



4S RANCH

SPECIFIC PLAN

VOLUMES I & II

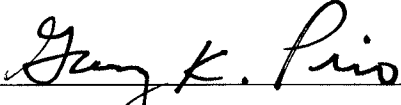
PREPARED FOR:
COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING
AND LAND USE

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NOVEMBER 1998

CERTIFICATE OF ADOPTION

I hereby certify that this plan consisting of this text, exhibits, and appendices is the 4S Ranch Specific Plan Amendment (SPA 95-001) and that it was considered by the San Diego County Planning Commission on the 14th day of August 1998.




Gary Piro, Chairman

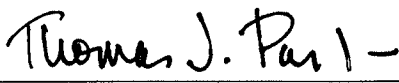
Attest: 

Gary L. Pryor, Secretary

I hereby certify that this plan consisting of this text, exhibits, and appendices is the 4S Ranch Specific Plan Amendment (SPA 95-001) and that it was adopted by the San Diego County Board of Supervisors on the 4th day of November 1998.



Greg Cox, Chairman

Attest: 

Thomas J. Pastuszka, Clerk of the Board

4S RANCH SPECIFIC PLAN

VOLUME I

PREPARED FOR :

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

NOVEMBER, 1998



4S RANCH SPECIFIC PLAN

AMENDMENT

VOLUME ONE

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**Amended July 5, 1990; SPA 89-005
Amended September 18, 1996; SPA 96-004
Amended November 4, 1998, SPA 95-001**

**SPECIFIC PLAN AMENDMENT
TO THE
634-ACRE 4S RANCH SPECIFIC PLAN**

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I. INTRODUCTION

A. OVERVIEW OF PROJECT

~~This report presents the requests of the 4S Kelwood General Partnership Ranch Company to the County of San Diego for amendment of the County General Plan and the San Dieguito Community Plan, approval of the 4S Ranch Specific Plan. , and rezoning necessary to implement those amendments. These actions will initiate the ultimate development of approximately 3,600 acres in the unincorporated area of San Diego County, with the first phase beginning in 1985. Ultimate development of the 4S Ranch will probably occur between 1992 and 2010.~~

1. LOCATION

The 4S Ranch is located in the growing North City Statistical Area (SRA-14) of San Diego County. It lies within the I-15 corridor, an inland growth area comprised of a number of communities and cities linked by similar economic characteristics and the transportation spine of Interstate Highway 15. The I-15 corridor is currently continuing in the growth pattern of the last 15 years, with development of planned communities of mixed residential, industrial, and commercial uses.

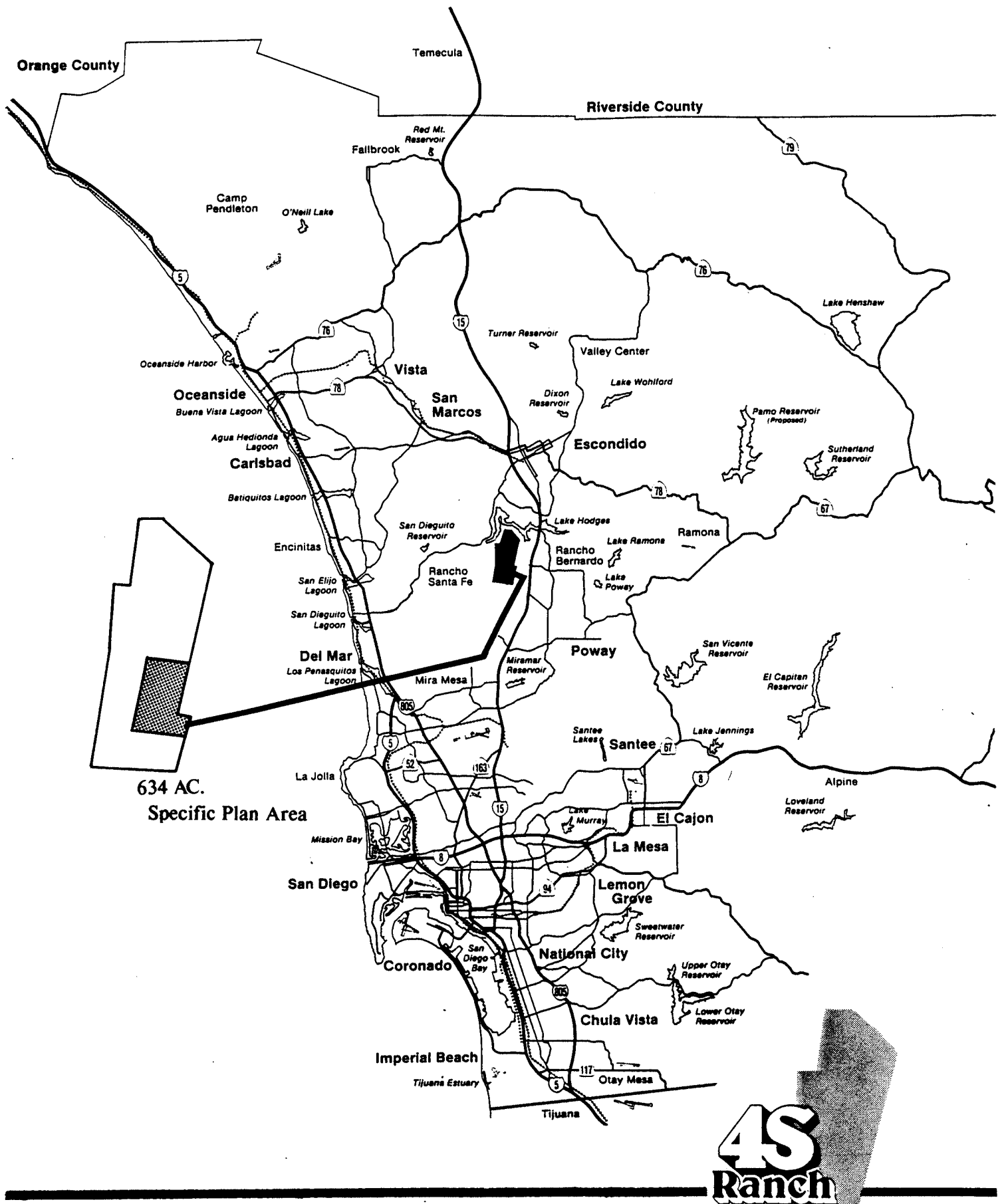
The 4S Ranch lies one mile west of I-15, bordered by Rancho Bernardo to the east, Lake Hodges to the north, Santa Fe Valley SPA to the west and Rancho de los Penasquitos, ~~La Jolla Valley,~~ and Black Mountain Regional Park Ranch to the south and southwest. Figures 1 and 2 show the location of the property within the San Diego region and the immediate vicinity.

2. PLANNING HISTORY

~~The requests and planning analysis presented in this report are the result of a planning effort which began in 1980 with the preparation of a preliminary analysis of the property. Planning continued in February 1983 when PRC Engineering, Inc. was retained to prepare a detailed site analysis and concept plan for the ranch. The plans and discussions presented in this report are a direct product of that study.~~

4S Ranch GPA-SPA84-01

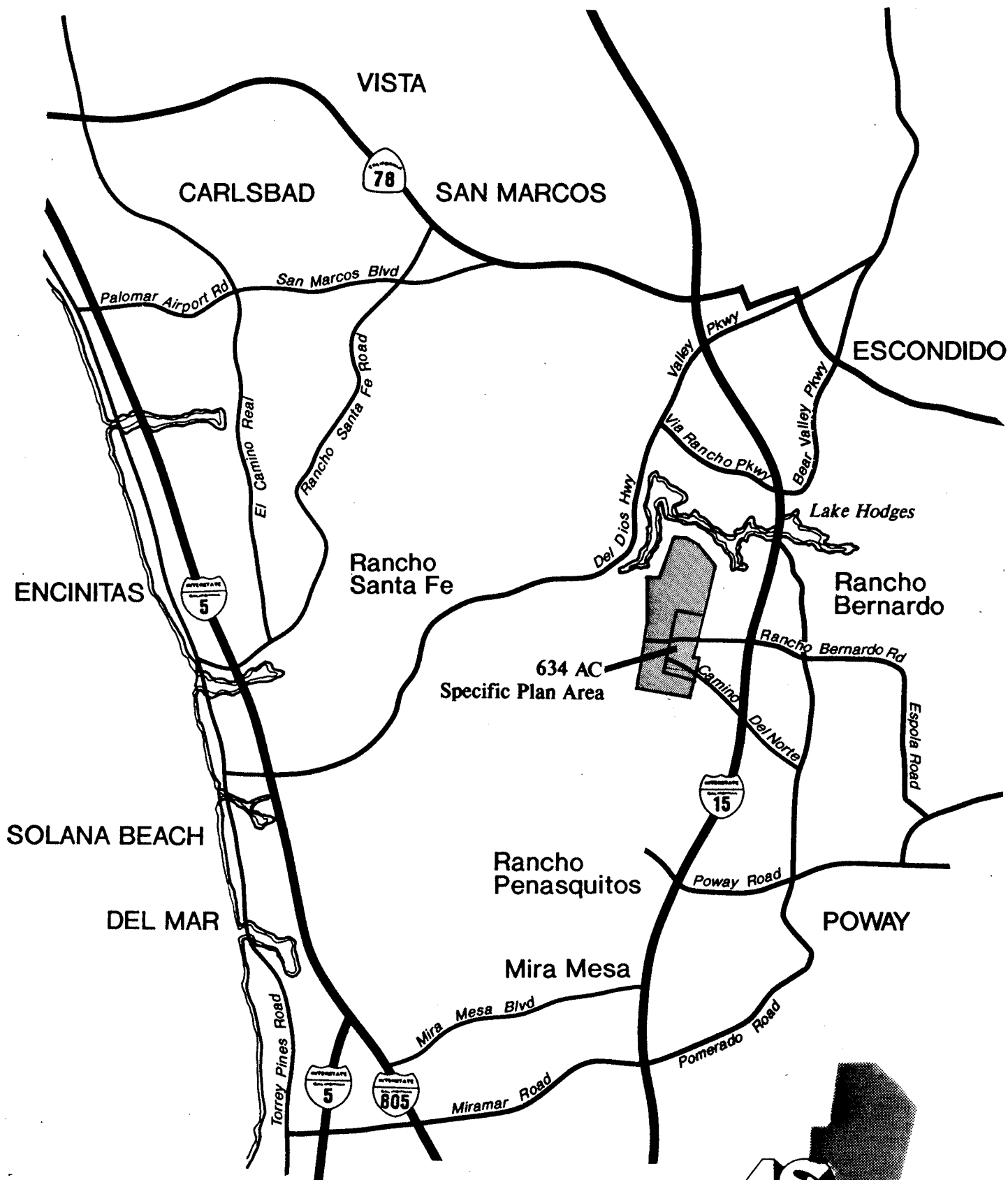
In 1984, amendments to the San Diego County General Plan and San Dieguito Community Plan related to the 4S Ranch were approved by the County Board of Supervisors. The General Plan Regional Land Use Element was amended to designate a 2,891-acre portion of the 4S Ranch, which at that point was still under a Williamson Act Land Conservation Contract, as Future Urban Development Area (FUDA). The intent of the FUDA designation is to identify land suitable for urban development at some point in the future and hold it in reserve until in-filling has occurred on adjacent parcels and services can be provided at levels necessary to support urban densities. The balance of the property (634 acres), was designated Current Urban Development Area (CUDA). The CUDA Designation is applied to areas within the County where near-term development should be directed.



Not To Scale

Regional Map

Figure 1



4S
Ranch



Not To Scale

Vicinity Map

Figure 2

The action by the Board of Supervisors in 1984 included changes to the San Dieguito Community Plan consistent with the two designations of the General Plan. The 2,891-acre portion in the FUDA Regional Category was designated (21) Specific Plan Area (Future Development). The remaining 634-acre portion corresponding to the area designated CUDA in the Regional Land Use Element was designated (21) SPA, with a gross residential density of 1.3 units per acre.

Concurrent with the General Plan and Community Plan Amendments in 1984, the Board of Supervisors also approved a Specific Plan which included the entire 3,525-acre ownership. This Specific Plan text, which provides a detailed discussion of permitted land uses, primarily focuses on the 634-acre portion. This text will be referred to as Volume I of the 4S Ranch Specific Plan Text. An accompanying text, referred to as Volume II of the 4S Ranch Specific Plan, provides a detailed discussion of the 2,891-acre portion.

Specific Plan Amendment SPA 89-005

This was the first amendment to the adopted 634-Acre 4S Ranch Specific Plan. This amendment allowed Lot 1 of Tract 4741 within the adopted Specific Plan to be developed with no more than 141 single-family detached dwelling units as an alternative to the approved 350 multi-family units currently originally designated. The minimum lot sizes for that single-family development were established at 5,000 square feet. Submitted concurrently with that amendment was a zone reclassification, a 141-lot tentative map and a site plan for the 30+ acre parcel to implement that proposal. All of these applications were approved by the Board of Supervisors in 1989.

Specific Plan Amendment SPA 96-004

This was the second amendment to the adopted 634-acre 4S Ranch Specific Plan and is known as the Christopherhill amendment. This amendment provided for the development of the 170-acre Future Planning Area and established development parameters of 400 dwelling units and 70 acres of open space. Submitted concurrently with that amendment was a zone reclassification and Tentative Map (TM 5090) for 212 detached single-family lots, minimum of 5,000 square feet, and 20 acres of mixed residential which would allow a maximum of 82 attached single-family units and 106 multi-family units. Alternatively the site could be developed with 352 detached single-family units on 92 acres. These applications were approved by the Board of Supervisors on September 18, 1996.

3- SUMMARY OF REQUESTS

~~This report represents the culmination of the current phase of planning, and the presentation of the resultant development plans and proposals for their approval by the County of San Diego Board of Supervisors. These requests would amend the County General Plan to designate approximately 3,000 acres of the 4S Ranch as "1995 - Future Urban Development Area" (FDA), and 634 acres as "1985 - Current Urban Development Area" (CUDA). Also requested is an amendment of the San Dieguito Community Plan to designate the proposed FUDA area as a Specific Plan Area with a general designation for Future Development - "SPA (Future Development)". The community plan would also be amended to designate the proposed CUDA area as a Specific Plan Area with a gross density designation of 1.3 dwelling units per acre "SPA (1.3)". Those designations request that any future development of the site will not be approved except in accordance with an adopted specific plan. This report also includes the 4S Ranch Specific Plan, which describes more detailed requirements for~~

~~development, including specific type, location, and intensity of land use, treatment of open space and environmentally sensitive resources, and the provision for circulation, public facilities, and utilities needs.~~

3. SUMMARY OF REQUEST

This is the third amendment to the 4S Ranch Specific Plan. In summary, this amendment would accomplish the following tasks:

- 1) Designate this document as Volume 1 of the 4S Ranch Specific Plan and revise the text herein to focus on the development in the 634-acre portion of the 4S Ranch designated 21-SPA (1.75); and
- 2) Delete all unnecessary references to the 2,900 acre portion of the 4S Ranch, which will be addressed in Volume II of the 4S Ranch SPA text; and
- 3) Update the text to clarify portions of the language and to reflect various project approvals and changes in circumstances which have occurred over the last several years; and
- 4) Modify the language in this text relating to Lots 18-25 (Map No. 11984) in the 4S Ranch Business Park located north of Camino del Norte and south of Thornmint Road to restrict the uses permitted on these lots to warehouse uses, or its equivalent as determined by traffic generation.

- Planning Context

~~While this report combines discussion of the amendments of the County General Plan and San Dieguito Community Plan as well as of the 4S Ranch Specific Plan, they are legally separate documents. The General Plan and Community Plan amendments set the framework for the specific plan; it is not expected that these two documents will need to be revised in connection with planning and development of the 634 acre CUDA/SPA (1.3) area. A General Plan amendment will, however, be required when it is determined that planning should proceed for the 3,000-acre concept plan area designated for "Future Development". Development of that area will not occur until after the current agricultural preserve contracts expire in 1992.~~

This Volume I Amendment to the 4S Ranch Specific Plan is being processed in conjunction with amendments to the County General Plan and San Dieguito Community Plan.

This report is prepared according to County of San Diego requirements for a large-scale project, in conformance with Board of Supervisors Policy I-59, which requires a specific plan to be prepared. This report is also prepared in accordance with Policy I-63, which prescribes guidelines for amendments to the County General Plan and associated zone reclassification.

~~In conjunction with the amendments to the County General Plan and the San Dieguito Community Plan, the adoption of the 4S Ranch Specific Plan by the Board of Supervisors, and a zone reclassification will be processed concurrently to implement the specific plan. The Master Environmental Impact Report addressing all discretionary approvals needed to implement the 4S Ranch project is presented under separate cover.~~

• Specific Plan Amendment SPA 89-005

~~SPA 89-005 has been prepared pursuant to Board Policy I-59 Large Scale Project Review, Section I(2). The changes to the adopted specific plan text involve authorizing single-family residential uses on a parcel previously designated for multi-family residential:~~

B. PHYSICAL SETTING

1. EXISTING LAND USE

~~The 4S Ranch has been singly-owned since 1937 1938 by the Ralphs family, who have used it primarily for agricultural, recreational and hunting purposes. As a result, the majority of the ranch is undeveloped and relatively undisturbed. Over 1,000 acres have at some time been cultivated with tomato or citrus crops but now lie either fallow or depleted. large groves of eucalyptus trees are scattered across the property, cover a total of 567 acres. Most of the rest of the ranch is covered with natural vegetation, primarily coastal sage scrub and chaparral, much of which is in the rejuvenation stage after a large brush fire in 1981. Vegetative coverage types are shown in Table 1. Existing uses within the 634 acre portion of the 4S Ranch include a 179-acre business park between Rancho Bernardo Road and Camino del Norte containing light industrial, support commercial, and office/professional businesses; 148.2 acres of residential uses; and, 172 acres of open space north of Rancho Bernardo Road and 70 acres of open space south of Camino del Norte.~~

**TABLE 1
VEGETATION COVER BY TYPES**

Type	Area (acres)	Percent
Coastal Sage Scrub	1,228.96	34.81
Cultivated	999.61	28.34
Eucalyptus	553.97	15.70
Chaparral	343.52	9.74
Southern California Grassland	290.77	8.24
Coastal Sage Scrub/Grassland Ecotone	75.19	2.13
Freshwater Marsh	15.15	0.43
Pond	8.41	0.24
Riparian Woodland	5.05	0.14
Disturbed	4.26	0.12
Southern Oak Woodland	2.81	0.08
TOTAL	3,527.70	100.00

~~The only man-made structures on the ranch are two dams built to retain irrigation water when the land was in agricultural use and two houses. The ranch hacienda on the northern bluffs~~

of the property and a caretaker's residence along Black Mountain Road are both associated with the current ranch use.

2. SURROUNDING LAND USE

Surrounding land uses are varied. The 634 acre portion of the 4S Ranch is bordered on the north, south, and west by Lake Hodges Reservoir; the balance of the 4S Ranch. All land between the project boundary and Lake Hodges is owned by the City of San Diego and is designated as open space in the City's General Plan. This is the 2,891-acre portion of the 4S Ranch. This portion of the ranch continues to the north to Lake Hodges Reservoir, to the west to Santa Fe Valley and Black Mountain Ranch, and to the south to Black Mountain Ranch. Directly adjacent to the eastern boundary of the site, within the City of San Diego is the business and industrial park section of Rancho Bernardo, a mixed use community with a projected population of 40,000 by 1995. The Rancho Bernardo industrial park contains 588 acres of designated industrial park uses. This area is directly adjacent to the 4S Ranch Business Park south of Rancho Bernardo Road. Nearly all of the land designated for industrial use within the Rancho Bernardo Industrial Park has been subdivided and developed. The Westwood residential area of Rancho Bernardo is adjacent on the east to the northern area of the 634-acre portion of the 4S Ranch Specific Plan Area. This residential community, designated at 5 D.U./Ac. in the Rancho Bernardo Community Plan, is separated from the 4S Ranch developed areas and buffered by the 4S Ranch dedicated open space north of Rancho Bernardo Road.

To the south a ½ to 1 mile wedge of vacant land lies between the 4S Ranch and the Rancho Penasquitos residential development. This vacant land is scheduled for development on the City of San Diego General Plan after 1995, and is part of the La Jolla Valley project area. Land to the west is currently vacant and is part of the San Dieguito Community Plan. This land has two designations: Estate, which permits one dwelling unit on two- and four-acre parcels, and Multiple Rural Use, which permits one dwelling unit on parcels of four, eight, or twenty acres. Surrounding land use is shown in Figure 3.

3. GEOLOGY AND LANDFORMS

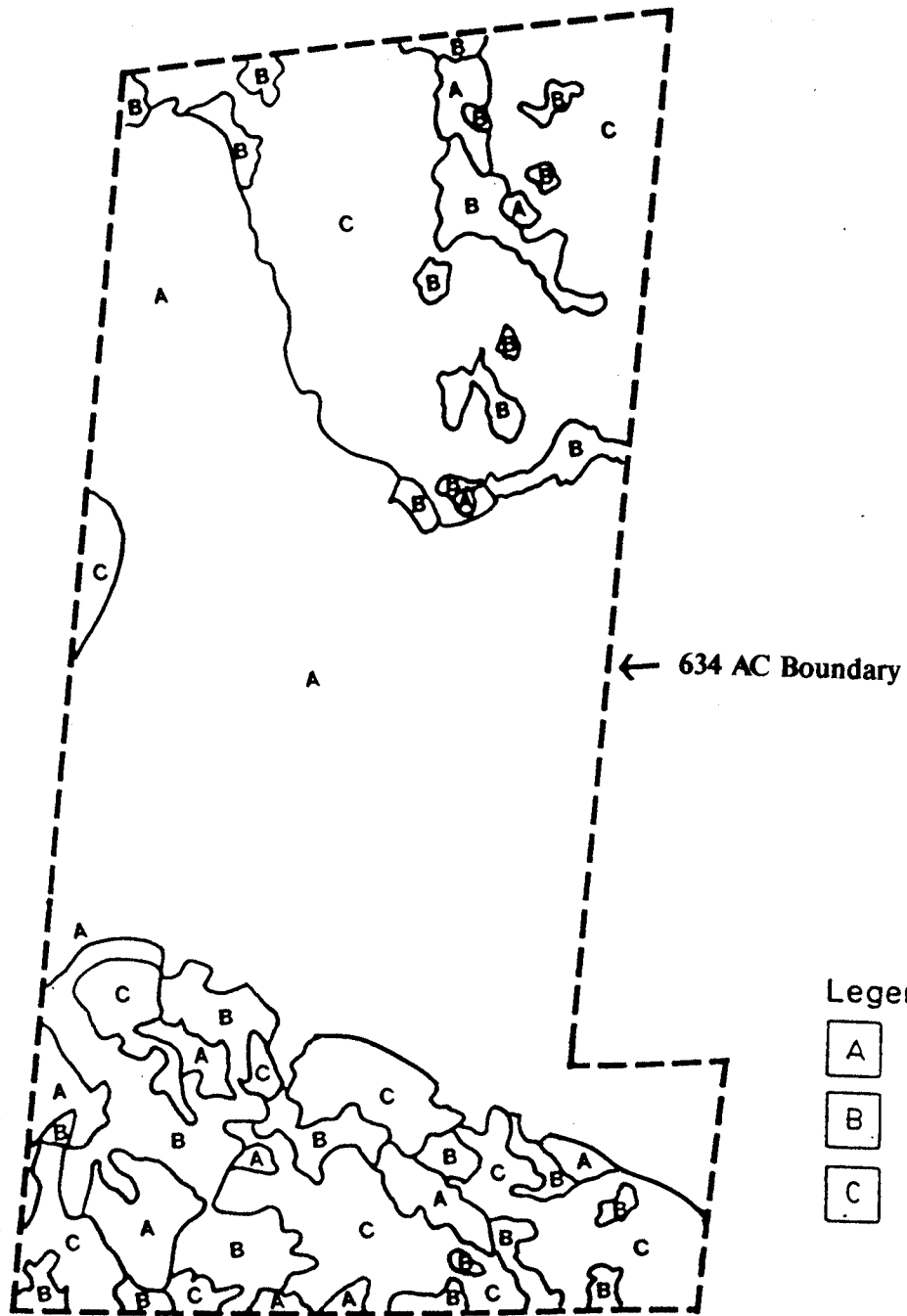
The 4S Ranch is dominated by a series of ridgelines along the eastern boundary of the property. Toward the west, the terrain drops from these eastern heights of between 900 and 1,190 feet above mean sea level (AMSL) into a series of valleys and alluvial plains. Figure 4 shows the slopes on the site.

Six geologic formations have been identified on the site. A complete discussion of the on-site geology is contained in the Environmental Impact Report which accompanies this document.

North of Rancho Bernardo Road, the land is dominated by a steep hillside rising from the road right-of-way at approximately 600 msl to an elevation of 1,190 msl. This hillside continues to the north off-site on the 2,891-acre balance of the 4S Ranch. Figure 3 shows the slopes on the site.

Between Rancho Bernardo Road and Camino del Norte the site has been fully developed and graded.

South of Camino del Norte, the land is characterized by a northwest trending ridgeline which parallels Camino del Norte. There are four small peaks ranging in elevation from 750 to 929



msl along this ridgeline. The south side of the ridgeline drops off to a plateau at an elevation of approximately 440 msl, then continues to drop into the La Jolla Valley.

4. GEOLOGY AND SOILS

~~Six soil types occur on site. They include: fill, topsoil, alluvium, slopewash, debris flow and ancient landslides. The depth of all soil types varies from 1-20 feet deep. Refer to the section on soils and geology in the accompanying Environmental Impact Report for a complete discussion of soil types.~~

The entire 634-acre portion of the 4S Ranch is underlain by Jurassic Santiago Peak Volcanics, Tertiary Stadium conglomerate, and slope wash alluvium. All of the developed portions of the site were graded utilizing appropriate soils remediation actions for development as identified in the appropriate soils reports and certified Environmental Impact Report.

5. HYDROLOGY

The seasonal rainfall in San Diego County varies from 10 inches along the coast to 32 inches inland at the higher elevations. San Diego County's Department of Public Works maintains a rain gauging station at Lake Hodges; over the last thirty years rainfall measured there averaged 13 to 14 inches a year.

The entire site is within the San Dieguito Hydrographic unit, which covers a drainage area of approximately 350 square miles. The off-site runoff from the 4S Ranch does not flow into either of the two major surface water storage facilities within this hydrographic unit.

All runoff from the 634-acre portion of the 4S Ranch eventually discharges into San Dieguito River, below Lake Hodges, lagoon. The northern portion of the site drains first into Lake Hodges Reservoir while the southern portion drains through La Jolla Valley and Lusardi Creek directly to San Dieguito Lagoon.

~~On-site, the wide, flat alluvial valley in the center of the property has permitted the formation of a wide flood plain rather than a single drainage channel. The meandering pattern of runoff through this area slows the rate of discharge and, when coupled with geologic conditions which limit groundwater percolation, create a situation of heavy saturation across the valley.~~

6. BIOLOGY

~~The majority of the property is currently undeveloped and relatively undisturbed. A complete discussion all vegetative cover is included in the accompanying EIR.~~

~~A fire in 1981 burned much of the chaparral and thinned the eucalyptus woodlands. The coastal sage scrub is resprouting after the 1981 fire and the grassland is increasing due to elimination by the fire of competing communities. Ten sensitive plan species have been identified on-site. Because of the high quality and diverse types of habitats, the wildlife population on-site is high. Preservation of significant areas of open space is included in this specific plan in order to preserve some of the sensitive biological resources and to maintain habitat viability.~~

Within the 634-acre portion of the 4S Ranch discussed in this text, biological resources are located in three distinct areas. North of Rancho Bernardo Road is a 156-acre open space

lot/easement. This is adjacent to other biological resource areas to the north within the 2,891-acre portion of the 4S Ranch. Biological resources within this open space lot/easement consist mainly of coastal sage scrub and chemise chaparral.

Within the 4S Ranch Business Park between Rancho Bernardo Road and Camino del Norte, there are two biological resources located within existing open space lots which form an open space corridor through the business park. The first is a small patch of San Diego thornmint (*Acanthomintha ilicifolia*), a State of California endangered plant species, located on approximately 400 s.f. of open space Lot 64 at the eastern end of the open space corridor. The second is the riparian corridor itself. This corridor was revegetated and enhanced pursuant to an Army Corps of Engineers 404 Permit issued concurrently with development of the business park to mitigate for impacts associated with that construction.

The third area with biological resources is a 170-acre parcel located south of Camino del Norte. Vegetation communities on the 170 acres include coastal sage scrub, perennial grasslands, non-native grasslands, intermittent drainages and disturbed habitats. Much of the site has been previously disturbed by prior agricultural operations and the construction of a 10 million gallon reservoir tank.

7. CULTURAL RESOURCES

~~The 4S Ranch was originally part of the Rancho San Bernardo, granted by the Mexican governor of California in 1842 to Joseph Snook. After Snook's death, the ranch was divided and passed through many different owners.~~

~~In 1915-1916, the 4S Ranch was part of a purchase by the Santa Fe Railroad. The railroad company planted tracts of eucalyptus trees and created Lake Hodges Dam to provide irrigation water for the eucalyptus trees planted in Rancho Santa Fe. The house which overlooks the lake, built during the early 1900's, is neither old enough nor has significant architectural features to be included on the National Register of Historic Places.~~

~~An Archaeological field surveys of the 4S Ranch resulted in the discovery of 34 previously unknown sites within the 634-acre portion of the 4S Ranch discussed in this text. All have been registered with the San Diego Museum of Man. All of these sites, except Site W-3371 located south of Camino del Norte, were either found to be not significant or were mitigated through data recovery programs pursuant to the certified EIR at the time of construction of the 4S Ranch Business Park and residential parcels north of Rancho Bernardo Road. A subsequent evaluation of Site W-3371 was conducted and submitted to the County by Brian F. Smith and Associates in April, 1988. That site was found to be lacking any potential for future research. The artifacts discovered do not indicate any major resource site on the property. The majority of the sites appear to have been used as food gathering places. Appropriate measures will be taken to mitigate the value of these sites prior to any development.~~

C. PROJECT DESCRIPTION

~~The 4S Ranch project is comprised of a number of related component parts. The amendment of the County General Plan, the amendment of the San Dieguito Community Plan, and 4S Ranch Specific Plan, and zoning designations to implement the specific plan, are described in detail in this report.~~

This is the third amendment to the 4S Ranch Specific Plan. This amendment proposes to modify the form and to some extent the substance of the text, in addition to changing the land use on two of the parcels within the 634-acre area covered by the text.

The first proposed change is the identification of this text as "Volume I" of the Specific Plan text. As "Volume I", the text will have as its primary focus the regulation of land uses on the 634-acre area identified in the San Dieguito Community Plan as 21-SPA (1.75). The text will also continue to include discussion regarding the original (SPA 84-01) approvals, as well as the first amendment (SPA 89-05), and second amendment (SPA 96-004).

The second proposed change to this text is the modification and/or elimination of many of the references to the 2,900 acre portion of the 4S Ranch, which will now be discussed in the new "Volume II" of the Specific Plan text. Certain references to the 2,900-acre area have been retained, where it is likely to assist in understanding the evolution of the project.

The third proposed change relates to Lots 18 through 25 within the 4S Ranch Business Park. The text is proposed to be modified to restrict the uses on these lots to warehouse uses, or an equivalent use as measured by traffic generation. An important aspect of this restriction is the reduction in the parking standards for the facilities on these lots to one space per 1,000 square feet.

Finally, there are a number of other textual changes which are appropriate to clarify portions of the language, and to reflect various project approvals and changes in circumstances which have occurred since adoption of the original specific plan.

1. GENERAL PLAN AMENDMENT REGIONAL LAND USE CATEGORY

Development of the 4S Ranch as proposed in the 4S Ranch Specific Plan required an amendment to the County of San Diego General Plan Regional Land Use Element. That element defines the regional urban pattern to assure orderly and efficient growth and the provision of public facilities and services. The regional land use categories are designed to provide a phased regional development strategy consistent with growth management policies.

Figure 5 ~~4~~ illustrates the ~~proposed amendments to the currently adopted~~ General Plan Regional Land Use Element Map for the 4S Ranch property. ~~The currently designated Environmentally Constrained Area, approximately 3,000 acres of the ranch, would be redesignated 1995-Future Urban Development Area (FUDA). This designation holds the land in reserve for future development at some time before the year 1995. Under this designation development is permitted only on parcels with a minimum size of 10 acres. The intent of the FUDA designation is to guarantee that development does not occur until infilling occurs on adjacent parcels and services can be provided at levels necessary to support urban densities. This designation is appropriate for the majority of the 4S Ranch which will remain under Williamson Act Agricultural Preserve Contract.~~

The 634-acre portion of the 4S Ranch ~~shown on Figure 5 as Estate Development Area~~ could ~~be is~~ designated as 1985-Current Urban Development Area (CUDA) on the Regional Land Use Map. The CUDA designation is applied to areas within the County where near-term urban development ~~should is to~~ be directed. Specific types and intensities of land uses permitted are governed by the San Dieguito Community Plan and, in this case, by the 4S Ranch Specific Plan.

The Current and Future Urban Development Area categories, taken together, constitute the Urban Development Area of the San Diego County General Plan. Urban levels of development can be expected to occur within the Urban Development Area during the term of the County General Plan, ~~through the year 1995.~~ The outer boundary of the Urban Development Area constitutes the Urban Limit Line on the Regional Land Use Map and on community plan maps. ~~The 4S Ranch General Plan Amendment and Specific Plan requires amending the Urban Limit Line to include the 3,600-acre 4S Ranch. Both the 634-acre and 2,891-acre portions of the 4S Ranch are within the Urban Limit Line.~~

2. COMMUNITY PLAN AMENDMENT DESIGNATION

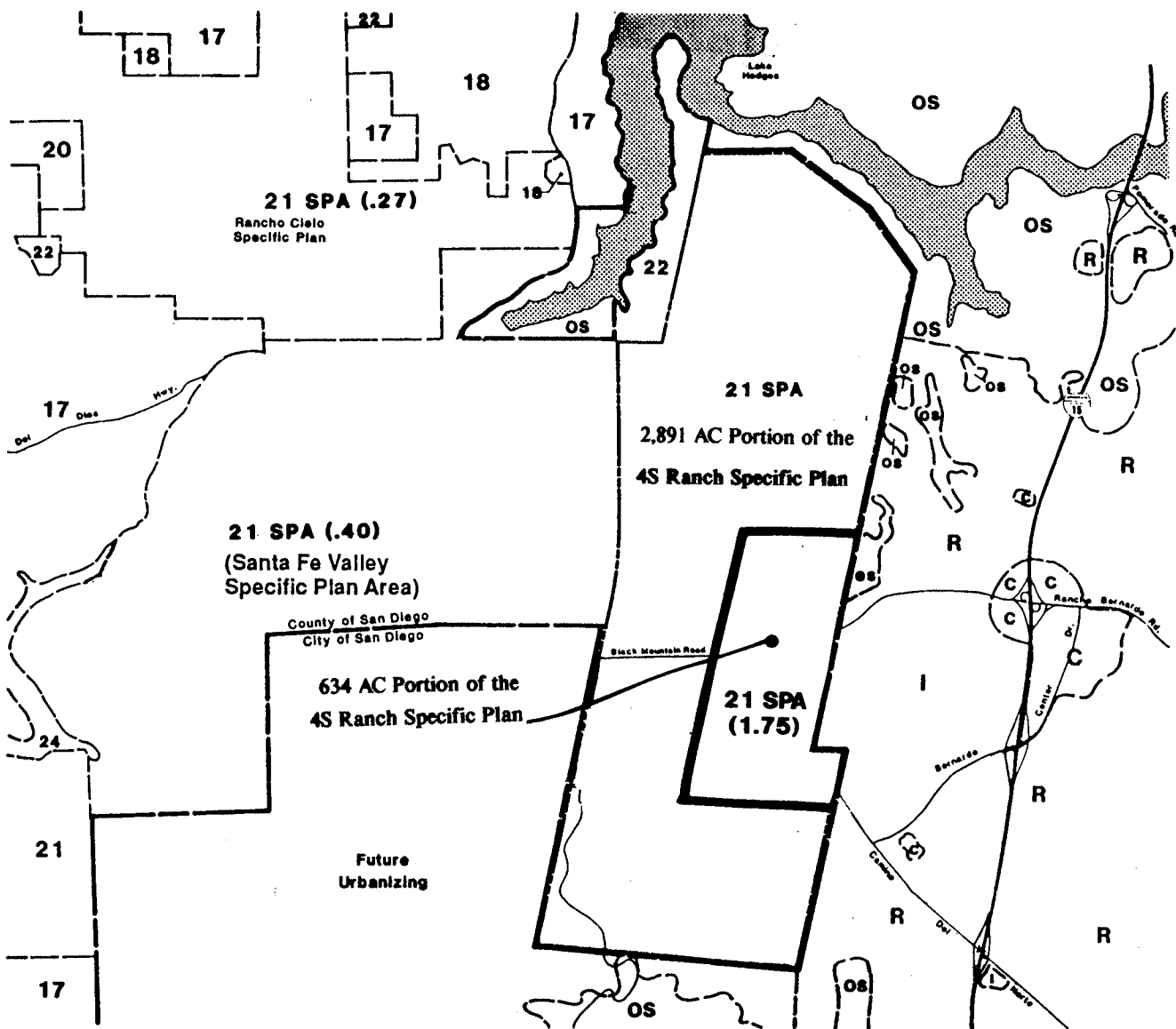
The County General Plan defers land use designations to the community or subregional plans for the area. In the case of the 4S Ranch, the San Dieguito Community Plan designates the locations, types, and intensities of land use, as shown in Figure 5. ~~Approval of the 4S Ranch Specific Plan would require amendment of the San Dieguito Community Plan as illustrated in Figure 6.~~

~~The proposed community plan amendment for the 4S Ranch would place the entire ranch in the designation is designated~~ (21) Specific Planning Area in the San Dieguito Community Plan. The SPA designation requires all development to be in accordance with a specific plan. That specific plan must be consistent with an overall density, which is indicated on the community plan.

~~The 4S Ranch amendment of the San Dieguito Community Plan further divides the ranch into two designations. The 2,8913,000-acre portion majority of the ranch would be is designated (21) SPA (Future Development). This is the portion of the ranch which is under Williamson Act contract as an agricultural preserve until the year 1992. It is also the portion which would be designated as Future Urban Development Area on the County Regional Land use Map. Because of the long-term nature of development of this area, appropriate densities for such a large site cannot be determined at this the time. The designation SPA (Future Development) is consistent with the Regional land Use FUDA designation, and indicates that an amendment of the 4S Ranch Specific Plan will be necessary before development can occur in that area.~~

~~When specific planning studies are conducted at that time, residential densities will be determined. It will also be necessary at that time to amend the community plan to designate an overall density.~~

The remaining 634-acres portion of the 4S Ranch Specific Plan Area makes up the area in which development ~~will be initiated between 1985 and 1990~~ has commenced. The proposed San Dieguito Community Plan amendment ~~would~~ designates this area as (21) Specific Planning Area with a gross residential density of 1.75 units per acre. That designation ~~would~~ allows development in accordance with an the adopted 634-acre 4S Ranch Specific Plan. with a maximum of 800 residential units. This proposed amendment to that specific plan would not affect the adopted community plan designation or adopted residential density.



**San Dieguito
Community Plan Designations**

- 17 Estate
- 18 Multiple Rural Use
- 20 Agricultural Preserves
- 21 Specific Plan Area
- 22 Public/Semi-Public
- 24 Impact Sensitive Area

City Designations

- R Residential
- I Industrial
- C Commercial
- OS Open Space



No Scale



Land Use Designations

**4S
Ranch**

Figure 5

3. 634-ACRE SPECIFIC PLAN SP-84-01 AREA

The 4S Ranch meets the definition of a large scale project (LSP), according to Board of Supervisors Policy I-59. That policy requires implementation of a large scale project with a specific plan for any development within five years, and a general concept plan for the remaining area. This report, "4S Ranch Specific Plan Volume I," serves as the specific plan ~~and concept plan~~ for the 634 acre portion of the 4S Ranch. ~~A separate report, "4S Ranch Specific Plan Volume II," serves as the specific plan for the 2,891-acre portion of the 4S Ranch.~~

• Concept Plan Area

~~The concept plan for the development of the 4S Ranch is included in the pocket in the back of this report. Approximately 3,000 acres of the ranch corresponding with the General Plan FUDA designation and the community plan SPA (Future Development) designations, are held in reserve for future development. While precise planning for this area will not be conducted until after 1990, it is anticipated that future plans will include a variety of residential densities and neighborhood services as well as large areas of open space.~~

• Specific Plan Area

The adopted 4S Ranch specific plan land uses for the 634-acre area ~~to be developed from 1985 to 1990~~ is included in the rear pocket of this report. ~~Land uses for the specific plan are shown in table-2.1.~~

Table 2 1
ADOPTED SPECIFIC PLAN LAND USES

<u>Use</u>	<u>Acreage</u>	<u>Percentage</u>	<u>Max. Bldg. Area or Units</u>
Residential	148.2	23.3	1,110 DU
Office/Professional	14	2	300,000 SF
Support commercial 6	1		
Light Industrial/ <u>Warehouse</u>	159	25	3,015,000 SF
Open Space	242	38.2	
Roads	62.8	10	
Water Tank	<u>2</u>	<u>.3</u>	
	634	100	

4. SPECIFIC PLAN AMENDMENT SPA 89-005 AND SPA 96-004

~~This is an~~ Specific Plan Amendment, SPA 89-005, was the first amendment to the adopted 634-Acre 4S Ranch Specific Plan. This amendment ~~will~~ allowed lot 1 of Tract 4741 RPL within the adopted Specific Plan to be developed with no more than 141 single-family detached dwelling units as an alternative to the approved 350 multi-family units ~~currently~~ originally designated. The minimum lot sizes for the single-family development ~~is~~ was 5,000 square feet. Submitted concurrently with the amendment ~~is~~ was a zone reclassification, a 141-lot tentative map and a site plan for the 30+ acre parcel to implement the proposal.

The Specific Plan Amendment 96-004 was the second amendment to the adopted 634-acre 4S Ranch Specific Plan and is known as the Christopherhill amendment. This amendment provided for the development of the 170-acre Future Planning Area and established

development parameters of 400 dwelling units and 70 acres of open space. Submitted concurrently with that amendment was a Zone Reclassification and Tentative Map (TM 5090) for 212 detached single-family lots, minimum of 5,000 square feet, and 20 acres of mixed residential which would allow a maximum of 82 attached single-family units and 106 multi-family units. Alternatively, the site could be developed with 352 detached single-family units on 92 acres. These applications were approved by the Board of Supervisors on September 18, 1996.

• Background and Justification

~~In 1984, the San Diego County Board of Supervisors unanimously adopted the 4S Ranch Specific Plan. The overall density within the 634-Acre Specific Plan Area, as stipulated in the San Diego County General Plan, the San Dieguito Community Plan and the 4S Ranch Specific Plan, is 1.3 dwelling units per acre. The residential element of the adopted 4S Ranch Specific Plan calls for the development of a total of 800 multi-family units, consistent with the overall density designation, on two parcels in the northwest portion of the Specific Plan Area. One parcel (Lot 1 of Tract 4741) is zoned R-V-15 and designated for 350 units. The other parcel (Lot 2 of Tract 4741) is zoned R-V-20 and designated for 450 units. The multi-family housing categories were considered appropriate since the designated residential areas are adjacent to the business/industrial park use. These initial higher density residential projects would ultimately be balanced with a mix of other residential types when the 2,891-Acre Future Urban Development Area (FUDA) portion of the 4S Ranch is developed. Additionally, consideration was given to providing appropriate housing opportunities for the industrial park employees, thereby reducing automobile commutes.~~

~~Notwithstanding the validity of the considerations stated above, the currently adopted Specific Plan did restrict the residential types solely to multi-family types. Thus, the housing opportunities and lifestyle choices were limited. Additionally, sales activity within the industrial park reflects a shift in the user types from predominantly manufacturing and warehousing types to a higher percentage of R&D types. This shift will result in a broadening of the socioeconomic spectrum of employees to include a greater percentage of managers, engineers and other professionals. The proposed amendment to allow single-family development is both in response to this shift; and, is an effort to balance the housing opportunities in the near term as well as the long term.~~

5. SPECIFIC PLAN AMENDMENT SPA 95-001

This is the third amendment to the adopted 634-Acre 4S Ranch Specific Plan. This amendment will designate this document as Volume 1 of the 4S Ranch Specific Plan and revise the text to focus on the development of the 634-acre portion of the 4S Ranch designated 21-SPA (1.75) on the San Dieguito Community Plan. The reorganization of the text includes the deletion of most references to the 2,891-acre portion of the 4S Ranch. The text will also be modified to reflect various project approvals and changes in circumstances which have occurred over the last several years. The text will also be modified for Lots 18-25 to restrict the permitted uses to the warehouse use type, and allow a reduction in the parking standards for Lots 18-25.

5 6. ZONING

~~To implement the changes proposed to the 634-acre portion of the 4S Ranch Specific Plan and amendments to both the County General Plan and San Dieguito Community Plan, actions to~~

~~rezone portions of the ranch a rezone is~~ are required. Figure 76 indicates the necessary proposed zoning redesignations.

~~Existing zoning designations of S-88 will be retained for the concept plan area, since no development is proposed for this 3,000-acre portion of the site. Multiple-family residential designations will be is~~ is zoned R-V-15 and R-V-20, allowing a combination of residential building types at densities of up to 15 and 20 units per acre, respectively. Single-family residential designations ~~will be~~ are zoned R-S-9 allowing detached single-family units ~~with minimum lot sizes of 5,000 square feet~~. The R-S-9 zoning ~~will~~ does include the 'V' setback designator. With this designator building setbacks will be ~~established~~ resolved through the site plan review procedure. ~~The site plan shall also include a review of floor plans and a streetscape elevation to assure adequate visual and spacial separation between structures and a landscape concept plan for the slopes adjacent to the north side of Rancho Bernardo Road and the medians and westerly parkway of Alva Road. A gated entry may be permitted for single-family residential areas.~~

Lots 18-25 in the 4S Ranch Business Park will be rezoned S88 (Specific Plan) Use regulation in order to limit uses to warehouse or other land uses (such as single shift assembly or single shift manufacturing) with an equivalent traffic generation of not more than 80 ADT per acre as shown by a traffic study.

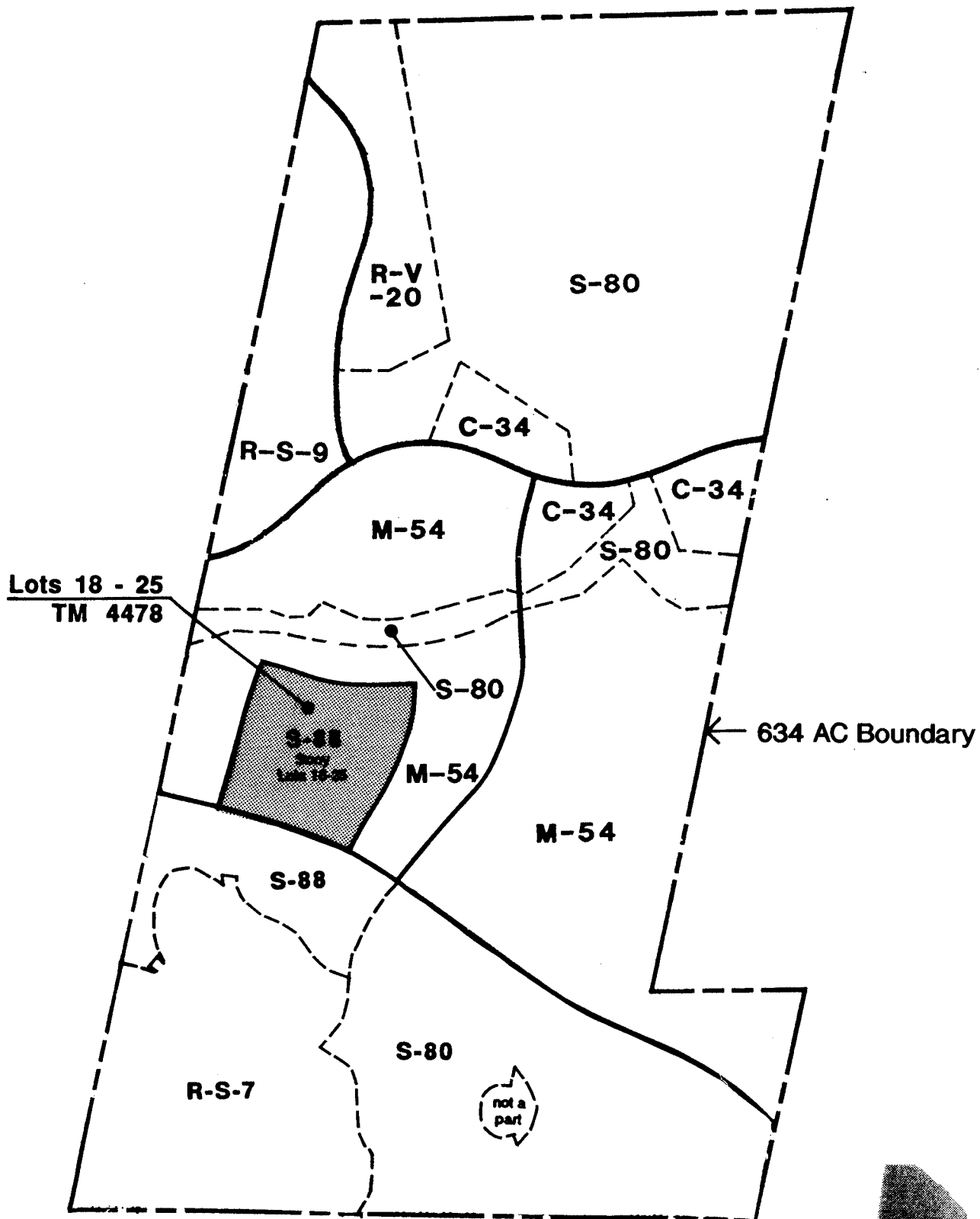
The C-34 designation for the office/professional and commercial sites is a general commercial use zone. Development within the C-34 zone requires site plan review to assure functional and visual compatibility with surrounding land uses. The M-54 industrial designation is a general impact zone for uses not having high nuisance characteristics; it also allows non-industrial uses which support industrial ones.

Open space designations will be implemented by the S-80 zone, which severely limits uses allowed to those with a minimal impact on the natural environment, and enforces that condition with a required site plan approval.

The area south of Camino of Camino del Norte is zoned RS7 (single-family residential), S-88, a "specific plan" zone, which allows those mixed residential uses specified in the Specific Plan text and S80 (open space).

6 7. SUMMARY

Table 3 2 indicates summarizes existing land use and zoning classifications within the 634-acre portion of the 4S Ranch Specific Plan.



No Scale



Proposed Zoning Designations



Figure 6

Table 3 2
Existing Designations

<u>Area</u>	<u>Size</u>	<u>General Plan</u>	<u>Community Plan</u>	<u>Specific Plan</u>	<u>Zoning</u>
Concept Plan Area	3,000 ac. ±	Future Urban Development	(21) SPA (Future Development)	Future Development	S-88
<u>634-Acre Specific Plan Area</u>	634 ac.	-Current Urban Development	(21) SPA (1.75)	Single-Family Residential Multi-Family Residential	R-S-9, R-S-7, S-88 R-V-20
				Office/Prof.	C-34
				Commercial Serv.	C-34
				Light Indus.	M-54
				Open Space	S-80

Table 4 summarizes the proposed land use and zoning classifications within the 634-acre portion of the 4S Ranch Specific Plan.

Table 4 3
Proposed Designations

<u>Area</u>	<u>Size</u>	<u>General Plan</u>	<u>Community Plan</u>	<u>Specific Plan</u>	<u>Zoning</u>
<u>634-Acre Specific Plan Area</u>	634 ac.	Current Urban Development	(21) SPA (1.75)	Single-Family Residential Multi-Family Residential	R-S-9, R-S-7, S-88 R-V-20
				Office/Prof.	C-34
				Commercial Serv.	C-34
				Light Indus.	M-54
				<u>Warehouse</u>	<u>S-88</u>
				Open Space	S-80

II. 4S RANCH LAND USE PLAN

A. LAND USE ELEMENT

The Amended Specific Plan Map is illustrated in Figure 7.

1. RESIDENTIAL LAND USE

The adopted San Dieguito Community Plan designates an overall residential density of 1.75 D.U./Ac. within the 634-acre portion of the 4S Ranch Specific Plan. This designated density equates to a total of 1,110 units. Seven hundred ten of these 1,110 units have been designated by the specific plan for development on two parcels located in the northwest portion of the 634-acre Specific Plan Area, north of Rancho Bernardo Road. The remaining 400 dwelling units have been allocated to the area south of Camino del Norte. Based on a household size factor of 2.69, the anticipated residential yield from the specific plan (1996) is 2,986 persons. (SANDAG Series VII Regional Growth Forecast - 1983 San Dieguito Community Plan Area, July, 1988).

A 27-acre residential parcel (Lot 2 of Tract 4741) is located east of Alva Road and is developed with 360 multiple-family units. Common open space and recreational areas ~~will be~~ are provided as part of multiple-family residential development plans. These areas and the design of buildings ~~will be~~ have been coordinated into adjacent development and open space ~~by the design guidelines of the urban design element of this plan.~~

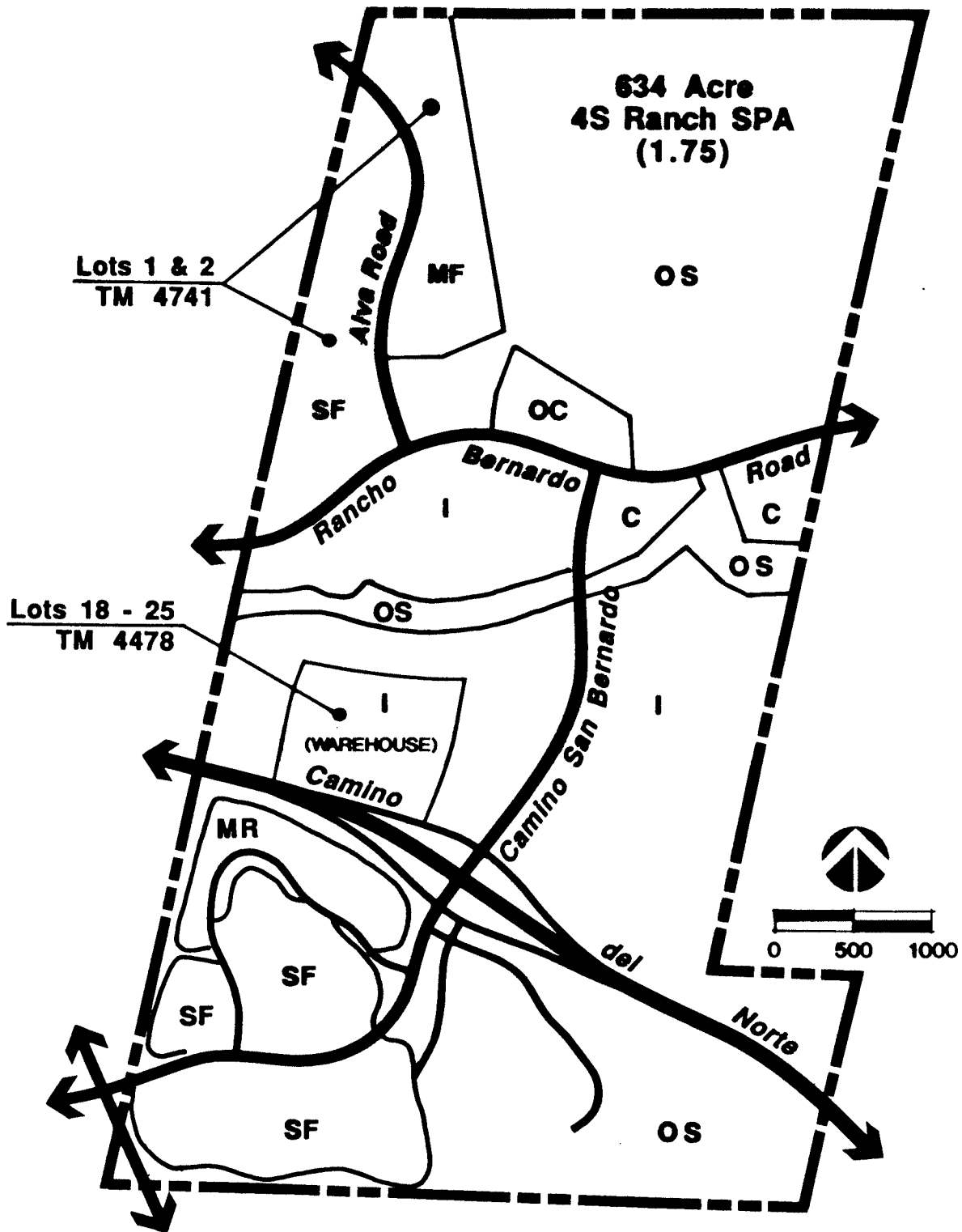
A 30-acre residential parcel (Lot 1 of Tract 4741) is located west of Alva Road. The 30-acre parcel may be developed with no more than 141 detached single-family dwellings with a minimum lot size of 5,000 square feet. Design review for siting and setbacks of structures, the streetscape elevation including treatment of roof lines and roof elevations and the landscape concept plan shall be in substantial conformance with the adopted 'V' and 'D' Designator language for both neighborhoods.

