECT BACKGROUND**

On February 17, 2004, the Zoning Administrator approved a Minor Use Permit (ZAP-03-006) to authorize the construction, operation, and maintenance of an unmanned wireless telecommunication facility consisting of an 11-foot-high, 180-square-foot equipment shelter situated on a 395-square-foot concrete pad, topped with twelve (12) panel antennas extending up to 15 feet in height. The facility was enclosed within an equipment shelter, with air conditioning units and sound attenuation features required as conditions of approval. Access to the facility is provided by an existing private driveway off Carriage Lane, a private road.

On September 12, 2013, a Minor Deviation to the ZAP (Record ID: ZAP-03-006W1M1) was approved to authorize the removal of six (6) existing panel antennas and their replacement with six (6) new panel antennas. On June 1, 2016, a second Minor Deviation to the ZAP (also under Record ID: ZAP-03-006W1M1) was approved to authorize the removal and replacement of panel antennas, installation of

three (3) Remote Radio Units (RRUs) and three (3) Remote Electrical Tilt (RET) cables near the existing pipe mounts, and the installation of one (1) XMU unit inside the existing equipment cabinet.

The permit expired on April 30, 2018, in accordance with the amortization schedule established in Section 6991 of the County of San Diego Zoning Ordinance, which requires wireless telecommunication facilities to be brought into conformance with current County standards or cease operations.

#### **D. DEVELOPMENT PROPOSAL**

##### **1. Project Description**

The applicant requests a ZAP Modification to bring an existing wireless telecommunication facility into conformance with the County of San Diego Wireless Ordinance and to extend the duration of the permit for an additional 10 years. The applicant proposes to renew and modernize the existing facility located within an equipment shelter by installing a new antenna enclosure and relocating all antennas within that enclosure. The modification will increase the overall facility height to 18 feet.

The proposed improvements include removal of three (3) existing panel antennas and three (3) radios; relocation of six (6) existing panel antennas and three (3) tower-mounted amplifiers (TMAs); and installation of three (3) new panel antennas, three (3) radios, six (6) antenna mounting pipes, and three (3) new RET cables. Additional equipment upgrades include the removal of one (1) DUS41 unit and one (1) XMU unit, and installation of two (2) new BB6630 units within the existing cabinet. The project also includes the installation of one (1) new 6x12 HCS cable, a wood platform, fiberglass-reinforced plastic (FRP) screen, FRP framing, and an access ladder. No new batteries are proposed as part of the project. The facility is depicted in Figures 1 and 2.

Access to the site is provided via an existing private driveway that connects to Carriage Lane, a privately maintained road.



*Figure 1: Existing Southeast view of 15.6-foot-tall wireless facility with equipment located on and within a 180 square feet equipment shelter.*





Figure 2: Proposed Southeast view of 18-foot-tall wireless facility with equipment located within a 180 square foot FRP screened equipment shelter.

## 2. Subject Property and Surrounding Land Uses

The Project is located on an approximately 2.32-acre parcel within the Fallbrook Community Planning Area (Figure 3). The site is situated on the north side of Carriage Lane, approximately 0.25 miles west of Reche Road. The project site contains one existing single-family residence and an existing unmanned wireless telecommunication facility. Access to the facility is provided by a private driveway that connects to Carriage Lane, a privately maintained road.

The surrounding land uses are characterized by a mix of rural residential and agricultural uses. Properties in the immediate vicinity are zoned Limited Agriculture (A70) and support low-density residential development, with some parcels used for small-scale farming or remaining undeveloped. The General Plan land use designation for the subject property is Semi-Rural (SR-2), consistent with the existing and surrounding uses. (Figures 3 and 4 and Table D-1).

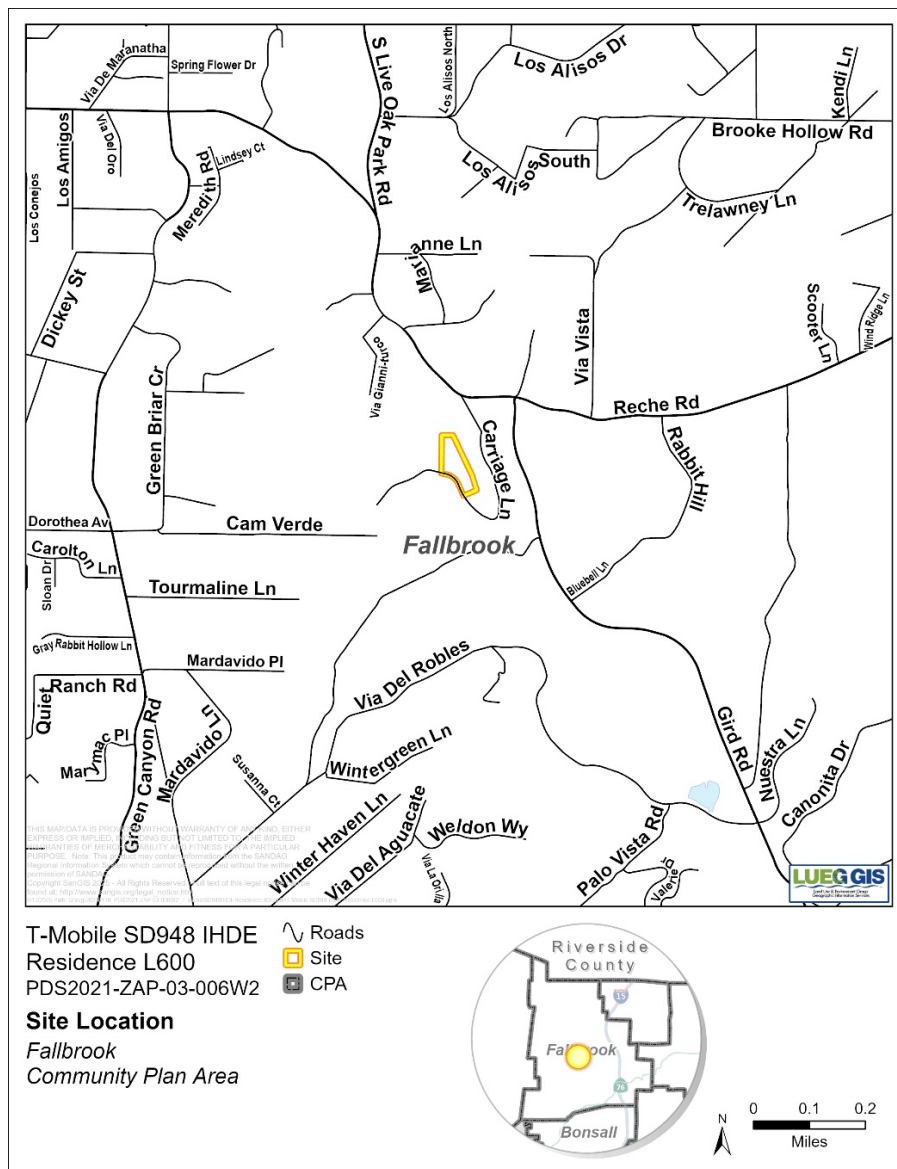


Figure 3: Vicinity Map



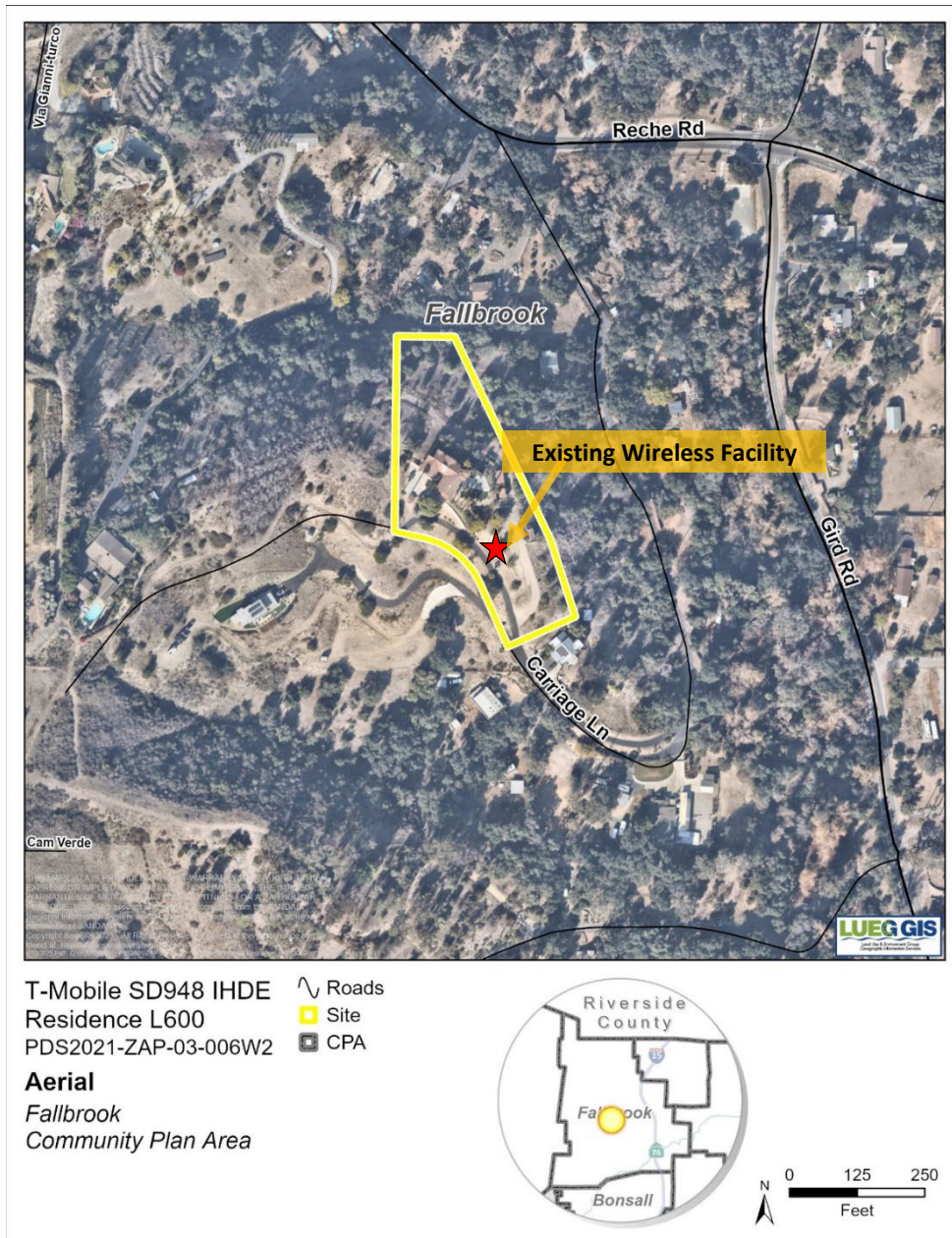


Figure 4: Aerial photograph showing proposed project site and project vicinity.

Table D-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Semi-Rural (SR-2)	Limited Agriculture (A70)	Reche Road	Recreational/Residential/ Vacant Land/Agriculture
East	Semi-Rural (SR-2)	Limited Agriculture (A70) Mobile Home Residential (RMH8) Residential Rural (RR)	Grid Road	Residential/ Vacant Land/Agriculture
South	Semi-Rural (SR-2)	Limited Agriculture (A70)	Via Del Robles	Residential/ Vacant Land/Agriculture
West	Semi-Rural (SR-2/SR-1)	Limited Agriculture (A70) Mobile Home Residential (RMH5) Residential Rural (RR)	Carriage Lane	Residential/ Vacant Land/Agriculture

## E. ANALYSIS AND DISCUSSION

The Project has been reviewed to ensure it conforms to all the relevant ordinances and guidelines, including, but not limited to, the San Diego County General Plan, the Fallbrook Subregional Plan, the Zoning Ordinance, and CEQA Guidelines. The following subjects were reviewed for the Project and are detailed below: Amortization, Site Planning Analysis, Community Compatibility/Visual Impacts, Alternative Site Analysis (ASA).

### 1. Key Requirements for Requested Actions

The Zoning Administrator should consider the requested actions and determine if the following determinations can be made:

- Is the Project consistent with the vision, goals, and policies of the General Plan?
- Does the Project comply with the policies set forth under the Fallbrook Subregional Plan?
- Is the Project consistent with the County's Zoning Ordinance?
- Is the Project consistent with the County's Wireless Ordinance?
- Does the Project comply with CEQA?

## 2. Project Analysis

The Project is located in a non-preferred location within a non-preferred zone. As set forth in Section 6985 of the County Zoning Ordinance, the proposed wireless telecommunication facility requires the approval of a ZAP Modification and amortization of the wireless facility for a 10-year period. If approved, this ZAP Modification will set a new expiration of June 26, 2035, in accordance with the amortization schedule.

### Amortization

The existing wireless telecommunication facility is in a rural zone and is defined as “low visibility” in accordance with Sections 6985 and 6991 of the Zoning Ordinance. The Project will modify ZAP-03-006W1M2, which was approved prior to the adoption of the Wireless Ordinance. ZAP findings have been made to support the renewal of the existing wireless facility located on the rooftop of the existing equipment shelter. In accordance with Section 6991 of the Zoning Ordinance, the applicant has submitted a valuation letter stating that the facility is valued at \$100,000 resulting in a 10-year permit. This time may be extended for an additional period of time by modifying the permit, if it is found that no smaller or less visible technology is available or feasible to replace the facility at the time of the request for a modification.

### Site Planning Analysis

The proposed wireless telecommunication facility modification is compatible with the surrounding land uses, existing structures, vegetation, and topography. The proposed antenna enclosure will be mounted within an existing equipment shelter, which is located near an existing single-family residence. The FRP (fiberglass-reinforced plastic) screen and framing, along with the new enclosure, are designed to visually integrate with the existing structure and surrounding environment. All relocated antennas and new equipment will be fully enclosed, minimizing visibility from adjacent properties and Carriage Lane, a private road. The equipment shelter, originally finished in earth-tone materials, will continue to house equipment upgrades while maintaining a low visual profile. The facility is sited in a way that avoids disruption to existing views and is effectively screened by existing topography and vegetation, ensuring compatibility with the rural residential character of the community.

### Community Compatibility/Visual Impacts

Policy LU 15.1 requires that wireless telecommunication facilities be sited and designed to minimize visual impacts, adverse effects on the natural environment, and to remain compatible with existing development and community character. The proposed facility meets this policy objective by utilizing concealment features, such as a fully enclosed antenna structure and screening materials designed to blend with existing site elements. The increased height to 18 feet will not create a substantial visual impact due to the facility's location behind the residence and partial screening provided by mature vegetation and the site's terrain. No exterior lighting is proposed, and all equipment upgrades are located within the existing shelter. Therefore, the proposed wireless telecommunication facility will not be visually prominent and will remain compatible with the character of the surrounding area.



### Alternative Site Analysis (ASA)

The proposed wireless telecommunication facility is designed to continue providing essential cellular service coverage to the surrounding area. The facility's strategic location and unobstructed line of sight are critical for maintaining both coverage and capacity. Without this facility, wireless coverage in the area would be substantially reduced. The subject property is zoned A70 (Limited Agriculture), which is a non-preferred zoning designation under the County's Wireless Ordinance and therefore requires an Alternative Site Analysis (ASA).

As part of the ASA, the applicant evaluated multiple alternative sites within the geographic service area, including co-location opportunities on existing wireless facilities. Several existing wireless sites were identified within approximately one mile of the project site; however, those facilities are situated at lower elevations and do not meet the required coverage objectives. Additionally, the area is predominantly composed of agricultural and rural residential zoning, which further limits available preferred zoning locations.

The subject site remains the most viable location due to its elevation, access, utility availability, and the presence of an existing willing property owner. Further ASA details, including Geographic Service Area (GSA) maps, can be found in Attachment E. These maps demonstrate the necessity of this location to maintain coverage continuity and service quality for residents and motorists in the surrounding area (Figure 5).

