



The County of San Diego

Zoning Administrator Hearing Report

Date:	October 16, 2025	Case/File No.:	Helix Water Wireless; PDS2022-ZAP-96-035W2; PDS2022-ER-96-14-027B
Place:	County Conference Center 5520 Overland Avenue San Diego, CA 92123	Project:	Removal/relocation of existing Wireless Telecommunication Facility
Time:	8:30 a.m.	Location:	13002 I-8 Business, El Cajon, CA 91906
Agenda Item:	#1	General Plan:	Semi-Rural Residential (SR-4)
Appeal Status:	Appealable to the Planning Commission	Zoning:	Rural Residential (RR)
Applicant/Owner:	T-Mobile	Community:	Lakeside Community Planning Area
Environmental:	CEQA §15301 Exemption	APN:	400-060-03-00

A. OVERVIEW

The purpose of this staff report is to provide the Zoning Administrator with the information necessary to make a finding that the proposed Minor Use Permit (ZAP) Modification to remove an existing T-Mobile monopole and equipment and mount new antennas onto an existing Helix Water District water tank and update to new equipment, conditions of approval and findings, and environmental findings prepared in accordance with the California Environmental Quality Act.

B. REQUESTED ACTIONS

This is a request for the Zoning Administrator to evaluate the proposed ZAP Modification to remove an existing T-Mobile monopole and equipment and mount new antennas onto an existing Helix Water District water tank, determine if the required findings can be made and, if so, take the following actions:

- a. Grant ZAP modification PDS2022-ZAP-96-035W2, make the findings and impose the requirements and conditions as set forth in the Form of Decision (Attachment B).
- b. Adopt the Environmental Findings included in Attachment D, which includes a finding that the project is exempt from the California Environmental Quality Act (CEQA).

C. BACKGROUND

On October 4, 1996, the Zoning Administrator approved a ZAP to authorize the operation of a wireless communication antenna facility on a 50 foot, 5-inch tall monopole and equipment adjacent to an existing Helix Water storage reservoir in the Lakeside Community Planning Area.

On August 27, 2020, the Zoning Administrator approved a Modification to the Minor Use Permit to convert the monopole to a 50 foot, 5-inch tall faux monopalm wireless telecommunications facility and equipment. This modification was never built.

D. DEVELOPMENT PROPOSAL

1. Project Description

The proposed project is a ZAP Modification to remove an existing T-Mobile monopole and equipment and mount new equipment onto an existing Helix Water District water tank. The modification includes the installation of new antennas and associated equipment. Access to the site will be through a private road easements that connect onto I-8 Business.



Figure 1: Existing Southwest view of existing monopole and antennas



Figure 2: Proposed Southwest view of proposed antennas

2. Project Description

The project is located on a site owned by the Helix Water District within the Lakeside Community Plan area. The site is accessed by a private road easement that connects to Highway 8 business a County-maintained Road (Figure 1). The site is used by Helix Water District and contains two, 35 foot tall water storage tanks. The project site is zoned Rural Residential (RR) and the general plan designation is Semi-Rural Residential (SR-4).

Please refer to Attachment A – Planning Documentation, for maps of surrounding land uses and zoning designations.

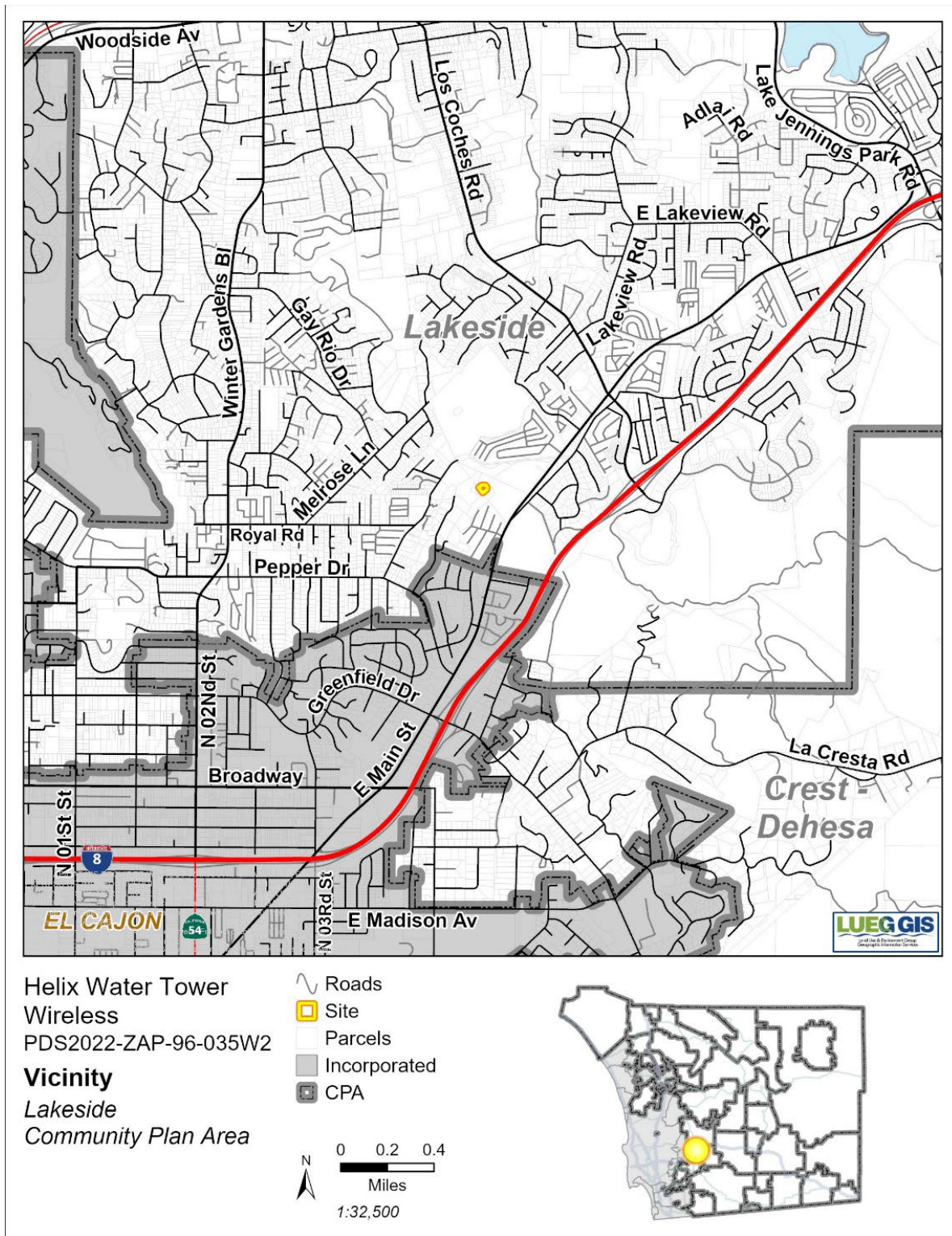


Figure 3: Vicinity Map

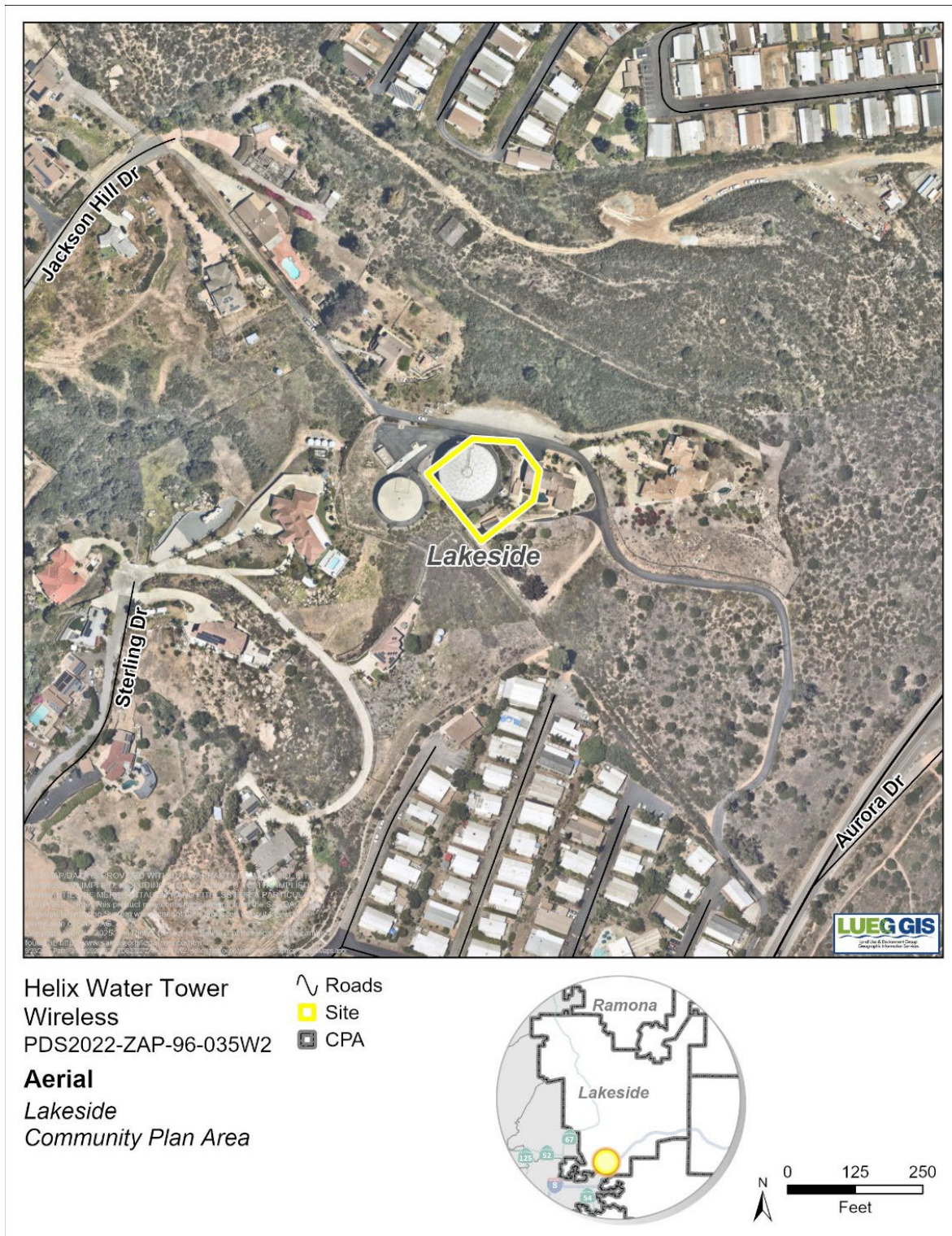


Figure 4: Aerial and adjacent properties

Table D-1: Surrounding Zoning and Land Uses

Location	General Plan	Zoning	Adjacent Streets	Description
North	Semi-Rural Residential (SR-4)	Rural Residential (RR)	Jackson Hill Dr	Residential
East	Semi-Rural Residential (SR-4)	Rural Residential (RR)	N/A	Residential
South	Village Residential (VR-2), Village Residential (VR-15)	Rural Residential (RR), Residential Mobile Home (RMH)	I-8 Business	Residential, Mobile Home Park
West	Public/Semi-Public Facilities, Village Residential (VR-2)	Rural Residential (RR)	N/A	Residential

E. ANALYSIS AND DISCUSSION

1. Key Requirements for Requested Action

The Zoning Administrator should consider the requested actions and determine if the following findings can be made:

- The project is consistent with the vision, goals and policies of the General Plan?
- Does the project comply with the policies set forth under the Lakeside Community Plan?
- Is the project consistent with the County's Zoning Ordinance?
- Is the project consistent with the County's Wireless Ordinance?
- Does the project comply with CEQA?

2. Project Analysis

The proposed wireless telecommunication facility is in a non-preferred zone but preferred location and is classified as a "high visibility". The proposal is to modify ZAP-96-035 which was approved prior to the amortization schedule. A \$150,000 fair market value has been given by the applicant which falls under the guise of 10-year amortization schedule.

Amortization

The existing wireless telecommunication facility is in a residential zone and is defined as “low visibility” in accordance with 6985 and 6991 of the zoning ordinance. The project will modify ZAP-96-035 which was approved prior to the adoption of the Wireless Ordinance. ZAP findings have been made to support the renewal of existing wireless facility. In accordance with Section 6991 of the Zoning Ordinance, the applicant has submitted a valuation letter stating that the facility is valued at \$150,000 resulting in a 10-year permit. This time may be extended for an additional period of time by modifying the permit, if it is found that no smaller or less visible technology is available or feasible to replace the facility at the time of the request for a modification.

Site Planning Analysis

The proposed wireless telecommunication facility modification is compatible with the surrounding land uses, existing structures, vegetation, and topography. The proposed antennas will be painted to match existing water tower and keep the nature of the water tank in effect (Figure 2).

Community Compatibility/Visual impacts

The surrounding area has a topography of hills, mature trees and existing water tanks. The existing wireless facility and monopole would be taken down and the wireless antennas would be placed on a water tank which is a preferred location and will reduce the visual impact of the existing monopole. The proposed facility would be painted to match the existing water tank and reduce any visual impacts (Figure 2).

Alternate Site Analysis (ASA)

The proposed wireless telecommunication facility is designed to continue to provide cellular service coverage in Lakeside from between Los Coches Road to the northeast, Melrose Lane to the west, and Pepper Drive to the south. The site is zoned RR (Rural Residential), which is a nonpreferred zone, and therefore requires an ASA. The Applicant reviewed other potential sites within the area to demonstrate that the coverage objective could not be met in a preferred zone.

The tower is to complete a ring (Figure 5) where no industrial or commercial options existed in the highly concentrated residential location the wireless facilities aim to cover. T-Mobile will be removing an existing monopole wireless facility which is a non-preferred location and placing new facility onto a water tank which is a preferred location defined within Section 6869 of the San Diego County Zoning Ordinance in the same location, no other candidates or facilities were considered. The proposed wireless facility will minimize overall visual impact. The site has been designed and engineered to allow for future collocation and reduce the need for future facilities in the surrounding area.

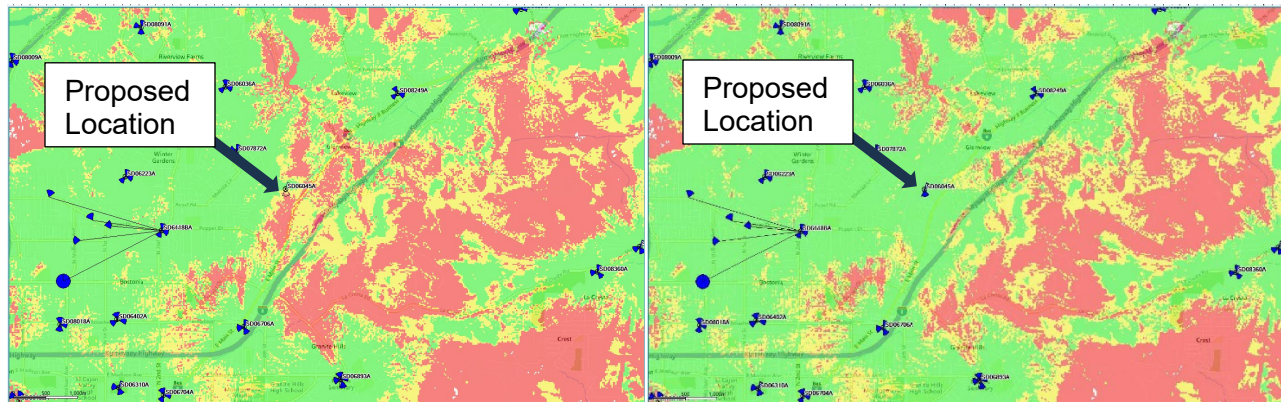


Figure 5: Coverage without project (left) and coverage with project (right)

3. General Plan Consistency

The proposed project is consistent with the following relevant General Plan goals, policies, and actions as described in Table E-1.

Table E-1: General Plan Conformance

General Plan Policy	Explanation of Project Conformance
<p>GOAL S-1 – Public Safety. Enhanced public safety and the protection of public and private property.</p> <p>GOAL S-2 – Emergency Response. Effective emergency response to disasters that minimizes the loss of life and damage to property, while also reducing disruption in the delivery of vital public and private services during and following a disaster</p>	<p>The Project will provide continued coverage throughout the area, which is essential in the event of an emergency. The wireless telecommunication facility will minimize telecommunication interruptions by continuing to provide service and coverage in the area.</p>
<p>Policy LU 15.2 – Co-Location of Telecommunication Facilities. Encourage wireless telecommunication services providers to co-locate their facilities whenever appropriate, consistent with the Zoning Ordinance</p>	<p>Nearby co-location opportunities did not meet the coverage objectives of the current site. The subject facility will allow co-location with other carriers to the extent feasible.</p>

4. Zoning Ordinance Consistency

a. Development Regulations

The project complies with all applicable zoning requirements of the Rural Residential (RR) zone with the incorporation of conditions of approval (See Table E -2).

Table E-2: Zoning Ordinance Development Regulations

CURRENT ZONING REGULATIONS		CONSISTENT?
Use Regulation:	RR	Yes, upon approval of Minor Use Permit Modification
Animal Regulation:	J	N/A
Density:	-	N/A
Lot Size:	1AC	N/A
Building Type:	C	Yes
Height:	G	Yes, upon approval of a Minor Use Permit Modification
Lot Coverage:	-	N/A
Setback:	B	Yes
Open Space:	-	N/A
Special Area Regulations:	-	N/A

Development Standard	Proposed/Provided	Complies?
Section 4600 of the Zoning Ordinance sets the maximum height requirements. This parcel has a designated height of "G" which requires structures to be no more than 35 feet in height.	The project will be a maximum height of 36 feet. The existing monopole currently exceeds the 35 foot height limit as it is 50 feet, 5 inches. This ZAP Modification will bring the facility into closer compliance with the height limit.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 4800 of the Zoning Ordinance requires that the project meet the "B" setback requirements of a 60-foot front yard setback, 15-foot interior side yard setback, 35-foot exterior side yard setback, and a 50-foot rear yard setback.	The Project is not located within the front, rear, or side yard setbacks. Therefore, the proposed facility will meet the "B" setback requirements per Section 4800 of the Zoning Ordinance.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

5. Wireless Ordinance Consistency

By federal law, the County is prohibited from regulating the placement, construction and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency (RF) emissions, if the facilities comply with the Federal Communication Commission (FCC) regulations concerning RF emissions. Therefore, County decision makers do not consider comments or information concerning potential health effects or other environmental effects when determining

whether to approve permits for cellular facilities. Also, staff does not require information from the Applicant concerning such effects from RF emissions associated with the Project. Information regarding potential health effects is available from the cellular providers upon request as required by the FCC

The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular facilities. Therefore, staff does not require information from the Applicant on potential health effects from EMR associated with the Project. Generally, this information is available from the cellular providers upon request as it is also required from the FCC.

Table E-3: Wireless Ordinance Consistency

Development Standard	Proposed/Provided	Complies?
Section 6985.C.2 of the Wireless Telecommunication Ordinance requires that the equipment accessory to a facility not exceed 10 feet in height unless a greater height is necessary to maximize architectural integration, and the facility is screened by landscaping.	The equipment does not exceed 10 ft in height.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.5 of the Wireless Telecommunication Ordinance prohibits the placement of a telecommunication tower or equipment in the front, rear, or side yard setback.	The proposed wireless telecommunications facility and existing equipment enclosure are located outside all required setbacks including front, rear, and side yard	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.6 of the Wireless Telecommunication Ordinance states that noise from any equipment supporting the facility shall meet the requirements of the County's Noise Ordinance on an average hourly basis.	No new noise-producing equipment or operational uses are proposed as part of the Project. The Project will not create a change in the existing noise environment and is therefore anticipated to comply with the County of San Diego Noise Ordinance Section(s) 36.404	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Section 6985.C.11 of the Wireless Telecommunication Ordinance limits the term of a "high visibility" facility, depending on the valuation of the wireless facility.	The Project is considered a "high visibility" facility because the facility is in a residential zone. Since the proposed Project has a valuation of \$150,000, the ZAP has been conditioned to have a maximum term of 10 years.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Section 6987.D of the Wireless Telecommunication Ordinance states that sites visible from a Scenic Highway, as identified in the General Plan, shall be designed in such a manner as to avoid adverse visual impacts and does not permit the use of monopoles, lattice towers, or guyed towers.	The Project is not visible from a Scenic Highway.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
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6. California Environmental Quality Act (CEQA) Compliance

The project has been reviewed for compliance with CEQA and the proposed project qualifies for a categorical exemption under CEQA Section 15301 (b). Section 15301 (b) exempts existing facilities with minor alterations to both public and private facilities with negligible expansion of existing use.

F. PUBLIC INPUT

At the time of application submittal and in accordance with Board Policy I-49, public notices were sent to property owners surrounding the project site until at least 20 different property owners were noticed within approximately 500 feet of the project site. No comments or concerns were received during the processing of the permit. Prior to the Zoning Administrator hearing, public notices were sent to a minimum of 20 property owners within approximately 500 feet of the project site.

G. LAKESIDE COMMUNITY PLANNING GROUP

On October 5, 2022, the Lakeside Community Planning Group (CPG) recommended the approval of the project without any conditions by a vote of 13-0-2 (Ayes- 13, Noes- 0, Absent- 2). The CPG 534 form is included in Attachment E.

H. STAFF RECOMMENDATIONS

Staff recommends that the Zoning Administrator take the following actions:

1. Approve PDS2022-ZAP-96-035W2, make the findings, and impose the requirements and conditions as set forth in the Form of Decision in Attachment B
2. Adopt the Environmental Findings included in Attachment D, which includes a finding that the project is exempt from further environmental review pursuant to §15301 of CEQA.

Report Prepared By:

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Report Approved By:

Vince Nicoletti, Director
858-694-2962
Vince.Nicoletti@sdcounty.ca.gov

AUTHORIZED REPRESENTATIVE:


ASHLEY SMITH, CHIEF

ATTACHMENTS:

Attachment A – Planning Documentation

Attachment B – Form of Decision approving PDS2022-ZAP-96-035W2

Attachment C – Environmental Findings

Attachment D – Public Documentation

Attachment E– Photo-Simulations, Geographical Service Area Maps, and Alternative Site Analysis

Attachment F – Ownership Disclosure Form

**Attachment A
Planning
Documentation**



ANCHOR/L600 MODIFICATION

SITE ID: SD06045A

SD045 HELIX WATER DISTRICT

13002 HIGHWAY 8 BUSINESS

EL CAJON, CA 92021

DECLARATION OF RESPONSIBLE CHARGE

I, LOYALL A. WHARTON, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA, HAVE EXERCISED RESPONSIBLE CHARGE OVER THE WIRELESS DESIGN SHOWN ON THESE PLANS. THE WIRELESS DESIGN SHOWN ON THESE PLANS IS IN ACCORDANCE WITH CALIFORNIA BUILDING CODES. I UNDERSTAND THAT THE CITY OF EL CAJON DOES NOT DETERMINE WHETHER ALL ASPECTS OF CALIFORNIA BUILDING CODES HAVE BEEN INCORPORATED.

I HEREBY DECLARE THAT I AM THE ENGINEER OF RECORD OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONAL CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF EL CAJON AND HELIX WATER DISTRICT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

LOYALL A. WHARTON R.C.E. NO. C50547 EXP. 06-21-23

CONSTRUCTION DRAWING

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES
A-1	SITE PLAN
A-1.1	ENLARGED SITE PLAN
A-2	EQUIPMENT LAYOUT
A-3	ANTENNA LAYOUT
A-4	ELEVATIONS
A-5	ELEVATIONS
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS
G-1	GROUNDING DETAILS
RF-1	CABLE LINE DIAGRAM
E-1	UTILITY SITE PLAN & EQUIPMENT SITE DIAGRAM
E-2	SINGLE LINE DIAGRAM AND PANEL SCHEDULE
E-3	ELECTRICAL METER ROOM & ELECTRICAL NOTES
E-4	SDG&E SERVICE ORDER

APPROVALS

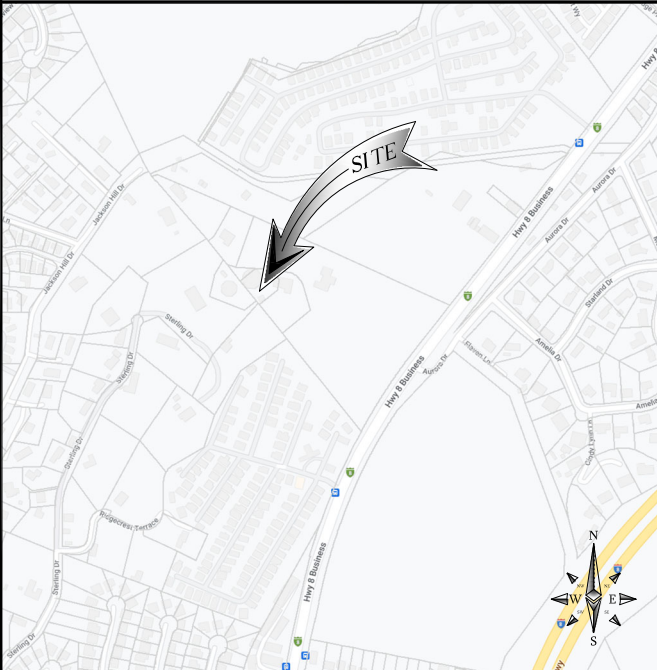
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

T-MOBILE RF ENGINEER:	_____	DATE:	_____
T-MOBILE OPERATIONS:	_____	DATE:	_____
SITE ACQUISITION:	_____	DATE:	_____
CONSTRUCTION MANAGER:	_____	DATE:	_____
PROPERTY OWNER:	_____	DATE:	_____
ZONING:	_____	DATE:	_____
PROJECT MANAGER:	_____	DATE:	_____

SITE INFORMATION

PROPERTY OWNER:	HELIX WATER DISTRICT 7811 UNIVERSITY AVE LA MESA, CA 91942 PH: (619) 466-0585
APPLICANT:	T-MOBILE
ADDRESS:	1441 MONTIEL RD ESCONDIDO, CA 92026
LAT/LONG TYPE:	NAD-83
LATITUDE:	32° 49' 34.70" N
LONGITUDE:	116° 54' 52.79" W
ZONING JURISDICTION:	COUNTY OF SAN DIEGO
ZONING CLASSIFICATION:	RR - RURAL RESIDENTIAL
CURRENT USE:	UNMANNED TELECOMMUNICATIONS FACILITY
ASSESSOR'S PARCEL NO.:	400-060-03
PROPOSED USE:	UNMANNED TELECOMMUNICATIONS FACILITY
TYPE OF CONSTRUCTION:	VB
OCCUPANCY GROUP:	U

VICINITY MAP



PROJECT DESCRIPTION

T-MOBILE PROPOSES TO MODIFY AN EXISTING WIRELESS INSTALLATION, THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE (1) EXISTING MONOPOLE
- REMOVE (1) EXISTING T-MOBILE FRAME MOUNT FROM CHAIN LINK FENCE POSTS
- REMOVE (4) EXISTING T-MOBILE PANEL ANTENNAS
- REMOVE (2) EXISTING T-MOBILE TMA'S @ ANTENNA LEVEL
- REMOVE (2) EXISTING T-MOBILE RRUS-B12 @ EQUIPMENT AREA
- REMOVE (2) EXISTING T-MOBILE CABINETS @ EQUIPMENT AREA
- REMOVE (1) EXISTING T-MOBILE 5216 UNIT @ EQUIPMENT AREA
- REMOVE (1) EXISTING T-MOBILE XMU UNIT @ EQUIPMENT AREA
- REMOVE (6) EXISTING T-MOBILE RUS01 B2 @ EQUIPMENT AREA
- REMOVE (1) EXISTING T-MOBILE 9X18 HCS 30M
- RELOCATE (1) EXISTING T-MOBILE DUG20 FROM (E) CABINET TO (N) 6160 @ EQUIPMENT AREA
- RELOCATE (1) EXISTING T-MOBILE DUV30 FROM (E) CABINET TO (N) 6160 @ EQUIPMENT AREA
- INSTALL (3) NEW T-MOBILE MOUNTS
- INSTALL (9) NEW T-MOBILE FRP CHINS AND SKIRTS
- INSTALL (3) NEW T-MOBILE VERTICAL CABLE TRAYS
- INSTALL (3) NEW T-MOBILE AIR6419 B41 PANEL ANTENNAS
- INSTALL (3) NEW T-MOBILE 8'x4' OCTO PANEL ANTENNAS
- INSTALL (3) NEW T-MOBILE 4460 B25+B66 @ ANTENNA LEVEL
- INSTALL (3) NEW T-MOBILE 4460 B71+B85 @ ANTENNA LEVEL
- INSTALL (1) NEW T-MOBILE 6160 CABINET @ EQUIPMENT AREA
- INSTALL (1) NEW T-MOBILE 6160 CABINET @ EQUIPMENT AREA
- INSTALL (2) NEW T-MOBILE 6651 UNIT IN (N) 6160 CABINET @ EQUIPMENT AREA
- INSTALL (2) NEW T-MOBILE PSU 4813 IN (N) 6160 CABINET @ EQUIPMENT AREA
- INSTALL (2) NEW T-MOBILE RBS 6601 IN (N) 6160 CABINET @ EQUIPMENT AREA
- INSTALL (1) NEW T-MOBILE IXRE ROUTER IN (N) 6160 CABINET @ EQUIPMENT AREA
- INSTALL (12) NEW T-MOBILE 150FT BATTERIES IN (N) 6160 CABINET @ EQUIPMENT AREA
- INSTALL (3) NEW T-MOBILE 6X24 4AWG HCS FOR AIR6419, 4460, 4460

- * RETS WILL BE CONTROLLED BY 4460 AND 4460 SEPARATELY
- * UPGRADE AC POWER, IF NOT DONE ALREADY

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

ENGINEERING

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.