2. COMMERCIAL LAND USE

Commercial uses in the adopted 634-acre 4S Ranch Specific Plan comprise approximately 20 gross acres. Commercial sites are located along Rancho Bernardo Road, convenient to both the residential and industrial areas of the plan and the adjacent Bernardo Industrial Park.

Two seven acre sites are designated for commercial office/professional uses, one south of Rancho Bernardo Road adjacent to the Bernardo Industrial Park, the other north of Rancho Bernardo Road at its proposed three-way intersection with ~~Street A~~ Camino San Bernardo. These sites will be developed according to future site plans ~~with business and administrative support services, financial institutions, and eating establishments. Their primary uses will be office condominiums and other small offices in support of the industrial park tenants; however, residential support services may also locate there.~~ and in accordance with uses allowed under the existing zoning.

A six acre commercial site is located at the southeast corner of the intersection of Rancho Bernardo Road and ~~Street A~~ Camino San Bernardo. This site will ~~provide restaurants and small retail food stores to serve both industrial tenants and residences~~ be developed according to future site plans and in accordance with uses allowed under the existing zoning.



Legend

- 4S Ranch SPA Boundary
- C Commercial
- MF Multiple Family Residential
- MR Mixed Residential

- SF Single Family Residential
- OC Office Commercial
- I Industrial
- OS Natural Open Space

4S
Ranch

Amended Specific Plan Map

Figure 7

3. INDUSTRIAL LAND USE

~~The A~~ major element of the adopted 634-acre 4S Ranch Specific Plan is a 159-acre industrial park. This industrial park is expected to provide employment for approximately ~~6,000~~ 4,600 people. Industrial uses are situated between Camino del Norte (SA 680) and Rancho Bernardo Road where traffic associated with the employment and production characteristics of the industrial park can be accommodated.

The industrial development of the 4S Ranch is designated as a logical adjunct to the ~~neighboring~~ adjacent Bernardo Industrial Park. Occupants and businesses located in this area will be similar to those of Bernardo Park. ~~Design guidelines in the Urban Design Element of this plan will assure compatibility with adjacent development and with surrounding open space.~~ The relationship of natural open space to development of the 4S Ranch ~~will be~~ is emphasized within the industrial park by a 4,000 foot long open space corridor, which ~~will reflect~~ s the 156 acre open space lot on the north of Rancho Bernardo Road.

Lots 18-25 within the Business Park will be developed as a warehouse use type. Industrial uses other than wholesale warehousing (such as single shift assembly or single shift manufacturing) shall be permitted so long as the traffic generating impacts are less than or equivalent to the warehouse uses type of 80 ADT per acre. The parking standard for the warehouse use type shall be a minimum of one space per 1,000 square feet. This standard will supersede the parking standards contained in Section 6700 of the county Zoning Ordinance for this use only.

4. OPEN SPACE

Open spaces serve an important thematic function for development of the 4S Ranch, as well as a practical function in preserving wildlife habitats and sensitive biological areas. A total of 172 acres of the 634-acre portion of the adopted 4S Ranch Specific Plan are set aside north of Camino del Norte (SA 680) and 70 acres south of Camino del Norte (SA 680) for open space use, in two different types of open space.

A large ridge on the eastern boundary of the northern portion of the Specific Plan Area is designated for open space. This ridge provides a prevailing backdrop for ~~proposed and any future~~ development on the ranch. It visually separates the 4S Ranch from the residential areas of Rancho Bernardo and ~~will allow~~ s future development of the ranch to create an independent identity from the neighboring community. This open space area, totaling 156 acres, tapers toward the west across ridges to provide a buffer between residential areas in the Specific Plan and commercial and industrial locations.

Additional open space is provided by a natural corridor through the industrial park of the plan. This 16-acre corridor, varying from 150 to 200 feet in width, meanders 4,000 feet across the Specific Plan Area, incorporating a natural drainage course, ~~large~~ stands of eucalyptus trees, and environmentally sensitive biological resources. In addition to ~~preserving the preservation~~ of these resources, the natural beauty of this open-space corridor ~~will contribute~~ s to an identity for the industrial park. Additionally, 7.7 acres of wetland habitat have been created within this open space corridor in response to the Army Corps of Engineers and California Department of Fish and Game reviews of the wetland mitigation plan prepared for the Specific Plan Area. In this regard, both the Army Corps of Engineers 404 Permit and California Department of Fish and Game 1603 Agreement have been issued.

No changes to the designated open space are proposed in this Specific Plan Amendment.

5. AREA SOUTH OF CAMINO DEL NORTE

The 170-acre area south of Camino del Norte is allowed a maximum of 400 dwelling units. A portion of this area is subject to the S88 Specific Planning Area Use Regulations. The following uses shall be allowed for the area designated "Mixed Residential":

- a. Permitted Uses
 - (1) Residential Use Types
 - Family Residential
 - (2) Civic Use Types
 - Fire Protection Services
 - (3) Agricultural Use Types
 - Horticulture: Cultivation, Tree Crops, Row and Field Crops
- b. Permitted Uses Subject to Limitations (The number in quotes following the use type refers to a subsection of Section 2980 of The Zoning Ordinance.)
 - (1) Commercial use Types
 - Recycling Collection Facility "2"
- c. Uses Subject to a Minor Use Permit
 - (1) Minor Impact Utilities
 - Small Schools
- d. Uses Subject to a Major Use Permit
 - (1) Civic Use Types
 - Administrative Services
 - Child Care Services
 - Clinic Services
 - Community Recreation Services
 - Cultural Exhibits and Library Services
 - Group Care
- e. Residential setbacks shall be established through the Site Plan review process. Within Units 1 through 5 of TM 5090 the main building setbacks shall be as follows:
 - (1) Front yard - 20 feet from the edge of the right-of-way.
 - (2) Interior site yard - 5 feet.

- (3) Exterior side yard - 9 feet from the edge of the right-of-way.
 - (4) Rear yard - 25 feet except where the proposed residential product will be in excess of 55 feet deep in which case the rear yard setback may be a minimum of 20 feet.
- f. Within Unit 6 of TM 5090 the main building setbacks shall be as follows:
- (1) Front yard - 10 feet from edge of right-of-way except for the front of a garage which shall be a minimum of 17 feet from the edge of the right-of-way.
 - (2) Interior side yard - 5 feet.
 - (3) Exterior side yard - 10 feet from the edge of right-of-way.
 - (4) Rear yard - 15 feet.

Attached single family development within the area designated "Mixed Residential" shall be allowed a minimum lot size of 2,500 square feet and shall be subject to the "L" Height Designator.

B. CIRCULATION ELEMENT

1. STREET SYSTEM

The adopted 634-acre 4S Ranch Specific Plan Area ~~will takes~~ external access from two Circulation Element roadways ~~to from~~ the east: Camino del Norte (SA 680) and Rancho Bernardo Road. ~~(Access from Black Mountain Road, an unimproved, winding connector to the coast, is not significant.)~~ ~~Continuations~~ The recently completed construction of Camino del Norte and Rancho Bernardo Road into the 4S Ranch ~~will provides~~ access to the internal street network of the specific plan. ~~Rancho Bernardo Road will be constructed as a 4-lane major road from the existing 4-lane improvements in Rancho Bernardo to Street "A" and as a 4-lane collector from Street "A" to Street "B". Camino del Norte (SA 680) will serve as the primary access to the 4S Ranch. It will be constructed as a 6-lane prime arterial to the proposed Street "A", with grade-separated ramps at that terminus.~~

Camino del Norte (SA 680) serves as the primary access to the 4S Ranch. It is constructed as a six-lane prime arterial to Camino San Bernardo, with a grade separated interchange at that terminus. Right-of-way has been reserved for on- and off-ramps at the west side of that interchange, and for the continuation of Camino del Norte (SA 680) to the western boundary of the 634-acre Specific Plan Area. This right-of-way extension has additionally been graded as a part of the construction of Camino del Norte (SA 680).

Rancho Bernardo Road is constructed as a 4-lane major road from the existing 4-lane improvement at the eastern boundary to the western boundary of the 634-acre Specific Plan Area. At this point, Rancho Bernardo Road transitions into the existing 2-lane Black Mountain Road continuing to the west.

~~Right-of-way will be reserved for additional access ramps and continuation of Camino del Norte to the west, to serve future development of the concept plan area.~~

~~Street "A" will provide a north-south connection between the two external access streets, and will distribute trips to the industrial collector system serving the employment sector. Street "A" will be a 6-lane prime arterial. Intersections will be signalized at each of the four 4-lane major streets within the industrial park, and at Rancho Bernardo Road. The intersection of Rancho Bernardo Road and Black Mountain Road will also be signalized.~~

Camino San Bernardo provides a north-south connection between Rancho Bernardo Road and Camino del Norte (SA 680). It is constructed as a 4-lane major road. The intersections of Camino San Bernardo at Rancho Bernardo Road, Coastwood Road, Thornmint Road and Goldenbrush Street are all signalized as part of the construction. Pursuant to TM 5090, it will be extended to connect with Dove Canyon Road.

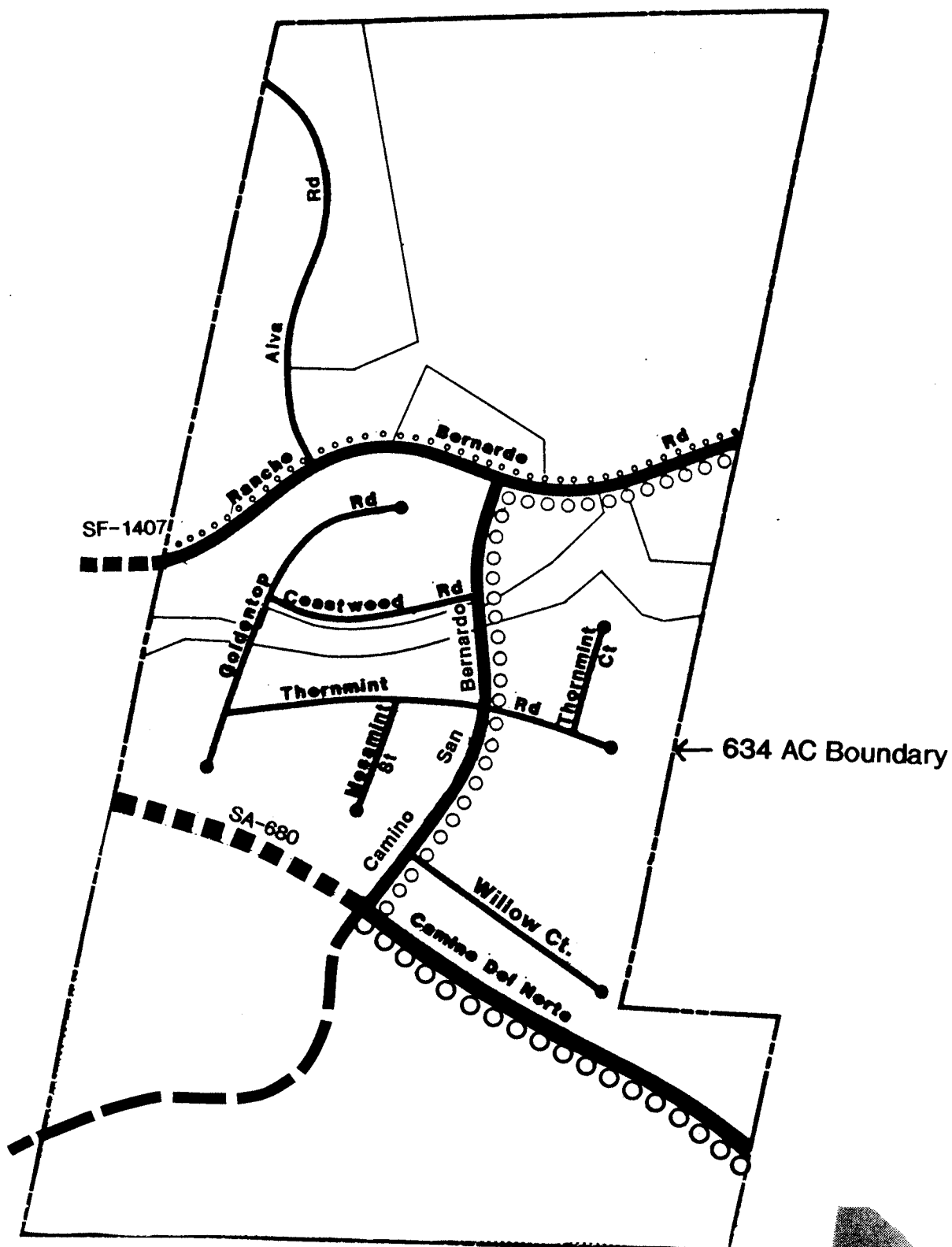
~~Black Mountain Road will provide an access link to residential areas within the specific plan from Rancho Bernardo Road. It will be built as a 4-lane collector north from the terminus of Rancho Bernardo Road. South from that point, a 2-lane collector will connect with the existing unimproved Black Mountain Road which winds its way south to Rancho Penasquitos and west to I-5.~~

Alva Road provides access from Rancho Bernardo Road to the residential areas north of Rancho Bernardo Road within the 634-acre Specific Plan Area. It is constructed as a 4-lane collector. The intersection of Rancho Bernardo Road at Alva Road is signalized.

In addition to the on-site circulation improvements noted above, major off-site circulation improvements have been implemented with the construction of Phases I and II of the adopted 634-acre 4S Ranch Specific Plan. These improvements include:

- 1/2 width construction of Camino del Norte (SA 680) from the eastern boundary of the Specific Plan Area to Bernardo Center Drive including major retaining wall construction.
- Contribution of nearly \$400,000.00 to intersection improvements at Camino del Norte (SA 680) and Bernardo Center Drive.
- Widening and completion of Rancho Bernardo Road at the off-site transition section immediately east of specific Plan boundary.

Figure 8 shows the ~~proposed~~ adopted circulation system and classifications for the 634-acre portion of the 4S Ranch Specific Plan. Table 4 ~~lists~~ summarizes the ultimate circulation improvements necessary. Construction phasing of these streets ~~will take~~ is taking place commensurate with land development. Improvement phasing will be determined according to need during tentative map review. No further improvements are anticipated.



 Prime Arterial
 Major Street
 Collector Street

 Potential Transit Route
 Bicycle Lane

No Scale



Existing Circulation System

4S
Ranch

Figure 8

TABLE 4
CIRCULATION IMPROVEMENTS

<u>Street</u>	<u>Classification</u>	<u>Lanes</u>
Camino del Norte (SA 680)	Prime Arterial	6
Rancho Bernardo Road	<u>Major</u>	<u>4</u>
{east of Street "A"}	Major	4
{west of Street "A"}	Collector*	4
<u>Street "A" Camino San Bernardo</u>	<u>Prime Arterial Major</u>	<u>6 4</u>
<u>Street "B" Alva Road</u>	Collector	4
<u>Street "C" Thornmint Ct</u>		
(west of Street "H")Thornmint Ct)	Major Collector	4
(east of Street "H")Thornmint Ct)	Collector	2
<u>Street "D" Coastwood Rd</u>	<u>Major Collector</u>	4
<u>Street "E" Goldentop Rd</u>	Collector	2
<u>Street "F" Goldenbrush Rd</u>	<u>Major Collector</u>	4
<u>Street "G" Willow Ct</u>	Collector	2
<u>Street "H" Thornmint Ct</u>	Collector	2
<u>Street "I" Mesamint Rd</u>	Collector	2
<u>Street "J"</u>	<u>Collector</u>	<u>2</u>
<u>Black Mountain Road</u>		
{to specific plan boundary}	Collector	2

* ~~Constructed as 4-lane collector with adequate R.O.W. for eventual widening to 4-lane major standards.~~

2. PUBLIC TRANSIT

The area immediately to the east and south of the ranch is served by three San Diego Transit Corporation bus routes and one North County Transit route. Both Rancho Bernardo and Rancho Penasquitos have major transfer points where routes serving the area connect on a scheduled basis. The opportunity for a transit loop from any or all of these routes, through the industrial park of the Specific Plan, allows access to the regional transit system. Development of the 4S Ranch ~~will be~~ was coordinated with San Diego Metropolitan Transit District Corporation and North County Transit to provide appropriate transit stops ~~to serve the proposed development as determined by those authorities.~~

No change to the adopted public transit system within the 634-acre area is proposed in this Specific Plan Amendment.

3. BICYCLE TRAILS BIKEWAYS

The adopted 634-acre portion of the 4S Ranch Specific Plan designates the three-quarter mile distance of Rancho Bernardo Road ~~and Black Mountain Road~~ within the plan area as a bicycle lane, connecting the community of Rancho Bernardo with the industrial and residential uses of the 4S Ranch. At Rancho Bernardo, this bike lane ~~will tie~~ into the County-wide bicycle network. Further extensions to the west ~~will be determined with planning of the concept plan area~~ are identified in the 4S Ranch Specific Plan Volume II.

No change to the adopted bikeways system within the 634-acre area is proposed in this Specific Plan Amendment.

C. PROVISION OF PUBLIC FACILITIES AND SERVICES

1. WATER

~~The 4S Ranch is not currently within any water district service area and therefore an annexation proposal has been made to the Olivenhain Municipal Water District (OMWD). The property which is currently proposed for development would also be required to annex to the San Diego County Water Authority (CWA) and the Metropolitan Water District of Southern California (MWD). All annexations will have to be approved by LAFCO.~~

~~In brief, the relationship between the three agencies are as follows. The MWD is the wholesale agency for the Southern California region and distributes water to regional agencies. CWA acts as a wholesale agency between the MWD and local water agencies and also has responsibility for aqueduct repair and maintenance. OMWD is one of many individual retail water organizations in San Diego County which supply water within their district boundaries. The 4S Ranch lies within the sphere of influence of the OMWD.~~

The entire 3,525-acre 4S Ranch has been annexed to the Olivenhain Municipal Water District (OMWD), the County Water Authority, and the Metropolitan Water District.

Sufficient water capacity from OMWD exists in the present MWD/CWA facilities 15,000 feet San Diego Aqueduct west of the 4S Ranch. It is estimated that a 54" diameter Ramona waterline is constructed across the 4S Ranch along Rancho Bernardo Road. The Olivenhain Municipal Water District is drawing water from this waterline to service the 4S Ranch and other service areas. Service is being provided from a connection station located approximately 400 feet west of the western boundary of the 4S Ranch property at Artesian Road. An 18" line has been extended from that connection station to a new 10 million gallon (MG) 4S Ranch reservoir site south of Camino del Norte (SA 680) within the 634-acre portion of the 4S Ranch Specific Plan Area. This extension would be financed and built by the 4S Ranch. However, a reimbursement agreement could be established by OMWD whereby any future development drawing water from that extension would pay a fair share of the cost of construction. 5 MG are currently allocated for use within the 634-acre area. The remaining 5 MG provide additional capacity for OMWD. The reservoir tank is tentatively estimated to require a capacity of at least 3 million gallons; it will be located north of the proposed extension of Rancho Bernardo Road. The reservoir would be located above ground and would have capacity sufficient for fire protection and domestic residential, commercial and industrial uses. All on-site water service facilities will be have been financed and constructed by the 4S Ranch Partners. The precise requirements for the needed on-site and off-site facilities will be have been set by the OMWD. during the tentative subdivision map approval process. OMWD will also provides continued quality control inspections and improvements.

No change to the adopted water system within the 634-acre area is proposed in this Specific Plan Amendment.

2. SANITATION

~~The 4S Ranch is not within any sewer district service area. The City of San Diego's Point Loma Sewage Treatment Plant is operating at capacity and the only other treatment facility in the area is the Hale Avenue Plant in Escondido, which only has sufficient capacity for planned growth in the City of Escondido and other previous commitments. Therefore, a phased on-site reclamation plant will be built for treatment and reclamation of wastewater from the Specific Plan Area.~~

~~The projected wastewater generation from the development of the 4S Ranch is based on area-specific per capita wastewater flows supplied by the Olivenhain Municipal Water District and the Leucadia Water District. Assuming that a single family residential use produces 350 gallons per day (gpd) per unit, condominium residential 300 gpd/unit, industrial 50 gpd/capita and commercial 30 gpd/capita, the average daily wastewater production from the first phase of the 4S Ranch would be 0.60 million gallons per day (mgd).~~

The 634-acre portion of the 4S Ranch Specific Plan Area is currently within the 4S Ranch County Sanitation District. The County Board of Supervisors constitute the Board of Directors of that sanitation district.

Water quality, including the level of total dissolved solids, ~~will be~~ is regulated by the State of California's Regional Water Quality Control Board (RWQCB). The RWQCB ~~will also determined~~ the treatment and disposal levels required for reuse.

~~The wastewater reclamation process will include three facilities: a 0.6 mgd aerated lagoon system; a 75-acre spray irrigation area; and a 190 acre-foot storage disposal pond. The aerated lagoon system will provide preliminary wastewater treatment, with 2.3 acres of lagoons at an average depth of 10 feet and a 2-acre polishing pond. The lagoon system will be divided into four phases to facilitate annual maintenance and dredging. The 190 acre-foot disposal pond will provide 90-day fail safe storage. The 75-acre spray irrigation area is sufficient to distribute the treated water produced by the Specific Plan Area. There appears to be sufficient spray field area to expand the plant if necessary.~~

A Major Use Permit (MUP P87-036W1) has been issued by the County for the construction and operation of a 0.6 mgd wastewater treatment and reclamation facility immediately west of the 634-acre Specific Plan Area. This MUP includes and fully describes the treatment facilities, storage reservoir, spray irrigation area, pump station and all other associated facilities.

Construction plans for the facility were approved by both the Regional Water Quality Control and the 4S Ranch County Sanitation District. Construction permits for the first phase of the Wastewater treatment and reclamation facility were issued by the County and construction has been completed on the facility. The facility will ultimately be expanded as need requires. All wastewater treatment and reclamation facilities have been financed and constructed by the 4S Partners.

Public access to the wastewater treatment and reclamation facility is restricted. will be prevented to the lagoons, ponds and spray area. The entire wastewater facility will be is operated by either a the 4S Ranch County Sanitation District which is responsible for public access and safety issues. or the Olivenhain Municipal Water District. More precise requirements for the on-site wastewater facilities for the Specific Plan Area will be set by the

~~RWQCB, the County of San Diego and the Olivenhain Municipal Water District during the tentative subdivision map and Major Use Permit approval process. Future development of the 3,000-acre concept plan area will require planned expansion of the proposed plant, or tie-in to a region-wide treatment and disposal system.~~

Proposed modifications and expansions of the treatment facilities and method of effluent storage and disposal to serve the 2,891-acre portion of the 4S Ranch Specific Plan Area are described in Volume II of the 4S Ranch Specific Plan text.

3. SCHOOLS

The 4S Ranch lies within the jurisdiction of the Poway Unified School District, which provides educational facilities for grades K through 12. ~~The Poway Unified School District Long Range Master Plan anticipates a 10-year increase of 1,000 dwelling units and 2,300 residents for the 4S Ranch.~~ The district has indicated that students generated from this the development of the 634-acre 4S Ranch Specific Plan Area will be accommodated by existing schools within the Rancho Bernardo and Rancho de Los Penasquitos areas.

County Board of Supervisors Policy I-43 requires that a letter of school facilities availability be issued by the school district before any residential project is approved. The letter of availability shall certify that adequate facilities will be available concurrent with need. The Poway Unified School District has issued letters of availability for development within the 634-acre 4S Ranch Specific Plan Area. ~~will enter into a secured agreement with the development to guarantee the provision of facilities. After such an agreement is signed and secured, a letter of availability for school services will be issued. This procedure insures that the school district has appropriate resources to provide schools for the residents of any project.~~

~~Concurrent terms of financial assistance required to secure a development within the Poway Unified School District, as they apply to the proposed development of the 4S Ranch, are as follows:~~

All residential, industrial, and commercial land uses within the 634-acre portion of the 4S Ranch Specific Plan Area pay state mandated school fees concurrent with the issuance of building permits.

Refer to Volume II of the Specific Plan text for a further discussion of school facilities within the 2,891-acre portion.

<u>Dwelling Type</u>	<u>Fee Per Unit</u>
Single-Family Detached	\$5,160
Single-Family Attached (2+ bedrooms)	\$2,075
Single-Family Attached (1 bedroom)	\$1,580
Multiple-Family (2+ bedrooms)	\$1,580
Multiple-Family (1 bedroom)	\$610

4. POLICE PROTECTION

The 4S Ranch lies within County Sheriff's Department master beat 22 419, ~~which is assigned to the Encinitas Station on El Camino Real. Due to the geography of the area and the lack of a direct improved road from Encinitas to the ranch, Sheriff's services will be dispatched from~~

~~the Poway Station at Pomerado Road until better access from the west is available. Response time from the Poway station will be 10 minutes for priority calls and 18 minutes for non-priority calls. The Sheriff's Department has had indicated that the anticipated increase in population as a result of the development of the 634-acre portion of the 4S Ranch Specific Plan will would not have a significant impact on law enforcement services for the area. at this time However, if, in combination with other developments, the population for the beat exceeds 13,275 residents for every 24-hour patrol unit, additional patrol units or deputies will would be required. Ultimate development of the ranch 2,891-acre portion of the 4S Ranch Specific Plan could justify assigning a 24-hour patrol to cover the combined areas of Rancho Santa Fe, and Santa Fe Valley, the 4S Ranch and other developed or developing communities. That patrol would be dispatched from the Encinitas station.~~

5. FIRE PROTECTION

~~The 4S Ranch is not currently within the jurisdiction of any fire district. it is designated as a State Responsibility Area, and present protection is provided by the California Department of Forestry for any fire occurring in the wildland. Urban development of the ranch will require annexation to a fire protection district.~~

~~The Rancho Santa Fe Fire Protection District can provide protection to the 4S Ranch. Annexation to the district would be required, as shown in Figure 9. This annexation would require LAFCO review and approval. Paramedic services can also be optionally provided if the ranch annexes to County Service Area 17.~~

~~The Rancho Santa Fe Fire Protection District has indicated that a fire station will need to be constructed on-site in order to serve the 4S Ranch. Negotiations with the District during tentative map processing stages will resolve fire protection needs as development occurs.~~

The entire 3,525-acre 4S Ranch has been annexed to the Rancho Santa Fe Fire District. It was determined at that time that a new on-site fire station would be required to serve the project based on the length of emergency response times from the stations in the vicinity. By agreement with the Rancho Santa Fe Fire District, a Fire Safety Master Plan has been formulated and approved for the 634-acre Specific Plan Area. As a part of that Master Plan, a new fire station site of approximately 1.2 acres has been reserved on Rancho Bernardo Road immediately adjacent to the western boundary of the 634-acre portion of the Specific Plan Area. Initially, the fire district will operate a temporary station. A permanent facility will ultimately be constructed in conjunction with development of the 2,891-acre portion of the 4S Ranch. Refer to Volume II of the 4S Ranch Specific Plan text for a further discussion of the permanent fire station facility. At this time, the construction of the temporary station has been completed and the station is operational.

6. SOLID WASTE MANAGEMENT

The County of San Diego does not provide collection service in the unincorporated area. Instead, under the current Solid Waste Ordinance, the unincorporated area is divided into 27 permit areas which coincide with the sub-regional census tract areas for the County. Private collectors are issued permits within each designated area.

The 4S Ranch collection would be Solid waste collection from all uses within the 634-acre portion of the 4S Ranch Specific Plan Area is being provided by the Mashburn Sanitation Company on a non-mandatory basis. (The 4S Ranch could form its own solid waste collection

~~system if a permit were obtained from the County; however, it is currently expected that the existing company would be used.)~~

~~All solid wastes would be disposed of at the San Marcos sanitary landfill. For each industrial and commercial use on the 4S Ranch, a three cubic yard bin would cost \$41.00 a month for weekly pick-up. The cost for each residential unit would be \$6.60 a month for curbside pick-up.~~

7. ENERGY

San Diego Gas and Electric has long anticipated growth in the 4S Ranch area, and gas and electric facilities ~~can be~~ have been made available. Two untapped electrical circuits ~~have had~~ been reserved at the Bernardo Substation to serve development to the west, including the 634-acre 4S Ranch Specific Plan Area. SDG&E's gas system has reserve capacity at Rancho Bernardo Road sufficient to serve the load required for the specific plan land uses. Additional gas is available within Bernardo Center Drive, and can be extended to the 4S Ranch within the Camino del Norte right-of-way. All necessary services are currently available to serve the needs of the specific plan area. ~~Service to future development of the concept plan area will depend on the supply of fuel and other essential materials to SDG&E, and on it receiving government authorization to construct the facilities required.~~

Additionally, a complete underground power and gas line distribution network has been constructed throughout the 4S Ranch Business Park and northern residential parcels within the 634-acre portion of the 4S Ranch Specific Plan Area.

8. TELEPHONE

Pacific Bell has indicated ~~that it expects to be able~~ committed to provide telephone service to all future development in the general areas of Rancho Bernardo and Rancho Santa Fe, including the 4S Ranch.

A complete underground telephone distribution network has been constructed throughout the 4S Ranch Business Park and northern residential parcels within the 634-acre portion of the 4S Ranch Specific Plan Area.

~~D.~~ URBAN DESIGN ELEMENT

~~In addition to Zoning and Subdivision regulations, the 4S Ranch will be developed according to specific CC&R's to be administered by the owners of the ranch. All development, including buildings on lots sold to others, shall be subject to design criteria embodied within the CC&R's at each development increment. These criteria shall cover the following urban design categories. Design guidelines are presented for each of the following categories:~~

- ~~1. Grading and Landform~~
- ~~2. Site Planning and Setbacks~~
- ~~3. Landscaping~~
- ~~4. Energy and Conservation~~
- ~~5. Architecture and Signs~~

~~1. GRADING AND LANDFORM~~

~~Though most of the specific plan area will be retained in its natural state, the central portion of the area will be developed with industrial, office, commercial and residential uses. Development between the extension of Rancho Bernardo Road and SA 680 will be graded for fairly level pads to provide for the larger sites required for industrial and commercial use. This area will take on the character of the immediately adjacent Bernardo Industrial Park. The office and residential development located north of Rancho Bernardo Road extension will require separate design guidelines. Grading is often overlooked as a way to achieve integrated community design. In the case of the properties located north of Rancho Bernardo Road, grading becomes extremely important to the potential future development of the remainder of the 4S Ranch. The purpose of this section is to provide general grading criteria for the 4S Ranch that will protect future development.~~

~~Concepts and Guidelines~~

- ~~• Within areas north of Rancho Bernardo Road, buildings and parking areas shall be adapted to the terrain. All of these sites are backdropped by mountainous terrain. Design concepts could include terracing of buildings part way up the slope. In addition to providing views and terraced outdoor "deck" areas, this approach minimizes the visual impact of grading. In any event, sharp manufactured slope areas should be either terraced or located in such a manner that the buildings will hide the slope areas from view from Rancho Bernardo Road.~~
- ~~• Variable slope gradients should be encouraged. This is especially important for larger slopes adjacent to native areas. All graded slopes shall be landscaped. Sharp angular forms shall be rounded and smoothed to blend with the natural terrain and, where appropriate, buildings should be sited to conceal graded slopes.~~
- ~~• All cut slopes over 10 feet in vertical height should be serrated to provide a more suitable surface for revegetation.~~
- ~~• To retain the integrity of the intended grading configurations, the following guidelines should be applied:~~
 - ~~— During construction, measures should be taken to control runoff from construction sites. Filter fabric fences, heavy plastic earth covers, gravel berms or lines of straw bales are a few of the techniques which should be considered.~~
 - ~~— Grading should be phased so that prompt revegetation or construction can control erosion.~~
- ~~• The maximum slope ratio allowed should be 2:1 with the exception of side lot line slopes under 10 feet in height. A 1½:1 ratio should be allowed on these small side slopes due to their size and ease of landscape treatment.~~
- ~~• Long, continuous, straight slopes that have hard edges and no transition areas at the top or toe of the slope should be avoided. Natural landform contour grading should be used when possible, to create a more natural appearing slope.~~

- Berms can be a useful and beautiful way to solve many problems, but they should be large enough to actually have a strong visual impact, or they could have an undesirable appearance.
- Landscape grading should use grade changes imaginatively, accenting or de-emphasizing the change in grade as necessary to achieve the desired design goals. Circulation elements such as trails and paths can effectively respond to grade conditions by meandering in long graceful curves. In contrast, walks that switch direction too often in response to poorly conceived landscape berms, or walks that go up and down over small berms, have an unnatural appearance and should be avoided.

2. SITE PLANNING AND SETBACK

The location and "footprint" of a structure on each individual parcel is as important, if not more so, than the architecture of the building itself. While the lots and their relationship to the street create a pattern of development, this must be further enhanced by site design which is both site efficient yet visually attractive from the street. In order to create a feeling of openness, landscape setbacks, buffered parking and loading areas, earth mounding and the creation of mini-plazas can go far towards achieving a quality development. The following concepts and guidelines related to site planning are therefore proposed:

Concepts and Guidelines

- Within the industrial, office and commercial areas, a 25-foot landscaped front and street side yard should be maintained, with the exception of driveways.
- Parking should be screened by mounding techniques, landscaping or placement so that it does not visually dominate the site.
- Where possible, buildings developed on adjacent separate lots should coordinate their individual designs to insure that the spaces between lots become more than non-usable sideyards. Usable outdoor spaces, such as mini-plazas, can be created between buildings rather than the visual tunnel effect. This concept is especially viable for smaller lots developed in tandem.
- All outdoor storage areas shall be screened from public view from the street and adjacent properties. Typical chain-link fencing of asphalt storage areas is not acceptable.
- All truck loading and unloading should take place on-site and at the rear or sides of buildings.
- The grading plan for the 4S Ranch Industrial park has been prepared with the potential pairing of lots in mind. Therefore, the elimination of interior side yards on lots which are built in pairs under the same ownership should be encouraged.
- Common driveways should be encouraged where feasible.

~~3. LANDSCAPE~~

~~The individuality as well as the cohesion between the various lots and uses within the 4S Ranch should be strengthened by a landscape plan. Overall project identity is greatly enhanced by the continuity of landscape materials along publicly visible areas. Conversely, individual parcel identity can be established through variations in landscaping of major access corridors along smaller streets within the project, and within individual parcel open space areas. There are three distinctive entry types within the 4S Ranch site: major community entries, secondary entries, and special entries. A distinctive hierarchy in the design of these entries should be achieved.~~

~~Although the term "landscape" has many connotations, the emphasis in this design element will be on planting design. Uses of plants can be categorized into four basic categories:~~

- ~~—— Architectural uses - These include space articulation, screening, and privacy control.~~
- ~~—— Engineering uses - These include erosion control, acoustical control, atmospheric purification, traffic control, and glare or reflection control.~~
- ~~—— Climatological uses - These include solar radiation control, wind control, precipitation and temperature control.~~
- ~~—— Aesthetic uses - These consist of using plants to create certain emotional responses for beauty, for pleasantness, for view enhancement, and as focal points.~~

~~These landscape concepts and guidelines contain criteria for the landscaped areas of the 4S Ranch. This includes not only open space, street frontages and medians, and individual parcels. These landscaped areas have a significant role in the image that is created of a development.~~

Concept and Guidelines

- ~~• Drought tolerant plant materials should be used extensively throughout the 4S Ranch. Their use will accomplish several important planning goals: first, they will enrich the existing landscape character, which is dominated by drought resistant plants; second, their use will conserve water and energy; and third, they are economical to maintain.~~
- ~~—— Drought tolerant plants will need some irrigation, especially in the first few growing seasons. Once the plants are established, irrigation will be required about once a month during the dry months. This irrigation practice will promote deep root growth and a better tolerance for the hot, dry summer months. Irrigation methods will vary depending on the particular situation and the specific plants chosen. In some places, bubbler heads will provide the once-a-month deep watering. Other situations may be better adapted to some form of drip irrigation. Still others may require truck watering for the first few years, and no additional irrigation after that. Specific conditions will require specific solutions that can be implemented as the choice of plant material and specific planting location is known.~~
- ~~—— The use of drought tolerant plant material or hydroseed mixture also makes the use of ornamental native plants possible. Many natives are sensitive to overwatering and cold not be used unless watering is restricted during the dry months. Plants such as Toyon~~

~~(Hetermoles arbutifolia), hollyleaf cherry (Prunus illicifolia) or sugarbushy (Rhus ovata) will thrive in dry conditions. These and other native trees and shrubs will can be used in a natural way to create a pleasant naturalized landscape.~~

- ~~— Non-native ornamentals that are drought tolerant will also be used. Acacia (Acacia spp.), olive (Olea europea), eucalyptus (Eucalyptus spp.) and pines (Pinus spp) are some of the plants that are suggested for use within the 4S Ranch. Palms (Washingtonia spp., Phoenix spp.) also are drought resistant, and can be used for the 4S Ranch.~~
- ~~• An appropriate irrigation system should be required for any landscaped area to insure plantings are adequately watered.~~
- ~~• Graded slopes should be promptly revegetated with groundcover, shrubs and trees. Hydroseed may be used for groundcover and may include shrubs and trees. Groundcovers shall possess moderate or high erosion control qualities. Further, appropriate fertilization and plant materials shall be verified by soil sampling and analysis by a soils laboratory to be indicated on the landscaping plans for the project.~~
- ~~• All slopes over 5 feet in vertical height should receive at least one (1) one-gallon plant for every 100 square feet of slope area prior to building occupancy on the respective lot.~~
- ~~• All slopes over 5 feet high should receive erosion attenuation treatment such as punched-in-straw, tacked-on straw, or jute mesh.~~
- ~~• Street trees should be long-lived (60 years), deep-rooted and require little maintenance.~~
- ~~• Trees and other plants should be the dominant elements of the major entry statements.~~
- ~~• Round headed rather than upright trees should be utilized in parking areas.~~
- ~~• Deciduous trees should be used in south-facing outdoor areas around buildings to provide solar access during winter months, while providing shade in hot summer months.~~
- ~~• Trees and shrubs on west sides of buildings should be concentrated to reduce heat buildup during hot afternoon hours.~~
- ~~• Deciduous trees should be used where winter sun is to be available to outdoor recreation areas and plazas.~~
- ~~• Incorporate deciduous trees into planting designs near buildings and large paved areas. This reduces solar glare and provides variations in character.~~
- ~~• Parking lot trees should have a mature height and spread of at least 30 feet. They should also be long-lived (60 years), clean, and require little maintenance (structurally strong, insect and disease resistant, and require little pruning).~~
- ~~• To allow visibility at pedestrian levels, landscaping materials in the ground level view corridor areas should include tall trees with canopy areas, rather than short bushy trees.~~

- ~~In the interest of maintaining sight distances and public safety, trees should not be planted less than 25 feet from the beginning of curb returns at intersections; 10 feet from street lights; 10 feet from fire hydrants; and 10 feet from driveways.~~
- ~~To screen unsightly or undesirable views near a slope area, large dense shrubs should be massed near the top of the slope, not the toe.~~
- ~~Trees and shrubs can be combined with earth berms to screen adjacent views.~~
- ~~Plantings designed for major entries should relate directly to adjacent plantings as well as provide the necessary focal element. If an entry monument or sign is utilized, evergreen shrubs and vines should be used to provide a visual backdrop and soften its edges. Low plantings of ground cover, turf, or annual color can be used in the foreground.~~
- ~~Turf areas shall be minimized except where recreation areas are required. Turf for strict visual reasons (except at major entries) should be minimized because of relatively high water use and maintenance costs.~~

~~4. ENERGY AND CONSERVATION~~

~~The need for proper energy planning has become readily apparent in recent years. Shortages of traditional energy sources coupled with spiraling prices make it important that steps be taken to control and conserve the amount of energy expended on a local and national level. Within this context, an energy management plan for the 4S Ranch has been prepared. Significant energy savings will be realized as this program is integrated into the planning and design of the ranch. Specific energy-saving techniques listed in this section are intended to serve as design guidelines to be used for architects, site planners, landscape architects and engineers.~~

~~All buildings within the 4S Ranch must comply with the minimum state energy conservation standards, presently embodied in Title 24 of the California Administrative Code. As a goal of the 4S Ranch, all major buildings should exceed Title 24 standards. Typically, state energy standards concentrate on structural factors such as insulation, glazing, etc. This section outlines a conservation program which complements Title 24, by concentration on other forms of energy conservation not ordinarily addressed by the state requirement. The emphasis is on incorporating a number of financial-feasible conservation techniques, such as appropriate landscaping, daylighting, and water management, rather than attempting the implementation of specialized, high-technology devices such as solar or wind-powered mechanisms. It is believed this strategy offers an equally satisfying end product, while, at the same time, representing significantly more favorable life cycle costs.~~

~~Site planning to take advantage of passive solar energy will be encouraged. The kinds of plant material and their location, window exposure, roof overhang, and building alignment should be manipulated to maximize the free energy the sun provides daily. In those places where active solar collectors can be used, and also passive solar considerations can be utilized, access to the sun's radiation should be preserved and maintained.~~

Concepts and Guidelines - Energy Conservation

- ~~Nearly 50 percent of a commercial building's energy is used for lighting purposes. Approximately 33 percent of total building energy is consumed by environmental comfort systems. Daylighting should be used as a conservation technique. It provides desirable results and an attractive economic return on investment.~~
- ~~Appropriate glazing techniques should be utilized to permit interior light penetration up to twenty (20) feet within buildings.~~
- ~~For interior areas greater than 20 feet from window areas, skylights, light wells, interior courts or similar architectural features should be constructed.~~
- ~~In conjunction with daylighting technology, low wattage light fixtures, dimmer switches, zoned lighting banks and time controlled lighting controls for public areas should be utilized.~~
- ~~Energy efficient appliances should be used in all buildings, especially residential including microwave ovens, pilotless ranges, hot water heaters and heating equipment.~~
- ~~Utilization of vestibules at building entryways should be considered to reduce heat and cold infiltration.~~
- ~~Buildings should be properly insulated. Insulative blankets should be utilized to isolate the building mass from the exterior building skin.~~
- ~~Appropriate building colors should be used to minimize heat gain into building structures.~~
- ~~Roof surfaces should be constructed of highly reflective material to reduce solar roof loads, unless a passive heat system is employed.~~
- ~~Building facades should incorporate overhangs or canopies to shade direct sun and reduce heat gain.~~
- ~~Orient the majority of glass areas on building to the south, southeast and southwest, and locate deciduous trees adjacent. This allows the sun to warm the building when it is desired in the winter, while providing shade in the warmer summer months.~~
- ~~The use of cogeneration or district heating and cooling facilities should be encouraged if possible.~~
- ~~Buildings should not be solely dependent on mechanical systems for ventilation. Buildings should be designed to encourage natural ventilation.~~
- ~~To reduce solar reflection on buildings, large surface parking areas should be located to the east and north of adjacent building.~~
- ~~When designing exterior plazas and courtyards, buildings should be of appropriate height and clustered to provide wind and sun protection.~~

- ~~Evergreen trees should be placed on the north, northeast and northwest sides of buildings to provide protection from cold or north winds.~~
- ~~The installation of active solar hot water and space heating systems should be considered for buildings within the project. Rooftop solar energy collectors should be designed as an integral part of the building form. The slopes necessary for the energy collector are important and possible determinants of architectural shapes. If rooftop solar energy collectors are brought into a building complex subsequent to construction, an appropriate add-on design that integrates the collectors to the building form should be required.~~

Concepts and Guidelines - Water Conservation

- ~~Direct water conservation by the users can be achieved through the installation of pressure and flow reducing mechanisms within the water distribution system itself. The following are water saving devices which are most appropriate and feasible for installation in the 4S Ranch development to meet the water savings goal:~~
 - ~~Low-flow shower heads and faucets.~~
 - ~~Low-flow toilets.~~
 - ~~Cycle adjustment dishwashers.~~
 - ~~Pressure regulators to limit household pressure to a maximum of 60 psi.~~
 - ~~Hot water pipe insulation or instantaneous water heaters.~~
 - ~~Automatic sprinkler systems with timers.~~
 - ~~Standard water meters and house connections pipe sizes (no oversizing).~~
- ~~Water should be conserved wherever possible by using low maintenance drought tolerant plant material.~~
- ~~Encourage the tasteful use of inert landscaping materials (for example rocks, gravel and paving) to reduce water costs.~~
- ~~Drip irrigation systems should be encouraged, especially for tree plantings.~~
- ~~Encourage the use of reclaimed water.~~

5. ARCHITECTURE AND SIGNS

~~This section contains design concepts and guidelines related to architectural form, massing, aesthetics and signage. To give the individual developer enough flexibility, the guidelines are conceptual in nature and allow each developer a variety of options. These guidelines, though conceptual, should be followed to insure that the intended urban design quality is implemented.~~

Concepts and Guidelines

- ~~Condominium residential buildings should make extensive use of balconies, decks, and roof terraces. Building materials should be homogeneous and should provide either a contrast of a blending with the open space and landscaped areas.~~
- ~~Low-rise buildings should pay special attention to roof area treatment and materials. Pitched roofs or other special roof forms may be preferred in some cases to flat roofs. Flat roof areas should be considered for human use as terraces.~~
- ~~Low-rise buildings should be designed with homogeneous materials that complement landscaping materials. Special care should be given to building detailing, particularly at building entrances.~~
- ~~Multiple-Family residential buildings should be clustered around community court yards which will be the center of entrances to residential units. The residential units should be developed with access to a system of balconies, terraces and private outdoor areas that will be available to all units.~~
- ~~The office buildings proposed on the north side of Rancho Bernardo Road should be designed so as to provide a transition between the industrial park development along Rancho Bernardo Road and the residential development which is proposed as part of the 4S Ranch. A low rise office building complex of 2 to possibly 3 stories should be the maximum height. Extensive use of wood or stucco materials for this office development would greatly assist in making the transition between the industrial streetscape to the east and the residential streetscape proposed to the west of the office site.~~
- ~~Building development at the base of smaller slopes should set the rear of the structure into the slope to help blend the structure into the site. These structures should utilize building materials and colors which are comprised of earth tones, particularly darker hues.~~
- ~~Building forms should be designed to create visual interest. Changes in form by varying levels and planes can create a visually satisfying structure.~~
- ~~Buildings should complement surrounding topography. For example, taller buildings should be located next to high slopes. This focuses some of the visual attention away from the slope and onto the building.~~
- ~~Buildings should be designed to create comfortable scale relationships with adjacent open space areas.~~
- ~~Signs within the 4S Ranch should be of a consistent type and style. As development of individual parcels proceeds, signs in both public and private areas should be reviewed to assure consistency with other signs within the Specific Plan area and to assure that they are in proper scale and character with buildings.~~
- ~~Proper signing for parking access, directional signing, and identifying entrances should be graphically coordinated. Sign sizes should be subdued relative to the other design elements of the project.~~

- ~~• Building identification signs should emphasize the use of logo designs.~~
- ~~• Other signs identifying building activities and tenants should be designed to fit the structure and design of the building.~~

E. HOUSING ELEMENT

Unless the applicant can demonstrate that the "fair share" housing goal has been met within the immediate vicinity or that there is not a demonstrated need for low or moderate income housing, an appropriate number of "fair share" housing units shall be secured within the 4S Ranch through the utilization of Board Policy I-75, "Inclusionary Housing Policy", and/or Board Policy I-79, "Housing Affordable to Elderly Households."

III. PLAN CONFORMANCE

California planning law requires that comprehensive, long range plans include analysis of existing conditions and planning standards. It is the objective of this section to review the conformance of the proposed ~~Volume I 4S Ranch General Plan Amendment and Specific Plan and related rezonings~~ amendment relating to the 634-acre portion of the 4S Ranch Specific Plan with all applicable planning standards. Plan conformance of the 2,891-acre portion of the 4S Ranch Specific Plan is discussed in Volume II of the 4S Ranch Specific Plan. The portions of the General Plan which are analyzed include the San Diego County General Plan and the San Dieguito Community Plan. The General Plan Elements analyzed include:

- A. Land Use/Growth Management Plan
- B. Open Space
- C. Conservation
- D. Circulation
- E. Recreation
- F. Seismic Safety
- G. Energy
- H. Public Safety
- I. Noise
- J. Housing
- K. Scenic Highways

~~For convenience, the discussion of the conformance of both the 4S Ranch General Plan amendment and the 4S Ranch Specific Plan are contained under the heading of "project conformance".~~

A. CONFORMANCE OF THE PROJECT WITH THE GENERAL PLAN AND THE SAN DIEGUITO COMMUNITY PLAN

There are two levels of policy which need to be addressed in an analysis of land use issues. The first level is regional and includes the proposed project's conformance to the Growth Management Plan and Land Use Element of the County's General plan. These two documents are interrelated; the Land Use Element implements the goals and objectives of the Growth Management Plan.

The second level of analysis is local and is accomplished through the Subregional or Community Plans. The 634-acre 4S Ranch Specific Plan Area is part of the San Dieguito Community Plan.

1. GROWTH MANAGEMENT PLAN/GENERAL PLAN

The Growth Management Plan lists four regional land use categories which were designed to provide phased development strategies. They are: Current Urban Development Area/1985; Future Urban Development Area/1995; Estate Development Areas; and, Rural Areas. The Growth Management Plan establishes an urban limit line between the Urban Development Areas and the Estate and Rural areas. Beyond this urban limit line, Current Urban Development Areas can develop while Future Urban Development Areas are regulated by a "phased zoning" service out of the Estate and Rural areas and to encourage future urban growth to be contiguous with existing urban lands. The Land Use Element generally establishes more

specific means of accomplishing the broad objectives and goals of the Growth Management Plan, however, it is not applicable to land within the boundaries of an adopted community plan.

Project Conformance with General Plan

~~The 4S Ranch proposal is not in conformance with the General Plan and requires an amendment. The site is designated on the Regional Land Use Element with two different land use categories. Approximately 634 acres of land directly adjacent to the Bernardo Industrial Park are designated for Estate Development while the remaining 3000± acres, which are under Williamson Act contracts are shown as an Environmentally Constrained Area. The General Plan amendment proposes to amend both designations. The Estate area would become 1985 Current Urban Development Area (CUDA); the Environmentally Constrained Area would be changed to 1995 Future Urban Development Area (FUDA). There are several reasons for requesting both changes.~~

In 1984, amendments to the San Diego County General Plan and San Dieguito Community Plan related to the 4S Ranch were adopted. The General Plan Regional Land Use Element was amended to redesignate the approximate 2,891-acre portion of the 4S Ranch under Williamson Act Contract to 1992 Future Urban Development Area (FUDA). The intent of the FUDA designation is to direct that development occurs only after infilling has occurred on adjacent parcels and services can be provided at levels necessary to support urban densities. The 634-acre portion of the 4S Ranch Specific Plan Area portion was redesignated 1985 Current Urban Development Area (CUDA) which applies to areas within the County where near-term development should be directed. Specific types and intensities of land uses permitted under FUDA and CUDA are governed by the San Dieguito Community Plan.

The Growth Management Plan and Land Use Element both stress that growth should be directed to areas both within and adjacent to existing urban areas. The urban limit line and land use designations were intended to encourage orderly and logical patterns of growth. Because it is directly adjacent to the Bernardo Industrial Park which is almost completely built out, the proposed existing CUDA designation is of the 634-acre portion of the 4S Ranch Specific Plan Area was previously determined by the County Board of Supervisors to be consistent with this policy. The surrounding developed areas in the City and County, according to marketing studies, create a demand for an expanding employment base.

No change to the existing Current Urban Development Area (CUDA) designation of the 634-acre portion of the 4S Ranch Specific Plan Area is proposed or required by this Specific Plan Amendment. Therefore, with respect to the 634-acre portion, this amendment is consistent with the County General Plan. Refer to Volume II of the 4S Ranch Specific Plan text for a discussion of plan conformance of the 2,891-acre portion.

~~Also, the proposed alignment of Camino del Norte (SA 680), traverses the southern portion of the site. SA 680 is designated as a prime arterial through Rancho Bernardo up to the 4S Ranch property and as a major road through the remainder of the ranch. The excellent regional access provided by a prime arterial and the projected high traffic volumes on SA 680 are more compatible with industrial uses than with the current Estate Development designation.~~

~~The remainder of the General Plan amendment area is designated an Environmentally Constrained Area because it is under agricultural preserve contracts, which will, according to their terms, expire in 1992. Changing the designation to FUDA locates the urban limit line at~~

~~the western boundary of the site. This is a logical and timely revision of the General Plan categories and urban limit line.~~

~~The land within the agricultural preserve is no longer in agricultural production. Due to the limited fertility of the soil, the site is not used for farming or grazing. (For a complete discussion of agriculture see the Open Space Element section and the EIR.) Agriculture is not a long-term resource for this site.~~

~~Surrounding development within Rancho Bernardo, Escondido and Rancho Penasquitos is rapidly converting this once rural setting into an urbanized area. This General Plan amendment is a logical response to that development pressure. The CUDA designation provides a currently needed base of employment for the nearby communities. The FUDA designation provides a buffer in both time and physical space between development of the CUDA and existing undeveloped land. By the time the Williamson Act contract expires in 1992, the pattern of growth in the area will be more complete, allowing 4S Ranch to develop in an efficient, economical and logical manner. The timing of this development will be regulated by the phasing plan discussed later in the specific plan.~~

~~Finally, the urban limit line was never meant as a rigid barrier to development but rather as a restraint to uncontrolled growth. The General Plan Amendment sets a framework for the development of the 4S Ranch consistent with the goals and policies of the Growth Management Plan and the Land Use Element.~~

Project Conformance with San Dieguito Community Plan

The San Dieguito Community Plan (SDCP) contains several goals and policy statements which are applicable to the 4S Ranch. The community plan implements the Land Use Element of the County's General Plan and, in part, the Growth Management Plan. The 4S Ranch is designated as Agricultural Preserve and Estate development on the SDCP. In 1984, the 4S Ranch amendment of the San Dieguito Community Plan divided the ranch into two sub-designations. The 2,891-acre portion of 4S Ranch was designated (21) Specific Plan Area (Future Development). This corresponds to the area formerly under the Williamson Act Contract and to the area designated as 1992 Future Urban Development Area in the Regional Land Use Element. The remaining 634-acre area was designated (21) Specific Planning Area with a gross residential density of 1.3 units per acre. This designation allowed development with a maximum of 824 residential units. Development in the 634-acre 4S Ranch Specific Plan Area was to be initiated between 1985 and 1990. This corresponds to the area designated CUDA in the Regional Land Use Element. The 1996 Specific Plan Amendment changed the density to 1.75 units per acre with a maximum of 1,110 dwelling units. Refer to Figures 4 and 5 for an illustration of the existing land use designations within the County Regional Land Use Element and San Dieguito Community Plan.

With respect to the 634-acre portion, the 4S Ranch Specific Plan Amendment is consistent with the land use designation of the San Dieguito Community Plan since the proposed development would not amend the 21 SPA (1.75) land use designation. Beyond these actual land use designations, the goals of the SDCP reiterate the goals of the General and Growth Management plans. Refer to Volume II of the 4S Ranch Specific Plan text for a discussion of plan conformance of the 2,891-acre portion.