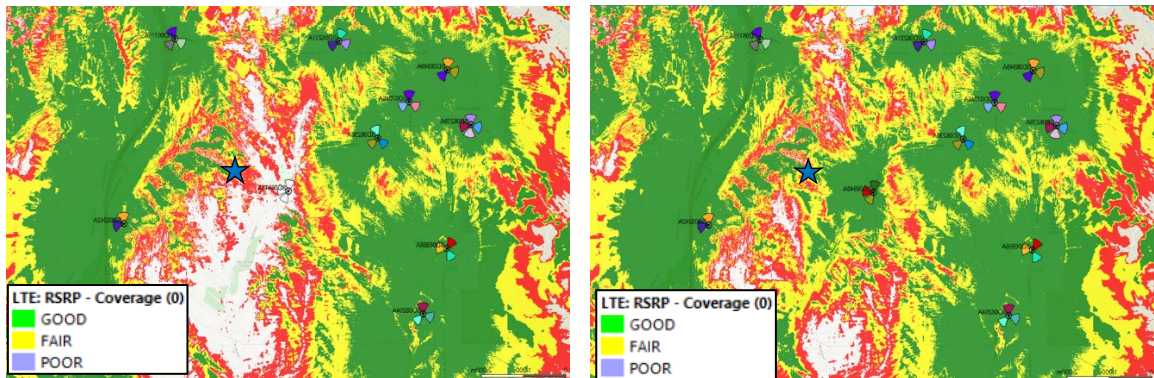


Figure 5: Coverage without Project (left) and coverage with Project (right).

### 3. General Plan Consistency

The proposed Project is consistent with the following relevant General Plan goals, policies, and actions as described in Table E-1.

Table E-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p><b>GOAL S-1 – Public Safety.</b> Enhanced public safety and the protection of public and private property.</p> <p><b>GOAL S-2 – Emergency Response.</b> Effective emergency response to disasters that minimizes the loss of life and damage to property, while also reducing disruption in the delivery of vital public and private services during and following a disaster.</p>	<p>The Project will provide continued coverage throughout the area, which is essential in the event of an emergency. The facility is equipped with battery backup units to maintain service during power outages. The wireless telecommunication facility will minimize telecommunication interruptions by continuing to provide service and coverage in the area.</p>
<p><b>Policy LU-15.1 – Telecommunication Facilities Compatibility with Setting.</b> Require that wireless telecommunication facilities be sited and designed to minimize visual impacts, adverse impacts to the natural environment, and are compatible with existing development and community character.</p> <p><b>POLICY COS 11.3 – Development Siting and Design.</b> Require development within visually sensitive areas to minimize visual impacts and to preserve unique or special visual features, particularly in rural areas.</p>	<p>The facility is proposed to be sited and designed to minimize visual impacts and be compatible with the existing development and community character. The previously approved wireless telecommunication facility and equipment shelter sufficiently blended in within the surrounding residential area. The addition of the FRP screen facility is designed to be camouflaged with existing landscaping and natural vegetation and is an expected visual feature within the community. In addition, the facility is designed to blend in with the surrounding residential area by being camouflaged by the landscaping and natural vegetation in order to avoid adverse visual impacts.</p>
<p><b>POLICY LU 15.2 – Co-Location of Telecommunication Facilities.</b> Encourage wireless telecommunication services providers to co-locate their facilities whenever appropriate, consistent with the Zoning Ordinance.</p>	<p>Nearby co-location opportunities did not meet the coverage objectives of the current site. The subject facility will allow co-location with other carriers to the extent feasible.</p>

#### 4. Zoning Ordinance Consistency

##### a. Development Regulations

The proposed Project complies with all applicable zoning requirements of the Limited Agriculture (A70) zone with the incorporation of conditions of approval (See Table E-2).

Table E-2: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	A70	Yes, upon approval of a ZAP Modification
Animal Regulation:	L	N/A
Density:	-	N/A
Lot Size:	2AC	N/A
Building Type:	C	N/A
Height:	G	Yes
Lot Coverage:	-	N/A
Setback:	C	Yes
Open Space:	-	N/A
Special Area Regulations:	C	Yes

Development Standard	Proposed/Provided	Complies?
Section 4600 of the Zoning Ordinance sets the maximum height requirements. This parcel has a designated height of "G" which requires structures to be no more than 35 feet in height.	The proposal is for the renewal of a wireless facility. The height of the previously approved structure is 15.6 feet tall, which is less than the 35 feet height limit. The equipment shelter with the FRP screen will conceal the wireless facility, ensuring that it blends in with the surrounding landscape. The design and height of the Project will be in conformance with the property's height designator.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires that the project meet the "C" setback requirements of a 60-foot front yard setback, 15-foot interior side yard setback, 35-foot exterior side yard setback, and a 25-foot rear yard setback.	The Project is not located within the front, rear, or side yard setbacks. Therefore, the proposed facility will meet the "C" setback requirements per Section 4800 of the Zoning Ordinance.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

## b. Wireless Ordinance Consistency

By federal law, the County is prohibited from regulating the placement, construction and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency (RF) emissions, if the facilities comply with the Federal Communication Commission (FCC) regulations concerning RF emissions. Therefore, County decision makers do not consider comments or information concerning potential health effects or other

environmental effects when determining whether to approve permits for cellular facilities. Also, staff does not require information from the Applicant concerning such effects from RF emissions associated with the Project. Information regarding potential health effects is available from the cellular providers upon request as required by the FCC.

The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular facilities. Therefore, staff does not require information from the Applicant on potential health effects from EMR associated with the Project. Generally, this information is available from the cellular providers upon request as it is also required from the FCC.

*Table E-3: Wireless Ordinance Consistency*

<b>Development Standard</b>	<b>Proposed/Provided</b>	<b>Complies?</b>
Section 6985.C.2 of the Wireless Telecommunication Ordinance requires that the equipment accessory to a facility not exceed 10 feet in height unless a greater height is necessary to maximize architectural integration, and the facility is screened by landscaping.	The equipment shelter, including all associated equipment, has been designed to a height of 18 feet and is fully concealed by a fiberglass-reinforced plastic (FRP) screen enclosure. This design is consistent with Section 6985.C.2 of the County Wireless Ordinance, which allows equipment to exceed the 10-foot height limit when necessary for architectural integration and when appropriately screened.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.5 of the Wireless Telecommunication Ordinance prohibits the placement of a telecommunication tower or equipment in the front, rear, or side yard setback.	The proposed wireless telecommunications facility and existing equipment enclosure are located outside all required setbacks including front, rear, and side yard.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.6 of the Wireless Telecommunication Ordinance states that noise from any equipment supporting the facility shall meet the requirements of the County's Noise Ordinance on an average hourly basis.	No new noise-producing equipment or operational uses are proposed as part of the Project and the existing generator is located within an equipment shelter which is designed to attenuate noise. The Project will not create a change in the existing noise environment and is therefore anticipated to comply with the County of San Diego Noise Ordinance Section(s) 36.404.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Development Standard	Proposed/Provided	Complies?
Section 6985.C.11 of the Wireless Telecommunication Ordinance limits the term of a “high visibility” facility, depending on the valuation of the wireless facility.	The Project is considered a “high visibility” facility. Since the proposed project has a valuation of \$100,000, the ZAP Modification has been conditioned to have a maximum term of 10 years.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

## 5. California Environmental Quality Act (CEQA) Compliance

The Project has been reviewed for compliance with CEQA. An Addendum dated June 26, 2025 to the previously adopted Negative Declaration (ND) (Log No. ER-03-02-003) dated October 23, 2003, was prepared and is on file with Planning & Development Services. It has been determined that the Project, as designed, will not cause any significant impacts on the environment which require mitigation measures that were not previously analyzed in the adopted ND.

## F. COMMUNITY PLANNING GROUP AND DESIGN REVIEW BOARD RECOMMENDATION

On May 15, 2023, the Fallbrook Community Planning Group (CPG) recommended approval of the project without conditions by a vote of 14-0-0-1 (14 – Ayes; 0 – Noes; 0 – Abstain; 1 – Absent/Vacant).

The Fallbrook CPG Recommendation Form and Meeting Minutes are found in Attachment E, Public Documentation.

## G. PUBLIC INPUT

At the time of application submittal and in accordance with Board Policy I-49, public notices were sent to property owners surrounding the project site until at least 20 different property owners were noticed within approximately 500 feet of the project site. No comments or concerns were received during the processing of the permit. Prior to the Zoning Administrator hearing, public notices were sent to a minimum of 20 property owners within approximately 500 feet of the project site.

## H. RECOMMENDATIONS

Staff recommends that the Zoning Administrator take the following actions:

1. Find the Project in conformance with CEQA and adopt the Environmental Findings included in Attachment C which include a finding that the previously adopted ND is adequate with an Addendum.
2. Approve ZAP Modification PDS2021-ZAP-03-006W2, make the findings, and impose the requirements and conditions as set forth in the Form of Decision in Attachment B.

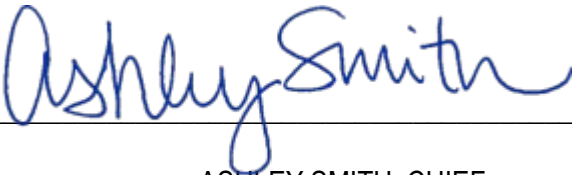
### Report Prepared By:

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(619) 323-8090  
[Eddie.Scott@sdcounty.ca.gov](mailto:Eddie.Scott@sdcounty.ca.gov)

### Report Approved By:

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(858) 694-2962  
[Vince.Nicoletti@sdcounty.ca.gov](mailto:Vince.Nicoletti@sdcounty.ca.gov)



AUTHORIZED REPRESENTATIVE:   
ASHLEY SMITH, CHIEF

**ATTACHMENTS:**

- Attachment A – Planning Documentation
- Attachment B – Form of Decision Approving PDS2021-ZAP-03-006W2
- Attachment C – Environmental Documentation
- Attachment D – Environmental Findings
- Attachment E – Public Documentation
- Attachment F – Photo-Simulations, Geographic Service Area Maps, and Alternative Site Analysis
- Attachment G – Ownership Disclosure Form

## **Attachment A – Planning Documentation**

SYMBOLS/ABBREVIATIONS LEGEND

- (E) - EXISTING  
(N) - NEW  
(P) - PROPOSED  
V/F - VERRY IN FIELD  
AGL - FINISH GRADE LINE  
Q - QUANTITY  
QTY - QUANTITY  
AZ - AZIMUTH  
HT - HEIGHT  
RRU - REMOTE RADIO UNIT  
RBS - RADIO BASE STATION  
FRP - FIBER-REINFORCED POLYMER

PROJECT TEAM

APPLICANT AGENT:  
NAME: T-MOBILE USA  
ADDRESS: 10509 VISTA SORRENTO PKWY STE 206  
SAN DIEGO, CA 92121  
CONTACT: JO ANN HOLT  
PHONE: (619) 857-7277  
EMAIL: JOANN.HOLT3@T-MOBILE.COM

ZONING/PERMITTING AGENT:  
NAME: MD7, LLC  
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SUITE 250  
SAN DIEGO, CA 92130  
CONTACT: ANTONETTE OCAÑO  
PHONE: (619) 754-7413  
EMAIL: AOCANO@MD7.COM

SITE ACQUISITION AGENT:  
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SUITE 250  
SAN DIEGO, CA 92130  
CONTACT: ANTONETTE OCAÑO  
PHONE: (619) 754-7413  
EMAIL: AOCANO@MD7.COM

CONSTRUCTION MANAGER:  
NAME: T-MOBILE USA  
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SAN DIEGO, CA 92121  
CONTACT: MIKE KENNEDY  
PHONE: (619) 857-7277  
EMAIL: MIKE.KENNEDY2@T-MOBILE.COM

RF ENGINEER:  
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ADDRESS: 10509 VISTA SORRENTO PKWY STE 206  
SAN DIEGO, CA 92121  
CONTACT: PEDRO ABEL  
PHONE: (619) 857-7277  
EMAIL: PEDRO.ABEL@T-MOBILE.COM

ARCHITECT OF RECORD:  
NAME: MD7 ARCHITECTURE SERVICES, INC  
ADDRESS: 10509 VISTA SORRENTO PKWY STE 206  
SAN DIEGO, CA 92121  
CONTACT: NICHOLAS BRITT  
PHONE: (619) 997-1011  
EMAIL: NICK@MD7.COM

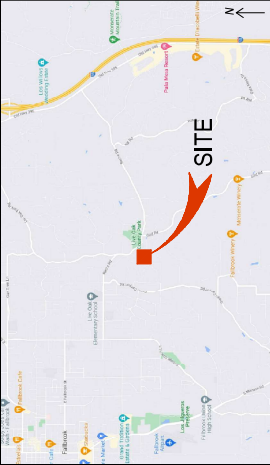


MD7, LLC  
10509 VISTA SORRENTO PKWY STE 206  
SAN DIEGO, CA 92121  
(619) 997-1011

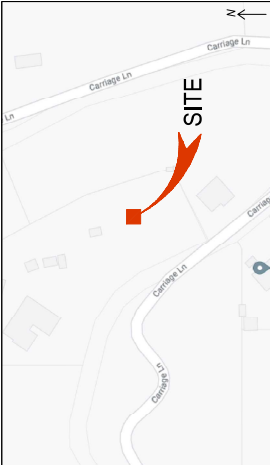


T-MOBILE  
10509 VISTA SORRENTO PKWY STE 206  
SAN DIEGO, CA 92121  
(619) 857-7277

BUILDING PERMIT PLAN FOR:  
SD948 IHDE RESIDENCE



VICINITY MAP  
NOT TO SCALE



SITE IMAGE  
NOT TO SCALE

DIRECTIONS TO SITE

- FROM T-MOBILE OFFICE:  
1. DEPART VISTA SORRENTO PKWY TOWARD DIRECTOS PL  
2. TAKE RAMP RIGHT AND FOLLOWS SIGNS FOR I-805 NORTH  
3. AT EXIT 53A TAKE RAMP RIGHT AND FOLLOW SIGNS FOR I-805 NORTH  
4. AT EXIT 53A TAKE RAMP RIGHT AND FOLLOW SIGNS FOR CA-56 EAST  
5. TAKE RAMP RIGHT AND FOLLOW SIGNS FOR I-15N  
6. TAKE RAMP RIGHT  
7. TURN LEFT ONTO CA-76 / PALA RD  
8. TURN LEFT ONTO CARRIDGE LANE  
9. TURN LEFT ONTO CARRIDGE LANE  
10. TURN LEFT ONTO CARRIDGE LANE  
11. DESTINATION WILL BE ON THE RIGHT.
- 1907 CARRIDGE LN  
FALLBROOK, CA

SITE INFORMATION

LATITUDE: 33.3586°  
LONGITUDE: -117.2624°  
ZONING: RM-SD  
PARCEL NUMBER: 107-250-51-00  
TYPE OF CONSTRUCTION: UN  
OCCUPANCY: B

DISCIPLINE CODE(DC)

- GENERAL: G  
CIVIL: C  
LANDSCAPE: L  
TRAFFIC: T  
STRUCTURAL: S  
ELECTRICAL: E  
MECHANICAL: M

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	DESCRIPTION OF CHANGE	CC NO.
1	04/12/2024	REVISED 100% CD	JJ
2	04/12/2024	REVISED 100% CD	JJ
3	04/12/2024	REVISED 100% CD	JJ
4	04/12/2024	REVISED 100% CD	JJ
5	04/12/2024	REVISED 100% CD	JJ
6	04/12/2024	REVISED 100% CD	JJ
7	04/12/2024	REVISED 100% CD	JJ

OWNER/APPLICANT

TRUSTEE UNDER SHARON L. CULVER  
REVOCABLE TRUST  
PO BOX 462947  
ESCONDIDO, CA 92046

SITE ADDRESS

1907 CARRIDGE LN, FALLBROOK, CA 92028

SHEET INDEX

SHEET	DC	DESCRIPTION
1	G01	COVER SHEET
2	G02	STORM/WATER QUALITY NOTES-CONSTRUCTION BMPs
3	G03	SPECTRUM ACT DETERMINATION
4	G04	PHOTO SURVEY
5	G05	GENERAL NOTES
6	G06	GENERAL NOTES (CONT.)
7	A1	OVERALL SITE PLAN
8	A2	EXISTING ENLARGED SITE PLAN
9	A2.1	PROPOSED ENLARGED SITE PLAN
10	A3	EXISTING ANTENNA PLAN & SCHEDULE
11	A3.1	PROPOSED ANTENNA PLAN & SCHEDULE
12	A3.2	ANTENNA & RADIO MOUNTING DETAILS
13	A3.3	EXISTING & PROPOSED EQUIPMENT PLAN
14	A4	EXISTING & PROPOSED NORTH ELEVATIONS
15	A4.1	EXISTING & PROPOSED EAST ELEVATIONS
16	A4.2	EXISTING & PROPOSED SOUTH ELEVATIONS
17	A4.3	EXISTING & PROPOSED WEST ELEVATIONS
18	A5	EQUIPMENT DETAILS
19	A5.1	EQUIPMENT DETAILS
20	S1	STRUCTURAL PLAN AND SECTION
21	S2	STRUCTURAL DETAILS
22	S3	STRUCTURAL DETAILS
23	E1	SINGLE LINE DIAGRAM
24	E2	GROUNDING DETAILS
25	E3	GROUNDING DETAILS
26	RF1	EQUIPMENT CONFIGURATION

SCOPE OF WORK

CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, TOOLS, TRANSPORTATION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS DETAILED ON THE PLANS, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:  
ALL NEW EQUIPMENT INDICATED IN DRAWINGS IS AN UNMANNED TRANSMISSION FACILITY FOR TELECOMMUNICATION CELLULAR SERVICES.