- 2022 CALIFORNIA BUILDING CODE
- CITY/COUNTY ORDINANCES
- BUILDING OFFICIALS & CODE ADMINISTRATORS (BOCA)
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- LOCAL BUILDING CODE

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



PROJECT TEAM

REAL ESTATE PROJECT MANAGER:	ENGINEER:
SMARTLINK	M SQUARED WIRELESS
3300 IRVINE AVE, 300	1387 CALLE AVANZADO
IRVINE, CA 92660	SAN CLEMENTE, CA 92673
CONTACT: VINCE VOSS	CONTACT: MICHAEL MONTELLO
PHONE: (630) 220-8156	PHONE: (619) 997-4012
EMAIL: Vincent.Voss@smartlinkgroup.com	EMAIL: michael@msquaredwireless.com
RF ENGINEER:	
T-MOBILE USA	
1441 MONTIEL RD	
ESCONDIDO, CA 92026	
CONTACT: PEDRO ABE	
PHONE: (858) 334-2128	
EMAIL: pedro.abe@T-Mobile.com	

DRIVING DIRECTIONS

DIRECTIONS FROM SAN DIEGO INTERNATIONAL AIRPORT:

1. HEAD EAST ON N HARBOR DR TOWARD MCCAIN RD
2. USE THE LEFT 3 LANES TO TURN LEFT ONTO W GRAPE ST
3. USE THE RIGHT 2 LANES TO TAKE THE RAMP ONTO I-5 S
4. MERGE ONTO I-5 S
5. TAKE EXIT 15B FOR CA-94 E/M L KING JR FWY
6. TAKE THE CALIFORNIA 94 E/CALIFORNIA 125 N EXIT ON THE LEFT TOWARD LA MESA/SPRING ST
7. KEEP LEFT AT THE FORK TO CONTINUE ON EXIT 9B, FOLLOW SIGNS FOR CA-125 N/SANTEE
8. TAKE EXIT 18B TO MERGE ONTO I-8 E
9. TAKE EXIT 20 FOR GREENFIELD DR TOWARD CREST
10. USE THE LEFT 2 LANES TO TURN LEFT ONTO HWY 8 BUSINESS/GREENFIELD DR
11. TURN RIGHT ONTO HWY 8 BUSINESS/E MAIN ST
12. DESTINATION WILL BE ON THE LEFT

SDC PDS RCVD 04-18-25

ZAP96-035W2



1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-6824

DRAWN BY: CP

CHECKED BY: MM

REV	DATE	DESCRIPTION
5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

GENERAL CONSTRUCTION NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR - GENERAL CONTRACTOR
SUBCONTRACTOR - CONTRACTOR (CONSTRUCTION)
OWNER - T-MOBILE
2. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND T-MOBILE PROJECT SPECIFICATIONS.
3. GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL T-MOBILE, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
5. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
6. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
7. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOWN DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK
8. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE SPACE FOR APPROVAL BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
11. GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
12. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
13. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. SUBCONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.
14. WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. SUBCONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY (E) CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO THE BEGINNING CONSTRUCTION.
15. SUBCONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
16. THE SUBCONTRACTOR SHALL PROTECT (E) IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
17. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
18. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND SUBCONTRACTORS TO THE SITE AND/OR BUILDING.
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
20. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
21. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
22. ALL (E) ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ARCHITECT/ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, D) TRENCHING & EXCAVATION.
23. ALL (E) INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ARCHITECT/ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
24. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
25. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
26. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
27. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
28. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
29. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
30. SUBCONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
31. SUBCONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
32. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS REQUIRED).
33. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY T-MOBILE TECHNICIANS.
34. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
35. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION T-MOBILE, GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES" AND "TECHNICAL SPECIFICATION FOR FACILITY GROUNDING". IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
36. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF SUBCONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
37. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
38. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
39. NO WHITE, STROBIC LIGHTS ARE PERMITTED. LIGHTING IF REQUIRED, WILL MEET FAA STANDARDS AND REQUIREMENTS.
40. ALL COAXIAL CABLE INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
41. NO NOISE, SMOKE, DUST, OR VIBRATIONS WILL RESULT FROM THIS FACILITY. (DISREGARD THIS NOTE IF THIS SITE HAS A GENERATOR)
42. NO ADDITIONAL PARKING TO BE PROPOSED. (E) ACCESS AND PARKING TO REMAIN, UNLESS NOTED OTHERWISE.
43. NO LANDSCAPING IS PROPOSED AT THIS SITE, UNLESS NOTED OTHERWISE.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED, ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY 'CONSTRUCTION MANAGER' AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE 'CONSTRUCTION MANAGER' HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
- C - NATIONAL FIRE CODES
- A. UL - UNDERWRITERS LABORATORIES
- B. NEC - NATIONAL ELECTRICAL CODE
- C. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
- D. OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
- E. SBC - STANDARD BUILDING CODE
4. DO NOT SCALE ELECTRICAL DRAWINGS. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH 'CONSTRUCTION MANAGER' ANY SIZES AND LOCATIONS WHEN NEEDED.
5. (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
7. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
8. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC., ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER PRIOR TO BEGINNING ANY WORK.
9. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
10. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
11. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
12. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY T-MOBILE.
13. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY CONSTRUCTION MANAGER.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
15. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
16. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
17. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
18. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
19. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION, REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
20. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE (N) AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEC.
21. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
22. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE 'CONSTRUCTION MANAGER' UPON FINAL ACCEPTANCE.
23. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
24. DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
25. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NO-OXIDE A" BY DEARBORN CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUNDING BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
26. RACEWAYS: CONDUIT SHALL BE SCHEDULE 40 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'GOLD GALV'.
27. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
28. CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, 800 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
29. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
30. SERVICE: 240/120V, SINGLE PHASE, 3 WIRE CONNECTION AVAILABLE FROM UTILITY COMPANY. OWNER OR OWNERS AGENT WILL APPLY FOR POWER.
31. TELEPHONE SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
32. ELECTRICAL AND TELCO RACEWAYS TO BE BURIED A MINIMUM OF 2' DEPTH.
33. CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOMM".
34. ALL BOLTS SHALL BE STAINLESS STEEL

SPECIAL INSPECTION

1. CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY CARRIER AND THE GOVERNING JURISDICTION, AS REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING:
- A. PERIODIC FOR HIGH STRENGTH BOLT INSTALLATIONS (IF UTILIZED)
- B. PERIODIC/CONTINUOUS FOR FIELD WELDING (IF UTILIZED)
2. PROVIDE SPECIAL INSPECTIONS FOR THE OTHER ITEMS NOTED ON DRAWINGS TO CONFIRM COMPLIANCE WITH CONTRACT DOCUMENTS.
3. STEEL FABRICATION SHALL BE DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.
4. SPECIAL INSPECTION IS NOT REQUIRED FOR WORK OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL. THUS, SPECIAL INSPECTION ITEMS ABOVE MAY BE WAIVED AS DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.
5. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL.
6. STRUCTURAL OBSERVATION NOT REQUIRED.

GROUNDING NOTES:

1. COMPRESSION CONNECTIONS (2), 2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUNDING BAR, ROUTE CONDUCTORS TO BURIED GROUNDING RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. ELECTRICAL CONTRACTOR SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "T") WITH 1" HIGH LETTERS.
3. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR LARGER.
4. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
5. NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUNDING BAR AND BOLTED ON THE BACK SIDE.
6. NUMBER OF GROUNDING BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION, AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED.
7. WHEN THE SCOPE OF WORK REQUIRES THE ADDITION OF A GROUNDING BAR TO AN (E) TOWER, THE SUBCONTRACTOR SHALL OBTAIN APPROVAL FROM THE TOWER OWNER PRIOR TO MOUNTING THE GROUNDING BAR TO THE TOWER.
8. ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.

SITE WORK & DRAINAGE

PART 1 - GENERAL

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

1.1 REFERENCES:

- A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
- B. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
- C. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).

1.2 INSPECTION AND TESTING:

- A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY SUBCONTRACTORS INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATED BY THE SUBCONTRACTOR.
- B. ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.

1.3 SITE MAINTENANCE AND PROTECTION:

- A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE SUBCONTRACT.
- B. AVOID DAMAGE TO THE SITE AND TO (E) FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT (E) FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
- C. KEEP SITE FREE OF ALL PONDING WATER.
- D. PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT AND EPA REQUIREMENTS.
- E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
- F. (E) UTILITIES: DO NOT INTERRUPT (E) UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE ENGINEER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
- PROVIDE A MINIMUM 48-HOUR NOTICE TO THE ENGINEER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

ENVIRONMENTAL NOTES

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS AND SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION, ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
6. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
7. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
8. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
9. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES

HELIX WATER DISTRICT NOTES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT HELIX WATER DISTRICT 48 HOURS PRIOR TO COMMENCING WORK, FOR STANDBY, OR ACCESS TO THE SITE AT (619) 596-3860 AND UNDERGROUND SERVICE ALERT FOR LOCATION OF EXISTING WATER FACILITIES AT 1-800-422-4133.
2. CONTRACTOR TO PROTECT ALL EXISTING HELIX WATER DISTRICT FACILITIES AND SHALL BE FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO HELIX WATER DISTRICT FACILITIES AS A RESULT OF HIS/HER OPERATION. HELIX WATER DISTRICT SHALL BE NOTIFIED IMMEDIATELY TO REPAIR ANY DAMAGE.
3. APPROVAL/REVIEW OF PLANS BY HELIX WATER DISTRICT DOES NOT CONSTITUTE RESPONSIBILITY FOR ACCURACY OF INFORMATION NOR LOCATIONS OF ANY EXISTING UTILITIES.
4. THE CONTRACTOR AGREES THAT IF THEY, THEIR EMPLOYEES, AGENTS, OR ANY INDEPENDENT CONTRACTORS OR SUBCONTRACTORS SHOULD USE WATER OTHER THAN THROUGH AN AUTHORIZED WATER METER, CONTRACTOR SHALL PAY A CHARGE, DETERMINED BY HELIX WATER DISTRICT, PER OCCURRENCE FOR SAID USE.
5. NO PERSON, OTHER THAN AN EMPLOYEE OR AGENT OF HELIX WATER DISTRICT, SHALL HAVE A RIGHT TO OPERATE ANY PART OF A HELIX WATER DISTRICT DISTRIBUTION SYSTEM AND FIRE HYDRANTS. ANY PERSON WHO TAMPERS OR INTERFERES WITH ANY PART OR COMPONENT OF SAID SYSTEM, OR CAUSES OR PERMITS ANY ACT OF TAMPERING OR INTERFERING WITH THE SYSTEM, SHALL BE LIABLE FOR ANY INJURY OR DAMAGE CAUSED THEREBY OR RESULTING THERE FROM. A CHARGE, DETERMINED BY HELIX WATER DISTRICT, PER OCCURRENCE WILL BE IMPOSED ON ANY PERSON OR COMPANY WHO OPERATES ANY PART OF THE HELIX WATER DISTRICT WATER SYSTEM WITHOUT PROPER AUTHORIZATION.
6. CONTRACTOR TO VERIFY THE LOCATIONS , BY PLOT HOLING, ALL UTILITIES IN THE IMMEDIATE AREA OR AFFECTED BY THE WORK PRIOR TO COMMENCING WORK.
7. CONDUIT CROSSINGS OVER WATER LINE SHALL BE PLACED IN A CASING. THE CASING SHALL BE CENTERED ON THE WATER LINE, 5' ON BOTH SIDES, AND ENCASED IN "RED" CONCRETE THE FULL LENGTH OF THE CASING. CONTRACTOR SHALL MAINTAIN A MINIMUM 12-INCH VERTICAL SEPARATION BETWEEN THE WATER MAIN AND ALL OTHER UTILITIES AT EACH CROSSING.



1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-8824

DRAWN BY: CP

CHECKED BY: MM

5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW
REV	DATE	DESCRIPTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1

- 1

(E) WATER TANK 1A
- 2

(E) WATER TANK 1B
- 3

(E) PUMP STATION
- 4

(E) ACCESS ROAD FROM HWY 8 BUSINESS
- 5

(E) ACCESS ROAD FROM JACKSON HILL DR
- 6

(E) UTILITY POLE; POWER AND FIBER POC
- 7

(E) CHAIN LINK FENCE; TYP.
- 8

(E) OVERHEAD UTILITIES; TYP.
- 9

(E) UNDERGROUND UTILITIES; TYP.
- 10

(E) UTILITY POLE; TYP.
- 11

FOR ENLARGED SITE PLAN SEE:

1
A-1.1
- 12

(N) T-MOBILE 6X24 HCS 4AWG; (1) PER SECTOR, (3) TOTAL
* SECTOR 'A'=±140'; SECTOR 'B'=±100'; SECTOR 'C'=±220'

8
D-1

7
D-2

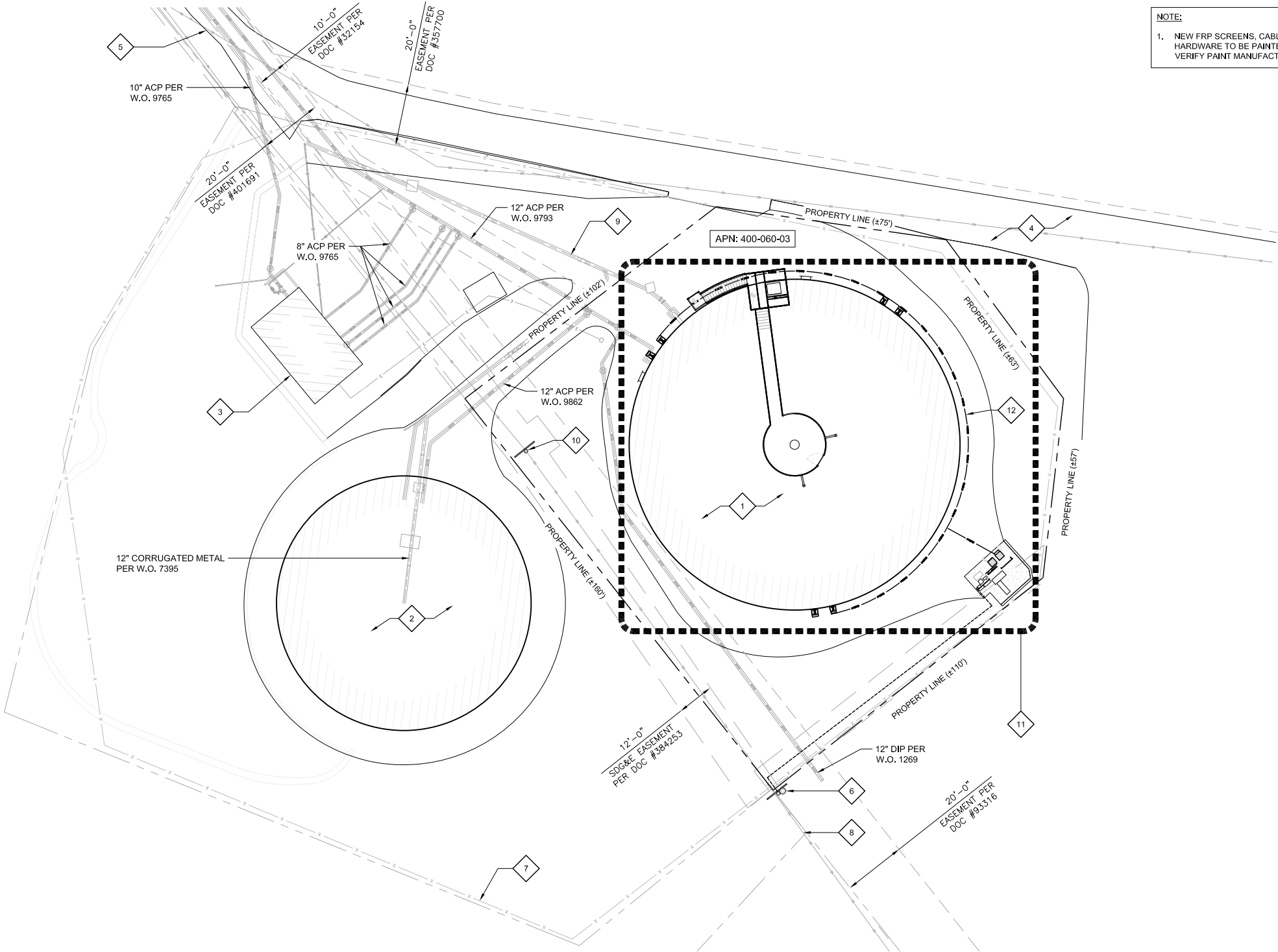
NOTES:

1. THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.
2. NO EXISTING PARKING STALLS ARE BEING ADDED OR REMOVED AS PART OF THE NEW INSTALLATION.
3. THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, AND EXISTING CONDITIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.

DISCLAIMER:

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KEYNOTES:



NOTE:

1. NEW FRP SCREENS, CABLE TRAYS AND ALL MOUNTING HARDWARE TO BE PAINTED TO MATCH EXISTING WATER TANK. VERIFY PAINT MANUFACTURER AND FINISH WITH OWNER.



1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-6824

DRAWN BY: CP

CHECKED BY: MM

REV	DATE	DESCRIPTION
5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW

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ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1



- 1

(E) WATER TANK 1A
- 2

(E) WATER TANK 1B
- 3

(E) ACCESS ROAD
- 4

(E) CHAIN LINK FENCE; TYP.
- 5

(E) UTILITY POLE
- 6

(E) OVERHEAD UTILITIES; TYP.
- 7

(E) UNDERGROUND UTILITIES; TYP.
- 8

(E) VENT RING
- 9

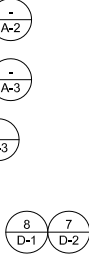
(E) ROOF PLATFORM AND CATWALK
- 10

(E) T-MOBILE EQUIPMENT AREA
- 11

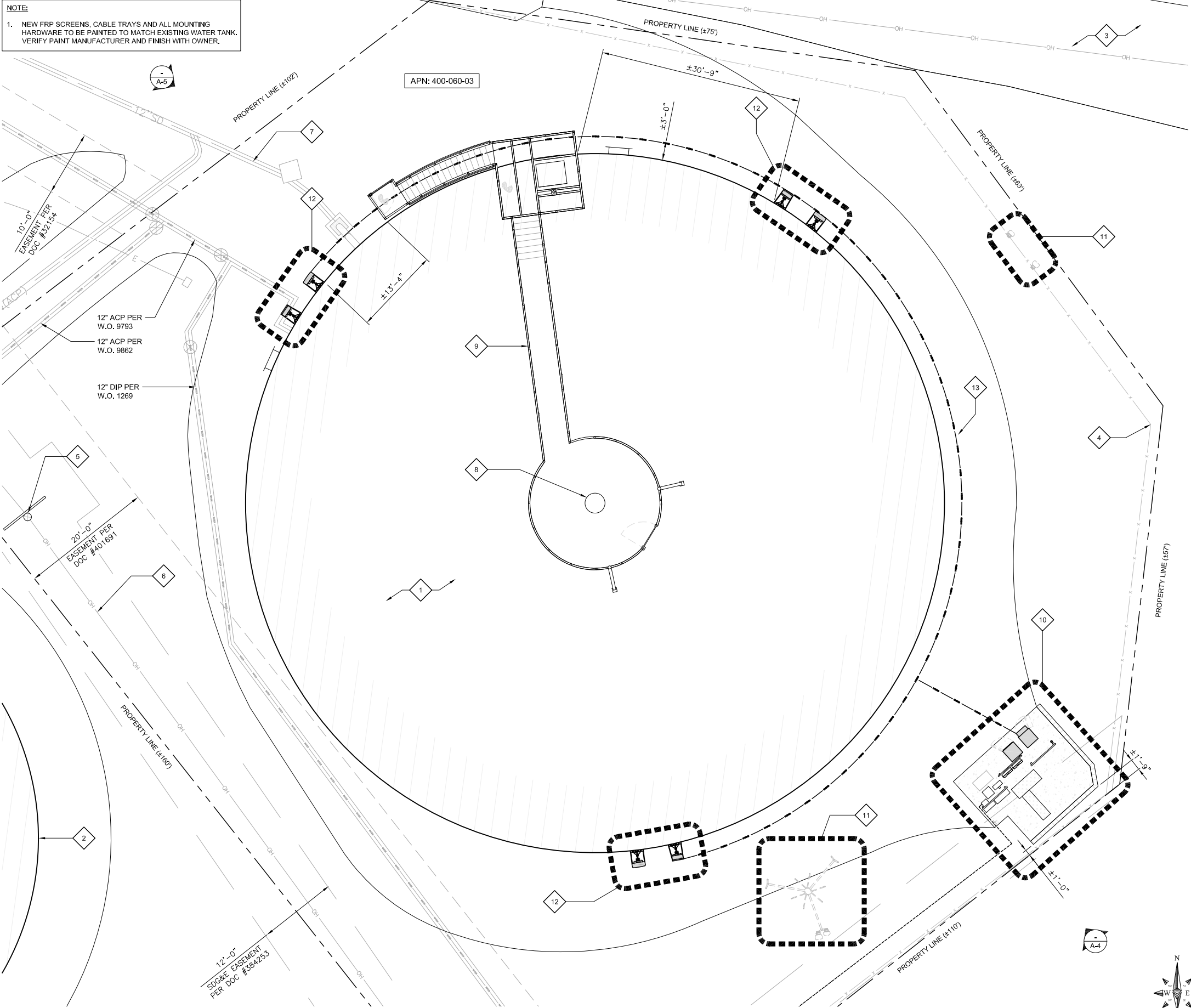
(E) T-MOBILE ANTENNA AREA
- 12

(N) T-MOBILE ANTENNA AREA
- 13

(N) T-MOBILE 6X24 HCS 4AWG;
(1) PER SECTOR, (3) TOTAL
* SECTOR 'A' LENGTH = ±140'
* SECTOR 'B' LENGTH = ±100'
* SECTOR 'C' LENGTH = ±220'



NOTE:
1. NEW FRP SCREENS, CABLE TRAYS AND ALL MOUNTING
HARDWARE TO BE PAINTED TO MATCH EXISTING WATER TANK.
VERIFY PAINT MANUFACTURER AND FINISH WITH OWNER.



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ANCHOR/L600 MODIFICATION
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SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

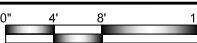
SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
A-1.1

KEYNOTES:

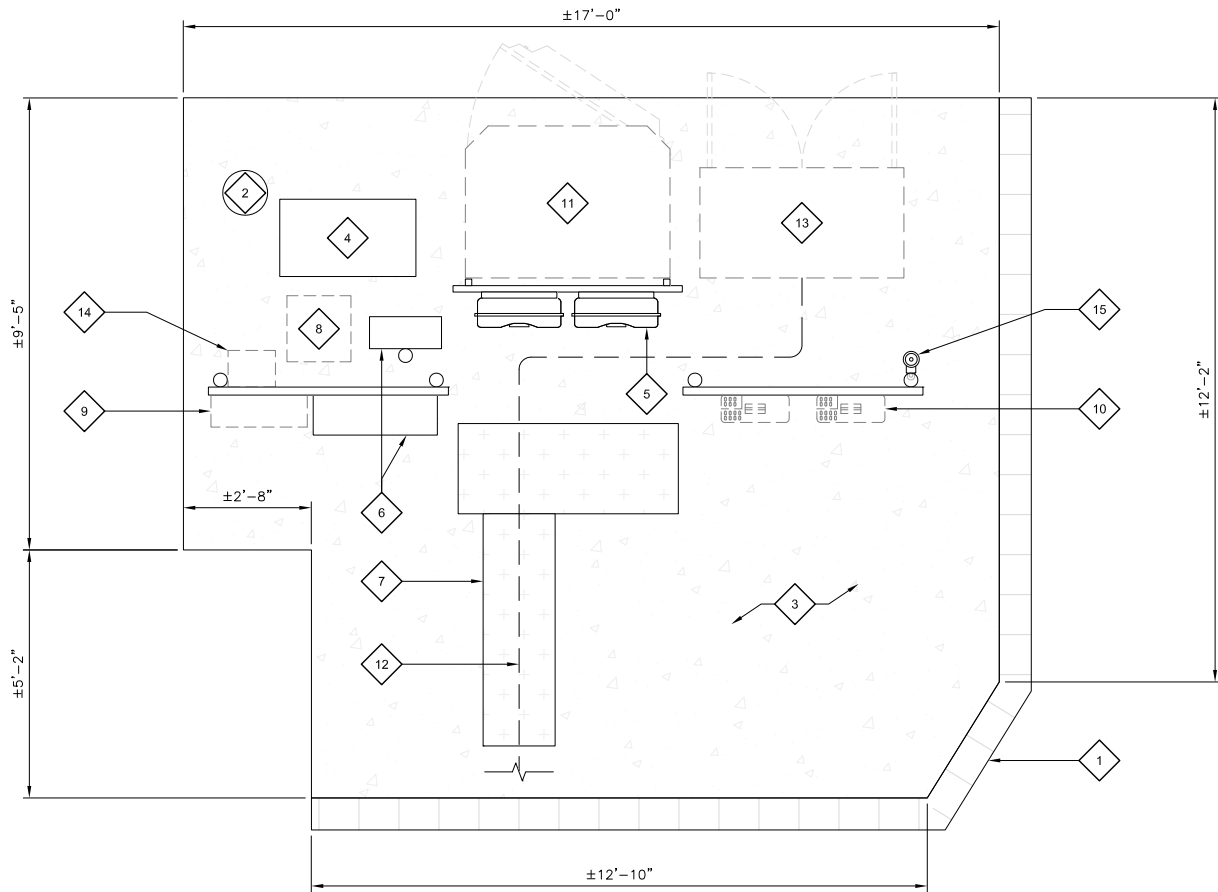
ENLARGED SITE PLAN

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



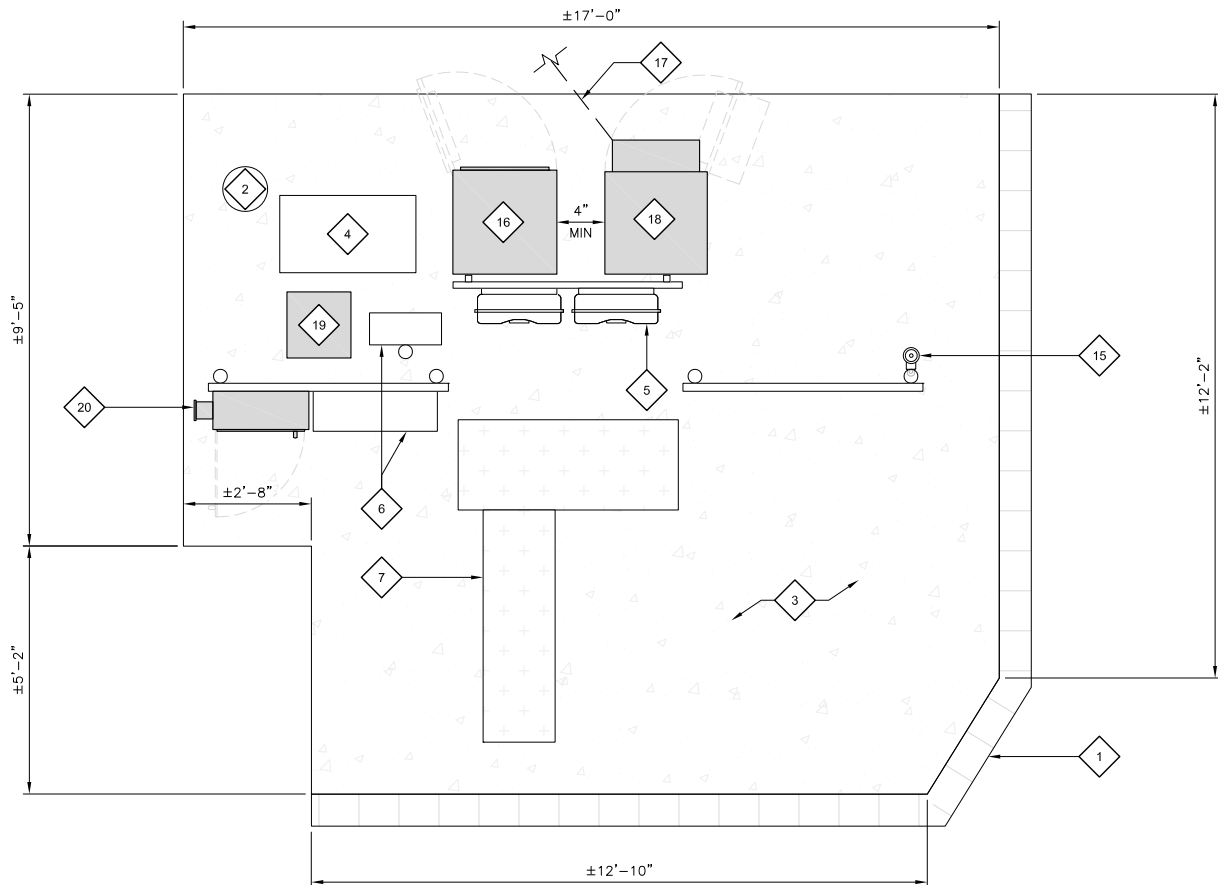
- 1 (E) RETAINING WALL
- 2 (E) GROUND ROD TEST WELL
- 3 (E) T-MOBILE CONCRETE EQUIPMENT PAD
- 4 (E) T-MOBILE VAULT, TYP.
- 5 (E) T-MOBILE CIENA BOX
- 6 (E) T-MOBILE TELCO CABINET
- 7 (E) T-MOBILE CABLE TRAY
- 8 (E) T-MOBILE METER PEDESTAL TO BE REMOVED AND REPLACED; (1) TOTAL
- 9 (E) T-MOBILE AC PANEL TO BE REMOVED AND REPLACED; (1) TOTAL
- 10 (E) T-MOBILE RRUS-12 B12 TO BE REMOVED; (1) PER SECTORS 'A' & 'B', (2) TOTAL
- 11 (E) T-MOBILE RBS CABINET TO BE REMOVED; (1) TOTAL
- 12 (E) T-MOBILE 9X18 HCS TO BE REMOVED; (1) TOTAL
- 13 (E) T-MOBILE RBS 6102 CABINET TO BE REMOVED; (1) TOTAL W/
(E) T-MOBILE 195FT BATTERIES TO BE REMOVED; (4) TOTAL
(E) T-MOBILE DUW30 TO BE RELOCATED; (1) TOTAL
(E) T-MOBILE DUG20 TO BE RELOCATED; (1) TOTAL
(E) T-MOBILE 5216 TO BE REMOVED; (1) TOTAL
(E) T-MOBILE XMU TO BE REMOVED; (1) TOTAL
(E) T-MOBILE RUS01 B2 TO BE REMOVED; (6) TOTAL
- 14 (E) T-MOBILE CAMLOK PANEL TO BE REMOVED; (1) TOTAL
- 15 (E) T-MOBILE GPS ANTENNA TO REMAIN; (1) TOTAL
- 16 (N) T-MOBILE B160 BATTERY CABINET MOUNTED ON (E) CONCRETE PAD; (1) TOTAL W/
(N) T-MOBILE 195FT BATTERIES; (12) TOTAL
- 17 (N) T-MOBILE 6X24 HCS 4AWG; (1) PER SECTOR, (3) TOTAL
- 18 (N) T-MOBILE 6160 CABINET MOUNTED ON (E) CONCRETE PAD; (1) TOTAL W/
(N) T-MOBILE RP 6651; (2) TOTAL
(N) T-MOBILE RBS 6601; (2) TOTAL
(N) T-MOBILE PSU 4813; (2) TOTAL
(N) T-MOBILE IXRE ROUTER; (1) TOTAL
(E) T-MOBILE RELOCATED DUW30; (1) TOTAL
(E) T-MOBILE RELOCATED DUG20; (1) TOTAL
- 19 (N) T-MOBILE 200A METER PEDESTAL; (1) TOTAL
- 20 (N) T-MOBILE PPC PANEL AND CAMLOK GENERATOR PANEL; (1) TOTAL

NOTE:
1. (E) T-MOBILE PANEL ANTENNAS NOT SHOWN FOR CLARITY.



EXISTING EQUIPMENT LAYOUT

NOTE:
1. (E) T-MOBILE PANEL ANTENNAS NOT SHOWN FOR CLARITY.



24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1" = 1'-0"

NOTE:
1. ALL AC POWER CONDUIT TO BE RIDGE CONDUIT.
2. GC TO FOLLOW THE 6160 & B160 INSTALL GUIDELINES.
3. GC TO VERIFY TECH LIGHTING IF NEEDED TO CHANGE OUT TO LED & ADD 90-MINUTE TIMER SWITCH.
4. EXISTING LEASE AREA NOT TO BE EXPANDED.
5. EXISTING LEASE AREA TO BE USED FOR ASSOCIATED EQUIPMENT.



1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-6824

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CHECKED BY: MM

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ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

EQUIPMENT LAYOUT

SHEET NUMBER

A-2

KEYNOTES:

NEW EQUIPMENT LAYOUT

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1" = 1'-0"

2

NEW OPTIMAL ANTENNA & TRANSMISSION CABLES REQUIREMENTS (VERIFY WITH CURRENT RFDS)			ANTENNA MAKE AND MODEL		RAD CENTER		AZIMUTH		TRANSMISSION LINE		
ANTENNA POSITION	TECHNOLOGY	ANTENNA COUNT	EXISTING	FINAL	EXISTING	FINAL	EXISTING	FINAL	CABLE LENGTH	FEEDER TYPE	
SECTOR A	1	L2500, N2500	1	COMMSCOPE SBNH-1D65C (QUAD)	(N) ERICSSON AIR6419 B41 (MIMO)	45°-0"	34°-0"	45°	35°	±140'	(N) 6X24 HCS
	2	L600, L700, N600, L1900 L2100, G1900, U1900	1	ERICSSON AIR32 B66A/B2A (OCTO)	(N) RFS APXVAALL24_43-U-NA20 (OCTO)	47°-0"	32°-0"	45°	35°	-	-
SECTOR B	1	L2500, N2500	1	COMMSCOPE SBNH-1D65C (QUAD)	(N) ERICSSON AIR6419 B41 (MIMO)	45°-0"	34°-0"	170°	170°	±100'	(N) 6X24 HCS
	2	L600, L700, N600, L1900 L2100, G1900, U1900	1	ERICSSON AIR32 B66A/B2A (OCTO)	(N) RFS APXVAALL24_43-U-NA20 (OCTO)	47°-0"	32°-0"	170°	170°	-	-
SECTOR C	1	L2500, N2500	1	-	(N) ERICSSON AIR6419 B41 (MIMO)	-	34°-0"	-	305°	±220'	(N) 6X24 HCS
	2	L600, L700, N600, L1900 L2100, G1900, U1900	1	-	(N) RFS APXVAALL24_43-U-NA20 (OCTO)	-	32°-0"	-	305°	-	-

REMOTE RADIO UNITS		DC CABLES		
ANTENNA POSITION	RRUS MAKE AND MODEL	RRUS COUNT	LENGTH	AWG
SECTOR A	-	-	-	-
	(N) ERICSSON 4460 B25+B66 (N) ERICSSON 4480 B71+B85	2	±8'	-
SECTOR B	-	-	-	-
	(N) ERICSSON 4460 B25+B66 (N) ERICSSON 4480 B71+B85	2	±8'	-
SECTOR C	-	-	-	-
	(N) ERICSSON 4460 B25+B66 (N) ERICSSON 4480 B71+B85	2	±8'	-

NOTES TO CONTRACTOR:

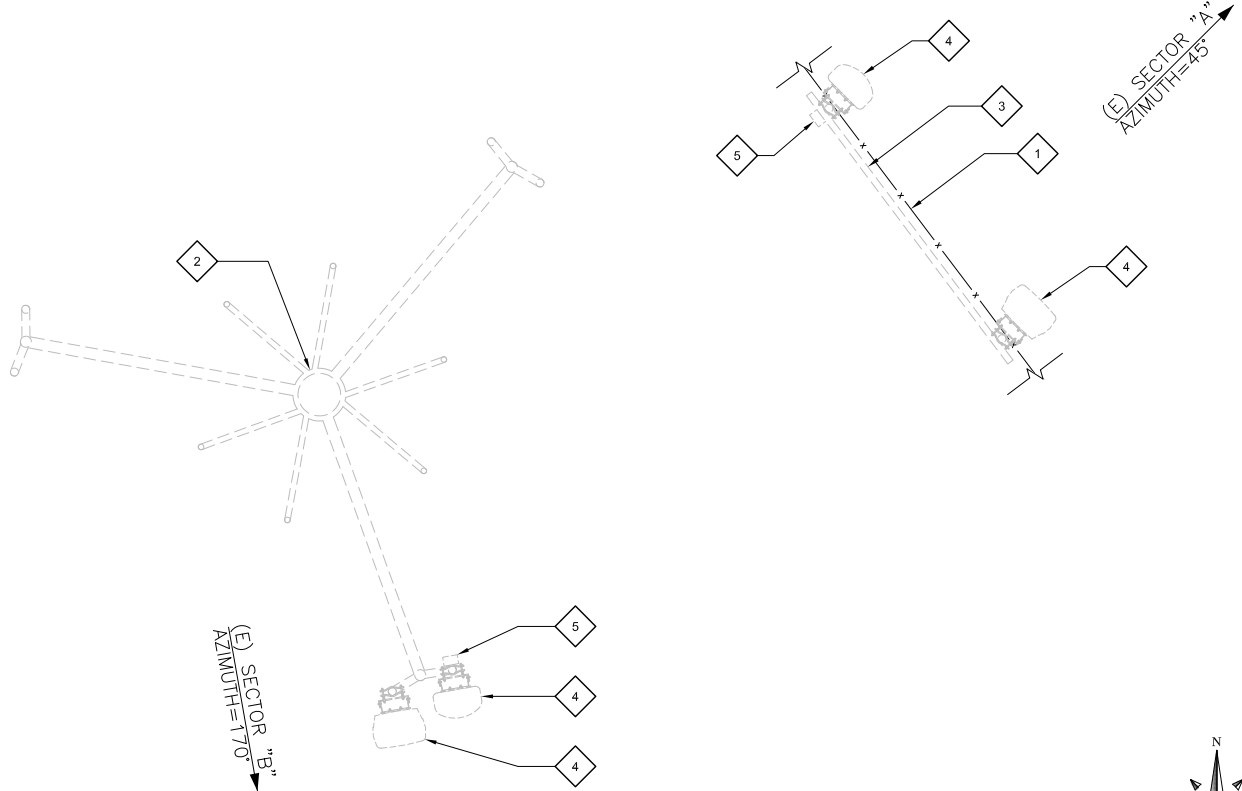
- CONTRACTOR IS TO REFER TO T-MOBILE'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION
- CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK
- CONTRACTOR TO VERIFY PORTS HAVE SUFFICIENT ROOM

NOTE:

PRIOR TO ORDERING ANTENNAS VERIFY CORRECT MODEL NUMBER WITH LATEST RFDS AND NOTIFY ENGINEER OF RECORD IMMEDIATELY IF DISCREPANCY IS FOUND

NOTE:

- (E) ANTENNA AZIMUTHS ARE ESTIMATED AND ARE TO BE VERIFIED BY RF.
- NEW PANEL ANTENNAS AND ALL MOUNTING HARDWARE TO BE PAINTED TO MATCH EXISTING STRUCTURE IF REQUIRED. VERIFY PAINT MANUFACTURER AND FINISH WITH OWNER



24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1" = 1'-0"

1

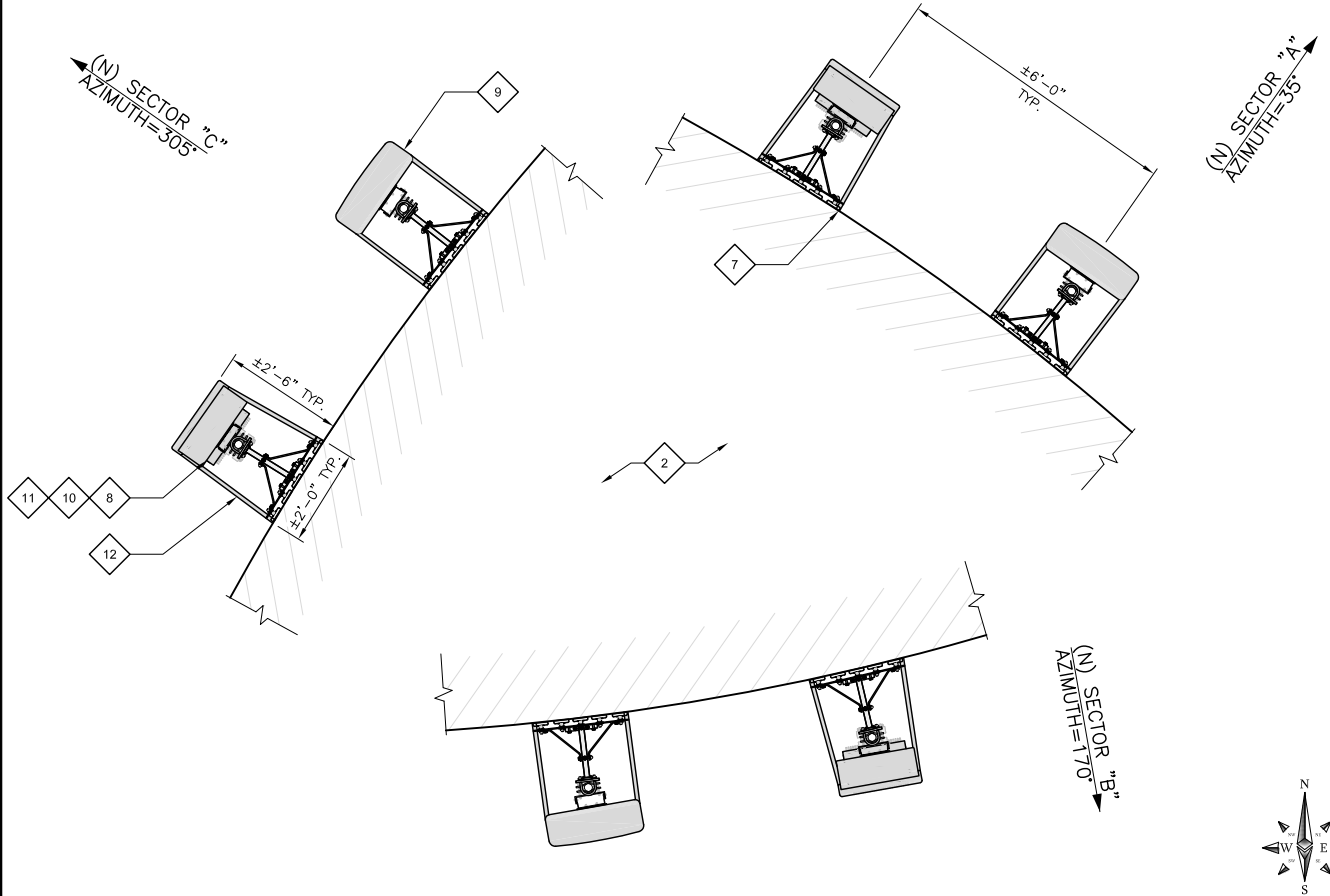
ANTENNA & EQUIPMENT SCHEDULE

- (E) CHAIN LINK FENCE
- (E) 42'-8" MONOPOLE TO BE REMOVED; (1) TOTAL
- (E) FRAME MOUNT TO BE REMOVED; (1) TOTAL
- (E) T-MOBILE PANEL ANTENNA TO BE REMOVED; (2) PER SECTOR 'A' & 'B', (2) TOTAL
- (E) T-MOBILE TMA TO BE REMOVED; (1) PER SECTOR 'A' & 'B', (2) TOTAL
- (E) WATER TANK 1A
- (N) T-MOBILE MOUNT MOUNTED TO (E) WATER TOWER (CONTRACTOR TO PROTECT (E) WATER TANK COATING DURING THE INSTALLATION); (1) PER SECTOR, (3) TOTAL (EA. SECTOR TO HAVE (7) STM2 MAGNEMOUNT ASSEMBLIES)
- (N) T-MOBILE 3'-0" AIR6419 B41 PANEL ANTENNAS MOUNTED TO (N) PIPE MAST; (1) PER SECTOR, (3) TOTAL
- (N) T-MOBILE 8'-0" APXVAALL24_43-U-NA20 PANEL ANTENNAS MOUNTED TO (N) PIPE MAST; (1) PER SECTOR, (3) TOTAL
- (N) T-MOBILE 4460 B25+B66 RRU STACK-MOUNTED TO (N) PIPE MAST; (1) PER SECTOR, (3) TOTAL
- (N) T-MOBILE 4480 B71+B85 RRU STACK-MOUNTED TO (N) PIPE MAST; (1) PER SECTOR, (3) TOTAL
- (N) T-MOBILE FRP CHINS AND SKIRTS OPEN AT TOP & BOTTOM W/ VENTS ON THE SIDES FOR VENTILATION; (2) PER SECTOR, (6) TOTAL

NOTE:

- CONTRACTOR TO VERIFY APPROVED STRUCTURAL ANALYSIS PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY ANTENNA TECHNOLOGIES PRIOR TO REMOVAL OF ANY ANTENNAS.
- CONTRACTOR TO SUPPLY WEATHERPROOFING FOR CONNECTIONS.
- GENERAL CONTRACTOR TO PROVIDE MOUNTS OR ADDITIONAL HARDWARE IF REQUIRED TO SUPPORT PROPOSED ANTENNAS. ALL ANTENNAS & MOUNTING HARDWARE SHALL CONFORM TO DESIGN REQUIREMENTS PER 2013 IBC/2016 CBC AND EIA/TIA-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.

EXISTING ANTENNA PLAN



24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1" = 1'-0"

2

KEYNOTES:

NEW ANTENNA PLAN



DRAWN BY: CP

CHECKED BY: MM

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ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

ANTENNA LAYOUT

SHEET NUMBER

A-3

- 1

(E) WATER TANK 1A
- 2

(E) ROOF CATWALK
- 3

(E) RETAINING WALL
- 4

(E) 42'-8" MONOPOLE TO BE REMOVED; (1) TOTAL
- 5

(E) T-MOBILE AC PANEL
- 6

(E) T-MOBILE CIENA BOX
- 7

(E) T-MOBILE GPS ANTENNA TO REMAIN;
(1) TOTAL
- 8

(E) T-MOBILE RRUS-12 B12 TO BE REMOVED;
(1) PER SECTORS 'A' & 'B', (2) TOTAL
- 9

(E) T-MOBILE RBS CABINET TO BE REMOVED;
(1) TOTAL
- 10

(E) T-MOBILE RBS 6102 CABINET TO BE REMOVED;
(1) TOTAL
- 11

(E) T-MOBILE 4'-9" PANEL ANTENNA TO BE REMOVED;
(1) PER SECTOR 'A' & 'B', (2) TOTAL
- 12

(E) T-MOBILE 8'-1" PANEL ANTENNA TO BE REMOVED;
(1) PER SECTOR 'A' & 'B', (2) TOTAL
- 13

(E) T-MOBILE TMA TO BE REMOVED;
(1) PER SECTOR 'A' & 'B', (2) TOTAL
- 14

(N) T-MOBILE B160 BATTERY CABINET MOUNTED
ON (E) CONCRETE PAD; (1) TOTAL
- 15

(N) T-MOBILE 6160 CABINET MOUNTED ON (E)
CONCRETE PAD; (1) TOTAL W
- 16

(N) T-MOBILE CABLE TRAY; (1) PER SECTOR, (3) TOTAL
- 17

(N) T-MOBILE 3'-0" AIR6419 B41 PANEL
ANTENNAS MOUNTED TO (N) PIPE MAST; (1) PER
SECTOR, (3) TOTAL
- 18

(N) T-MOBILE 8'-0" APXVAALL24_43-U-NA20
PANEL ANTENNAS MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL
- 19

(N) T-MOBILE 4460 B25+B66 RRU
STACK-MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL
- 20

(N) T-MOBILE 4480 B71+B85 RRU
STACK-MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL
- 21

(N) T-MOBILE FRP CHINS AND SKIRTS OPEN
AT TOP & BOTTOM W/ VENTS ON THE SIDES
FOR VENTILATION; (2) PER SECTOR, (6) TOTAL

NOTE:
1. NEW FRP SCREENS, CABLE TRAYS AND ALL MOUNTING
HARDWARE TO BE PAINTED TO MATCH EXISTING WATER TANK.
VERIFY PAINT MANUFACTURER AND FINISH WITH OWNER.

TOP OF EXISTING T-MOBILE PANEL ANTENNAS
±49'-4" A.G.L.
RAD CENTER OF EXISTING T-MOBILE PANEL ANTENNAS
47'-0" A.G.L.
RAD CENTER OF EXISTING T-MOBILE PANEL ANTENNAS
45'-0" A.G.L.
TOP OF EXISTING WATER TANK
±44'-0" A.G.L.

GROUND LEVEL
0'-0" AGL

EXISTING SOUTHEAST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

1

TOP OF EXISTING WATER TANK
±44'-0" A.G.L.
TOP OF NEW T-MOBILE PANEL ANTENNAS
±36'-0" A.G.L.
RAD CENTER OF NEW T-MOBILE PANEL ANTENNAS
34'-0" A.G.L.
RAD CENTER OF NEW T-MOBILE PANEL ANTENNAS
32'-0" A.G.L.

GROUND LEVEL
0'-0" AGL

NEW SOUTHEAST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

2

KEYNOTES:



DRAWN BY: CP
CHECKED BY: MM

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SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-4

- 1

(E) WATER TANK 1A
- 2

(E) CHAIN LINK FENCE
- 3

(E) ROOF CATWALK
- 4

(E) ROOF PLATFORM
- 5

(E) T-MOBILE 8'-1" PANEL ANTENNA TO BE REMOVED;
(1) PER SECTOR 'A' & 'B', (2) TOTAL
- 6

(E) T-MOBILE TMA TO BE REMOVED;
(1) PER SECTOR 'A' & 'B', (2) TOTAL
- 7

(N) T-MOBILE CABLE TRAY; (1) PER SECTOR, (3) TOTAL
- 8

(N) T-MOBILE 3'-0" AIR6419 B41 PANEL ANTENNAS MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL

2-4
D-1
- 9

(N) T-MOBILE 8'-0" APXVAALL24_43-U-NA20 PANEL ANTENNAS MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL

4.5
D-1
- 10

(N) T-MOBILE 4460 B25+B66 RRU STACK-MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL

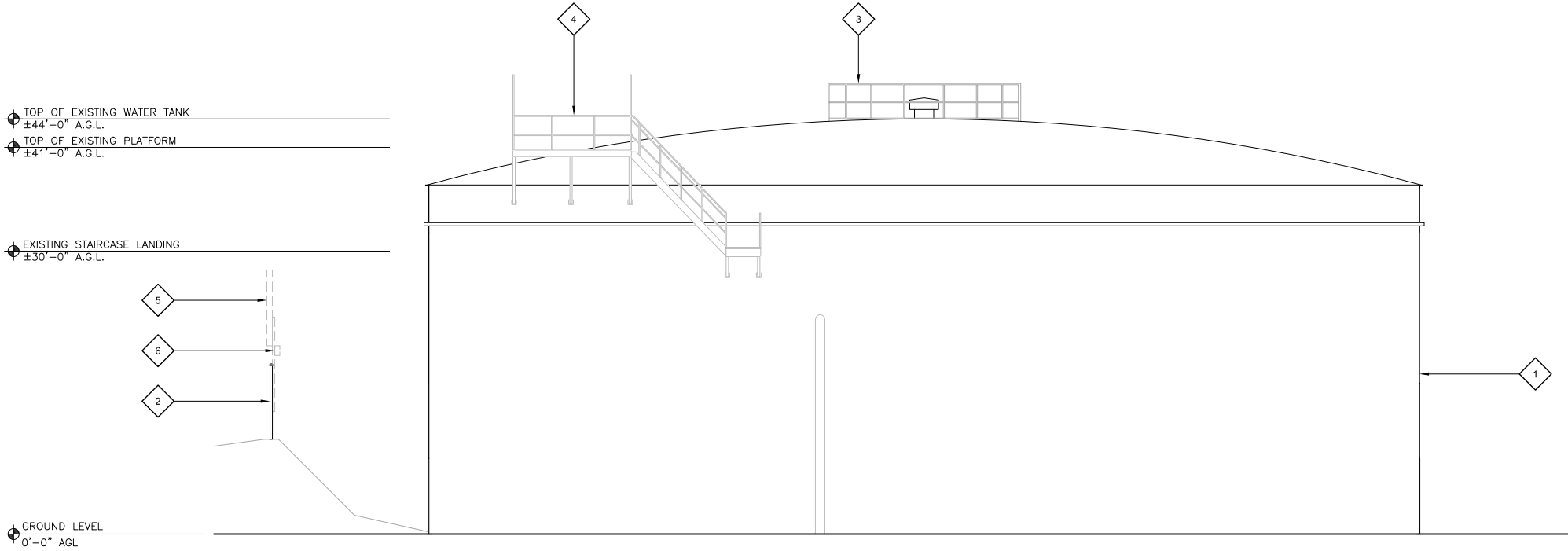
4.6
D-1
- 11

(N) T-MOBILE 4480 B71+B85 RRU STACK-MOUNTED TO (N) PIPE MAST;
(1) PER SECTOR, (3) TOTAL

4.7
D-1
- 12

(N) T-MOBILE FRP CHINS AND SKIRTS OPEN AT TOP & BOTTOM W/ VENTS ON THE SIDES FOR VENTILATION; (2) PER SECTOR, (6) TOTAL

1.2
D-3

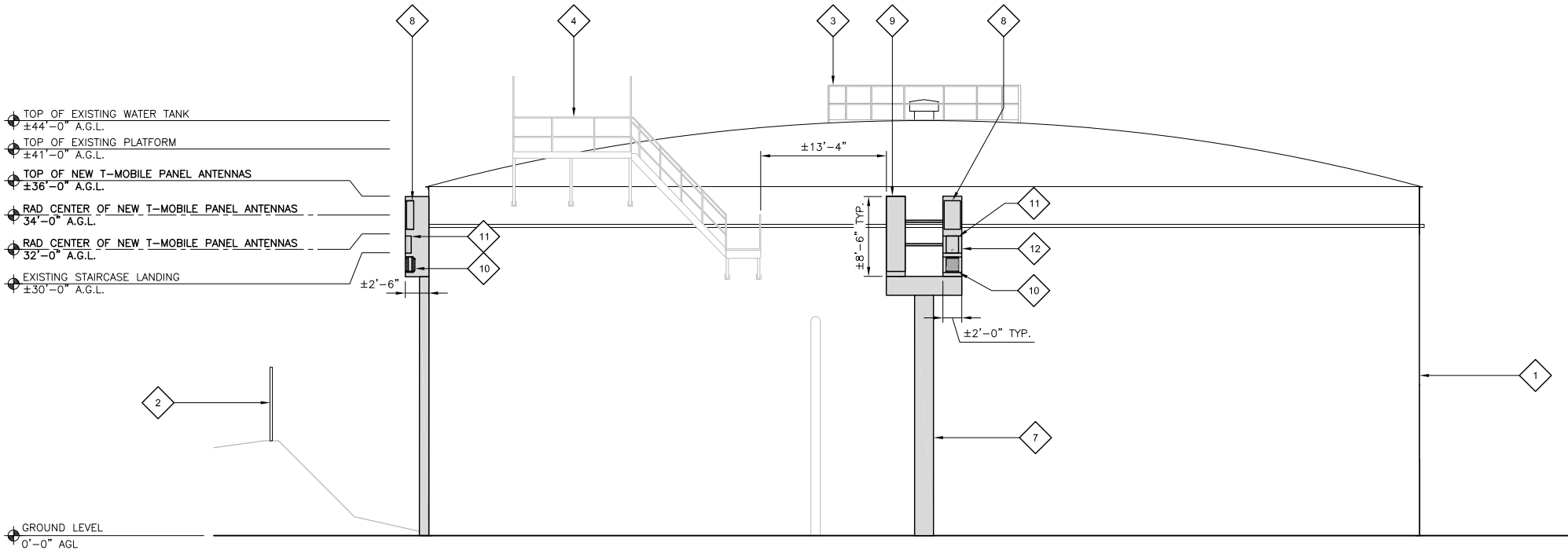


EXISTING NORTHWEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

1

NOTE:
1. NEW FRP SCREENS, CABLE TRAYS AND ALL MOUNTING HARDWARE TO BE PAINTED TO MATCH EXISTING WATER TANK. VERIFY PAINT MANUFACTURER AND FINISH WITH OWNER.