~~The General Plan amendment requests a change in these designations in the SDCP for the 4S Ranch. The entire area is being proposed for a designation of (21) Specific Plan Area. The~~

~~proposed CUDA area in the General Plan would be a specific plan area which would be developed over the next three to five years. The remainder would have a specific plan designation with only a concept plan approved at this time.~~

~~These changes allow more control over development during the planning process. The 634-acre parcel provides for approximately 159 acres of light industrial, 57 acres of multiple-family residential, 14 acres of office and professional and 6 acres of commercial. Approximately 172 acres or 27% is to be left in open space. The remaining 170 acres will be left vacant until a future date when planning for that area proceeds.~~

~~The SDCP also designates an elementary school site in the 634-acre specific plan area. Sufficient capacity currently exists at nearby schools and the school site is not needed at this time. The location of the school will be determined at a future date with more precise planning of the concept plan area.~~

~~One of the goals of the SDCP is to encourage all new industrial development to be concentrated and located where it is both accessible and compatible with surrounding land use. The industrial area of the specific plan would be adjacent to the existing Bernardo Industrial Park. The commercial and office/professional uses would serve the 4S Ranch industrial uses and the Bernardo Industrial Park. The multiple-family residential area would be clustered in the northeastern section of the specific plan area. It is isolated from the other uses by designated open space lots and Rancho Bernardo Road.~~

~~The proposed change in designations would fit with similar development plans in the area. For example, Rancho Cielo, an approved specific plan to the northeast of the 4S Ranch, proposes 770 dwelling units on 2,815 acres. That plan also includes a wastewater reclamation system, a fire station, a neighborhood commercial center and an interconnecting system of open space corridors.~~

~~The General Plan Amendment request would bring the proposed project into conformance with the Growth Management Plan, General Plan and San Dieguito Community Plan.~~

2. OPEN SPACE ELEMENT

General Plan

The overall goals of this element of the County General Plan are to promote the health and safety of the general populace through conservation and management of natural resources, assurance of continued open spaces for a variety of purposes and the preservation of open spaces that separate communities. The element is organized according to six categories of open space. ~~Three~~ One ~~apply~~ applies to the 634-acre portion of the 4S Ranch Specific Plan Area, ~~waterbodies, agricultural preserves, and open space design of private lands.~~

San Dieguito Community Plan

The San Dieguito Community Plan contains a series of goals and policies which can be applied to private projects. Many goals apply only to the shorelines of San Dieguito and do not pertain to the 4S Ranch; the remaining goals merely reinforce and reiterate the goals of the General Plan.

Project Conformance

Water bodies

~~There are two manmade dams and two artificial ponds created by earthen fill on site. The two dams are located at the head of the La Jolla Valley. The larger of these two dams is located on the southwest portion of the site and is 45 feet high from base to spillway. Because of its size and capacity it is listed with the California Department of Water Resources and is inspected annually. Inspectors report that the dam is sound. The other dam is downstream in the same valley and to the west while the two smaller ponds are located in the northwest portion of the property. All of the ponds and dams are in the concept plan area (FUDA) where no development is planned until 1992. Therefore, the General Plan amendment is in conformance with this section.~~

Agricultural Preserves

~~Though approximately 3000 acres of the property are currently in agricultural preserve contracts which will expire in 1992, the suitability of the 4S Ranch for agricultural production is low. The Open Space Element states that "agricultural preserves and open space easements allow the temporary or permanent holding of land for agricultural, open space or recreational uses." One of the goals also states that agriculture should be encouraged on land with soils which are highly suitable for food production.~~

~~There are no class I soils on site and there are limited class II soils. It has not been farmed for several years due to the limited fertility of the soil and adverse ground water conditions. (See the discussion on the EIR). Because the Open Space Element recognizes that agricultural uses are sometimes temporary and because the 4S Ranch has a poor production record due to inadequate soils and drainage, it is appropriate to request the changes in land use designations. Because the current agricultural preserve contracts do not allow the use of reclaimed water, the Board of supervisors would have to modify the agricultural preserve contracts by resolution to allow the use of reclaimed water from the wastewater treatment plant and to make the requested land use designation change. However, removing the designation of agricultural preserve will not adversely impact agriculture on the county.~~

Open Space Design

With respect to the 634-acre portion of the adopted 4S Ranch Specific Plan, 242 acres have been dedicated as open space. The proposed specific plan ~~These areas will also conform to the goals for open space design of private lands. Development on steep slopes will be have been limited to minimize slides, erosion, silting and fire hazard (I.1). The habitats of rare and endangered plants will be have been held in open space (II.5) wherever feasible. The vast open space system planned for the CUDA/specific plan area will separate different land uses and will provide areas which will preserve and create an atmosphere of openness (IV.15 and IV.16).~~

The San Dieguito Community Plan encourages the preservation of the best natural features of areas. The steep slopes and rock outcroppings which give distinctive features to the 4S Ranch ~~will be~~ have been preserved wherever possible. The SDCP also encourages the use of reclaimed water for irrigation, which the ~~proposed~~ reclamation plant for 4S Ranch ~~will provide~~.

The 4S Ranch's ~~proposed~~ development assures that ~~any~~ natural resources found on-site are managed wisely, thus providing conformance with the Open Space Element of the General Plan and the San Dieguito Community Plan.

With respect to the 634-acre portion, the 4S Ranch Specific Plan Amendment is consistent with the Open Space Element of the County General Plan and San Dieguito Community Plan since no change is proposed to the lands designated open space in the 4S Ranch Specific Plan.

3. CONSERVATION ELEMENT

General Plan

The purpose of the Conservation Element is to identify and describe the natural resources of San Diego County and to propose programs to conserve these resources. The resources involved include: vegetation and wildlife habitats, historic and prehistoric resources, soil, geology, water, clean air, and astronomical dark sky. The action programs for this element are organized into seven sections: general conservation, water, vegetation and wildlife, minerals, soil, astronomical dark sky, and cultural sites. The Conservation Element also identifies Resource Conservation Areas (RCA) for the protection of special resources.

San Dieguito Community Plan

The San Dieguito Community Plan generally relies on the County-wide plan to address the issues of conservation.

Project Conformance

The ~~proposed project~~ 634-acre portion of the 4S Ranch Specific Plan is not within the boundaries of a Resource Conservation Area and conforms to the policies of the general conservation section. The section of the 4S Ranch Specific Plan on water includes a discussion of the location, size and timing of service extensions which ~~should be~~ are in conformance with adopted growth management policies. The development plans for the 634 acre 4S Ranch Specific Plan Area ~~will~~ conform to the water service standards of the Olivenhain Municipal Water District. Adopted growth management policies are implemented in the Growth Management Plan and Land Use Element. Policies requiring a reduction in reliance on imported water, dual water distribution systems for wastewater, and the encouragement of the reclamation and reuse of wastewater ~~will be~~ have been fully satisfied by the ~~proposed~~ wastewater reclamation facility as discussed in the EIR.

The emphasis of the vegetation and wildlife habitat program is to assure that maximum efforts are made to protect native vegetation and wildlife resources. Every reasonable opportunity to protect natural resources ~~is~~ has been incorporated into the 4S Ranch Specific Plan. The Environmental Impact Report thoroughly examined the conformance of the 4S Ranch with county vegetation and wildlife protection measures. Sensitive species ~~will be~~ have been left in open space whenever feasible and native plant species ~~will be~~ planted in graded areas.

There are no known mineral resources of economic significance on-site. Some limited deposits of decomposed granite may be encountered during development and will be used on-site. There are areas of stadium conglomerate, however, this deposit does not exist in minable quantities and is abundant in other areas of the County. The development is planned to minimize or prevent erosion of soil resources.

The unique physical characteristics of the site have been carefully handled in the specific plan design. Steep slopes and significant topographical features were left in open space, thus ensuring conformance with the General Plan and the San Dieguito Community Plan. Refer to the previously certified EIR for a more detailed discussion of soils and geology.

4. CIRCULATION ELEMENT

General Plan

The Circulation Element of the County's General Plan prescribes needed corridors for public mobility and access which are planned to serve the existing and anticipated population of San Diego County. These corridors are illustrated in Figure 9. The Circulation Element attempts to preserve a corridor uninhabited by any permanent structure for a future road right-of-way for corridors shown on the Circulation Element maps.

Two roads within the 4S Ranch boundaries are included in the Circulation Element. Rancho Bernardo Road (SF 728) is designated as a major road across the 4S Ranch (please see Figure 9). ~~The proposed route of Camino del Norte (SA 680) also crosses~~ is designated as a prime arterial across the 4S Ranch. ~~It is shown as a prime arterial in Rancho Bernardo up to the project's eastern boundary, and as a major road as it crosses the project site. The standards for major roads are a four lane divided road, with controlled access and parking and a 102-foot right-of-way. However, a note on the County's Circulation Element indicates that SA 680 should only be constructed to Light Collector Standards (two-lane road with a 40-foot roadbed) within the designated 102 foot right-of-way.~~

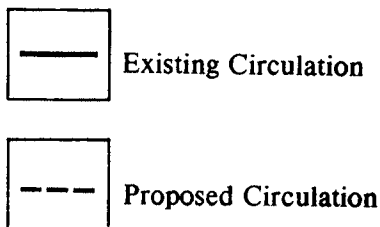
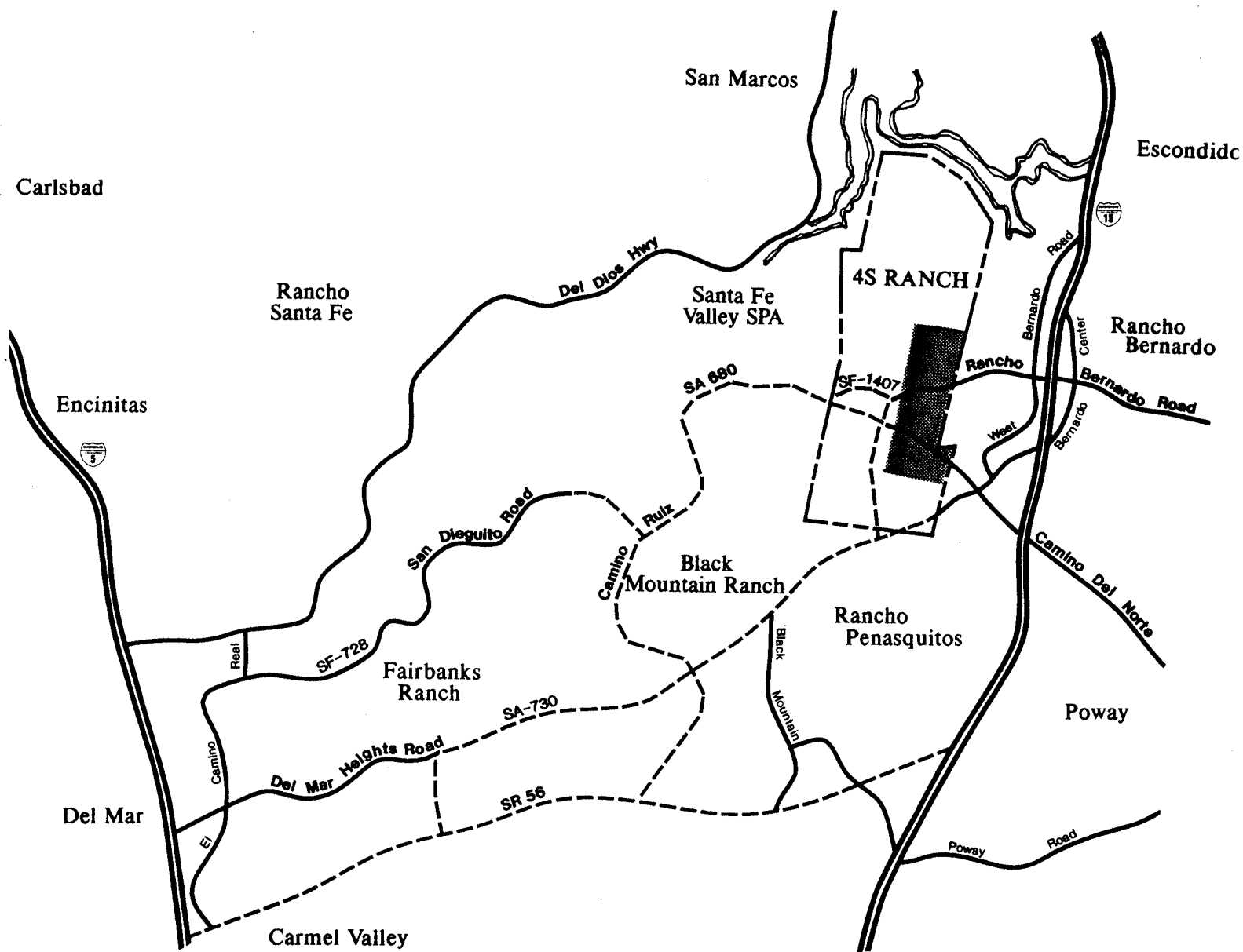
San Dieguito Community Plan

The San Dieguito Community Plan Circulation Element includes a list of 17 objectives which principally reference the need for a balanced transportation system which is convenient, safe and sensitive to aesthetics.

Project Conformance

~~The 4S Ranch project will develop a 3,000-foot portion of SA 680 as a six-lane prime arterial, requiring an amendment to the County's Circulation Element. The major road will be redesignated as a prime arterial from Rancho Bernardo on the eastern property boundary to a proposed interchange to serve the 4S Ranch industrial park (Figure 10).~~

~~The proposed amendment to the County's Circulation Element would be a logical extension of a significant east-west transportation corridor in the North County.~~



4S
Ranch



Regional Circulation System

Figure 9

~~The minor extension (3,000 feet) would serve only the 634-acre specific plan area and would provide a direct transportation link from the industrial park via SA 680 to Interstate 15. Without improvement of SA 680 as a six-lane prime arterial, significant traffic volumes would travel northeasterly through Rancho Bernardo to I-15, creating traffic circulation and congestion impacts. The road improvements included in the 4S Ranch Specific plan will mitigate potential traffic impacts and avoid impacts to existing communities (see EIR and technical appendices). The proposed extension of the prime arterial designation would not accommodate through trips travelling to the west; rather, SA 680 would only accommodate trips to and from the specific plan area. Overall, the 4S Ranch proposal is a logical amendment of the Circulation Element which will provide necessary transportation improvements.~~

The adopted 4S Ranch Specific Plan is in conformance with the circulation element of the County's General Plan.

Camino del Norte (SA 680) has been constructed as a six-lane prime arterial to Camino San Bernardo with a grade separated interchange at that terminus. Right-of-way has been reserved for additional on- and off-ramps at the west side of that interchange, and for the continuation of Camino del Norte (SA 680) to the western boundary of the 634-acre areas.

Additionally, Rancho Bernardo Road has been constructed as a 4-lane major road from the existing 4-lane improvements at the eastern boundary of the 634-acre area to the western boundary of that area.

In addition to the on-site circulation improvements noted above, major off-site circulation improvements have been implemented with the construction of Phases I and II within the 634-acre portion of the 4S Ranch Specific Plan. These improvements include:

- 1/2 width construction of Camino del Norte (SA 680) from the eastern boundary of the 634-acre area to Bernardo Center Drive including major retaining wall construction.
- Contribution of nearly \$400,000.00 to future intersection improvements at Camino del Norte (SA 680) and Bernardo Center Drive.
- Widening and completion of Rancho Bernardo Road at the off-site transition section immediately east of 634-acre boundary.

With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Circulation Element of the County's General Plan since no change is proposed to that circulation system.

5. RECREATION ELEMENT

General Plan

The Recreation Element includes policies for the provision of recreation facilities in the unincorporated area of San Diego County. It discusses local and regional park needs, riding and hiking trails and off-road vehicle use locations. There are no parks or riding or hiking trail corridors designated on this element for the 634-acre portion of the 4S Ranch Specific Plan Area.

San Dieguito Community Plan

The majority of the community plan for San Dieguito addresses the park planning needs of the entire community. ~~Those portions which affect the 4S Ranch are discussed below.~~

Project Conformance

~~The adopted 4S Ranch Specific Plan is in conformance with the Recreation Element of the County's General Plan. Three major recreational areas or regional parks are located within five miles of the 4S Ranch. Lake Hodges Reservoir, part of the San Dieguito/San Pasqual Valley open space system, is directly adjacent to the ranch's northern boundary. Approximately two miles south of the ranch is Black Mountain Park; three miles beyond is Los Penasquitos Canyon Park. All three are within the City of San Diego.~~

~~The 634-acre portion of the 4S Ranch development plan will includes many amenities to meet the recreational needs of both the specific plan and the concept plan areas. The extensive open space system will provide opportunities for hiking and picnicking. In addition, The residential and industrial areas, and in certain cases, the Business Park owners, will provide private recreational areas for tenant use. Also, if required, implementation of the specific plan may has included payment of in-lieu fees in conformance with the Local Park Dedication Ordinance. There are no off-road vehicle locations in the vicinity of the 4S Ranch which the development will affect.~~

~~With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Recreation Element of the County's General Plan since no change is proposed to the recreation facilities.~~

6. SEISMIC SAFETY ELEMENT

General Plan

The intent of the Seismic Safety Element is to "minimize the loss of life and destruction of property in San Diego County by making planning recommendations giving consideration to seismic and geologic occurrences and their long-range impact on the community."

San Dieguito Community Plan

The San Dieguito Community Plan relies on the County-wide General Plan to address seismic safety.

Project Conformance

~~The adopted 4S Ranch Specific Plan is in conformance with the Seismic Safety Element of the County's General Plan. Both the General Plan amendment and the specific plan are in conformance with this element. A preliminary geologic study indicated that there are were no known active or potentially active faults on the site or in the immediate vicinity. The nearest active faults are the Elsinore and San Jacinto faults which lie 20 and 45 miles, respectively, to the northwest. A survey of existing literature revealed the presence of a short fault line south of Black Mountain Road. However, no evidence of this fault was found during the on-site surveys.~~

~~Ancient landslides and debris flows were mapped in two soil types – the Friar's Formation and Santiago Peak Volcanics. Prior to any development, a detailed soil and geologic investigation will be required, with specific recommendations for remedial grading measures and for further investigation of the suspected short fault on-site. These measures will ensure that there will be no adverse, long range impact on the community from seismic or geologic occurrences and would ensure conformance to the Seismic Safety Element.~~

With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Seismic Safety Element of the County's General Plan since no change is proposed to the areas to be developed.

7. ENERGY ELEMENT

General Plan

The Energy Element of the San Diego County General Plan lists its primary objective as the achievement of "maximum conservation practices and maximum development of renewable alternative sources of energy." This element is an attempt to rationally direct actions within the County toward reliable and more efficient use of its energy resources.

San Dieguito Community Plan

The San Dieguito Community Plan relies on the County-wide General Plan to address energy related issues.

Project Conformance

~~The adopted 4S Ranch Specific Plan is in conformance with the Energy Element of the County's General Plan. In the planning for both the General Plan amendment and specific plan for the 4S Ranch, efforts have been made. The 4S Ranch Specific Plan incorporates guidelines formulated to maximize energy conserving concepts and techniques. Changing the General Plan designation from Estate to 1985 Current Urban Development Area and from Environmentally Constrained to 1995 Future Urban Development Area is an effort to fulfill the needs of the region for more development in a logical and orderly manner. The FUDA will not be planned until at least 1992 when the current agricultural contracts expire. Development patterns in this area will then be more clearly defined. The specific plan encourages energy conservation in many ways. For the Business Park and residential tentative maps within the 634-acre portion, the industrial areas would be have been located adjacent to the existing Bernardo Industrial Park, thus conserving energy by concentrating similar uses. Two other uses, commercial and office/professional, would provide services for the surrounding industrial park, reducing trips lengths associated with commercial uses. The proposed plan also minimizes grading by limiting development of the areas of steep slopes. Actual construction has and will conform to all state-of-the-art applications of energy conservation required by building and development codes. For these reasons there is conformance between the Energy Element and the proposed General Plan amendment and specific plan for the 4S Ranch.~~

~~With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Energy Element of the County's General Plan since no substantial change is proposed to the Energy Conservation Techniques.~~

8. PUBLIC SAFETY ELEMENT

General Plan

The stated goals of the Public Safety Element are:

"Minimize injury, loss of life and damage to property resulting from fire, geologic activity and crime occurrence."

"Maximize organization and delivery of emergency services upon occurrence of fire, geologic activity or crime."

San Dieguito Community Plan

The San Dieguito Community Plan generally relies on the goals of the County-wide Public Safety Element to address public safety issues.

Project Conformance

The adopted 4S Ranch Specific Plan is in conformance with the Public Safety Element of the County's General Plan. Fire and security protection are concerns which the development ~~proposal~~ emphasizes. The property ~~will~~ has ~~annexed~~ to the Rancho Santa Fe Fire Protection District. A ~~site for a~~ fire station ~~will be~~ has been provided on-site as determined during discussions with the District. ~~Selection of that site will~~ That station provides rapid response time to the developed areas of the Ranch.

The County of San Diego Sheriff's Department ~~will~~ provides coverage from the Poway substation. A private security patrol service ~~will be~~ is used to provide greater security to the industrial area of the project and to minimize calls to the Sheriff's Department.

Wildland fire hazards on site will be reduced by project implementation due to the improved access, to the ~~future~~ on-site fire station and to the availability of an adequate fire fighting water supply.

With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Public Safety Element of the County's General Plan since no change is proposed which would alter the provision of public safety service.

9. NOISE ELEMENT

General Plan

The Noise Element establishes a coordinate set of policies and noise standards for the reduction of irritating and harmful effects of noise within the County of San Diego through effective planning and, if necessary, regulation.

San Dieguito Community Plan

The San Dieguito Community Plan relies on the county-wide General Plan to address public safety issues.

Project Conformance

The adopted 4S Ranch Specific Plan is in conformance with the Noise Element of the County's General Plan. The 4S Ranch development will not create nor be affected by significant noise problems. A complete analysis of any noise impacts is was contained in the Environmental Impact Reports for the Business park and residential tentative maps and all mitigation measures if any, will be were incorporated into the project design. This will ensure conformance to the Noise Elements.

With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Noise Element of the County's General Plan since no change is proposed which would generate unacceptable noise levels.

10. HOUSING ELEMENT

General Plan

The emphasis of San Diego County's Housing Element is to "assist the private sector to ensure that the new residential construction will be adequate to meet the needs of the forecast populations ..." The Housing Element also contains needs assessments, characteristics of the housing stock and population, a Fair Share Allocation Formula and housing policies to implement the goals of the plan.

The Fair Share allocation formula assigns to the unincorporated areas that share of the overall housing needs of low and moderate income families which they reasonably should be expected to meet. Low income families are defined as earning less than 80% of the median income, moderate is between 80 and 120%. The entire San Dieguito Community Plan Area yearly fair share allocation is 115 units.

San Dieguito Community Plan

The San Dieguito Community Plan does not contain a separate Housing Element and generally relies on the County-wide General Plan to address housing policy issues. However, two objectives of the residential Goal for San Dieguito do apply to the residential areas of the specific plan. They are:

"Encourage cluster-type housing and other innovative housing designs that provide adequate open areas around these developments."

"Tailor residential developments to the terrain."

Project Conformance

The Fair Share allocation formula guidelines for residential development of the General Plan is based on expected regional growth in population and employment. That figure is then modified to reflect the responsibility of each subregional or community plan area to accommodate its share. The Housing Element sets the overall allocations for each area. The community plans are then expected to direct where it is most appropriate to build the units. Although the San Dieguito Community Plan does not specify where assisted housing should be built, locations for assisted housing can be determined within the 4S Ranch multiple-family area at a future date.

The specific plan for the 4S Ranch proposes residential development on 57 acres. By clustering the homes in one area, large sections of the specific plan can be left open, thus minimizing extensive grading, adapting the development to the terrain and conforming to the San Dieguito Community Plan.

11. SCENIC HIGHWAYS ELEMENT

General Plan

The goal of the Scenic Highway Elements is "to create a network of County scenic highway corridors within which scenic, historical and recreational resources are enhanced." The scenic highway corridor protection measures which must be considered in preparing specific plans include: land use controls; subdivision regulations relating to slopes, vegetation, access and roadway design; controls on outdoor advertising; utilities placement; grading standard; development and roadway design.

San Dieguito Community Plan

The San Dieguito Community Plan relies principally on the County-wide element to identify and implement scenic highway policies.

Project Conformance

The adopted 4S Ranch Specific Plan is in conformance with the Scenic Highways Element of the County's General Plan. Black Mountain Road (Rancho Bernardo Road) west of Rancho Bernardo The County/City boundary is designated as a third priority scenic route. The 4S Ranch Specific Plan and roadway design are sensitive to the corridor protection measures listed above. For approximately the first 1400 west of Black Mountain/Rancho Bernardo Road within the project site, the northern side will be is within a designated open space area, while along the southern side a 200-ft. wide open space corridor will roughly parallel the road.

Along the next 1400 feet, the road will travels through the office/industrial areas. Here design criteria regulating landscaping, building heights and setbacks and screening will be have been employed through private covenants, conditions, and restrictions (CCRs) to continue a rural scenic highway corridor. The scenic qualities of the property will be respected by the project design.

Over the entire roadway length, an existing SDG&E 69 Kv overhead transmission line has been relocated away from this roadway at 4S Ranch expense.

With respect to the 634-acre portion, this 4S Ranch Specific Plan Amendment is in conformance with the Scenic Highways Element of the County's General Plan.

B. CONFORMANCE WITH BOARD OF SUPERVISORS POLICIES

~~I-37 **OPEN SPACE EASEMENTS** - This policy sets forth procedures and standards by which the County will accept grants of open space easements. The 634-acre 4S Ranch plan includes approximately 172 acres (27%) of open space. Additional open space easements will be dedicated when the 3,000 acre concept plan area is developed in the~~

~~future. During implementation of the specific plan with tentative maps, sections of the 4S Ranch will be offered for dedication for open space or an easement will be granted.~~

- I-43 ADEQUACY OF PUBLIC SCHOOL SERVICES AND FACILITIES IN CONNECTION WITH PROPOSALS FOR DEVELOPMENT OF LAND - This policy dictates that financial agreements will be entered into with school districts to mitigate the impacts of students generated by the project. Development of the 634-acre portion of the 4S Ranch Specific Plan Area ~~will be~~ is consistent with this policy as discussed in Section II.C.(3) of this report, dealing with the provision of school services.
- I-59 LARGE SCALE PROJECT REVIEW - The policy prescribes the purpose and required content of specific plans to satisfy County regulatory procedures. ~~The~~ This Amendment to the 4S Ranch Specific Plan conforms with this policy.
- I-62 BOARD OF SUPERVISORS' INITIATION OF GENERAL AND SPECIFIC PLAN PROPOSALS - This policy describes the procedures for securing Board of Supervisors authorization to review and process a specific plan for public hearing. Since this Specific Plan Amendment would not amend the currently adopted (21) SPA (1.3) land use designation with respect to the 634-acre portion of the 4S Ranch Specific Plan, this Specific Plan Amendment conforms with the Board's procedures for processing.
- ~~I-63 GENERAL PLAN AMENDMENT GUIDELINES - This policy establishes guidelines for processing privately initiated requests for General Plan amendments and associated zone reclassifications. The 4S Ranch project has complied with this policy during the processing of the GPA, and the associated specific plan and zone reclassifications are being processed concurrently.~~
- I-73 HILLSIDE DEVELOPMENT POLICY - This policy provides standards and procedures for assuring the preservation of physical features and optimizing the aesthetic quality of the landscape. The design guidelines in this specific plan have and will assure that development of the 4S Ranch will conforms to hillside development standards. The hillside standards if applicable will be reviewed and implemented in subsequent conjunction with the review of associated tentative maps.
- I-78 SMALL WASTEWATER TREATMENT FACILITIES - This policy mandates that "package treatment plants" be managed by a public agency and that the effluent be used for a productive purpose. ~~Conformance will be assured during review of the major use permits for one wastewater treatment plant to serve the development proposed in this plan. This project will conform with all provisions of this policy, as discussed in the 4S Ranch EIR and technical appendices. Conformance has been assured by the formation of the 4S Ranch County Sanitation District and the issuance of the required Major Use Permit.~~

C. CONFORMANCE WITH LOCAL AGENCY FORMATION COMMISSION (LAFCO) POLICIES

~~Development of the 4S Ranch will require LAFCO approval for the following:~~

- ~~• Annexation to the Southern California Metropolitan Water District~~

- ~~Annexation to the San Diego County Water Authority~~
- ~~Annexation to the Olivenhain Municipal Water District~~
- ~~Annexation to the Rancho Santa Fe Fire District~~
- ~~Formation of a sewer district~~

~~Since the 4S Ranch is not within a city or a district with a water entitlement, annexation is required to all three water agencies. The Metropolitan Water District is the overall distribution agency for Southern California. It distributes water to the regional agencies. The County Water Authority is the regional agency for San Diego County. The individual water agencies, such as Olivenhain Municipal Water District, then either buy or receive their entitlements from the County Water Authority.~~

~~LAFCO is not expected to approve the Olivenhain Municipal Water District's sphere of influence study until July, 1984. LAFCO does not require districts to amend spheres of influence during annexation; however, it is preferred. Therefore, a concurrent application for annexation to all three water agencies and to amend Olivenhain's sphere of influence, if necessary, will be processed.~~

~~The 4S Ranch will also annex to the Rancho Santa Fe Fire Protection District. LAFCO does not require the district to amend sphere of influence during annexation; however, it is preferred. This issue will be studied when application is made for annexation to the district.~~

~~LAFCO is also required to consider the effect of maintaining the physical and economic integrity of designated agricultural preserves when reviewing an annexation proposal. The Agricultural Preserve on the 4S Ranch does not qualify as "prime agricultural land" under the definition found in Section 35046 (MORGA). (For a complete discussion of the agriculture issue, refer to the accompanying EIR). The 4S Ranch project will conform to all requirements, procedures and policies of LAFCO.~~

~~With respect to the 634-acre portion of the 4S Ranch Specific Plan Area, all necessary annexations and district formations have been concluded with LAFCO approval.~~

D. ~~RELATIONSHIP TO THE CITY OF SAN DIEGO~~

~~The City of San Diego's Council Policy 600-1 addresses the annexation of unincorporated areas to the City and lists "areas of prospective annexation". The 4S Ranch lies within such an area of potential annexation. Although this policy is not officially adopted by LAFCO and the City has no sphere of influence study, it is appropriate to analyze the issue of annexation of the 4S Ranch to the City of San Diego.~~

~~According to City Council Policy 600-1, one of the factors that must be considered by the City Council prior to an application for annexation is "the extent of difficulty likely to attend the provision of public services".~~

~~A public services inventory of the property was conducted to determine the feasibility of providing City services to the 4S Ranch planning area. The inventory included a review of existing and projected conditions regarding police protection, fire protection, water service,~~

~~sewer service, parks and libraries. Staff members of appropriate service agencies were interviewed by telephone or in person and potential needs were assessed.~~

~~The following discussion describes the results of this inventory.~~

~~Police Protection: The City of San Diego provides police protection to all areas of the incorporated city. Police services are funded through the City's general fund from the property tax base. Police service is provided through decentralized sub-stations in order to increase visibility and accessibility. The substation planned to serve northern city areas will be located in Rancho Penasquitos on Paseo Montalban. At the present time, since the 4S Ranch is not located within the City of San Diego, police service is provided by the County Sheriff. Since no City service is presently available, the developer would most probably be required to fund such services due to limited City financial resources.~~

~~Fire Protection: The City of San Diego Fire Department currently operates two fire stations in the 4S Ranch vicinity. Station 33 is located on Bernardo Center Drive in Rancho Bernardo; Station 40 is on Salmon River Road in Rancho Penasquitos. The City has an automatic aid agreement with the Poway Fire Department for assistance on large fires.~~

~~The City of San Diego Fire Department tries to maintain a standard 6-minute response time to any location within its service area. Neither of the existing stations in the vicinity would be able to meet this minimum response time to future development on the 4S Ranch. Fire officials estimate that one additional 1-acre station would be required to service full development of the property.~~

~~The City Council (Council Policy 600-28) requires that adequate support services, including fire protection, accompany new development in urbanizing areas, and that these facilities be financed by the private developer. The required land and construction and furnishing of a fire station would be paid by developers through a Facilities Benefit Assessment (FBA) which distributes the costs for facilities based upon development intensity.~~

~~Water: The 4S Ranch is not currently within any water district service area. If annexed to the City of San Diego, it is questionable whether provision of water from the City's infrastructure will be available. An existing 36-inch water line cuts across the southeast corner of the property supplying Rancho Bernardo from the Miramar Reservoir. However, no service would be available from that line, since it is presently fully utilized by Rancho Bernardo. New City facilities would be necessary for development of the 4S Ranch. These planned facilities are located within the La Jolla Valley development area and would most probably be available only with concurrent development of the La Jolla Valley.~~

~~Sewer: The City of San Diego's Point Loma Sewage Treatment Plant is currently operating at capacity, and no large-scale new hookup of the type generated by the 4S Ranch would be approved. City officials would have to be guaranteed a permanent solution to waste generation problems before approval of any development. Permanent solutions would include purchase of capacity rights from another treatment plant or on-site treatment facilities. The City would not, however, operate or maintain any on-site treatment.~~

~~The Hale Avenue Plant in Escondido is the only other sewage treatment facility in the immediate area. A recent sewer moratorium in that city generated an expansion of the plant which is currently underway. While capacity is available, planned expansion will only accommodate anticipated growth within the city limits and previous commitments for services.~~

~~The majority of the Rancho Bernardo community presently sewers to the Hale Avenue Plant in Escondido. No additional capacity could be made available for the 4S Ranch via Rancho Bernardo to the Hale Avenue Plant.~~

~~Another potential outlet for sewer was investigated for the 4S Ranch which would entail going east across I-15 and receiving sewer services either through the Rancho Carmel or Pomerado pipelines to get to the Penasquitos Trunk line. However, neither the Penasquitos Trunk sewer nor the Point Loma Sewage Treatment Plant have additional capacity available to serve 4S Ranch.~~

- Summary

~~Investigation of obtaining services from the City of San Diego revealed that such services cannot be best provided by the City of San Diego within the near future. Police and fire service are not presently available and would require funding of additional facilities at the developer's expense. Sewer services cannot be provided. Further, the City would not accept an on-site wastewater treatment and water reclamation plant. Since present City policies do not provide for this option. Water would only be available through extension of water service from existing lines located to the west of the 4S Ranch. The inability to provide adequate public facilities and services at this time makes annexation to the City of San Diego infeasible.~~

~~The 4S Ranch proposal is compatible, however, with the City of San Diego's surrounding land use designations. City and County planning designations are shown on Figure 11. The 634-acre Specific plan Area, with the proposed designation of Current Urban Development Area (CUDA), is analogous to the City's Planned Urbanizing Area which includes the adjacent Rancho Bernardo and Rancho Penasquitos Community Plan areas. The remainder of the 4S Ranch site, which will be designated as Future Urban Development Area (FUDA), is compatible with the Future Urbanizing designation of the City of San Diego. However, by comparing the similarity between the proposed County designations and the surrounding City designations, it is apparent that the 4S Ranch proposal is compatible to the City's Land Use Element.~~

~~The Circulation Element of the City's General Plan will be compatible with the 4S Ranch proposal. The City's Circulation Element shows SA 680 Camino del Norte as a prime arterial up to the boundary of the 4S Ranch; the County's Circulation Element shows SA 680 Camino del Norte as a major road beyond that. The 4S Ranch proposes to serve a standard 126-foot right-of-way corridor.~~

IV. PHYSICAL DEVELOPMENT EFFECTS

~~The 4S Ranch is currently undeveloped. In the specific plan area, approximately 288 out of 634 acres will be graded and developed. There will be 172 acres of designated open space and 170 acres left as a future planning area. Major areas of the 634-acre portion of the 4S Ranch Specific Plan Area have been constructed. These areas include the business park in the central portion of the Specific Plan Area and the residential parcels north of Rancho Bernardo Road. At this time, the only area where improvements have not been completed is the Christopherhill Project located south of Camino del Norte. The remainder of the ranch, the 3,000-acre concept plan area, will not be developed until after the agricultural preserve contracts expire in 1992.~~

~~During the each construction phase, grading of the entire industrial area and later the residential area within each of the development phases will be done at one time. The grading will be balanced on site and all drainage and erosion control measures will be implemented during grading. Completion bonds will be posted for all phases of construction.~~

~~The industrial business park area will be is generally bounded by Rancho Bernardo Road on the north and Camino del Norte (SA-680) on the south. This will defines the limits of the industrial area which will assures a transition between the heavily urbanized Bernardo Industrial Park and the concept plan area to the west. Furthermore, compatibility between the 4S Ranch Specific Plan and the Bernardo Industrial Park will be is assured through the development guidelines of the Urban Design Element of the 634-acre portion of the 4S Ranch Specific Plan and, later, through the CC&R's adopted for the 4S Ranch Business park portion of the specific pPlan Area.~~

~~The multiple-family residential area will be concentrated on in the northwest portion of the Specific Plan Area is separated by an open space corridor lot and by Rancho Bernardo Road from the industrial area. The single-family residential area in the northwest portion of the Specific Plan Area is likewise separated from the industrial area by an earthen berm and Rancho Bernardo Road. Additionally, the focus of the residences within these areas will be to the north and west. The Urban Design Element of this plan will coordinate the design of all development into a theme for the 4S Ranch which will respect and complement its natural beauty.~~

V. ENVIRONMENTAL DOCUMENTATION

~~An Environmental Impact Report has been prepared for this project. All mitigation measures proposed in the EIR will become part of the Specific Plan.~~ An Environmental Impact Report has been prepared in conjunction with this Specific Plan Amendment.

VI. IMPLEMENTATION

A. PROCESSING

1. SPECIFIC PLAN

According to definitions set by Board of Supervisors Policy I-59, this proposal is the 4S Ranch was designated a large-scale project because the property exceeded 100 acres in size, and required Zone Reclassifications and a Major Use Permit. Because it is was a large-scale project, a Specific pPlan and draft Environmental Impact Report are were required for any property proposed to be developed within five years, and a concept plan for the remainder of the property. This document includes the specific plan for a 634-acre portion of the 4S Ranch to be designated by the San Dieguito Community Plan as a Specific Planning Area (1.3). It must be approved and adopted by the Planning Commission and the Board of Supervisors. The San Diego County Board of Supervisors adopted the 4S Ranch Specific Plan and certified the accompanying EIR in 1984.

At the present time, an Amendment to the adopted 4S Ranch Specific Plan is being processed. This Amendment updates and clarifies the language describing the 634-acre portion as discussed in this Volume I of the 4S Ranch Specific Plan.

2. ZONE RECLASSIFICATION

The 4S Ranch is presently zoned A-70, for limited agricultural use. In order to implement the land uses of this specific plan, zoning designations must be changed from the A-70 designation to those shown on Figure 12.

The proposed zone classifications for the 634-acre portion of the 4S Ranch Specific Plan are shown on Figure 7. With respect to the 634-acre portion, the industrial Lots 18-25 are proposed for reclassification with this Specific Plan Amendment.

3. TENTATIVE AND FINAL MAPS

The separate parcels shown on the specific plan will be created through approval of tentative maps filed on portions of the 634-acre development area. The entire project will be covered by a phased series of tentative maps to create the industrial, commercial, office/professional, residential, and open space lots, as well as street right-of-ways. Final maps will be filed in phases as the project is implemented. The tentative map for the first phase of development, the industrial part of the specific plan, is scheduled for approval concurrent with adoption of the specific plan.

Final maps have been recorded for the industrial, commercial, office/professional, residential, and open space lots of the 634-acre portion of the 4S Ranch Specific Plan Area. Additionally, a Tentative Map TM 5090 was approved by the Board of Supervisors on September 18, 1996 on the 170-acre piece south of Camino del Norte.

4. MAJOR USE PERMIT

A major use permit for construction and operation of the 4S Ranch water reclamation facility to serve the 634-acre portion of the 4S Ranch Specific Plan Area development is necessary has been issued. Approval of the major use permit will follow the first tentative map. That permit allows for a .6 MGD facility with 150 acres of spray irrigation area which has been sized to accommodate all flows generated from the approved uses within the 634-acre area.

5. MINISTERIAL GRADING PERMITS

Grading and building permits will be necessary for project completion of specific building sites within the 634-acre area. Applications for these permits will be submitted during the mapping of individual parcels as individual building projects are undertaken.

6. OPEN SPACE EASEMENT VACATION

An Open Space Easement has been recorded over a portion of a small hill located north of Rancho Bernardo Road along the boundary separating the 634 acre 4S Ranch Specific Plan area from the area regulated by the 2,891-acre Volume II Specific Plan text. In order to implement the Specific Plan it will be necessary to grade the hill. Approval of an Open Space Easement Vacation will be required prior to any grading within the area covered by the easement.

6. AMENDMENT OF AGRICULTURAL PRESERVE CONTRACTS

~~It will be necessary to amend the agricultural preserve contracts for the parcels within the concept plan area, in order to allow the water reclamation facility. The contracts will be amended by the Board of Supervisor concurrent with adoption of the specific plan.~~

7. ANNEXATION TO PUBLIC SERVICE DISTRICTS

~~Annexation to the Olivenhain Municipal Water District, County Water Authority, and Metropolitan Water District will be required to provide water services to the ranch. Application for annexation has been made to the Olivenhain Municipal Water District. Annexation to the CWA and MWD will follow:~~

~~Application will be made for annexation to the Rancho Santa Fe Fire Protection District to provide fire services:~~

~~A County Service Area (CSA) will be created to fund operation of the water reclamation facility. The CSA is administered by the County of San Diego.~~

~~All of these actions will require approval by LAFCO. After LAFCO approval, they will be acted on by their respective governing boards:~~

All annexations necessary to provide public services to the 634-acre portion of the 4S Ranch Specific Plan Area have been concluded.

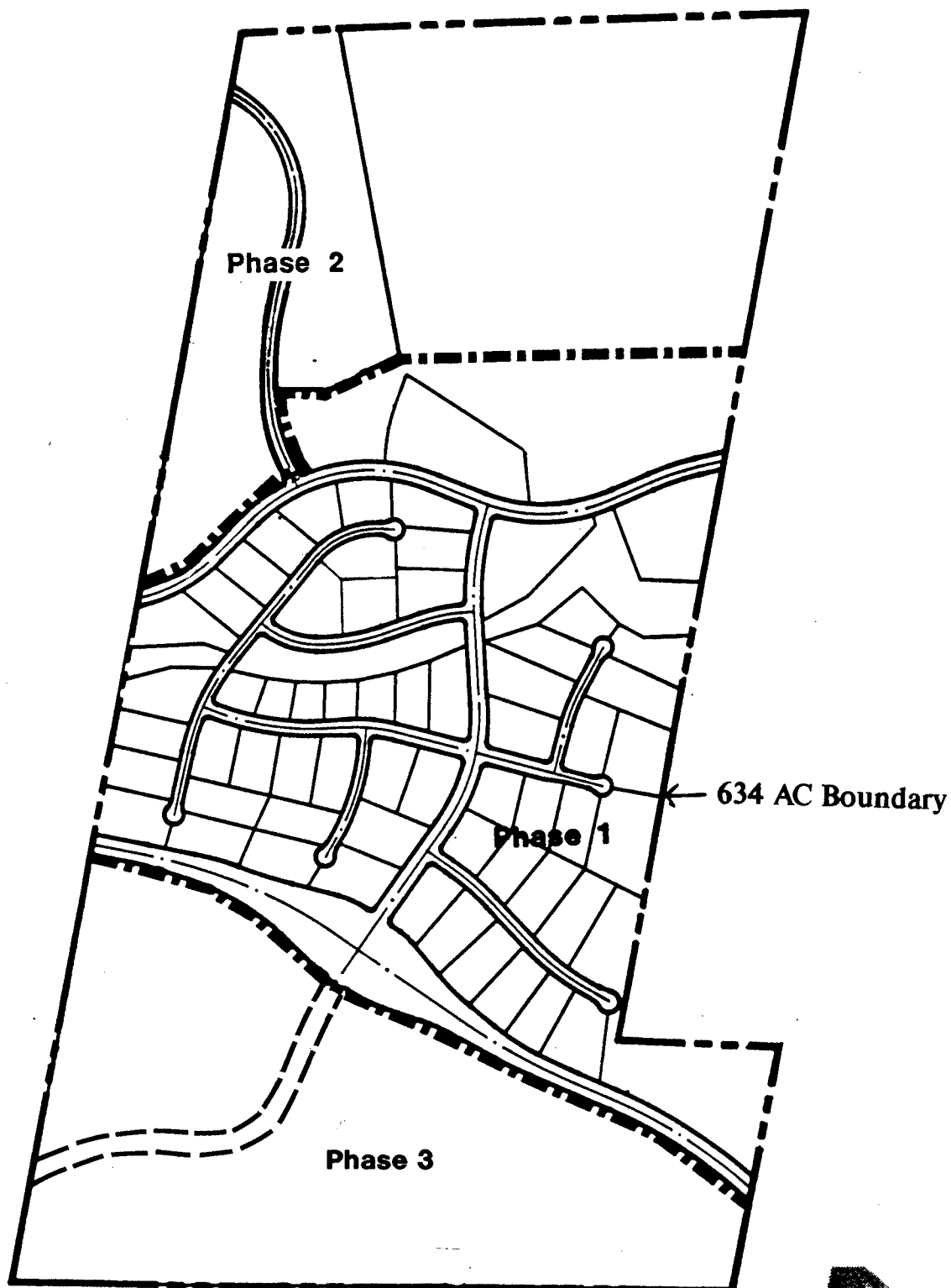
8. 7. SITE PLANS

The residential parcels north of Rancho Bernardo Road and west of Alva Road shall be developed pursuant to Site Plans. The design review for the Site Plans shall include the siting and setback of structures, the streetscape elevation including treatment of roof lines, and roof elevations.

B. DEVELOPMENT PHASING

Development of the 634-acre portion of the 4S Ranch Specific Plan Area ~~will have been proceeding~~ in sequential phases as shown in Figure 10. Phase I consists of the area between Camino del Norte and Rancho Bernardo Road, including the industrial park, the commercial site, and ~~a seven-acre~~ the office-professional sites. Residential development sites north of Rancho Bernardo Road, ~~including all residential development and the second office-professional site,~~ will be ~~were~~ included in the second phase. The remaining areas are composed of the open space portion of the specific plan, which will not be developed, and the ~~future planning area,~~ which is not proposed for development at this time Christopherhill portion of the Specific Plan.

~~Each of the development phases will be implemented in smaller steps by a sequence of tentative maps. Each of these tentative maps will in turn be implemented in smaller segments according to development units shown on them. Infrastructural improvements will be~~ have been included in phases as required ~~to serve the level of development of each individual step.~~ Phasing of these infrastructural improvements ~~will be~~ have been determined at the tentative map stage of development.



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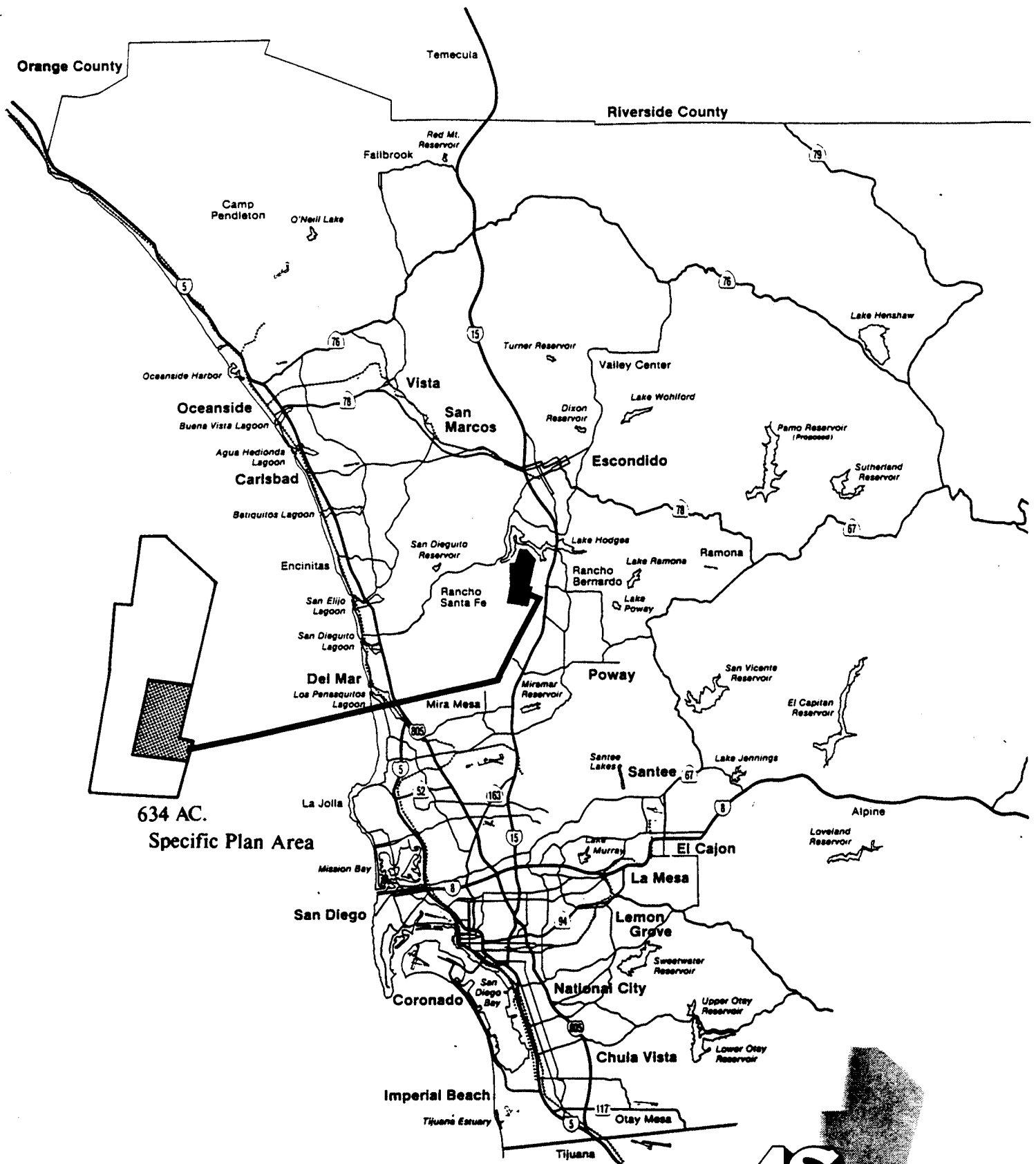
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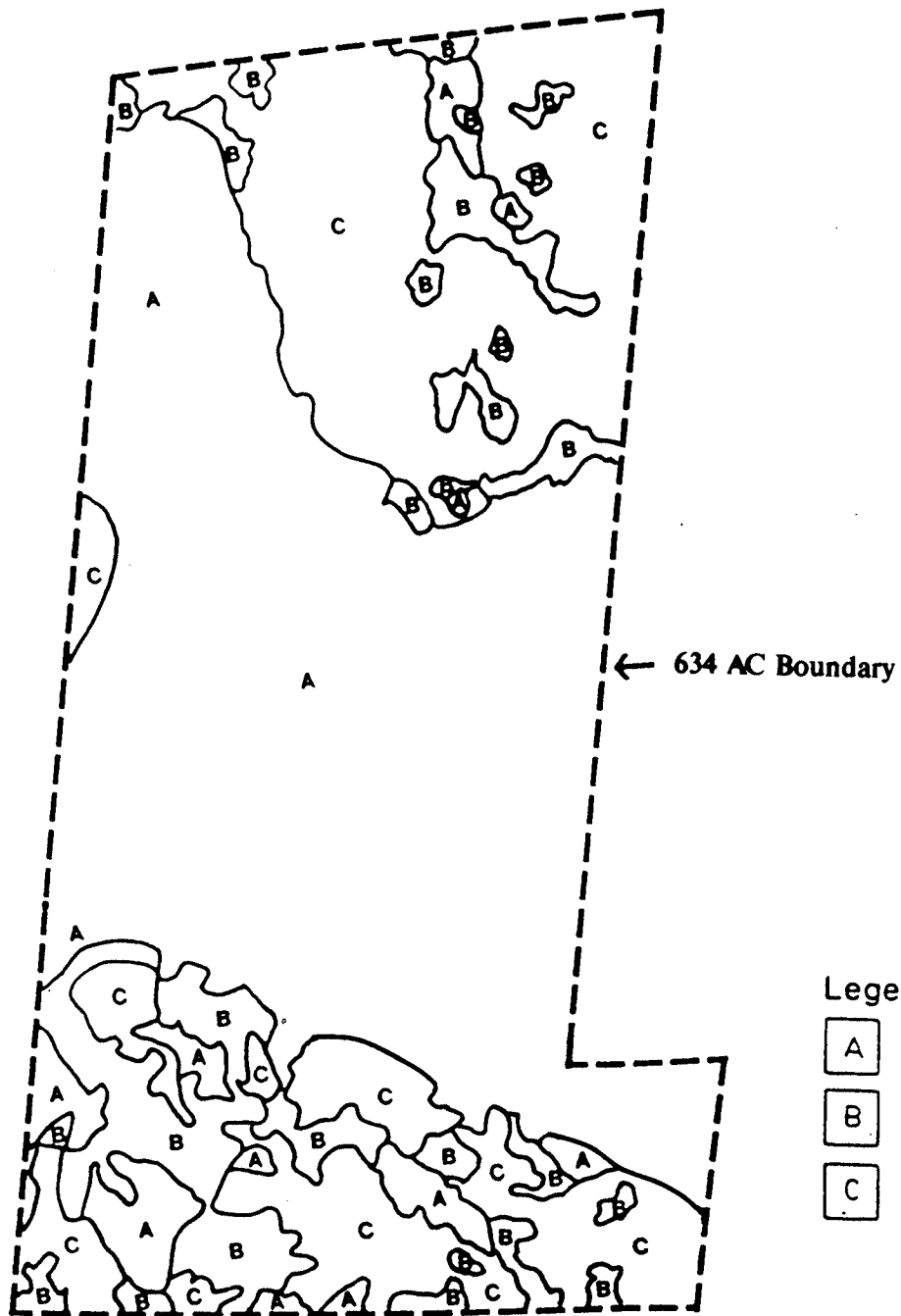
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Ranch**

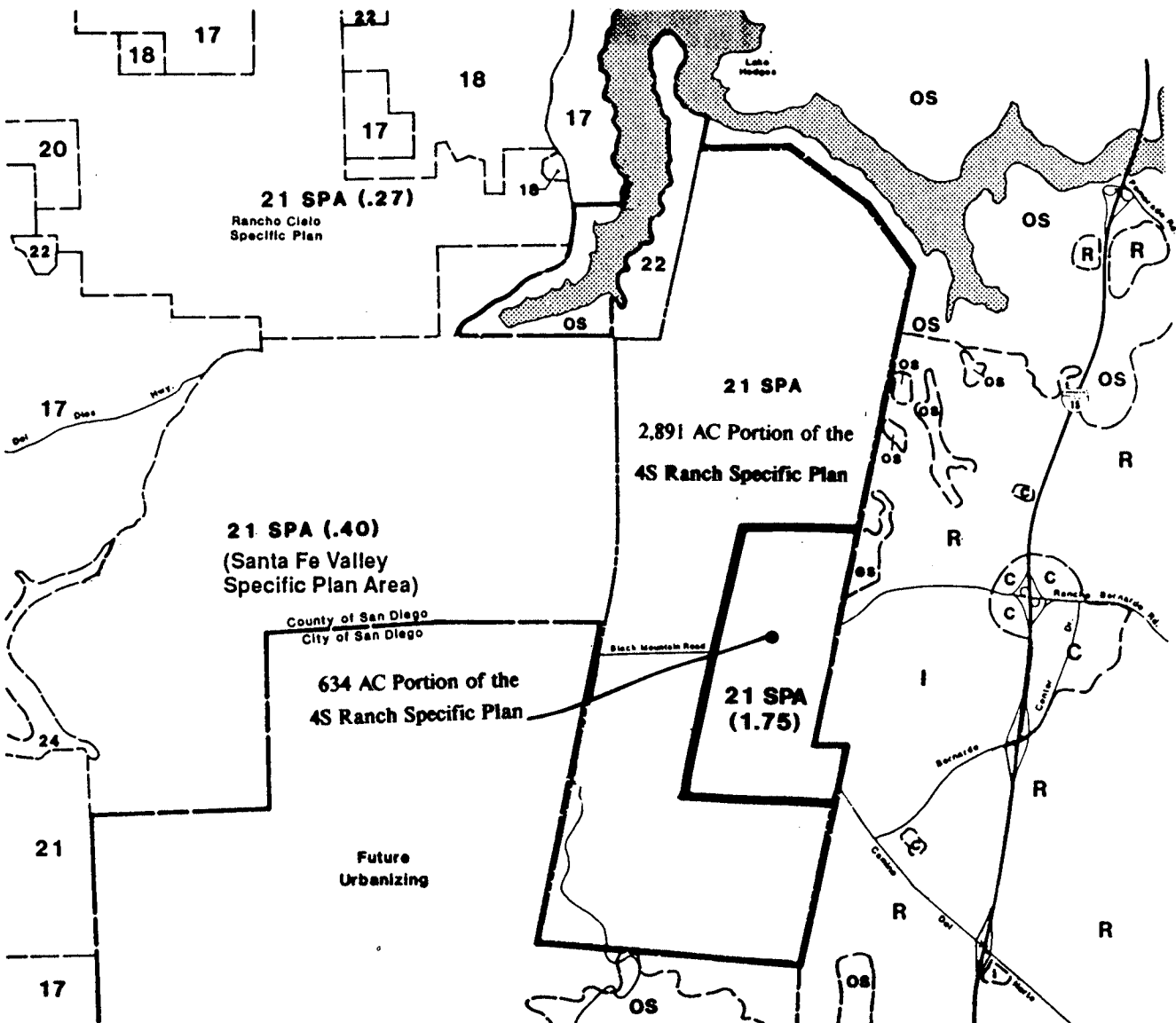
Regional Map

Figure 1



Not To Scale





**San Diego County
Community Plan Designations**

- 17 Estate
- 18 Multiple Rural Use
- 20 Agricultural Preserves
- 21 Specific Plan Area
- 22 Public/Semi-Public
- 24 Impact Sensitive Area