- REMOVE (9) EXISTING T-MOBILE PANEL ANTENNAS  
REMOVE (3) EXISTING T-MOBILE RADIO (RRUS-11)  
INSTALL PROPOSED FRP SCREEN ENCLOSURE  
INSTALL NEW EXHAUST FAN AND FRP LOUVERED VENTS  
INSTALL (3) PROPOSED T-MOBILE APXVALL 18M-L-20 PANEL ANTENNAS  
INSTALL (3) PROPOSED T-MOBILE AIR6419 PANEL ANTENNAS  
INSTALL (1) PROPOSED T-MOBILE MW ANTENNA  
INSTALL (1) PROPOSED REF-LO  
INSTALL (1) POWER CABLE AND (1) FIBER CABLE  
INSTALL (3) PROPOSED T-MOBILE RADIOS (480 B25+866)  
INSTALL (3) PROPOSED T-MOBILE RADIOS (480 B71+889)  
INSTALL (6) PROPOSED T-MOBILE ANTENNA MOUNTING PIPES  
INSTALL (6) PROPOSED RET CABLES  
INSTALL (3) 6X24 PCS CABLES  
INSTALL (2) PROPOSED RP6651 INSIDE PROPOSED EQUIPMENT CABINET  
INSTALL (1) PROPOSED IXP6 ROUTER INSIDE EQUIPMENT RACK  
INSTALL (2) PROPOSED 19" EQUIPMENT RACKS  
INSTALL (1) PROPOSED 6230 POWER UNIT ON NEW RACK  
INSTALL (12) PROPOSED 190AH BATTERIES IN PROPOSED BATTERY RACK  
REMOVE ALL UNUSED CABLES  
REMOVE ALL UNUSED EQUIPMENT  
INSTALL NEW BUSH LANDSCAPING TO MATCH EXISTING

THE SIZE, HEIGHT, AND DIRECTION OF ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING ORDINANCES, SPECIFICATIONS, AND STANDARDS:  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA EXISTING BUILDING CODE

COVER SHEET FOR

SD948 IHDE RESIDENCE

1907 CARRIDGE LN, FALLBROOK, CA 92028

SHEET 1 OF 26 SHEETS

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

COVER SHEET

G01



DEVELOPMENT SERVICES DEPARTMENT

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IF THIS BAR DOES NOT MEASURE 1" IT IS NOT TO SCALE

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PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO DEVELOPMENT MANUAL, STORM WATER STANDARDS, MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
  - ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE. PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT ~~IN THE~~ **WITHIN** THE ENTRANCE.
- (a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

**MD7**

10500 W. Center St. Ste. 200  
 West Covina, CA 91790  
 (909) 864-7139

**T-Mobile**

10550 WETA SCHWEDT DRIVE, K03  
 SAN DIEGO, CA 92121  
 (619) 594-7242

**CONSTRUCTION CHANGE TABLE**

CHANGE	DATE	EXPLAINED OR RAISED SHEET NUMBERS
1	04/12/2024	REVISED 09% CO
2	04/12/2024	REVISED 09% CO
3	04/12/2024	REVISED 09% CO
4	04/12/2024	REVISED 09% CO
5	04/12/2024	REVISED 09% CO
6	04/12/2024	REVISED 09% CO
7	12/12/2024	REVISED 09% CO

**STORM WATER QUALITY NOTES- CONSTRUCTION BMPs FOR SD948 IHDE RESIDENCE**

8007 CARRANCE LN, FALLBROOK, CA 92028

SHEET 2 OF 3 SHEETS

DATE: \_\_\_\_\_ REVISED: \_\_\_\_\_

**STORM WATER QUALITY NOTES-C-CONSTRUCTION BMPs**

**G02**

**The City of SAN DIEGO**

**DEVELOPMENT SERVICES DEPARTMENT**

**CONSTRUCTION CHANGE TABLE**

CHANGE	DATE	EXPLAINED OR RAISED SHEET NUMBERS
1	04/12/2024	REVISED 09% CO
2	04/12/2024	REVISED 09% CO
3	04/12/2024	REVISED 09% CO
4	04/12/2024	REVISED 09% CO
5	04/12/2024	REVISED 09% CO
6	04/12/2024	REVISED 09% CO
7	12/12/2024	REVISED 09% CO

(a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

**SPECTRUM ACT (6409).**

APPROVAL DATE \_\_\_\_\_

SPECTRUM ACT PROJECT NUMBER: \_\_\_\_\_

SPECTRUM ACT APPROVAL NUMBER: \_\_\_\_\_

SPECTRUM ACT PROJECT NAME (SITE ID): \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_ (EX: 1222 FIRST AVE, CA 92101)

OR

ASSESSOR'S PARCEL NUMBER: \_\_\_\_\_ (EX: 800199000, NO DASHES)

SPECTRUM ACT APPROVAL TO: \_\_\_\_\_ (SPECTRUM ACT)

PROJECT NUMBER (PTS/PRJ): \_\_\_\_\_

SPECTRUM ACT REFERS TO TITLE M, SECTION 6409(A) OF THE 2012 MIDDLE CLASS TAX RELIEF AND JOB CREATION ACT NOW CODIFIED AT 47 U.S.C. SECTION 1455 ("SECTION 6409 WIRELESS FACILITIES DEPLOYMENT") AND FEDERAL COMMUNICATIONS COMMISSION REPORT AND ORDER FF-14-153 ("WIRELESS INFRASTRUCTURE ORDER")

APPROVAL NUMBER (PTS/PMT): \_\_\_\_\_

EXPIRES ON: DATE: \_\_\_\_\_

THE DEVELOPMENT SERVICES DEPARTMENT HAS REVIEWED AND APPROVED A PROCESS ONE SPECTRUM ACT DETERMINATION FOR THIS PROJECT. THIS PROJECT WAS DETERMINED TO BE CONSISTENT WITH THE OBJECTIVES, STANDARDS, GUIDELINES AND/OR CONDITIONS OF THE PREVIOUSLY APPROVED PERMIT.

THE APPROVED MODIFICATION:

THE REQUESTED CHANGES TO THE PREVIOUSLY APPROVED EXHIBITS "A" FOR THIS PROJECT HAVE BEEN DETERMINED TO BE CONSISTENT WITH THE GENERAL INTENT, TERMS AND CONDITIONS OF THE PREVIOUS APPROVAL (IDENTIFIED ABOVE) AS WELL AS ANY OTHER APPLICABLE REGULATIONS, DEVELOPMENT STANDARDS AND GUIDELINES OF THE MUNICIPAL CODE IN EFFECT FOR THIS SITE. ALL APPLICABLE AND RELEVANT CONDITIONS AND FINDING OF APPROVALS AS SPECIFIED IN THE PREVIOUS APPROVAL SHALL REMAIN IN FULL EFFECT FOR THIS SITE, UNLESS OTHERWISE SPECIFIED BY THE DEVELOPMENT SERVICES DEPARTMENT. NOTE THAT IF THE PREVIOUS APPROVAL EXPIRES, THIS SPECTRUM ACT APPROVAL BECOMES NULL AND VOID, AND ALL PROCESSING WILL CEASE.

**Telecom Final Inspection Required**

Once project is ready for a Telecom Inspection, e-mail photos of the completed project to 5G\_dsd@sanidiego.gov

The purpose of the Telecom Inspection is to ensure that the WCF complies with the approved photo simulations and plans. (When applicable) All FRP must be in good condition and may not exhibit any warping, seams or discoloration.

Roof-top photos will be required at final inspection



MD7, LLC  
10250 West Alhambra, Suite 200  
San Diego, CA 92114  
(619) 594-1142



10250 West Alhambra, Suite 200  
San Diego, CA 92114  
T-MOBILE.COM

**CONSTRUCTION CHANGE TABLE**

CHANGE	DATE	DESCRIPTION OF CHANGE	CC NO.
2	04/10/2024	REVISED 6409 CD	JJ
3	04/25/2024	6409 CD	JJ
4	04/25/2024	REVISED 6409 CD	JJ
5	04/25/2024	6409 CD	JJ
6	11/18/2024	REVISED 6409 CD	AS
7	12/12/2024	REVISED 6409 CD	AS

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IF THIS SCALE IS  
NOT TO SCALE



DEVELOPMENT SERVICES DEPARTMENT

SPECTRUM ACT  
DETERMINATION

G03

STORM WATER QUALITY NOTES- CONSTRUCTION BMPs FOR

**SD948 IHDE RESIDENCE**

807 CARRIDGE LN, FALLBROOK, CA 92028

SHEET 8 OF 19 SHEETS

DATE

DATE





APPROVAL NOTES FOR  
SD948 IHDE RESIDENCE  
807 CARRIDGE LN, FALLBROOK, CA 92028

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

PHOTO SURVEY

G04



DEVELOPMENT SERVICES DEPARTMENT

0 10' 1

IF THIS BAR DOES NOT MEASURE 1" IN LENGTH, SCALE IS NOT TO SCALE

CONSTRUCTION CHANGE TABLE			CC NO
CHANGE	DATE	DESCRIPTION OF WORK	CC NO
2	04/10/2024	REVISED 100% CD	AI
3	04/25/2024	100% CD	AI
4	04/25/2024	REVISED 100% CD	AI
5	04/25/2024	REVISED 100% CD	AI
6	11/06/2024	REVISED 100% CD	AS
7	12/17/2024	REVISED 100% CD	AS



10580 West Valley Blvd, Suite 250  
San Diego, CA 92114  
T.MOBILE.COM

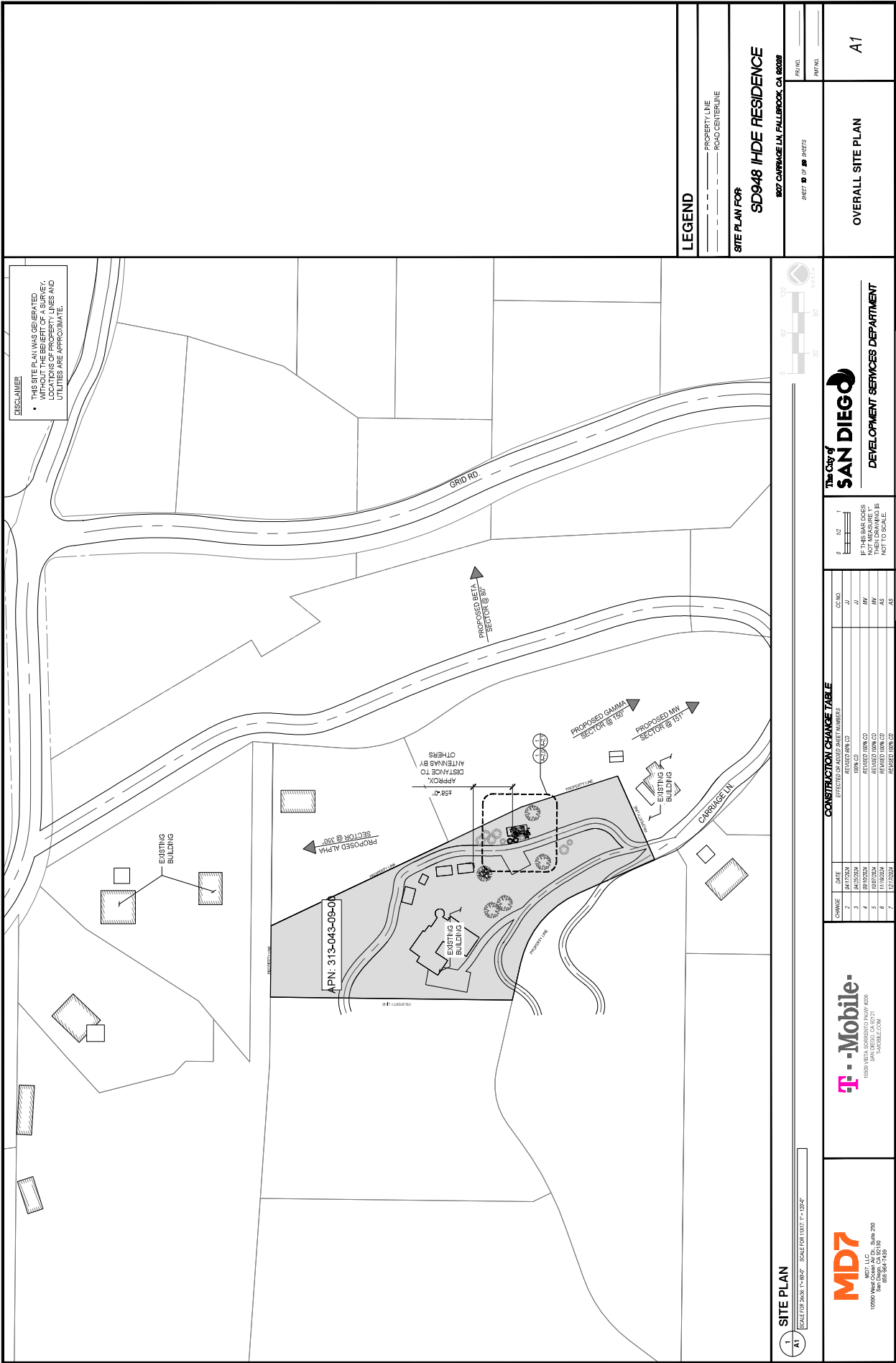


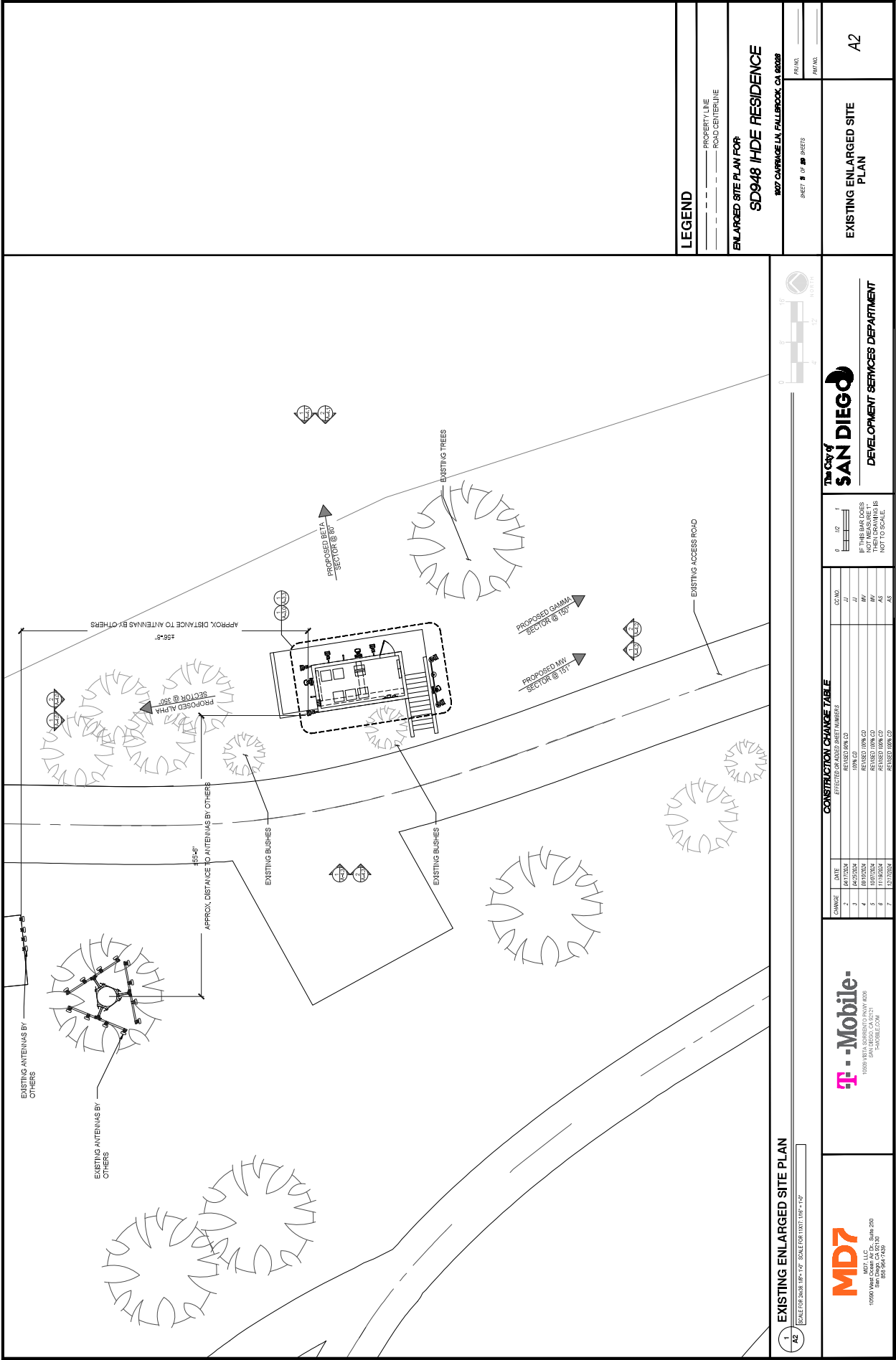
MD7, LLC  
10580 West Valley Blvd, Suite 250  
San Diego, CA 92114  
(619) 594-1141