NEW NORTHWEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

2

KEYNOTES:

T-Mobile

smartlink

M SQUARED
WIRELESS
1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-6824

DRAWN BY: CP

CHECKED BY: MM

REV	DATE	DESCRIPTION
5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW

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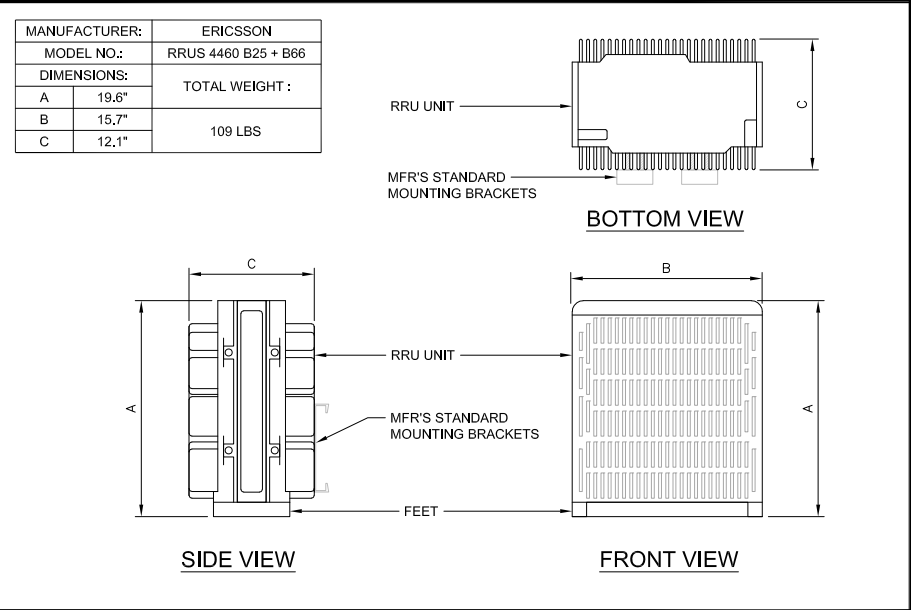
ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

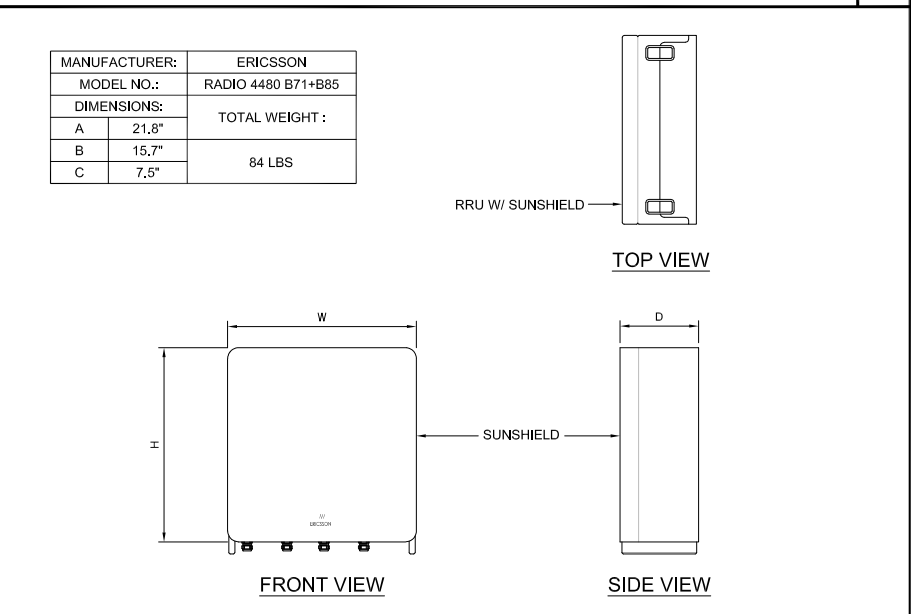
ELEVATIONS

SHEET NUMBER

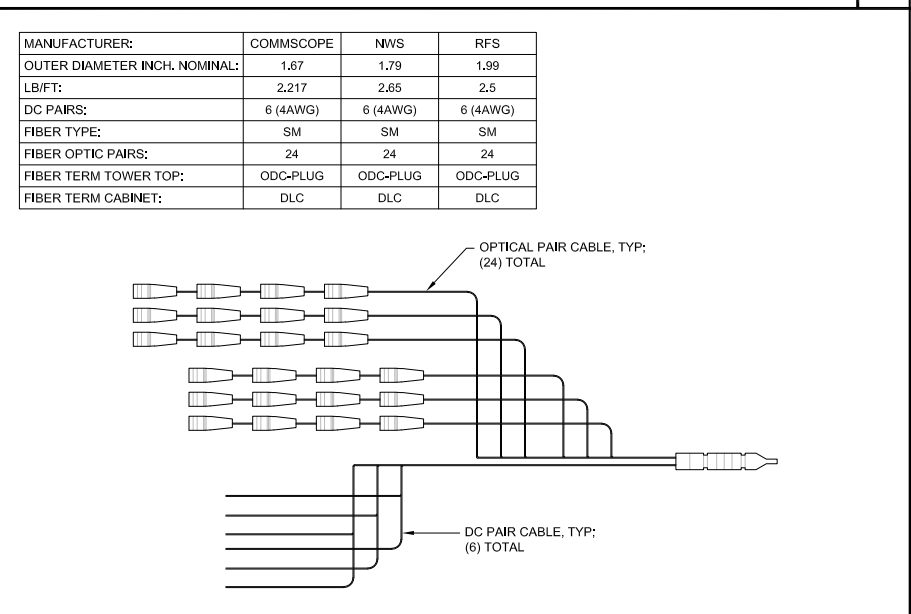
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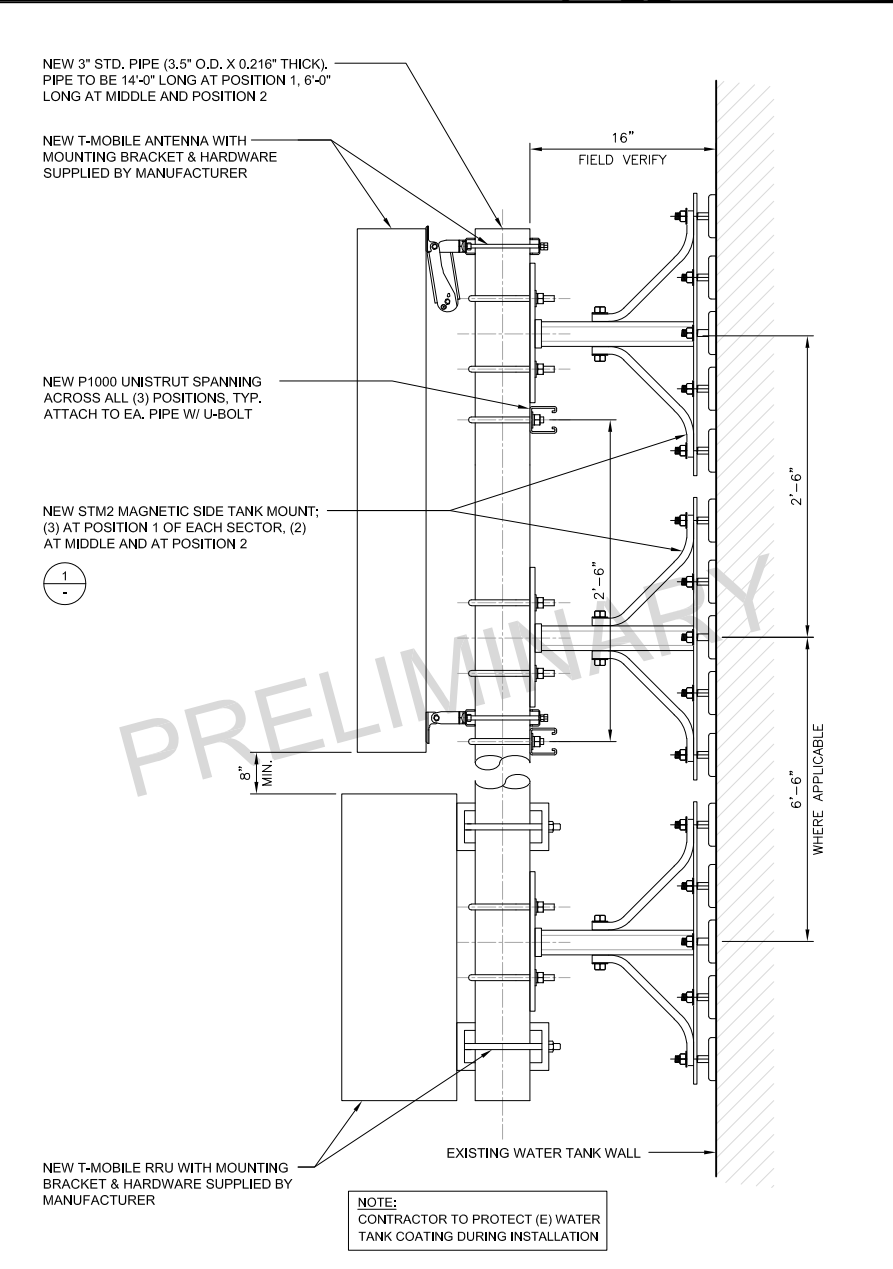
ERICSSON RRUS 4460 B25 + B66 24"x36" SCALE: NTS 11"x17" SCALE: NTS 6



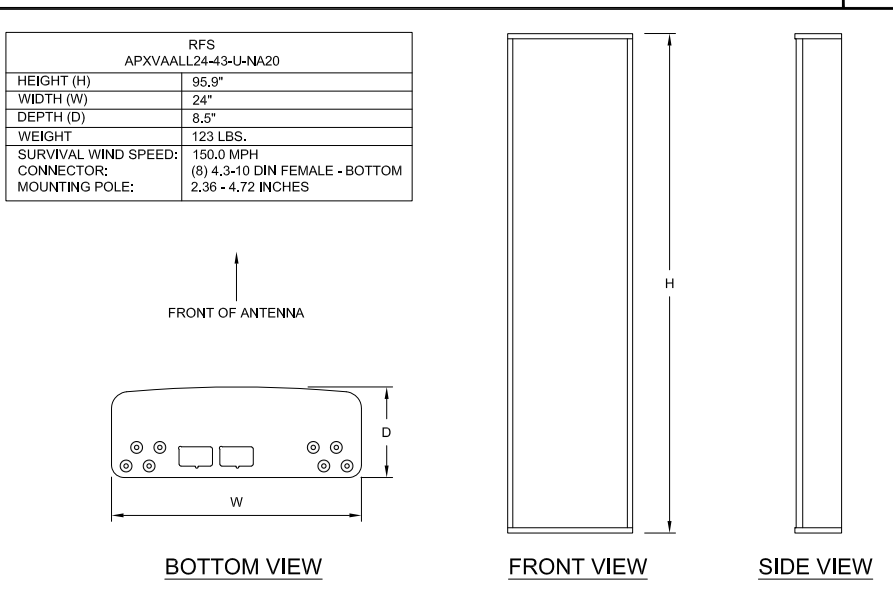
ERICSSON RADIO 4480 B71+B85 24"x36" SCALE: NTS 11"x17" SCALE: NTS 7



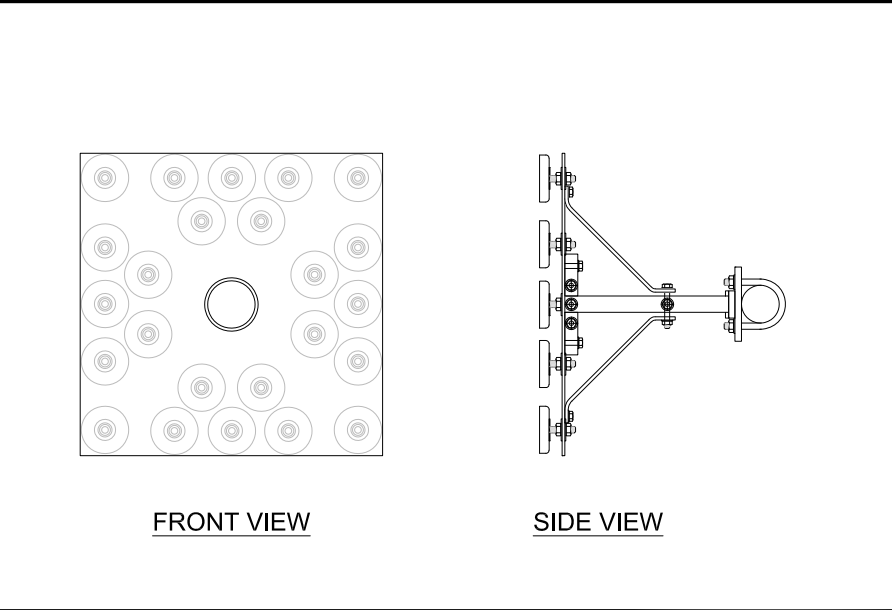
HCS 6X24 24"x36" SCALE: NTS 11"x17" SCALE: NTS 8



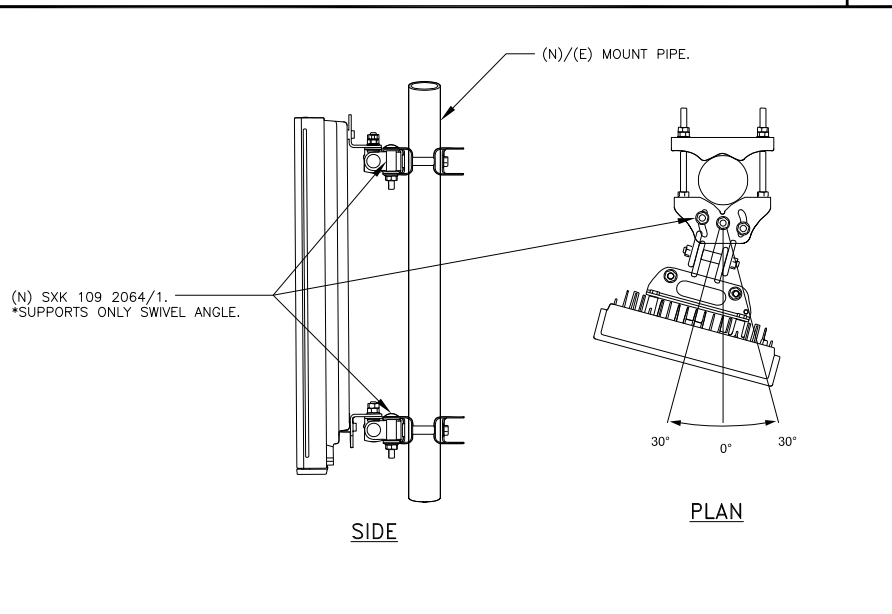
ANTENNA & RRU MOUNTING 24"x36" SCALE: NTS 11"x17" SCALE: NTS 4



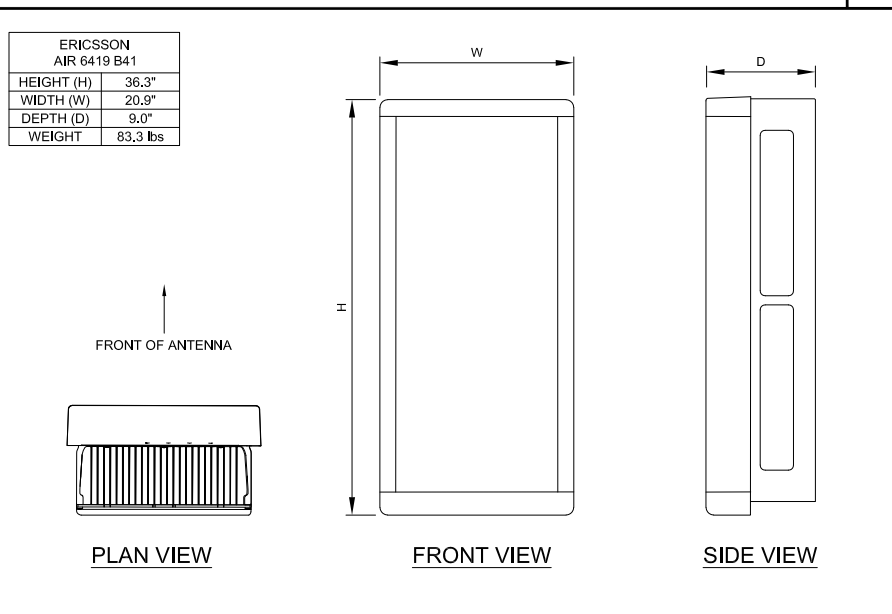
RFS APXVAALL24_43-U-NA20 24"x36" SCALE: NTS 11"x17" SCALE: NTS 5



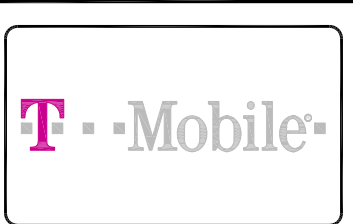
MAGNEMOUNT 24"x36" SCALE: NTS 11"x17" SCALE: NTS 1



AIR ANTENNA MOUNT 24"x36" SCALE: NTS 11"x17" SCALE: NTS 2



ERICSSON AIR6419 B41 24"x36" SCALE: NTS 11"x17" SCALE: NTS 3



DRAWN BY: CP
CHECKED BY: MM

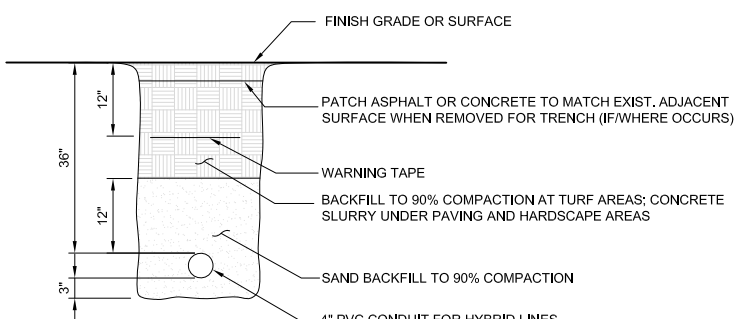
REV	DATE	DESCRIPTION
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1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW

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ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
DETAILS

SHEET NUMBER
D-1



FINISH GRADE OR SURFACE

12"

36"

12"

3"

PATCH ASPHALT OR CONCRETE TO MATCH EXIST. ADJACENT SURFACE WHEN REMOVED FOR TRENCH (IF/WHERE OCCURS)

WARNING TAPE

BACKFILL TO 90% COMPACTION AT TURF AREAS; CONCRETE SLURRY UNDER PAVING AND HARDSCAPE AREAS

SAND BACKFILL TO 90% COMPACTION

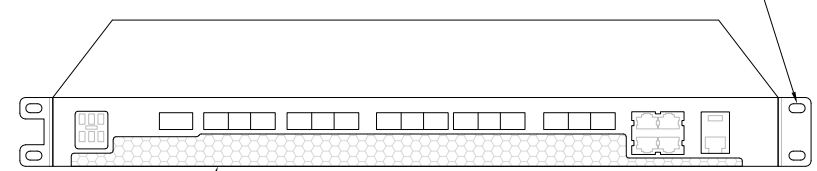
4" PVC CONDUIT FOR HYBRID LINES

NOTES:
1. ALL DIMENSIONS SHOWN ARE MINIMUM CLEAR.
2. ELECTRICAL CONTRACTOR TO INCLUDE REMOVAL OF SOILS.
3. 1 1/2" SACK SLURRY MIX DRIVE WAY & ASPHALT CONDITIONS
4. FOR LANDSCAPE AND UTILITY AREAS, USE SDG&E APPROVED BACKFILL

MANUFACTURER: ERICSSON
MODEL NO.: RAN PROCESSOR 6651
BASEBAND CHARACTERISTICS:
• 19 INCH WIDE, 1U HIGH, <352MM DEEP
• 1 X 4X25 GBPS (QSFP28)
• 3 X 25/10/1GBPS PORTS (SFP28/SFP+/SFP)
• 1 X 100MBPS/1GBPS RJ45 ELECTRICAL PORT
• SUPPORT FOR NR (5G HIGH/MID/LOW BAND) OR LTE
• SUPPORT FOR MIXED MODE BASEBAND NR (5G) + LTE
• 12 X 2.5/4.9/9.8/10.1/10.3/24.3/25 GBPS RADIO INTERFACE PORTS
 ○ 12 CPRI PORTS OR
 ○ 12 ECPRI PORTS OR
 ○ 12 PORTS WITH A MIX OF CPRI AND ECPRI

* INSTALL INSIDE NEW RACK/CABINET.
* INSTALLATION INTO EXISTING CABINET OR RACK REQUIRES NO SPECIAL INSPECTIONS.

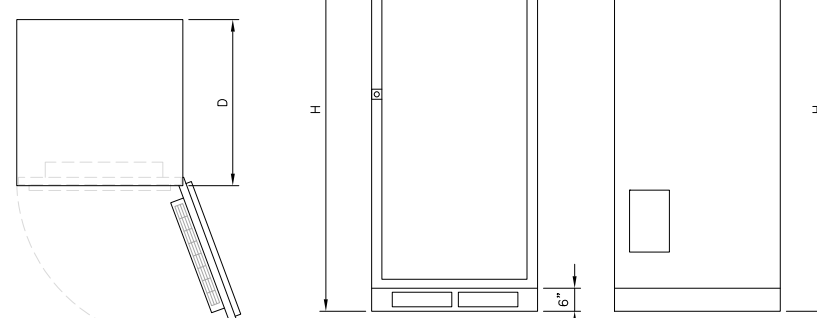
INSTALL TO STANDARD FIF RACK/CABINET WITH FIF RACK BRACKET AND (4) 10-32 THREAD SCREWS, (2) PER SIDE.



6651 BASEBAND UNIT

FRONT VIEW

ERICSSON ENCLOSURE B160	
HEIGHT (H)	63.25"
WIDTH (W)	26"
DEPTH (D)	26"
MIN. WEIGHT	295 lbs.
MAX. WEIGHT	2500 lbs.



PLAN VIEW

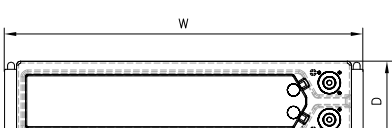
FRONT VIEW

SIDE VIEW

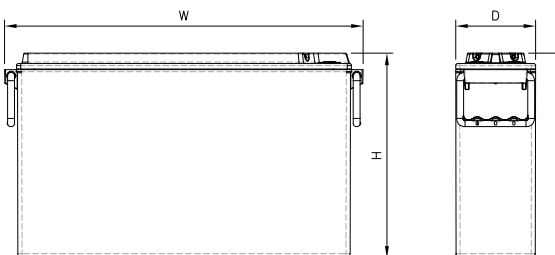
UTILITY TRENCH DETAIL

6651 BASEBAND UNIT

ERICSSON B160 BATTERY CABINET



PLAN VIEW



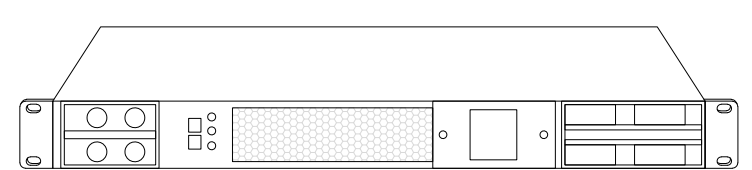
FRONT VIEW

SIDE VIEW

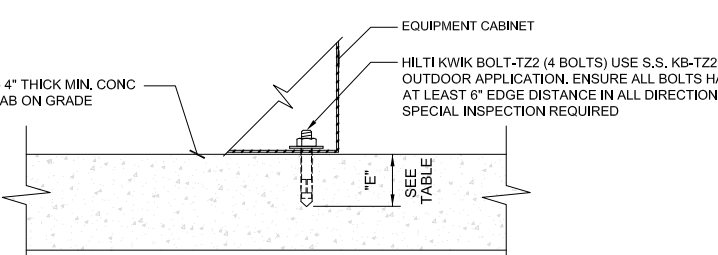
NSB 190FT BATTERY INFORMATION:
(12) BATTERIES X 2 GAL = 24 GAL ELECTROLYTE TOTAL (190AH X 12V) / 1000 = 2.28 KWH (PER BATTERY)
BATTERIES X 2.28 KWH = 27.36 KWH TOTAL

NORTHSTAR NSB 190FT RED BATTERY	
HEIGHT (H)	12.6"
WIDTH (W)	22.0"
DEPTH (D)	4.9"
WEIGHT	132 lbs.

MANUFACTURER: CELL SITE INNOVATIONS
MODEL NO.: PSU 4813
DESCRIPTION: VOLTAGE BOOSTER
DIMENSIONS: 19"x13"



FRONT VIEW



EQUIPMENT CABINET

HILTI KWIK BOLT-TZ2 (4 BOLTS) USE S.S. KB-TZ2 FOR OUTDOOR APPLICATION. ENSURE ALL BOLTS HAVE AT LEAST 6" EDGE DISTANCE IN ALL DIRECTIONS; SPECIAL INSPECTION REQUIRED

(E) 4" THICK MIN. CONC SLAB ON GRADE

SEE TABLE

ANCHOR SCHEDULE (1)

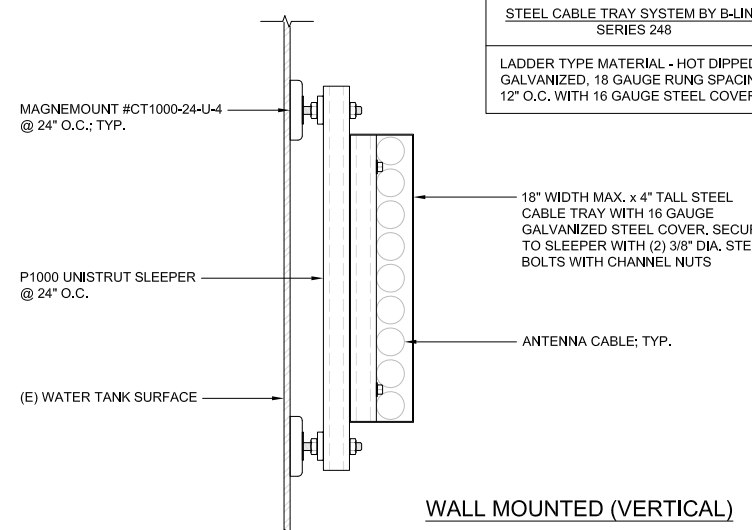
BOLT DIAMETER	HOLE DIAMETER	"E" EMBEDMENT	HOLE DEPTH
1/2"	1/2"	2-1/2"	2-3/4"

(1) INFORMATION SHOWN IN THIS TABLE IS IN ACCORDANCE WITH: HILTI KWIK BOLT-TZ2 (ESR-4266)

NSB 190 FT RED BATTERY

PSU 4813 VOLTAGE BOOSTER

CABINET ANCHORAGE



MAGNEMOUNT #CT1000-24-U-4 @ 24" O.C.; TYP.

P1000 UNISTRUT SLEEPER @ 24" O.C.

(E) WATER TANK SURFACE

18" WIDTH MAX. x 4" TALL STEEL CABLE TRAY WITH 16 GAUGE GALVANIZED STEEL COVER. SECURE TO SLEEPER WITH (2) 3/8" DIA. STEEL BOLTS WITH CHANNEL NUTS

ANTENNA CABLE; TYP.