City Designations

- R Residential
- I Industrial
- C Commercial
- OS Open Space



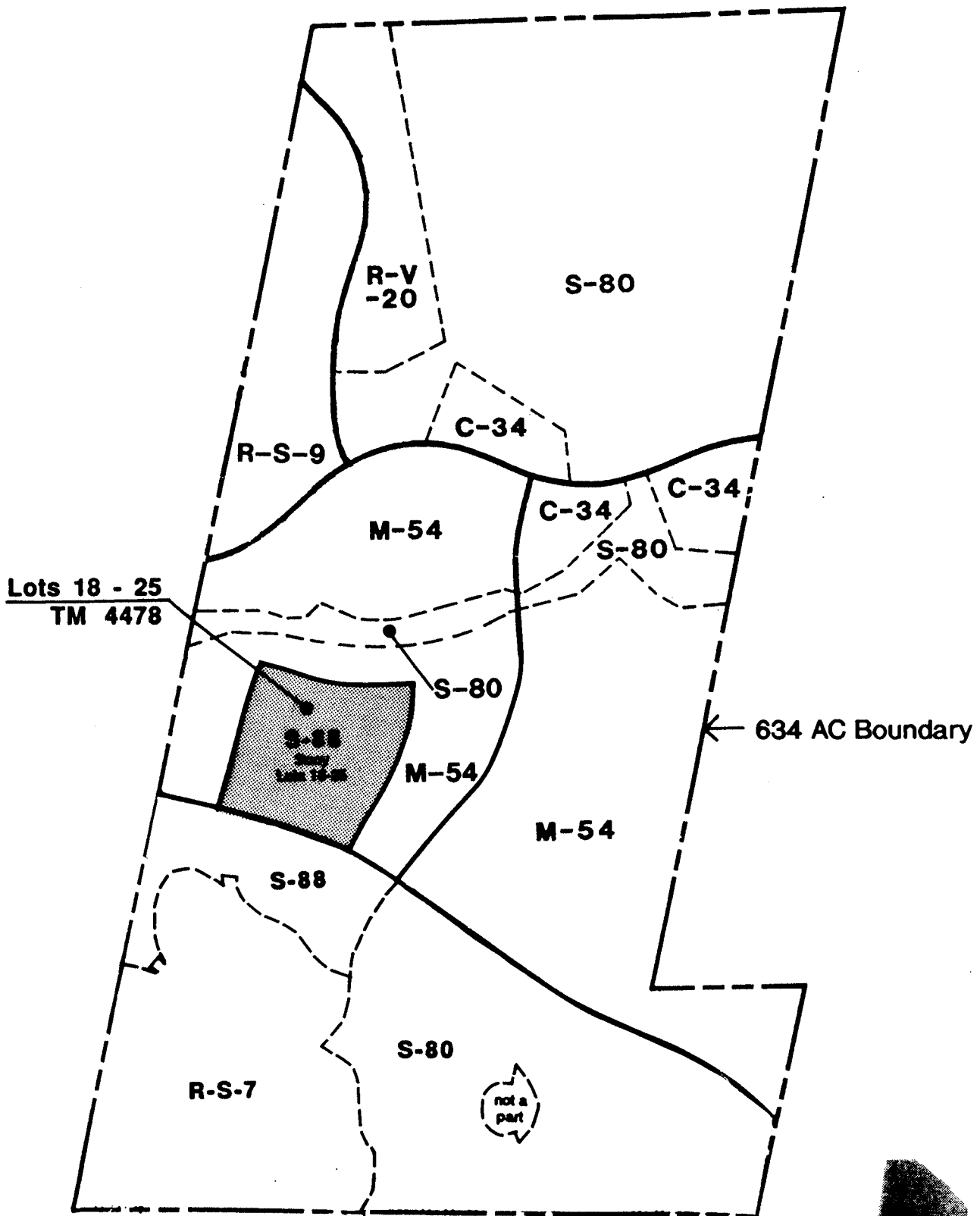
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Land Use Designations

**4S
Ranch**

Figure 5



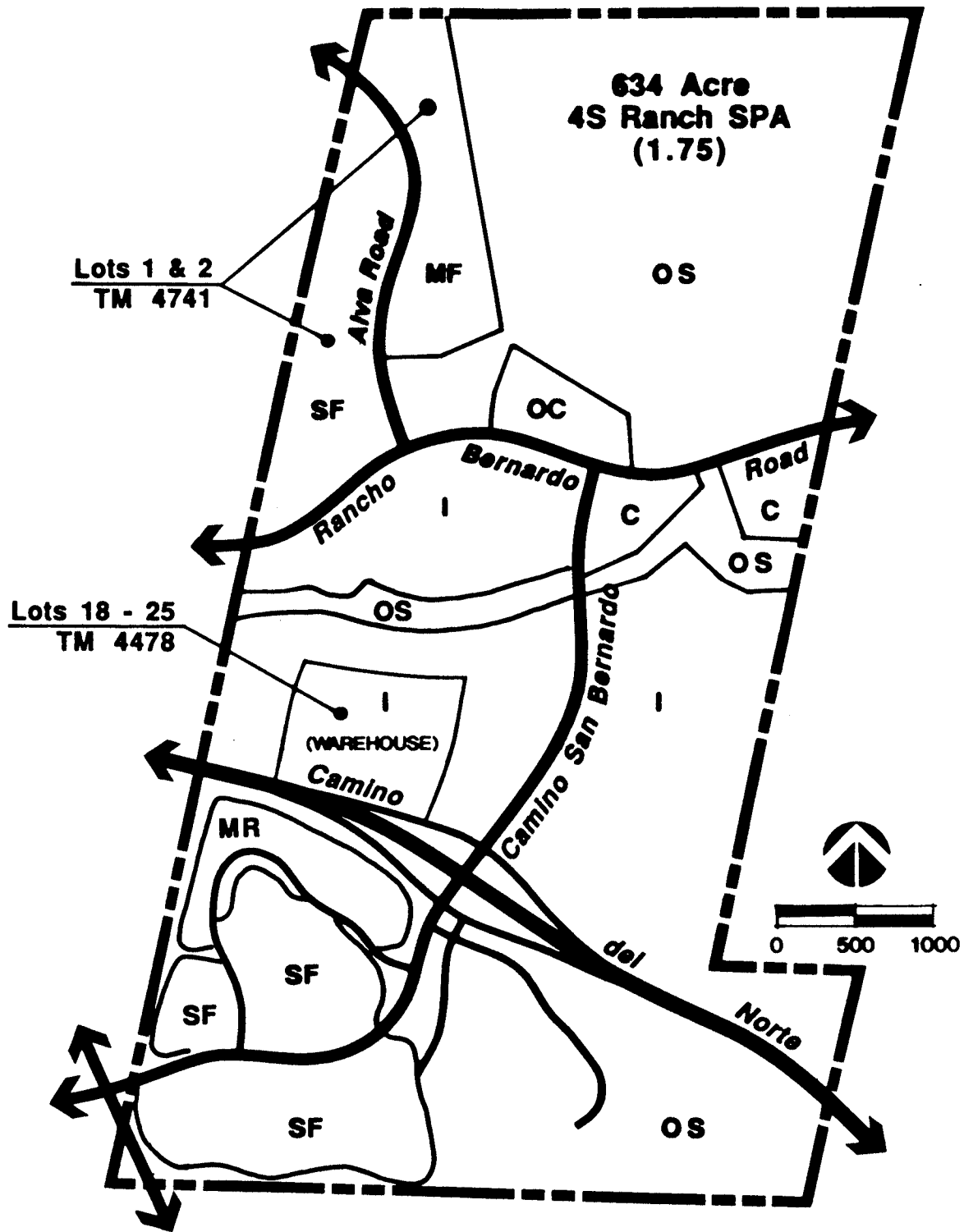
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Proposed Zoning Designations

4S
Ranch

Figure 6



Legend

--- 4S Ranch SPA Boundary
 C Commercial
 MF Multiple Family Residential
 MR Mixed Residential

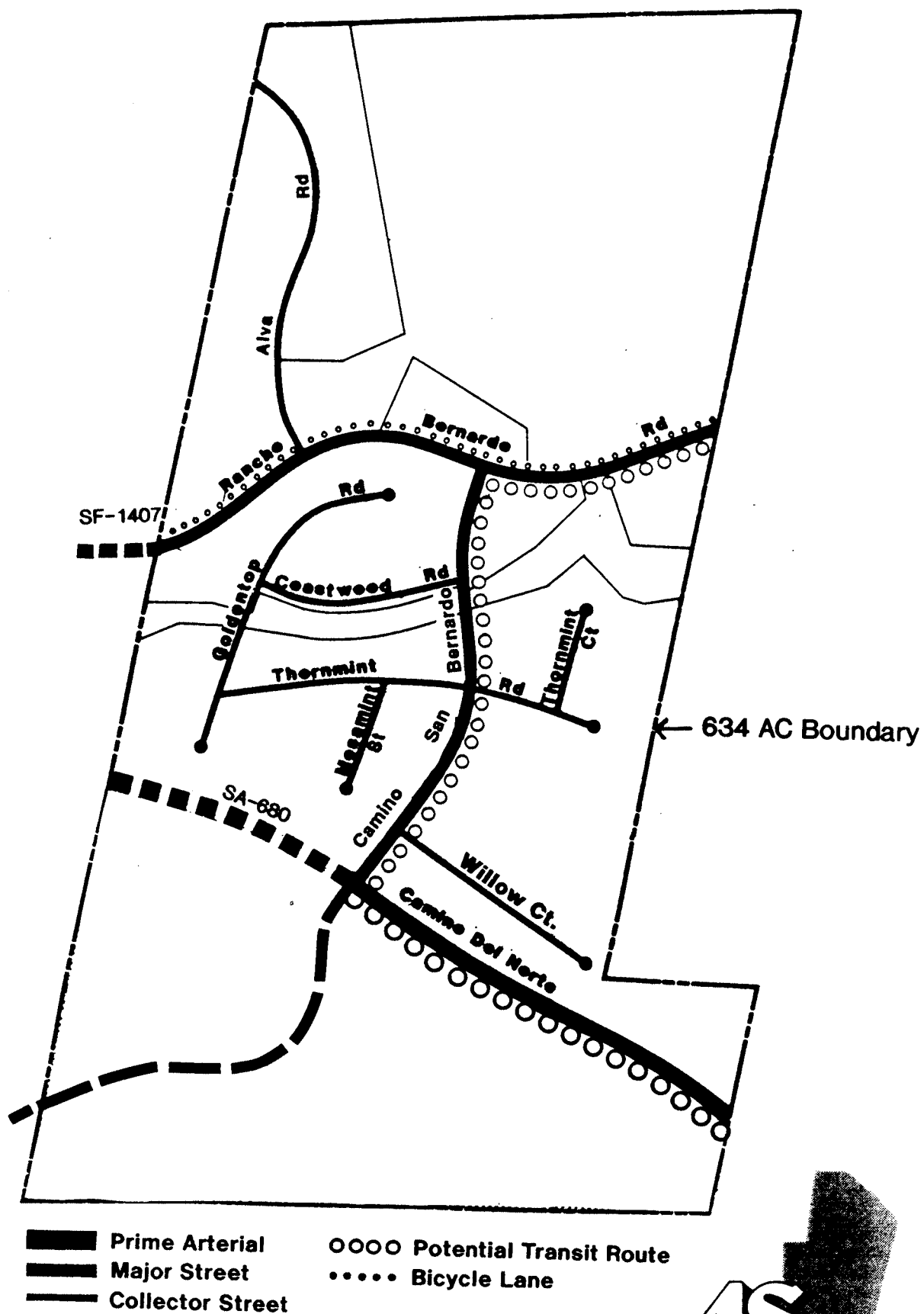
SF Single Family Residential
 OC Office Commercial
 I Industrial
 OS Natural Open Space

4S
Ranch



Amended Specific Plan Map

Figure 7



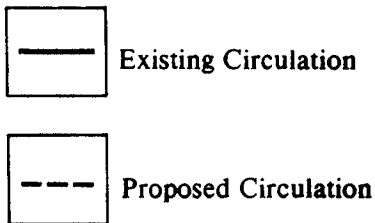
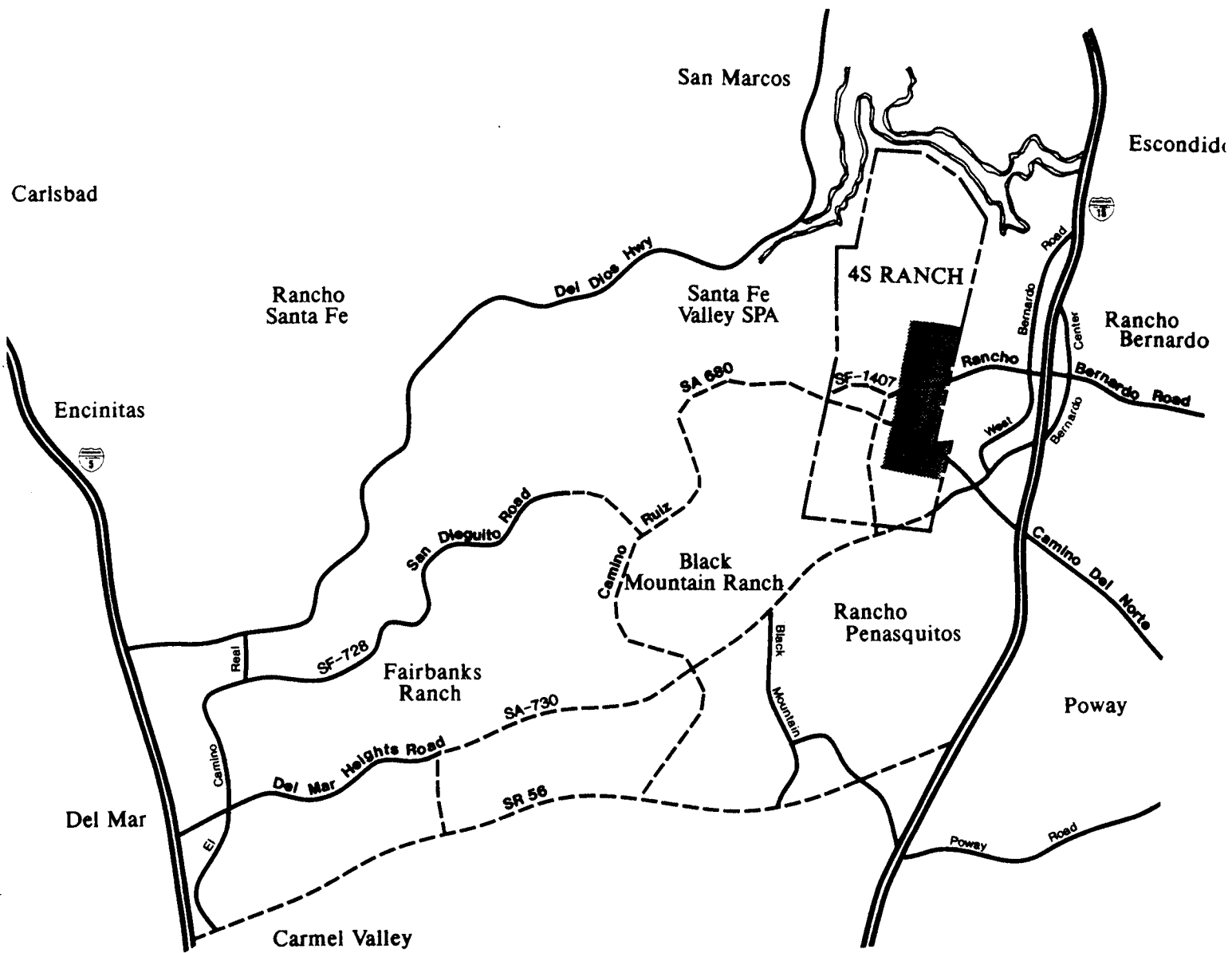
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Existing Circulation System

4S
Ranch

Figure 8

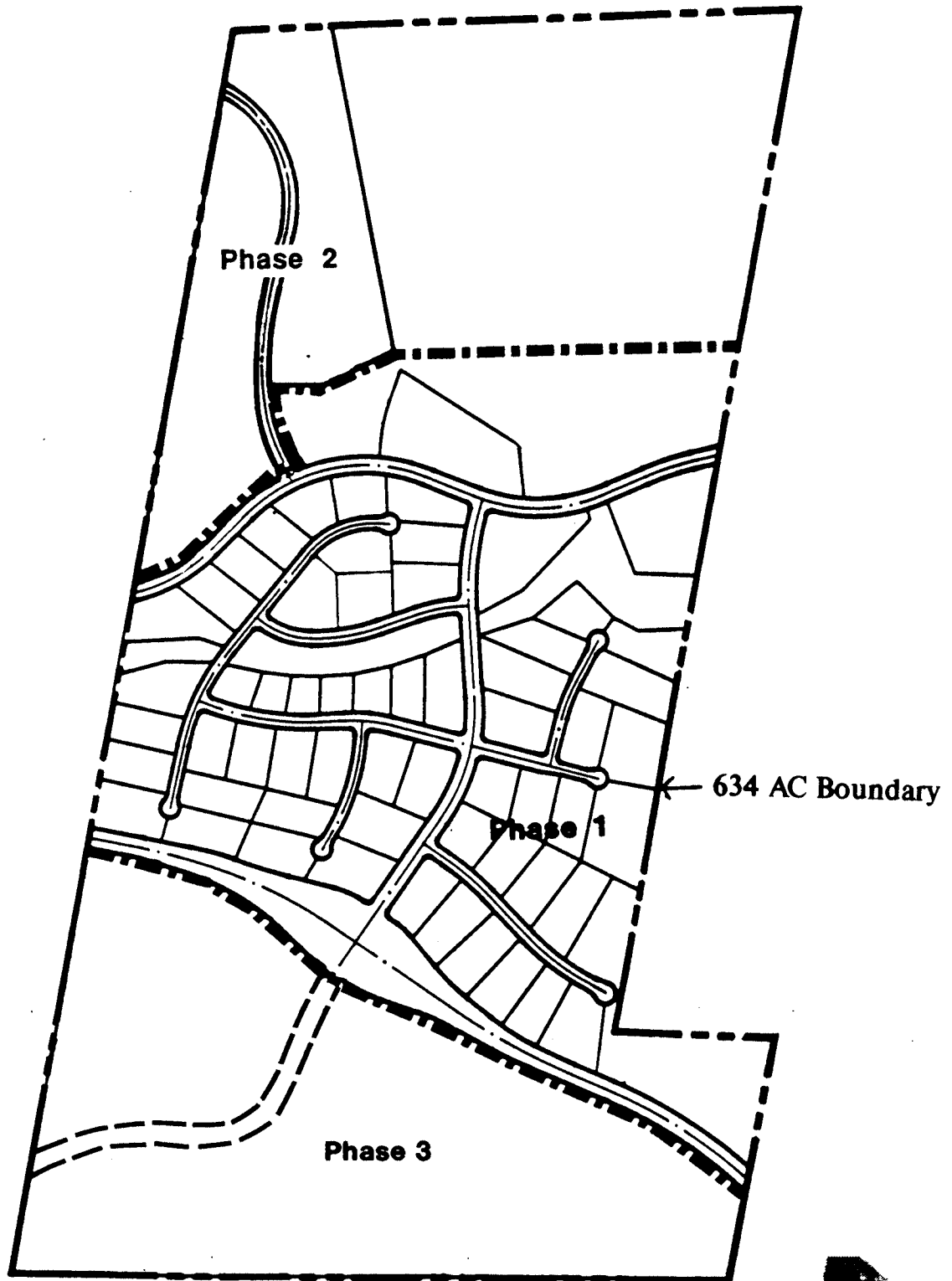


4S
Ranch



Regional Circulation System

Figure 9



4S RANCH SPECIFIC PLAN

VOLUME II

PREPARED FOR :

COUNTY OF SAN DIEGO
DEPARTMENT OF PLANNING AND LAND USE

NOVEMBER, 1998



4S RANCH GENERAL PLAN AMENDMENT REPORT AND SPECIFIC PLAN VOLUME II

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EXECUTIVE SUMMARY

INTRODUCTION

This 4S Ranch Specific Plan is the detailed master plan for the development of a 2,891-acre portion of the 4S Ranch. It describes the overall land use detailed plans for each residential neighborhood and commercial district and plans for the transportation system, housing, parks, recreation, open space and public facilities. The Specific Plan also contains an implementation program that relates the project phasing to the completion of necessary public facilities. It is one of a series of documents that have been prepared to analyze the project and guide its implementation.

The planning for this portion of the 3,425-acre 4S Ranch is part of a continuing planning effort which began in 1982. The original Specific Plan prepared the master plan for a 634-acre area with the remaining 2,891 acres designated for future development. The 634-acre portion of the 4S Ranch has been developed as a business park, single family, variable family and multi-family residential. This document, in the form of a Specific Plan Amendment, provides the policy direction and detail for the remaining 2,891 acres.

The 4S Ranch is adjacent to existing and planned developments on three sides. To the east is an existing urban community comprised of the Westwood residential neighborhood of Rancho Bernardo, Bernardo Industrial Park and 4S Business Park, and Rancho Penasquitos residential neighborhoods. To the south and west is the approved Black Mountain Ranch project which includes lower density residential and a golf course. To the west is the future urbanizing area (FUA) portion of the Black Mountain Ranch. The approved framework plan for this area includes commercial, employment, and residential land uses up to 45 units per acre. Also to the west is the Santa Fe Valley Specific Plan which includes residential development, neighborhood commercial, a destination resort hotel, two golf courses, a wastewater treatment plant, a fire station site, a potential middle school site, and an elementary school. To the north is Lake Hodges and the City-owned open space which surrounds the lake. These existing and planned developments and open space areas are illustrated in Exhibit ES-1.

The existing and planned development surrounding 4S Ranch on three sides and the regional habitat and open space programs are the key determinants of this Specific Plan. The overall goal of the 4S Ranch project is to create a well-balanced community providing benefits and opportunities for its residents often not available in the North County area.

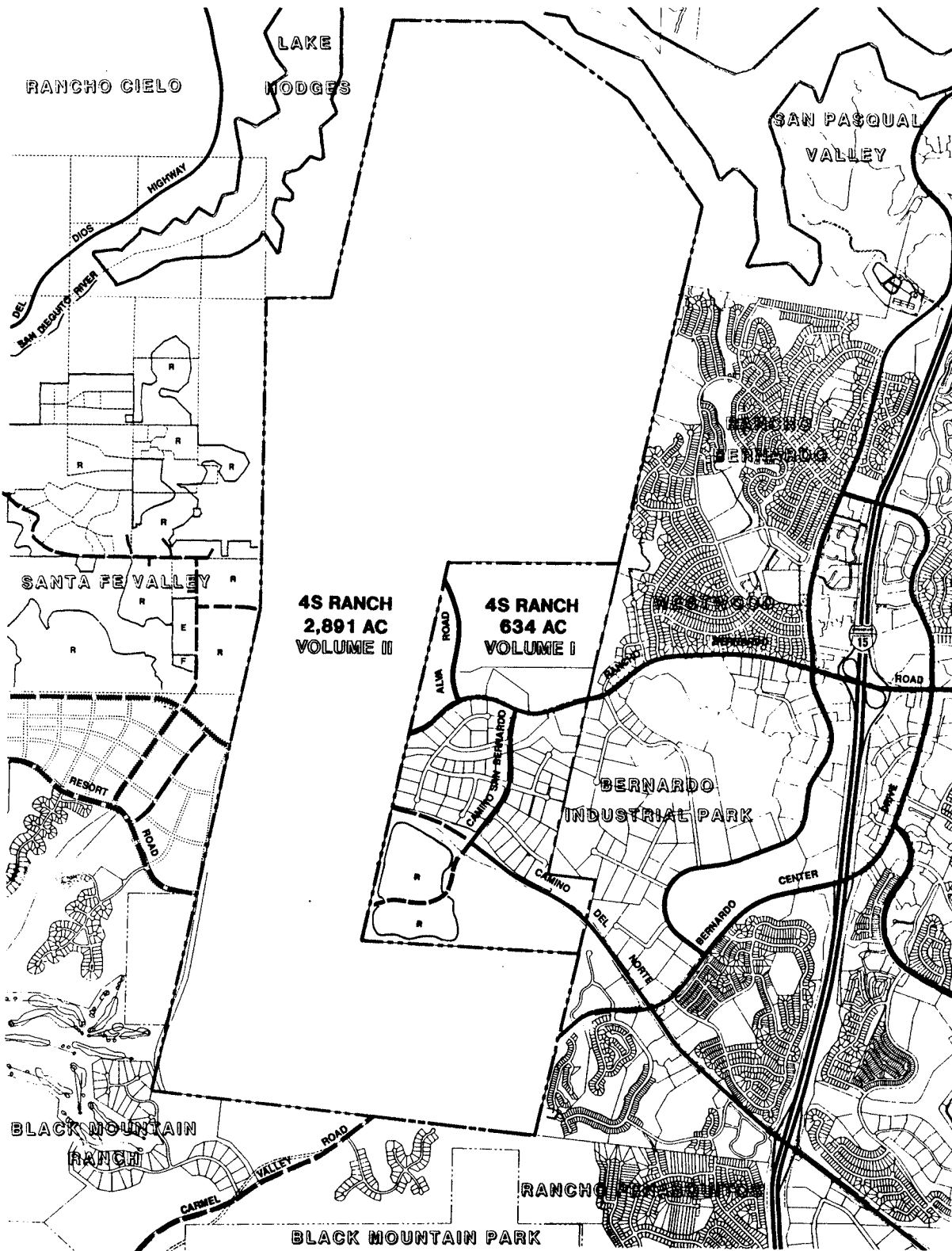


EXHIBIT ES.1 EXISTING AND PLANNED DEVELOPMENTS



THE COMMUNITY VISION

A community vision statement is a wide ranging expression of the aspirations and values that are intended to characterize the community when it is completed. It is a "founding" policy statement and all major elements of this Specific Plan are referenced to this vision. As most vision expressions are not directly quantifiable, the statement by itself is not an implementing policy. Implementation of the 4S Ranch is to be directed by the detailed guidelines contained in individual chapters of the Specific Plan. The vision for the emerging 4S Ranch community is to create one of the most livable communities in San Diego County for a diverse mix of housing and residents. Community building for the 1990's and into the next century is foreseen as increasingly oriented to the traditional approaches which were used to plan the existing San Diego communities and neighborhoods which many residents find to be the most special and desirable places within the city. This special urban form of 4S Ranch will result from its diverse community character, natural open space and parks, tree-lined residential streets, a Town Square surrounded by shops and restaurants and residents who frequently walk and bicycle within their community.

The realization of this vision is expected to result from adherence to specific community building principles. These principles, described in more detail in the Specific Plan, emphasize balanced land uses, diverse housing and employment opportunities, active civic spaces for social and recreational activities and the integration of resource protection, conservation, and reuse into the fabric of the community.

The environmental features within the 4S Ranch and surrounding area represent an important regional core of sensitive species, habitats and wildlife corridors. The preservation of major habitat areas and hillsides on the 4S Ranch will become a key part of this regional open space system and help define the overall community. The system developed to irrigate the parks, parkways, and common areas will be a model for integration of a water reclamation program into new, compact urban communities.

The balanced community is created by the wide range of land uses in the Specific Plan area, and within the surrounding two-mile area. Nearby employment, housing, education, commercial, and recreation facilities permit residents to routinely use alternative transportation modes for many of their trips. The variety of single-family homes, townhomes, condominiums and apartments create a diverse and affordable community with traditional family housing, as well as housing opportunities for families, singles, seniors, students, and others.

The 4S Ranch Parkway is the feature that will be recognized as the defining element of the community. It interconnects parks, schools, recreation areas,

and transit stops. It is envisioned to become the central civic space, with near continuous use for many social and recreation functions and for pedestrian and bicycle travel through the community. For many residents, walking and biking becomes a regular activity; the parkway will become a community promenade.

The urban plan for the 4S Ranch contains specific features which are central to making the vision described above a reality. These are summarized as follows:

- The compact, pedestrian-oriented urban plan is sited on the 40 percent of the property which contains few development constraints.
- The preservation of large blocks of natural open space totaling over two and one-half square miles functions as extensions of regional open space and habitat preservation programs.
- An innovative urban planning approach is based on transit-oriented design principles which encourages use of non-vehicular transportation.
- The urban plan is adaptable to any of the alternative ways which future transit systems may be developed in the subregional area and along the I-15 corridor.
- A variety of street design standards are designed to balance the needs of traffic, pedestrians, bicycles, and landscaping.
- Specific themed streets are designed to become the fabric that ties the community together rather than dividing lines between land use enclaves.
- Neighborhoods are planned so that many of the daily needs of residents can be reached realistically by walking or bicycling.
- A central internal parkway system encourages pedestrian and bicycle travel throughout the community and connects to all major facilities and destinations.
- An urban, pedestrian-oriented Mixed-Use District is organized around a Town Square, designed to be the central civic space in the community. Uses surrounding the Town Square may include community commercial, small shops and restaurants, recreation and entertainment, medical and professional offices, religious and cultural facilities, and multi-family residential.

- A mixture of housing types and prices are included within neighborhoods to increase diversity and create a more traditional residential neighborhood character; a character which typically contains a variety of architectural styles and scale.
- The comprehensive water reclamation program permits extensive landscaping of public areas and parks while reducing overall water consumption.
- A system of improved parks and natural open space, totaling 1,650 acres, extends through and around the community.
- The coordination of educational facilities planning with the school district, adjacent developments and the land plan for 4S Ranch allows most residents of 4S Ranch will be within walking or bicycling distance of elementary, middle, and high schools.

THE PLAN

The plan for the 4S Ranch is based on the vision statement above and the planning principles contained in the Specific Plan. It is a plan for a compact community comprised of four residential neighborhoods organized around the 4S Ranch Parkway and a central Mixed-Use District. The purpose and most important characteristic of the compact community approach is the opportunity for pedestrian and bicycle travel to many local public facilities and employment. The Specific Plan map is illustrated in Exhibit ES-2 and the Neighborhood Composite Map is illustrated in Exhibit ES-3.

Each of the neighborhoods has a varying character due to its location within the community, mix of residential units and specific topographic and open space features. The four neighborhoods and the residential portion of the Mixed-Use District total 4,704 dwelling units. The Ralphs Family Ranch has 11 units for a project total of 4,715. The acreage of each land use type is identified in Exhibit ES-4 and the number of residential units and type is identified in Exhibit ES-5.

Neighborhood One is located on a flat mesa south of Camino del Norte and the Mixed-Use District and adjacent to higher density residential areas planned for the Black Mountain Ranch to the west. The neighborhood is of medium density, predominantly single-family with a variety of types and sizes of homes and totals 1,505 residential units at an overall residential density of 5.9 units per acre. Also included in Neighborhood One is a neighborhood park.

Neighborhood Two is located south of Neighborhood One in La Jolla Valley on either side of Lusardi Creek. It is a lower density single-family area

developed in clusters north and south of Lusardi Creek. The neighborhood totals 640 residential units at an overall residential density of 2.8 units per acre. The dominant feature of the neighborhood is the Community Park and Lusardi Creek. A elementary school located next to the sports field portion of the Community Park serves both Neighborhoods One and Two.

Neighborhood Three is located on a relatively flat area north of Camino del Norte and the Mixed-Use District. It is adjacent to existing medium density residential and a business park on the east and planned low density residential in the Santa Fe Valley Specific Plan to the west. This central location, with maximum accessibility to community facilities and services, is the reason this neighborhood is planned to have the highest overall residential density and contains the greatest mixture of residential unit types and densities. Multi-family units are located adjacent to the Mixed-Use District. Single-family residential is located on the north and west adjacent to similar planned densities in Neighborhood Four. The neighborhood totals 1,924 residential units at an overall residential density of 7.5 units per acre. Also included in Neighborhood Three is an elementary school and neighborhood park.

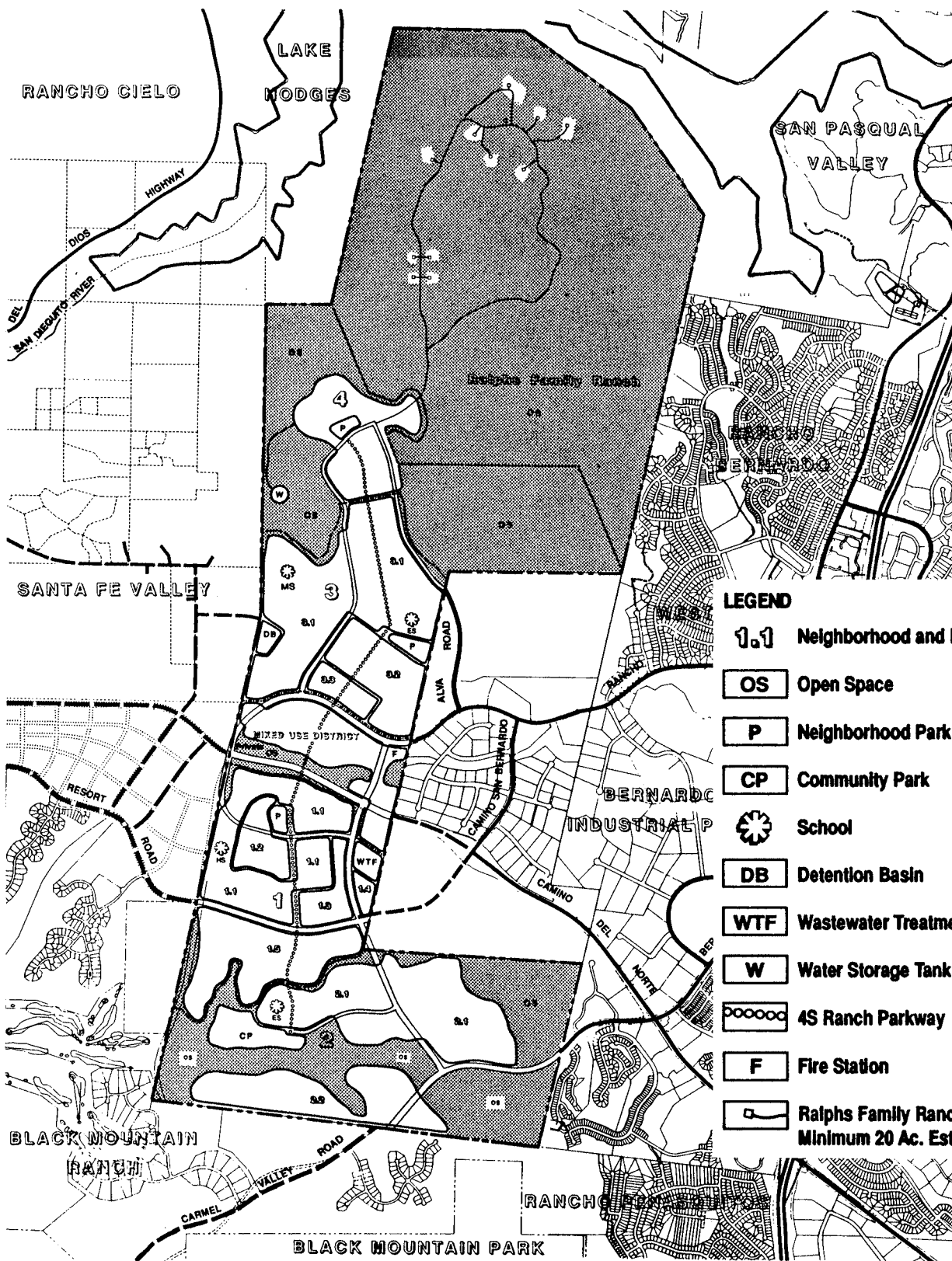
Neighborhood Four is located in a valley area north of Neighborhood Three and is adjacent to steep slope and habitat areas. This neighborhood is planned for lower density residential and totals 325 residential units at an overall residential density of 4.6 units per acre. Also included is a neighborhood park.

The Ralphs Family Ranch is in the northerly portion of the property which contains areas of steep slopes and sensitive habitat. The only development planned for this area are ten new homes to be located along the existing ranch road leading to the existing ranch house. The ranch totals 11 units including the existing ranch house at an overall residential density of 0.01 units per acre. Approximately 90 percent of the area will be undisturbed open space.

The Mixed-Use District is the urban center and the heart of the 4S Ranch serving the four project neighborhoods and existing and future surrounding residential areas with community retail services, small shops, restaurants, recreation and entertainment, medical and professional offices, and religious and cultural facilities. Multiple family residential of 310 units are also included in the District. The central portion of the District is the Mixed-Use Core which is a compact mix of uses organized around a Town Square, transit stop and 4S Ranch Parkway which extends through the District and into the residential neighborhoods as an internal community circulation system.

As described in the vision statement, the central theme element of the community will be the 4S Ranch Parkway. This linear, urban parkway is comprised of landscaped plazas and parks, parkway streets, schools, transit stops, the Town Square, and pedestrian and bicycle facilities. It will connect most of the public facilities and destinations in the community. The Parkway does include local vehicular traffic. However, the organization of major circulation streets and neighborhood access will direct most traffic volume away from the Parkway. The remaining vehicular traffic will be lower speed, local traffic compatible with the pedestrian and bicycle orientation of the Parkway.

The parks and open space system contain both public and private park facilities most of which are located adjacent to the Parkway. Taken together, the parks and parkway form a continuous public space and landscaped circulation system through the community.



LEGEND

- 1.1** Neighborhood and Residential Designator
- OS** Open Space
- P** Neighborhood Park
- CP** Community Park
- School
- DB** Detention Basin
- WTF** Wastewater Treatment Facility
- W** Water Storage Tank
- 4S Ranch Parkway
- F** Fire Station
- Ralphs Family Ranch
Minimum 20 Ac. Estate Lot

EXHIBIT ES.2 SPECIFIC PLAN MAP



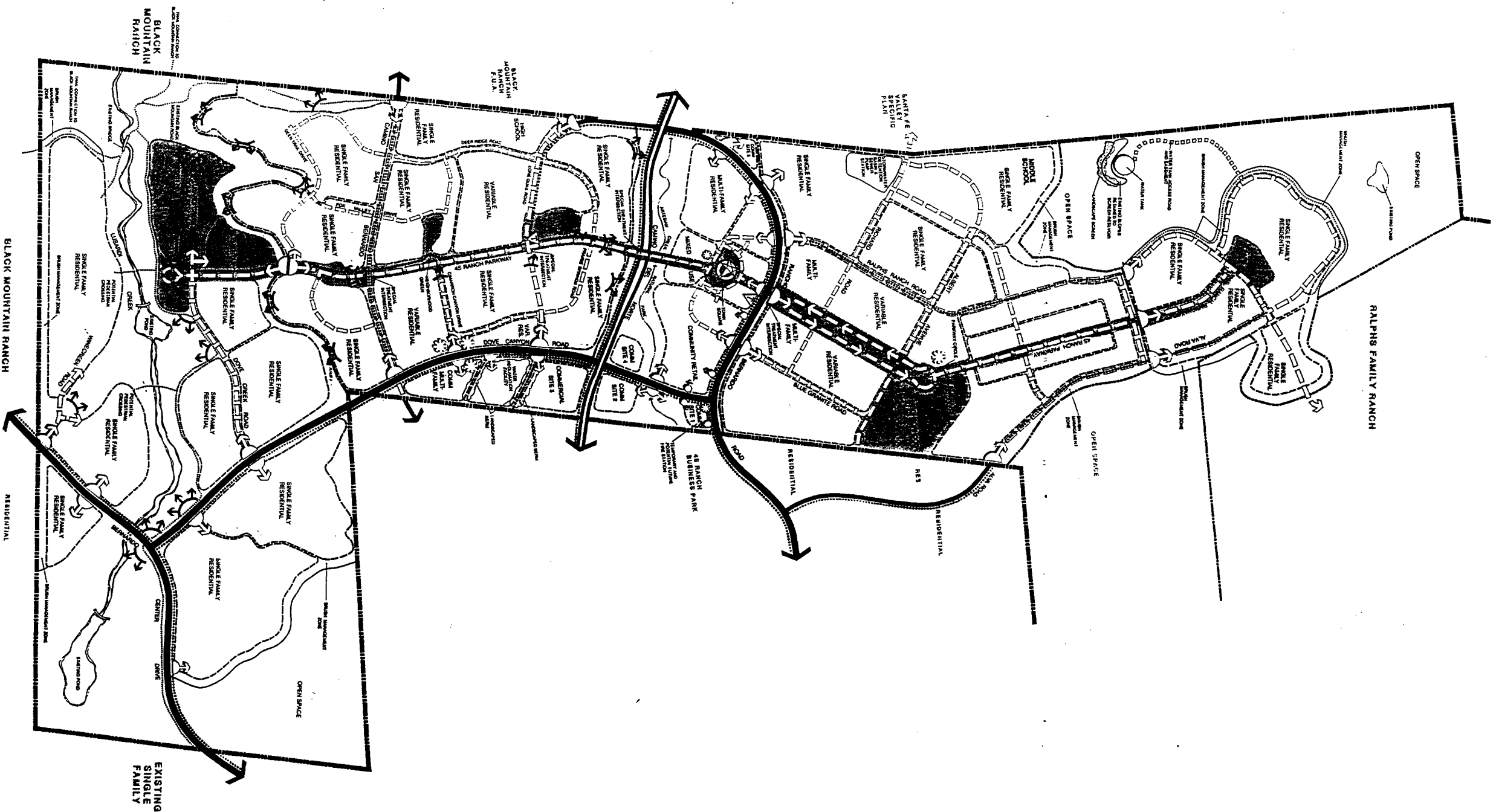
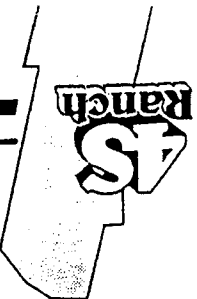


EXHIBIT ES.3 COMPOSITE NEIGHBORHOOD PLANS

- LEGEND**
- | | | | |
|--|-----------------------|--|----------------------------------|
| | 45 Ranch Boundary | | Primary Access |
| | Neighborhood Boundary | | Bike Path, Lane, & Unpaved Trail |
| | Major Circulation | | Parks and Schools |
| | Local Circulation | | Potential Transit Stop |
| | 45 Ranch Parkway | | Potential Church Location |
| | Variable Residential | | |

EXHIBIT ES.3
COMPOSITE
NEIGHBORHOOD
PLANS



**EXHIBIT ES-4
4S RANCH COMMUNITY LAND USE SUMMARY**

NEIGHBORHOOD/ DISTRICT	ACREAGE DISTRIBUTION ⁽¹⁾						
	Residential ⁽²⁾	Public Parks ⁽³⁾	Natural Open Space	Managed ⁽⁴⁾ Open Space	Comm./ Mix. Use	Arterial ⁽⁵⁾ Road	Other ⁽⁶⁾
NEIGHBORHOOD 1	255	5	0	15	0	15	11 ⁽⁷⁾
NEIGHBORHOOD 2	236	25	230	47	0	19	0
NEIGHBORHOOD 3	266	5	0	19	0	0	6
NEIGHBORHOOD 4	71	3	312	25	0	0	7
MIXED USE DISTRICT	22	0	5	11	53	24	20 ⁽⁸⁾
RALPHS FAMILY RANCH	41	0	1,065	78	0	0	0
TOTALS	891	38	1,612	195	53	58	44
TOTAL PERCENTAGE	30.8%	1.3%	55.8%	6.8%	1.8%	2.0%	1.5%
							100%

Footnotes:

- (1) All areas are approximate and the distribution is further defined by the footnotes below.
- (2) Includes local roadways and elementary schools.
- (3) Public parks developed for recreational use except as noted.
- (4) Includes open space in fire management zones and major internal slopes.
- (5) Rancho Bernardo Road, Camino Del Norte, Dove Canyon Road, Camino San Bernardo and Bernardo Center Drive.
- (6) Includes improved and natural private parks, neighborhood greens, pocket parks and utilities such as wastewater treatment facilities and detention basins.
- (7) Includes 9 acres of the Wastewater Reclamation Facility.
- (8) Includes 17 acres of the private Artesian Creek Natural Park.

EXHIBIT ES-5
4S RANCH RESIDENTIAL AND COMMERCIAL SUMMARY

NEIGHBORHOOD/ DISTRICT	SIZE	RESIDENTIAL				COMMERCIAL	AVERAGE NET DENSITY
		Single	Variable (SF & MF)	Multiple	Total Unit		
NEIGHBORHOOD 1							
Area 1.1	104.4	545	0	0	545		5.2
Area 1.2	28.1	0	285	0	285		10.1
Area 1.3	22.2	0	200	0	200		9.0
Area 1.4	7.6 ⁽³⁾	0	0	120	120		15.8
Area 1.5	92.7	355	0	0	355		3.8
Subtotal	255.0	900	485	120	1,505		5.9
NEIGHBORHOOD 2							
Area 2.1	153.5	475	0	0	475		3.3 ⁽¹⁾
Area 2.2	82.5	165	0	0	165		2.0
Subtotal	236.0	640	0	0	640		2.8⁽¹⁾
NEIGHBORHOOD 3							
Area 3.1	187.3	870	0	0	870		4.9 ⁽¹⁾
Area 3.2	60.6	0	684	0	684		11.3
Area 3.3	18.1	0	0	370	370		20.4
Subtotal	266.0	870	684	370	1,924		7.5⁽¹⁾
NEIGHBORHOOD 4							
	71.0	325	0	0	325		4.6
MIXED USE DISTRICT	22.0	0	0	310	310	550,000 s.f. ⁽²⁾	14.1
RALPHS FAMILY RANCH	N/A	11	0	0	11		N/A
TOTALS	N/A	2,746	1,169	800	4,715		N/A
TOTAL PERCENTAGE		58%	25%	17%	100%		

Footnotes:

- (1) Does not include 10-acre Elementary School in total area acreage for consistent density calculations.
 (2) Maximum amount of commercial square footage in the 4S Ranch Specific Plan including potential commercial development in Area 1.4.
 (3) Should Area 1.4 be developed with a commercial land use the 120 residential units are not transferable to other areas of the Specific Plan.

IMPLEMENTATION OF THE VISION

To make the vision become the community reality requires the successful completion of the planning process which has been underway for the past six years and is represented by the Specific Plan Amendment and associated applications. This will establish a sound planning framework for the detail design of the community. Continuing reference will be made to this framework and the guiding principles through all the subsequent planning and urban design.

The implementation also requires the completion of additional discretionary permits that will assure that adequate public facilities are available to support each phase of the 4S Ranch project and the surrounding areas.

For the key public facilities and services, some of the most important elements of the planning framework and the implementing plans and programs are as follows:

Transportation and traffic planning efforts have resulted in the application of specific regional and local traffic reduction techniques which include:

- A land use plan that is oriented to achieve a jobs/housing balance;
- A compact community plan that is adaptable to public transportation;
- Park and ride facilities will be planned adjacent to transit stops that connect to the I-15 transit system;
- Site plans that emphasize the use of bicycle and pedestrian facilities for many local trips;
- A circulation system that is designed to discourage vehicular traffic through neighborhoods;
- A phased program of off-site segment and intersection improvements that will improve traffic operations;

The 4S Ranch is within the Poway Unified School District. The program for school facilities include:

- The participation by 4S Ranch in preparation of a comprehensive school facilities program for the region which

includes a high school, middle school and three elementary schools;

- The designation of sites on the 4S Ranch for two elementary schools;
- The construction of two elementary schools that will be funded 100% by the project;
- The construction of the high school and middle school that will be funded by the project in a proportionate share.

The program for parks and recreation facilities include:

- Community and neighborhood parks totaling 38 acres that will be dedicated to the County Department of Parks and Recreation;
- The construction of approximately \$3 million of public park improvements including an athletic field complex;
- The location of parks adjacent to elementary schools for shared use.
- Neighborhood plans that centrally locate neighborhood parks within each residential area.

The plans for the comprehensive water reclamation program include:

- The 4S Ranch County Sanitation District facility expansion and upgrade that will be funded 100% by the project;
- The upgrade of the existing district facility to tertiary treatment to conform with California State Title 22 Standards for reclaimed water;
- The reclamation of 100% of the 4S Ranch wastewater for use as landscape irrigation that will conserve a projected 1.9 million gallons per day of domestic potable water at buildout.

The wastewater system and water conservation program has included or will include:

- The payment of \$5 million in annexation fees to fund upgrades to Olivenhain Municipal Water District, San Diego

County Water Authority and Metropolitan Water District facilities;

- A water transmission, storage and distribution system that will be funded 100% by 4S Ranch;
- The funding of nearly 20% of the Mount Israel Regional Emergency Storage Reservoir by the project;
- The funding of nearly 25% of the Mount Israel Water Purification Plan and related OMWD facilities by the project;
- The installation of water savings equipment and the implementation of water conservation management techniques throughout the 4S Ranch.

The fire protection and emergency services program has included or will include:

- The Annexation of 4S Ranch into the Rancho Santa Fe Fire Protection District and County Service Area 17;
- The preparation of a Fire Safety Master Plan and its approval by the District;
- The Temporary Fire Station which was 100% funded by the 4S Ranch;
- The expanded permanent Fire Station, to include paramedic service, that will be funded 100% by the project working jointly with Santa Fe Valley;
- The provision of additional response units to the west side of Rancho Bernardo through mutual aid agreement with the City of San Diego;
- Additional police protection that will be provided from an on-site sheriff's substation if approved by the Sheriff's Department;
- Over \$500,000 surplus tax revenue per year to the Fire District that will be generated by the project at buildout.

The 4S Ranch is planned as a balanced community incorporating single and multi-family residential, natural open space and parks, and community-serving commercial and retail, all surrounding a central civic space. The

development of necessary public facilities and infrastructure will coincide with the phasing plan for the 4S Ranch neighborhoods, ensuring that adequate services are in place to support 4S Ranch and its neighboring communities. The community vision combines balanced land uses, diverse housing and employment opportunities, active civic and recreational spaces, and the integration of resource protection, conservation and reuse throughout the community. The commitment to the realization of this vision will create a unique community characters for 4S Ranch, reminiscent of some of the existing, more traditional neighborhoods in San Diego County.

PART ONE

INTRODUCTION



CHAPTER 1.1 HISTORY OF THE 4S RANCH

PRE-PLANNING HISTORY

Period from 1846-1938

What is now the 4S Ranch was originally a portion of the 17,763-acre Rancho San Bernardo. This Rancho was established by Joseph F. Snook, an English sea captain, who became a naturalized Mexican citizen in 1833. Captain Snook married the daughter of a prominent rancher and obtained land grants in 1842 and 1845 from the Mexican Governor of California. Captain Snook's widow died in 1867, and the land grant was broken up and sold to satisfy debts. Between 1847 and the turn of the century, the site of the 4S Ranch was used extensively for the grazing of both sheep and longhorn cattle.

By 1915, the Ranch had been obtained, along with a number of other large ownerships, by the San Dieguito Mutual Water Company, a subsidiary of the Santa Fe Railroad. The railroad believed that eucalyptus trees would make excellent railroad ties and purchased these properties in order to plant thousands of acres of eucalyptus. This venture was unsuccessful as it subsequently was determined that eucalyptus timber produced inferior railroad ties. The property was then sold several times before it was purchased by Mr. Albert E. Smith. In the summer of 1928, Mr. Smith built the Spanish mission-style house on the ridge overlooking Lake Hodges. This house remains today as the ranch house. Soon after, the property was acquired by William A. Clark III, founder of the Los Angeles Philharmonic Orchestra. After Mr. Clark died in 1938, his widow sold the 3,525-acre 4S Ranch to the Ralphs family.

Period from 1938-1982

Since 1938, the Ranch has been used by the Ralphs family primarily for recreational and farming purposes. For many years the agricultural operations paid the maintenance and operation costs of the property including the property taxes. Until the late 1970's, the agricultural operations were mainly cattle raising and dry farming. From 1979 to 1981, portions of the Ranch were leased for specialty crop production. However, the intensive cultivation soon depleted the soil, yields fell, and the specialty crop operations moved on to other locations. Grass fires in 1944 and 1981 burned large portions of the ranch destroying most of the original eucalyptus and citrus groves. Previously cultivated areas now lie fallow. In 1976, the three westerly parcels in the ownership were placed into Williamson Act contracts which restricted their use to agricultural operations. In 1982, a Notice of Non-Renewal was filed for the land under Williamson contracts and efforts were initiated to begin planned development of the property. The Williamson Act Agricultural Preserve contracts expired on January 1, 1992.

PLANNING HISTORY

GPA-SPA84-01

In 1984 amendments to the San Diego County General Plan and San Dieguito Community Plan were approved by the County Board of Supervisors. The General Plan Regional Land Use Element was amended, pursuant to Board Policy I-63, to designate the 2,891 acres (which were still under Williamson Act Contracts) to Future Urban Development Area (FUDA). The intent of the FUDA land use category is to identify land suitable for urban development at some point in the future and hold it in reserve until in-filling has occurred on adjacent parcels and public services can be provided at levels necessary to support urban densities. The balance of the property (634 acres) was designated Current Urban Development Area (CUDA), which is applied to areas within the County where near-term development should be directed. Specific types and intensities of land uses permitted under FUDA and CUDA are governed by the County General Plan and the San Dieguito Community Plan.

The amendments in 1984 also included changes to the San Dieguito Community Plan, which divided the Ranch into two land use designations. The area under Williamson Act Contracts and in the FUDA Regional Category was designated (21) Specific Plan Area (no density allocated). The remaining 634-acre area, which corresponds to the area currently designated as CUDA in the Regional Land Use Element, was designated (21) Specific Planning Area with a gross residential density of 1.3 units per acre.

The Board of Supervisors also approved a Specific Plan, pursuant to Board Policy I-59, which included the entire 3,525-acre ownership. The Specific Plan text which provides detailed discussions of permitted land uses focused primarily on the 634 acres. This original text will now be referred to as Volume I of the 4S Ranch Specific Plan. The text which provides the detailed discussion of permitted land uses on the 2,891 acres and will be referred to as Volume II of the 4S Ranch Specific Plan.

PAA02-91 (4S Partners)

In March of 1991, the 4S Partners filed a Threshold Decision Request (PAA02-91). The request sought authorization from the Board of Supervisors to permit the filing of a GPA request. The GPA request would amend the Regional Land Use Element Map by changing the regional category on the 2,891-acre portion of the 4S Ranch from the Future Urban to Current Urban and by amending the San Dieguito Community Plan text and map.

On April 26, 1991, the Department of Planning and Land Use made the appropriate findings and issued an affirmative Threshold Decision permitting the GPA to be filed. On March 4, 1992, the Board of Supervisors concluded that the GPA process should proceed, and directed the Department of Planning and Land Use to retain private consultants to prepare the work products outlined in a detailed four-phase work program prepared by staff. Work on Phase 1 began in May 1993, and was concluded in February 1994. The work product consisted of a report and series of "constraints" maps prepared by the County's environmental consultant and a report and "opportunities" map prepared by the County's planning consultant. On February 15, 1994, the Board of Supervisors modified their previous direction and allowed the applicants to retain their own consultant team to conclude the remaining work efforts in Phases 2, 3, and 4 of the scope of work.