[illegible]









LEGEND

PROPERTY LINE  
ROAD CENTERLINE

ENLARGED SITE PLAN FOR  
SD948 IHDE RESIDENCE  
807 CARRIDGE LN, FALLBROOK, CA 92028

SHEET # OF SHEETS  
1 OF 24

EXISTING ENLARGED SITE  
PLAN  
A2



DEVELOPMENT SERVICES DEPARTMENT

IF THIS MAP DOES  
NOT MEASURE 1"  
= 100' FEET, IT IS  
NOT TO SCALE.

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	DESCRIPTION OF CHANGE	CC NO.
2	04/10/2024	REVISED MW CD	JJ
3	04/25/2024	REVISED MW CD	JJ
4	06/10/2024	REVISED MW CD	JJ
5	06/10/2024	REVISED MW CD	JJ
6	11/18/2024	REVISED MW CD	AS
7	12/17/2024	REVISED MW CD	AS



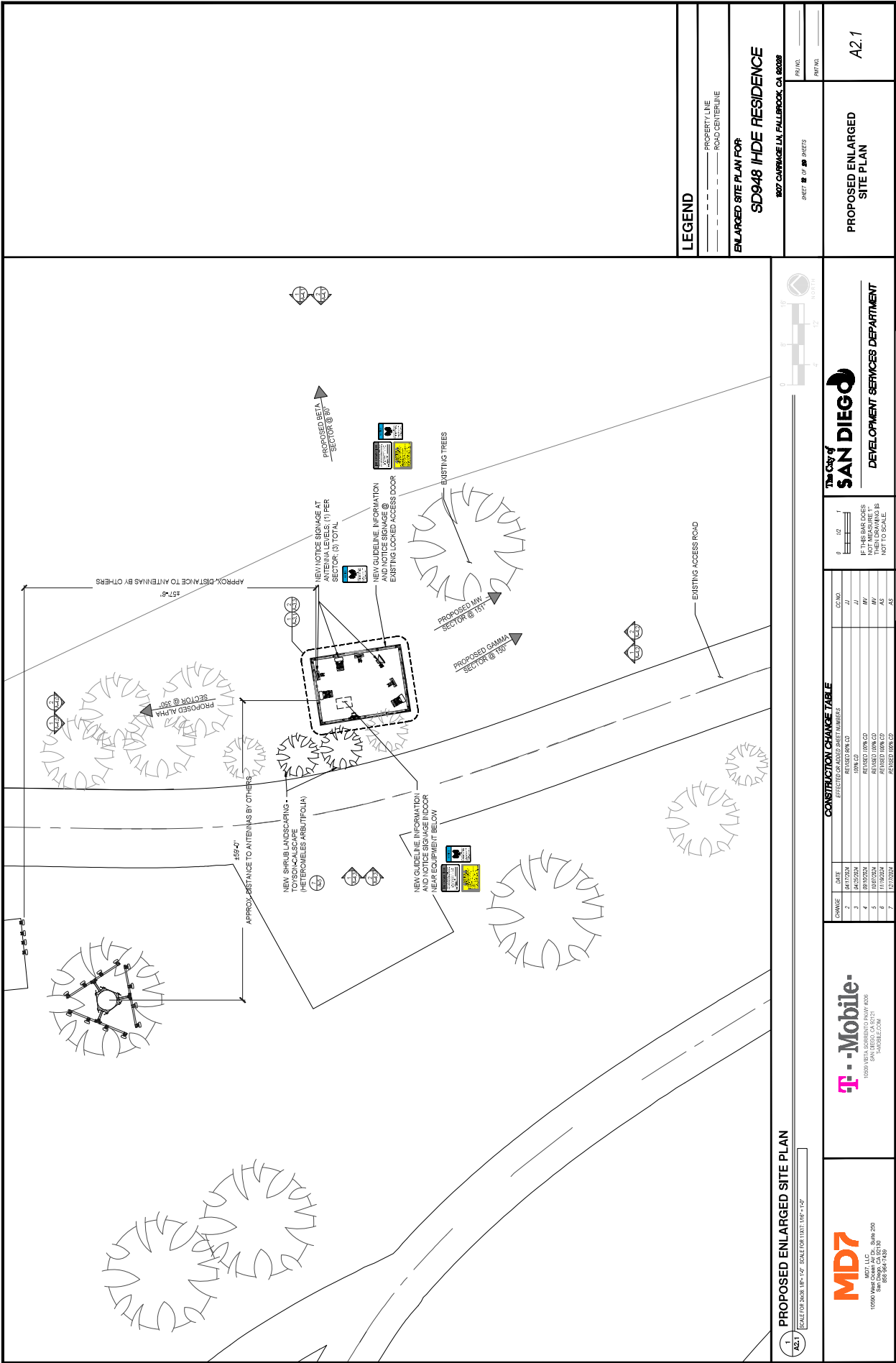
10950 Via Valiente, Suite 200  
San Diego, CA 92121  
T.MOBILE.COM



MD7, LLC  
10950 Via Valiente, Suite 200  
San Diego, CA 92121  
MD7.COM

1  
A2  
EXISTING ENLARGED SITE PLAN  
SCALE FOR 24x36 1/8" x 1/4" SCALE FOR 11x17 1/2"





LEGEND


--- PROPERTY LINE  
--- ROAD CENTERLINE

ENLARGED SITE PLAN FOR  
**SD948 IHDE RESIDENCE**  
807 CARRIDGE LN, FALLBROOK, CA 92028


SHEET # OF SHEETS  
1 OF 25

PROPOSED ENLARGED  
SITE PLAN  
A2.1

**1** PROPOSED ENLARGED SITE PLAN  
SCALE FOR 24"X36" 1/4" = 1'-0" SCALE FOR 18"X24" 1/8" = 1'-0"



MD7, LLC  
10950 West Valley Blvd., Suite 200  
San Diego, CA 92126  
(619) 594-1142



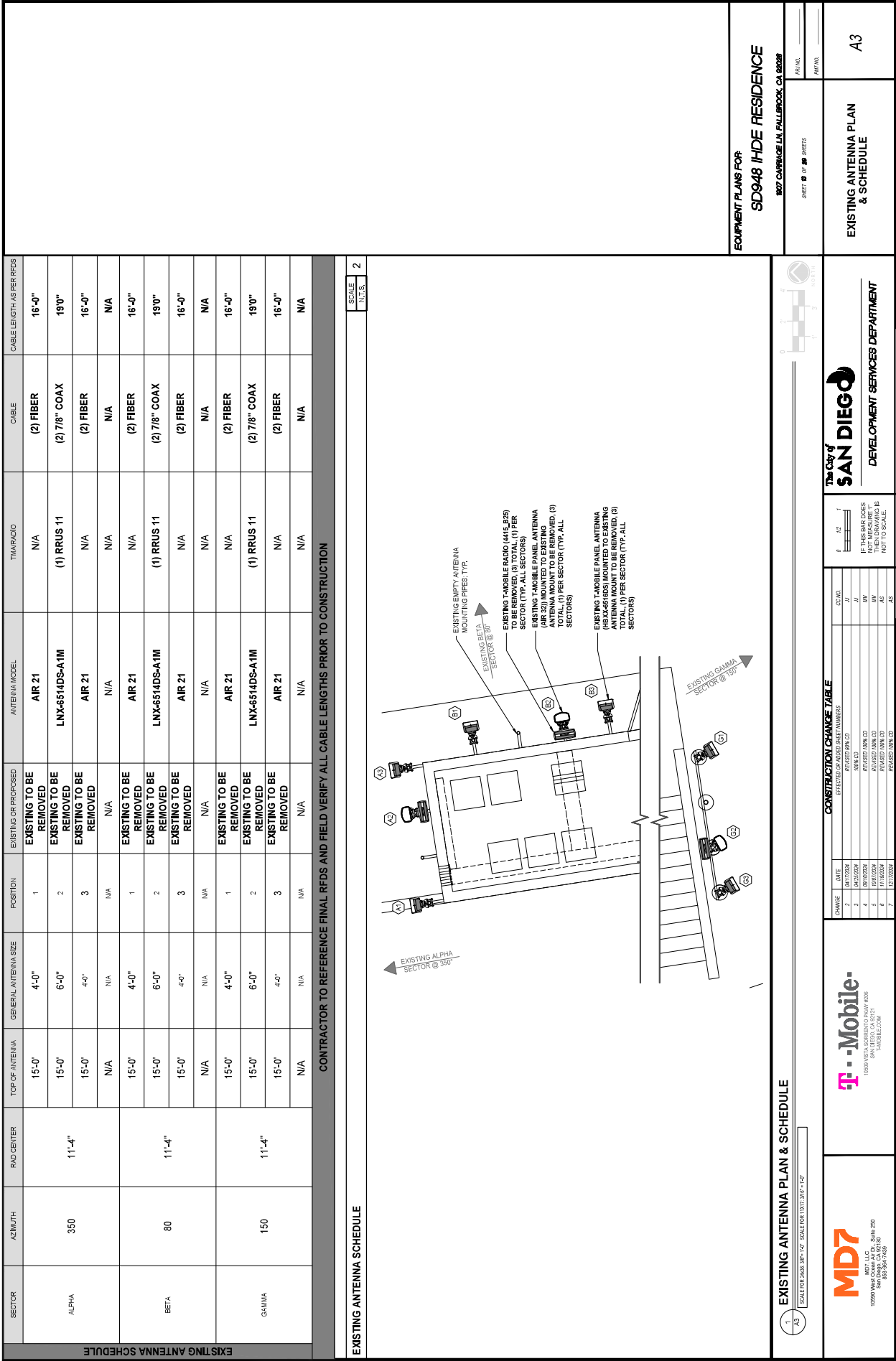
10950 West Valley Blvd., Suite 200  
San Diego, CA 92126  
T-MOBILE.COM

**The City of SAN DIEGO**  
DEVELOPMENT SERVICES DEPARTMENT

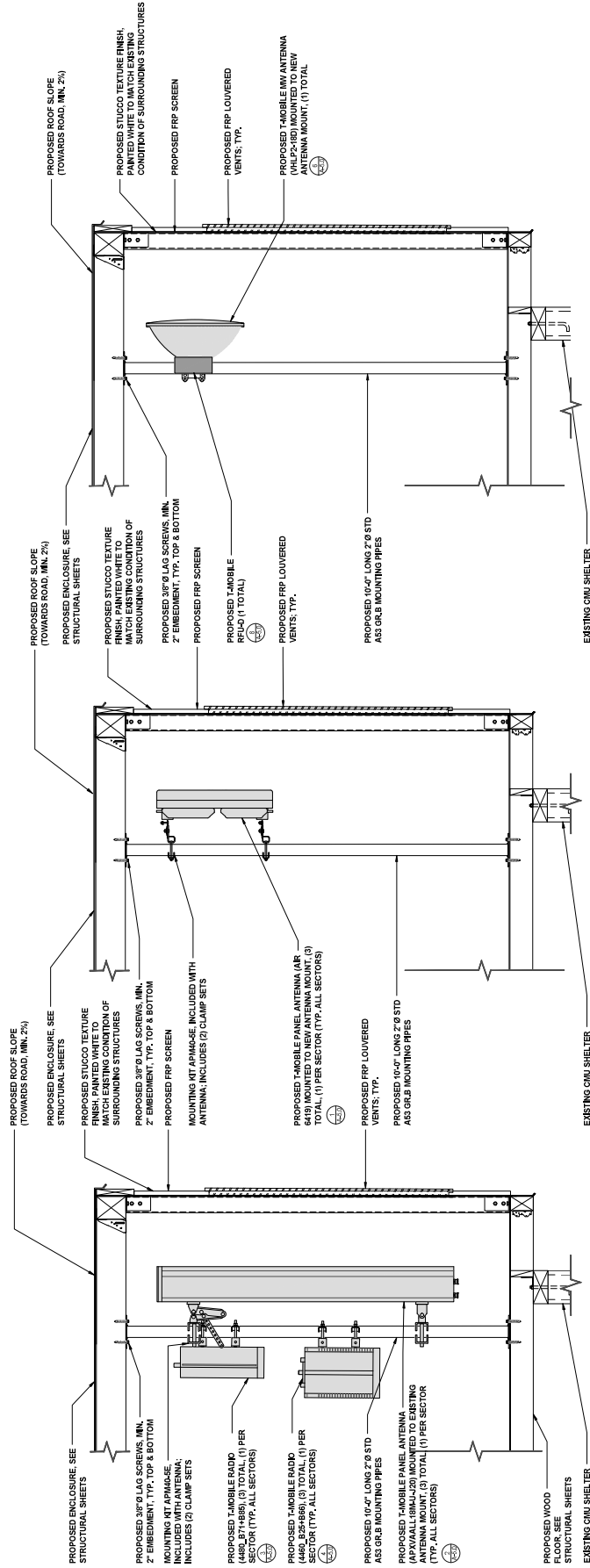
0 10' 20' 30' 40' 50' 60' 70' 80' 90' 100'

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CHANGE	DATE	DESCRIPTION OF CHANGE	CC NO.
1	04/10/2024	REVISED 04/10/2024	1
2	04/10/2024	REVISED 04/10/2024	2
3	04/10/2024	REVISED 04/10/2024	3
4	04/10/2024	REVISED 04/10/2024	4
5	04/10/2024	REVISED 04/10/2024	5
6	04/10/2024	REVISED 04/10/2024	6
7	04/10/2024	REVISED 04/10/2024	7



1  
A3.1



## 1207 CARRIAGE LN, FALLBROOK, CA 92028

SHEET 15 OF 20 SHEETS

### ANTENNA & RADIO MOUNTING DETAILS



**The City of**  
**SAN DIEGO**

DEVELOPMENT SERVICES DEPARTMENT

**CONSTRUCTION CHANGE TABLE**  
EFFECTED OR ADDED SHEET NUMBERS

CC NO.	EFFECTED OR ADDED SHEET NUMBERS
JJ	REVISED 80% CD
JJ	100% CD
MM	REVISED 100% CD
MM	REVISED 100% CD
AS	REVISED 100% CD
AS	REVISED 100% CD