STEEL CABLE TRAY SYSTEM BY B-LINE SERIES 248

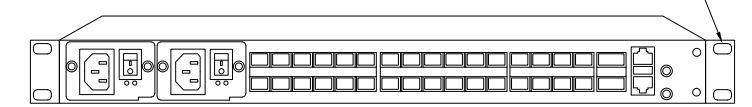
LADDER TYPE MATERIAL - HOT DIPPED GALVANIZED, 18 GAUGE RUNG SPACING 12" O.C. WITH 16 GAUGE STEEL COVERS

WALL MOUNTED (VERTICAL)

MANUFACTURER: NOKIA
MODEL NO.: 7250 IXR-E ROUTER
DIMENSIONS (HxWxD): 1.75" x 10" x 17.5"
WEIGHT: 10 LBS

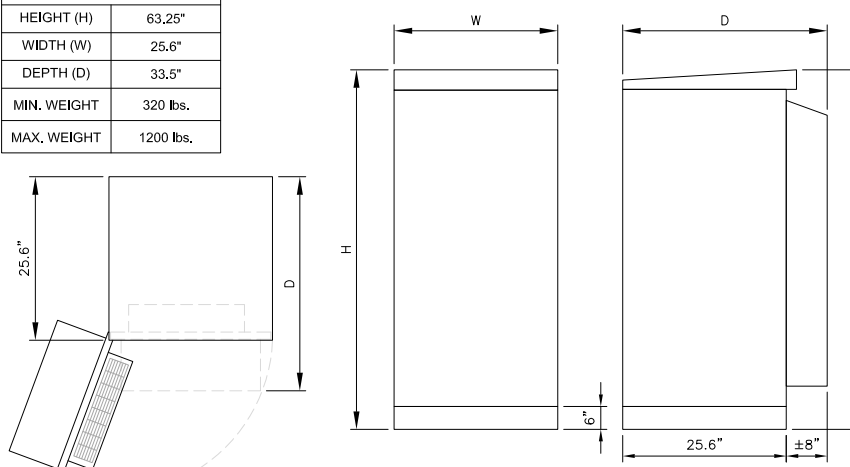
* INSTALL INSIDE NEW RACK/CABINET.
* INSTALLATION INTO EXISTING CABINET OR RACK REQUIRES NO SPECIAL INSPECTIONS.

INSTALL TO STANDARD FIF RACK/CABINET WITH FIF RACK BRACKET AND (4) 10-32 THREAD SCREWS, (2) PER SIDE.



FRONT VIEW

ERICSSON ENCLOSURE 6160	
HEIGHT (H)	63.25"
WIDTH (W)	25.6"
DEPTH (D)	33.5"
MIN. WEIGHT	320 lbs.
MAX. WEIGHT	1200 lbs.



PLAN VIEW

FRONT VIEW

SIDE VIEW

CABLE TRAY

NOKIA 7250 IXR-E ROUTER

ERICSSON ENCLOSURE 6160 CABINET



DRAWN BY:	CP
CHECKED BY:	MM

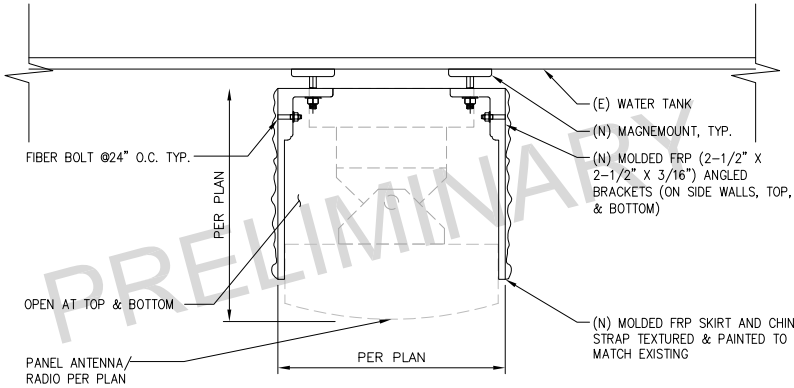
REV	DATE	DESCRIPTION
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0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW

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ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
DETAILS

SHEET NUMBER
D-2



NOT USED

7

NOT USED

4

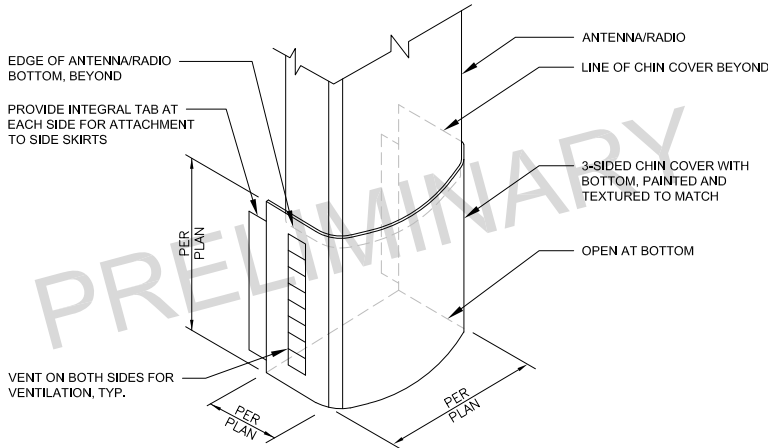
SKIRT COVER DETAIL

24"x36" SCALE: NTS
11"x17" SCALE: NTS

1



NOTE:
CHIN COVER TO BE MOLDED FIBERGLASS TO MATCH EXACT ANTENNA/RADIO DIMENSION AND PROFILE



NOT USED

8

NOT USED

5

CHIN COVER DETAIL

24"x36" SCALE: NTS
11"x17" SCALE: NTS

2



NOT USED

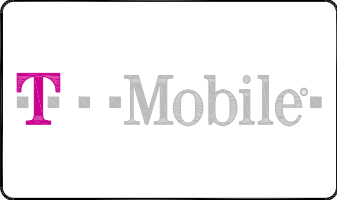
9

NOT USED

6

NOT USED

3



DRAWN BY:	CP
CHECKED BY:	MM

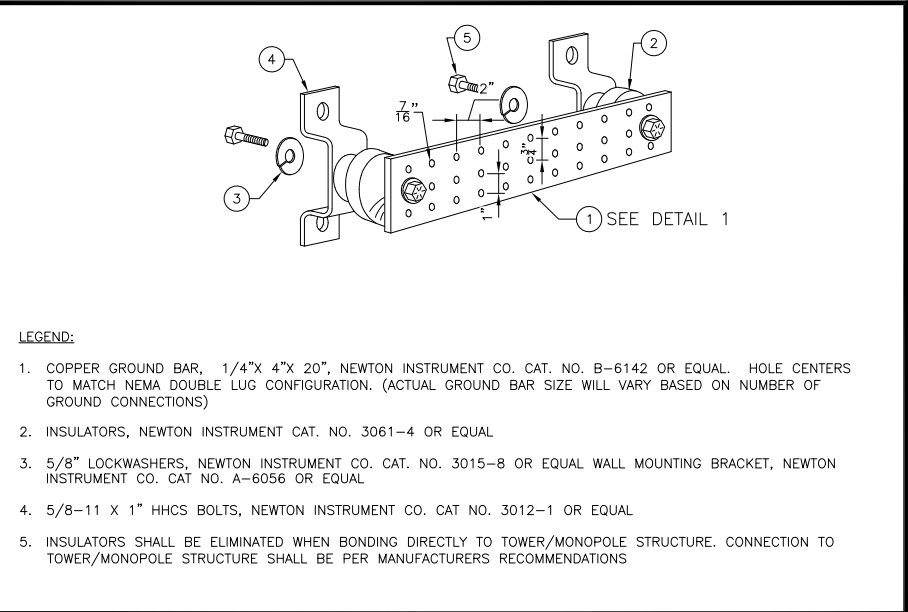
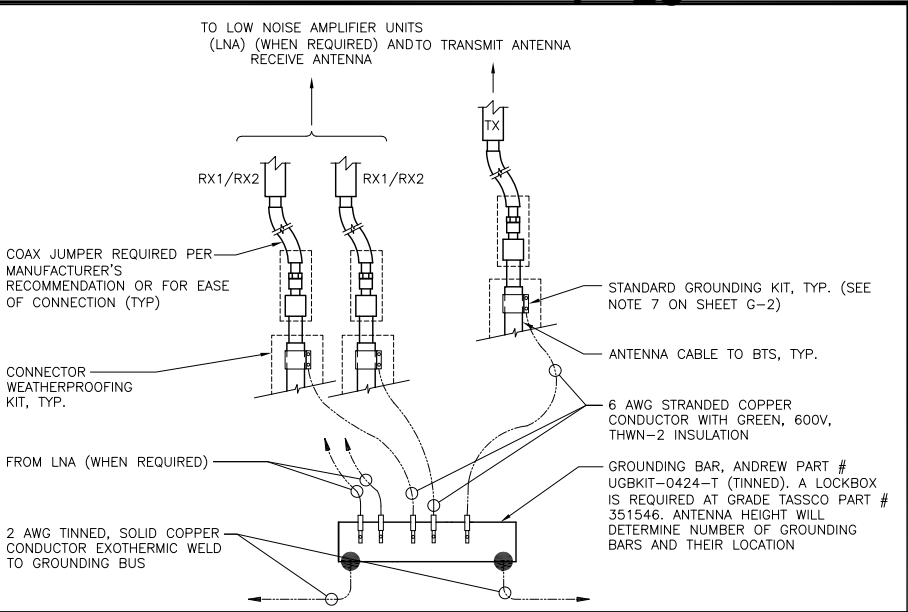
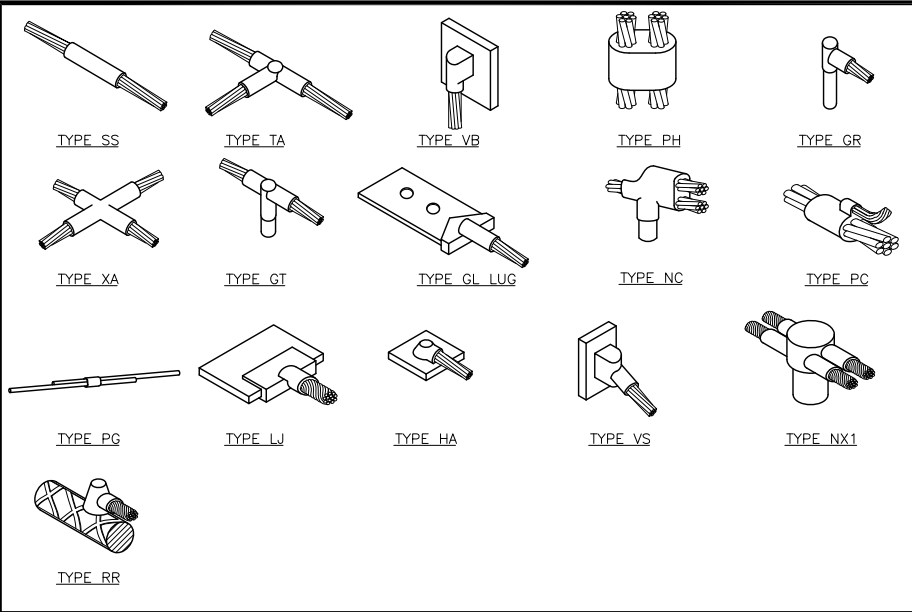
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13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
DETAILS

SHEET NUMBER
D-3



TYPICAL CADWELD TYPES

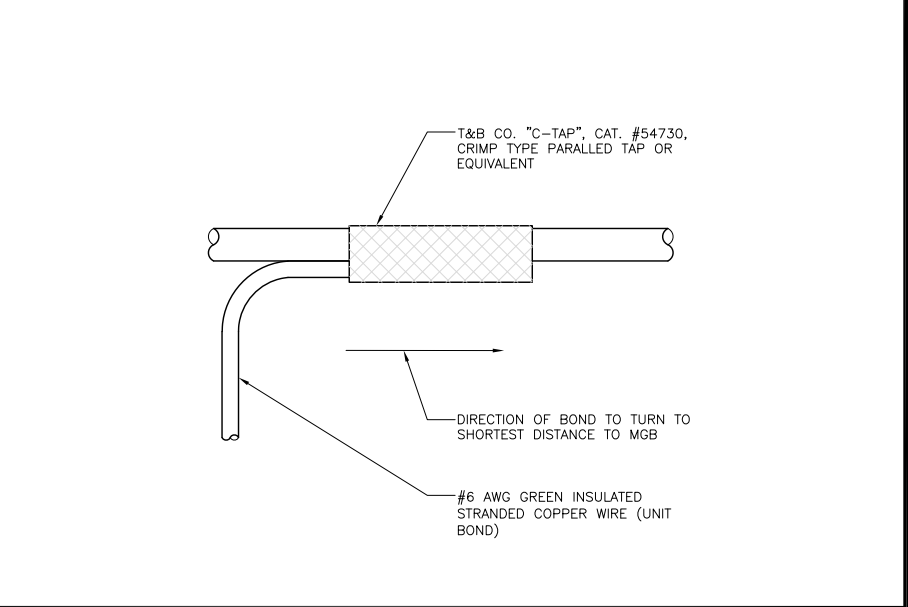
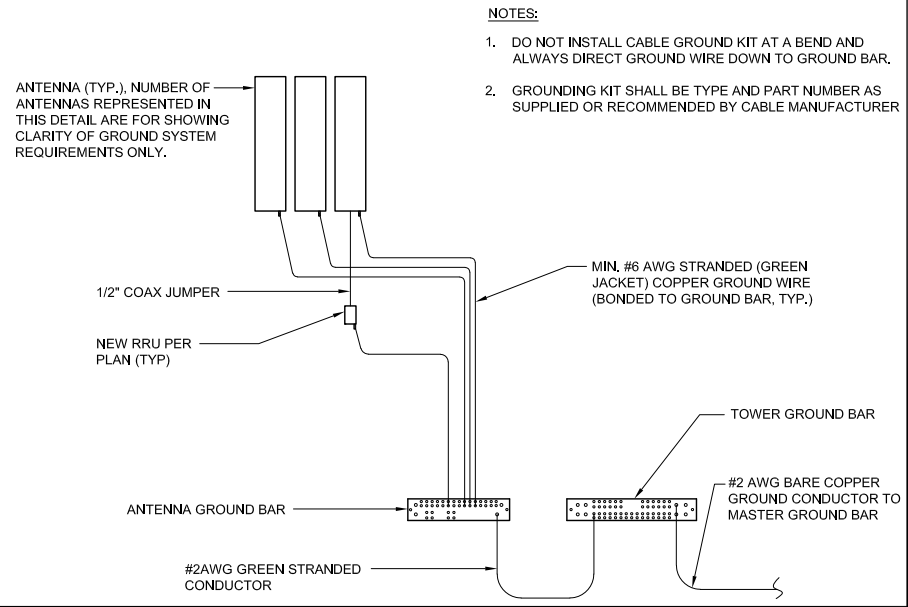
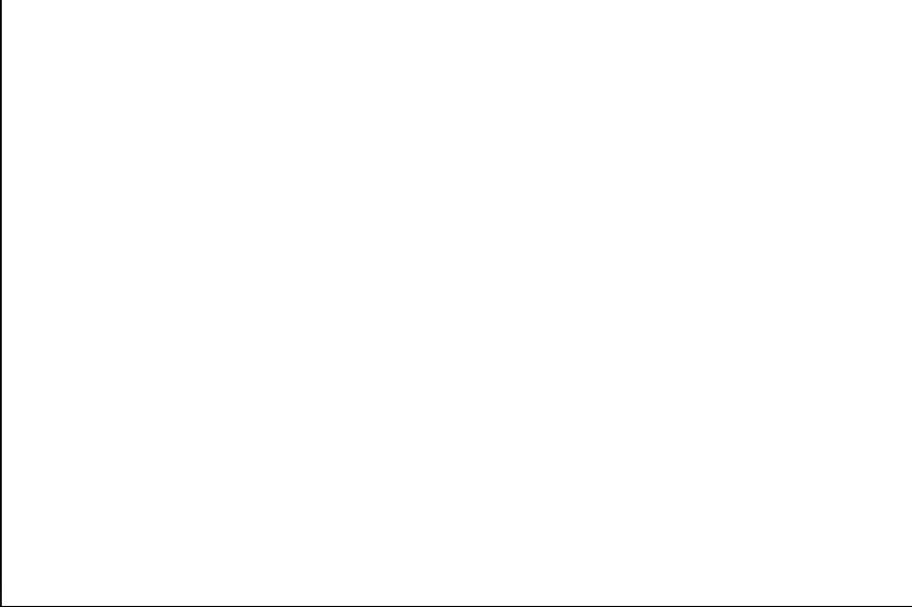
7

GROUNDING BAR CONNECTION

4

GROUNDING BAR DETAIL

1



NOT USED

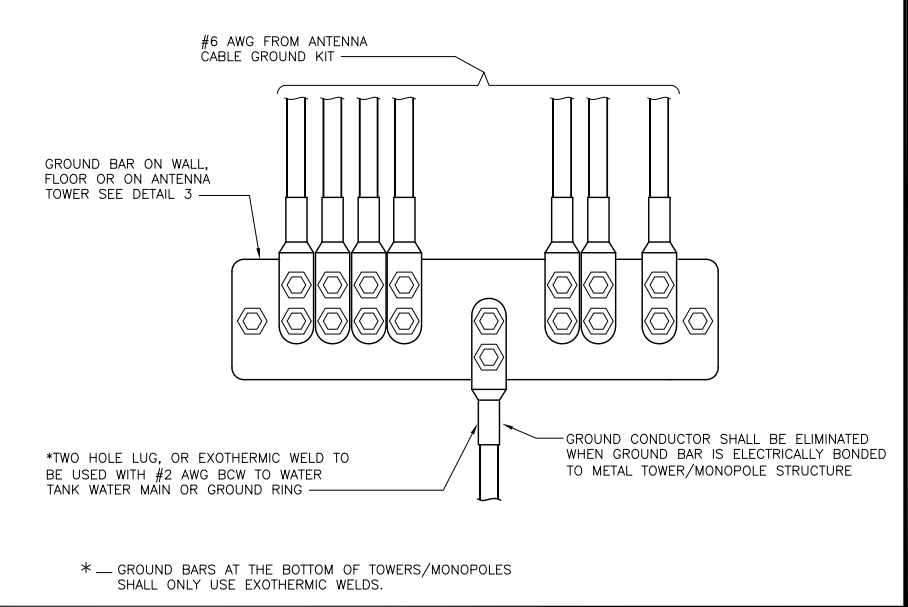
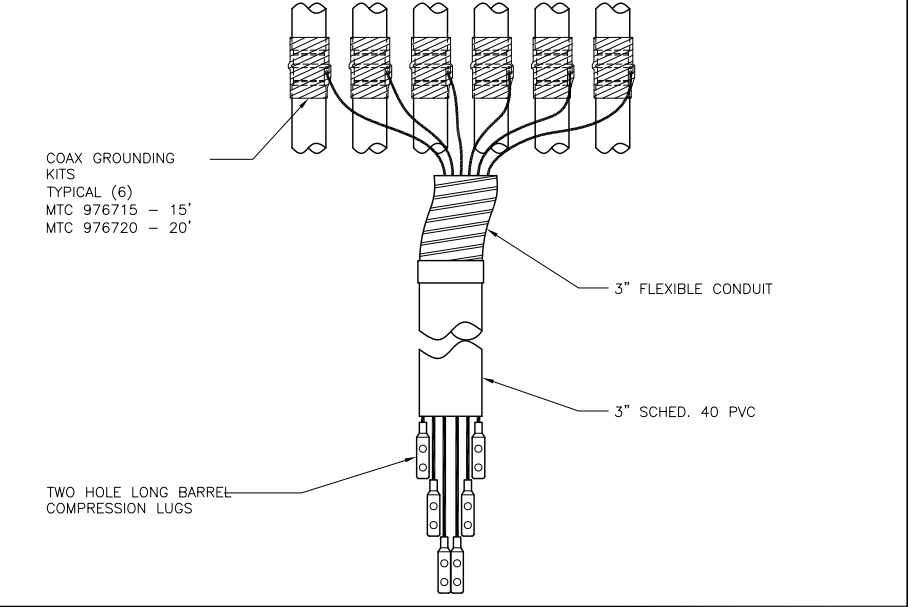
8

ANTENNA GROUNDING PLAN

5

GROUNDING WIRE CONNECTION

2



NOT USED

9

COAX GROUND KIT

6

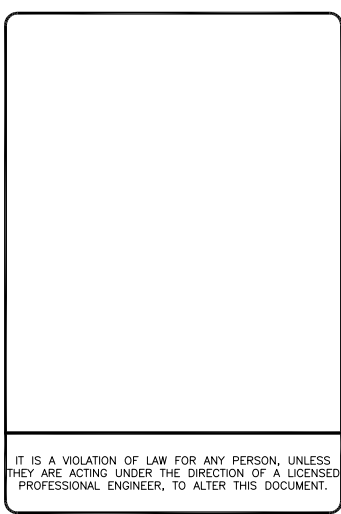
WIRE TO GROUND BAR CONNECTION

3



DRAWN BY:	CP
CHECKED BY:	MM

REV	DATE	DESCRIPTION
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4	01/03/2025	100% CD'S FOR SUBMITTAL
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ANCHOR/L600 MODIFICATION
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SD045 HELIX WATER DISTRICT
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EL CAJON, CA 92021
WATER TANK

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1



DRAWN BY: CP
CHECKED BY: MM

REV	DATE	DESCRIPTION
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3	04/06/2023	100% CD'S PER NEW DESIGN
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1	01/04/2023	100% ZD'S PER JX COMMENTS
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A	04/13/2022	90% ZD'S FOR REVIEW

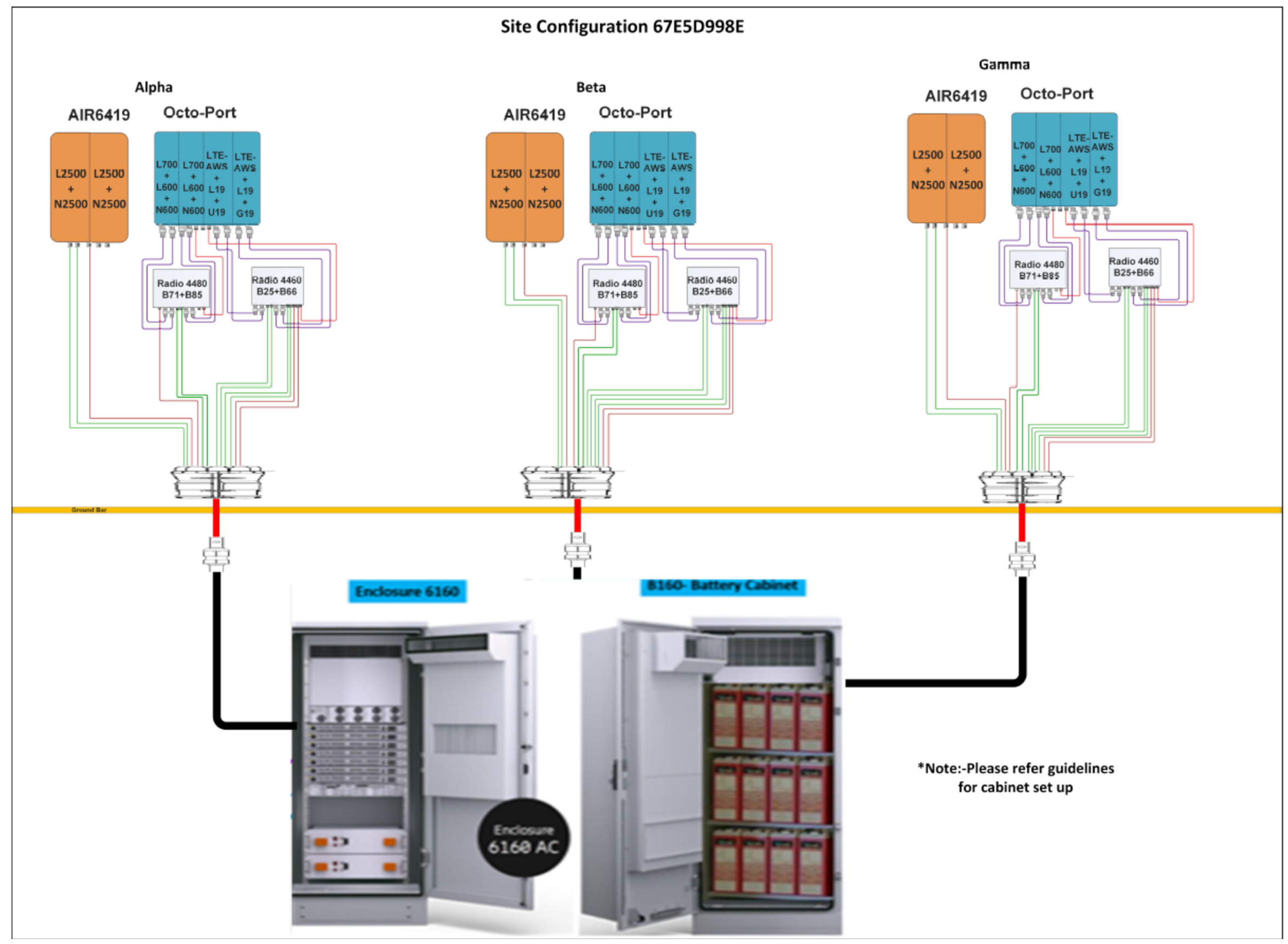
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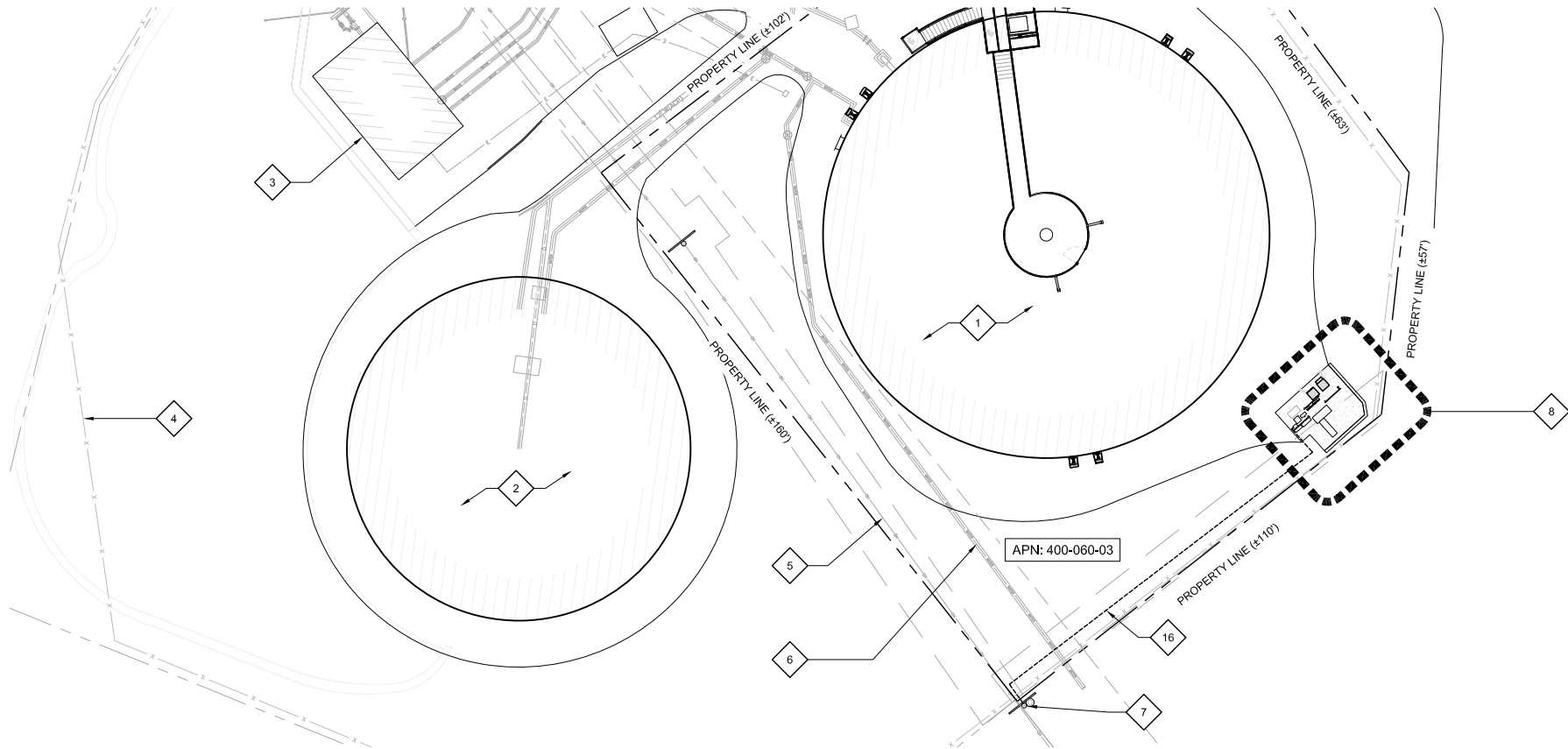
ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
CABLE LINE DIAGRAM