CHAPTER 1.2 PLANNING PRINCIPLES

This document has been prepared in a format which incorporates all applicable General Plan and Community Plan standards and policies, including those incorporated within a General Plan Amendment which has been filed concurrent with this Specific Plan. The purpose of this Specific Plan document is to generally establish uses and guidelines for a comprehensive, sensitively designed, master planned residential development of the 4S Ranch located within the County of San Diego.

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a specific plan of development for any area covered by a General Plan, for the purpose of establishing systematic methods for implementation of the agency's General Plan. A Specific Plan, as the term implies, is specific in nature, designed to address site specific issues such as existing on-site conditions relative to topography and existing environmental concerns; site design and layout, including building setbacks and visual appearance; as well as project-wide concerns such as on-site and off-site circulation and public facilities and services. While a General Plan examines an entire City or County, a Specific Plan concentrates on the individual development issues of a particular project.

Specific Plans must be consistent with County-wide goals and objectives. In general, the Specific Plan provides a bridge between the General Plan and individual project submittals in a more area specific manner than is possible with community-wide planning and zoning documents. The 4S Ranch Specific Plan establishes planning principles in order to ensure that the development meets the County's General Plan goals, policies and objectives and implements the vision established for the community.

The 4S Ranch Specific Plan has been prepared in compliance with the County Board of Supervisors' Policy I-59 for large-scale projects. The Board of Supervisors' Policy I-59 defines large-scale projects and establishes procedures for preparation of a Specific Plan.

The implementation of the 4S Ranch Specific Plan will be based on planning principles which are summarized in the four general categories below:

COMPREHENSIVE REGIONAL PLANNING

The planning for the 4S Ranch should be integrated with and directly assist in implementing the regional growth management plans and policies of the County of San Diego, the City of San Diego and SANDAG. The planning principles which are to guide development of the 4S Ranch so as to be consistent with comprehensive regional planning efforts are as follows:

- Land use decisions should be made in the context of all other existing and approved area land uses so as to expand and not duplicate the range of available public facilities and residential, commercial and employment opportunities.
- The determination of areas for development and areas for preservation should be made in the context of ongoing regional habitat and open space programs.
- The type of land uses within the 4S Ranch should contribute to the creation of a coherent subregional area which maintains a jobs-housing balance.
- The mix of land uses within the 4S Ranch should respond to most daily needs of residents and reduce required trips on regional roads.
- The Specific Plan should emphasize access to transit and be adaptable to alternative ways transit systems may be developed in the future.
- The residential development program should contain a variety of unit types, densities, and prices to provide a broad range of housing opportunities for residents of all incomes including affordable housing.

NEIGHBORHOOD PLANNING

The planning for the 4S Ranch Specific Plan should focus on the creation of interrelated residential neighborhoods each of which contain a mix of unit types and provide a walkable environment to many local facilities and services. The principles which are to guide development of the neighborhoods are as follows:

- Neighborhoods should be organized around a pedestrian and bicycle system which provides a realistic transportation option to automobile trips. The design of pedestrian and bicycle facilities should emphasize safety and convenience.
- Local facilities such as schools, parks, and open space should be within walking distance of neighborhood residents.
- Neighborhoods should be connected together and to community facilities permitting easy access throughout the community.

- The neighborhood street system should balance the needs of vehicular travel with pedestrians, bicycles, and landscaping and contribute to the character of the community.
- The street network should provide multiple ways through the neighborhood to distribute traffic and reduce traffic volume on any particular street.
- Neighborhoods should include or be adjacent to many local facilities such as parks, educational facilities, day care, community retail, medical and professional services, recreation and entertainment, and religious facilities. Trips to local facilities should be easily made by pedestrian and bicycles.
- Neighborhoods should contain a mix of residential unit types and a variety of architectural styles.
- Most residential units should orient to a public street system. The sense of community and continuity is enhanced when gated or private residential enclaves are not a major feature of the neighborhood.
- Multi-family residential should be located with maximum access to community facilities and services.
- Affordable housing should be dispersed within the community but located in proximity to the retail, education, and community services.

OPEN SPACE AND ENVIRONMENTAL PLANNING

Conservation of environmental resources should be a principle feature of the 4S Ranch Specific Plan. The principles which should guide planning for conservation of these resources are as follows:

- On-site natural open space areas should be extensions of regional systems and be sized to maintain viable habitat areas and functional corridors, as approved by the Federal and State Resource Agencies.
- Designated open space areas should conserve significant habitat areas and clusters of sensitive species which exist on the 4S Ranch.
- Appropriate brush management areas should be established between developed and designated open space areas.

- Trails through natural areas may be provided if consistent with maintaining the habitat value of the native open space.
- Improved parks, recreation, and open space areas should be planned to complement natural open space areas and extend open space into the developed area of the community.
- The improved parks and open space within the developed area should be a defining element of the community providing structure and continuity.
- Views from and through the community to the natural open space areas should be part of neighborhood site planning.

PUBLIC FACILITIES DEVELOPMENT CONCURRENT WITH NEED

Public facilities and services should be developed in parallel with residential and commercial development so that at each phase of the 4S Ranch facilities are in place to meet the needs of local residents. The principles which should guide facility planning are as follows:

- The physical location of key public facilities should be closely coordinated with the overall 4S Ranch Specific Plan Area phasing to assure construction of facilities in a timely and efficient manner.
- The timing for the implementation of public facilities should consider existing area needs and deficiencies as well as needs generated by the 4S Ranch Specific Plan Area.
- Consolidation of funds to implement the most needed facility should be a priority if funding constraints limit the immediate provision of the full range of facilities.
- Service providers should consider the potential for co-location with other public facilities or within mixed-used private development projects.

CHAPTER 1.3 REGIONAL CONTEXT

RELATIONSHIP OF PROJECT TO THE REGION

The entire 4S Ranch property consists of approximately 3,525 acres located within San Diego County. The project site is bounded by Lake Hodges to the north, Rancho Bernardo and Rancho Penasquitos to the east, Black Mountain Ranch to the south and southwest, and the Santa Fe Valley project to the west. The 634-acre portion of the Ranch within the Current Urban Area established in 1984 lies within the east-central portion of 4S Ranch adjacent to Rancho Bernardo. The 2,891-acre Future Urban Development Area, which is the subject of this Volume 2 of the Specific Plan Amendment, constitutes the balance of the Specific Plan area.

JURISDICTIONAL SETTINGS

Although the entire 4S Ranch is located within the unincorporated area of the County of San Diego, it is mostly surrounded by the City of San Diego. Approximately 90 percent of the property boundary of the Ranch borders on the City of San Diego. The Ranch is connected to the other areas administered by the County by a 6,600-foot strip along the western boundary. Because of this configuration and the fact that most of the adjacent properties along the eastern boundary have been developed, there is a need to be sensitive to the potential project impacts to adjacent communities within the City of San Diego. A discussion of the City's land use policies and the degree of conflict and conformity with those policies is contained in a report titled "Regional Land Use Policies," accompanying this Specific Plan Amendment.

PLANNING CONTEXT

The San Diego County General Plan has included the entire 3,525-acre 4S Ranch within the "Urban Limit Line" since 1984. Since 1984, most of the areas in the City of San Diego east and southeast of the 4S Ranch, including the communities of Rancho Bernardo and Rancho Penasquitos, have been built out in conformance with their community plans. To the west, every major land holding between the 4S Ranch and the I-5 corridor has either been developed or is in the development-entitlement process. Black Mountain Ranch, in the City of San Diego, has an approved tentative map for the first phase of development on their 4,600-acre project. Within the unincorporated County, a specific plan for the Santa Fe Valley SPA was approved by the Board of Supervisors in 1995. Approval of the 4S Ranch General Plan Amendment and Specific Plan Amendment will allow the subregional planning process to proceed in a comprehensive manner and will allow the County, the City of San Diego, and the service agencies the

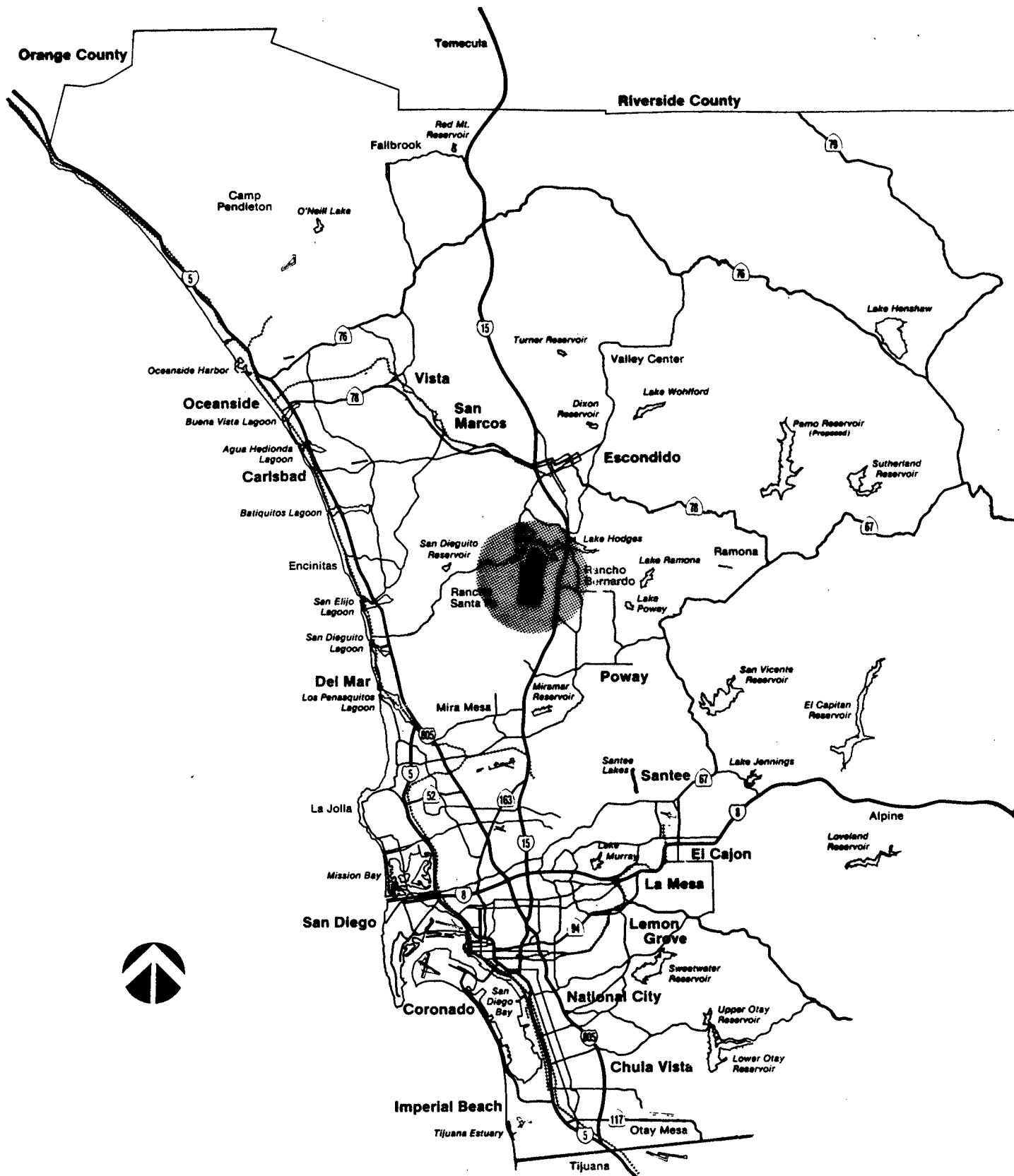


EXHIBIT 1.3.1
REGIONAL LOCATION

greatest flexibility in planning the needed infrastructure, public facilities, open space network, and other subregional elements.

POPULATION, HOUSING AND DEMOGRAPHICS

The San Diego Association of Governments (SANDAG) prepares growth forecasts for the San Diego region every four years. For research purposes, the County is divided into 41 subregional areas (SRA). The most recent Series 8 forecast released by SANDAG indicates that the population of SRA 14, which contains the 4S Ranch, will increase from the estimated 1990 population of 67,763, to approximately 116,235 in 2015. This increase in population will create a significant demand for new housing.

The Series 8 forecast indicates that there will be a need for approximately 18,982 additional housing units in SRA 14 by the year 2015. The 2,891-acre Specific Plan area of the 4S Ranch represents approximately 25 percent of the land available for housing to meet this projected need and proposes 5,365-dwelling units. The other substantial area of vacant land planned for residential uses in SRA 14 is the Black Mountain Ranch property, which is authorized under the Framework Plan for a maximum of 5,500 units in Subareas 1-A and 1-B. Together these two properties propose to accommodate approximately 10,900-dwelling units. This would leave approximately 8,000-dwelling units for in-fill development in the Rancho Bernardo and Rancho Penasquitos areas.

The San Dieguito Community Plan, which includes the communities of Rancho Santa Fe and Fairbanks Ranch, contains some of the most expensive housing in San Diego County. The median price single-family home in Rancho Santa Fe in 1994 was \$980,000. Rancho Bernardo and Rancho Penasquitos median prices in 1994 were \$210,000 and \$209,500, respectively. The approval of this General Plan and Specific Plan Amendments will ensure the supply of affordable, entry-level housing in this area to meet the projected subregional need.

REGIONAL CIRCULATION SYSTEM

The 4S Ranch is located approximately two miles west of I-15 and is connected to it by two prime arterial roadway, Camino del Norte and Bernardo Center Drive; and, one major roadway, Rancho Bernardo Road. In the future, Camino del Norte is envisioned as a connection to a regional transit system along I-15. Other roadways existing or planned in adjacent areas provide regional access via multiple routes to the east, south, and west.

The regional roadway system is the backbone of an overall future transportation system expected to include regional trolley and/or bus

systems, high occupancy vehicle facilities, park and rides, bicycle, and pedestrian facilities. The 4S Ranch transportation system has been planned in specific consideration of this regional system and served to implement a portion of this regional system. Additionally, the 4S Ranch transportation system is designed to provide realistic alternative transportation options and compact land use patterns which reduce overall travel needs and travel by single occupant automobiles.

The development of the 4S Ranch and its potential impacts on the subregional circulation system has been the subject of intense scrutiny during the Phase 1 and Phase 2 analyses prepared prior to the filing of this Specific Plan Amendment. All of the traffic analyses prepared to date have been based on SANDAG's Mid-County Traffic Study. This study, which has been underway for a number of years, has served to coordinate the complicated interjurisdictional mid-county circulation system issues.

The 4S Ranch is served by a number of circulation system roads. The ranch is located east of I-15 and north of the proposed SR 56, which will link I-5 and I-15. Until fairly recently SA 680, a major east-west connector, was shown on the Circulation System maps as passing through the 4S Ranch connecting Rancho Bernardo with the coastal community of Encinitas. However, the Board of Supervisors has recently acted to eliminate from the County Circulation Element that portion of SA 680 that runs northwest through the Santa Fe Valley SPA, crossing the San Dieguito River and continuing northwest through Rancho Santa Fe/Olivenhain area to Encinitas. The GPA to eliminate SA 680 was heard and approved by the Board of Supervisors in 1995.

CHAPTER 1.4 SITE CHARACTERISTICS

SITE ANALYSIS

The site analysis of the 4S Ranch was prepared as part of the Phase 1 Scope of Work for the General Plan Amendment. This Phase 1 work effort was completed by a consultant team lead by Brian Grunwald and Associates. This included an extensive documentation and mapping of the site features. The detail maps that were prepared as part of this investigation included Vegetation Communities, Sensitive Plants and Animals, Topography and Slope Gradients, Geologic Features, Geotechnical Restrictions, Archaeological Sites and Hydrology. These documents are part of the Phase 1 GPA report. A summary of the site analysis is presented in this chapter.

Existing Topography

The northern portion of the site is characterized by steeply-sloping terrain with hills ranging from 500 to 800 feet above mean sea level (MSL) along the northern border overlooking Lake Hodges. The highest hill in the northern portion of the site is at 1,100 feet MSL. The elevations along the northern borders of the site descend to lower elevations (500-600 feet MSL) which form a valley at the base of the hills. More level terrain extends from the base of the hills in the northern portion of the site to the central mesa area where elevations also range from 500-600 feet MSL. The more level terrain in the central portion of the site extends off-site to the west.

The topography of the southern portion of the site is centered around the La Jolla Valley/Lusardi Creek landforms. The La Jolla Valley and Lusardi Creek run east-west parallel to and north of the southern boundary of the site. The mesa area in the central portion of the site forms the northern slopes of the La Jolla Valley. Within the project area, the floor of La Jolla Valley ranges from approximately 500 to 3,000 feet wide. The lowest elevation on the west is approximately 400 feet MSL rising to 500-600 feet MSL on the east. The southern slopes of the Valley also form the southern border of the project area. Acreages within each slope category are presented below.

4S RANCH SLOPE ANALYSIS

STEEPNESS OF SLOPE	ACRES
0% - 15%	1,358
15% - 25%	604
25% - 50%	736
> 50%	193
TOTALS	2,891

Existing Visual Character

The site is a primarily undeveloped area comprised of varying terrain and vegetation types. Steeply sloping mountains covered with low-lying scrub vegetation dominate the visual character of the northern portion of the site. The central project area exhibits a more level terrain and includes developed areas such as the wastewater treatment plant and Black Mountain Road. Several large groves of eucalyptus trees also contribute a modified woodland character with very dense stands and linear boundaries to the edge of wooded lots. The southern portion of the site features the broad, gently-sloping La Jolla Valley and Lusardi Creek. Along Lusardi Creek are two separate dams and reservoirs. The visual character of the surrounding areas varies between rural residential, suburban communities and open space areas.

The area to the north of the 4S Ranch is dominated by the Lake Hodges Recreation Area. North of the recreation area is low-density single-family residential areas associated with the City of Escondido and the unincorporated community of Del Dios. The areas to the east are developed with low-to-medium density single-family residential units associated with the Community of Rancho Bernardo and Rancho Penasquitos. Land uses along I-15 are predominately service, commercial office, higher density residential uses creating a suburban freeway oriented visual character. The visual character of the area to the south is primarily that of natural open space associated with Black Mountain. Areas to the west are predominantly open space interspersed with single-family residential units on large lots. The character of the areas to the west, northwest and south of the site will change into residential communities as projects associated with the NCFUA, Rancho Cielo and Santa Fe Valley developments are implemented.

Biological Resources

4S Ranch has been owned since 1938 by the Ralphs family, who have used it primarily for recreational and hunting purposes. As a result, much of the Ranch is undeveloped and relatively undisturbed. However, over 1,000 acres have at one time been cultivated with tomato or citrus crops, but now lie fallow. Many of these formerly cultivated areas currently support non-native grasses and weeds, and a few early successional elements of coastal sage scrub and chaparral. In addition, there are several large areas of introduced eucalyptus trees. Most of the rest of the Ranch is covered by natural vegetation, primarily coastal sage scrub and chaparral. The topography of the site is diverse, with foothills, ravines, granite peaks, and drainages. Elevations range from about 300 to 1,150 feet above mean sea level.

Owing to its large size and topographic diversity, the Ranch supports a variety of native vegetation communities or habitat types, which in turn, support a rich assemblage of native plant and animal species. Coastal sage scrub is the most extensive habitat on the ranch, occupying over 1,000 acres (nearly 36%). Non-native grassland (625 acres, 22%), southern mixed chaparral (510 acres, 18%), and eucalyptus woodland (400 acres, 14%) also occupy considerable portions of the ranch. The remaining 10% is disturbed habitat and small areas of other types of vegetation. The northern third of the Ranch supports the largest contiguous patches of native shrubland; the southern third is a heterogeneous mosaic of former agricultural lands, eucalyptus groves, and coastal sage scrub. Two main drainages traverse the property in an east-west manner: Lusardi Creek in the extreme southern portion of the Ranch and Artesian Creek near the middle. Both areas support linear bands of riparian habitat, including coast and valley freshwater marsh, southern willow scrub, and mule fat scrub. The southern drainage includes two large ponds behind concrete dams.

In a regional conservation context, 4S Ranch lies within the City of San Diego's Multiple Species Conservation Plan (MSCP) area. The northern half of the Ranch is considered to support high quality biological resources and was included in the "Core and Linkages" preserve alternative. This portion of the Ranch supports primarily chaparral and coastal sage scrub, and is contiguous with the San Dieguito River Valley open space system. In addition, Lusardi Creek, which extends across the southern end of the ranch, is considered an important corridor for wildlife movement, linking the La Jolla Valley area with Black Mountain. This area, likewise, is included in the MSCP's Core and Linkages area.

According to Bowman (1973), soils within the project area are extremely diverse and exhibit a mosaic distribution with Cienega very coarse sandy loam (CmrG, CmE2) and San Miguel-Exchequer (SnG) rocky silt loams occupying the largest contiguous patches. Other minor components include

soils of the Escondido (EsD2, EsE2, EsC), Huerhuero (HrC, HrC2), and Placentia (PeC, PeC2) series.

Cultural Resources

The cultural resource study of the 4S Ranch was conducted by Brian F. Smith and Associates beginning in 1992 and continuing through 1994. This study included records searches, surveys of the property and testing to determine site significance. The technical report, which includes all of the cultural resource study information, is listed as Appendix D to the EIR.

Record Search: Archaeological record searches were conducted in 1991 at the South Coastal Information Center at San Diego State University, and at the San Diego Museum of Man. These searches revealed that 30 cultural resources were previously recorded within the property. In addition, 71 sites and seven isolates were recorded within a one-mile radius of the project. On-going environmental studies of large-scale projects adjacent to the 4S Ranch have resulted in a substantial increase in the number of recorded sites in the general vicinity of the project.

The cultures which have been identified within a five-mile radius of the project include the paleo-Indian San Dieguito Complex, the Archaic and Early Milling Stone horizons represented by the La Jolla Complex, and the late pre-historic Kumeyaay Indians. Historic sites have also been recorded in the general area, most of which are associated with the agricultural development of the region which began in the late 1880's.

4S Ranch Cultural Resources Survey: The three surveys of the 4S Ranch resulted in the discovery of 169 sites. The majority of the sites are remnants of extractive activities conducted on a variety of elevations and land forms throughout the property, but primarily in the La Jolla Valley area. Other types of cultural resources located within the project area include a large Kumeyaay village along the northeastern boundary of the property, a possible shaman's cave, a quarry, and several historic ranch sites. The sites identified within the ranch boundaries represent the full range of cultural phases attributed to San Diego County (Moriarty 1966).

All of the sites which have been discovered within the 4S Ranch have been registered at the South Coastal Information Center at San Diego State University.

Site Significance Testing: Subsequent to the field survey, each site was tentatively evaluated for significance, based on surface observations. In order to provide more accurate evaluations of selected sites for the cultural resource study, a subsequent testing program was initiated. All of the archaeological and historical investigations have been completed in

accordance with the guidelines of the County of San Diego (*Guidelines for the Implementation of the California Environmental Quality Act, 1991*).

Hydrology

This 2,891-acre Specific Plan area is located entirely within the San Dieguito Hydrologic Unit, which covers a drainage area of approximately 350-square miles. The San Dieguito River and its tributaries comprise the main surface water collection system. Lake Hodges is a major surface water reservoir on the San Dieguito River, and it forms the northern boundary of the 4S property.

The project area experiences a mean annual rainfall of approximately 13-18 inches per year, occurring mostly between November and April. The San Dieguito River and its tributary creeks are intermittent streams, although in wet years they may flow for protracted periods. The main drainage channel in the southern portion of the project areas is Lusardi Creek. This creek drains the La Jolla Valley westward into the San Dieguito River.

The Specific Plan area overlays a portion of the San Dieguito groundwater basin. Groundwater elevations on the site range from 1 to 30 feet below the surface, although a deep aquifer located near the vicinity of Black Mountain Road reaches depths of 80 to 100 feet.

The project site does not contain any 100-year floodplain boundaries as established and mapped by the Federal Emergency Management Agency. The *4S Ranch Hydrology Report* calculates the 100-year storm event and 100-year flood zones along the Lusardi Creek in the La Jolla Valley and along Artesian Creek in the central portion of the Plan Area.

SURROUNDING LAND USES

The surrounding land uses are illustrated in Exhibits 1.4.1 and 1.4.2 and are described below:

City of San Diego

Rancho Bernardo: The area to the east of the 4S Ranch is the 6,511-acre City of San Diego Rancho Bernardo Community Plan area. The Rancho Bernardo Community Plan is now mostly built out, with 70 percent of the area in the Plan developed with urban uses. The residential density of Rancho Bernardo is 7.3-dwelling units per net acre for the residential areas, and 2.7-dwelling units per gross acre over the entire plan area. The area immediately adjacent to the eastern boundary of the 4S Ranch is the Rancho Bernardo residential community known as Westwood. The existing land uses in Westwood include residential uses with densities ranging from 5.3

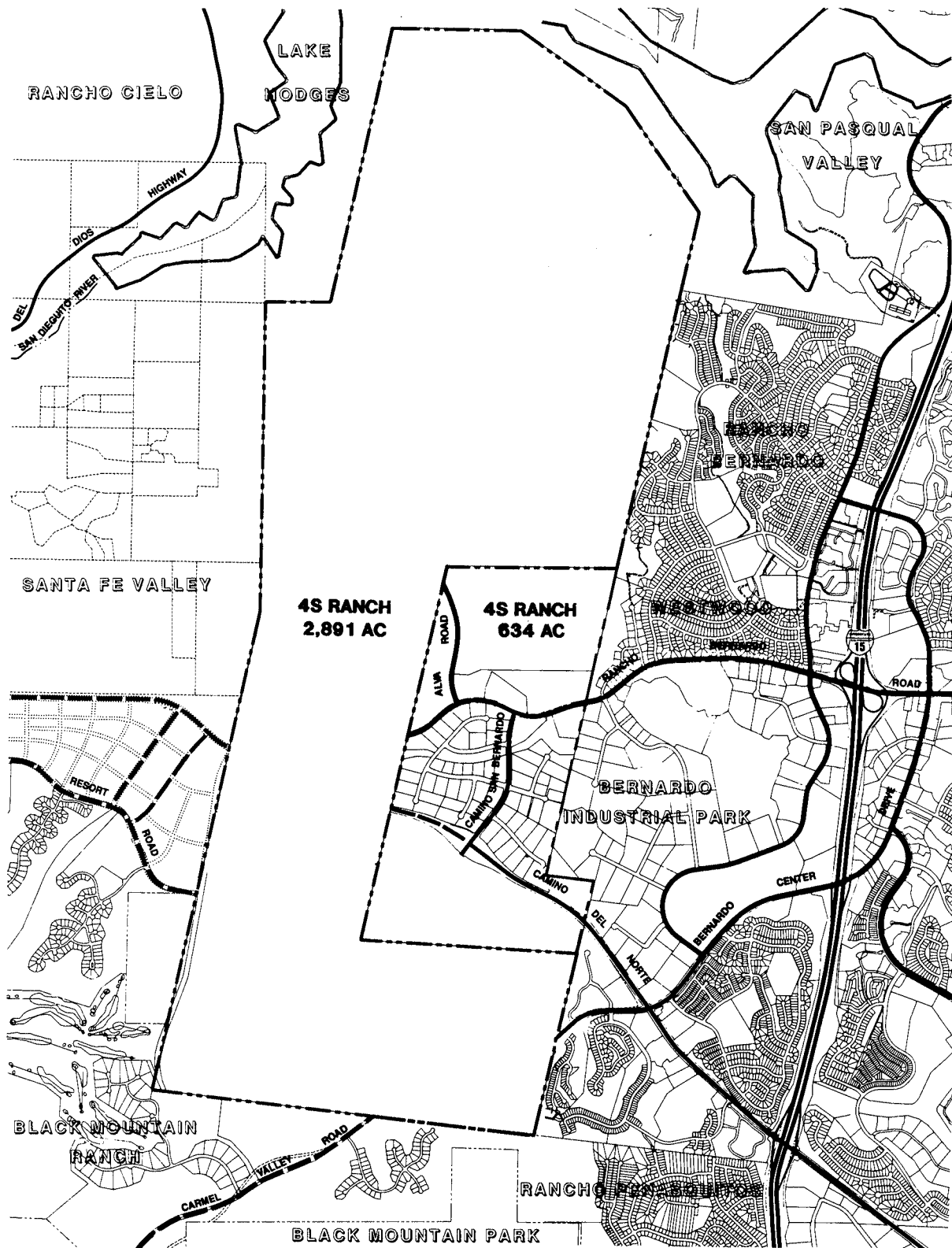
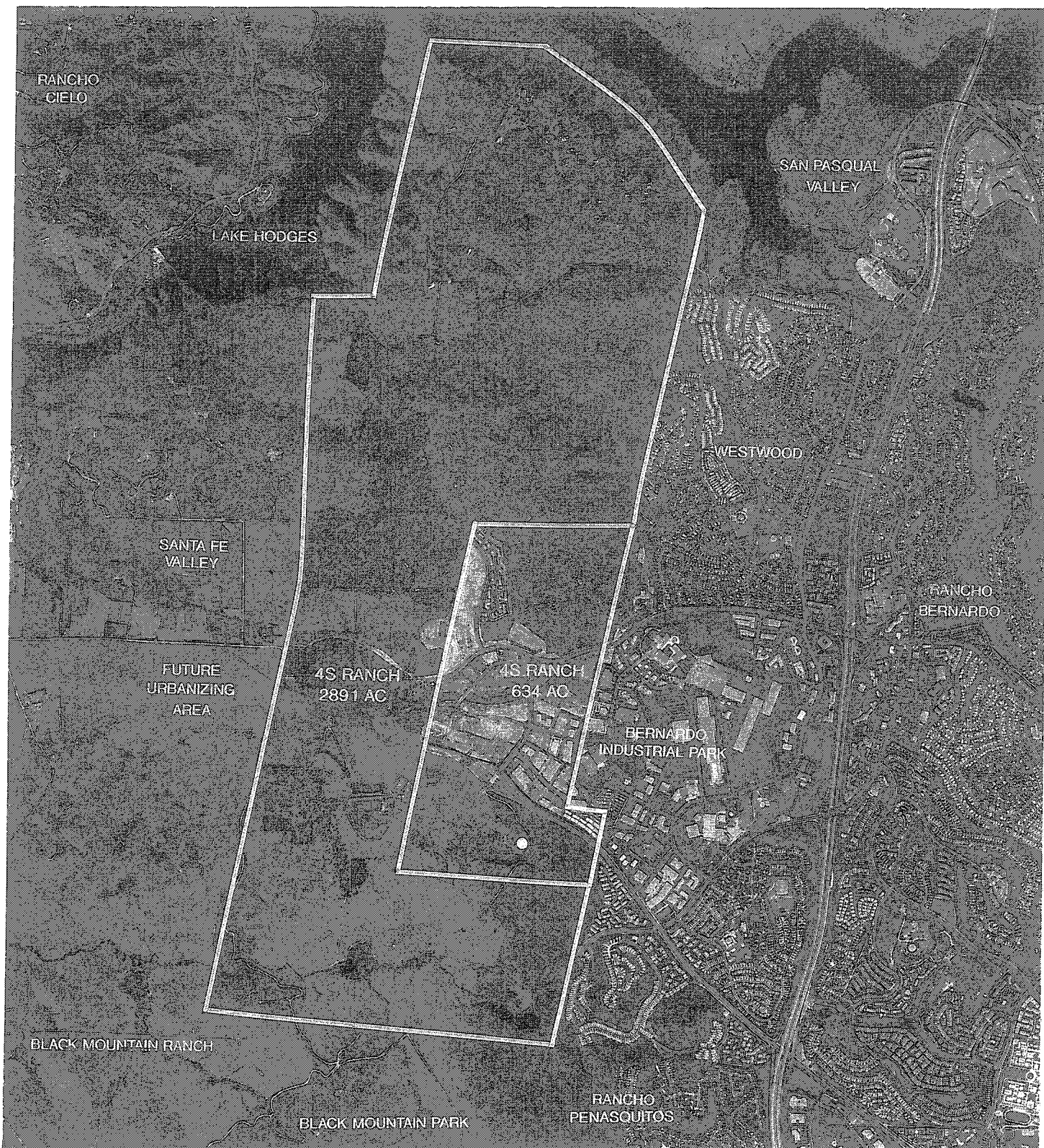


EXHIBIT 1.4.1
4S RANCH VICINITY MAP





Source: Aerial Photo Bank

EXHIBIT 1.4.2 AERIAL PHOTOGRAPH



to 20 units per acre, the 588-acre Bernardo Industrial Park with 8,100 employees and small areas of open space.

This community, viewed by many to be one of San Diego's finest suburban communities, has reserved a total of approximately 24% (1,543 acres) of the Rancho Bernardo Plan Area for all open space, parks, and recreation uses. Approximately 13 percent of that Plan area (508 acres) is conserved in natural open space in comparison to approximately 56 percent of natural open space provided by the 4S Ranch Specific Plan. As illustrated in Figure 1.4.1, the residential development in Westwood is located immediately adjacent to the property line of the 4S Ranch. The area along the entire length of the 4S Ranch boundary is zoned for 5,000-square foot lots.

North City Future Urbanizing Area: The areas to the south and southwest of the 4S Ranch are in the City of San Diego's 12,000-acre North City Future Urbanizing Area (NCFUA). The "Framework Plan" for the NCFUA, adopted by the City of San Diego in December, 1992, provides the policy guidance for how and when development will occur within the NCFUA, as well as providing limits on the density and intensity of development. In order to implement the Framework Plan, a "phase shift" from Future Urbanizing to Planned Urbanizing must be approved. This phase shift requires approval by both the San Diego City Council, and the voters within the City of San Diego.

The portion of the NCFUA immediately adjacent to the 4S Ranch is identified as Subarea 1 in the Framework Plan. Most of this 5,180-acre subarea is comprised of the 4,660-acre Black Mountain Ranch landholding. The Framework Plan further divides Subarea 1 into two components. Subarea 1-A, located to the south and southwest of the 4S Ranch, is 4,680 acres and is approved for a maximum of 2,950-dwelling units, two golf courses, and 60,000-square feet of commercial uses. Subarea 1-B, located immediately west of the 4S Ranch, is 500 acres and is planned as an intensive "compact community." The Framework Plan envisions that this compact community will extend eastward into the 4S Ranch and be planned cooperatively with the 4S Ranch. The Framework Plan further targets a maximum of 2,450-dwelling units and 590,000-square feet of commercial uses within the City portion of this compact community. Densities of up to 40-dwelling units per acre have been planned for this area.

On June 7, 1994, Proposition C, which would have confirmed the phase shift previously approved by the City Council, failed to obtain the required majority vote. According to Policy 2.4b of the Framework Plan, phase shifts for individual subareas may be taken forward for a public vote by property owners within any given subarea at their discretion. At this point, the timing for any future phase shift votes is unknown. However, the overall concept planning provided by the Framework Plan remains in effect as part

of the City of San Diego's Progress Guide and General Plan. As requested by the City planning staff, the land use planning and computer traffic modeling for the 4S Ranch Specific Plan, assumed the intensive Framework Plan land uses for all cumulative traffic analyses.

Black Mountain Ranch: As previously noted, the Black Mountain Ranch project consists of 4,660 acres immediately adjacent to the south, southwest, and west of the 4S Ranch. In November 1992, the City of San Diego approved two tentative maps and a development agreement covering approximately 4,000 acres. The approved tentative maps and development agreement allowed 1,217- dwelling units, two 18-hole golf courses slated to host the annual San Diego Open PGA tournament, certain public and civic uses, and a 3,100-acre foot reclaimed water storage reservoir. These uses are permitted without a phase shift vote based on the underlying property zoning and clustering policies of the City of San Diego.

Of the 1,217-dwelling units approved, 195 were designated as affordable housing. Of the 195 affordable housing units, 135 were located adjacent to the western boundary of the 4S Ranch in the "compact community" area of the Framework Plan. The remaining 60 affordable housing units were located in the "southern village" area of the plan. The balance of the residential units consist of single-family lots, generally clustered in the southwest portion of the property.

Black Mountain Ranch has submitted to the City of San Diego a revised subarea land use plan for the Framework Plan Subareas 1-A and 1-B. This plan incorporates the approved Black Mountain Ranch tentative maps; and, re-distributes some of the dwelling units identified in the Framework Plan from Subarea 1-A to the compact community, or so-called "bow-tie" area, identified in Subarea 1-B. Under this revised proposal, the compact community/bow-tie area adjacent to the 4S Ranch would develop with a maximum of 3,340-dwelling units (at an overall density of approximately 7.0-dwelling units per acre) and would include 590,000-square feet of commercial use. This plan is under review by the City of San Diego.

The plans for Black Mountain Ranch have been impacted by the defeat of Proposition C in the June 1994 elections. This proposition would have allowed certain properties to phase shift from the City's Future Urbanizing Area (F.U.A.) to the Current Urbanizing Area (C.U.A.). As a result of this election, plans for Subareas 1-A and 1-B have been put on hold. Black Mountain Ranch has submitted an application to revise the original tentative map and development agreement to cluster residential units in the southwestern corner of the property. This revised plan, if approved, would not construct Camino Ruiz north of San Dieguito Road or Carmel Valley Road east of Black Mountain Road. These roads, which ultimately connect to

roads being extended as part of the 4S Ranch, would be built at a future date when development is permitted in that portion of the F.U.A.

Lake Hodges: This lake and its adjacent eastern and southern shore form the northern and northwestern boundary of the 2,891-acre portion of the 4S Ranch. The lake and shoreline are owned by the City of San Diego, Water Utilities Department. The lake is used primarily for flood control and currently stores only surface runoff. The lake currently provides potable water only to the Santa Fe Irrigation District. However, there is a proposal under consideration to convert the lake into an emergency water reservoir by connecting it to the City's regional water transmission and distribution system.

County of San Diego

Existing 4S Ranch Development: The development of the 634-acre portion of the 4S Ranch, originally approved in 1984, has occurred over the last eleven years. The major land use is the 159-acre business park, which was approximately one-third built out. The business park is located adjacent to the 588-acre Bernardo Industrial Park and can accommodate employers similar to those currently located in the Bernardo Industrial Park. In addition to the business park, the existing development includes 14 acres of office/professional commercially zone property, 6 acres of retail commercially zoned property, and two residential projects. One of these projects is The Boulders, a 360-unit condominium project located on Alva Road. This development is built at a density of 12-dwelling units per net acre, not considering the 147-acre open space easement on the same parcel. Across the street from The Boulders is a 138-unit single-family residential subdivision owned by Standard Pacific of San Diego. Currently the site is graded but undeveloped. The 4S Ranch Specific Plan (Volume 1) proposes an alternative development of this site as single family and multi-family with a maximum of 295 units. South of Camino del Norte is the 168-acre Christopherhill Project planned for 400 residential units ranging from 7 to 18 D.U./Ac. on approximately 88 acres and 70 acres of open space.

Santa Fe Valley Specific Plan Area: The Santa Fe Valley Specific Plan, like most of the remaining San Dieguito Community Plan, is located in the Estate Development Area (EDA) Regional Land Use Category. This category requires development consistent with agricultural and low-density residential uses with lots ranging from 2 to 20 acres in size. The overall density per the Community Plan is 0.4 D.U./Ac.. Since this Specific Plan area is in excess of 500 acres, Policy 1.3 of the Land Use Element permits the specific plan to "cluster" the development. This clustering approach avoids the necessity to conform to a lengthy list of criteria which would normally be required of a development to maintain an "estate" type of character. As

a result, the residential portion of the Santa Fe Valley Specific Plan is not a project which is typical of the EDA regional category.

The Santa Fe Valley Specific Plan was approved in 1995. The land uses include a resort hotel and conference center, golf courses, congregate care facility, commercial center, elementary school, potential middle school, neighborhood park and wastewater treatment facility, as well as a variety of single family and multi-family residential uses. The single-family residential ranges up to 6 D.U./Ac..

The specific plan includes three different land uses adjacent to the western boundary of the 4S Ranch, north of Camino del Norte. Immediately north of Camino del Norte, the Plan shows residential areas planned at densities of approximately 1 dwelling unit per acre. North of this residential area is a small area of 2-acre lots. This area has been considered by the Poway Unified School District as a potential middle school site. The balance of the plan area adjacent to the 4S Ranch consists of steep slopes and ridges which are mostly designated as open space. This ridge system extends onto the 4S Ranch where the 4S Specific Plan also identifies the area as open space. This ridge system blocks the views between the Santa Fe Valley Plan and Neighborhood Four of the 4S Ranch.

Del Dios: Del Dios is an unincorporated community located on the northwestern shore of Lake Hodges. Subdivided in the early 1920's, the community has been under a development moratorium since 1950 because of inadequate wastewater disposal facilities. The community faces to the east, and the main viewshed is across Lake Hodges directly to the steep-slopes, which form the northern and northwestern boundaries of the 4S Ranch.

CHAPTER 1.5 IMPLEMENTING PERMITS

Descriptions of the discretionary actions required to develop the property as proposed are presented below:

GENERAL PLAN AMENDMENT

Implementation of the project requires two separate amendments to the County General Plan. The first is an amendment to the Regional Land Use Element map, replacing the "Future Urban Development Area" Land Use Category (FUDA) with the "Current Urban Development Area" Category (CUDA). The second is an amendment to the San Dieguito Community Plan map and text. Two changes are required to be made to the community plan map. The first involves the addition of the density designator (1.63) signifying the maximum density permitted on the 2,891 acres. The second involves replacing the FUDA boundary with the CUDA boundary. The changes to the text involve the modification of certain policies and other textual changes to reflect the change in status resulting from the approval of the project.

CHANGES TO THE SAN DIEGUITO COMMUNITY PLAN TEXT

Since 1984 the San Dieguito Community Plan Text has included a short section describing the 4S Ranch Specific Plan, and including a number of criteria used primarily to guide the development on the 634-acre portion of the property. Criteria relating to the 2,981 acres generally dealt with future actions required to develop the property.

The modifications proposed for the San Dieguito Community Plan text fall into two discrete categories. First, the existing text dealing with the existing 4S Ranch Specific Plan Area is prefaced to make clear that it deals only with the 634-acre portion of the property. The existing text has then been scrutinized to delete all criteria and references to the 2,891 acres. Finally certain criteria which have been satisfied and are no longer relevant have been deleted.

The second category of modifications to the San Dieguito Community Plan text dealing with the 4S Ranch Specific Plan is the addition of a section dealing exclusively with the 2,891 acres. This section includes a brief description of the land uses proposed by the Specific Plan, and a number of development criteria organized under the following headings: Land Use, Transportation, Housing, Natural Resources, Parks and Recreation, and Public Facilities. As is the case with the other Specific Plans included in the San Dieguito Community Plan text, the criteria have been developed in conjunction with the Specific Plan text and are intended to provide a policy guide in the future as the 4S Ranch is developed.

SPECIFIC PLAN AMENDMENT

The Specific Plan amendment has been prepared pursuant to Board Policy I-59 Large-Scale Project Review, Section I(2). The proposed Specific Plan Amendment addresses the development on 2,891 acres currently designated Future Urban Development Area on the adopted Regional Land Use Element map and modifies the original text. The changes to the adopted specific plan text and map involve authorizing residential, commercial, roadway, public, parks, and open space uses within the 2,891-acre portion of the 4S Ranch Specific Plan area previously designated Future Urban Development Area. Prior to this amendment, the entire 4S Ranch Specific Plan was administered based on the original text adopted in 1984. Because of the size and complexity of this amendment, the 634-acre portion of the 4S Ranch will be administered by a modified version of the original text hereinafter referred to as Volume I of the 4S Ranch Specific Plan. This document will administer the 2,891-acre portion of the ranch and will be referred to as Volume II of the 4S Ranch Specific Plan. In conjunction with this Specific Plan Amendment, an EIR, Rezone, Tentative Map, Major Use Permit Modification, reduction of the agricultural preserve boundary, and granting of new Williamson Act contracts have been prepared and submitted. This package of applications are being processed concurrently for approval to allow implementation of this Specific Plan Amendment.

REZONE

The currently adopted zoning designation on the 2,891 acres is the S-88 (Specific Planning Area) Use Regulation which substantially limits development until such time as a detailed development plan and program is adopted by the Board of Supervisors. A rezoning application is being processed concurrently with this Specific Plan Amendment. The proposed zoning designations will serve to implement this Specific Plan Amendment by permitting the uses proposed by the Specific Plan map and this text for the 2,891-acre portion of the 4S Ranch Specific Plan Area.

TENTATIVE MAPS

Two tentative maps are being submitted concurrently with the Specific Plan. The "master" tentative map creates large open space, residential, commercial, and civic parcels and provides an overall grading plan, internal circulation network, and master drainage and utility plan for the entire development. This tentative map also creates the 11-estate lots proposed for the Ralphs Family Ranch. An "implementing" tentative map for the first units of development has also been submitted. This implementing tentative map further subdivides the first phase of development allowing this phase to proceed directly to final engineering.

MAJOR USE PERMIT MODIFICATION (P87-036-W3)

The existing wastewater reclamation facility is located on a 215-acre site located south of Camino del Norte. The proposed changes to this facility requires a Major Use Permit Modification for which a concurrent application has been submitted. Approval of the MUP modification would allow the following changes to that facility:

- An increase in treatment capacity from 0.6 million gallons per day (mgd) to 1.80 mgd;
- The relocation of the spray field area from the current location to an area south and southeast of the existing plant;
- An upgrade in the level of treatment from secondary to tertiary;
- Use of the reclaimed water for landscape irrigation.

The existing facility was designed to allow for expansion of treatment capacity, and the modifications required can be accommodated within the area occupied by the existing facility. The physical changes to the site necessary to complete the expansion include the construction of the tertiary treatment facilities for coagulation, flocculation, wastewater filtration, and chlorine disinfection. The increase in capacity would require additional oxidation ditches and secondary clarifiers, extended aeration channels, and the addition of dewatering facilities.

MODIFICATION TO AGRICULTURAL PRESERVE NUMBER 60

The existing agricultural preserve was established in 1976 by action of the Board of Supervisors and included all of the property within the 2,891 acres. In 1982, a Notice of Non-Renewal was recorded, and the three existing agricultural preserve contracts on the property expired ten years later on January 1, 1993. When the original Non-Renewal Notice was filed, substantial portions of the area in the north were included in areas planned for development, and it was anticipated that agricultural preserve and the Williamson Act contracts would need to be terminated. As these areas are no longer planned for development, this application seeks to reduce the preserve boundary to include 1,177 acres and the execution of a new Williamson Act contract.

PART TWO
THE PLAN



CHAPTER 2.1 OVERALL LAND USE PLAN AND POLICIES

INTRODUCTION

This chapter, in combination with Chapter 2.2, describes the land use plan for the 2,891-acre portion of the 4S Ranch Specific Plan. The Plan is based on the planning principles outlined in Chapter 1.2, and further, more detailed, guiding principles described in each chapter of Part Two. Many of the key features of the Plan are directly in response to the principles, and a description of how the Plan conforms to the principles is included.

GUIDING PRINCIPLES

Based on the principles for the overall project described in Chapter 1.2, additional and more specific guiding principles have been established for the land use plan. These are as follows:

- The development area should be clustered on the flat mesas and wide valleys. Major areas of steep slopes should remain undisturbed.
- Most of the main community commercial and civic activities should be clustered in a Mixed-Use District near the center of the community. The District should form the urban center of the community, serve multiple purposes for local residents, and have a distinctive "sense of place."
- Higher residential density should be clustered within or adjacent to the Mixed-Use District.
- Lower residential density should be located in the northerly and southerly neighborhoods.
- The linear north-south shape of the development area should include a north-south circulation element that ties areas of the community together.
- Planning, urban design and landscaping techniques should be used to keep Camino del Norte, a major circulation element road extending through the middle of the community, from functionally or visually bisecting the community.
- In order to create an overall balanced community, the land use plan should consider adjacent existing and planned land uses in defining and locating appropriate land uses on-site.

- The land use plan should integrate employment, education, commercial, civic, and a variety of residential unit types within proximity and easy access of each other.
- The urban design should facilitate the creation of "public realm" within the community comprised of active public plazas and parks which become the social and recreational focus of the community.

LAND USE PLAN REGIONAL CONTEXT

The 4S Ranch Land Use Plan contains a configuration of land use types which is directly in response to the regional land use and circulation context of the property. The key elements of this context are illustrated in Exhibit 2.1.1 and described below. The resultant land use plan is illustrated in Exhibit 2.1.2.

- Immediately to the east is an existing regional employment center, comprised of the 4S Ranch Business Park and Bernardo Industrial park which continues to expand.
- The residential areas west of I-15 do not currently contain community retail facilities. Existing community centers east of I-15 are impacted by local traffic congestion problems further reinforcing the need for a community center west of I-15. The 4S Ranch contains a community retail center within its Mixed-Use District. The center is located adjacent to two major roadways serving existing and planned residential areas. The center is also located adjacent to the business park, so as to provide commercial services to employers and employees.
- The development area of 4S Ranch comprises 40 percent of the property, while 60 percent is natural and improved open space. Almost all of the natural open space area is to conserve sensitive habitats and natural slopes in the northern and southern portions of the property. These open space areas are also important components of larger open space habitat areas extending off-site to the north, south, and west.