10609 VISTA SORRENTO PKWY #206  
SAN DIEGO, CA 92121  
T-MOBILE.COM



MD7, LLC  
10590 West Ocean Air Dr., Suite 2  
San Diego, CA 92130  
858-964-7439

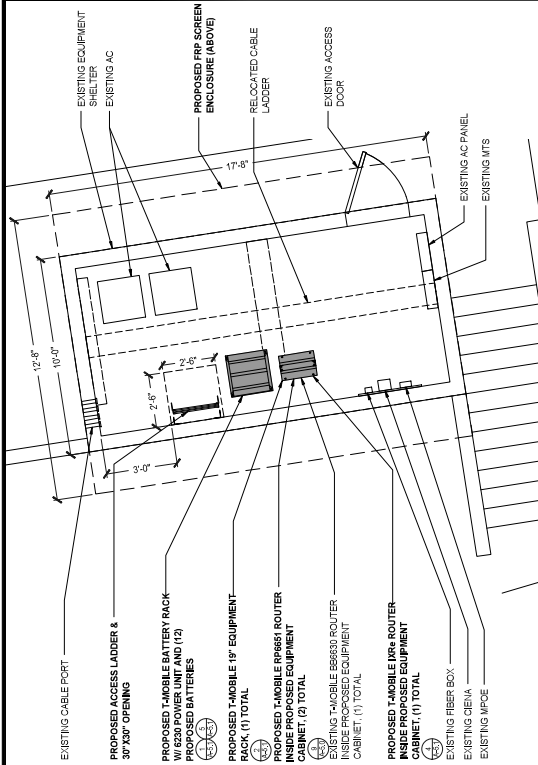
## PROPOSED ANTENNA PLAN & SCHEDULE

SCALE FOR 24x36 3/8"=1'-0" SCALE FOR 11x17 3/16"=1'-0"

BATTERY SPECIFICATIONS	
CABINET #1 TYPE	6200
BATTERY MANUFACTURER	NORTHSTAR
MODEL NUMBER	NSB190FT RED
MAX CAPACITY IN AMPHOUR	190
NUMBER OF BATTERIES INSTALLED	12
MAXIMUM NUMBER OF BATTERIES PER CABINET	12
TOTAL CAPACITY IN KWH IN CABINET #1	27.360

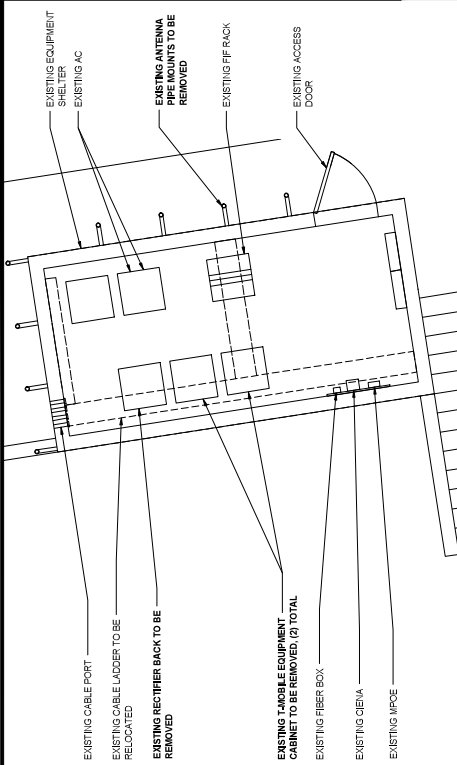
BATTERY CALCULATIONS

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PROPOSED EQUIPMENT PLAN

2  
A3.3  
SCALE FOR 36X8 38\"/>




EXISTING EQUIPMENT PLAN

4  
A3.3  
SCALE FOR 36X8 38\"/>



MD7, LLC  
10550 West  
San Diego, CA 92120  
(619) 512-1122



T-Mobile  
10550 Vantage  
San Diego, CA 92121  
T.MOBILE.COM

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	DESCRIPTION OF CHANGE SHEET NUMBER	CC NO
2	04/10/2024	REVISED 09N CD	JJ
3	04/10/2024	09N CD	JJ
4	08/05/2024	REVISED 09N CD	JV
5	08/05/2024	REVISED 09N CD	JV
6	11/18/2024	REVISED 09N CD	AS
7	12/17/2024	REVISED 09N CD	AS



The City of  
**SAN DIEGO**  
DEVELOPMENT SERVICES DEPARTMENT



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TO SCALE. THIS FILE IS  
NOT TO SCALE.

EQUIPMENT PLANS FOR  
**SD948 IHDE RESIDENCE**  
802 CARRIDGE LN, FALLBROOK, CA 92028

SHEET 10 OF 10 SHEETS

EXISTING & PROPOSED  
EQUIPMENT PLAN

A3.3











**Attachment B – Form of Decision  
Approving PDS2021-ZAP-03-006W2**





VINCE NICOLETTI  
DIRECTOR

**PLANNING & DEVELOPMENT SERVICES**  
5510 OVERLAND DRIVE, SUITE 210, SAN DIEGO, CALIFORNIA 92123  
(858) 505-6445 General • (858) 694-2705 Codes Compliance  
(858) 565-5920 Building Services

June 26, 2025

**PERMITTEE:**  
**SITE PLAN No.:** PDS2021-ZAP-03-006W2  
**E.R. NUMBER:** PDS2021-ER-03-02-003B  
**PROPERTY:** 1907 Carriage Lane, Fallbrook, CA 92028 WITHIN THE  
Fallbrook COMMUNITY PLANNING AREA OF UNINCORPORATED  
SAN DIEGO COUNTY  
**APNs:** 107-250-51-00

### **DECISION OF ZONING ADMINISTRATOR**

#### **ORIGINAL MINOR USE PERMIT DECISION (ZAP-03-006)**

Grant, as per plot plan and elevations dated April 21, 2003, consisting of ten (10) sheets, a Minor Use Permit pursuant to Sections 2148.b and 7350 et seq. of the Zoning Ordinance, to allow an unmanned wireless telecommunications facility consisting of an 11-foot-high, 180-square-foot equipment shelter located in a cut-graded slope on a 395-square-foot concrete pad and topped with twelve (12) panel antennas each 15 feet high from grade..

#### **MODIFICATION TO MINOR USE PERMIT DECISION (ZAP-03-006W2)**

This Minor Use Permit Modification authorizes the renewal and modernization of the existing unmanned wireless telecommunication facility, consistent with current Zoning Ordinance Sections 6980 through 6993. The approved plot plan and elevations (dated March 15, 2023) include the removal of three (3) panel antennas and radios, relocation of six (6) panel antennas and amplifiers, and installation of three (3) new L600 antennas, radios, and mounting hardware. The modification also authorizes the installation of a fiberglass-reinforced plastic (FRP) screen atop the existing equipment shelter, increasing the total height of the facility to 18 feet.

**MINOR USE PERMIT MODIFICATION EXPIRATION:** This Minor Use Permit shall expire on **June 26, 2027** at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Minor Use Permit has commenced prior to said expiration date.

.....

**SPECIFIC CONDITIONS:** Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Site Plan. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

**SPECIFIC CONDITIONS FOR MINOR USE PERMIT (ZAP-03-006):**

The following conditions are imposed with the granting of this Minor Use Permit:  
Building permit plans must conform in detail to this approved design.

Failure to conform can cause delays or denial of building permits and require formal amendment of this approved design. No waiver of the Uniform Building Code standards or any other code or ordinance is intended or implied.

A. Prior to obtaining any building or other permit pursuant to this Minor Use Permit, and prior to commencement of construction or use of the property in reliance on this Minor Use Permit, the applicant shall:

1. Pay off all existing deficit accounts associated with processing this application to the satisfaction of the Department of Planning and Land Use.
2. On Sheets A-1 and A-1.1 of the building plans, specify two ground-mounted Carrier 3BTUA036 A.C. condensers or equivalent units (same size and location) each with a maximum sound pressure level of 46 decibels at a reference distance of 24 feet or less (a sound power level of 7.6 Bels or less). These ground-mounted units shall be located on the exterior northeast side of the equipment shelter. Permanent backup generators are prohibited.
3. On Sheets A-1 and A-1.1, specify and identify a sound attenuation enclosure as a noise control element that includes the retaining wall on the north side of the equipment shelter. The barrier extends south from the end of the retaining wall past the condensers with a return leg back to the northeastern corner of the shelter to enclose the outdoor A.C. equipment. On Sheet A-1, the top of barrier elevations shall meet or exceed the minimum height requirement of the enclosure of 4 feet above the base mounting level of the A.C. units. An access door may be included but the whole enclosure shall have no gaps or openings at the edges of the shelter or around the closed door (STC 26 or better with weather stripping). The barrier shall be solid and may consist of masonry, wood, plastic, fiberglass, steel, special

materials designed for sound barriers, or a combination of these materials, without cracks or gaps through or below the barrier wall. If wood is used, it can be either a tongue-in-groove design or have any seams or cracks filled or caulked. The lumber shall be at least 7/8-inch thick. The barrier/wall shall have a minimum surface density of 3.5 pounds per square foot. Sheet metal of 18-gauge (minimum) may be used, if it meets other criteria and is properly supported and stiffened so that it does not rattle or create noise itself from vibration and wind.

4. On Sheet A-1.1 of the building plans, specify that the access to the equipment shelter is an exterior-grade, solid-core steel door, with tightly fitting doorjamb and rubber seals to limit any noise leakage from the interior equipment.
5. Access to the project site shall be improved per San Diego County policies and regulations, unless evidence is provided to the Department of Planning and Land Use (DPLU) showing that project access is in compliance with the March 21, 2000 County of San Diego Cellular Facilities Standards for Fire Protection (FP-2).
6. Obtain a Construction Permit for any work within the County road right-of-way. DPW Construction/Road Right-of-Way Permits Services Section should be contacted at (858) 694-3275 to coordinate departmental requirements. Also, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove, plant or trim shrubs or trees from the Permit Services Section.
7. A grading permit will be required prior to commencing of the grading where quantities exceed 200 cubic yards of material and/or cuts or fills of eight-feet (8') or more in height per criteria of Section 87.202 of the County Code.

B. Prior to any occupancy or use of the premises pursuant to this Minor Use Permit, the applicant shall:

1. Comply with street lighting requirements as follows:
  - a. Transfer the property subject to this Minor Use Permit (ZAP 03-006) into Zone A of the San Diego County Street Lighting District without notice or hearing, and pay the cost to process such transfer.
2. Furnish the Director of Planning and Land Use, along with their request for final inspection, a letter from the Director of Public Works, stating Condition(s) A.5 through B.1 have been completed to that department's satisfaction.
3. Submit photograph evidence, to the satisfaction of the Director of Planning and Land Use that the finished project design is in substantial conformance with the photographic simulations dated January 21, 2003 and on file with the Department of Planning and Land Use as ZAP 03-006.

C. The following conditions shall apply during the term of the Minor Use Permit:

1. Comply with all applicable stormwater regulations at all times. The activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance (Ordinance No. 9424 and Ordinance No. 9426) and all other applicable ordinances and standards. This includes requirements for materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas greater than 1 acre require that the property owner keep additional and updated information onsite concerning stormwater runoff. This requirement shall be to the satisfaction of the Director of Public Works.
2. The applicant is responsible to repair any damage caused by them to the on-site and off-site private roads that serve the property.
3. The parking area and driveway shall be well maintained.
4. Exterior lighting is prohibited.
5. If at any time the antennas and equipment are no longer operational, the antennas and the associated equipment shall be removed from the site within 60 days.
6. Within the proposed project, 100 feet of vegetative clearance shall be maintained at all times.

D. The Minor Use Permit expires on February 17, 2006, unless construction and/or use in reliance has started, or unless an extension has been granted previously by the Zoning Administrator.

**SPECIFIC CONDITIONS FOR MINOR USE PERMIT MODIFICATION PDS2021-ZAP-03-006W<sup>2</sup>:** Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Minor Use Permit. Please note that all applicable conditions (ongoing, maintenance, etc.) associated with Minor Use Permit (3400-03-006) and subsequent Modifications approval shall apply. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

**ANY PERMIT:** (Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).

**1. GEN#1-COST RECOVERY:**

**INTENT:** In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this

permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.

**2. GEN#2-RECORDATION OF DECISION:**

**INTENT:** In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an 'all-purpose acknowledgement' and return the original Recordation Form to PDS. **DOCUMENTATION:** Signed and notarized original Recordation Form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

**OCCUPANCY:** *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

**3. GEN#3-INSPECTION FEE**

**INTENT:** In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the [PDS, ZC] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [PDS, PCC]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, ZC] shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

**4. PLN#1- PHOTO SIMULATION:**

**INTENT:** In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photo simulations. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved photo-simulations dated **12/17/2024** to ensure that the site was built to be screened from public view. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS,



PCC] for review that demonstrates the mono-broadleaf has been re-branched to a mono-pine. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the provided photos for compliance with this condition and compliance with the photo-simulations

**5. PLN#2–SITE CONFORMANCE (WIRELESS)**

**INTENT:** In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved plot plans including landscaping. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the provided photos for compliance with this condition and compliance with the approved plot plans.

**ONGOING:** (The following conditions shall apply during the term of this permit).

**6. PLN#3–SITE CONFORMANCE (WIRELESS):**

**INTENT:** In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility and associated equipment shelter, as depicted in the approved photo simulations dated **12/17/2024**. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit).
- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.

- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

**DOCUMENTATION:** The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

7. **NOISE#1–ON-GOING SOUND LEVEL COMPLIANCE: [PDS, CODES] [OG]**  
**INTENT:** In order to comply with the applicable sections of Title 3, Division 6, Chapter 4 ([County of San Diego Noise Ordinance](#)), the site shall comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements: Major Use Permit associated activities shall comply with the one-hour average sound level limit property line requirement pursuant to the County Noise Ordinance, Section 36.404. This includes (but not limited to) generator and air conditioner units. **DOCUMENTATION:** The property owner(s) and applicant shall conform to the ongoing requirements of this condition. Failure to conform to this condition may result in disturbing, excessive or offensive noise interfering with a person's right to enjoy life and property and is detrimental to the public health and safety pursuant to the applicable sections of Chapter 4. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, CODES] is responsible for enforcement of this permit.

8. **ROADS#1–ROAD MAINTENANCE**  
**INTENT:** In order to ensure that the on and offsite public and private roads are maintained and not damaged during construction and during the term of the permit, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for the repair of any damage caused by this Project during construction and the term of this permit to on-site and offsite private roads that serve the Project. Furthermore, the applicant is responsible for maintenance on a proportional basis (number of trips) during the term of this permit to on-site and offsite private roads that serve the Project. **DOCUMENTATION:** The applicant shall assume responsibility pursuant to this condition. **TIMING:** Upon

establishment of use, this condition shall apply during the term of this permit.  
**MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

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## **FINDINGS FOR MINOR USE PERMIT MODIFICATION PDS2021-ZAP-03-006W2**

Pursuant to Section 7358 of The Zoning Ordinance, the following findings in support of the granting of the Minor Use Permit Modification are made:

(a) *The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to*

1. *Harmony in scale, bulk, coverage and density:*

The subject property is 2.32 acres in size and contains a two-story single-family residence with residential landscaping, including grass and ornamental trees. The existing wireless telecommunications facility was originally permitted under ZAP-03-006 and is located on a concrete pad cut into the slope. The ZAP-03-006W2 modification proposes continued operation of the facility, with several improvements including the installation of a fiberglass-reinforced plastic (FRP) screen and antenna enclosure that increases the total structure height to 18 feet. The structure maintains a low profile relative to surrounding features. The house and many trees on-site remain taller than the proposed facility. The visual massing remains minor relative to the 2.32-acre site, and the upgraded concealment materials improve visual integration with the existing topography and vegetation. The project remains an unoccupied, non-residential utility use, and will not affect density. Therefore, the project continues to be in harmony with the scale, bulk, coverage, and density of adjacent development.