SHEET NUMBER
RF-1

Site Configuration 67E5D998E

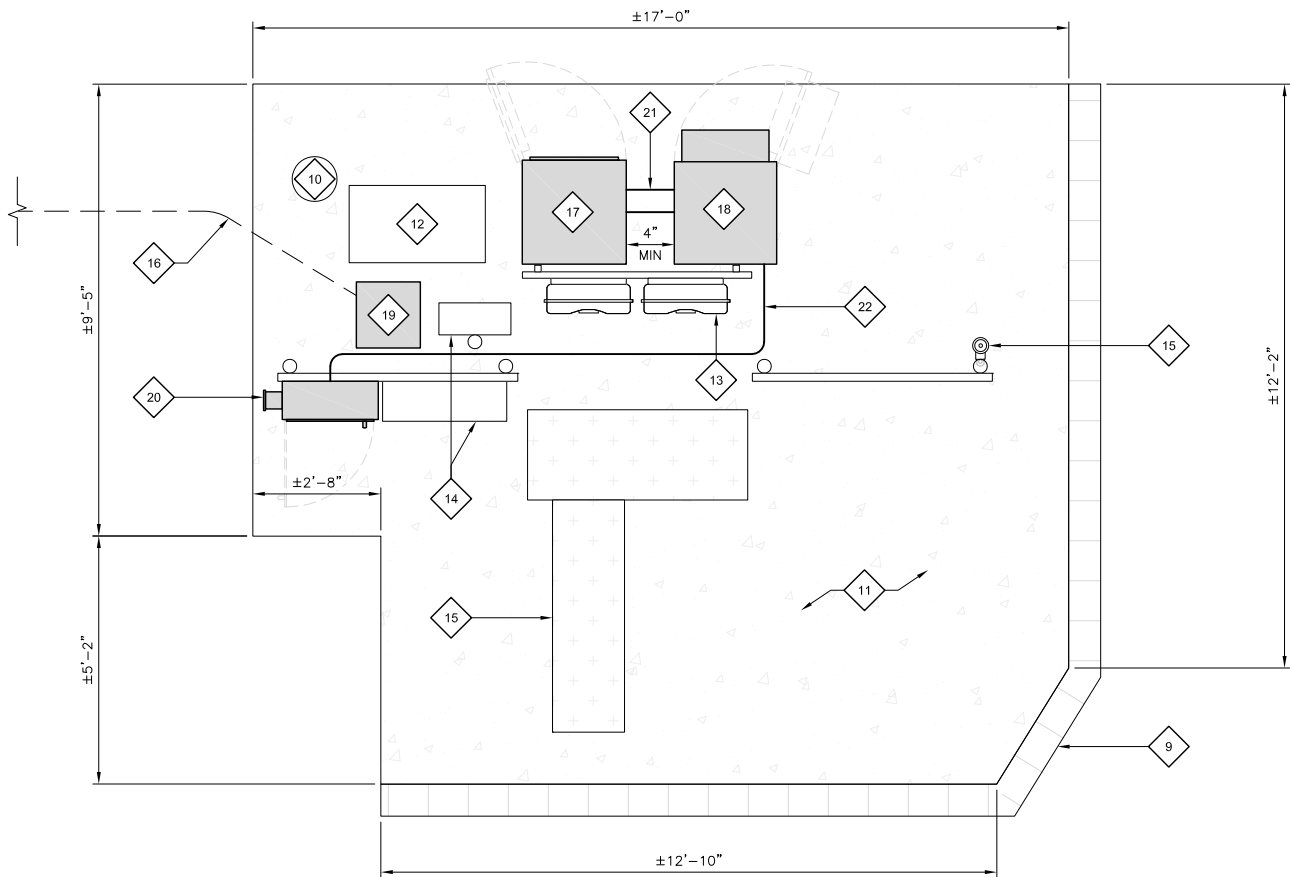




UTILITY SITE PLAN

24"x36" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"

- 1 (E) WATER TANK 1A
- 2 (E) WATER TANK 1B
- 3 (E) PUMP STATION
- 4 (E) CHAIN LINK FENCE; TYP.
- 5 (E) OVERHEAD UTILITIES; TYP.
- 6 (E) UNDERGROUND UTILITIES; TYP.
- 7 (E) UTILITY POLE; POWER AND FIBER POC
- 8 FOR EQUIPMENT SITE DIAGRAM SEE: $\frac{2}{1}$
- 9 (E) RETAINING WALL
- 10 (E) GROUND ROD TEST WELL
- 11 (E) T-MOBILE CONCRETE EQUIPMENT PAD
- 12 (E) T-MOBILE VAULT, TYP.
- 13 (E) T-MOBILE CIENA BOX
- 14 (E) T-MOBILE TELCO CABINET
- 15 (E) T-MOBILE CABLE TRAY
- 16 APPROX. LOCATION OF (E) T-MOBILE 2" PVC SCH 40 UNDERGROUND CONDUIT FROM (E) SDGE UTILITY POLE RISER TO (N) T-MOBILE METER PEDESTAL
- 17 (N) T-MOBILE B160 BATTERY CABINET MOUNTED ON (E) CONCRETE PAD; (1) TOTAL $\frac{12}{D-2}$
- 18 (N) T-MOBILE 6160 CABINET MOUNTED ON (E) CONCRETE PAD; (1) TOTAL $\frac{2-6}{D-2}$
- 19 (N) T-MOBILE 200A METER PEDESTAL; (1) TOTAL
- 20 (N) T-MOBILE PPC PANEL AND CAMLOK GENERATOR PANEL; (1) TOTAL
- 21 (N) 2" CONDUIT AND DC FEEDERS FROM (N) DC BATTERY CIRCUIT BREAKER DISCONNECTS TO (N) DC POWER PLANT (SIZE DC FEEDERS PER POWER PLANT REQUIREMENTS)
- 22 (N) RGS CONDUIT AND FEEDER FROM (N) PPC TO (N) RF CABINET, SEE SHEET E-3 FOR CONDUIT SIZE AND FILL (ROUTE (N) CONDUIT ON TOP OF (E) CONCRETE SLAB AND SUPPORT AS NEEDED ON UNISTRUT SUPPORTS)



EQUIPMENT SITE DIAGRAM

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1" = 1'-0"

KEYNOTES:

T-Mobile

smartlink

M SQUARED
WIRELESS
1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-6824

DRAWN BY: CP

CHECKED BY: MM

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13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
UTILITY SITE PLAN &
EQUIPMENT SITE DIAGRAM

SHEET NUMBER
E-1

NOT USED

3



METER PANEL ELEVATION

24"x36" SCALE: NTS
11"x17" SCALE: NTS

2

ELECTRICAL NOTES

1

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA ELECTRICAL CODE, AS WELL AS WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.
2. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOBSITE AND VERIFY EXISTING CONDITIONS BEFORE BIDDING AND SHALL INCLUDE IN HIS/HER BID, THE NECESSARY COSTS TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE INTENT OF THE ELECTRICAL DRAWINGS, SPECIFICATIONS AND ALL APPLICABLE CODES.
3. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (I.E. PANELBOARD AND CIRCUIT ID'S).
4. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
5. EACH END OF EVERY POWER, GROUNDING, CONTROL AND ALARM CONDUCTOR AND CABLE SHALL BE LABELED OR IDENTIFIED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA AND MATCH EXISTING INSTALLATION REQUIREMENTS.
6. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES.
7. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, UNLESS OTHERWISE NOTED AND COORDINATED WITH THE GENERAL CONTRACTOR.
8. POWER AND EQUIPMENT GROUND WIRING SHALL BE 12 AWG OR LARGER, 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
9. CONTROL AND ALARM WIRING SHALL BE COPPER, 300V OR 600V LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
10. UPON COMPLETION OF THE ELECTRICAL WORK, THE INSTALLATION SHALL BE FREE FROM GROUNDS AND SHORT CIRCUITS.
11. ELECTRICAL CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE ARCHITECT/ENGINEER UPON COMPLETION OF THE JOB.
12. ALL POWER AND EQUIPMENT GROUND WIRE CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS OR WIRENUTS. LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF APPLICABLE).
13. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS,
14. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
15. THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. PENETRATIONS OF ALL WALLS OR CEILINGS SHALL BE SEALED AND FIRE RATING MAINTAINED IN ACCORDANCE WITH ALL LOCAL AND NATIONAL CODES.
18. SCHEDULE 80 PVC CONDUIT SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
19. RIGID NONMETALLIC CONDUIT (I.E. RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE AREAS OF HEAVY VEHICLE TRAFFIC.
20. ALL DETAILS/SCHEMATICS SHOWN ARE IN GENERAL TERMS. AND INSTALLATION MAY VARY DUE TO SPECIFIC SITE CONDITIONS.
21. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
22. METALLIC CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE, GALVANIZED AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE MYERS™ HUBS OR APPROVED LOCKNUTS SHALL BE FITTED AT ALL BOX CONNECTIONS TO MAINTAIN NEC.
23. CABINETS, BOXES AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
24. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK O THIS PROJECT.
25. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
26. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50 AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
27. RECEPTACLES, SWITCH AND DEVICE BOXES SHALL BE PVC OR GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
28. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
29. THE SUBCONTRACTOR SHALL BE PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.
30. ALL ENTRIES TO EQUIPMENT ASSOCIATED WITH THE FIXED GENERATOR PROJECT SHALL BE SEALED TO KEEP WATER OUT.



DRAWN BY: CP

CHECKED BY: MM

5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW
REV	DATE	DESCRIPTION

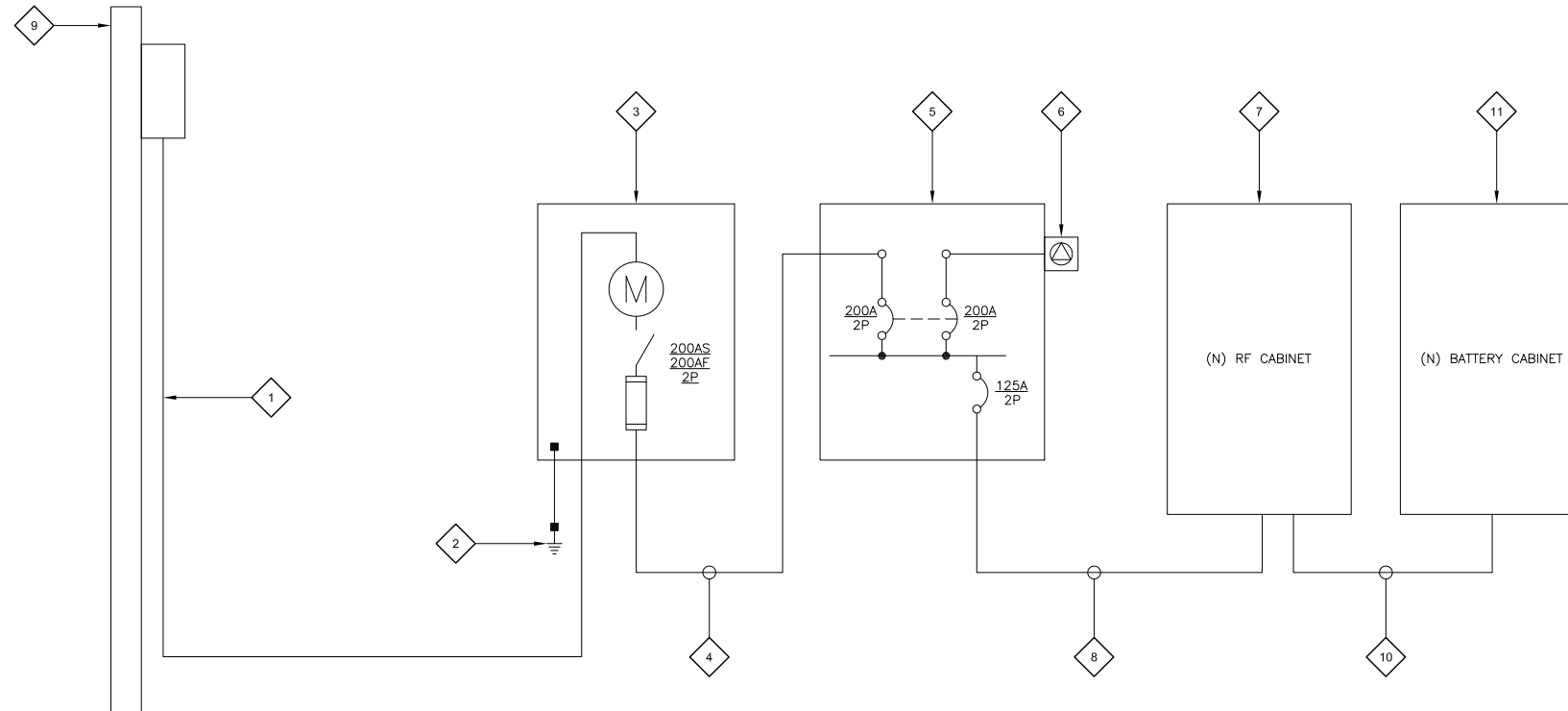
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE
**ELECTRICAL METER ROOM
& ELECTRICAL NOTES**

SHEET NUMBER
E-2

- 1 (E) UNDERGROUND 2" CONDUIT, SDG&E TO PULL (N) FEEDERS AS NEEDED
- 2 (E) MAIN ELECTRICAL SERVICE GROUND, REPLACE (E) CONDUCTOR WITH (N) #4 CU GND (N) CONDUCTORS TO (N) METER BY SDG&E
- 3 REPLACE (E) T-MOBILE METER PEDESTAL WITH (N) 200A, 120/240V, 1PHASE, 3WIRE, 4 CLIP METER SOCKET, WP METER PANEL WITH TEST BYPASS FACILITIES AND 200A 'T' FUSE PULLOUTS BUSMANN TYPE JJN
- 4 (N) 2" CONDUIT WITH 3#3/0 + 1#2 GND THHN CU ELECTRICAL FEEDERS
- 5 REPLACE (E) PANEL WITH (N) T-MOBILE PPC PANEL, 200A, 120/240V, 1PHASE, 3WIRE COMPLETE WITH MECHANICAL INTERLOCK, GENERATOR RECEPTACLE AND LOAD CENTER (RAYCAP CATALOG #602-02-495-21004 ELECTRICAL RTMAC-2465-P-240-MTS NO EQUAL)
- 6 (N) T-MOBILE GENERATOR CAMLOK PANEL 200A, 120/240V, 1PHASE, 3WIRE, 4POLE WHICH IS INCLUDED WITH (N) T-MOBILE PPC
- 7 (N) T-MOBILE RADIO CABINET, PROVIDE/INSTALL (N) CONDUIT AND FEEDER PER KEY NOTE #8
- 8 (N) 2" VRGS CONDUIT WITH 2#1/0 + 1#2 GND + 1#12 NEUTRAL THHN/THWN-2 CU ELECTRICAL FEEDER FROM (N) T-MOBILE PPC TO THE (N) T-MOBILE RADIO CABINET
- 9 (E) SDGE UTILITY POLE W/ POLE MOUNTED TRANSFORMER, SDGE TO REPLACE IF NEEDED
- 10 (N) 2" RGS CONDUIT WITH 2#3/0 DC FEEDERS FROM BATTERY CABINET DC BREAKERS TO DC BUSS IN THE DC POWER PLANT
- 11 (N) T-MOBILE BATTERY CABINET, PROVIDE/INSTALL (N) CONDUIT AND DC FEEDER PER KEYNOTE #10



KEYNOTES:

3 SINGLE LINE DIAGRAM

[illegible]

PPC PANEL LOAD SCHEDULE



1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-6824

DRAWN BY: CP

CHECKED BY:	MM
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5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW
REV	DATE	DESCRIPTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS
THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

SHEET TITLE

**SINGLE LINE DIAGRAM
AND PANEL SCHEDULE**

SHEET NUMBER

E-3

PENDING



DRAWN BY: CP

CHECKED BY: MM

5	01/31/2025	100% CD'S FOR SUBMITTAL
4	01/03/2025	100% CD'S FOR SUBMITTAL
3	04/06/2023	100% CD'S PER NEW DESIGN
2	03/22/2023	100% CD'S FOR SUBMITTAL
1	01/04/2023	100% ZD'S PER JX COMMENTS
0	05/12/2022	100% ZD'S FOR REVIEW
A	04/13/2022	90% ZD'S FOR REVIEW
REV	DATE	DESCRIPTION

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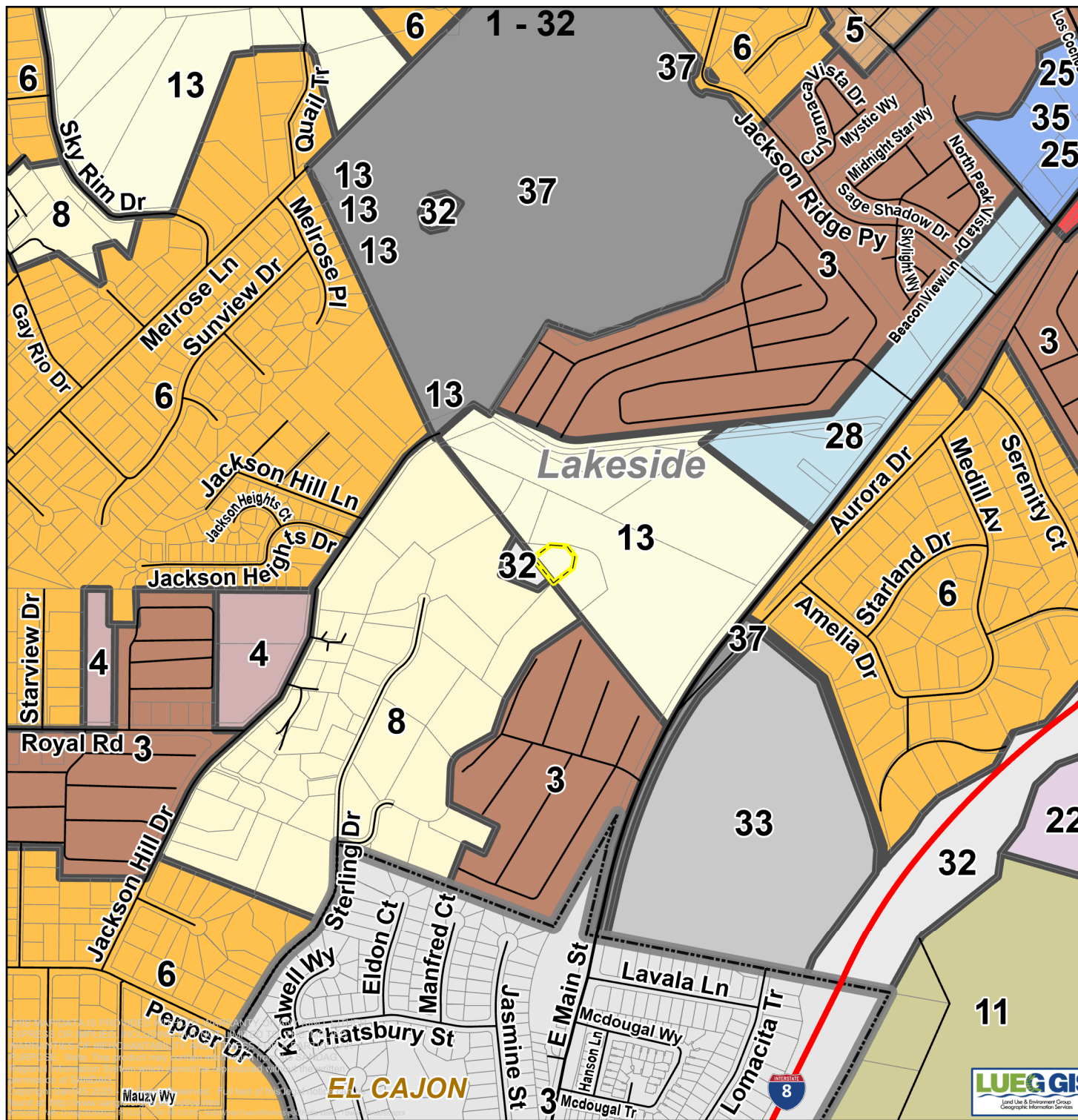
ANCHOR/L600 MODIFICATION
SITE ID: SD06045A
SD045 HELIX WATER DISTRICT
13002 HIGHWAY 8 BUSINESS
EL CAJON, CA 92021
WATER TANK

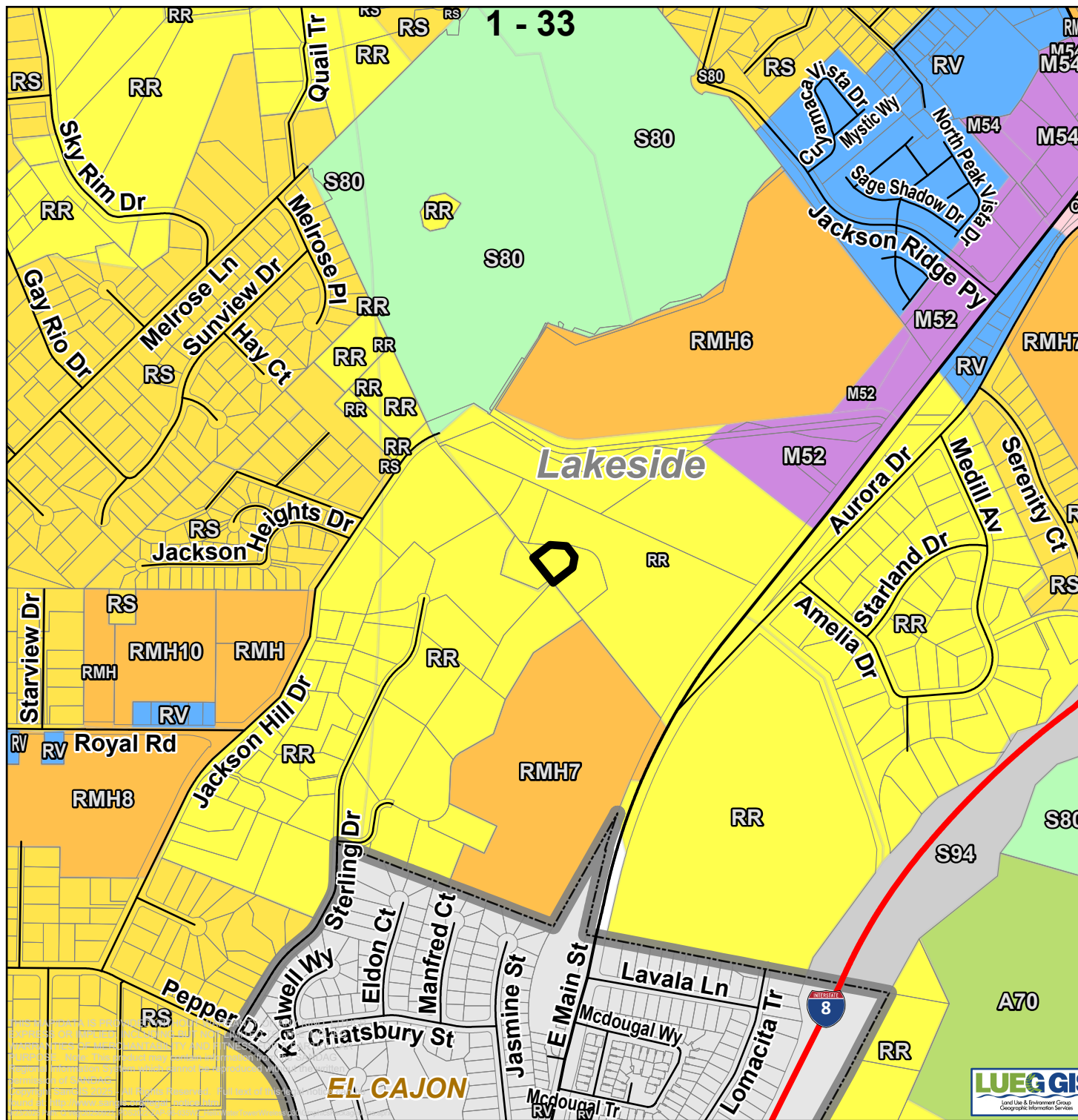
SHEET TITLE

SDG&E SERVICE ORDER

SHEET NUMBER

E-4

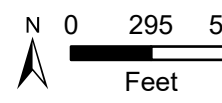




Helix Water Tower
Wireless
PDS2022-ZAP-96-035W2

Zoning
Lakeside
Community Plan Area

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> Roads Site Parcels Incorporated CPA | <p>Zoning</p> <ul style="list-style-type: none"> (A) Agriculture (C##) Commercial and Office (M##) Industrial (S80) Open Space | <ul style="list-style-type: none"> (RS) Residential - Single (RMH) Residential Mobile Home (RV) Residential - Variable (RR) Rural Residential (S##) Transportation and Utility |
|--|---|--|



**Attachment B
Form of Decision**



VINCE NICOLETTI
DIRECTOR

PLANNING & DEVELOPMENT SERVICES
5510 OVERLAND AVENUE, SUITE 210, SAN DIEGO, CALIFORNIA 92123
(858) 505-6445 General • (858) 694-2705 Codes Compliance
(858) 565-5920 Building Services

TYLER FARMER
ASSISTANT DIRECTOR

October 16, 2025

PERMITTEE: T-MOBILE
MINOR USE PERMIT:
MODIFICATION: PDS2022-ZAP-96-035W2
E.R. NUMBER: PDS2022-ER-96-14-027B
PROPERTY: 13002 I-8BUSINESS WITHIN THE LAKESIDE COMMUNITY
PLANNING AREA WITHIN UNINCORPORATED COUNTY OF SAN
DIEGO
APN: 400-060-03-00

DECISION OF THE ZONING ADMINISTRATOR

ORIGINAL MINOR USE PERMIT DECISION (3400-96-035)

To GRANT, in substantial conformance with the replacement plot plan dated September 25, 1996, consisting of 3 sheets and approved concurrently herewith, a Minor Use Permit to authorize the construction, operation and maintenance of a wireless communication antenna facility. The minor impact utility will consist of 1 monopole support structure, 6 panel antennas, and 2 base transceiver stations. Total height of structure will 50 feet 5 inches. The facility will be located adjacent to an existing Helix Water District storage reservoir.

MODIFICATION TO MINOR USE PERMIT DECISION (ZAP-96-035W1)

Grant This Minor Use Permit Modification for an unmanned wireless telecommunication facility consists of thirteen (13) sheets including plot plan and elevations dated November 14, 2018. This permit authorizes the construction, operation and maintenance of a 50-foot, 5-inch faux monopalm wireless telecommunications facility and associated equipment pursuant to Section 6985, 6986, and 7358 of the Zoning Ordinance.

MODIFICATION TO MINOR USE PERMIT DECISION (ZAP-96-035W2)

This Minor Use Permit Modification for ZAP-96-035W2 consists of 8 sheets including plot plan, equipment layout, and elevations dated October 16, 2025. This permit authorizes the renewal of an existing wireless telecommunication facility, by removing the current T-Mobile monopole and its associated equipment and mounting the new equipment onto the existing Helix Water District water tank. The modification includes the installation of new antennas and associated equipment.

Wireless telecommunication facilities subject to this Minor Use Permit Modification are considered "high visibility" facilities, therefore, pursuant to Section 6985(c)(11) of the Zoning Ordinance, this Minor Use Permit shall have a maximum term of 10 years (ending October 16, 2035, at 4:00 p.m.). This may be extended for an additional period of time through modification of this permit if it is found that no smaller or less visible technology is available or feasible to replace the facility at that time. All wireless telecommunication facilities subject to this Minor Use Permit shall be reviewed for conformance with the amortization requirements outlined in Sections 6985 and 6991 of the Zoning Ordinance through the modification of this permit.

MINOR USE PERMIT MODIFICATION EXPIRATION: This Minor Use Permit shall expire on **October 16, 2027** at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Minor Use Permit has commenced prior to said expiration date.

.....

SPECIFIC CONDITIONS: Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Minor Use Permit. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

SPECIFIC CONDITIONS FOR ZAP-96-035(3400-96-035):

Building permit plans must conform in detail to this approved design. Failure to conform can cause delay to or denial of building permits and required formal amendment of this approved design. No waiver of the Uniform Building Code standards or any other code is intended or implied.