The overall Land Use Plan for the 4S Ranch and surrounding area is illustrated in Exhibit 2.1.3 and in more detail on the Specific Plan Map, Exhibit 2.1.4 and tabulated in Exhibits 2.1.7 and 2.1.8. The key features of the Land Use Plan are described below:

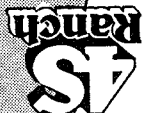


EXHIBIT 211
SURROUNDING EXISTING &
PLANNED LAND USES

LEGEND

- Residential
- Commercial
- Mixed Use
- Employment
- Recreation
- Public
- Open Space
- Future Roads

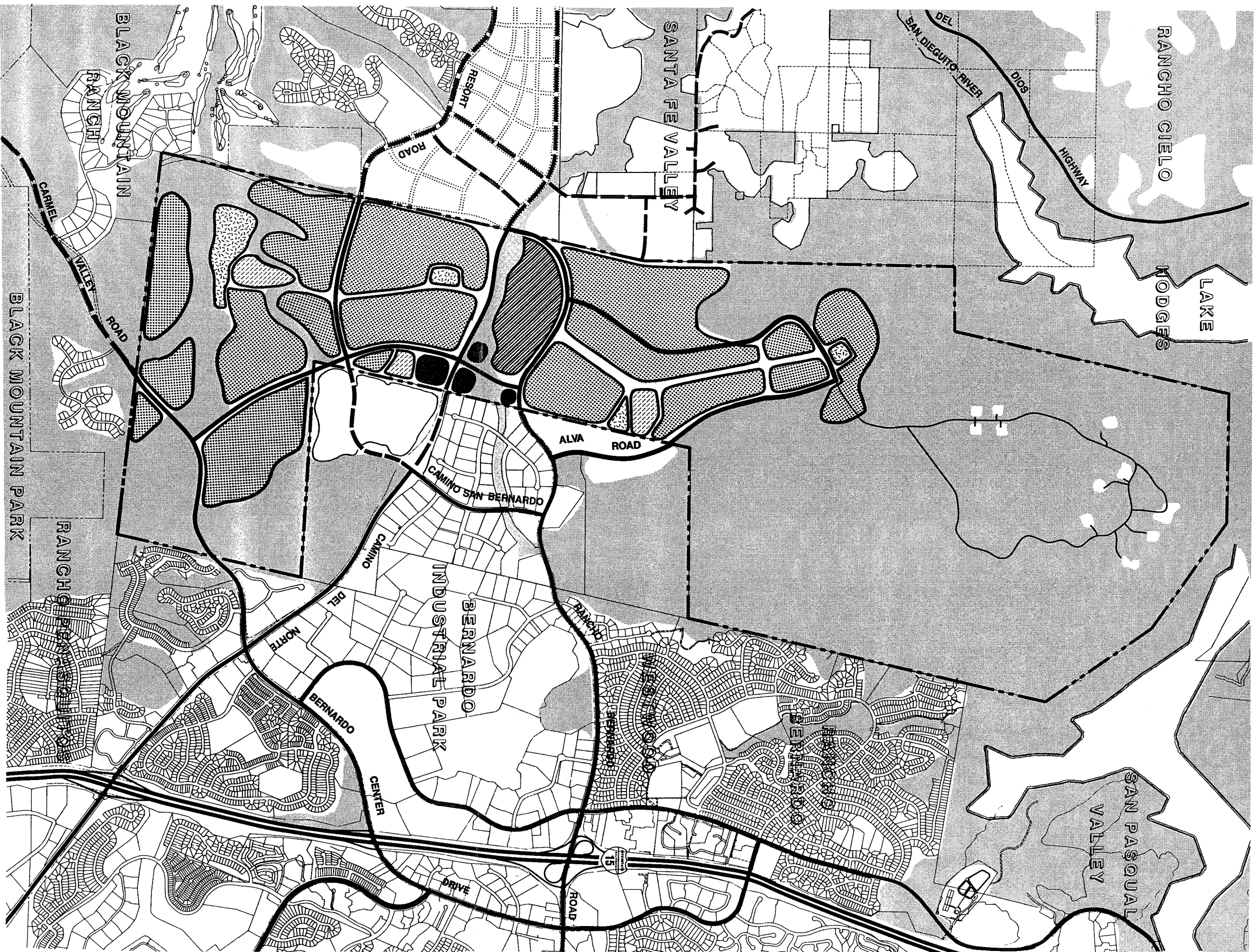
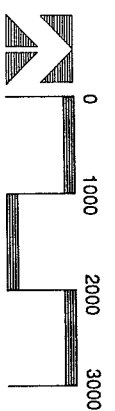


EXHIBIT 2.1.2
4S RANCH GENERALIZED LAND USE PLAN



- LEGEND
- | | | | |
|--|-------------|--|--------------|
| | Residential | | Recreation |
| | Commercial | | Public |
| | Mixed Use | | Open Space |
| | Employment | | Future Roads |

EXHIBIT 2.1.2
4S RANCH GENERALIZED
LAND USE PLAN



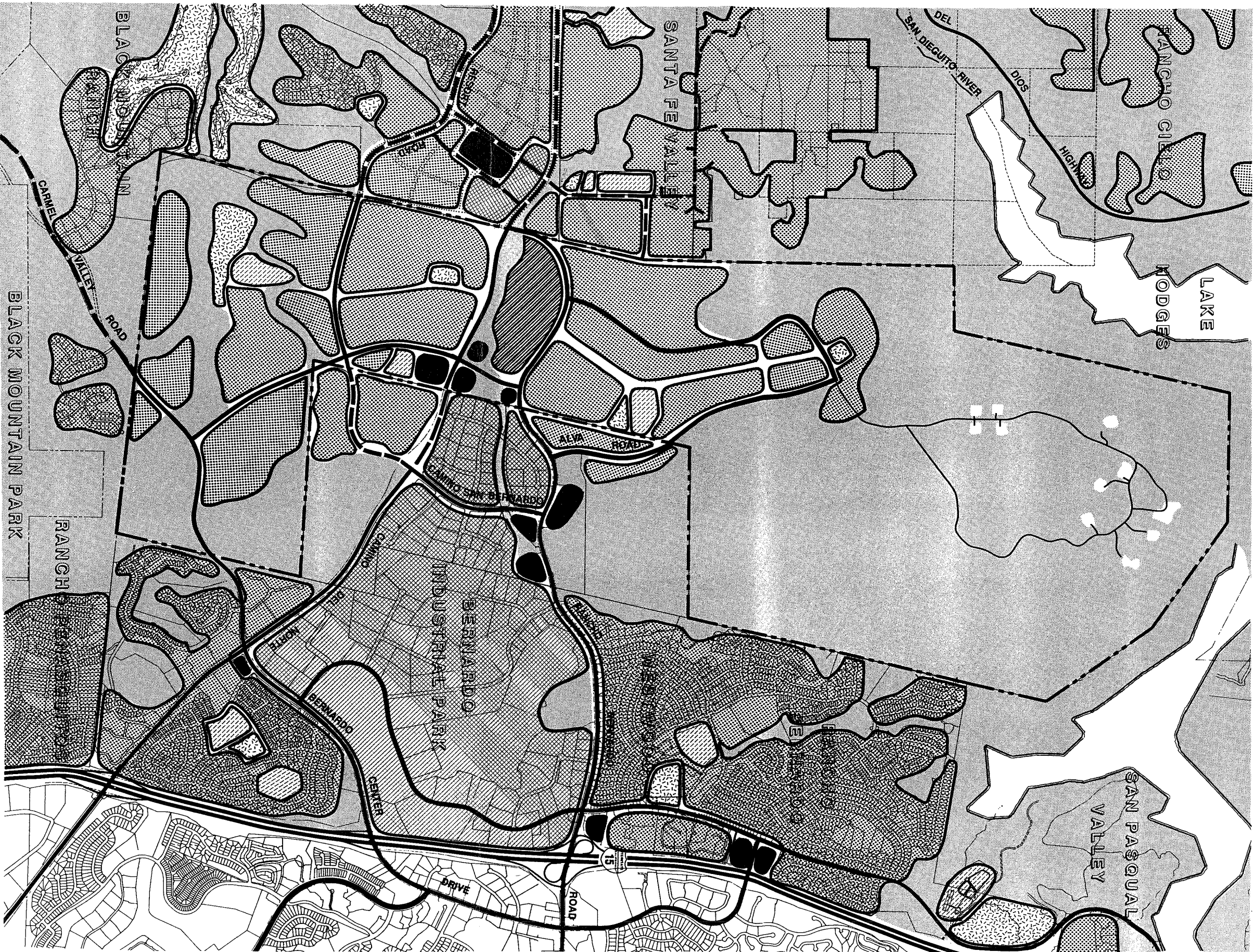
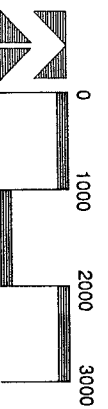


EXHIBIT 2.1.3
COMPOSITE LAND USES

EXHIBIT 2.1.3
COMPOSITE
LAND USES



- LEGEND
- | | | | |
|--|-------------|--|--------------|
| | Residential | | Recreation |
| | Commercial | | Public |
| | Mixed Use | | Open Space |
| | Employment | | Future Roads |



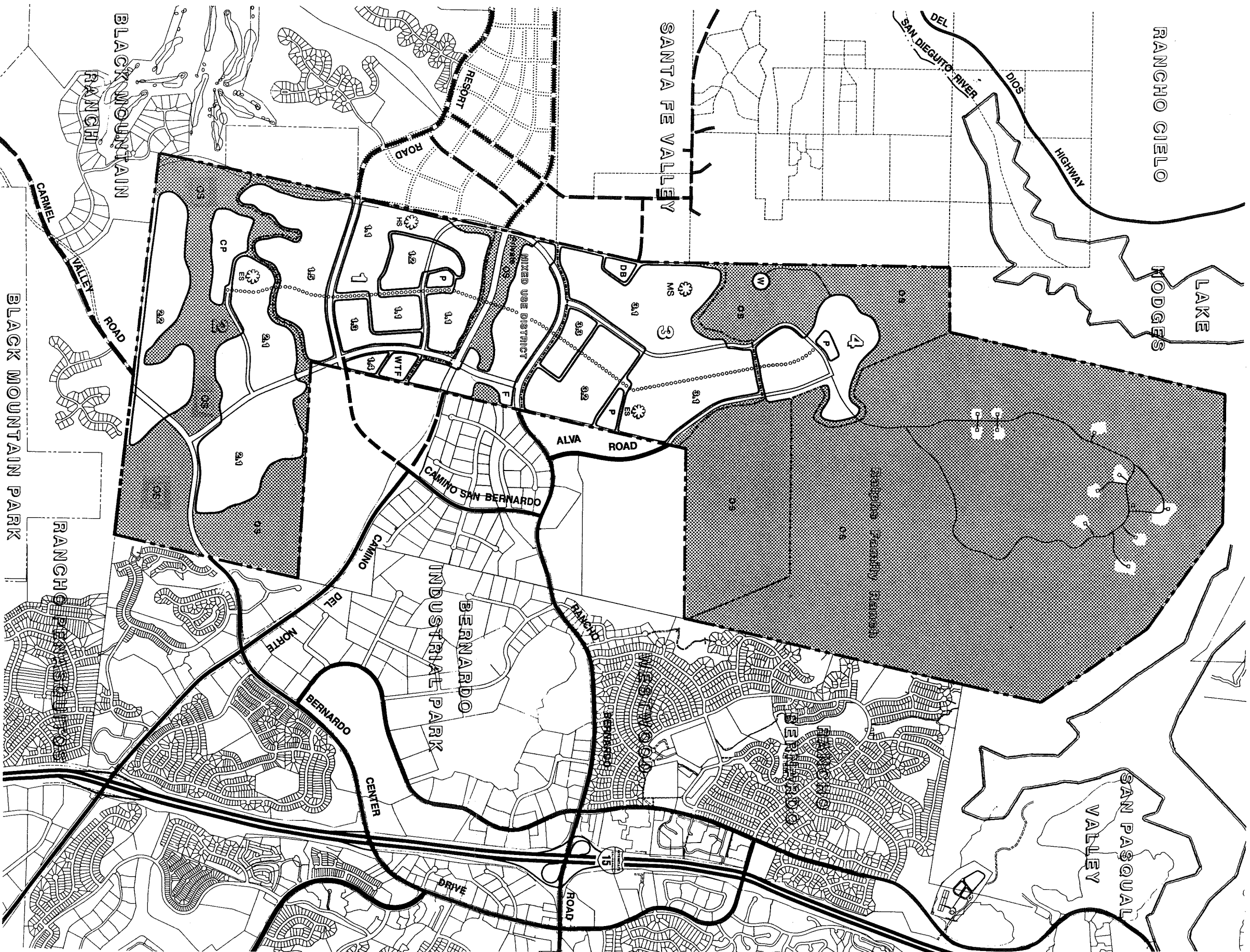


EXHIBIT 2.1.4
SPECIFIC PLAN MAP

LEGEND

- | | |
|---|-------------------------------|
| Neighborhood and Residential Designator | Detention Basin |
| Open Space | Wastewater Treatment Facility |
| Neighborhood Park | Water Storage Tank |
| Community Park | Fire Station |
| School | Ralphs Family Ranch |
| | Minimum 20 Ac. Estate Lot |

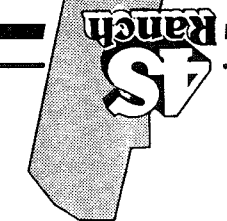
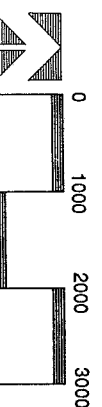


EXHIBIT 2.1.4
SPECIFIC PLAN MAP

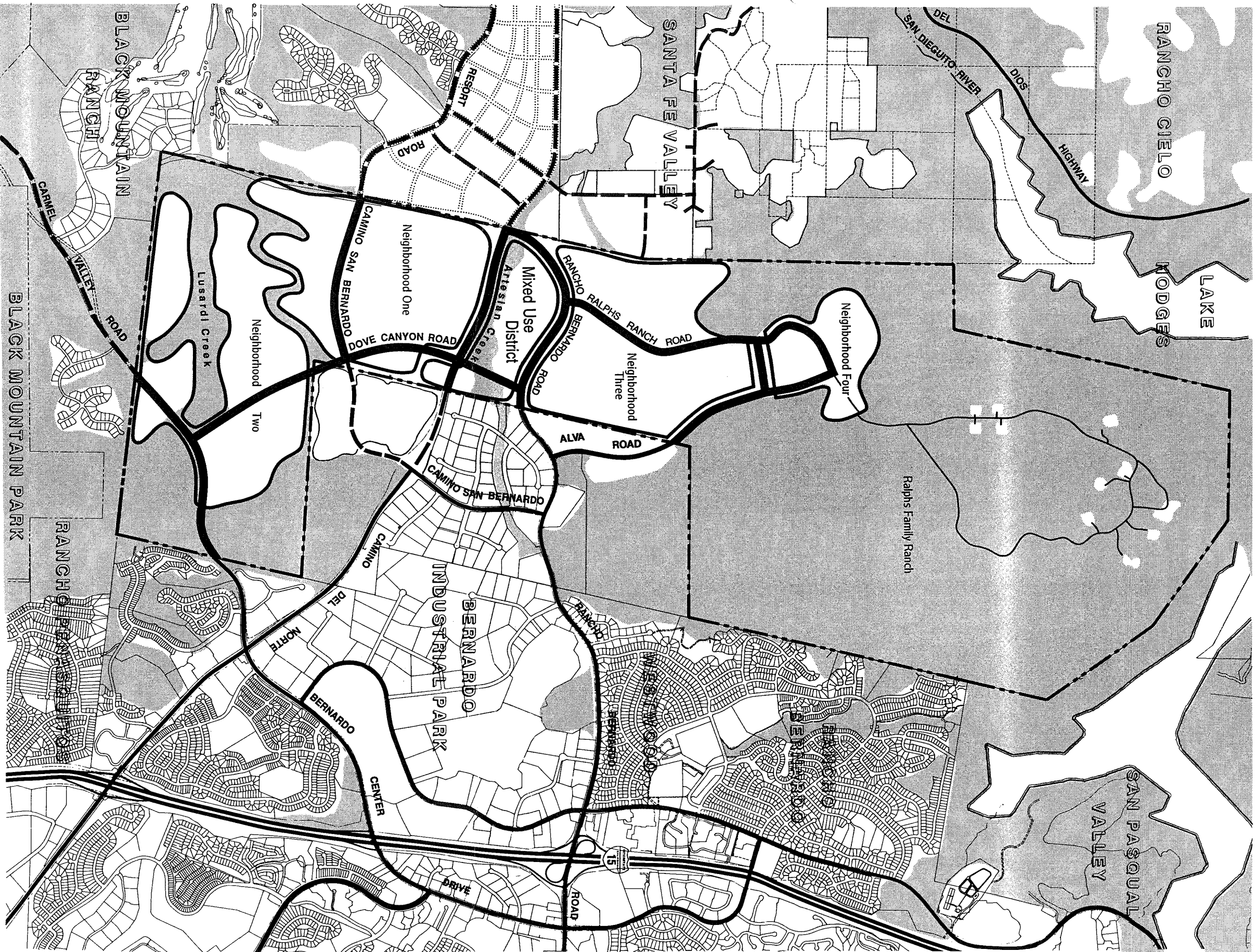


EXHIBIT 2.1.5
NEIGHBORHOOD AND DISTRICT BOUNDARIES

LEGEND

- Major Circulation Roadways
- Neighborhood and District Boundaries
- Open Space

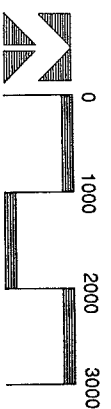
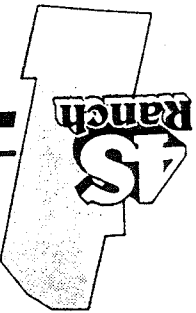


EXHIBIT 2.1.5
NEIGHBORHOOD AND
DISTRICT BOUNDARIES

4S
Ranch



COMPOSITE NEIGHBORHOOD PLANS
EXHIBIT 2.1.6

EXHIBIT 2.1.6
COMPOSITE NEIGHBORHOOD PLANS

- LEGEND
- | | | | |
|--|-----------------------|--|----------------------------------|
| | AS Ranch Boundary | | Primary Access |
| | Neighborhood Boundary | | Bike Path, Lane, & Unpaved Trail |
| | Major Circulation | | Parks and Schools |
| | Local Circulation | | Potential Transit Stop |
| | AS Ranch Parkway | | Views |
| | Variable Residential | | Potential Church Location |

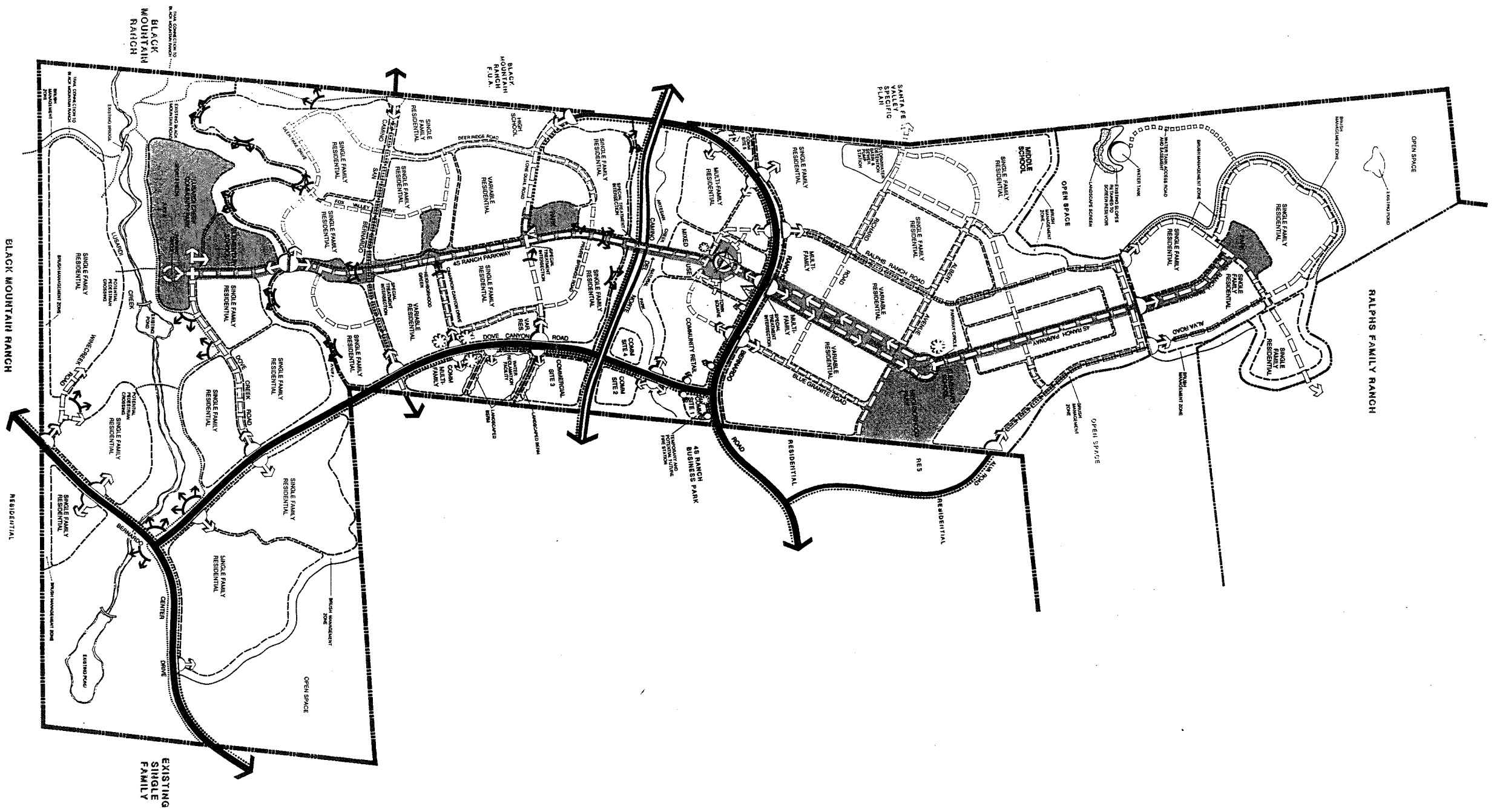


EXHIBIT 2.1.7
4S RANCH COMMUNITY LAND USE SUMMARY

NEIGHBORHOOD/ DISTRICT	ACREAGE DISTRIBUTION ⁽¹⁾						
	Residential ⁽²⁾	Public Park ⁽³⁾	Natural Open Space	Managed ⁽⁴⁾ Open Space	Comm./ Mix. Use	Arterial ⁽⁵⁾ Road	Other ⁽⁶⁾
NEIGHBORHOOD 1	255	5	0	15	0	15	11 ⁽⁷⁾
NEIGHBORHOOD 2	236	25	230	47	0	19	0
NEIGHBORHOOD 3	266	5	0	19	0	0	6
NEIGHBORHOOD 4	71	3	312	25	0	0	7
MIXED USE DISTRICT	22	0	5	11	53	24	20 ⁽⁸⁾
RALPHS FAMILY RANCH	41	0	1,065	78	0	0	0
TOTALS	891	38	1,612	195	53	58	44
TOTAL PERCENTAGE	30.8%	1.3%	55.8%	6.8%	1.8%	2.0%	1.5%
							100%

Footnotes:

(1) All areas are approximate and the distribution is further defined by the footnotes below.

(2) Includes local roadways and elementary schools.

(3) Public parks developed for recreational use except as noted.

(4) Includes open space in fire management zones and major internal slopes.

(5) Rancho Bernardo Road, Camino Del Norte, Dove Canyon Road, Camino San Bernardo and Bernardo Center Drive.

(6) Includes improved and natural private parks, neighborhood greens, pocket parks and utilities such as wastewater treatment facilities and detention basins.

(7) Includes 9 acres of the Wastewater Reclamation Facility.

(8) Includes 17 acres of the private Artesian Creek Natural Park.

EXHIBIT 2.1.8
4S RANCH RESIDENTIAL AND COMMERCIAL SUMMARY

NEIGHBORHOOD/ DISTRICT	SIZE	RESIDENTIAL				COMMERCIAL	AVERAGE NET DENSITY
		Single	Variable (SF & MF)	Multiple	Total Unit		
NEIGHBORHOOD 1 Area 1.1 Area 1.2 Area 1.3 Area 1.4 Area 1.5	104.4	545	0	0	545		5.2
	28.1	0	285	0	285		10.1
	22.2	0	200	0	200		9.0
	7.6 ⁽³⁾	0	0	120	120		15.8
	92.7	355	0	0	355		3.8
Subtotal	255.0	900	485	120	1,505		5.9
NEIGHBORHOOD 2 Area 2.1 Area 2.2	153.5	475	0	0	475		3.3 ⁽¹⁾
	82.5	165	0	0	165		2.0
	236.0	640	0	0	640		2.8⁽¹⁾
NEIGHBORHOOD 3 Area 3.1 Area 3.2 Area 3.3	187.3	870	0	0	870		4.9 ⁽¹⁾
	60.6	0	684	0	684		11.3
	18.1	0	0	370	370		20.4
	266.0	870	684	370	1,924		7.5⁽¹⁾
NEIGHBORHOOD 4	71.0	325	0	0	325		4.6
MIXED USE DISTRICT	22.0	0	0	310	310	550,000 s.f. ⁽²⁾	14.1
RALPHS FAMILY RANCH	N/A	11	0	0	11		N/A
TOTALS	N/A	2,746	1,169	800	4,715		N/A
TOTAL PERCENTAGE		58%	25%	17%	100%		

Footnotes:

- (1) Does not include 10-acre Elementary School in total area acreage for consistent density calculations.
 (2) Maximum amount of commercial square footage in the 4S Ranch Specific Plan including potential commercial development in Area 1.4.
 (3) Should Area 1.4 be developed with a commercial land use the 120 residential units are not transferrable to other areas of the Specific Plan.

MIXED-USE DISTRICT

A Mixed-Use District is located in the center of the community with residential neighborhoods to the north and south. The Mixed-Use District is organized around a central "Town Square," and contains a community retail center, small shops and restaurants, recreation and entertainment, medical and professional offices, religious and cultural facilities, and multi-family residential.

RESIDENTIAL NEIGHBORHOODS

The residential portion of the community is comprised of four residential neighborhoods illustrated in Exhibit 2.1.5 and 2.1.6 and the number of units summarized in Exhibit 2.1.8. These neighborhoods are of varying character due to their location within the community and specific topographic and open space features. The character is also influenced by the surrounding land uses and open space.

Neighborhood One is located on a flat mesa area south of Camino del Norte and the Mixed-Use District. The area has few development constraints and is adjacent to higher density residential areas planned for the Black Mountain Ranch Future Urbanizing Area. Neighborhood One is a medium density, predominantly single-family neighborhood. A variety of sizes and types of single-family homes are part of this neighborhood plan. Areas of medium density, small lot single-family homes and single-family condominiums are located on the west near the Black Mountain Ranch. Lower density single-family occurs in both the northern and southern portions of this neighborhood along the edges of the mesa overlooking the Central Valley (Artesian Creek) and La Jolla Valley (Lusardi Creek) areas.

Neighborhood Two is located in La Jolla Valley on either side of Lusardi Creek. The main development constraints are the unstable slopes between Neighborhood 1 and La Jolla Valley, the ponds, wetlands, and buffer areas which comprises the Lusardi Creek corridor. Low density residential and a golf course are planned for Black Mountain Ranch to the south and west. The Neighborhood Two plan is for low density single-family developed in clusters to the north and south of the 25-acre Lusardi Creek Community Park. North of the creek is an elementary school which will serve Neighborhoods One and Two. Next to the school is the active sports area of the community park, serving the 4S Ranch and surrounding communities.

Neighborhood Three is located on a relatively flat area north of Camino del Norte and the Mixed-Use District. The area has few development constraints and is adjacent to existing medium density residential and a business park on the east, and planned low density residential and a middle school in the Santa Fe Valley Specific Plan area on the west. This central

location, with maximum accessibility to community facilities and services, is the reason this neighborhood is planned to have the highest overall residential density and contains the greatest mixture of residential unit types and densities. Multi-family units are located near the Mixed-Use District. Single-family residential is located on the north and west adjacent to similar planned densities both in Santa Fe Valley and Neighborhood Four.

Neighborhood Four is located in a valley area north of Neighborhood Three. The development area itself has few constraints, but it is adjacent to steep slope and habitat areas. This neighborhood is planned for low density residential and a neighborhood park. It will include a brush management area between the residential lots and habitat areas.

The Ralphs Family Ranch is in the northerly portion of the property which contains many areas of steep slopes and sensitive habitat. The only development planned for this area are ten new homes to be located along the existing ranch road leading to the existing ranch house. Approximately 90 percent of the area will be undisturbed open space.

4S RANCH PARKWAY

The central theme element of the community will be the 4S Ranch Parkway. This linear, urban parkway is comprised of landscaped plazas and parks, parkway streets, schools, transit stops, the Town Square, and pedestrian and bicycle facilities. It will connect most of the public facilities and destinations in the community. The concept plan for the Parkway is illustrated in Exhibits 2.3.2 and in Chapter 2.2. The Parkway does include local vehicular traffic. However, the organization of major circulation streets and neighborhood access will direct most traffic volume away from the Parkway. This is illustrated in Exhibit 2.3.1. The remaining vehicular traffic will be lower speed, local traffic compatible with the pedestrian and bicycle orientation of the Parkway.

The main features of the Parkway are as follows:

- A continuous landscaped connection through the community to encourage non-automobile travel.
- Pedestrian and bicycle facilities along a corridor connecting a variety of destinations designed to increase the frequency and distance which people will walk or bicycle within their community.
- Lower vehicular volume on the Parkway and specific design features to increase pedestrian and bicycle convenience and safety.

- Different types of abutting commercial and residential developments to provide opportunities for a variety of urban designs and landscaping along the Parkway. These range from a formal Linear Park and plaza, to informally landscaped residential streets.

COMMUNITY DESIGN GUIDELINES

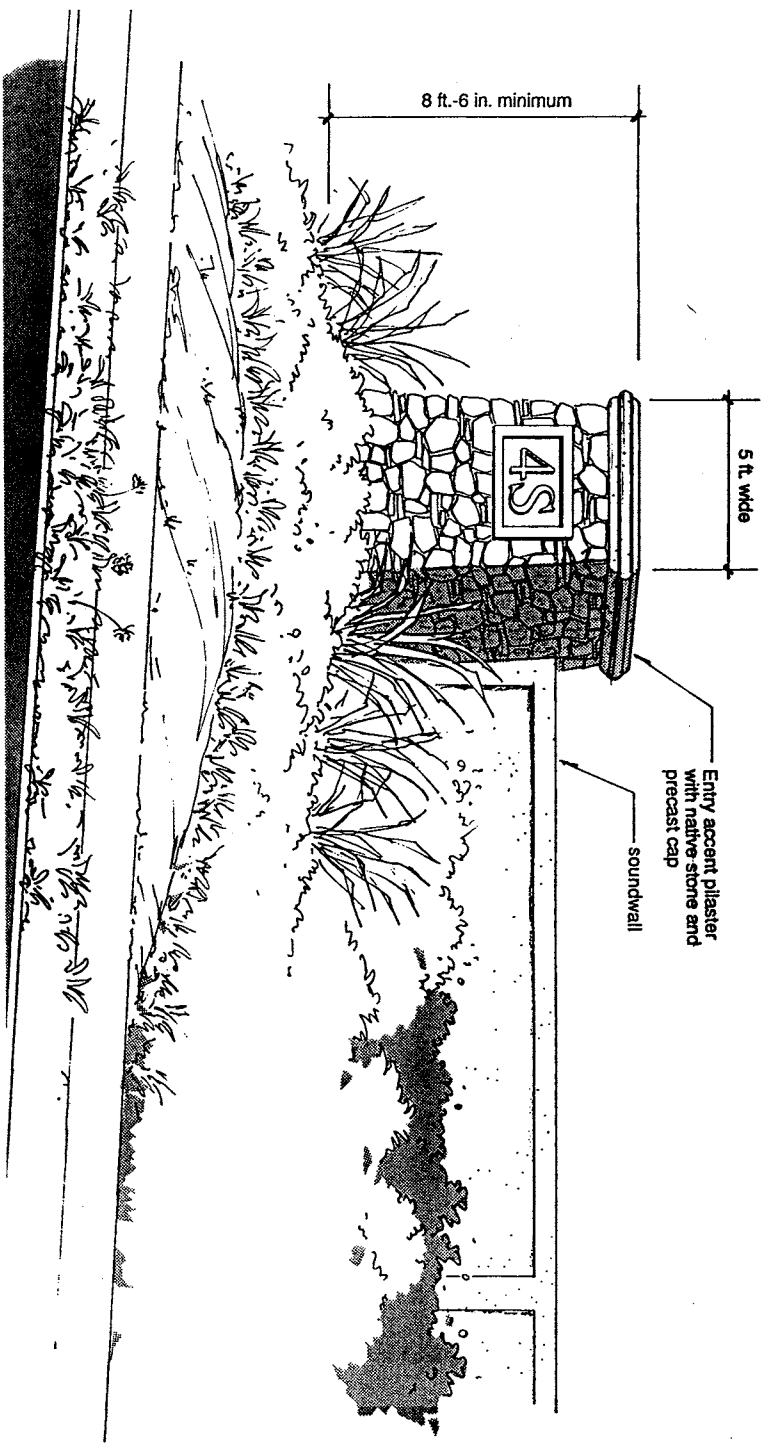
The following design guidelines are established in this Specific Plan Amendment in order to assure conformance with the planning principles for the project. The community design standards addressed here are those design elements which are common to the entire 2,891-acre portion of the 4S Ranch Specific Plan Area. Specific design guidelines that are unique to each neighborhood or district or unique to a subarea within a neighborhood are addressed in Chapter 2.2.

Site Planning and Design

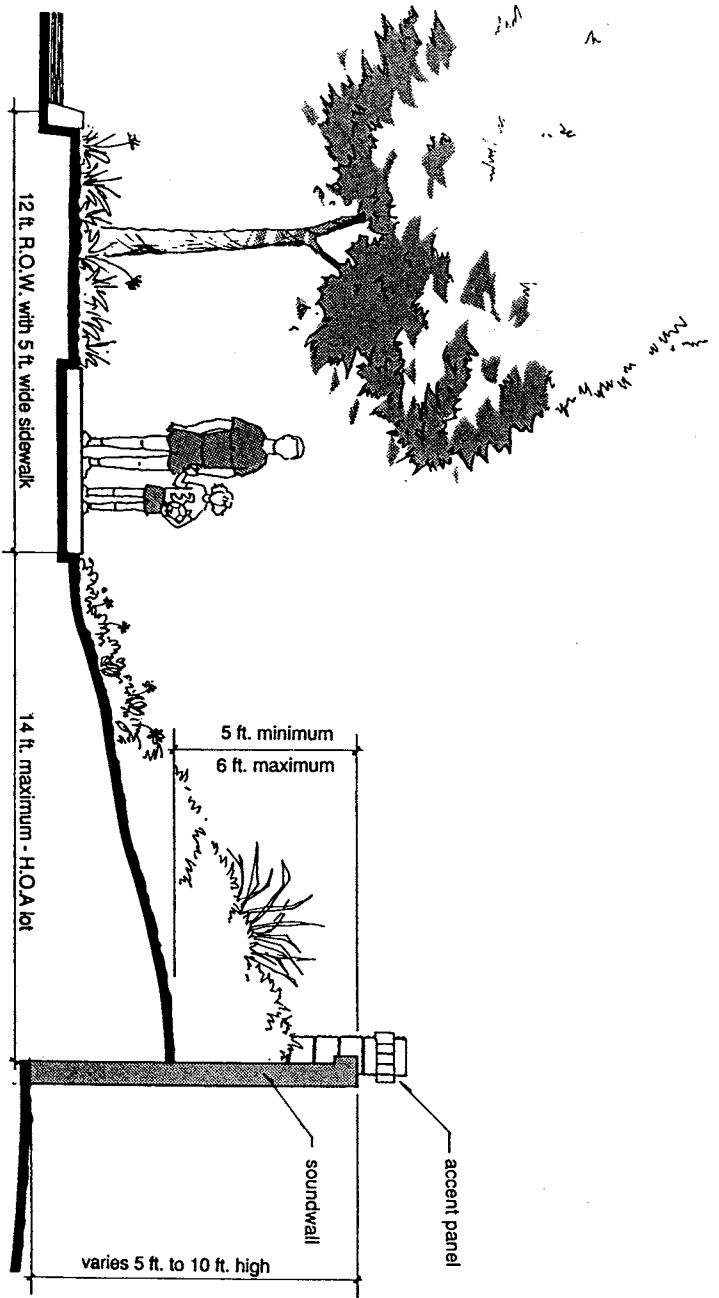
Open Space Orientation: The usability of the developed open space should be maximized by orienting pedestrians and bicycles to the open space that forms the linkages through the community. Individual residential and commercial developments should include direct access routes for pedestrians and bicycles to this open space.

Fencing: To reduce the need for side yard property line fencing on major slopes, residential developments should be designed to place major slopes in separate open space lots. Where property lines do traverse major slopes, fencing on slopes should be visually unobtrusive through the use of open and non-opaque materials and natural colors.

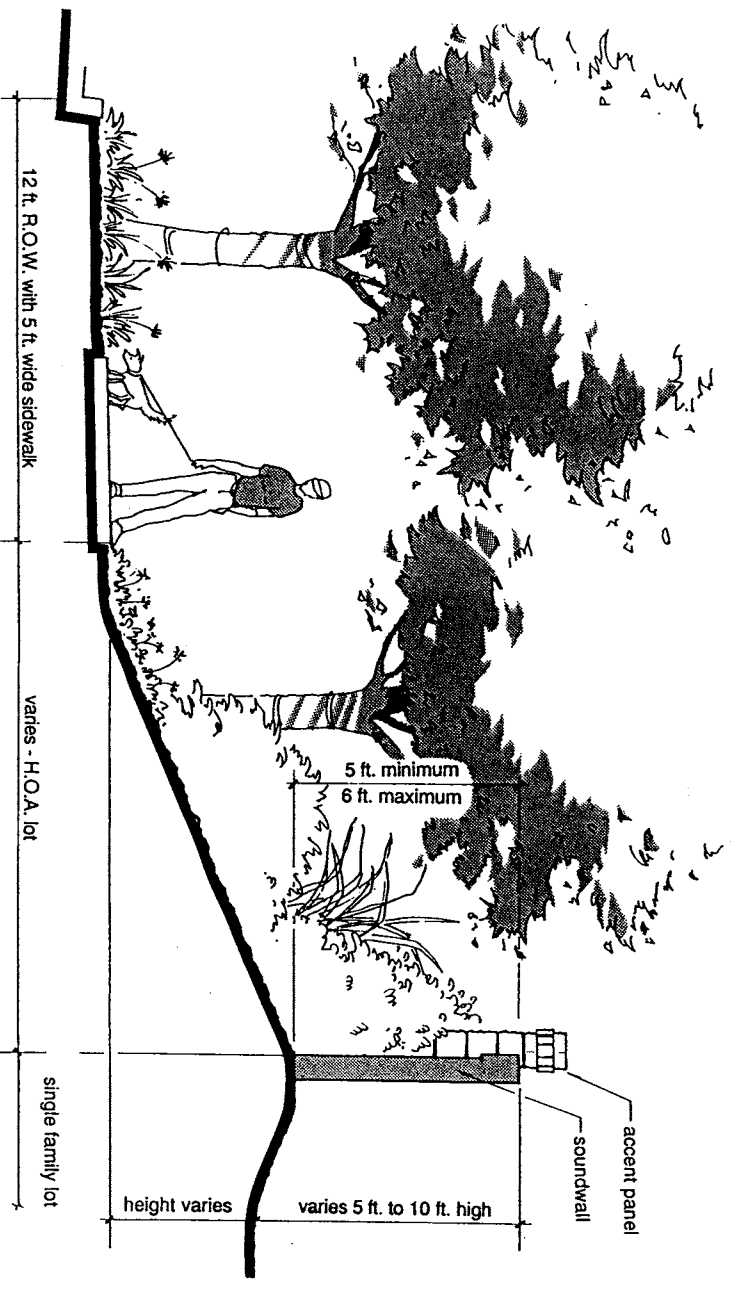
Walls and Monuments: The use of walls and monuments should be limited to project entries, to screen unsightly areas (i.e. trash containers and maintenance equipment) and mitigate noise impacts. The material, style, and height of walls should not exceed six (6) feet unless required for noise mitigation. The noise walls and entry monuments should be generally consistent throughout the community. Walls should be of only the length necessary for screening or noise mitigation and construction materials should be consistent with the project theme. Wall colors should range from white to earth tones. The long horizontal form of continuous walls should be reduced by pilasters and irregular clusters of landscape planning. A concept design for the noise walls and entry monument is illustrated in Exhibit 2.1.9.



ENTRY DETAIL



SOUND WALL SECTION -
UNIT BELOW STREET



SOUND WALL SECTION -
UNIT ABOVE STREET

EXHIBIT 2.1.9
SOUND WALL AND ENTRY DETAIL



EXHIBIT 2.1.9
SOUND WALL AND
ENTRY DETAIL

Street Frontages: To enhance interior street scenes, increase privacy, and add variety on public and private roads, some or all of the following methods should be used:

- Vary front and side yard setbacks.
- Vary driveway locations.
- Provide adequate front yard space for landscaping.
- Provide for both single- and two-story homes.
- Ensure that identical units do not align directly across the street or adjacent to one another.
- Street views into open space should be maintained to enhance the street scene and lower the visual perception of density.

Site Plan Coordination: Where possible, buildings developed on adjacent lots should be coordinated to encourage the development of usable and/or visually aesthetic spaces between lots. Usable outdoor spaces, such as mini-plazas, can be created between buildings particularly when several smaller lots are developed in tandem. Common driveways and shared parking should be encouraged where feasible.

Parking Lots: Parking lots should be landscaped and screened so they do not visually dominate the site.

Grading

General Grading: Grading plans should be designed so as to retain the natural shape of the landform and reflect the topographic features of the terrain. Long continuous straight slopes that have hard edges and no transition areas at the top and the toe of slope should be avoided.

Grading in Open Space Areas: Grading will be prohibited in natural open space lots, except for trail placement, placement of utilities, or facilities associated with access and maintenance.

Contour Grading Techniques: Contour grading techniques reflecting the character of existing significant natural features should be utilized. Techniques to be used include:

- Use variable slope gradients with smooth, rounded cuts.
- Round off toe and crest of slopes.

- Blend graded slope contours with the natural topography.
- Utilize vegetation to alleviate sharp, angular slopes.
- Design drainage courses to blend with the natural or manufactured terrain.

Maximum Cut and Fill Slopes: The maximum fill slope allowed should be 2:1. A 1-1/2:1 ratio may be allowed on cut slopes subject to the recommendations of the geologic engineer.

Retaining Walls: The use of retaining walls along public roadways within the 4S Ranch is discouraged. If no feasible alternative to a retaining wall is available, retaining walls should not exceed five (5) feet in height, should conform to the natural contour of the topography, and be screened with landscaping. Earth tone colors and decorative materials such as stone construction should be used to blend with the natural landscape.

Slope Protection and Erosion Control: To retain the integrity of the intended grading configurations and to protect downstream areas, measures should be taken to control runoff from construction sites. Filter fabric fences, heavy plastic earth covers, gravel berms and lines of straw bales are a few of the techniques that should be considered. Grading should also be phased so that prompt revegetation or construction can control erosion.

Landscaping

General Landscaping: Landscape plans should be designed to provide project continuity of landscaped materials along publicly visible areas. Conversely, individual parcel identity can be established through variations in landscaping.

Irrigated Ornamental Plant Materials: Plant materials that are tolerant of reclaimed water should be used in all areas where reclaimed water is the primary means of plant irrigation.

Drought Tolerant Plant Materials: Plant materials or hydroseed mixtures that are drought tolerant should be used in areas where limited or no artificial irrigation is planned.

Planting on Slopes: Graded slopes should be promptly revegetated with groundcover, shrubs and trees. Groundcovers should possess moderate to high erosion control qualities. Planting on the slope adjacent to a development area should be designed to allow views out while partially screening and softening the views to the structures.

Transition Landscaping: Landscape treatments should make a transition from ornamental to native vegetation. Planting plans should be visually sensitive to the use of plant materials in the transition zone which complement and harmonize in color and massing with the plant materials in both the irrigated ornamental and non-irrigated natural areas.

Fire Suppression Landscaping: Fire resistant landscape designs should provide necessary buffering while striving to maintain the visual and biological integrity of the native plant communities. These landscape designs should be in accordance with the criteria established by the Fire Protection Master Plan.

Irrigation Standards: Irrigation systems should conform to the requirements of the County's Landscape Water Conservation Design Manual. Irrigation systems should be water-efficient and emphasized the use of drip emitters, bubblers, and low-precipitation rate spray heads. An automatic controller should be installed with all irrigation systems.

Street Trees: Street trees should be selected based on their being long-lived, deep-rooted and require relatively low levels of maintenance.

Maintenance of Adequate Visibility: In the interest of maintaining sight distances and public safety, trees should not be planted less than 25 feet from the beginning of curb returns at intersections; 10 feet from fire hydrants; and 10 feet from driveways. To allow visibility at pedestrian levels, landscaping materials along pedestrian walks should include tall trees with canopy areas, rather than short bushy trees, except where the screening of adjacent uses is desirable.

Lighting

General Lighting: An overall plan for lighting should be part of the 4S Ranch project. Exterior illumination by means of source shielded up-lighting and wall washing, and/or internal building lighting that spills outside is to be the primary means of lighting. Project lighting concepts should be reviewed as a part of the site development plan process.

Lighting Fixtures: Lighting fixtures should be complimentary to the overall project design and architectural style. Variations in lighting types should be kept to a minimum.

Energy Conservation: Lighting systems should include the latest energy conservation techniques and concepts.

Glare Control: Lighting systems should be designed and installed so as not to cast any glare onto adjacent lots or streets, decrease the ambiance of

adjacent areas, or reduce the safety of pedestrian and vehicular movement. Lighting should be specifically designed to minimize the impact of glare or light in the habitat areas.

Service Area Lighting: Service area lighting should utilize shielded light sources and be limited to the rear service area of the retail center or service courts.

Parking and Vehicular Circulation Area Lighting: All on-site parking area and vehicular circulation area lighting fixtures should be uniform throughout the project. These fixtures should be complimentary in design and color to the overall project design and architectural style.

Pedestrian Lighting: Area illumination should be provided for entry areas, courtyards, and other people gathering places to provide for security and safety. Low level lighting may be provided for pedestrian walkways.

Dark Sky Protection: In order to minimize the impact additional urban illumination can have on the scientific research of astronomical observatories in San Diego County, some or all of the following methods should be used in lighting design:

- Down shielded street and parking lot lighting fixtures;
- Low-intensity street lamps;
- Low-elevation lighting poles;
- Street lighting only at intersections.

RESIDENTIAL DESIGN GUIDELINES FOR SMALL LOTS

Within the 4S Ranch small lot single family development is defined as single family units on lots of 5,000 s.f. or less. Areas for development of these size lots are defined within Neighborhoods One, Two, and Three. The following design guidelines are established in this Specific Plan in order to assure conformance with the planning principles for the project. The design guidelines addressed here apply to small lot single family development wherever it is permitted within Neighborhoods One, Two, and Three. Specific design guidelines that are unique to each neighborhood or district are addressed in the following Chapter 2.2.

Site Planning Design Guidelines

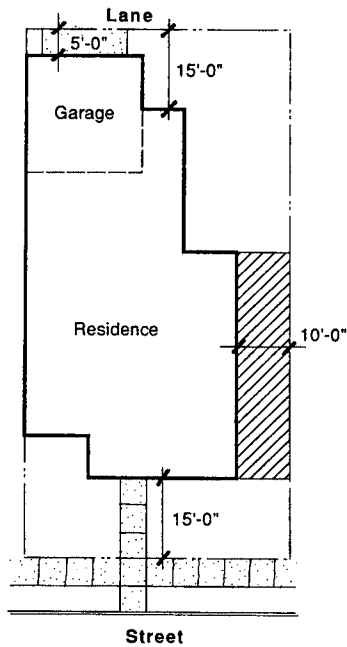
- Building front yard setbacks should be varied to add interest to the streetscape.
- Residential lots and homes should not be aligned in straight rows of more than 15 units. Curved streets, cross streets, cul-de-sacs, and differing orientation of houses are some of the techniques that should be used to reduce straight rows of houses.
- Site layout should orient to any adjacent open space and/or the bicycle/pedestrian facilities along the 4S Ranch Parkway.
- Maximum lot coverage, as defined in the zoning ordinance, shall be limited to 50 percent.

Architecture and Massing Design Guidelines

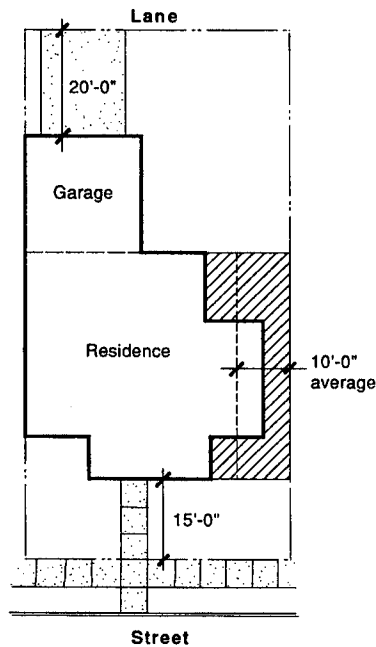
- Front elevation should include well proportioned windows, rooflines, entries, wall offsets and other details that present a well designed, articulated form to the public street.
- Side and rear elevations should be attractively designed with design features and materials that relate to the front elevation. The level of articulation is based on visibility from the surrounding area.
- Large flat wall surfaces should be divided into smaller wall planes with horizontal offsets to visually reduce the mass of the structure.
- Rooflines should vary in angle and/or height to provide a changing profile.

DESIGN GUIDELINES FOR RESIDENTIAL UNITS WITH LANES

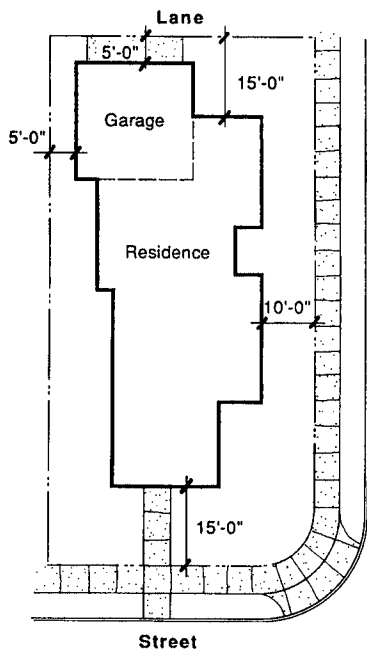
In some areas of the 4S Ranch, particularly along the 4S Ranch Parkway, residential parcels are proposed to be developed with lanes. These lanes would provide access to garages located on the back of individual single family lots leaving the front streetscape unbroken by driveways and garage doors. Where lanes are proposed modifications to the standard setbacks would be appropriate. These modifications may include reduced front yard setbacks to allow the residential unit to be sited closer to the front property line and reduced rear yard setbacks to allow the garage portion of the residential unit to be sited near the rear property line. This is illustrated in Exhibit 2.1.10.



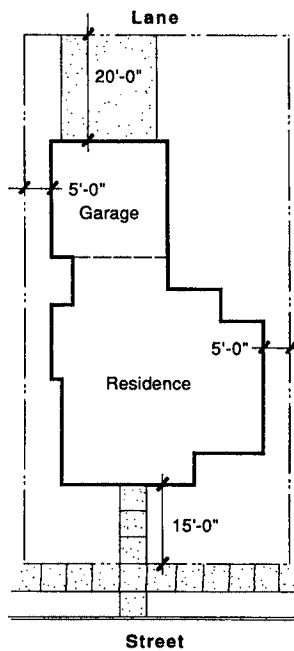
TYPICAL SETBACK FOR
ZERO LOT LINE RESIDENCE



ALTERNATE SITE DESIGN FOR
ZERO LOT LINE RESIDENCE



TYPICAL SETBACK FOR
RESIDENTIAL LOT WITH LANE



ALTERNATE SITE DESIGN FOR
RESIDENTIAL LOT WITH LANE

Notes:
The setback dimensions are to illustrate the intent of site planning with lanes. Actual setbacks will be established as part of individual project approvals. Exhibit shows sidewalks not contiguous with curbs. Either contiguous or non-contiguous sidewalks are acceptable.

EXHIBIT 2.1.10 RESIDENTIAL UNITS WITH LANES

CHAPTER 2.2 NEIGHBORHOOD AND DISTRICT DESCRIPTIONS AND POLICIES

NEIGHBORHOOD ONE

Setting

Neighborhood One is approximately 301 acres and is located south of Camino del Norte. The area generally is comprised of a flat mesa with three finger ridges to the south overlooking La Jolla Valley and Black Mountain.

Open Space and Habitat: Neighborhood One is located south of the Artesian Creek wetlands corridor and north of the slopes which define the La Jolla Valley. It contains areas of disturbed habitat, intermittent eucalyptus woodland, and non-native grassland. There are very few areas of undisturbed native habitat. Thus, virtually all of Neighborhood One is proposed for development.

Land Use: Existing uses include the wastewater reclamation plant, wet weather storage reservoir, and spray fields for disposal of treated wastewater. The plant is located near the eastern boundary, and the reservoir and spray fields are west of the plant. This plant will be expanded to provide additional treatment capacity with development of this Specific Plan Amendment. The reservoir and spray fields will be eliminated as part of the phased implementation of an overall regional wastewater reclamation program. An existing caretaker's house and associated accessory structures are located in the north portion of this neighborhood. The area is otherwise vacant. Surrounding land uses are a 168-acre Christopherhill Project which is part of the 634-acre 4S Specific Plan to the east, the site of the Mixed-Use District to the north, the higher density "bow-tie" portion of the Black Mountain Ranch Future Urbanizing Area (FUA) to the west, and the site of Neighborhood Two to the south.

Visual: Views to Neighborhood One are primarily from the 634-acre portion of the 4S Ranch lying to the east, which is at a higher elevation, and future Dove Canyon Road through the eastern portion of Neighborhood One. Views from Camino del Norte are limited because the alignment of this road has been planned at a lower elevation than the adjacent residential areas. Due to the topography, views to Neighborhood One from La Jolla Valley to the south and the Black Mountain Ranch FUA to the west are generally limited to views of the residential development along the southerly and westerly edge of the neighborhood.

Views from Neighborhood One are primarily to hillsides to the east, La Jolla Valley to the south and southwest, and more distant hillsides and mountains to the northwest, north and northeast.

Relationship to Other Neighborhoods: Neighborhood One is connected directly to the Mixed-Use District by the 4S Ranch Parkway. The 4S Ranch Parkway extends through the center of the neighborhood and connects it to Neighborhood Two to the south. Neighborhood One and Two share an elementary school which is located along the Parkway south of Neighborhood One.

Description

The plan for Neighborhood One is illustrated in Exhibit 2.2.1. Neighborhood One is a residential neighborhood of primarily single-family detached homes on a variety of lot sizes. A cluster of higher density units which may consist of either small lot single-family, single-family condominiums, or multi-family units is located in the central portion of the neighborhood adjacent to both the 4S Ranch Parkway and the Neighborhood One park. A multi-family parcel is also located east of Dove Canyon Road. This site is adjacent to but screened from the wastewater treatment/water reclamation site. As an alternative to the multi-family use, this site may develop as a commercial use.

The park area of Neighborhood One is a continuous north-south system through the center of the neighborhood and is comprised of a neighborhood park, neighborhood green, and the 4S Ranch Parkway. A concept plan for the neighborhood park is illustrated in Chapter 2.5, Exhibit 2.5.5.

Neighborhood One may contain the following land uses:

- A maximum of 1,505 single-family detached and multi-family units;
- The 4S Ranch Parkway;
- High School;
- Neighborhood park;
- Neighborhood green and pocket parks;
- Circulation element roadways and local streets;
- Special treatment residential streets and intersections where noted;
- Pedestrian and bicycle facilities;
- Wastewater reclamation/water reclamation plant;
- A small commercial retail nursery;
- Churches.

Response to Planning Principles

Key features of the Neighborhood One plan are in response to the vision and planning principles for the project as specified in Chapter 1.2 and 2.1. These features are described below followed by a list of neighborhood and site specific guidelines intended to implement the vision.

- To provide multiple ways into and through the neighborhood, the maximum number of access points to major roadways are planned consistent with intersection spacing requirements.
- Many local streets in this neighborhood connect to the 4S Ranch Parkway, providing maximum opportunity for access to this internal circulation system.
- Two local streets, parallel to the 4S Ranch Parkway to the east and west, provide local circulation through the residential area and connect to the Parkway near the connection into the Mixed-Use District. The treatment of this local street system emphasizes the pedestrian and bicycle routes to the park, schools, and shopping.
- The neighborhood contains a mixture of single-family and multi-family unit types, including affordable units, but is primarily single-family in nature.
- Developed open space is organized around the 4S Ranch Parkway. Major parkway elements in Neighborhood One include a neighborhood park, neighborhood green, special treatment residential streets, and pedestrian and bicycle facilities.
- A neighborhood park is located in the north-central section of the neighborhood adjacent to the Parkway.
- The neighborhood park concept design incorporates suitable protection of the archaeology site located within the park boundaries.
- The neighborhood park design allows for the incorporation of a future transit stop at the northwest corner of Lone Quail Road and 4S Ranch Parkway.
- The 4S Ranch Parkway is designed as an open space corridor through the neighborhood as well as a local street. A concept plan for the Parkway is illustrated in Exhibit 2.2.2.