*Scale and Bulk:*

The existing equipment shelter is being upgraded to include an 18-foot-tall FRP screen to fully enclose relocated antennas and supporting equipment. While this represents a height increase from the originally approved facility, the project remains well below the 35-foot height limit for the zone and is screened by both the residence and surrounding vegetation. The FRP screen is architecturally integrated with the existing equipment shelter and is designed to reduce the perceived scale and bulk of the structure. The facility's position behind the existing home and partially within a graded slope minimizes its prominence. Therefore, the project is consistent with the scale and bulk of nearby development.

Coverage:

The facility will continue to occupy a 395-square-foot lease area within the 2.32-acre parcel. This footprint is minimal and does not represent a significant encroachment or expansion of existing site improvements. The upgraded structure is confined to the same pad area as previously approved, and no new coverage or land disturbance is proposed. Thus, the facility's coverage is minimal and appropriate for the site.

Density:

The project does not propose the addition of any dwelling units and does not impact residential density. As an unmanned wireless telecommunications facility, it remains a utility use that does not generate occupancy or intensity associated with residential or commercial development. Therefore, the project will not affect the residential density of the site or surrounding area.

2. *The availability of public facilities, services and utilities;*

The North County Fire Protection District has certified fire service availability. Electrical and telecommunications utilities are available on-site. No additional public infrastructure is required to support this project. All necessary services and facilities are available for continued operation under the permit modification.

3. *The harmful effect, if any, upon desirable neighborhood character;*

The surrounding area is composed of rural residential and agricultural uses and is zoned A70 (Limited Agriculture). The visual profile of the modified facility will remain low, with the FRP screen and antenna concealment structure designed to mimic natural and built surroundings. The 18-foot-tall structure is located behind the residence and within a cut slope, partially screened by the site's natural vegetation and existing improvements. The upgrade does not increase visibility beyond what is typical or previously permitted.

A certified acoustical analysis confirmed continued compliance with County noise standards at the property lines. No exterior lighting is proposed. The project has been conditioned to ensure visual conformance with submitted photo simulations. Therefore, the modified facility will not create adverse impacts to the rural character or aesthetic value of the surrounding neighborhood.

4. *The generation of traffic and the capacity and physical character of surrounding streets;*

As an unmanned facility, the project will generate approximately two maintenance-related vehicle trips per month. Access is provided via a private driveway connecting to Carriage Lane, a privately maintained road. The minimal traffic associated with the facility will not affect street capacity or function. Therefore, the character and physical capacity of surrounding roads are sufficient to accommodate the project.

5. *The suitability of the site for the type and intensity of use or development, which is proposed;*

The 2.32-acre parcel contains an existing single-family residence and a previously approved utility facility. No environmentally sensitive resources or steep slopes are impacted by the project. The site does not require major grading or landform alteration, and access is already established. The continued and modified use is therefore suitable in type and intensity for the site.

6. Any other relevant impact of the proposed use.

None identified.

That the impacts, as described in Paragraph "a" of this section and the location of the proposed use will be consistent with the San Diego County General Plan.

The project is consistent with the General Plan because the land use designation of the subject property, Estate Residential (17) in the Semi-Rural Regional Category, allows for civic uses that support the local population. The project is further consistent with the Public Safety Element of the General Plan because it encourages the continual improvement of a countywide telephone communications system, particularly with respect to enhancing emergency communications.

7. That the requirements of the California Environmental Quality Act have been complied with.

Pursuant to Sections 15162 through 15164 of the State CEQA Guidelines, an Addendum to the previously adopted environmental document has been prepared for the project. The project consists of an unmanned wireless telecommunication facility involving the installation of new equipment and facilities within small structures. It has been determined that the proposed changes would not result in new significant environmental effects or substantially increase the severity of previously identified significant effects. The project is not in an environmentally sensitive location; would not have a cumulative effect on the environment; is not on a hazardous waste site; would not cause a substantial change in the



significance of a historical resource; and would not result in damage to a scenic highway.

### **WIRELESS TELECOMMUNICATION FINDINGS**

The project is located in a preferred zone and preferred location. Pursuant to Section 6986.B of the County's Wireless Telecommunications Ordinance, the applicant submitted an Alternative Site Analysis demonstrating that no feasible preferred sites exist within the service area due to elevation, zoning constraints, or technological limitations.

In compliance with Section 6986.C, the project incorporates concealment features, including a fiberglass-reinforced plastic (FRP) screen atop the existing equipment shelter, increasing the facility height to 18 feet. The design is intended to minimize visual impacts and blend with the surrounding residential character.

Although not located in a preferred zone, the concealed design, screening improvements, and lack of feasible alternatives support the determination that the facility is compatible with the surrounding community and preferable under the circumstances.

**ORDINANCE COMPLIANCE NOTIFICATIONS:** The project is subject to, but not limited to the following County of San Diego, State of California, and U.S. Federal Government, Ordinances, Permits, and Requirements:

**STORMWATER ORDINANCE COMPLIANCE:** In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(RWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Quality Management Plan (SWQMP), all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that the property owner keep additional and updated information onsite concerning stormwater runoff. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

**LOW IMPACT DEVELOPMENT NOTICE:** The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013 and amended in November 2015. *Project design shall comply with the new Municipal Permit regulations.* The County has provided a Low Impact Development (LID) Handbook as a source for LID information to be utilized by County staff and outside consultants for implementing LID in our region. The LID Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

[https://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED\\_PROTECTION\\_PROGRAM/susmppdf/lid\\_handbook\\_2014sm.pdf](https://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf)

**STORMWATER COMPLIANCE NOTICE:** Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410 (N.S.), dated February 26, 2016 and BMP Design Manual. These requirements are subject to periodic adjustment as changes are made to the National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements imposed by the San Diego Regional Water Quality Control Board (Regional Board) on discharges from municipal separate storm sewer systems (MS4). The new MS4 Permit was adopted by the Regional Board on May 8, 2013 and amended on November 18, 2015. The County has begun the process of amending ordinances and taking other action to implement the new MS4 Permit. Additional studies and other action may be needed to comply with the new and future MS4 Permits.

**DRAINAGE:** The project shall be in compliance with the County of San Diego [Flood Damage Prevention Ordinance](#) No. 10091, adopted December 8, 2010.

**GRADING PERMIT REQUIRED:** A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill, pursuant to [Section 87.201 of Grading Ordinance](#).

**CONSTRUCTION PERMIT REQUIRED:** A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact DPW Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate departmental requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

**APPEAL PROCEDURE:** Within ten calendar days after the date of this Decision of the Director, the decision may be appealed to the Planning Commission in accordance with [Section 7166 of the County Zoning Ordinance](#). An appeal shall be filed with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

PLANNING & DEVELOPMENT SERVICES  
VINCE NICOLETTI, DIRECTOR

BY:

Daniella Hofreiter, Planning Manager  
Project Planning Division

email cc:

Ashley Smith, Chief, Project Planning, PDS

## **Attachment C – Environmental Documentation**



VINCE NICOLETTI  
DIRECTOR

**PLANNING & DEVELOPMENT SERVICES**  
5510 OVERLAND DRIVE, SUITE 210, SAN DIEGO, CALIFORNIA 92121  
(858) 505-6445 General • (858) 694-2705 Codes Compliance  
(858) 565-5920 Building Services

## **AN ADDENDUM TO THE PREVIOUSLY APPROVED NEGATIVE DECLARATION FOR PURPOSES OF CONSIDERATION OF PDS2021-ZAP-03-006W2**

**June 26, 2025**

**CEQA Guidelines, Section 15164(b) states that an Addendum to a previously adopted Negative Declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 or 15163 calling for the preparation of a subsequent Negative Declaration have occurred.**

There are some minor changes and additions, which need to be included in an Addendum to the previously adopted Negative Declaration to accurately cover the new project. The additions are underlined and deletions are struck out. The changes and additions consist of the following:

1. To the Project Name add: T-Mobile SD948 IHDE Residence L600 Minor Use Permit Modification
2. To the Project Number(s) add: PDS2021-ZAP-03-006W2, PDS2021-ER-03-02-003B
3. To the first paragraph add as indicated: The Negative Declaration for this project is comprised of this form along with the Environmental Review Update Checklist Form for Projects with a Previously Approved Environmental Document dated June 26, 2025, which includes the following forms attached.
  - A. An Addendum to the previously approved Negative Declaration with an Environmental Review Update Checklist Form for Projects with a Previously Approved Environmental Document dated June 26, 2023.
  - B. An Ordinance Compliance Checklist



VINCE NICOLETTI  
DIRECTOR

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(858) 505-6445 General • (858) 694-2705 Codes Compliance  
(858) 565-5920 Building Services

June 26, 2025

## **Environmental Review Update Checklist Form For projects with Previously Approved Environmental Documents**

### **FOR PURPOSES OF CONSIDERATION OF T-Mobile SD948 IHDE Residence L600 Wireless Telecommunication Facility PDS2021-ZAP-03-006W2; PDS2021-ER-03-02-003B**

The California Environmental Quality Act (CEQA) Guidelines Sections 15162 through 15164 set forth the criteria for determining the appropriate additional environmental documentation, if any, to be completed when there is a previously adopted Negative Declaration (ND) or a previously certified Environmental Impact Report (EIR) covering the project for which a subsequent discretionary action is required. This Environmental Review Update Checklist Form has been prepared in accordance with CEQA Guidelines Section 15164(e) to explain the rationale for determining whether any additional environmental documentation is needed for the subject discretionary action.

1. Background on the previously adopted ND:

A ND for Cingular Wireless/IHDE Telecommunications Facility, 3400-03-006; Log No. ER-03-02-003 was adopted by the San Diego County Planning Commission on October 23, 2003. The adopted ND found the project would not require any mitigation measures.

2. Lead agency name and address:

County of San Diego, Planning & Development Services  
5510 Overland Avenue, Suite 310  
San Diego, CA 92123

- a. Contact: Eddie Scott, Land Use/Environmental Planner
- b. Phone number: (619) 323-8090
- c. E-mail: [Eddie.Scott@sdcounty.ca.gov](mailto:Eddie.Scott@sdcounty.ca.gov)

3. Project applicant's name and address:

Applicant Contact Information:

- a. Contact: Harold Thomas Jr, Land Use Team Lead



- b. Phone number: (858) 750-1798  
 c. E-mail: [HThomasJr@md7.com](mailto:HThomasJr@md7.com)

4. Summary of the activities authorized by present permit/entitlement application(s):

Minor Use Permit 3400-03-006 authorized the installation and operation of an unmanned wireless telecommunication facility consisting of an 11-foot-high, 180-square-foot equipment shelter situated on a 395-square-foot concrete pad, topped with twelve (12) panel antennas extending up to 15 feet in height. The facility was enclosed within an equipment shelter, with air conditioning units and sound attenuation features required as conditions of approval. The proposed minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include the installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment.

5. Does the project for which a subsequent discretionary action is now proposed differ in any way from the previously approved project?

YES



NO



The proposed project is for a Minor Use Permit Modification to continue operating and maintaining an existing wireless telecommunication facility. Several design modifications and concealment improvements are proposed to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance.

6. **SUBJECT AREAS DETERMINED TO HAVE NEW OR SUBSTANTIALLY MORE SEVERE SIGNIFICANT ENVIRONMENTAL EFFECTS COMPARED TO THOSE IDENTIFIED IN THE PREVIOUS ND OR EIR.** The subject areas checked below were determined to be new significant environmental effects or to be previously identified effects that have a substantial increase in severity either due to a change in project, change in circumstances or new information of substantial importance, as indicated by the checklist and discussion on the following pages.

☒ NONE

☐ I. Aesthetics

☐ II. Agriculture and Forest Resources

☐ III. Air Quality

☐ IV. Biological Resources

☐ V. Cultural Resources

☐ VI. Energy

☐ VII. Geology and Soils

☐ VIII. Greenhouse Gas Emissions

☐ IX. Hazards and Hazardous Materials

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> X. Hydrology and Water Quality     | <input type="checkbox"/> XI. Land Use and Planning   | <input type="checkbox"/> XII. Mineral Resources                  |
| <input type="checkbox"/> XIII. Noise                        | <input type="checkbox"/> XIV. Population and Housing | <input type="checkbox"/> XV. Public Services                     |
| <input type="checkbox"/> XVI. Recreation                    | <input type="checkbox"/> XVII. Transportation        | <input type="checkbox"/> XVIII. Tribal Cultural Resources        |
| <input type="checkbox"/> XIX. Utilities and Service Systems | <input type="checkbox"/> XX. Wildfire                | <input type="checkbox"/> XXI. Mandatory Findings of Significance |

**DETERMINATION:**

On the basis of this analysis, Planning & Development Services has determined that:

- ☒ No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous ND due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, the previously adopted ND is adequate with the preparation of an Addendum.
- ☐ No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR or ND due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, because the project is a residential project in conformance with, and pursuant to, a Specific Plan with a EIR completed after January 1, 1980, the project is exempt pursuant to CEQA Guidelines Section 15182.
- ☐ Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous ND due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or, there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). However all new significant environmental effects or a substantial increase in severity of previously identified significant effects are clearly avoidable through the incorporation of mitigation measures agreed to by the project applicant. Therefore, a SUBSEQUENT ND is required.
- ☐ Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous ND or EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or, there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, a SUBSEQUENT or SUPPLEMENTAL EIR is required.

Page 2

*Eddie Scott*

Signature

**June 26, 2025**

Date

**Eddie Scott**

Printed Name

**Project Manager**

Title

## INTRODUCTION

CEQA Guidelines Sections 15162 through 15164 set forth the criteria for determining the appropriate additional environmental documentation, if any, to be completed when there is a previously adopted ND or a previously certified EIR for the project.

CEQA Guidelines, Section 15162(a) and 15163 state that when an ND has been adopted or an EIR certified for a project, no Subsequent or Supplemental EIR or Subsequent Negative Declaration shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in light of the whole public record, one or more of the following:

1. Substantial changes are proposed in the project which will require major revisions of the previous EIR or Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the Negative Declaration was adopted, shows any of the following:
  - a. The project will have one or more significant effects not discussed in the previous EIR or Negative Declaration; or
  - b. Significant effects previously examined will be substantially more severe than shown in the previously adopted Negative Declaration or previously certified EIR; or
  - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
  - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous Negative Declaration or EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

CEQA Guidelines, Section 15164(b) states that an Addendum to a previously adopted Negative Declaration may be prepared if only minor technical changes or additions are necessary.

If the factors listed in CEQA Guidelines Sections 15162, 15163, or 15164 have not occurred or are not met, no changes to the previously certified EIR or previously adopted ND are necessary.

## ENVIRONMENTAL REVIEW UPDATE CHECKLIST

**I. AESTHETICS** – Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to aesthetic resources including: scenic vistas; scenic resources including, but not limited to, trees, rock outcroppings, or historic buildings within a state scenic highway; existing visual character or quality of the site and its surroundings; or day or nighttime views in the area?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. The site is not located within the viewshed of any Scenic Highways designated in the County of San Diego General Plan.

**II. AGRICULTURE AND FORESTRY RESOURCES** – Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to agriculture or forestry resources including: conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to a non-agricultural use, conflicts with existing zoning for agricultural use or Williamson Act contract, or conversion of forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and

concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Minor Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to agriculture and forestry resources.

**III. AIR QUALITY** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to air quality including: conflicts with or obstruction of implementation of the San Diego Regional Air Quality Strategy (RAQS) or applicable portions of the State Implementation Plan (SIP); violation of any air quality standard or substantial contribution to an existing or projected air quality violation; a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard; exposure of sensitive receptors to substantial pollutant concentrations; or creation of objectionable odors affecting a substantial number of people?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to air quality.

**IV. BIOLOGICAL RESOURCES** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to biological resources including: adverse effects on any sensitive natural community (including riparian habitat) or species identified as a candidate, sensitive, or special status species in a local or regional plan, policy, or regulation, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; adverse effects to federally protected wetlands as defined by Section 404 of the Clean Water Act; interference with the movement of any native resident or migratory fish or wildlife species or with wildlife corridors, or impeding the use of native wildlife nursery sites; and/or conflicts with the provisions of any adopted Habitat Conservation Plan, Natural Communities Conservation Plan, or other approved local, regional or state habitat conservation plan, policies or ordinances?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to biological resources.