The following conditions are imposed by the granting of this Minor Use Permit:

- A. Prior to obtaining any building permit pursuant to this Minor Use Permit, and prior to commencement of construction or use of the property in reliance on this Minor Use permit, the applicant shall:
 - 1. Pay off all existing deficit accounts associated with the processing of this application to the satisfaction of the Department of Planning and Land Use.
[CONDITION SATISFIED]
- B. Upon certification by the Director of Planning and Land Use for occupancy or establishment of use allowed by this Minor Use Permit, the following conditions shall apply:
 - 1. The parking areas and driveways shall be well maintained.

2. All landscaping shall be adequately watered and well maintained at all times. Dead plants and malfunctioning irrigation systems shall be promptly replaced.
3. This Minor Use Permit shall expire on October 4, 1997; at 4:00 p.m. unless construction or use in reliance on, this Minor Use Permit has commenced prior to said expiration date.

SPECIFIC CONDITIONS FOR ZAP-96-035W1: Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Minor Use Permit Modification. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: *(Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit).*

1. **GEN#1-COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO]**
INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.
2. **GEN #2-RECORDATION OF DECISION: [PDS], [GP, CP, BP, UO]**
INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The applicant shall sign, notarize with an 'all purpose acknowledgement' and return the original Recordation Form to PDS. **DOCUMENTATION:** Signed and notarized original Recordation Form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

OCCUPANCY: *(Prior to any occupancy, final grading release, or use of the premises in reliance of this permit).*

3. GEN#3-INSPECTION FEE

INTENT: In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the [PDS, ZC] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection.

DOCUMENTATION: The applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [PDS, PCC].

TIMING: Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, ZC] shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

4. PLN#1-PHOTO SIMULATION: [PDS, PCC] [UO, FG] [PDS, FEE]

INTENT: In order to verify that the site complies with the [County Zoning Ordinance Section 6980 through 6991 \(Wireless Telecommunications Section\)](#), the site shall substantially comply with the approved plot plans and photo-simulations.

DESCRIPTION OF REQUIREMENT: The site shall be built to substantially comply with the approved photo-simulations to ensure that the site was built to be screened from public view. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review.

TIMING: Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the provided photos for compliance with this condition and compliance with the photo-simulations.

5. PLN#2-SITE CONFORMANCE (WIRELESS)

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section). the site shall substantially comply with the approved plot plans. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved plot plans. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release. or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] shall review the provided photos for compliance with this condition and compliance with the approved plot plans.

6. PLN#3-SITE PLAN IMPLEMENTATION: [PDS, BI] [UO] [DPR, TC, PP].

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved

building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes, but is not limited to: installing all required design features and landscaping, painting all structures with the approved colors, and all temporary construction facilities have

been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, Building Inspector] and DPR [TC, PP] shall inspect the site for compliance with the approved Building Plans.

7. HAZ#1-HEALTH AND SAFETY PLAN: [DEH, HMD] [UO, FG]

INTENT: In order to protect workers from hazardous chemicals and to notify the public of potential hazardous chemicals and substances and to comply with the [California Health and Safety Code, Chapter 6.95](#), a hazardous materials Business plan shall be prepared and implemented. **DESCRIPTION OF REQUIREMENT:** The applicant of the facility shall obtain all necessary permits for the storage, handling, and disposal of the hazardous materials as required by the Department of Environmental Health-Hazardous Materials Division. The plan shall be approved by [DEH, HMD]. The Hazardous Materials Division, Plan Check section contact is Joan Swanson, (858) 505-6880 or by email at joan.swanson@sdcounty.ca.gov. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Health and Safety Plan, and Hazardous Materials Business Plan shall be prepared, approved and implemented. **MONITORING:** [DEH, HMD] shall verify and approve the Health and Safety Plan, and Hazardous Materials Business Plan for compliance with this condition.

8. ROADS#1-SIGHT DISTANCE

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.E of the County of San Diego Public Road Standards, an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: "There is ____ feet of unobstructed intersectional sight distance in the both directions from the project access driveway along **Old Highway Business 8** in accordance with the methodology described in Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of ____ as described in Table 5 based on a speed of ____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."

- b. If the lines of sight fall within the existing public road right-of-way, the engineer or surveyor shall further certify: "Said lines of sight fall within the existing right-of-way and a clear space easement is not required."

DOCUMENTATION: The applicant shall complete the certifications and submit them to the [POS, LOR] for review. **TIMING:** Prior to occupancy of the first structure built in association with this permit, or use of the premises in reliance of this permit, and annually after that until the project is completely built, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications for compliance with this condition.

ONGOING: *(The following conditions shall apply during the term of this permit).*

9. PLN#4-SITE CONFORMANCE: [PDS, PCO] [OG] [DPR, TC, PP].

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved landscape plan(s), building plans, and plot plan(s). This includes, but is not limited to maintaining the following: painting all necessary aesthetics design features, and all lighting wall/fencing. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit} **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

10. PLN#5-SITE CONFORMANCE (WIRELESS): [PDS, PCO] [OG].

INTENT: In order to comply with the [County Zoning Ordinance Section 6980 through 6991 \(Wireless Telecommunications Section\)](#), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility. landscaping. and associated equipment shelter, as depicted in the approved photo simulations dated 4/17/2018. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence. parcel or roadway. shall not require Modification or Deviation of the permit. to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit).
- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.

DOCUMENTATION: The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The *[PDS, Code Enforcement Division]* is responsible for enforcement of this permit.

11. **ROADS#2-PRIVATE ROAD MAINTENANCE**

INTENT: In order to ensure that the on- and off-site private easement roads, are maintained and repaired if damaged during construction and during the term of the permit, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for the repair of any damage caused

by this Project during construction and the term of this permit to on- and off-site private easement roads that serve the Project. During the term of the permit, the owner(s) of the private road easement(s) shall share proportionately to the use made of the easement(s) that serve the Project, pursuant to California Civil Code Section 845. **DOCUMENTATION:** The applicant shall assume responsibility pursuant to this condition. **TIMING:** Upon establishment of use, this condition shall apply during the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

12. **ROADS#3-SIGHT DISTANCE**

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.(E) of the County of San Diego Public Road Standards, an unobstructed sight distance shall be maintained for the life of this permit. **DESCRIPTION OF REQUIREMENT:** There shall be a minimum unobstructed sight distance per County Standards in both directions along Old Highway Business 8 from the project access opening for the life of this permit. **DOCUMENTATION:** A minimum unobstructed sight shall be maintained. The sight distance of adjacent driveways and street openings shall not be adversely affected by this project at any time. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Compliance Division] is responsible for compliance of this permit.

SPECIFIC CONDITIONS FOR MINOR USE PERMIT MODIFICATION ZAP-96-035W2:
Compliance with the following Specific Conditions (Mitigation Measures when applicable) shall be established before the property can be used in reliance upon this Minor Use Permit. Please note that all applicable ongoing conditions associated with the original Minor Use Permit (ZAP-96-035) and subsequent Modifications approval shall apply. Where specifically indicated, actions are required prior to approval of any grading, improvement, building plan and issuance of grading, construction, building, or other permits as specified:

ANY PERMIT: *(Within 180 days of approval or prior to the approval of any plan, issuance of any permit, prior to occupancy or use of the premises in reliance of this permit, whichever occurs first.)*

1. **GEN#1-COST RECOVERY: [PDS, DPW, DEH, DPR], [GP, CP, BP, UO]**
INTENT: In order to comply with Section 362 of Article XX of the San Diego County Administrative Code, Schedule B.5, existing deficit accounts associated with processing this permit shall be paid. **DESCRIPTION OF REQUIREMENT:** The applicant shall pay off all existing deficit accounts associated with processing this permit. **DOCUMENTATION:** The applicant shall provide a receipt to Planning & Development Services, Zoning Counter, which shows that all discretionary deposit accounts have been paid. No permit can be issued if there are deficit deposit accounts. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, all fees and discretionary

deposit accounts shall be paid. **MONITORING:** The PDS Zoning Counter shall review the receipts and verify that all PDS, DPW, DEH, and DPR deposit accounts have been paid.

2. **GEN#2-RECORDATION OF DECISION: [PDS], [GP, CP, BP, UO]**

INTENT: In order to comply with Section 7019 of the Zoning Ordinance, the Permit Decision shall be recorded to provide constructive notice to all purchasers, transferees, or other successors to the interests of the owners named, of the rights and obligations created by this permit. **DESCRIPTION OF REQUIREMENT:** The

applicant shall sign, notarize with an 'all-purpose acknowledgement' and return the original Recordation Form to PDS. **DOCUMENTATION:** Signed and notarized original Recordation Form. **TIMING:** Prior to the approval of any plan and prior to the issuance of any permit and prior to use in reliance of this permit, a signed and notarized copy of the Decision shall be recorded by PDS at the County Recorder's Office. **MONITORING:** The PDS Zoning Counter shall verify that the Decision was recorded and that a copy of the recorded document is on file at PDS.

3. **ROADS#1-SIGHT DISTANCE**

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.(E) of the County of San Diego Public Road Standards, an unobstructed sight distance shall be verified. **DESCRIPTION OF REQUIREMENT:**

- a. A registered civil engineer or a licensed land surveyor provides a certified signed statement that: "There is _____ feet of unobstructed intersectional sight distance in both direction(s) from the proposed driveway onto **Hwy 8 Business** – a.k.a. **Old Highway 80 (SA 895)** – in accordance with the methodology described in Table 5 of the March 2012 County of San Diego Public Road Standards. These sight distances exceed the required intersectional Sight Distance requirements of _____ as described in Table 5 based on a speed of _____, which I have verified to be the higher of the prevailing speed or the minimum design speed of the road classification. I have exercised responsible charge for the certification as defined in Section 6703 of the Professional Engineers Act of the California Business and Professions Code."
- b. If the lines of sight fall within the existing public road right-of-way, the engineer or surveyor shall further certify: "Said lines of sight fall within the existing right-of-way and a clear space easement is not required."

DOCUMENTATION: The applicant shall complete the certifications and submit them to the [PDS, LDR] for review. **TIMING:** Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance

of this permit, the sight distance shall be verified. **MONITORING:** The [PDS, LDR] shall verify the sight distance certifications.

OCCUPANCY: (Within 270 days or prior to any occupancy, final grading release, or use of the premises in reliance of this permit, whichever occurs first.)

4. GEN#3–INSPECTION FEE

INTENT: In order to comply with Zoning Ordinance Section 7362.e the inspection fee shall be paid. **DESCRIPTION OF REQUIREMENT:** Pay the inspection fee at the [PDS, ZC] to cover the cost of inspection(s) of the property to monitor ongoing conditions associated with this permit. In addition, submit a letter indicating who should be contacted to schedule the inspection. **DOCUMENTATION:** The

applicant shall provide a receipt showing that the inspection fee has been paid along with updated contact information [PDS, PCC]. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, ZC] shall process an invoice and collect the fee. PDS will schedule an inspection within one year from the date that occupancy or use of the site was established.

5. PLN#2– REMOVAL OF EXISTING TEMPORARY FACILITIES, MONOPOLES AND EQUIPMENT: [PDS, PCC] [UO, FG] [PDS, FEE]

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the monopoles, temporary equipment, and associated equipment shall be removed, including all equipment on the poles, as shown on sheet A-1.1 of the approved plot plan. **DESCRIPTION OF REQUIREMENT:** The existing monopoles and associated supporting equipment shall be removed from the site as identified on sheet A-1.1 the approved plans. **DOCUMENTATION:** The applicant shall provide photos and a signed letter from the contractor that states all equipment shown to be removed on sheet A-1.1 of the approved plot plan has been removed from the site. This written and photographic evidence shall be submitted to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit. **MONITORING:** The [PDS, PCC] shall review the provided photos and letter for compliance with this condition.

6. PLN#3-PHOTO SIMULATION (WIRELESS): [PDS, PCC] [UO, FG] [PDS, FEE]

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plans and photo-simulations. **DESCRIPTION OF REQUIREMENT:** The site shall be built to substantially comply with the approved photo-simulations and photo surveys dated **11/16/2023** to ensure that the site was built to be screened from public view. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plans and the photo-simulations. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final

grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] and DPR [TC, PP] shall review the provided photos for compliance with this condition and compliance with the photo-simulations.

7. **PLN#3–SITE CONFORMANCE (WIRELESS)**

INTENT: In order to verify that the site complies with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the approved plot plan and photo simulation.

DESCRIPTION OF REQUIREMENT: The site shall be built to substantially comply with the approved plot plan and photo simulation. **DOCUMENTATION:** The applicant shall build the site to comply with the approved plan and photo simulation. Upon completion, the applicant shall provide the photographic evidence to the [PDS, PCC] for review. **TIMING:** Prior to any occupancy, final

grading release, or use of the premises in reliance of this permit, the site shall be built to match the approval. **MONITORING:** The [PDS, PCC] and DPR [TC, PP] shall review the provided photos for compliance with this condition and compliance with the approved plot plans.

8. **PLN#4–SITE PLAN IMPLEMENTATION: [PDS, BI] [UO] [DPR, TC, PP].**

INTENT: In order to comply with the approved project design indicated on the approved plot plan, the project shall be constructed as indicated on the approved building and construction plans. **DESCRIPTION OF REQUIREMENT:** The site shall conform to the approved plot plan and the building plans. This includes, but is not limited to: installing all required design features, painting all structures with the approved colors, and all temporary construction facilities have been removed from the site. **DOCUMENTATION:** The applicant shall ensure that the site conforms to the approved plot plan and building plans. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit). **TIMING:** Prior to any occupancy, final grading release, or use of the premises in reliance of this permit, the site shall conform to the approved plans. **MONITORING:** The [PDS, Building Inspector] and DPR [TC, PP] shall inspect the site for compliance with the approved Building Plans.

9. **HAZ#1–HEALTH AND SAFETY PLAN**

INTENT: In order to protect workers from hazardous chemicals and to notify the public of potential hazardous chemicals and substances and to comply with the California Health and Safety Code, Chapter 6.95, the applicant shall receive approval from the Department of Environmental Health. **DESCRIPTION OF REQUIREMENT:** The applicant of the facility shall obtain all necessary permits

for the storage, handling, and disposal of the hazardous materials as required by the Department of Environmental Health-Hazardous Materials Division. The plan shall be approved by [DEH, HMD]. **TIMING:** Prior to occupancy of the first structure built in association with this permit, the Health and Safety Plan, and Hazardous Materials Business Plan shall be prepared, approved and implemented. **MONITORING:** [DEH, HMD] shall verify and approve all compliance with this condition.

ONGOING: *(The following conditions shall apply during the term of this permit).*

10. PLN#5–SITE CONFORMANCE: [PDS, PCO] [OG] [DPR, TC, PP].

INTENT: In order to comply with Zoning Ordinance Section 7703, the site shall substantially comply with the approved plot plans and all deviations thereof, specific conditions and approved building plans. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the approved building plans, and plot plan. This includes, but is not limited to maintaining the following: installing all required design features, painting all structures with the approved colors, and all temporary construction facilities have been removed from the site. Failure to conform to the approved plot plan(s) is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **DOCUMENTATION:** The property owner and permittee shall conform to the approved plot plan. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit). **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

11. PLN#6–SITE CONFORMANCE (WIRELESS): [PDS, PCO] [OG].

INTENT: In order to comply with the County Zoning Ordinance Section 6980 through 6991 (Wireless Telecommunications Section), the site shall substantially comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements. This includes, but is not limited to maintaining the following:

- a. Maintain the appearance of the facility and associated equipment shelter, as depicted in the approved photo simulations and photo surveys dated **4/18/2025**. Any interior changes to approved telecommunications equipment that are located entirely within an approved enclosed equipment

shelter, with equipment that cannot be seen by an adjacent residence, parcel or roadway, shall not require Modification or Deviation of the permit, to the satisfaction of the Director of Planning and Development Services (expansion of the existing approved equipment shelter and/or addition of noise generating equipment would require either Modification or Deviation of the permit).

- b. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
- c. All wireless telecommunications sites including antennae and cabinets shall be kept clean and free of litter, display a legible operator's contact number for reporting maintenance problems, and be secured to prohibit unauthorized access.
- d. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days before the final day of use. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain. This period can be extended based on provided documentation to the satisfaction of the Director of DPR and the Director of PDS.

DOCUMENTATION: The property owner and applicant shall conform to the ongoing requirements of this condition. Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit.

- 12. **NOISE#1-ON-GOING SOUND LEVEL COMPLIANCE: [PDS, CODES] [OG]**
INTENT: In order to comply with the applicable sections of Title 3, Division 6, Chapter 4 ([County of San Diego Noise Ordinance](#)), the site shall comply with the requirements of this condition. **DESCRIPTION OF REQUIREMENT:** The project shall conform to the following requirements: Minor Use Permit associated activities shall comply with the one-hour average sound level limit property line requirement pursuant to the County Noise Ordinance, Section 36.404. This includes (but not

limited to) generator and air conditioner units. **DOCUMENTATION:** The property owner(s) and applicant shall conform to the ongoing requirements of this condition. Failure to conform to this condition may result in disturbing, excessive or offensive noise interfering with a person's right to enjoy life and property and is detrimental to the public health and safety pursuant to the applicable sections of Chapter 4. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, CODES] is responsible for enforcement of this permit.

13. **ROADS#2–SIGHT DISTANCE : [PDS, CODES] [OG]**

INTENT: In order to ensure that the on- and off-site private easement roads, are maintained and repaired if damaged during construction and during the term of the permit, the applicant shall assume responsibility. **DESCRIPTION OF REQUIREMENT:** The applicant is responsible for the repair of any damage caused by this Project during construction and the term of this permit to on- and off-site private easement roads that serve the Project. During the term of the permit, the owner(s) of the private road easement(s) shall share proportionately to the use made of the easement(s) that serve the Project, pursuant to California Civil Code Section 845. **DOCUMENTATION:** The applicant shall assume responsibility

pursuant to this condition. **TIMING:** Upon establishment of use, this condition shall apply during the term of this permit. **MONITORING:** The [PDS, Code Enforcement Division] is responsible for enforcement of this permit

14. **ROADS #3–SIGHT DISTANCE**

INTENT: In order to provide an unobstructed view for safety while exiting the property and accessing a public road from the site, and to comply with the Design Standards of Section 6.1.(E) of the County of San Diego Public Road Standards, an unobstructed sight distance shall be maintained for the life of this permit. **DESCRIPTION OF REQUIREMENT:**

- a. There shall be a minimum unobstructed sight distance of 300 feet in both directions along **Jackson Hill Drive** from the project driveway openings for the life of this permit.
- b. There shall be a minimum unobstructed sight distance of 400 feet in both directions along **Hwy 8 Business** – a.k.a. **Old Highway 80 (SA 895)** from the project driveway openings for the life of this permit.

DOCUMENTATION: A minimum unobstructed sight shall be maintained. The sight distance of adjacent driveways and street openings shall not be adversely affected by this project at any time. **TIMING:** Upon establishment of the use, this condition shall apply for the duration of the term of this permit. **MONITORING:** The [PDS, Code Compliance Division] is responsible for compliance of this permit.

FINDINGS FOR MINOR USE PERMIT MODIFICATION PDS2022-ZAP-96-035W2

Pursuant to Section 7358 of The Zoning Ordinance, the following findings in support of the granting of the Minor Use Permit Modification are made:

- (a) The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to

1. Harmony in scale, bulk, coverage, and density

Harmony:

The current wireless telecommunications facility consists of a 50-foot, 5-inch monopole. The proposed change involves removing the monopole and relocating the antennas to an existing water tank. This design brings the structure into alignment with other existing facilities on the site. The project, as designed, is camouflaged to blend into the project site, which will significantly reduce adverse visual impacts to the surrounding area. Given that the surrounding structures and objects primarily consist of residential homes and vegetation, the project is entirely compatible with this surrounding residential land use.

Scale and Bulk:

The subject and surrounding area can primarily be characterized as residential, with the presence of two large water tanks already defining the landscape. The wireless facility is currently attached to a standalone 50-foot, 5-inch monopole, which unfortunately adds a distinct, vertical element to the area.

Mounting of the antennas and equipment onto the existing water tank, which significantly reduces the visual bulk and profile of the facility. The equipment will become less noticeable and will blend into the existing infrastructure rather than standing out as a separate structure. This strategic placement avoids adding a new, tall element to the property and instead utilizes one that already exists.

The Photo Simulations on file with this Minor Use Permit Modification clearly illustrate that the existing facility on the monopole is out of scale and bulk. By attaching the equipment to the water tank, it changes to be in harmony with the scale and bulk of the surrounding area and will therefore be unobtrusive to the surrounding viewshed. As a result, the facility's components will be consistent with the scale of the surrounding environment and will not be readily visible to nearby residents or motorists.

Coverage:

The project is located on a parcel that is developed with water tanks. The surrounding land uses consist of residential land uses and vacant land and mobile home park. The proposed the project will not contribute existing site coverage, nor will it substantially increase the scale and bulk of the subject property. Considering the size of the subject lot compared with the size and location of the existing structure, and the coverage characteristics of surrounding properties, the telecommunications facility will be consistent in terms of coverage of the surrounding area and will not substantially increase the lot area coverage.

Density:

The proposed changes do not expand the service area or add more equipment than what is needed for the facility to function. Since the project is a modification of an existing facility, the coverage and density of the site itself remain unchanged.

2. The availability of public facilities, services, and utilities

The project is located within the jurisdiction of Lakeside Fire Protection District. The project has been reviewed and found to be FP-2 compliant and the supporting equipment of the facility are located within equipment enclosures. The project would not require water or sewer services. Electrical and telephone services are available on-site. The proposed project involves renewal of a use permit for operation of an existing wireless telecommunication facility with existing access to adequate utilities. All required utilities are therefore available for the project.

3. The harmful effect, if any, upon desirable neighborhood character:

The project is a Minor Use Permit Modification to remove an existing T-Mobile monopole and its associated equipment, and instead mount new antennas onto an existing Helix Water District water tank. This modification has been submitted to bring the existing wireless telecommunication facility into conformance with the County of San Diego Zoning Ordinance, specifically addressing the amortization requirements outlined in Sections 6985 and 6991.

The Photo-simulations on file with the Minor Use Permit Modification clearly illustrate that the existing wireless facility on the monopole is out of scale and bulk. By attaching the equipment to the water tank, the facility is brought into harmony with the scale of the surrounding area. The water tank is a preferred location for wireless facilities because it is already a prominent and necessary part of the landscape. Co-locating the wireless equipment on the tank is an industry best practice that reduces the

proliferation of new, independent structures. This modification represents a visual improvement because it replaces a more obtrusive monopole with equipment that is better integrated into the site, making it more compatible with the Rural Residential zoning and the surrounding community. No trenching or grading is proposed or required for the project. Furthermore, the project has been reviewed for noise impacts and determined to be consistent with the County Noise Ordinance, as the current proposal does not introduce any additional noise-generating equipment. As designed, the project would not cause any substantial, demonstrable negative aesthetic effect to views from the surrounding area and roadways. Therefore, the project would not have a harmful effect on the existing neighborhood character.

4. *The generation of traffic and the capacity and physical character of surrounding streets:*

The traffic generated from the project is not expected to result in an increase of trips and will utilize a private road connecting to I-8 Business for access. Existing space for parking is available on the property. The use associated with this Minor Use Permit Modification is compatible with the existing residential nature of the area because the number of maintenance trips will not substantially alter the expected traffic or physical character of the surrounding streets and will be compatible with adjacent uses. Therefore, the number of maintenance trips will not substantially increase or alter the physical character of I-8 Business or Jackson Hill Dr.

5. *The suitability of the site for the type and intensity of use or development, which is proposed:*

The applicant proposes a Minor Use Permit Modification T-Mobile monopole and equipment and mount new antennas onto an existing Helix Water District water tank will not result in any alterations to the landform or grading as no additional construction is being proposed at this time. The project, as designed, would be painted to match, would not change the characteristics of the area and is suitable for this site and the type and intensity of uses and development. For reasons stated above, the proposed project would be compatible with adjacent land uses.

6. *Any other relevant impact of the proposed use:*

None identified.

(b) *The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan:*

The project is within the Semi-Rural Residential General Plan Land Use Designation, and it is within the Lakeside Community Planning Area. The project complies with the General Plan because civic uses are allowed if they support the local population. In addition, the project is consistent with Goal S-1 (Public Safety) and S-2 (Emergency Response) of the Public Safety Element of the County General Plan. The Project will provide continued coverage throughout the area, which is essential in the event of an emergency. The wireless telecommunication facility will minimize telecommunication interruptions by continuing to provide service and coverage in the area. Furthermore, the project would be consistent with the General Plan Land Use Element Goal 15.1 because the proposed project is compatible with the existing community character, and the project would not result in impacts to the natural environment. The project would be consistent with the General Plan Land Use Element Goal 15.2 because it is designed for co-location. Lastly, the project cannot be seen from any Scenic Highway identified in the County of San Diego General Plan. Pursuant to Section 6987(D) of the Zoning Ordinance, monopoles or other similar structures are not permitted when visible from Scenic Highways identified in the County of San Diego General Plan and the project would result in the facility to be in conformance with the Zoning Ordinance

and General Plan. Therefore, the proposed use and project are consistent with the San Diego County General Plan.

- (c) That the requirements of the California Environmental Quality Act have been complied with:

A CEQA exemption 15301 was adopted on October 16, 2025.

WIRELESS TELECOMMUNICATION FINDINGS

The project is in a non-preferred zone but is on a non-preferred location. Pursuant to Section 6986.B of the Wireless Telecommunication Facilities Ordinance, the applicant provided an alternate site analysis and discussed preferred locations in the area and why they were not technologically or logistically feasible to serve the surrounding residents within in this location. The project is removing an exiting monopole and attaching onto a community character of existing water tank.

ORDINANCE COMPLIANCE NOTIFICATIONS: The project is subject to, but not limited to, the following County of San Diego, State of California, and U.S. Federal Government, Ordinances, Permits, and Requirements:

LIGHTING ORDINANCE COMPLIANCE: In order to comply with the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, 6324, and 6326, the onsite lighting shall comply with the approved plot plan(s), specific permit conditions and approved building plans associated with this permit. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to the County Lighting Ordinance 59.101 et seq. and Zoning Ordinance Sections 6322, and 6324. The property owner and

permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to lighting. No additional lighting is permitted. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

NOISE ORDINANCE COMPLIANCE: In order to comply with the [County Noise Ordinance 36.401](#) et seq. and the Noise Standards pursuant to the General Plan Noise Element (Table N-1 & N-2), the property and all of its uses shall comply with the approved plot plans, specific permit conditions and approved building plans associated with this permit. No noise generating equipment and project related noise sources shall produce noise levels in violation of the County Noise Ordinance. The property owner and permittee shall conform to the approved plot plan(s), specific permit conditions, and approved building plans associated with this permit as they pertain to noise generating devices or activities. If the permittee or property owner chooses to change the site design in any way, they must obtain approval from the County for a Minor Deviation or a Modification pursuant to the County of San Diego Zoning Ordinance.

COMPLIANCE INSPECTION: In order to comply with Zoning Ordinance Section 7362.e the County shall inspect the Use Permit property for compliance with the terms of this Use Permit. The County Permit Compliance Officer will perform a site inspection and review the on-going conditions associated with this permit. The inspection shall be scheduled no later than the six months subsequent to establishing the intended use of the permit. If the County determines the applicant is not complying with the Minor Use Permit terms and conditions the applicant shall allow the County to conduct follow up inspections more frequently than once every twelve months until the County determines the applicant is in compliance. The Property Owner/Permittee shall allow the County to inspect the property for which the Minor Use Permit has been granted, at least once every twelve months, to determine if the Property Owner/Permittee is complying with all terms and conditions of the Use Permit. This requirement shall apply during the term of this permit.

STORMWATER ORDINANCE COMPLIANCE: In order to Comply with all applicable stormwater regulations the activities proposed under this application are subject to enforcement under permits from the [San Diego Regional Water Quality Control Board \(RWQCB\)](#) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control [Ordinance No. 10410](#) and all other applicable ordinances and standards for the life of this permit. The project site shall be in compliance with all applicable stormwater regulations referenced above and all other applicable ordinances and standards. This includes compliance with the approved Stormwater Management Plan, all requirements for Low Impact Development (LID), Hydromodification, materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas 1 acre or greater require that during construction the property owner keeps the Storm Water Pollution Prevention Plan (SWPPP) onsite and update it as needed. The property owner and permittee shall comply with the requirements of the stormwater regulations referenced above.