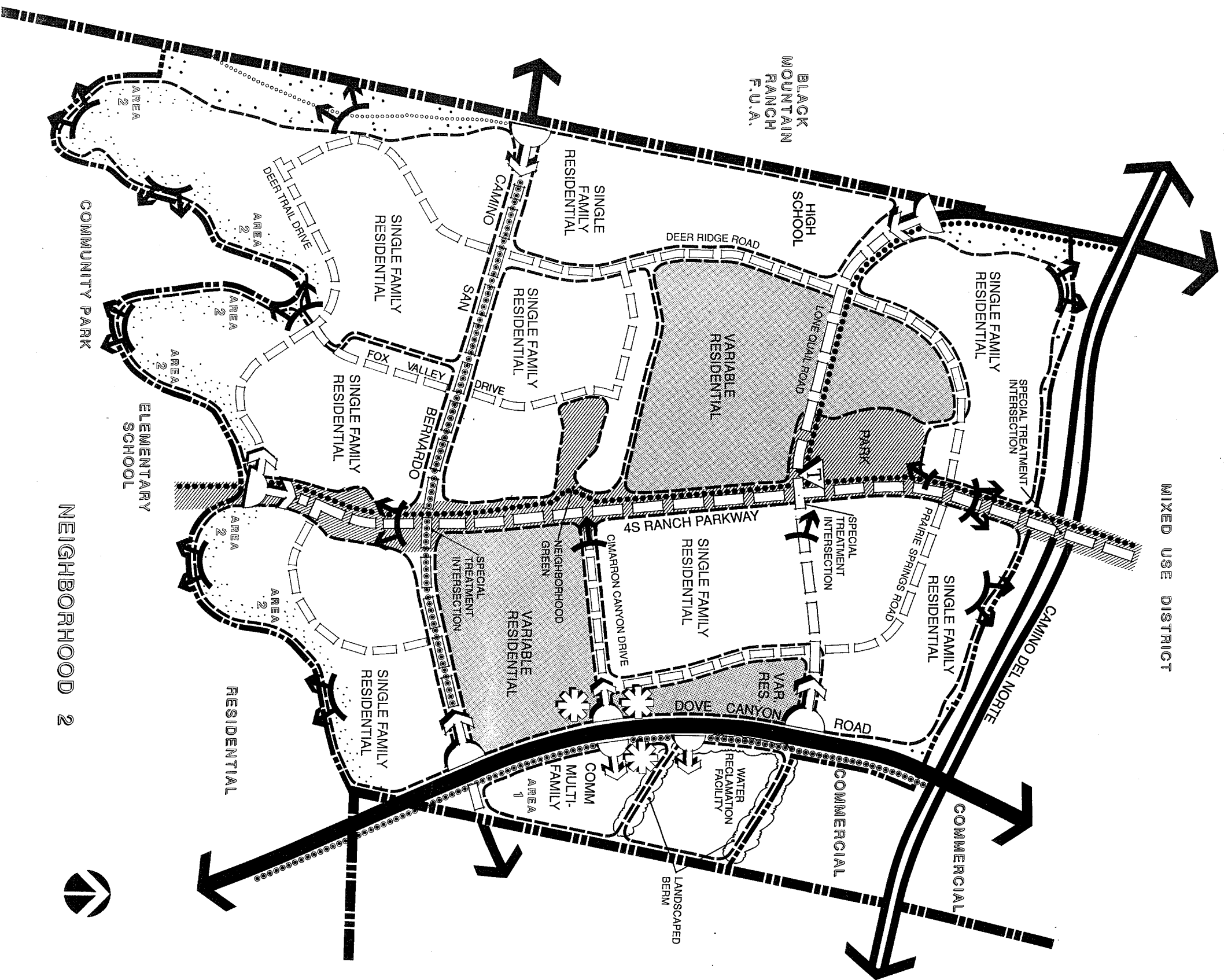
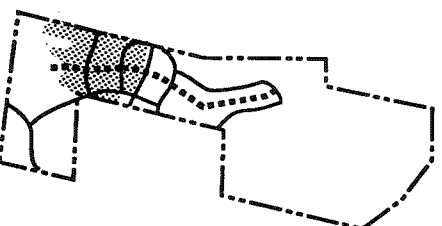


EXHIBIT 2.2.1 NEIGHBORHOOD ONE

LEGEND	
	4S Ranch Boundary
	Neighborhood Boundary
	Major Circulation
	Local Circulation
	4S Ranch Parkway
	Variable Residential
	Primary Access
	Bike Path, Lane, & Unpaved Trail
	Parks and Schools
	Potential Transit Stop
	Potential Church Location
	Views



Key Map

EXHIBIT 2.2.1
NEIGHBORHOOD ONE



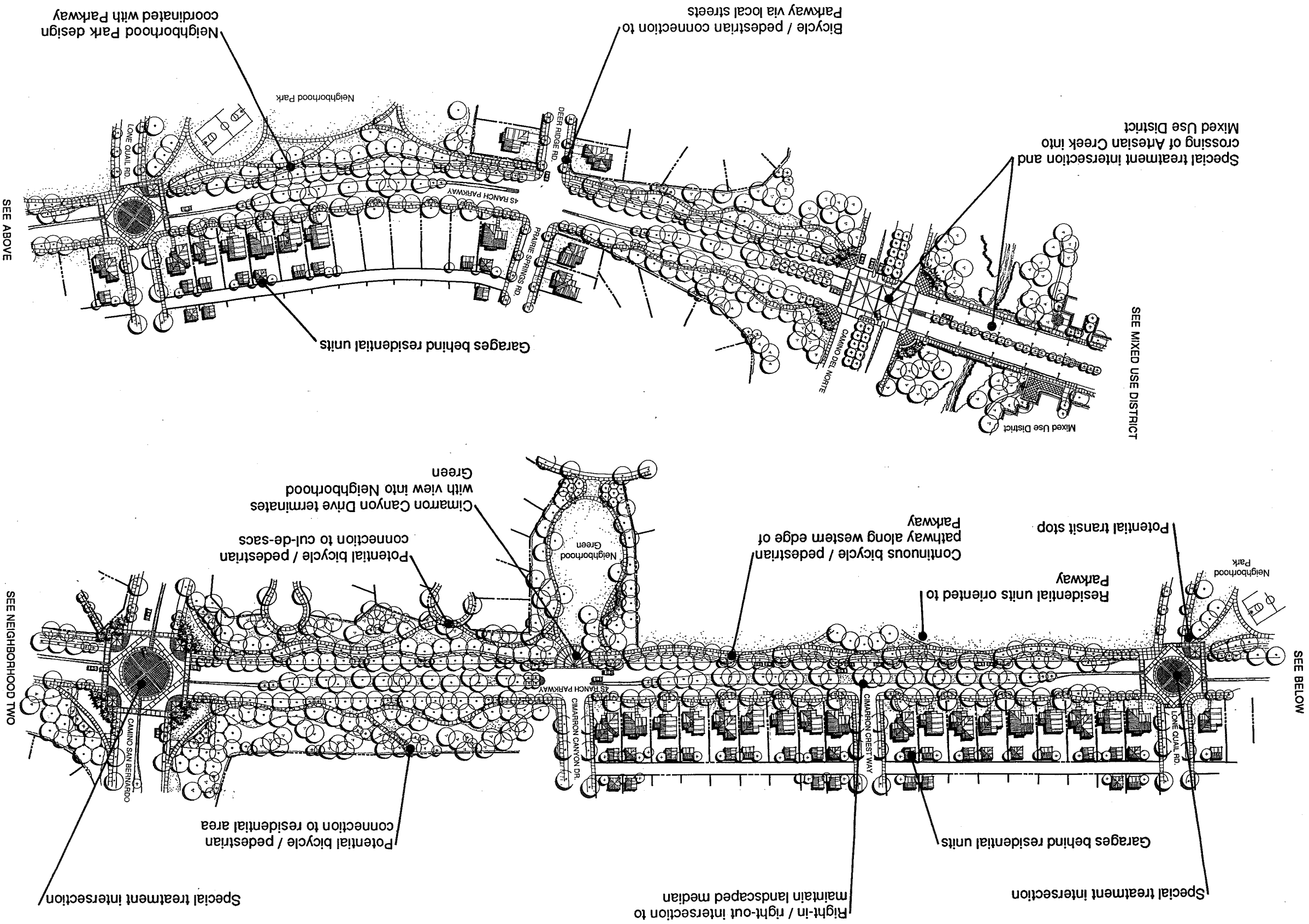


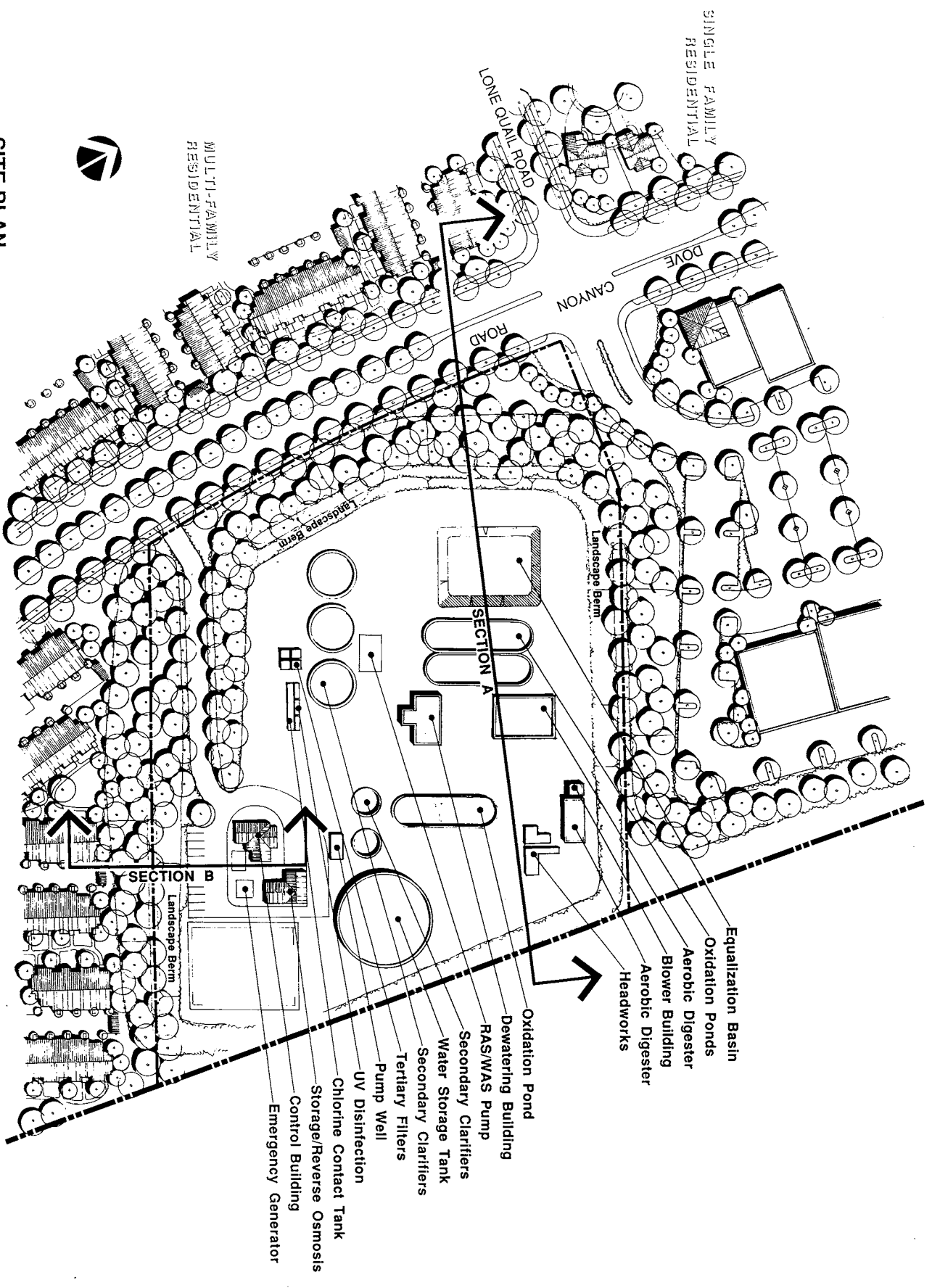
EXHIBIT 2.2.2
4S RANCH PARKWAY
NEIGHBORHOOD ONE



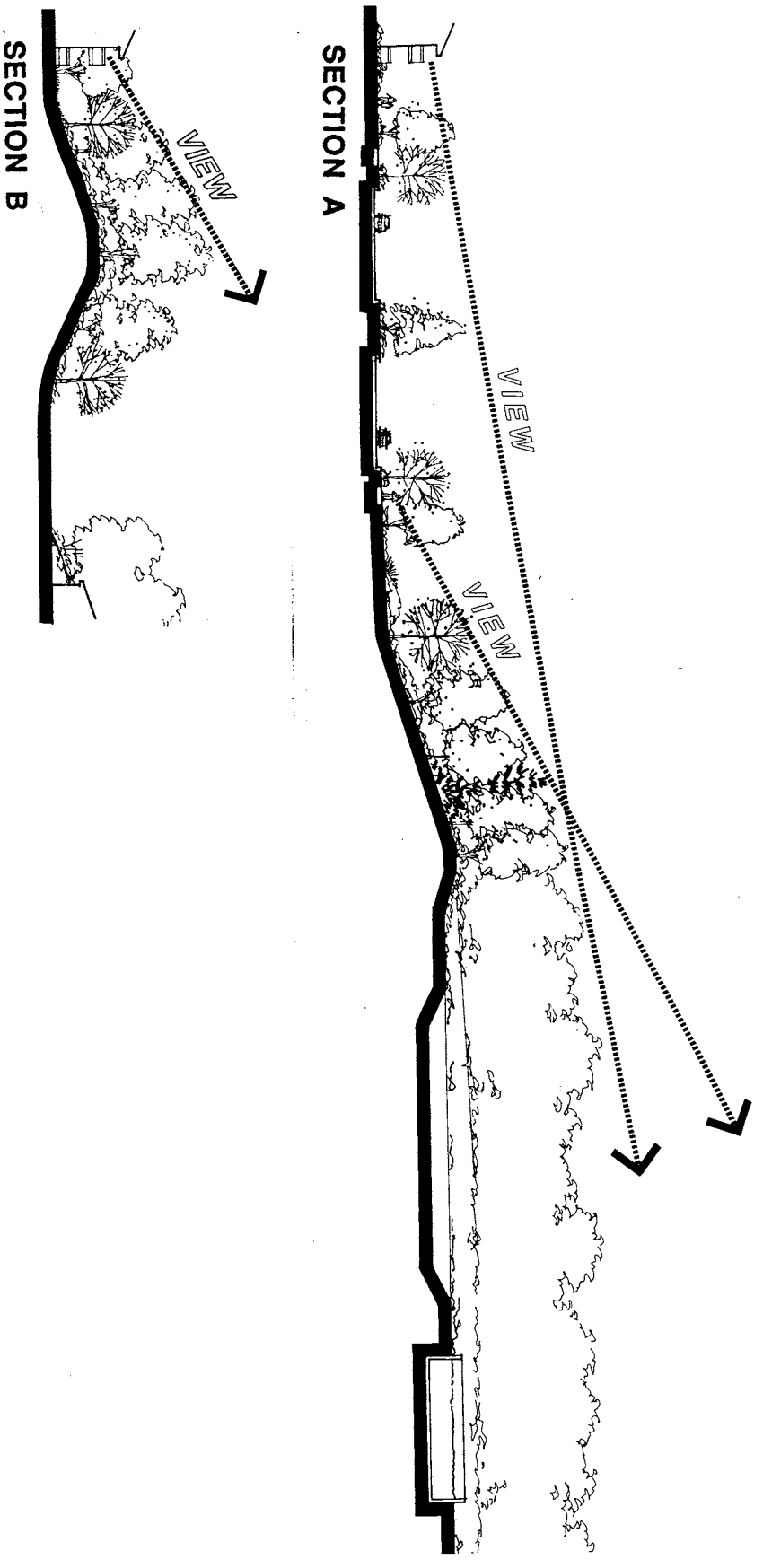
Neighborhood Design Guidelines

In addition to the Community Design Guidelines in Chapter 2.1, Neighborhood Design Guidelines are described as follows:

- A mixture of single-family unit types and architectural styles should be provided.
- Local streets and residential units should orient to the 4S Ranch Parkway and provide easy access routes via local streets and pedestrian/bicycle facilities to the connection to the Mixed-Use District.
- Local streets should be designed so that external vehicular trips orient to the circulation roadways on the periphery of the neighborhood.
- Site design of residential units along the 4S Parkway should recognize the urban design role of these units in framing and defining the edge of the Parkway.
- A landscaped berm should be included along the north, west, and south boundaries of the wastewater treatment/water reclamation facility (Exhibit 2.2.3).
- Potential church sites are indicated on the Neighborhood One plan (Exhibit 2.2.1). They are located within the commercial area south of the water reclamation facility and east of Dove Canyon Road and within the two variable residential areas adjacent to and west of Dove Canyon Road. These are considered to be the most appropriate church sites in Neighborhood One.



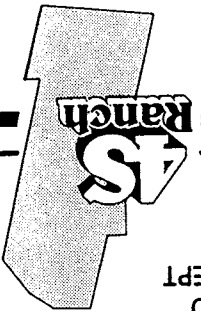
SITE PLAN



Final site plan may vary from this concept site plan.

EXHIBIT 2.2.3 WASTEWATER RECLAMATION FACILITY LANDSCAPED BERM CONCEPT

EXHIBIT 2.2.3
WASTEWATER RECLAMATION
FACILITY
LANDSCAPED
BERM CONCEPT



NEIGHBORHOOD ONE SITE SPECIFIC GUIDELINES

Neighborhood One contains two areas for which site specific design guidelines are warranted to address specific planning or design issues. These areas are illustrated in Exhibit 2.2.1. These design guidelines are directed to those specific areas and are not applicable to the entire neighborhood.

Area One

The first area in Neighborhood One is the mixed-use area north of Camino San Bernardo, east of Dove Canyon Road, south of the Wastewater Treatment/Water Reclamation Plant and west of the easterly property boundary. The Specific Plan designates this area of the 4S Ranch for commercial or multi-family. This area is zoned C-34 which permits multi-family residential. If developed for residential, it will be comprised of higher density residential units ranging up to 18 DU/Ac. Should this area be developed with a commercial land use the 120 residential units are not transferable to other areas of the Specific Plan. The specific guidelines for the subsequent site planning of this area are as follows:

Design Guidelines

- Local street access will be from Dove Canyon Road along the westerly side of the area.
- Local street access will align with Cimarron Canyon to the west.
- Local street access from Camino San Bernardo is not permitted.
- If developed with a residential land use the structures along the north property line are encouraged to orient the rear or side of the structure toward the berm.

Area Two

The second area in Neighborhood One is the houses along the edge of the mesa in the southerly most portion of the neighborhood. These residential units are within the viewshed of the San Diequito River Park Focused Planning Area. The intent of the guidelines is to minimize the visual impacts of residential development along the southerly edge of Neighborhood One as viewed from La Jolla Valley/Lusardi Creek. The specific guidelines for the subsequent site planning of this area are as follows:

Design Guidelines

- The layout of lots should use the varied edge of the natural bluff to change the orientation and avoid long straight rows of lots or houses.
- The landscaping should conform to the Community Design Guidelines for landscaping (Chapter 2.1).
- The slopes to the south should conform to the Neighborhood Two Site Specific Design Guidelines as illustrated in Exhibits 2.2.6 and 2.2.7.

NEIGHBORHOOD TWO

Setting

Neighborhood Two is approximately 557 acres and is comprised of the La Jolla Valley portion of the 4S Ranch, including land area north and south of Lusardi Creek. The site is characterized by a broad valley that slopes from east to west and is defined by the moderate slopes of a mesa and hills to the north, steeper hills to the northeast, and rolling hills to the south.

Open Space and Habitat: Neighborhood Two is located on either side of Lusardi Creek in La Jolla Valley, which has been identified as a wetlands corridor containing freshwater marsh, willow scrub, and two manmade ponds. In addition, some hillside areas which define the Valley contain areas of sensitive habitat including coastal sage shrub.

Land Use: Existing uses include two dams and ponds located along Lusardi Creek and a water storage tank formerly used to serve agricultural operations on the property. The area is otherwise vacant. The surrounding uses include an existing residential area in the City of San Diego to the east, the 168-acre Christopherhill Project which is part of the 634-acre portion of the 4S Ranch Specific Plan Area and the site of Neighborhood One to the north, the future Black Mountain Golf Course to the west, and future residential and open space areas of Black Mountain Ranch to the south.

Visual: Views to Neighborhood Two from surrounding areas are primarily from the existing residential areas to the east and the 168-acre Christopherhill Project which is part of the 634-acre 4S Specific Plan as well as southerly most portion of Neighborhood One to the north. These areas are at a generally higher elevation. Intervening topography generally limits views to Neighborhood One from areas planned for development in Black Mountain Ranch.

Views from Neighborhood Two are primarily to the immediately surrounding hills and mesa edges to the north and south and to Black Mountain Ranch approximately one mile to the south.

Relationship to Other Neighborhoods: Neighborhood Two is the southern most neighborhood of the 4S Ranch. Access is from Dove Canyon Road, which extends northward through Neighborhood One connecting to Camino del Norte and Rancho Bernardo Road and to the south connecting to an extension of Bernardo Center Drive. Neighborhood One and Two share an elementary school. The community park within Neighborhood Two serves the residents of the 4S Ranch and other surrounding communities. Neighborhood Two is also the southerly terminus of the 4S Ranch Parkway. This terminus is a parkway circle within the community park.

Description

The plan for Neighborhood Two is illustrated in Exhibit 2.2.4. Neighborhood Two is a low density single-family residential neighborhood with a variety of lot sizes. The neighborhood is bisected by Lusardi Creek, which extends east-west through the valley and includes open space areas designed to connect to similar open space area of the Black Mountain Ranch.

Neighborhood Two contains an area of 192 acres along Lusardi Creek and the surrounding hillsides. This area is designated the Lusardi Creek Community Park. The concept plan for the community park is illustrated in Exhibits 2.5.3 and 2.5.4. Residential units are clustered in areas north and south of the Lusardi Creek Community Park. The neighborhood focal point is the elementary school and community park.

Neighborhood Two may contain the following uses:

- A maximum of 640 single-family detached units on lot sizes from 4,000-square feet to 12,000-square feet;
- 4S Ranch Parkway;
- Elementary school;
- Community park;
- Neighborhood green and pocket parks;
- Circulation element roadways and local streets;
- Special treatment residential streets and intersections;
- Pedestrian and bicycle facilities;
- Brush management areas;
- Archaeological preservation area.

Response to Planning Principles

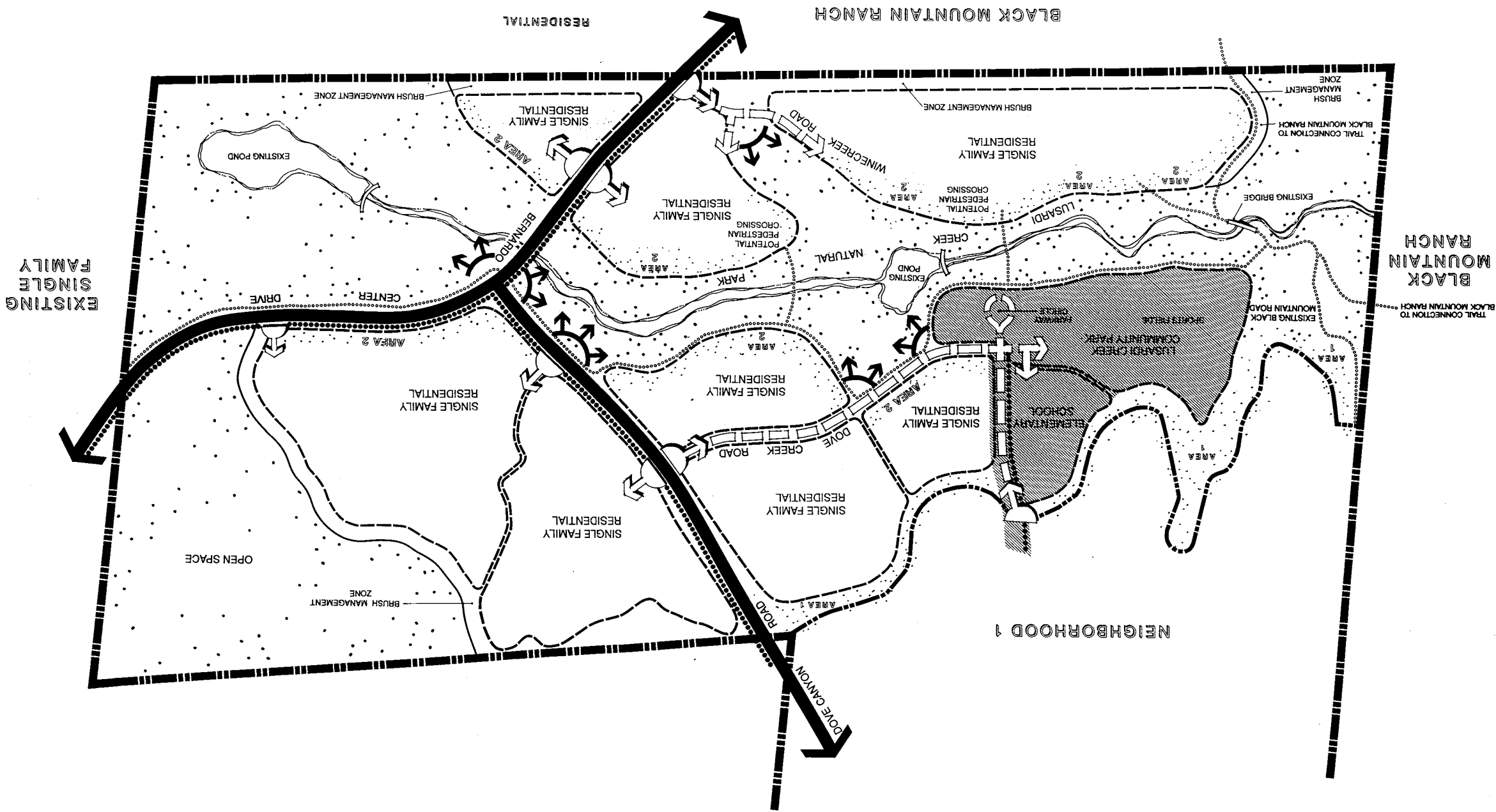
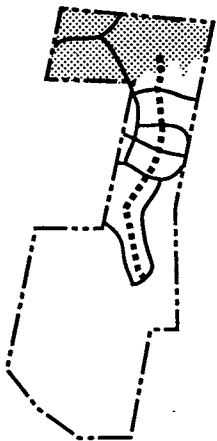
Key features of the Neighborhood Two plan are in response to the vision and planning principles for the project outlined in Chapters 1.2 and 2.1.



EXHIBIT 2.2.4
NEIGHBORHOOD TWO

- LEGEND**
- 4S Ranch Boundary
 - Neighborhood Boundary
 - Major Circulation
 - Local Circulation
 - 4S Ranch Parkway
 - Primary Access
 - Bike Path, Lane, and Unpaved Trail
 - Parks and Schools
 - Views

Key Map



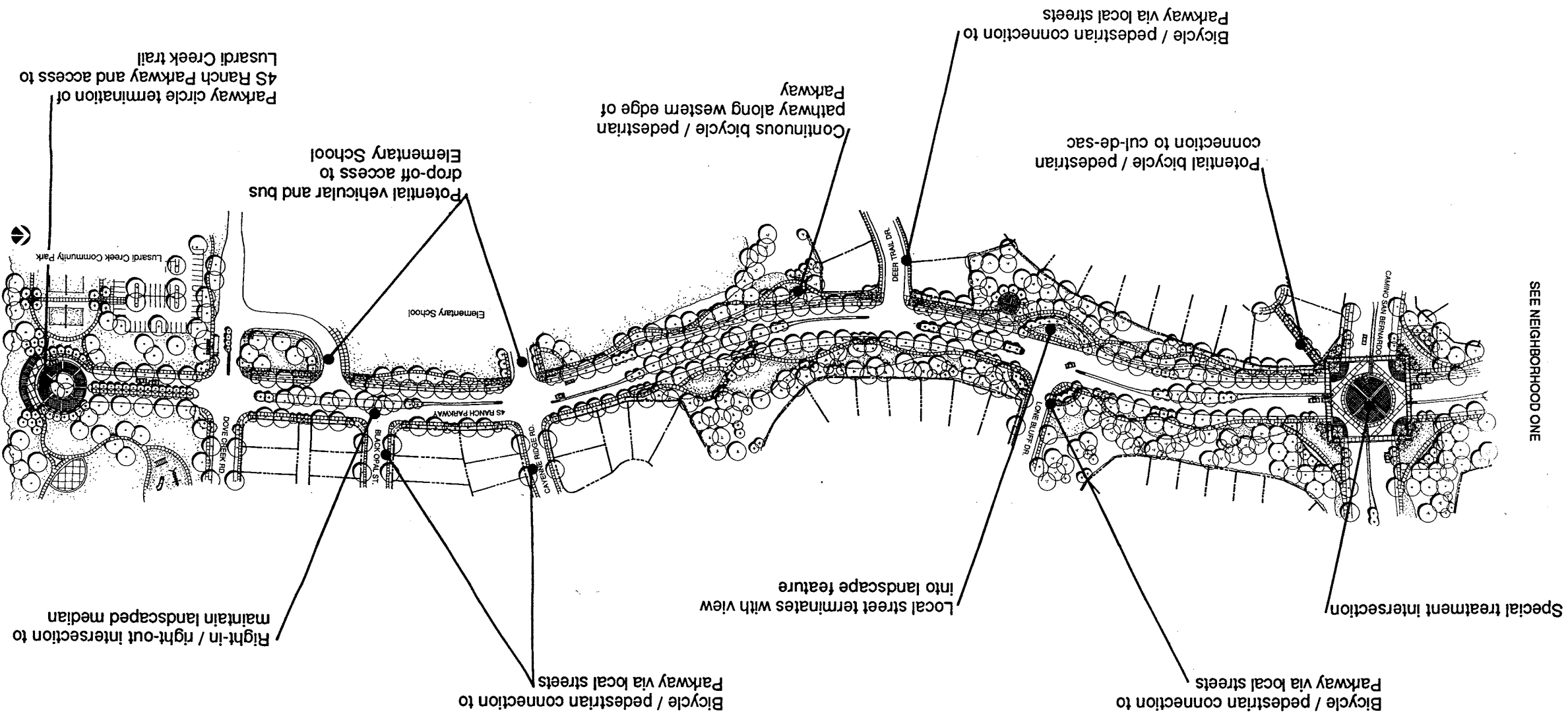
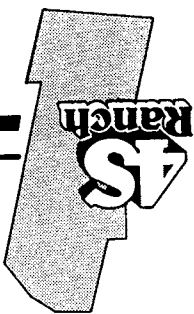


EXHIBIT 2.2.5
4S RANCH PARKWAY
NEIGHBORHOOD TWO

Deneen Powell Atelier

EXHIBIT 2.2.5
4S RANCH PARKWAY
NEIGHBORHOOD TWO



They are described below followed by a list of neighborhood and site specific guidelines intended to implement the vision.

- The 4S Ranch Parkway is designed as a north-south open space corridor through the neighborhood as well as a local street. A concept plan for the Parkway is illustrated in Exhibit 2.2.5.
- The developed open space is organized around the southerly terminus of the 4S Ranch Parkway. Major public facilities and park elements in Neighborhood Two include the elementary school, community park, and sports fields.
- To conserve a wildlife corridor along Lusardi Creek, an undisturbed area averaging over 600 feet wide is provided in the site plan. The variable corridor has a minimum width of 400 feet, and increases in some areas to over 1,200 feet. The Lusardi Creek Community Park includes the wetlands corridor, two ponds, and some adjacent upland areas connected to the corridor and totals 192 acres. This open space area connects to existing and planned open space to the east, south, and west.
- Lower density residential development is planned for Neighborhood Two consistent with a transition from similar densities to the north and east and lower density developments to the south and west.
- The neighborhood site plan is organized around a system of streets, and pedestrian and bicycle facilities which connect to the elementary school, community park, and the 4S Ranch Parkway.
- The 4S Ranch Parkway and several local neighborhood streets are aligned to preserve important views to the Lusardi Creek Community Park and existing pond.
- The elementary school is located on the 4S Ranch Parkway which includes pedestrian and bicycle facilities that connect north into Neighborhood One, which is also served by this school.
- Trail crossings of the Lusardi Creek to connect residential areas to the south with the school and active park to the north are provided at points with minimum impact to wetland and habitat areas.
- Brush management techniques are consistent with the standards outlined in Chapter 2.1 or revised standards as required by RSFFPD.

Neighborhood Design Guidelines

In addition to the Community Design Guidelines in Chapter 2.1, Neighborhood Design Guidelines are described as follows:

- Local streets and homes should be designed so as to have views of the Lusardi Creek Community Park and surrounding hills.
- A connection to Neighborhood Two and the remainder of the community should be provided along the 4S Ranch Parkway. This connection should be designed to facilitate pedestrian and bicycle travel between Neighborhood One and the elementary school in Neighborhood Two.
- Two pedestrian and bicycle crossings of Lusardi Creek should be provided to connect residential areas south of the creek to the elementary school and active portion of the community park.

NEIGHBORHOOD TWO SITE SPECIFIC DESIGN GUIDELINES

Neighborhood Two contains two areas for which site specific design guidelines are warranted to address specific planning or design issues. These areas are illustrated in Exhibit 2.2.4. These design guidelines are directed to those specific areas and are not applicable to the entire neighborhood.

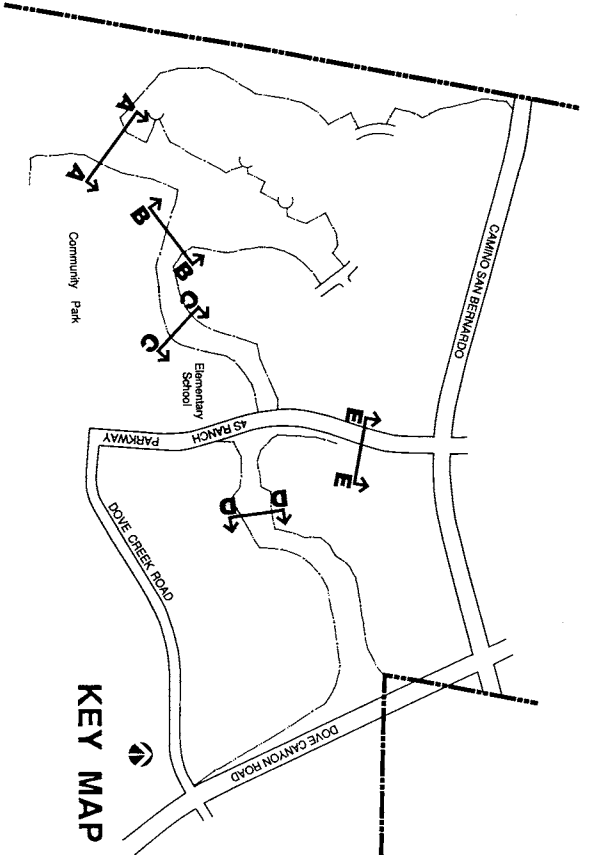
Area One

The first area in Neighborhood Two is the slope which separates Neighborhood One and Neighborhood Two and spatially defines Neighborhood One as on the mesa and Neighborhood Two as in the valley. In order to stabilize this slope much of the length of the slope is being regraded to incorporate engineered buttress fills and other engineering mitigations. The specific design guidelines described below address the configuration of the regraded slope and the landscaping of that slope. These guidelines are illustrated in Exhibits 2.2.6 and 2.2.7.

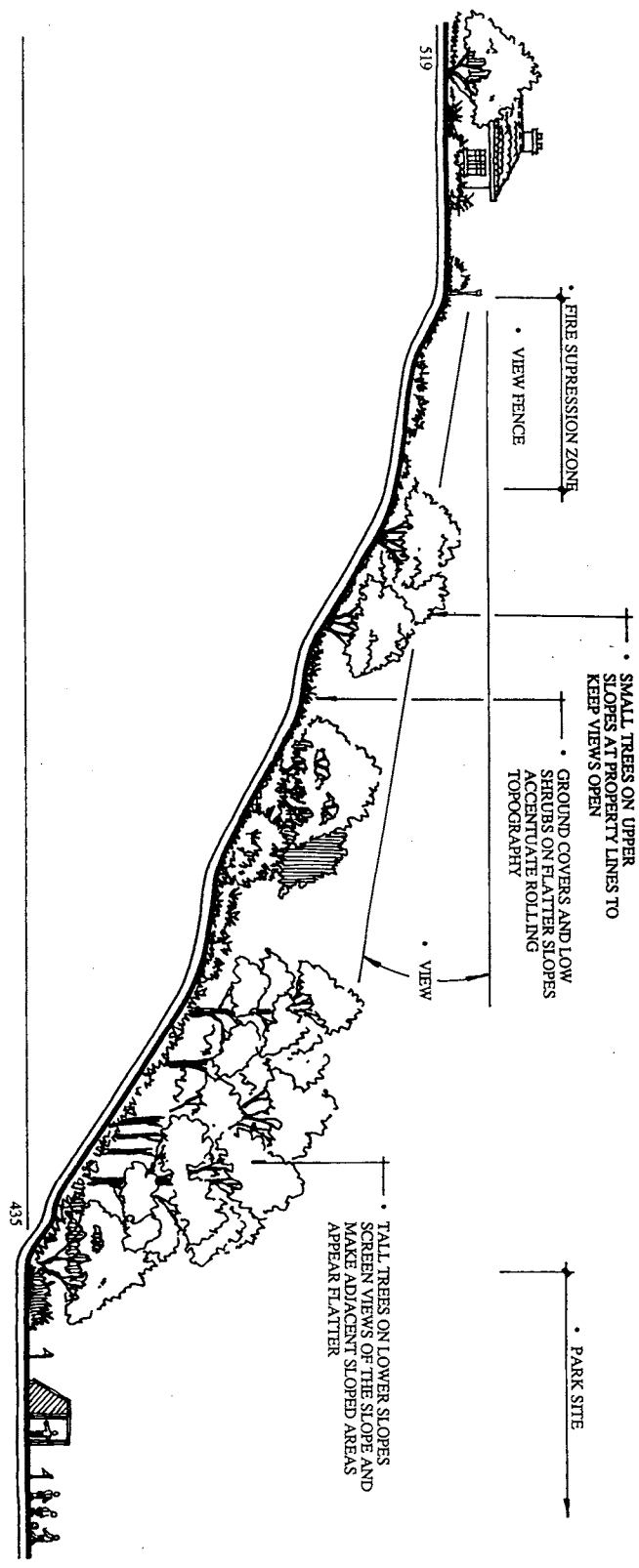
Design Guidelines

- Slope banks should typically be characterized by contour grading which is defined as varying either or both the horizontal contour and the slope gradient. Some straight line slopes of 2:1 are permitted but will be limited to relatively short distances.

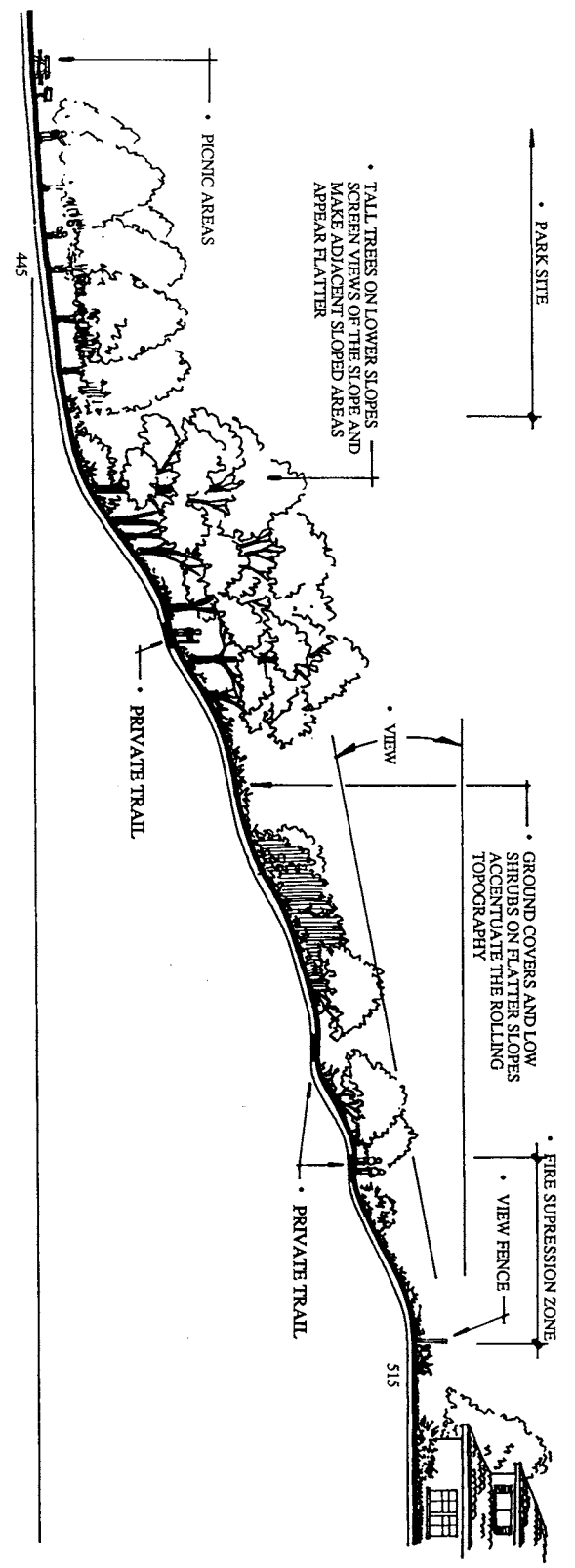
Final design may vary from this concept



KEY MAP



SECTION A-A



SECTION B-B

Horizontal : Vertical = 1 : 1.5

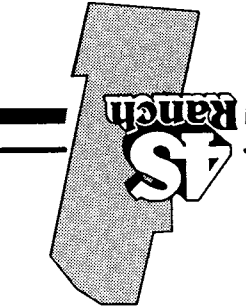
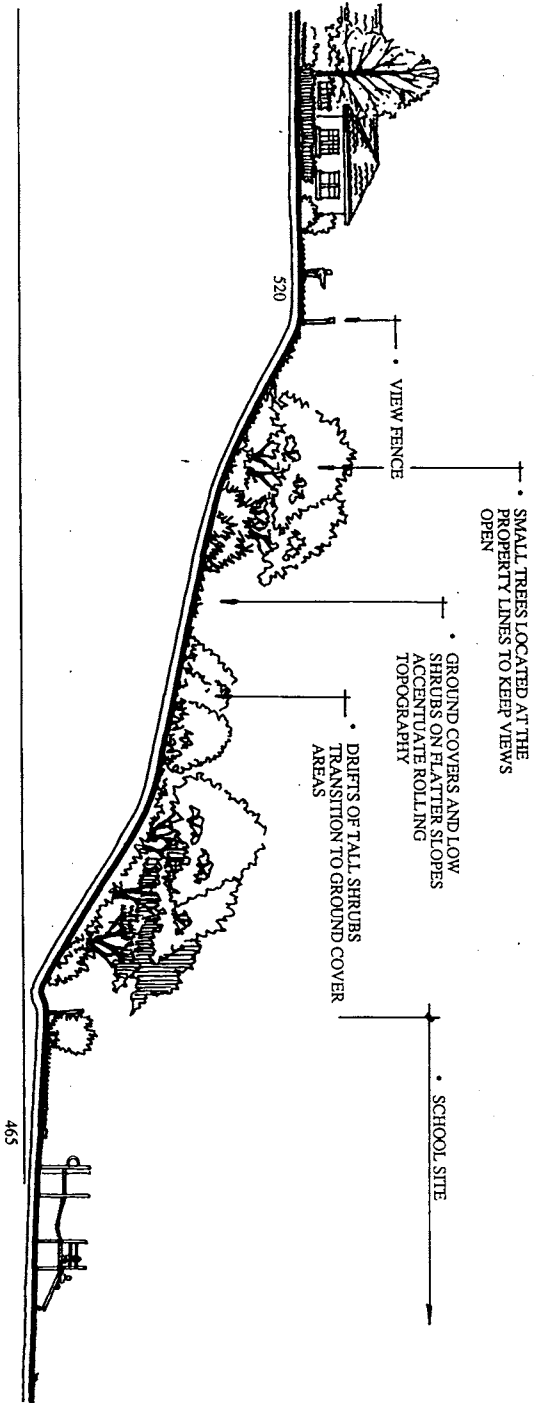


EXHIBIT 2.2.6
NEIGHBORHOOD TWO
DESIGN GUIDELINES

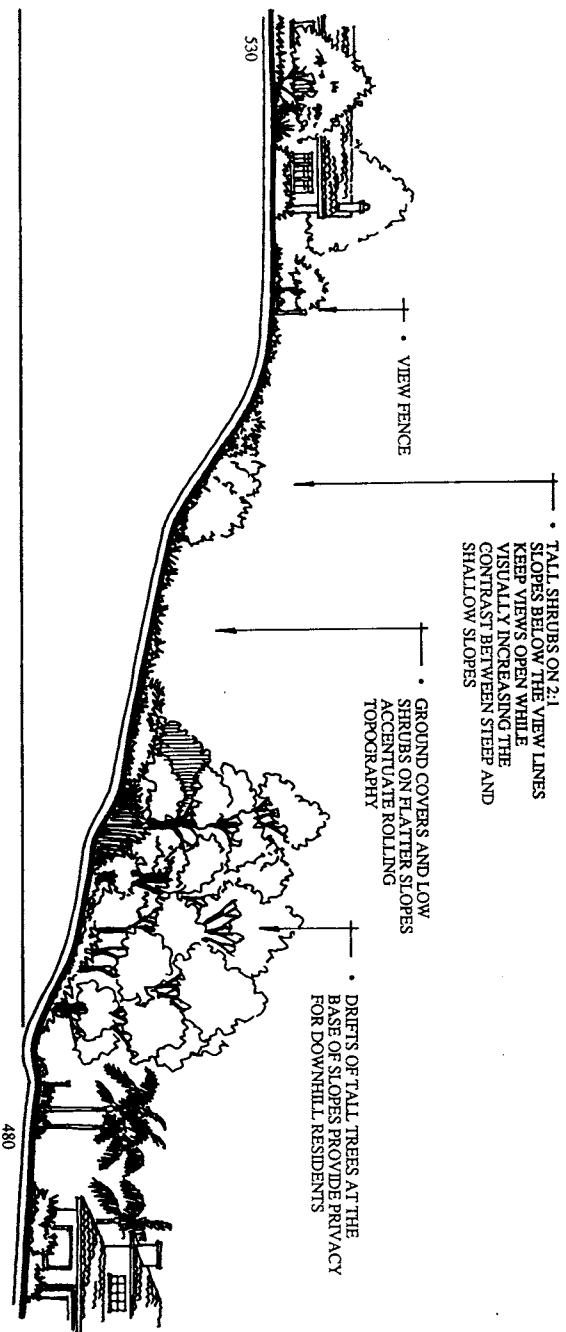
EXHIBIT 2.2.6
NEIGHBORHOOD TWO
DESIGN GUIDELINES

Deneen Powell Atelier

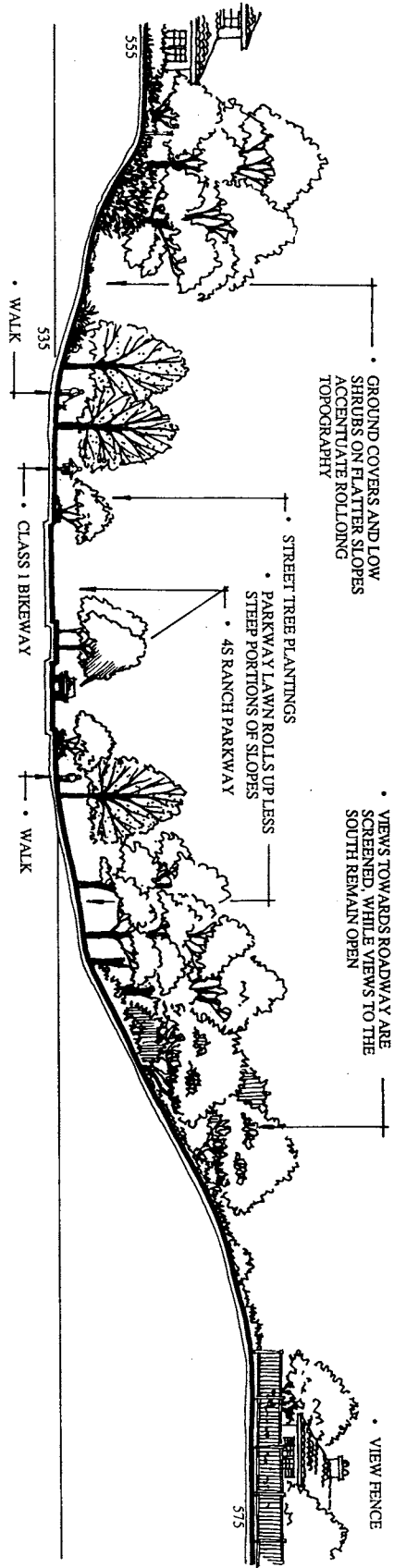
Final design may vary from this concept



SECTION C-C



SECTION D-D

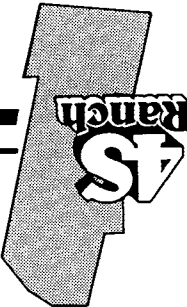


SECTION E-E

Horizontal : Vertical = 1 : 1.5

EXHIBIT 2.2.7
NEIGHBORHOOD TWO
DESIGN GUIDELINES

EXHIBIT 2.2.7
NEIGHBORHOOD TWO
DESIGN GUIDELINES



- Tall trees should typically be used on lower steep slopes to accentuate the verticality of these areas and make adjacent slopes appear flatter. Tall trees at the base of slopes should also be used to provide privacy for downhill residents.
- Tall shrubs on the upper slopes should typically be planted such that mature shrubs will be below the view line.
- Ground cover and low shrubs should be used on flatter slopes to accentuate the rolling topography and varying slope gradient.
- Drifts of tall shrubs should be used to transition from areas of tall trees to ground cover areas.
- Trees and shrubs should be located in clusters or drifts along the slope to reflect natural vegetation patterns.

Area Two

The second area in Neighborhood Two is the residential land use which is immediately adjacent to the Lusardi Creek Natural Park. The Specific Plan designates all of these areas of 4S Ranch for single family residential. The design of these residential areas must utilize techniques to minimize the visual impact of residential construction as viewed from the designated trail in the Lusardi Creek Natural Park/La Jolla Valley. A 'D' designator has been applied to each of the Neighborhood Two residential areas adjacent to Lusardi Creek and design guidelines included within the zone to address the visual issues.

MIXED-USE DISTRICT

Setting

The Mixed-Use District is approximately 135 acres located in the center of the 4S Ranch. The District is at the convergence of several major circulation roadways that provide access to the surrounding area. These include Camino del Norte, Rancho Bernardo Road, Dove Canyon Road, and Alva Road. The District is also the principal focal point of the 4S Ranch Parkway that extends north-south through the entire community.

Open Space and Habitat: The District contains a narrow wetlands corridor immediately north of the Camino del Norte public road easement. This corridor is planned to be expanded and enhanced as part of the Artesian Creek Natural Park. The District also contains a patch of coastal sage scrub of approximately 45 acres immediately south of Artesian Creek.

Land Use: The only existing land uses include the temporary RSFFPD fire station, the existing two-lane portion of Rancho Bernardo Road which will be replaced by the new Rancho Bernardo Road alignment and Camino del Norte as part of any development of the property, and a public road easement for the Ramona Pipeline. The area is otherwise vacant. The surrounding land uses are the 4S Business Park to the east, the site of Neighborhood Three to the north, residential development areas of the Santa Fe Valley Specific Plan to the west, and the site of Neighborhood One to the south.

Visual: Views to the Mixed-Use District are from Camino del Norte, Rancho Bernardo Road, and Dove Canyon Road. The design and landscaping of the Mixed-Use District will provide the dominate visual element of the 4S Ranch for both residents and visitors to the community and those traveling through the community on Camino del Norte or Rancho Bernardo Road.

Views from the Mixed-Use District are primarily to Neighborhood One and Three and the hillsides to the north.

Relationship to Other Neighborhoods: The Mixed-Use District is the focal point of the 4S Ranch and the four residential neighborhoods. It includes most of the community services and facilities not provided by the neighborhood parks and schools.

Description

The plan for the Mixed-Use District is illustrated in Exhibit 2.2.8. The Mixed-Use District is the urban center of the 4S Ranch serving the project and existing and future surrounding residential areas with community retail center, small shops and restaurants, recreation and entertainment, medical and professional offices, and religious and cultural facilities. Medium to high density residential uses are also included within the Mixed-Use District. The District contains the public road easement of Camino del Norte and Artesian Creek Natural Park. It also contains three commercial sites located east of Dove Canyon Road, a commercial site on the northwest corner of Camino del Norte and Dove Canyon Road, and a small commercial site west of the Mixed-Use Core adjacent to the Black Mountain Ranch.

The central portion of the District is the Mixed-Use Core and will be a compact mix of uses organized around a Town Square and the 4S Ranch Parkway, which extends north-south into the residential neighborhoods as an internal community circulation system. A transit stop is planned on Rancho Bernardo Road adjacent to the Town Square. The Core will contain buildings of various sizes and functions. Larger size retail services, such as grocery stores, drug stores, and mass merchandizing retailers, will be on the east side of the District adjacent to Rancho Bernardo Road and Dove Canyon Road. Smaller shops, medical and professional offices, entertainment, and many of the civic and public functions will be clustered near the Town

Square in the central area. Residential units will be located on the west side of the Core. The Mixed-Use District area located south of Rancho Bernardo Road, east of Dove Canyon Road, and north of Camino Del Norte will be a Planned Commercial Development project.

The 4S Ranch Parkway is aligned through the center of the Mixed-Use Core. It connects to Neighborhoods One and Two south of Camino del Norte and Neighborhoods Three and Four north of Rancho Bernardo Road.

The Mixed-Use District may contain the following land uses:

- 310 multi-family high density residential units;
- Additional residential units and population as may be allowed under the residential unit transfer program described in Chapter 3.3;
- Community retail center;
- Specialty shops;
- Restaurants;
- Medical and professional offices;
- Town Square and public services;
- Library;
- Churches and cultural facilities;
- Day care facilities;
- Commercial entertainment and recreation;
- Public and private education facilities;
- Fire station;
- Sheriff's substation;
- Transit stop and "park and ride";
- Circulation element roadways, local and private streets;
- Special treatment intersections;
- Pedestrian and bicycle facilities;
- Artesian Creek Natural Park.

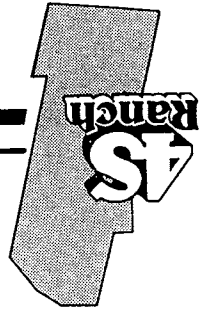
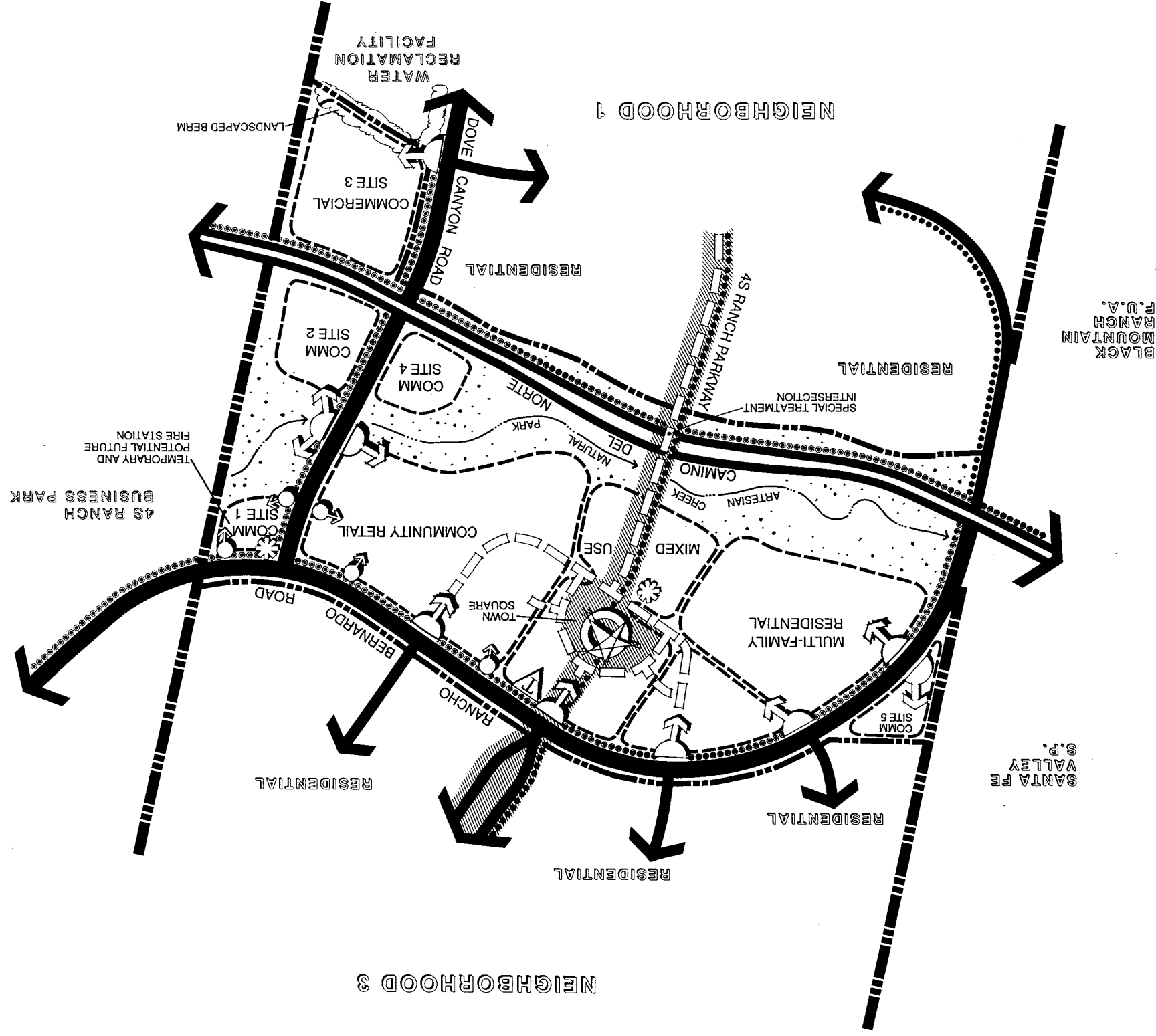
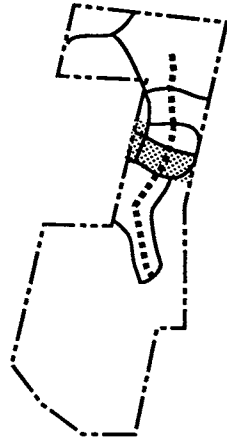


EXHIBIT 2.2.8
MIXED USE DISTRICT

- LEGEND
- 4S Ranch Boundary
 - Neighborhood Boundary
 - Major Circulation
 - Local Circulation
 - 4S Ranch Parkway
 - Primary Access
 - Bicycle Path & Lane
 - Parks and Schools
 - Potential Transit Stop
 - Secondary Access
 - Town Square
 - Potential Church Location

Key Map



Final site plan may vary from this concept site plan.