**V. CULTURAL RESOURCES** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to cultural resources including: causing a change in the significance of a historical or archaeological resource as defined in State CEQA Guidelines Section 15064.5; destroying a unique paleontological resource or site or unique geologic feature; and/or disturbing any human remains, including those interred outside of formal cemeteries?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to cultural resources.

**VI. ENERGY** - Since the previous EIR was certified, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to energy including: resulting in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation, and/or conflicts with or obstruct a state or local plan for renewable energy or energy efficiency?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-



006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to renewable energy or energy efficiency.

**VII. GEOLOGY AND SOILS** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in one or more effects from geology and soils including: exposure of people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault, seismic-related ground failure, including liquefaction, strong seismic ground shaking, or landslides; result in substantial soil erosion or the loss of topsoil; produce unstable geological conditions that will result in adverse impacts resulting from landslides, lateral spreading, subsidence, liquefaction or collapse; being located on expansive soil creating substantial risks to life or property; and/or having soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

YES  
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NO  
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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to geology and soils.

**VIII. GREENHOUSE GAS EMISSIONS** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in one or more effects related to environmental effects associated with greenhouse gas emissions or compliance with applicable plans, policies or regulations adopted for the purpose of reducing greenhouse gas emissions?

YES  
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NO  
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In 2006, the State of California passed the Global Warming Solutions Act of 2006, commonly referred to as Assembly Bill (AB 32), which set a GHG emissions reduction goal for the state into law. The law requires that by 2020, State emissions must be reduced to 1990 levels by reducing GHG emissions from significant sources via regulation, market mechanisms, and other actions. Senate Bill (SB) 375, passed in 2008, links transportation and land use planning with global warming. It requires the California Air Resources Board (ARB) to set regional targets for the purpose of reducing GHG emissions from passenger vehicles. Under this law, if regions develop integrated land use, housing, and transportation plans that meet SB 375 targets, new projects in these regions can be relieved of certain new requirements under CEQA. The San Diego Association of Governments (SANDAG) has prepared the region's Sustainable Communities Strategy (SCS) and the 2050 Regional Transportation Plan (RTP) which are elements of the San Diego Forward: The Regional Plan. The strategy identifies how regional GHG reduction targets, as established by the ARB, will be achieved through development patterns, transportation infrastructure investments, and/or transportation measures or policies that are determined to be feasible. AB 1279 was recently passed in September of 2022 and would declare the policy of the state both to achieve net zero greenhouse gas emissions as soon as possible, but no later than 2045, and achieve and maintain net negative greenhouse gas emissions thereafter, and to ensure that by 2045, statewide anthropogenic greenhouse gas emissions are reduced to at least 85% below the 1990 levels. AB 1279 would require the state board to work with relevant state agencies to ensure that updates to the scoping plan identify and recommend measures to achieve these policy goals and to identify and implement a variety of policies and strategies that enable carbon dioxide removal solutions and carbon capture, utilization, and storage technologies in California, as specified. To implement State mandates to address climate change in local land use planning, local land use jurisdictions are generally preparing GHG emission inventories and reduction plans and incorporating climate change policies into local General Plans to ensure development is guided by a land use plan that reduces GHG emissions. The County of San Diego's General Plan, adopted in 2011, incorporates various climate change goals and policies. These policies provide direction for individual development projects to reduce GHG emissions.

The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance.. Emissions associated with projects tend to be primarily generated by use of cars or vehicles for operations of a use. The project will not result in additional trips as the majority of trips associated with the operation of the facility consist of approximately monthly maintenance trips. There are no changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in effects associated with greenhouse gas emissions of compliance with applicable plans, policies or regulations adopted for the purpose of reducing greenhouse gas emissions.

**IX. HAZARDS AND HAZARDOUS MATERIALS** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in one or more effects from hazards and hazardous materials including: creation of a significant hazard to the public or the environment through the routine transport, storage, use, or disposal of hazardous materials or wastes; creation of a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment; production of hazardous emissions or handling hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school; location on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 creating a hazard to the public or the environment; location within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport; within the vicinity of a private airstrip resulting in a safety hazard for people residing or working in the project area; impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan; and/or exposure of people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular facilities. Potential health effects from EMR associated with the project is available from the cellular providers upon request as it is also required from the Federal Communication Commission. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to hazards and hazardous materials.

**X. HYDROLOGY AND WATER QUALITY** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to hydrology and water quality including: violation of any waste discharge requirements; an increase in any listed pollutant to an impaired water body listed under section 303(d) of the Clean Water Act ; cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses; substantially deplete groundwater supplies or interfere substantially with groundwater

recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level; substantially alter the existing drainage pattern of the site or area in a manner which would result in substantial erosion, siltation or flooding on- or off-site; create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems; provide substantial additional sources of polluted runoff; place housing or other structures which would impede or redirect flood flows within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map, including County Floodplain Maps; expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam; and/or inundation by seiche, tsunami, or mudflow?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. A stormwater intake form and Standard Stormwater Quality Management Plan has been submitted and reviewed for compliance with current standards. Therefore, the proposed Minor Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to hydrology and water quality.

**XI. LAND USE AND PLANNING** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to land use and planning including: physically dividing an established community; and/or conflicts with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project adopted for the purpose of avoiding or mitigating an environmental effect?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance.

The site is not located within the viewshed of any Scenic Highways designated in the County of San Diego General Plan. Section 6987 of the Zoning

**XII. MINERAL RESOURCES** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to mineral resources including: the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; and/or loss of locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to mineral resources.

**XIII. NOISE** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in one or more effects from noise including: exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; exposure of persons to or generation of excessive groundborne vibration or ground borne noise levels; a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project; a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project; for projects located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, or for projects within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated

antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to mineral resources.

**XIV. POPULATION AND HOUSING** – Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in one or more effects to population and housing including displacing substantial numbers of existing housing or people, necessitating the construction of replacement housing elsewhere?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to mineral resources.

**XV. PUBLIC SERVICES** – Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in one or more substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services: fire protection, police protection, schools, parks, or other public facilities?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance.

Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to mineral resources.

**XVI. RECREATION** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in an increase in the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or that include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility consisting of an existing Minor Use Permit Modification ZAP-03-006W2 will renew the use permit. Several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Minor Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to recreation.

**XVII. TRANSPORTATION/TRAFFIC** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause effects to transportation/traffic including: an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system; exceedance, either individually or cumulatively, of a level of service standard established by the county congestion management agency for designated roads or highways; a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks; substantial increase in hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment); inadequate emergency access; inadequate parking capacity; and/or a conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated



antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to mineral resources.

**XVIII. TRIBAL CULTURAL RESOURCES** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause one or more effects to tribal cultural resources including: causing a change in the significance of a tribal cultural resource as defined in Public Resource Code §21074?

YES

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NO

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Since the ND was adopted for the original Major Use Permit, there has been a change in circumstances. Assembly Bill 52 (AB-52) became effective on July 1, 2015. AB-52 requires that tribal cultural resources (TCR) be evaluated under CEQA. No additional earth disturbing activities are proposed outside of the footprint of the existing development footprint of the wireless telecommunication facility. Therefore, the proposed Minor Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to tribal cultural resources.

**XIX. UTILITIES AND SERVICE SYSTEMS** -- Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that cause effects to utilities and service systems including: exceedance of wastewater treatment requirements of the applicable Regional Water Quality Control Board; require or result in the construction of new water or wastewater treatment facilities, new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects; require new or expanded entitlements to water supplies or new water resources to serve the project; result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments; be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs; and/or noncompliance with federal, state, and local statutes and regulations related to solid waste?

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with

the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. The project is compliant with the FP-2 fire policy. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to utilities and service systems.

**XX. WILDFIRE** -- Since the previous EIR was certified, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that would result in an increased risk of wildfire to persons or property.

YES

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NO

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The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. The proposed Minor Use Permit Modification complies with the Fire Prevention Standards for cellular facilities as outlined in Policy FP-2. Therefore, the proposed Major Use Permit Modification would not result in a substantial increase in the severity of previously identified and analyzed effects to wildfire.

**XXI. MANDATORY FINDINGS OF SIGNIFICANCE:** Since the previous EIR was certified or previous ND was adopted, are there any changes in the project, changes in circumstances under which the project is undertaken and/or "new information of substantial importance" that result in any mandatory finding of significance listed below?

*Does the project degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?*

*Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?*

*Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?*

YES

☐

NO

☒

As described in this Addendum, there are no physical changes or changes in circumstances under which the project is undertaken and/or “new information of substantial importance” that result in any of the mandatory findings of significance. There are no proposed changes to resources as previously identified and analyzed in the adopted ND.

The proposed project is for a Minor Use Permit Modification to continue the operation and maintenance of an existing wireless facility. The Minor Use Permit Modification, ZAP-03-006W2, will renew the use permit and includes several design modifications and concealment improvements intended to minimize visual impacts and modernize the facility to meet current County standards. These improvements include installation of a proposed antenna enclosure atop the existing equipment shelter, which will fully screen the relocated antennas and associated equipment. The application has been submitted in accordance with the amortization requirements outlined in sections 6985 and 6991 of the Zoning Ordinance. The site is not located within the viewshed of any Scenic Highways designated in the County of San Diego General Plan. The intent of the project overall is to bring the wireless telecommunication facility into conformance with current standards.

#### Attachments

- Previous environmental documentation
- Addendum to the previously adopted ND

#### **REFERENCES USED IN THE COMPLETION OF THE ENVIRONMENTAL REVIEW UPDATE CHECKLIST FORM**

California Department of Fish and Wildlife. Fish and Wildlife Code, Section 1600 *et. seq.*

California Environmental Quality Act, CEQA Guidelines

California Environmental Quality Act. 2001. California Code of Regulations, Title 14, Chapter 3, Section 15382.

California Integrated Waste Management Board, Title 14, Natural Resources, Division 7

California Integrated Waste Management Board, Title 27, Environmental Protection, Division 2, Solid Waste

California Public Resources Code, CPRC, Sections 40000-41956

County Code of Regulatory Ordinances, Title 3, Division 5, Chapter 3

County of San Diego Conservation/Open Space Element of the General Plan (Goal COS-17: Solid Waste Management)

County of San Diego Conservation/Open Space Element of the General Plan

County of San Diego Zoning Ordinance (Agricultural Use Regulation, Sections 2700-2720)

County of San Diego. Resource Protection Ordinance, Article II (16-17). October 10, 1991

County of San Diego. 1997. Multiple Species Conservation Program, County of San Diego Biological Mitigation Ordinance

County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance (WPO) (Ordinance Nos. 9424 and 9426, County Codes §§ 67801 et seq.)

Farmland Mapping and Monitoring Program, California Department of Conservation, Division of Land Resource Protection

Order No. 2001-01, NPDES No. CAS 0108758, California Regional Water Quality Control Board, San Diego Region

Ordinance 8334, An Ordinance to amend the San Diego County Code of Regulatory Ordinances relating to Flood Damage Prevention, Adopted by the Board of Supervisors on 12/7/93

Public Resources Code Sections 4290 and 4291

San Diego County Light Pollution Code (San Diego County Code Section 59.101)

The Importance of Imperviousness from *Watershed Protection Techniques* Vol. 1, No. 3 - Fall 1994 by Tom Schueler Center for Watershed Protection

The Resource Conservation and Recovery Act (RCRA), 1976

Uniform Fire Code, Article 9 and Appendix II-A, Section 16

Water Quality Control Plan for the San Diego Basin (9), California Regional Water Quality Control Board, San Diego Region

## **Attachment D – Environmental Findings**

**T-MOBILE SD948 IHDE RESIDENCE  
MINOR USE PERMIT MODIFICATION  
PERMIT NO.: PDS2021-ZAP-03-006W2  
ENVIRONMENTAL LOG: PDS2021-ER-03-02-003B**

**ENVIRONMENTAL FINDINGS**

**June 26, 2025**

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15164 for the reasons stated in the Addendum.
2. Find that the proposed project is consistent with the Resource Protection Ordinance (RPO) (County Code, Section 86.601 et seq.).
3. Find that plans and documentation have been prepared for the proposed project that demonstrate that the project complies with the Watershed Protection, Stormwater Management and Discharge Control Ordinance (County Code, section 67.801 et seq.).

## **Attachment E – Public Documentation**





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County of San Diego, Planning & Development Services

**COMMUNITY PLANNING OR SPONSOR  
GROUP PROJECT RECOMMENDATION  
ZONING DIVISION**

Record ID(s): PDS2021-ZAP-03-006 w2 T mobile SD6948

Project Name: T mobile Cell Site - 1907 Carriage Ln.

Planning/Sponsor Group: Fallbrook

Results of Planning/Sponsor Group Review

Meeting Date: 3/21/2022

**A. Comments made by the group on the proposed project.**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**B. Advisory Vote:** The Group ☒ **Did** ☐ **Did Not** make a formal recommendation, approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

**MOTION:**

- ☒ Approve without conditions  
☐ Approve with recommended conditions  
☐ Deny  
☐ Continue

**VOTE:** 14 Yes        No        Abstain 1 Vacant / Absent

**C. Recommended conditions of approval:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reported by: E. Delaney Position: Chair Date: 3/21/2022

Please email recommendations to BOTH EMAILS;

**Project Manager listed in email** (in this format): Firstname.Lastname@sdcounty.ca.gov **and to** CommunityGroups.LUEG@sdcounty.ca.gov

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<http://www.sdcounty.ca.gov/pds>