LOW IMPACT DEVELOPMENT NOTICE: The San Diego Regional Water Quality Control Board (SDRWQCB) issued a new Municipal Stormwater Permit under the National Pollutant Discharge Elimination System (NPDES). The requirements of the Municipal Permit were implemented beginning in May 2013. *Project design shall be in compliance with the new Municipal Permit regulations.* The Low Impact Development (LID) Best Management Practices (BMP) Requirements of the Municipal Permit can be found at the following link:

http://www.sandiegocounty.gov/content/dam/sdc/dpw/WATERSHED_PROTECTION_PROGRAM/susmppdf/lid_handbook_2014sm.pdf

The County has provided a LID Handbook as a source for LID information and is to be utilized by County staff and outside consultants for implementing LID in our region. See link below. <http://www.sdcounty.ca.gov/dplu/docs/LID-Handbook.pdf>

STORMWATER COMPLIANCE NOTICE: Updated studies, including Hydro-modification Management Plans for Priority Development Projects, will be required prior to approval of grading and improvement plans for construction pursuant to [County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance No. 10410](#) (N.S.), dated February 26, 2016 and BMP Design Manual. These requirements are subject to the MS4 Permit issued by the Regional Water Quality Control Board, Order No. R9-2013-0001 and any subsequent order. Additional studies and other action may be needed to comply with future MS4 Permits.

GRADING PERMIT REQUIRED: A grading permit is required prior to commencement of grading when quantities of excavation or fill results in the movement of material exceeding 200 cubic yards or eight feet (8') in vertical height of cut/fill, pursuant to [Section 87.201 of Grading Ordinance](#).

CONSTRUCTION PERMIT REQUIRED: A Construction Permit and/or Encroachment Permit are required for any and all work within the County road right-of-way. Contact PDS Construction/Road right-of-way Permits Services Section, (858) 694-3275, to coordinate County requirements. In addition, before trimming, removing or planting trees or shrubs in the County Road right-of-way, the applicant must first obtain a permit to remove plant or trim shrubs or trees from the Permit Services Section.

ENCROACHMENT PERMIT REQUIRED: An Encroachment Permit is required for any and all proposed/existing facilities within the County right-of-way. At the time of construction of future road improvements, the proposed facilities shall be relocated at no cost to the County, to the satisfaction of the Director of Public Works.

EXCAVATION PERMIT REQUIRED: An excavation permit is required for undergrounding and/or relocation of utilities within the County right-of-way.

TRANSPORTATION IMPACT FEE: The project is subject to County of San Diego Transportation Impact Fee (TIF) pursuant to [County TIF Ordinance number 77.201 – 77.223](#). The Transportation Impact Fee (TIF) shall be paid. The fee is required for the entire project, or it can be paid at building permit issuance for each phase of the project. The fee is calculated pursuant to the ordinance at the time of building permit issuance. The applicant shall pay the TIF at the [PDS, LD Counter] and provide a copy of the receipt to the [PDS, BD] at time of permit issuance.

EXPLANATION OF COUNTY DEPARTMENT AND DIVISION ACRONYMS			
Planning & Development Services (PDS)			
Project Planning Division	PPD	Land Development Project Review Teams	LDR
Permit Compliance Coordinator	PCC	Project Manager	PM
Building Plan Process Review	BPPR	Plan Checker	PC
Building Division	BD	Map Checker	MC
Building Inspector	BI	Landscape Architect	LA
Zoning Counter	ZO		
Department of Public Works (DPW)			
Private Development Construction Inspection	PDCI	Environmental Services Unit Division	ESU
Department of Environmental Health and Quality (DEHQ)			
Land and Water Quality Division	LWQ	Local Enforcement Agency	LEA
Vector Control	VCT	Hazmat Division	HMD
Department of Parks and Recreation (DPR)			
Trails Coordinator	TC	Group Program Manager	GPM
Parks Planner	PP		
Department of General Service (DGS)			
Real Property Division	RP		

APPEAL PROCEDURE: Within ten calendar days after the date of this Decision of the Planning Commission, the decision may be appealed to the Board of Supervisors in accordance with [Section 7366 of the County Zoning Ordinance](#). An appeal shall be filed

with the Director of Planning & Development Services or by mail with the Secretary of the Planning Commission within TEN CALENDAR DAYS of the date of this notice AND MUST BE ACCOMPANIED BY THE DEPOSIT OR FEE AS PRESCRIBED IN THE DEPARTMENT'S FEE SCHEDULE, PDS FORM #369, pursuant to Section 362 of the San Diego County Administrative Code. If the tenth day falls on a weekend or County holiday, an appeal will be accepted until 4:00 p.m. on the following day the County is open for business. Filing of an appeal will stay the decision of the Director until a hearing on your application is held and action is taken by the Planning Commission. Furthermore, the 90-day period in which the applicant may file a protest of the fees, dedications or exactions begins on the date of approval of this Decision.

COUNTY OF SAN DIEGO
VINCE NICOLETTI, DIRECTOR

BY:

Ashley Smith, Chief
Project Planning Division
Planning & Development Services

email cc:

Dag Bunnemeyer, Group Program Manager, PDS
Andrew Holtz, Project Planner, Land Use/Environmental Planner, PDS
[Smartlink Group, Project Contact](#)

**Attachment C
Environmental
Findings**

1 - 58 NOTICE OF EXEMPTION

TO: Recorder/County Clerk
1600 Pacific Highway, M.S. A33
San Diego, CA 92101

FROM: County of San Diego
Planning & Development Services, M.S. 0650
Attn: Project Planning Division Section Secretary

SUBJECT: **FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152**

Project Name: PDS2022-ZAP-96-035W2 – Helix Water Wireless

Project Location: 13002 I-8 Buisness, Lakeside, unincorporated San Diego County (APN: 400-060-03-00)

Project Applicant: T-Mobile: 630-220-8156 (Vincent Voss, Smartlink Group – project contact)
6788 Clear Sky Ter, San Diego CA 92120

Project Description: The project involves the renewal of an existing wireless telecommunication facility, by removing the current T-Mobile monopole and its associated equipment and mounting the new equipment onto the existing Helix Water District water tank.

Agency Approving Project: County of San Diego

County Contact Person: Andrew Holtz Telephone: 619-458-2038

Date Form Completed: October 16, 2025

This is to advise that the County of San Diego Planning & Development Services has approved the above described project on October 16, 2025 and found the project to be exempt from the CEQA under the following criteria:

1. Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)
 - ☐ Declared Emergency [C 21080(b)(3); G 15269(a)]
 - ☐ Emergency Project [C 21080(b)(4); G 15269(b)(c)]
 - ☐ Statutory Exemption. C Section:
 - ☒ Categorical Exemption. G Section: 15301
 - ☐ G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.
 - ☐ G 15182 – Residential Projects Pursuant to a Specific Plan
 - ☐ G 15183 – Projects Consistent with a Community Plan, General Plan, or Zoning
 - ☐ Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
2. Mitigation measures ☐ were ☒ were not made a condition of the approval of the project.
3. A Mitigation reporting or monitoring plan ☐ was ☒ was not adopted for this project.

Statement of reasons why project is exempt: Pursuant to Section 15301 of the State of California Environmental Quality Act Guidelines, the project is exempt from CEQA because it involves negligible expansions by removing an existing wireless facility and building onto an existing water tank. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause a substantial change in the significance of a historical resource; and will not result in damage to a scenic highway.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: _____ Telephone: (619) 458-2038

Name (Print): Andrew Holtz Title: Land Use/Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.

**Attachment D
Public
Documentation**



County of San Diego, Planning & Development Services
**COMMUNITY PLANNING OR SPONSOR
GROUP PROJECT REVIEW**
ZONING DIVISION

Record ID(s): _____

Project Name: _____

Project Manager: _____

Project Manager's Phone: _____

Scope of Review:

Board Policy I-1 states; "groups may advise the appropriate boards and commissions on discretionary projects as well as on planning and land use matters important to the community." Planning & Development Services (PDS) has received an application for the project referenced above. PDS requests that your Group evaluate and provide comment on the project in the following areas:

- The completeness and adequacy of the Project Description
- Compatibility of the project design with the character of the local community
- Consistency of the proposal with the Community Plan and applicable zoning regulations
- Specific concerns regarding the environmental effects of the project (e.g., traffic congestion, loss of biological resources, noise, water quality, depletion of groundwater resources)

Initial Review and Comment:

Shortly after an application submittal, a copy of the application materials will be forwarded to the Chair of the applicable Planning or Sponsor Group. The project should be scheduled for initial review and comment at the next Group meeting. The Group should provide comments on planning issues or informational needs to the PDS Project Manager at your earliest convenience.

Planning Group review and advisory vote:

- A. **Projects that do not require public review of a CEQA document:** The Group will be notified of the proposed hearing date by the PDS Project Manager. The project should be scheduled for review and advisory vote at the *next Group meeting*.
- B. **Projects that require public review of a CEQA document:** The Chair of the Planning Group will be noticed when an environmental document has been released for public review. The final review of the project by the Group, and any advisory vote taken, should occur *during the public review period*.

As part of its advisory role, the Group should provide comments on both the adequacy of any environmental document that is circulated and the planning issues associated with the proposed project. The comments provided by the Group will be forwarded to the decision-making body and considered by PDS in formulating its recommendation.

Notification of scheduled hearings:

In addition to the public notice and agenda requirements of the Brown Act, the Group Chair should notify the project applicant's point of contact and the PDS Project Manager at least two weeks in advance of the date and time of the scheduled meeting.



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County of San Diego, Planning & Development Services

**COMMUNITY PLANNING OR SPONSOR
GROUP PROJECT RECOMMENDATION**
ZONING DIVISION

Record ID(s): _____

Project Name: _____

Planning/Sponsor Group: _____

Results of Planning/Sponsor Group Review

Meeting Date: _____

A. Comments made by the group on the proposed project.

B. Advisory Vote: The Group ☐ **Did** ☐ **Did Not** make a formal recommendation, approval or denial on the project at this time.

If a formal recommendation was made, please check the appropriate box below:

- MOTION:**
- ☐ Approve without conditions
 - ☐ Approve with recommended conditions
 - ☐ Deny
 - ☐ Continue

VOTE: _____ Yes _____ No _____ Abstain _____ Vacant / Absent

C. Recommended conditions of approval:

Reported by: _____ Position: _____ Date: _____

Please email recommendations to BOTH EMAILS;

Project Manager listed in email (in this format): Firstname.Lastname@sdcounty.ca.gov and to CommunityGroups.LUEG@sdcounty.ca.gov

5510 OVERLAND AVE, SUITE 110, SAN DIEGO, CA 92123 • (858) 694-8985 • (888) 267-8770
<http://www.sdcounty.ca.gov/pds>



County of San Diego, Planning & Development Services

DISCRETIONARY PERMIT APPLICATION
ZONING DIVISION

PDS 2022-ER-96-14027B

RECORD ID(S):

PDS 2022-ZAP-22-010

	Planning	LD Review Teams	DEH	Trails Review	Other
FEES			1660		
DEPOSITS	6864		7524		
TOTAL FEES AND INITIAL DEPOSIT: \$					

The submitted Initial Deposit is estimated to cover only the initial project review (Scoping). Additional monies will be required. A project-specific cost estimate will be provided at the conclusion of Scoping, along with a letter detailing any project issues, revisions, and studies as deemed necessary for compliance with State and County codes and ordinances.

Have you had a pre-application conference? YES ☐ NO ☒ If yes, Planner's Name _____

Is this project the subject of a code violation? YES ☐ NO ☒ If yes, provide a copy of the Warning/Citation/Violation Notice.

Are there any related, open applications such as DEH permits, Grading permits, etc? YES ☐ NO ☒

If yes, list permits: _____

Is there an existing Trust Account on any of the open records related to this proposed project? YES ☒ NO ☐

Are there any prior related cases such as a specific plan? If yes, list Case Number(s) PDS2016-ZAP-96-035M2

The Financially Responsible Party is responsible for all costs related to this application (See form PDS-126).

Assessor's Parcel No. (APN) 400-060-03-00

Owner's Name Helix Water District Owner's Phone 619-667-6268

Owner's Address 7811 University Ave, La Mesa, CA 91942

Owner's email Debbie.Lundy@helixwater.org Owner's Fax _____

Applicant's Name T-Mobile Applicant's _____

(If different from owner)

Applicant's Address 10509 Vista Sorrento Pkwy #206, San Diego, CA 92008

Applicant's email vincent.voss@smartlinkgroup.com Applicant's Fax _____

Engineer's Name Loyall A. Wharton Engineer's Phone (949) 391-6824

Engineer's Address 1387 Calle Avanzado, San Clemente, CA 92673

Engineer's email Yuliya@msquaredwireless.com Engineer's Fax _____

Project Contact Person Vincent Voss, Smarlink Group obo T-Mobile Phone (630) 220-8156

Address 6788 Clear Sky Ter, San Diego, CA 92120

Project Contact's email vincent.voss@smartlinkgroup.com Project Contact's Fax _____

Project Name T-Mobile SD06045A Anchor/L600

Project Address & Nearest Cross Street Highway 8 Business and Aurora Dr.

I declare under penalty of perjury under the laws of the State of California that the statements made as part of this application are true and correct. I hereby agree to provide the indemnification as required by Chapter 2 of Division 6 of Title 8 of the San Diego County Code.

***REQUIRED: an Authorized Agent signing below must attach a signed Letter of Authorization.**

Vincent Voss

Signature of Owner or ***Authorized Agent**

Vincent Voss 5/25/2022
Print Signator's Name Date

PDS-346 (5/21/2018)

----- OFFICIAL USE ONLY -----

SDC PDS RCVD 08-30-22

ZAP22-010



FOR DEPARTMENT USE ONLY

General Plan Designation SR4 Existing Proposed _____
 Regional Category Semi _____
Rural _____

ZONE		
USE REGULATIONS		<u>RR</u>
ANIMAL REGULATIONS		<u>J</u>
DEVELOPMENT REGULATIONS	Density	<u>1</u>
	Lot Size	<u>1AC</u>
	Building Type	<u>C</u>
	Maximum Floor Area	<u>11</u>
	Floor Area Ratio	<u>11</u>
	Height	<u>G</u>
	Lot Coverage	<u>11</u>
	Setback	<u>B</u>
Open Space	<u>11</u>	
SPECIAL AREA REGULATIONS		<u>11</u>

For Administrative Permits and Use Permits

Describe use:

New
ZAP

Thomas Guide (Page/Grid) 1252 C1Tax Rate Area 59086Total Acres 0.53 No. of lots 1Planning Group LakeSideCommunity Plan LakeSideSupervisor District 2

Within: Rural Village Boundaries? ☐ YES ☒ NO Village Boundaries? ☒ YES ☐ NO Special Study Area? ☐ YES ☒ NO
 Project is within a Specific Plan? ☐ YES ☒ NO If yes, name of Specific Plan _____
 Related Records/Permits? ☒ YES ☐ NO If yes, list ZAP-96-035

Project is subject to the County Groundwater Ordinance? ☐ YES ☒ NO FP-2 ☒ YES ☐ NO

Project is within 1/2 mile of a Regional Park? ☐ YES ☒ NO
 Project is within 1 mile of a Highway? ☒ YES ☐ NO
 Project is within 1 mile of a City? ☐ YES ☒ NO If yes, name of City _____
 Project is proposed for Septic? ☒ YES ☐ NO get site
 Project is proposed for Sewer? ☐ YES ☐ NO
 Project is a Violation Case? ☐ YES ☒ NO
 Military Notice is required? ☐ YES ☒ NO
 Project is within 150' of the International Border? ☐ YES ☒ NO

If yes, notify the Department of Homeland Security. See Board of Supervisor's Policy I-111.

If the subject parcel was created through a PM or B/C, have you verified that all Covenants of Improvement have been satisfied? YES ☒ NO ☐ IF NO, DO NOT ACCEPT THE APPLICATION.

Is there a different owner of mineral rights than the owner of real property? YES ☐ NO ☒

If yes, identify name and address: _____

FOR PLANNER ASSIGNMENT - PLEASE CALL (858) 694-3292

Technician Initials: OR Date: 8/24/22 Technician's comments: _____

**Attachment E
Photo Simulations,
Geographical Service
Area, and Alternative
Site Analysis**



EXISTING



PROPOSED

LOOKING NORTH FROM RANCHO VALLEY



EXISTING



PROPOSED LOOKING SOUTHWEST FROM ACCESS ROAD



EXISTING



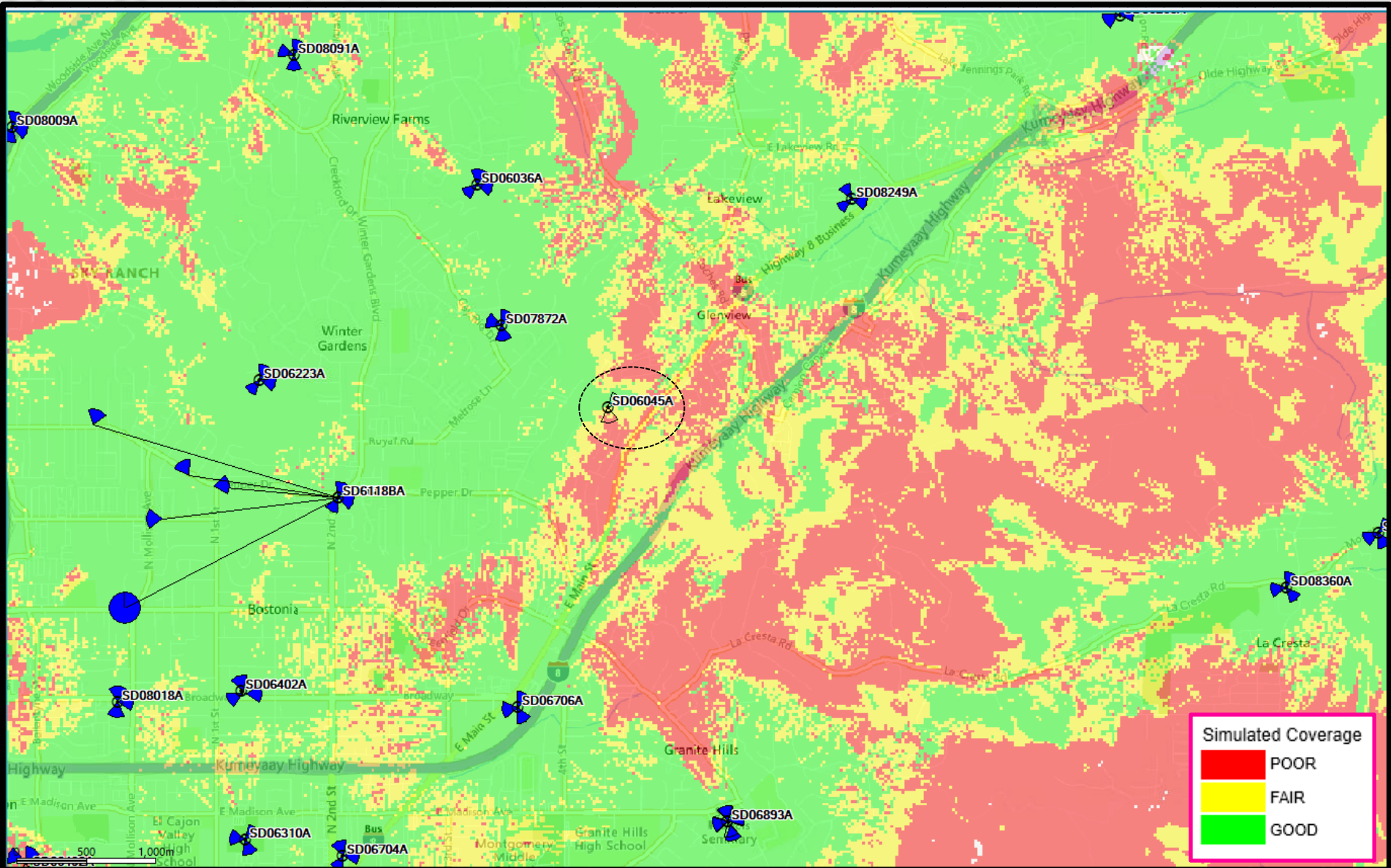
PROPOSED LOOKING SOUTHEAST FROM ACCESS ROAD

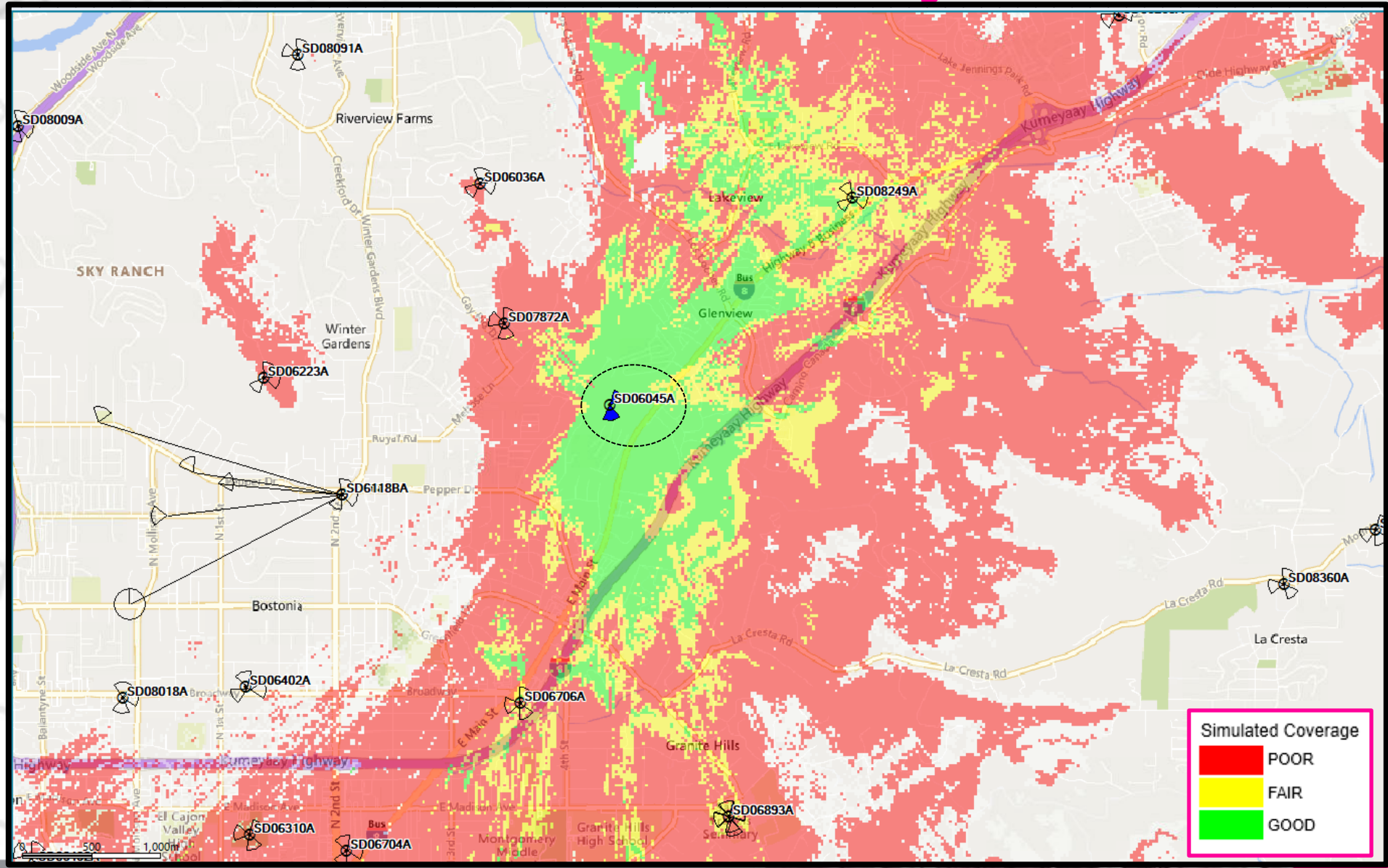
SD06045A Coverage Maps

RF Team - San Diego Market











January 19, 2023

To: County of San Diego
Planning & Development Services
5510 Overland Ave,
San Diego, CA 92123

From: Vince Voss
Smartlink Group
Real Estate Project Manager

RE: **Minor Use Permit Modification (PDS2022-ZAP-96-035W2 - Alternative Site Analysis Letter)**
T-Mobile Site SD06045A – SD045 Helix Water District

Site Selection: The subject site was selected and deemed the best option because it is already an existing Wireless Communication facility. The original WCF facility (water tank) was carefully chosen because the site is an existing structure that also allows for other carrier collocation. The site is also in a desirable location with respect to its proximity to the neighboring community. Additionally, the water tank sits on top of a hilltop which provides a necessary RAD center (height) for maximum and optimal coverage.

As background history, affixing the antennas to the water tank was no longer available when the property owner requested T-Mobile remove their equipment off the water tank and onto temporary facilities while the water tank was renovated. T-Mobile complied with that request and their existing equipment is currently installed on two temporary monopoles. The water tank renovation project is nearly complete and as a result, T-Mobile is ready to move their antenna equipment back onto the permanent water tank facility. The proposed project complies with the amortization ordinance and Land Use Element LU-15.

Compliance with Land Use Element LU-15: As described under the previous section, “Site Selection”, the Wireless Communication facility has been designed utilizing state-of-the-art techniques to minimize impacts to the community (including visual) and the environment. The proposed Wireless Communication facility will not have adverse impacts to the natural environment and is compatible with existing development and community character.

Alternative Site Analysis per Wireless Ordinance 6986.B. A site justification map has been attached to this letter and included as part of the application package. The map illustrates that the subject site is located in a concentrated area that is primarily surrounded by residential zones with very limited commercial or industrial zone areas. The elevation of the existing site location is superior to the surrounding zone areas, helping with achieving the necessary height for obtaining optimal coverage. The subject site utilizes a “preferred” site as per Wireless Ordinance 6986 A.2.(a.) (1), a water tank. As described earlier in this letter under the “Site Selection” section, the property owner required T-Mobile remove their equipment off the water tank and onto temporary monopoles. T-Mobile is now proposing



the equipment be removed from the temporary monopoles and relocated to back onto the water tank in accordance with the County of San Diego's amortization ordinance. In summary, the subject site is still located on a "preferred" site location in compliance with Wireless Ordinance 6986.

With respect to other facilities or candidates that were considered, there were none. Because the location is a highly residential zone, there are virtually no feasible commercial or industrial options. This is a concentrated ring, and T-Mobile has built out a network in the surrounding areas, so the search ring is specific to this concentrated area (see coverage map attached to this Alternative Site Analysis). As a result, there are very limited to no options for WCF consideration. Additionally, because this is an existing wireless communication facility, this is a site that has been reviewed and approved previously by the County and surrounding community alike.

Conclusion: After careful consideration of the beforementioned factors, the determination was made that the existing location is the best option for a Wireless Communication Facility. The site provides a much-needed service to the community while minimizing the overall visual impact on the subject area. Visual impact has been minimized by adhering to the County of San Diego's amortization ordinance (water tank, a preferred location) and other pertinent codes and ordinances (namely Land Use Element LU-15 and Wireless Ordinances 6986 and 6987). Furthermore, and as stated previously, the site has been designed and engineered to allow for future collocation. A collocatable facility decreases the number of facilities on site, minimizing visual impact even further, while also avoiding the need to install new WCF facilities in the surrounding area. Lastly, the proposed Wireless Communication Facility will provide an overall and long-lasting benefit to the community.

Sincerely,

Vince Voss
Smartlink Group
(630) 220-8156
Vincent.voss@smartlinkgroup.com

**Attachment F
Ownership
Disclosure Form**

Property Owner Letter of Authorization

County of San Diego
Planning Dept.
5510 Overland Ave, Suite 110
San Diego, CA 92123

Re: Zoning/Building Permit Authorization- T-Mobile @ Tunnel Hill

I hereby represent that I am the authorized representative of Helix Water District (legal owner), of the property referenced below, and I hereby give my authorization to Smartlink, and/or its Agents, to submit an application for approval for Building and/or Zoning permits for the purpose of construction of certain improvements to relocate an existing communication facility from a temporary site to a tank-mounted facility. Actual construction of any such improvements which receive entitlements shall be at the sole discretion of Helix Water District, as Owner and Lessor, and HELIX WATER DISTRICT SHALL BE A SIGNOR ON ANY/ALL IMPROVEMENT PLANS.

Owner hereby authorizes the employees of the County of San Diego to enter upon the subject property by appointment, at least 24 hours in advance, between the hours of 7:30 a.m. and 3:30 p.m. Monday-Friday for the purpose of processing said application.

This authorization is for improvements to be constructed in connection with the relocation of an existing wireless communications site described as:

Site Name:	SD045 Helix Water District
Site Number:	SD06045A
Site Address:	13002 Highway 8 Business El Cajon, CA 92021
Legal Description:	400-060-03

and is EFFECTIVE FOR UP TO ONE YEAR following the below signature date.

HELIX WATER DISTRICT (Owner)

By :


Debbie Lundy, Senior Right of Way Agent

Date:

5/13/2002