## **Attachment F – Photo-Simulations, Geographic Service Area Map, and Alternative Site Analysis**



# SD06948A - SD948 IHDE RESIDENCE

MD7

LAT.: 33.3598°, LONG.: -117.20524°, FALLBROOK, CA 92028

VIEW 1



LOCATION



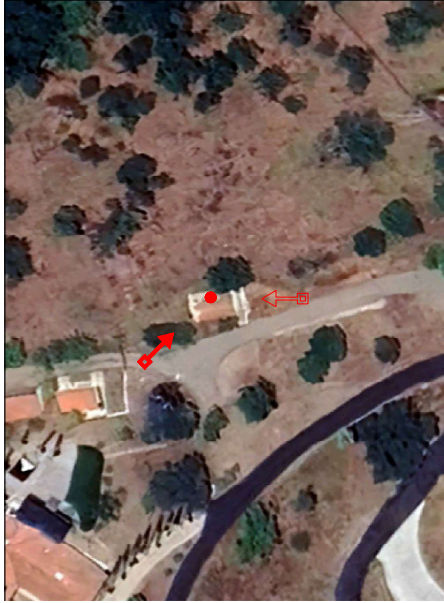
EXISTING LOOKING NORTH



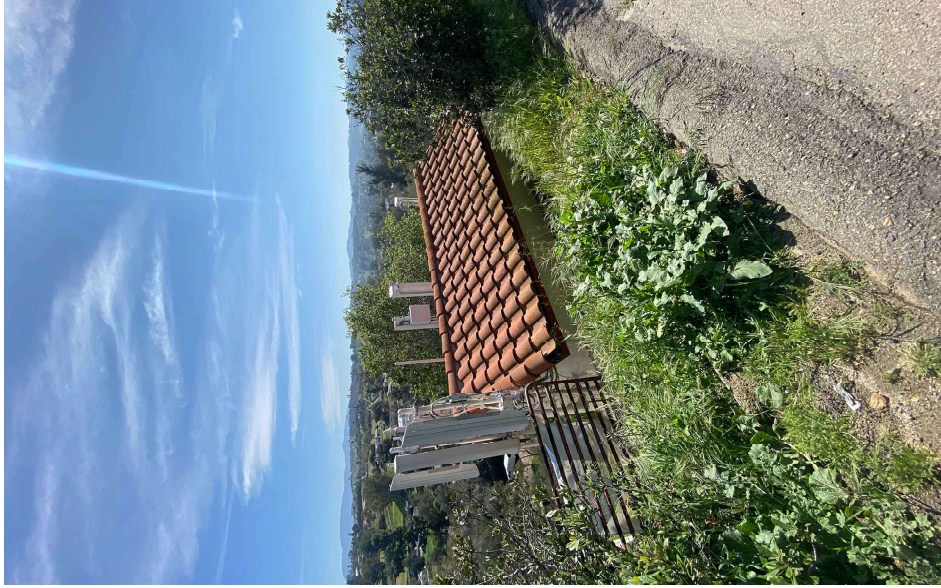
PROPOSED LOOKING NORTH

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT





LOCATION



EXISTING LOOKING SOUTHEAST



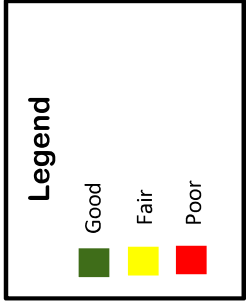
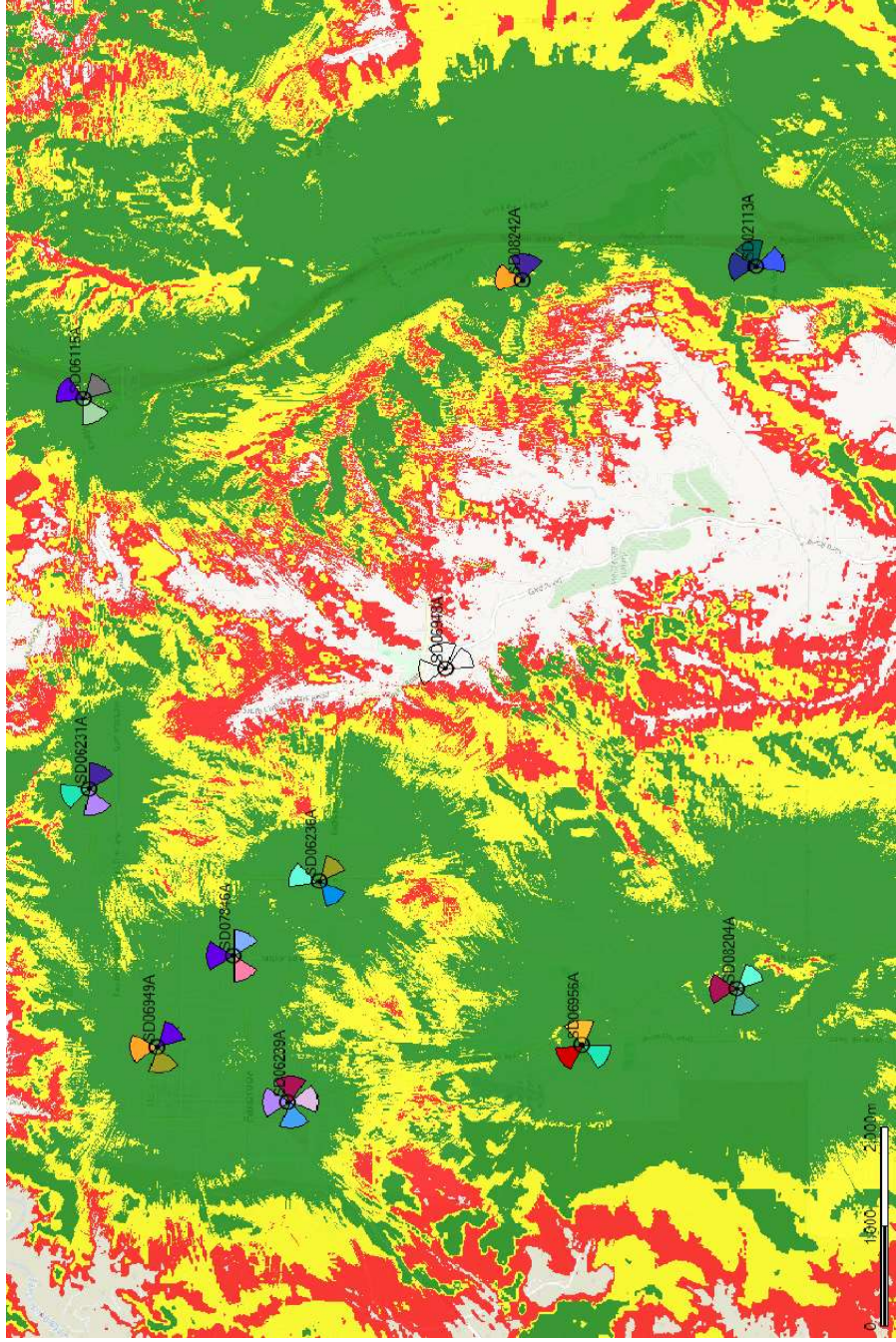
PROPOSED LOOKING SOUTHEAST

# PREDICTIVE MAP REQUEST

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# Prediction of Existing Coverage without SD06948A

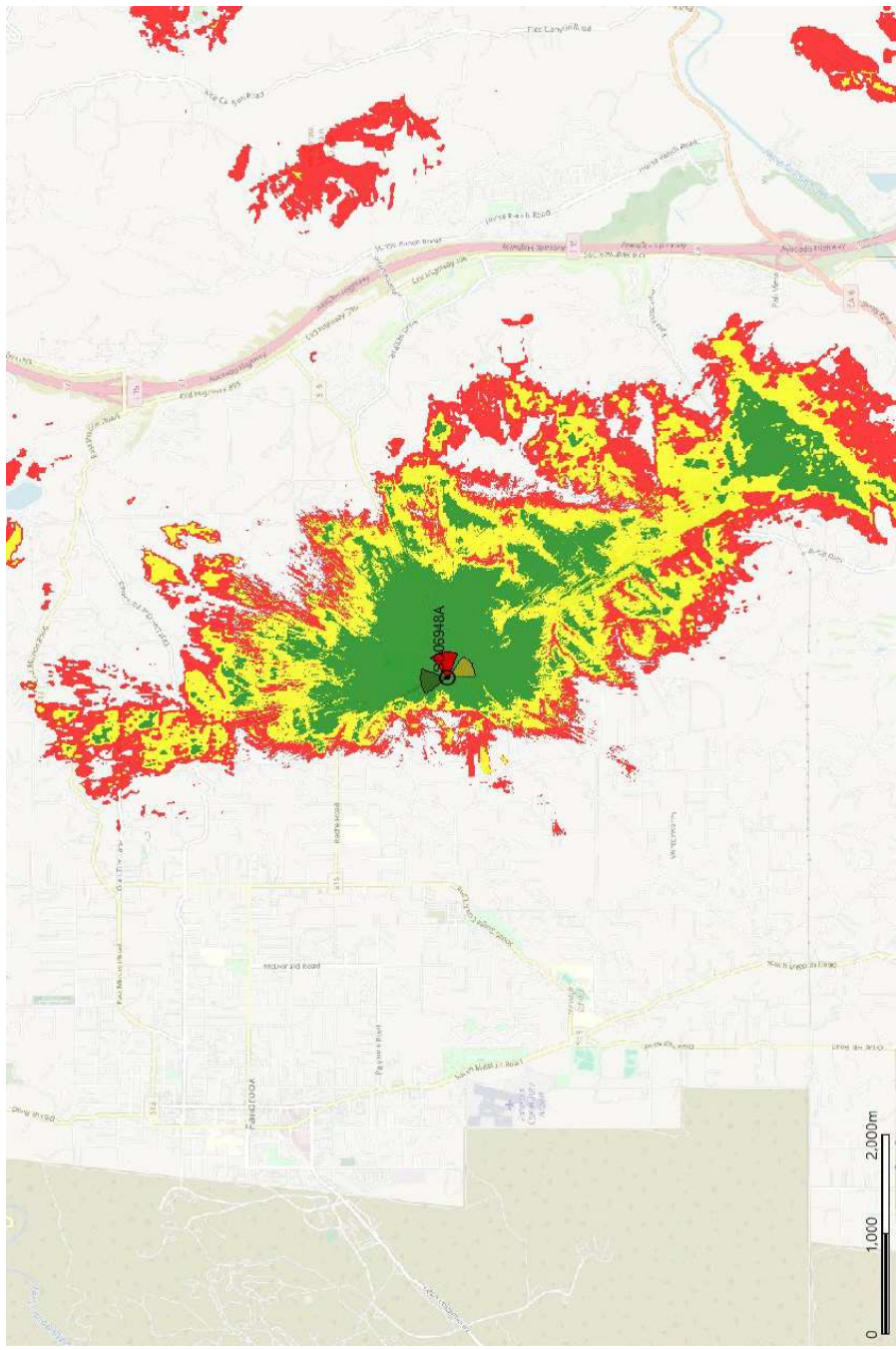








Prediction of Existing Coverage only for SD06948A



**Legend**

Good
Fair
Poor



*County of San Diego*

## **PROJECT INFO & JUSTIFICATION**

### **APPLICATION FOR MINOR USE PERMIT MODIFICATION**

On behalf of T-Mobile, SAC Wireless is submitting an application to the County of San Diego for a Minor Use Permit Modification for an existing unmanned wireless communication facility in a general agriculture zone (semi-rural residential use). Please consider the following project information:

**Site Name** | T-Mobile SD948 Ihde Residence

**Address** | 1907 Carriage Lane, Fallbrook, CA 92028

**APN** | 107-250-51-00

**Zoning** | A-70 General Agriculture

**Use** | SR-2 Semi-Rural Residential

### **PROJECT REPRESENTATIVE & MAIN POINT OF CONTACT**

Michael Iacopetti, Authorized Agent for T-Mobile

SAC Wireless

300 Airport Road, Suite 1

Elgin, IL 60123

312.858.8882

[michael.iacopetti@sacw.com](mailto:michael.iacopetti@sacw.com)

The following is T-Mobile's (Applicant) justification for the existing site's location and why the permit should be approved for continued use.

### **PROJECT DESCRIPTION**

T-Mobile is proposing the following modifications to the existing, unmanned wireless telecommunication facility as part of the minor use permit modification application required to obtain the necessary entitlements for the site's continued use. This project consists of placing a proposed antenna enclosure on top of an existing building containing a CMU wall enclosure shelter and relocating all antennas inside the proposed antenna enclosure. This project also consists of replacing (3) existing antennas, replacing (3) existing RRU's, relocating (6) existing antennas, relocating (3) existing TMA's, installing (6) new antenna mounting pipes, installing (1) new HCS cable, and upgrading equipment components within existing equipment cabinets. T-Mobile is also proposing to install a wood platform, FRP screen, access ladder, and FRP framing.

### **SITE JUSTIFICATION/ALTERNATIVE SITE ANALYSIS**

This location already serves as a previous county-approved wireless telecommunications facility for T-Mobile. Since the existing facility can meet the area's objective goals for T-Mobile, continuing to utilize this location is preferred.

Pursuing a new location would require extensive site acquisition and RF Engineering efforts in identifying, contacting, and negotiating with different properties. In addition to the extensive amount of

**SDC PDS RCVD 02-15-22**

**ZAP03-006W2**

time it would take to identify, entitle, permit, and construct a new facility, the cost would represent an unnecessary burden for T-Mobile. And the relocation to a new property could result in the redundancy of equipment during and for a short time after construction, to ensure that members of the community could continue to utilize T-Mobile's wireless network without interruption. The lease termination and restoration of the existing site upon vacating would represent an additional unreasonable financial burden for T-Mobile. With the approval of T-Mobile's proposed modification, the site will function as a fully-concealed facility in its current location, and the relocation of this facility would not result in any meaningful impacts to the community.

**The current site location is at a higher elevation than much of the surrounding area. The surrounding properties in all directions are residential and agricultural. The relocation of this wireless facility would result in a loss in height, and in order to make up for that loss, a new standalone tower would be required, whose height would far exceed the height of any existing structures in the area. This would result in a facility that is less integrated in the overall aesthetics of the community. In addition, the relocation of an existing wireless facility could have negative impacts on the overall performance of the network in the area, resulting in possible coverage gaps between sites. There are a group of existing towers located 3 miles N-NE from the current site location, however they are too far away for use and will not meet T-Mobile's coverage objectives for the area of the current site location. For these reasons, the existing site is preferred and no other properties are suitable candidates.**

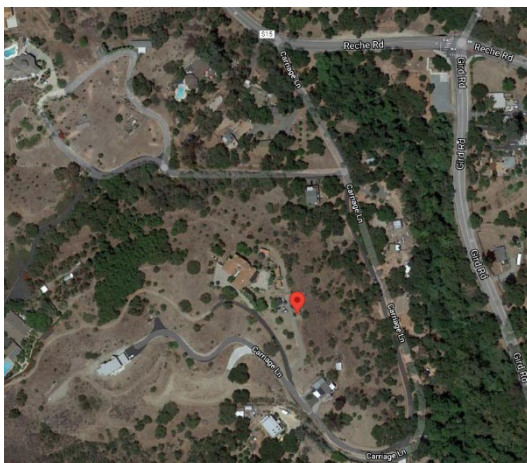
#### **MAINTENANCE & MONITORING**

The facility is unmanned and operates 24 hours a day, 7 days a week. The facility will not generate any traffic nor impact traffic circulation. The facility is connected to a central network operations center that monitors the facility's status. Routine maintenance will occur every four to six weeks to ensure that the equipment is operating within normal specifications. Should an emergency arise, maintenance crews will promptly visit the wireless site to correct the situation.

#### **HAZARDOUS MATERIALS**

This facility poses no environmental threat and does not emit any hazardous waste.

The existing facility provides an integral link in T-Mobile's network and is designed to meet the wireless coverage needs of the community. The site is a necessity to the general welfare and public safety of the community. The removal of this facility would result in a gap in network coverage for the area, as depicted on the provided coverage maps.



#### ***Surrounding Land Uses:***

- **North:** Agricultural/Residential
- **East:** Agricultural/Residential
- **South:** Agricultural/Residential
- **West:** Agricultural/Residential

## PROJECT BENEFITS

The proposed project will provide the following community benefits:

- Telephone, data transmission, paging, short message functions, and voicemail services and reliable services for emergency purposes.
- Personal safety and security for community members in an emergency, or when there is an urgent need to reach family members or friends. Many homes are now “wireless only” homes, in the sense that the residents own wireless communications devices and no landline telephone.
- Enhanced emergency response communications for police, fire, paramedics, and other emergency services.
  - Enhanced 911 Services (E911) – The FCC mandates that all cell sites have location capability. Effective site geometry within the overall network is needed to achieve accurate location information for mobile users through triangulation with active cell sites (over half of all 911 calls are made using mobile phones).

## REGULATING AGENCIES

T-Mobile’s telecommunications facility will operate at levels and are below established standards used by the FCC for safe human exposure to radio frequency electromagnetic fields. These standards have been tested and proven safe by the American National Standards Institute and the Institute of Electrical and Electronics Engineers (IEEE). The proposed communications facility will operate in full compliance with the U.S. standards for radio frequency emissions as published by the American National Standards Institute (ANSI).

The retention of this facility will maintain T-Mobile’s Southern California wireless network by allowing its customers reliable access to T-Mobile’s nationwide network of services. Similar to the other existing service providers, each of T-Mobile’s Communications facility, or base station, will consist of transmitting and receiving antennas mounted on a communication tower or other suitable structure. This specific site is an integral part of the San Diego area’s wireless network. T-Mobile requests a favorable determination and approval.

Please contact me if you have any questions regarding this project.

Thank you,

Michael Iacopetti  
Authorized Agent for T-Mobile

## **Attachment G – Ownership Disclosure Form**



County of San Diego, Planning & Development Services  
**APPLICANT'S DISCLOSURE OF OWNERSHIP  
 INTERESTS ON APPLICATION FOR ZONING  
 PERMITS/ APPROVALS**  
**ZONING DIVISION**

Record ID(s) PDS2021-ZAP-03-006W2

Assessor's Parcel Number(s) 107-250-51-00

Ordinance No. 4544 (N.S.) requires that the following information must be disclosed at the time of filing of this discretionary permit. The application shall be signed by all owners of the property subject to the application or the authorized agent(s) of the owner(s), pursuant to Section 7017 of the Zoning Ordinance. **NOTE:** Attach additional pages if necessary.

A. List the names of all persons having any *ownership interest* in the property involved.

T-Mobile

IHDE BRADLEY I REVOCABLE TRUST (11-07-13)

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

**NOTE: Section 1127 of The Zoning Ordinance defines Person as:** "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

*Vincent Voss*

Signature of Applicant

Vince Voss, SAC Wireless o/b/o T-Mobile

Print Name

----- OFFICIAL USE ONLY -----

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 ZAP03-006W2**

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