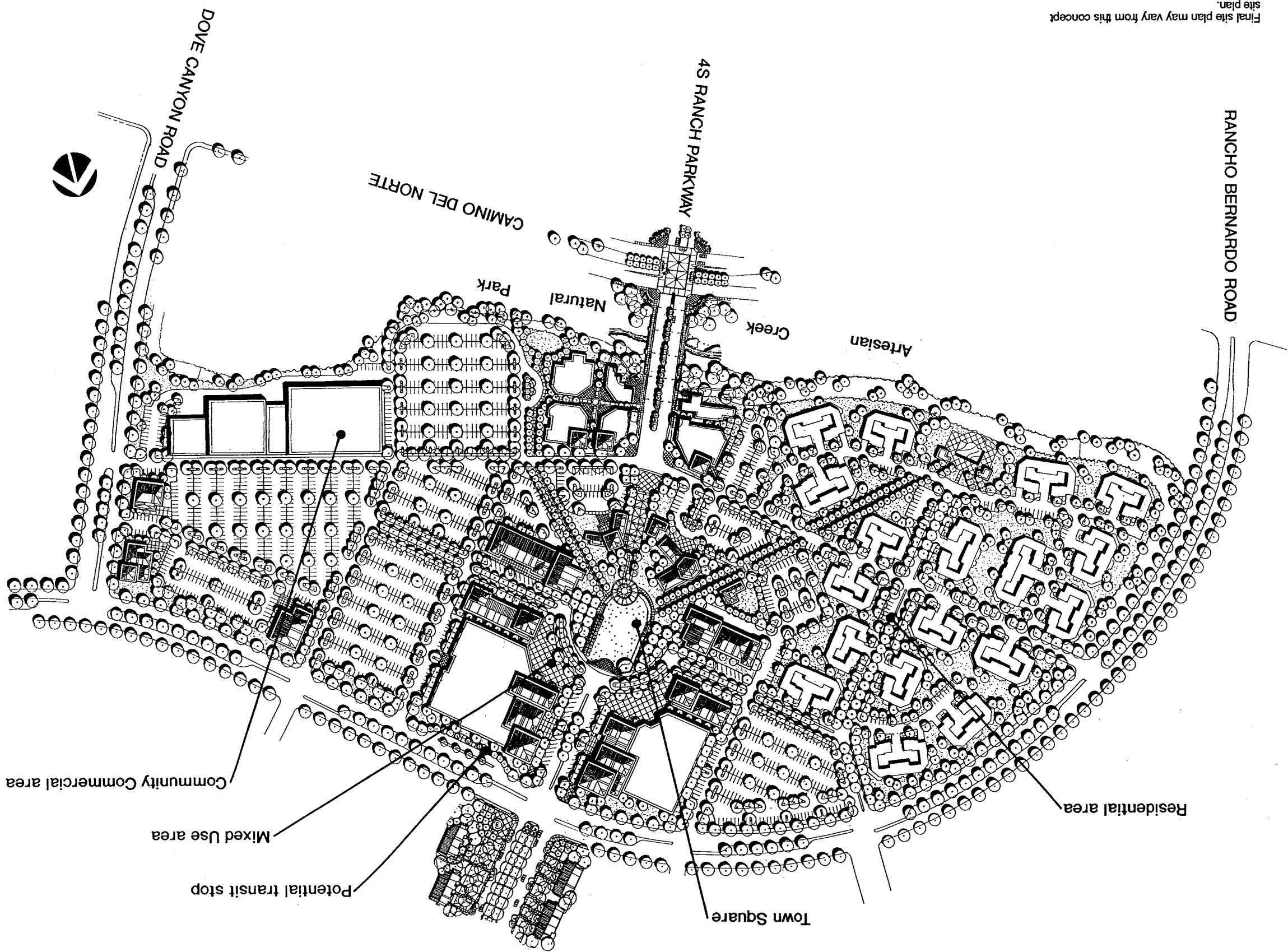
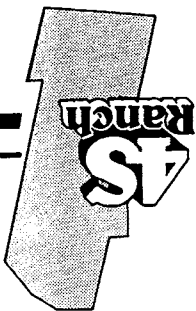


EXHIBIT 2.2.9
MIXED USE CORE
URBAN DESIGN CONCEPT

EXHIBIT 2.2.9

MIXED USE CORE
URBAN DESIGN CONCEPT



An urban design concept for the Mixed-Use District is illustrated in Exhibit 2.2.9. The Town Square is to be the principal civic space and public gathering point for the community. It is located at the point of intersection of the two axes of the 4S Ranch Parkway which extend into the District from adjacent residential neighborhoods. The axes of the 4S Ranch Parkway are also important view and circulation corridors for pedestrian, bicycles, and local community traffic. The axis from Neighborhood Three corresponds to the Linear Park which extends from the edge of the Mixed-Use District to the northern elementary school and Neighborhood Three park. The axis from Neighborhood One corresponds to the 4S Ranch Parkway south of Camino del Norte.

The Town Square is spatially defined by buildings that contains a mix of uses. Surrounding the Town Square and extending along the 4S Ranch Parkway through the District, emphasis is placed on small specialty retail shops, restaurants, food service, entertainment and recreation, medical and professional services, and public uses which could include library, governmental offices and similar uses.

The Town Square and specialty street area are located in the central portion called the Mixed-Use Core. To the east is a community retail center which will contain larger scale retail establishments such as market, drug store, and other large to medium size retailers. To the west is medium to high density residential. Both the retail and residential areas are linked by pedestrian pathways to the central Town Square and specialty street area.

The concept plan includes a potential transit stop on Rancho Bernardo Road near the point where it crosses the 4S Ranch Parkway. This transit stop will be convenient to all uses in the Mixed-Use District and the multi-family residential in Neighborhood Three.

Response to Planning Principles

Key features of the Mixed-Use District are in response to the vision and planning principles for the project outlined in Chapter 1.2 and 2.1. They are described below followed by a list of guidelines intended to implement the vision.

- To provide expanded retail services to residents living west of I-15 and contribute to the relief of traffic congestion within existing retail area east of I-15, the Mixed-Use District includes a community retail center.
- To provide optimum access for existing residents east of the 4S Ranch and future residential areas to the west, the community retail

center is located between the two major east-west roadways serving the area.

- To provide optimum access for 4S Ranch residents to the community retail center, roadways along the east and west boundaries of the community connect to the retail center.
- To provide realistic options to walk or bicycle to the Mixed-Use District, the District is connected to the residential neighborhoods by the 4S Ranch Parkway. This Parkway with pedestrian and bicycle facilities extends north through Neighborhood Three and Four and south through Neighborhoods One and Two.
- To connect the Mixed-Use District to Neighborhoods One and Three, the intersections of 4S Ranch Parkway with Rancho Bernardo Road and Camino del Norte are designed to provide safe and convenient crossing of pedestrians, bicycles, and local traffic. This intersection design may include special paving, traffic signals, crosswalks, and landscaping. At Rancho Bernardo Road, the design is also expected to be coordinated with a transit stop planned to be located adjacent to the intersection.
- To maintain a view corridor through the community and use that view corridor to focus on major features or public spaces, the Town Square is located at the intersection of the extended axes of the Linear Park and the 4S Ranch Parkway.

Mixed Use District Guidelines

In addition to the Community Design Guidelines in Chapter 2.1, Mixed Use District Guidelines are described as follows:

- The Mixed Use District is comprised of four general areas; a Community Retail area, a Mixed Use Core area with the town square, a Multi-family Residential area and individual commercial sites (Exhibit 2.2.8).
- Internal circulation should emphasize pedestrians, bicycles, and transit and connect all areas of the District.
- Large, high-volume users and major parking areas should be located at the edge of the District.
- Shared parking principles should be used to minimize total parking requirements.

- The compact community character and urban scale should be emphasized by two and three-story buildings in the central portion of the Core.
- Buildings adjacent to the 4S Ranch Parkway, specialty street, and Town Square should be oriented to those spaces.
- The Town Square should be the focal point of the District.
- The Town Square is a private park located in the Mixed Use Core which will be owned and maintained either by the commercial developer/owner or a commercial business owners association for the Mixed Use Core area (Exhibit 2.2.8). It will be the sole responsibility of the developer of the Mixed Use Core to implement the Town Square in accordance with the Specific Plan guidelines and the Major Use Permit.
- View corridors along the 4S Ranch Parkway to the Town Square should be emphasized.
- The Mixed-Use Core's connection to Neighborhood One to the south should utilize a special treatment intersection at 4S Ranch Parkway and Camino del Norte, including traffic and pedestrian signals, crosswalks, paving and landscaping.
- The Mixed-Use Core's major connection to Neighborhood Three to the north should be by the 4S Ranch Parkway crossing of Rancho Bernardo Road to the Linear Park. This should utilize a special treatment intersection including traffic and pedestrian signals, crosswalks, paving, and landscaping.
- Additional at-grade pedestrian crossings of Rancho Bernardo Road into the Mixed-Use District should be made at each intersection; the crossing should be designed to balance pedestrian accommodations with vehicular circulation.
- Potential church sites are indicated on the Mixed-Use District plan (Exhibit 2.2.8). They are located within Commercial Site 1 south of Rancho Bernardo Road and east of Dove Canyon Road and within the Mixed-Use Core in the vicinity of the Town Square. They are the only church sites permitted in the Mixed-Use District.
- The existing, temporary fire station and lift station #1 are located on Commercial Site #1 and are comprised of 1.2 acres and 0.3 acres respectively. The size of the fire station site is sufficient for the permanent station should it be constructed at this location. In the

event the permanent station is located off-site, the current site would develop pursuant to the commercial zoning.

- A 1.5-acre portion of Commercial Site #1 west of and adjacent to the fire station is reserved for potential future acquisition by the County for a Sheriff's substation. In the event the site is not acquired and a Sheriff's substation is not constructed during Phase 1A of the 4S Ranch development program, the designated site will be considered released for commercial development pursuant to the commercial zoning.

Artesian Creek Natural Park

The southerly portion of the Mixed-Use District is the Artesian Creek Natural Park, which includes existing and revegetated wetlands and natural open space areas. The following policies should guide the design of the natural park:

- The revegetation areas along the flat, central portion of the corridor should be compatible with the wetlands corridor and utilize native plant species and trees associated with natural riparian corridors and upland areas adjacent to riparian corridors.
- The manufactured slopes should be contour graded to contribute to the character of a natural parkway. Non-native plant species may be used for the landscaping of these slope banks.
- A pedestrian trail should be incorporated along the north side of the corridor.

Individual Retail Commercial Sites

The easterly portion of the Mixed-Use District, east of Dove Canyon Road, contains three commercial sites. Sites 1, 2, and 4 are located north of Camino del Norte and south of Rancho Bernardo Road. Site 3 is located south of Camino del Norte. Site 5 is located near the westerly property boundary. The following conditions and policies should guide the design of the individual commercial sites:

Site 1

- The site is currently improved with a sewer pump station which is a permanent facility.
- The site is currently improved with a RSFFPD fire station. The fire station is temporary and may be relocated as discussed in Chapter

2.6. In accordance with the RSFFPD agreement, it may also be replaced with a permanent station on the same site. The current site has been designed to allow construction of the permanent station while the temporary station remains open.

- The approximately 1.5 acres immediately west of the fire station has been identified as a potential site for a Sheriff's substation. This is also discussed in Chapter 2.6. This is an alternative use should the Sheriff's Department proceed to purchase the site.
- Should one or both of the fire and sheriff facilities not be constructed on Site 1, the remaining area not used for public facilities and utilities will be developed for commercial uses. Access to the site may be from two right in/right out access points.

Site 2

- Access to the site is from Dove Canyon Road via a driveway parallel to Dove Canyon Road connecting to a full movement intersection north of the site.

Site 3

- Access to the site is from the intersection of Dove Canyon Road and Lone Quail Road.
- The view from Site 3 to the wastewater reclamation facility to the south is screened by a landscaped berm which is part of the planning for the expansion of the reclamation facility.

Site 4

- Access to the site is from two right in/out access points, one each on Dove Canyon Road and Camino del Norte.

Site 5

- Access to the site is from an intersection on Rancho Bernardo Road which also provides access east into the Mixed-Use Core.

NEIGHBORHOOD THREE

Setting

Neighborhood Three contains approximately 296 acres and is comprised of most of the central sector of the 4S Ranch property north of Rancho

Bernardo Road. The site is characterized by a relatively flat area sloping from east to west and portions of two small hills.

Open Space and Habitat: Neighborhood Three is located adjacent to natural open space and habitat areas in Neighborhood Four to the north. It contains areas of disturbed habitat, intermittent eucalyptus woodland, and non-native grassland. It contains very few areas of undisturbed native habitat.

Land Use: The site of Neighborhood Three is currently vacant. The surrounding land uses are an existing multi-family development and an improved residential development site to the east, the site of Neighborhood Four to the north, and low-density residential development areas of the Santa Fe Valley Specific Plan area to the west, and the site of the Mixed-Use District to the south.

Visual: Views to Neighborhood Three from surrounding areas are primarily from the existing and future residential areas to the east, which are at a slightly higher elevation. Additional views to Neighborhood Three are from Rancho Bernardo Road and the Mixed-Use District, which are at a higher elevation, and from portions of the future residential development in Santa Fe Valley immediately west of Neighborhood Three.

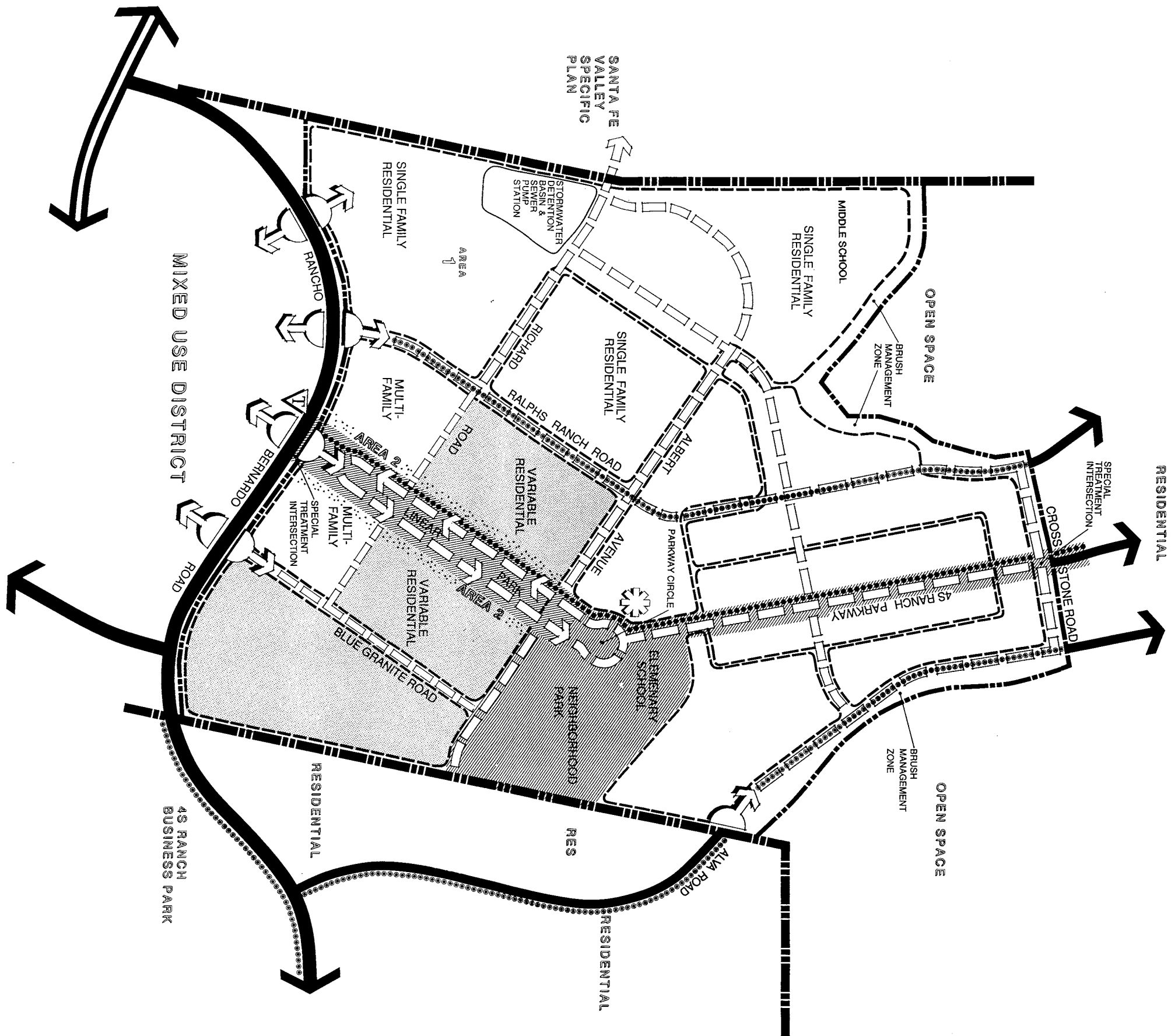
Views from Neighborhood Three are primarily to the hillsides to the north in Neighborhood Four and off-site hills to the northeast and northwest.

Relationship to Other Neighborhoods: Neighborhood Three is the neighborhood intended to be most closely integrated physically and functionally with the Mixed-Use District. The street patterns, the 4S Ranch Parkway, landscaping, vistas, and pedestrian and bicycle circulation are all planned to allow Neighborhood Three to function as an extension of the Mixed-Use District. The 4S Parkway extends north through Neighborhood Three into Neighborhood Four providing the pedestrian and bicycle connection to the northern elementary school shared by Neighborhoods Three and Four.

Description

The Plan for Neighborhood Three is illustrated in Exhibit 2.2.10. Neighborhood Three is a mixed density residential neighborhood of single-family detached and attached homes and multi-family residential. The higher density development is clustered along a three-block portion of the 4S Ranch Parkway called the Linear Park. This urban park provides a strong visual and functional connection between the Town Square in the Mixed-Use District and the northern elementary school and neighborhood park located within the central portion of the neighborhood.

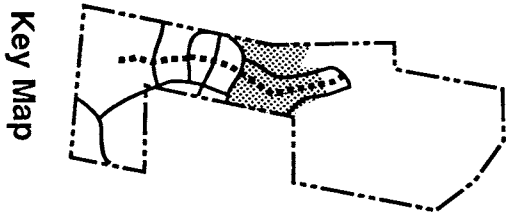
NEIGHBORHOOD 4



NEIGHBORHOOD THREE
EXHIBIT 2.2.10

EXHIBIT 2.2.10
NEIGHBORHOOD THREE

- LEGEND
- | | | | |
|--|-----------------------|--|----------------------------------|
| | 4S Ranch Boundary | | Primary Access |
| | Neighborhood Boundary | | Bike Path, Lane, & Unpaved Trail |
| | Major Circulation | | Parks and Schools |
| | Local Circulation | | Potential Transit Stop |
| | 4S Ranch Parkway | | Views |
| | Variable Residential | | Potential Church Location |



Key Map



SEE MIXED USE DISTRICT

✓Potential transit stop

Town Square/

One way traffic and parking on either side of park

Bicycle / pedestrian connection to Parkway via local streets

Residential units oriented to Parkway

Neighborhood Park design coordinated with Parkway

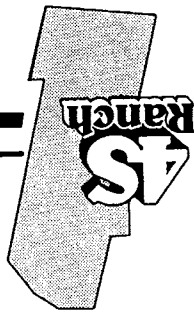
Potential access to Elementary School

Parkway Circle

14S Ranch Parkway extension through Neighborhood Three

Linear Park design coordinated with Parkway

EXHIBIT 2.2.11
4S RANCH PARKWAY
LINEAR PARK
NEIGHBORHOOD THREE



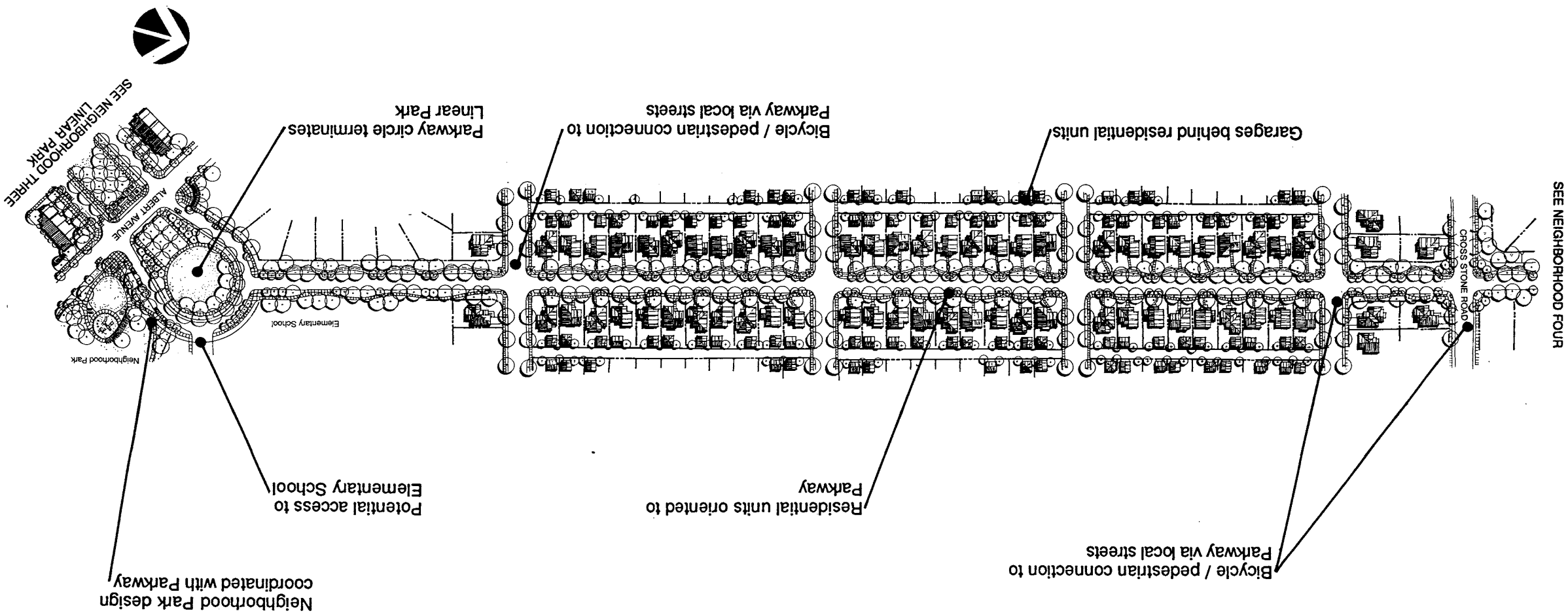


EXHIBIT 2.2.12
4S RANCH PARKWAY
NEIGHBORHOOD THREE



Neighborhood Three contains no undisturbed open space but is adjacent to open space areas in Neighborhood Four. Developed open space is provided in a five-acre neighborhood park and the Linear Park. The concept design for the neighborhood park is illustrated in Exhibit 2.5.6. Additional park area may be included as private neighborhood greens or recreation areas within individual single-family or multi-family developments.

Neighborhood Three may contain the following land uses:

- A maximum of 1,924 units, ranging from 6,000-square feet single-family lots to multi-family at 29-dwelling units per acre;
- Additional residential units and population as may be allowed under the residential unit transfer program described in Chapter 3.3;
- 4S Ranch Parkway;
- Middle school;
- Elementary school;
- Neighborhood park;
- Linear Park;
- Circulation Element roadways and local streets;
- Special treatment residential streets and intersections;
- Pedestrian and bicycle facilities;
- Small neighborhood greens or private recreation areas associated with individual single-family or multi-family projects;
- Churches.

Response to Planning Principles

Key features of Neighborhood Three are in response to the vision and planning principles for the project outlined in Chapter 1.2 and 2.1. They are described below followed by a list of neighborhood and site specific guidelines intended to implement the vision.

- Developed open space is organized around the 4S Ranch Parkway. Major open space elements in Neighborhood Three include the northern elementary school, neighborhood park, Linear Park, special treatment residential streets and intersections, and pedestrian and

bicycle facilities. A concept plan for the Parkway is illustrated in Exhibits 2.2.11 and 2.2.12.

- To provide local facilities within easy walking distance, the northern elementary school and neighborhood park are located near the center of the neighborhood. The school/park is also along the 4S Ranch Parkway which is the principal pedestrian/bicycle corridor.
- To maximize the access of multi-family residents to community facilities and services, the primary multi-family area is located between the Mixed-Use District and the northern elementary school and neighborhood park. Also within walking distance is the site of the middle school to the west and the high school to the east.
- To increase access to open space, the Linear Park extends through the multi-family area providing both usable open space and a circulation route to the Mixed-Used Core and northern elementary school/park.
- To reduce vehicular traffic on the segment of the 4S Ranch Parkway on either side of the Linear Park, access to on-site parking for the adjacent multi-family units will be primarily from other surrounding streets and not from the Parkway. This will also increase safety and convenience for pedestrians and bicycles by reducing driveway crossing conflicts with automobiles.
- To reduce vehicular traffic on the segment of the 4S Ranch Parkway north of the northern elementary school and neighborhood park, access to the single-family units may be from lanes along the rear lot line. As with the design approach for the Linear Park, this will increase safety and convenience.
- To allow a transition in residential density, higher density multi-family units are planned next to the Mixed-Use Core and along the Linear Park. Higher density single-family units are adjacent to the multi-family. Lower density single-family areas are planned to the northwest adjacent to the Santa Fe Valley Specific Plan area and north adjacent to Neighborhood Four.
- To provide multiple ways into and through the neighborhood, a number of access points are planned to Rancho Bernardo Road, Alva Road, and Ralphs Ranch Road.
- Brush management areas are included within the natural open space areas located in Neighborhood Four but adjacent to individual private residential lots or roadways in Neighborhood Three.

Neighborhood Design Guidelines

In addition to the Community Design Guidelines in Chapter 2.1, Neighborhood Design Guidelines are described as follows:

- Mixed residential unit types should be provided including single-family and multi-family.
- The principal pedestrian access for residential units along the Linear Park should be oriented to the park.
- Vehicular access for the residential units along the Linear Park should be oriented to streets other than the 4S Ranch Parkway.
- The north end of the Linear Park should be terminated with a parkway circle. This visual focal should redirect the axis of the 4S Ranch Parkway north to Neighborhood Four.
- The landscaping of the Linear Park and parkway circle should be consistent with the northern elementary school and neighborhood park.
- The Parkway north of the neighborhood park should be a special treatment residential street with wide landscaped parkway and sidewalks.
- The potential church site is indicated on the Neighborhood Three plan (Exhibit 2.2.10). It is located at the northwest corner of 4S Ranch Parkway and Albert Avenue. A church at this location should orient to the Parkway circle and be an important architectural statement at this point along the Parkway. This is the only church site permitted in Neighborhood Three and is subject to a Major Use Permit.

NEIGHBORHOOD THREE SITE SPECIFIC DESIGN GUIDELINES

Neighborhood Three contains two areas for which site specific design guidelines are warranted to address specific planning or design issues. These areas are illustrated in Exhibit 2.2.13. These design guidelines are directed to these specific areas and are not applicable to the entire neighborhood.

Area One

The area in Neighborhood Three encompasses the site north of Rancho Bernardo Road and adjacent to the Santa Fe Valley Specific Plan area. The Specific Plan designates this area of 4S Ranch for single-family residential

with a minimum lot size of 4,000 and 6,000 s.f. Within the 4S Ranch Specific Plan area, these areas are adjacent to higher density residential parcels both to the south and east. Additionally, Black Mountain Ranch is currently proposing a high density affordable housing project immediately to the southwest of this area. Notwithstanding the foregoing, the site planning for this area must consider design compatibility issues with the adjacent proposed development in the Santa Fe Valley Specific Plan Area to the west. The portion of Santa Fe Valley adjacent to this area of 4S Ranch is currently planned to include single-family residential on approximately one-acre lots, and open space.

The specific design guidelines for this area of Neighborhood Three are as described below and illustrated in Exhibit 2.2.13. That Exhibit illustrates a conceptual site plan for the 4,000 s.f. single-family lots within 4S Ranch which would conform to the guidelines. Other site plans similar to this may also be found in conformance with the guidelines. The exhibit also shows a conceptual site plan for residential development in the adjacent area of Santa Fe Valley. No detail plans have been prepared for this area and the conceptual plan is intended only as an illustration of the land use and kind of residential development that could occur based on the proposed Santa Fe Valley Specific Plan.

The area of the Specific Plan adjacent to Santa Fe Valley, north of Rancho Bernardo Road and south of the detention basin is designated for single-family residential with a minimum lot size of 4,000 s.f. The Specific Design Guidelines and Setback Guidelines for the subsequent site planning of this area are as follows:

Design Guidelines

- Total residential units within this area will not exceed 165 units.
- Residential lots and houses along the westerly property boundary shall be sited to back onto the adjacent planned residential units in Santa Fe Valley. The 4S Ranch lots shall not be aligned in a straight row but shall have a varied orientation to reduce the visual appearance of density. This may be achieved by the utilization of cul-de-sacs as illustrated in Exhibit 2.2.13.

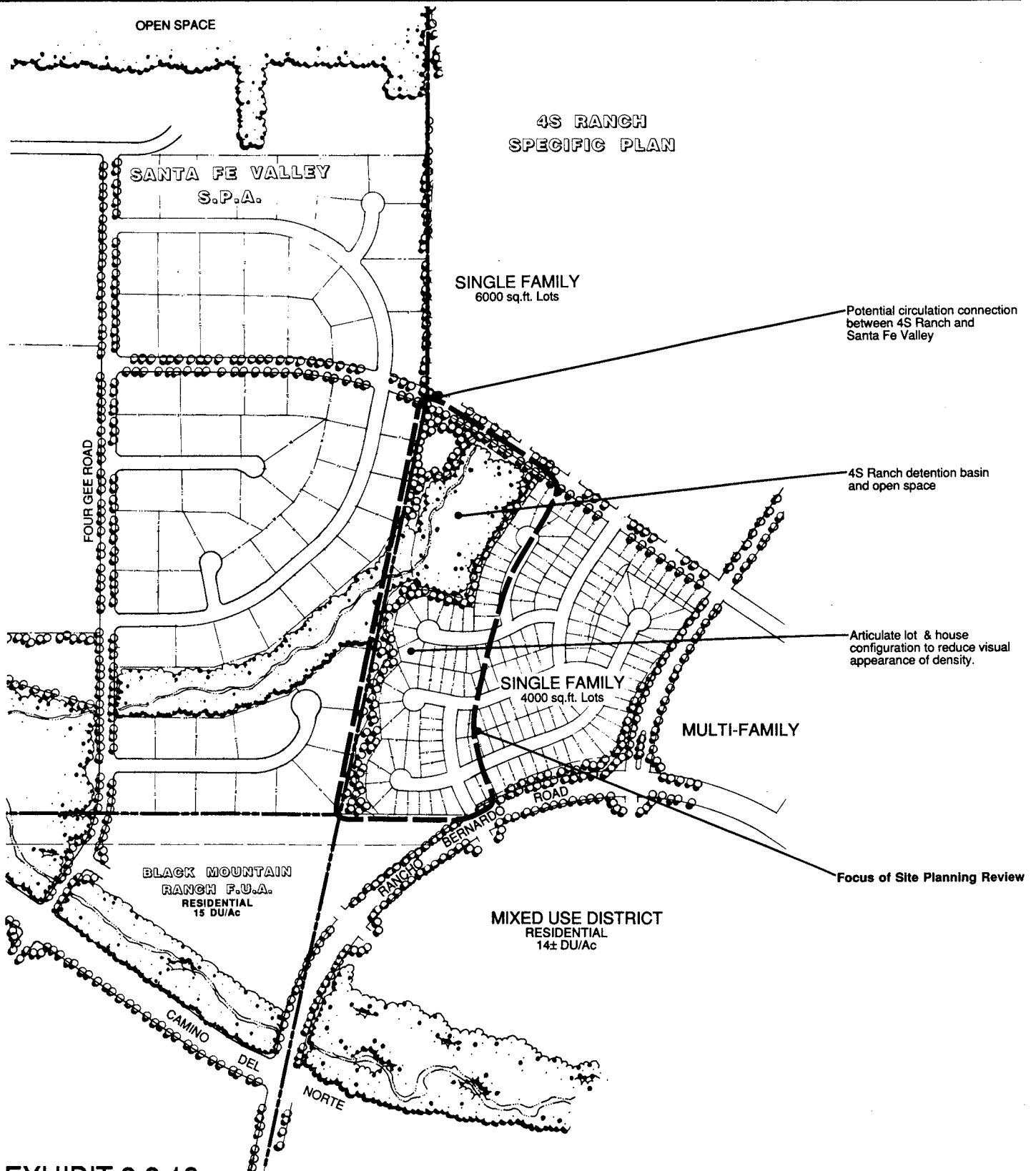


EXHIBIT 2.2.13
NEIGHBORHOOD THREE
SITE SPECIFIC DESIGN GUIDELINE

- The westerly property boundary shall include a landscaped buffer area separating the 4S Ranch residential area from development in Santa Fe Valley. This landscaped buffer area should average a minimum of 30 feet.
- The detention basin and private park in the 4S Ranch is located adjacent to a possible open space corridor in Santa Fe Valley extending from southwest to northeast. If this is included in the Santa Fe Valley site plans it would maintain a continuous open space area spanning the two projects. A concept plan for the 4S Ranch detention basin and private park is illustrated in Exhibit 2.5.13.

The area of the Specific Plan adjacent to Santa Fe Valley and north of the detention basin is designated for single-family residential with a minimum lot size of 6,000 s.f. The specific design guidelines for the subsequent site planning of this area are as follows:

- Richard Road, located north of the detention basin and private park, should be provided to the westerly property boundary to connect to the roadway planned in Santa Fe Valley.
- Residential lots and houses adjacent to the westerly boundary will be adjacent to planned residential and open space uses in Santa Fe Valley. The 4S Ranch residential lots along the boundary should be sited to back onto the adjacent Santa Valley residential.
- Residential lots adjacent to natural open space will require a brush management area within the 4S Ranch in conformance with the Fire Protection Master Plan.

Area Two

The second area in Neighborhood Three is the residential areas adjacent to the Linear Park between Rancho Bernardo Road and Albert Avenue. The Specific Plan designates this area of 4S Ranch for multiple family and variable residential from 12-29 D.U./Ac. The design intent is to create a linear, formal park linking the Mixed Use District and the elementary school/neighborhood park located three blocks to the north. To help define the space of the park the residential building mass should be a continuous or near continuous form immediately adjacent to the Linear Park and 4S Ranch Parkway.

Design Guidelines

- The site plan should concentrate building mass near the park along this three block segment of the 4S Ranch Parkway (See Exhibit 2.3.3, Linear Park).
- Buildings fronting on the Linear Park should include features that encourage pedestrian access to the park such as front doors, porches, balconies and pedestrian walkways connecting to units which do not front on the park.
- Buildings not fronting directly on the park should have an orientation to the park via internal pedestrian circulation routes that connect to the park or connections to Albert Avenue or Richard Road which also connect to the park.
- Primary vehicular access to these residential areas should be from streets other than the 4S Ranch Parkway/Linear Park. Automobile trips on the 4S Ranch Parkway/Linear Park should not be necessary in order to access onsite residential parking areas.
- To achieve the above design guidelines residential units adjacent to the Linear Park it may be necessary to eliminate the front yard setback.

NEIGHBORHOOD FOUR

Setting

Neighborhood Four contains approximately 418 acres and is comprised of a portion of the north sector of the 4S Ranch, the area north of the extension of Alva Road and south of the Ralphs Family Ranch. The site is characterized by a north-south valley which connects to Neighborhood Three and rolling hills and steep slopes which surround the valley on three sides.

Open Space and Habitat: Neighborhood Four contains sensitive habitat, including coastal sage scrub and sensitive species and is adjacent to similar areas to the east, north, and west. The on-site natural open space to be preserved based on the proposed land use plan totals 312 acres.

Land Use: The area is currently vacant. The surrounding uses are the Westwood residential community of Rancho Bernardo to the east, the Ralphs Family Ranch to the north, existing and future low density residential of the Santa Fe Valley Specific Plan to the west, and the existing 4S Business Park, multi-family residential areas and future Neighborhood Three to the south.

Visual: Views to Neighborhood Four from surrounding areas are to the high hills which surround the site. The only view to the developed area of Neighborhood Four is from Alva Road and the northerly portion of Neighborhood Three.

Views from Neighborhood Four are to the immediately surrounding hillsides. A planned view corridor south along the 4S Ranch Parkway will extend into Neighborhood Three to the northern elementary school and neighborhood park.

Relationship to Other Neighborhoods: Neighborhood Four contains residential densities which continue the transition from the more urban densities in the south to the low density and open space found on the Ralphs Family Ranch. Access is from Alva Road, which forms the boundary with Neighborhood Three to the south. Neighborhood Three and Four share an elementary school. The 4S Ranch Parkway connection to the Mixed-Use Core extends through Neighborhood Three into Neighborhood Four.

Description

The plan for Neighborhood Four is illustrated in Exhibit 2.2.14. Neighborhood Four is a low density, single-family residential neighborhood consisting of a variety of lot sizes. The residential units are clustered in the valley floor with the adjacent hillsides retained as open space.

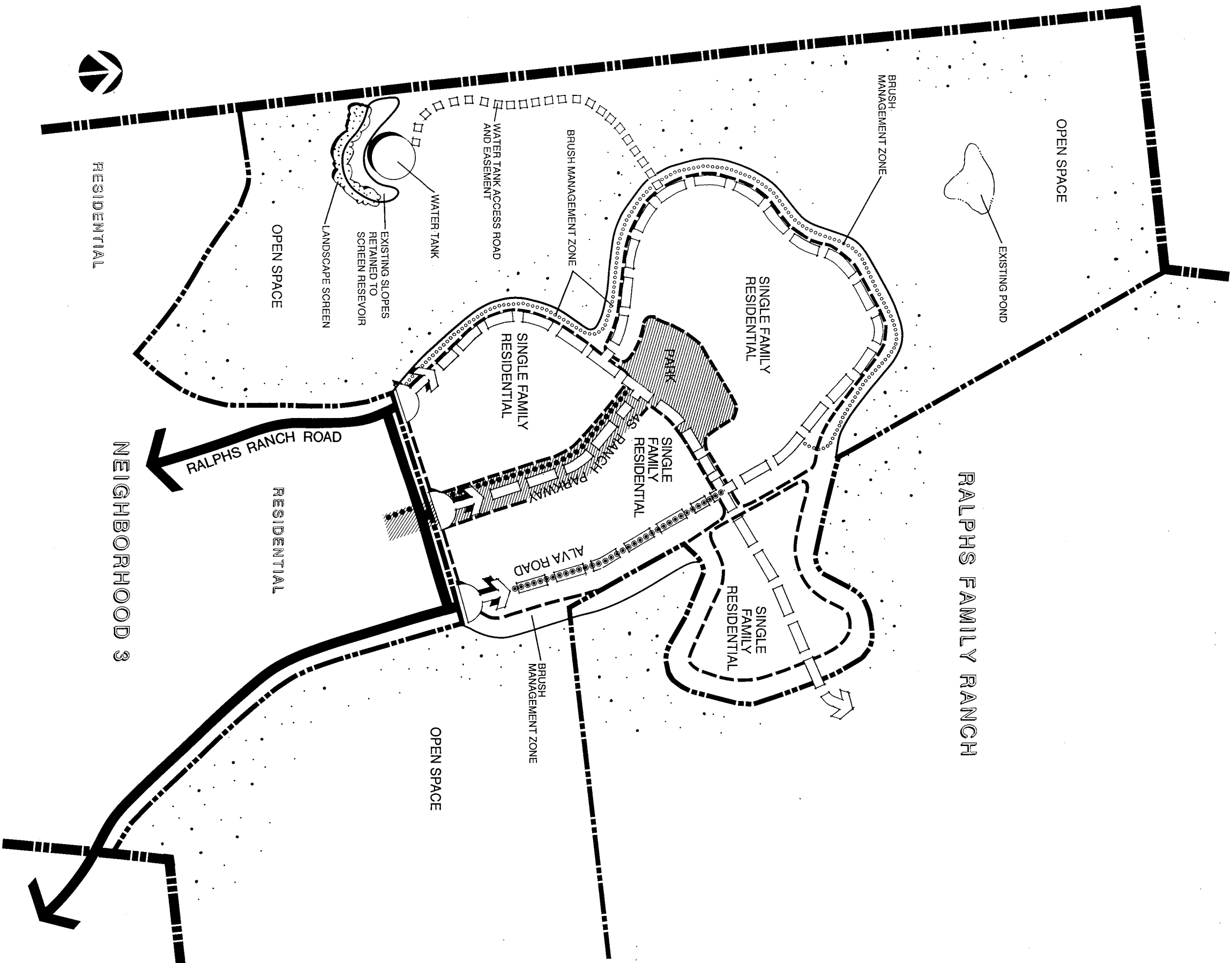
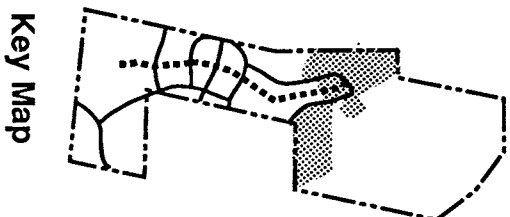


EXHIBIT 2.2.14
NEIGHBORHOOD FOUR

LEGEND			
	4S Ranch Boundary		Primary Access
	Neighborhood Boundary		Bike Path, Lane, and Unpaved Trail
	Major Circulation		Parks and Schools
	Local Circulation		
	4S Ranch Parkway		

EXHIBIT 2.2.14
NEIGHBORHOOD FOUR



Key Map

Neighborhood Four contains a total of 312 acres of undisturbed open space. Developed open space is provided by a three-acre neighborhood park. The concept design for the Neighborhood Four park is illustrated in Exhibit 2.5.7. In addition, a neighborhood park in Neighborhood Three adjacent to the elementary school is accessible to residents of Neighborhood Four via the 4S Ranch Parkway.

Neighborhood Four may contain the following land uses:

- A maximum of 325 single-family detached units on lot sizes a minimum of 6,000-square feet;
- 4S Ranch Parkway;
- Neighborhood park;
- Local streets;
- Special treatment residential streets and intersections;
- Pedestrian and bicycle facilities;
- Open space, habitat, and archaeological preservation areas;
- Brush management areas.

Response to Planning Principles

Key features of Neighborhood Four are in response to the vision and planning principles for the project outlined in Chapters 1.2 and 2.1. They are described below followed by a list of neighborhood guidelines intended to implement the vision.

- The developed open space is designed as a neighborhood park which will function as the northerly terminus of the 4S Ranch Parkway. Major parkway elements in Neighborhood Four also include special treatment residential streets and intersections, and pedestrian and bicycle facilities. A concept plan for the parkway is illustrated in Exhibit 2.2.15.

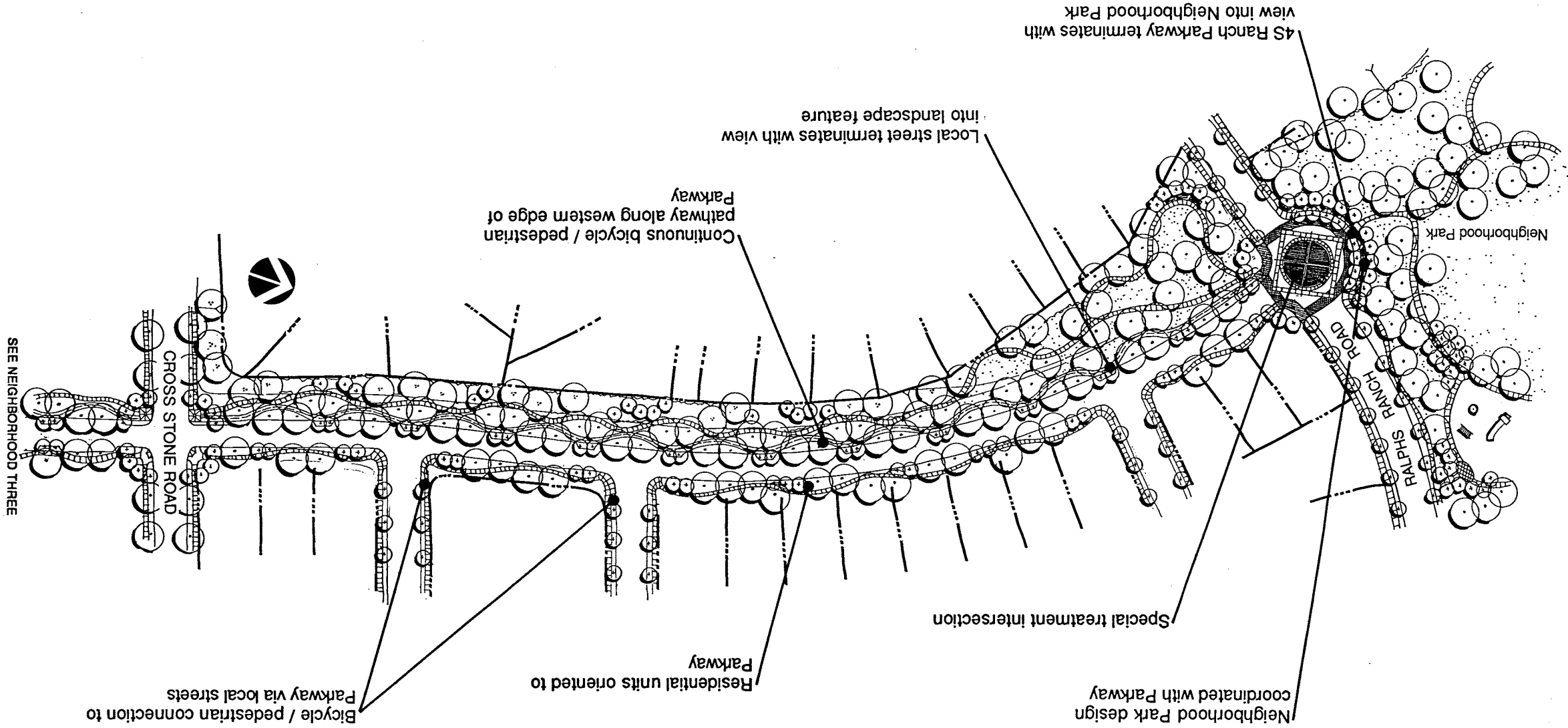


EXHIBIT 2.2.15
4S RANCH PARKWAY
NEIGHBORHOOD FOUR

EXHIBIT 2.2.15
4S RANCH PARKWAY
NEIGHBORHOOD FOUR



- To preserve critical habitat in this neighborhood area and extending off-site to the east, north, and west, the development area is clustered in the valley area that is mostly free of development constraints.
- To provide protection from wildfires, a continuous brush management area is planned along the east, north, and west edge of the residential area.
- Single-family residential is planned consistent with a transition from higher density in Neighborhood Three to the south and the Ralphs Family Ranch to the north.
- To connect to the northern elementary school and neighborhood park in Neighborhood Three, the 4S Ranch Parkway is extended through the central part of Neighborhood Four.
- To provide a neighborhood park within walking distance, a small neighborhood park is located in the central portion of this neighborhood.
- To provide multiple ways into and through the neighborhood and to reduce vehicular traffic on the 4S Ranch Parkway, periphery local roads are provided with connections to Alva Road and Ralphs Ranch Road.
- Many local streets connect to the 4S Ranch Parkway to provide maximum opportunity for access to this circulation system and to the neighborhood park.
- Brush management areas are included adjacent to the natural open space areas and residential lots.

Neighborhood Design Guidelines

In addition to the Community Design Guidelines in Chapter 2.1, Neighborhood Design Guidelines are described as follows:

- The surrounding hillsides should be used to provide spacial definition for the residential areas in the valley and streets and homes designed so as to have views of the surrounding hillsides and open space.
- A connection should be provided to Neighborhood Three and the remainder of the community along the 4S Ranch Parkway. This connection should be designed to facilitate pedestrian and bicycle travel from Neighborhood Four to the northern elementary school in Neighborhood Three.

- A local loop residential street should be aligned along the outside of the neighborhood which connects to Alva Road to the east and Ralphs Ranch Road to the west. This loop street will reduce traffic on the 4S Ranch Parkway.
- A continuous brush management area should be included along the east, north, and west sides of the residential neighborhood where residential development is adjacent to undisturbed open space.

RALPHS FAMILY RANCH

Setting

The Ralphs Family Ranch contains approximately 1,184 acres and is comprised of the most northerly sector of the 4S Ranch. The site is characterized by rolling hills and steep slopes which define a valley in the southern portion and an upper plateau in the northern area of the property.

Open Space and Habitat: The ranch is located adjacent to the open space areas along Lake Hodges and the San Dieguito River Valley. These on-site and off-site open space areas contain sensitive habitat, including coastal sage scrub and sensitive species. The on-site natural open space to be preserved based on the proposed land use plan totals 1,065 acres or 90 percent of the area.

Land Use: Existing land uses include the original ranch house near the northern boundary of the property and a paved ranch road extending north-south through the property. The existing ranch accessory improvements also include a barn, horse corrals, water wells, pumps and associated facilities, earthen dams, dirt roads, trails and pasture areas. Existing land uses on the property include low impact recreational uses, horseback riding, mountain biking, grazing, hunting and public utilities. The area is otherwise vacant. The surrounding uses are the Westwood residential community of Rancho Bernardo to the east, Lake Hodges and adjacent open space to the north and west, and future Neighborhoods Three and Four to the south.

Visual: Views to the ranch from surrounding areas are to the high hills which dominate the site. Views from the south are generally limited by intervening hills. A small area of residential development in Neighborhood Four has a view into the southerly most valley area of the ranch.

Views from the individual home sites in the valley areas of the ranch are to the on-site hillsides which define the valley. There are very limited views off-site to surrounding areas except for several homesites in the extreme northern area which have dramatic views of Lake Hodges and the hills and mountains to the north, east, and west.

Relationship to Other Neighborhoods: The Ralphs Family Ranch comprises the most northerly area of the 4S Ranch. Access is through Neighborhood Four to the south. Neighborhoods Three, Four, and the Ralphs Family Ranch share an elementary school and two neighborhood parks.

Description

The plan for the Ralphs Family Ranch is illustrated in Exhibit 2.2.16. The Ralphs Family Ranch is substantially different from other neighborhoods of the 4S Ranch. It is dominated by the natural open space areas which comprise approximately 90 percent of the 1,184 acres.

The total of 11 residential units are clustered in two areas. One area is within an existing eucalyptus grove in the central portion of the ranch. The building sites for this cluster of four units are contiguous and total approximately 15 acres. The lot area for each unit is a minimum of 20 acres, but all areas outside of the designated building site and brush management area is designated as open space. The second area for residential units is in the vicinity of the existing ranch house. The building sites for this cluster of seven units, including the existing ranch house, range from approximately 1.3 to 3.3 acres. The lot area for each unit is a minimum of 20 acres, but all areas outside of the designated building site and brush management area is designated as open space.

Access to the units is from the south via the existing ranch road. A portion of the ranch road is realigned so as not to bisect an area of native grassland.

The Ralphs family ranch may contain the following land uses:

- A maximum of 11 single-family residential units;
- Ranch accessory improvements to include barn, horse corrals, water wells, pumps and associated facilities, earthen dams, dirt road, trails and pasture areas;
- Low impact recreational uses: horseback riding, mountain biking, grazing, hunting and public utilities;
- Approximately 1,065 acres of open space;
- Brush management areas;
- Open space, habitat, and archaeological preservation areas.

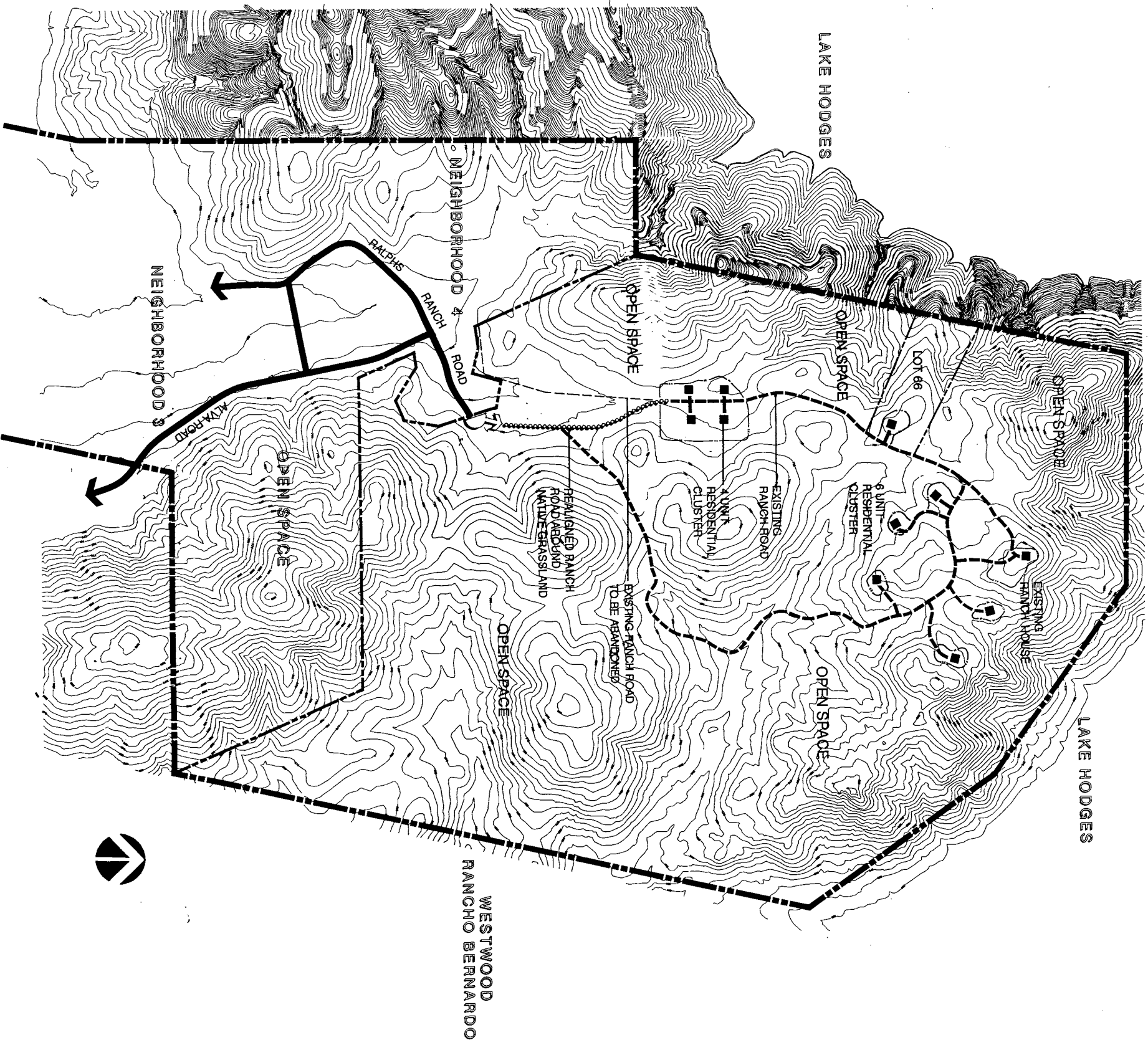
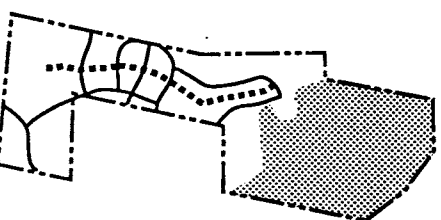


EXHIBIT 2.2.16
RALPHS FAMILY RANCH

EXHIBIT 2.2.16
RALPHS FAMILY RANCH



- LEGEND**
- 4S Ranch Boundary
 - Neighborhood Boundary
 - Local Circulation
 - Primary Access



Key Map

Response to Planning Principles

Key features of the Ralphs Family Ranch are in response to the vision and planning principles for the project outlined in Chapters 1.2 and 2.1. These are described below followed by a list of guidelines intended to implement the vision.

- To preserve critical habitat areas which cover large portions of the ranch and extend off-site to the north, south, and west, approximately 90 percent of the Ralphs Family Ranch is designated as open space.
- To minimize impacts to habitat areas, the ten new homesites are clustered along the existing ranch road.
- To provide protection from wildfires, a continuous brush management area is planned along the existing ranch road and around the homesites.
- To improve the habitat value of an area of native grassland, the existing ranch road is planned to be relocated to pass around the easterly edge of the grassland.

Character and Design Guidelines

The Ralphs Family Ranch character and design guidelines are focused on siting a few single-family homes along an existing ranch roadway in a manner that preserves the sensitive habitat.

- The existing ranch roadway should be realigned so it does not bisect the area identified as containing native grassland.
- Single-family homesites should be clustered as shown.
- Shared driveways should be utilized where feasible to minimize disturbance of native vegetation.
- Brush management areas should be included along the ranch roads and around individual homesites or clusters of homesites.
- Prior to the development of single family lots a site plan shall be submitted and approved to assure that the brush management areas are consistent with the Fire Safety Master Plan.

RALPHS FAMILY RANCH SITE SPECIFIC DESIGN GUIDELINES

The Ralphs Family Ranch contains one lot for which site specific design guidelines are warranted to address specific design issues. These design guidelines are directed to this one lot, Lot 66, and are not applicable to other lots in the Ralphs Family Ranch.

The Specific Plan designates Lot 66 as a minimum 20 acre lot for one single family residential unit and ancillary buildings and facilities such as barn and corral. The area of Lot 66 which comprises the building envelope is visible from Del Dios Highway which is to be a scenic highway. The distance between the view points on Del Dios Highway and the Lot 66 residential unit varies between $\frac{3}{4}$ and $1\frac{1}{4}$ mile. To prevent significant visual impact the following design guidelines are to be applied to Area One, Lot 66:

- The residential unit should be designed to present a relatively low profile on the small hill which comprises the site. Terraced design elements are encouraged and massive, unarticulated two-story elements are discouraged.
- Grading shall generally be limited to the pad area and access. Accessory structures may be located outside of the building envelope area subject to the approval of the RSFFD.
- The predominant materials and colors should be earth tones visually similar to native materials found in the area so that there is no dramatic contrast between the structures and the surrounding area when viewed from a distance.
- The predominant landscaping should visually blend with plant materials found in the area and the eucalyptus groves found on-site except where orchards or other fire retardant landscaping is used to enhance fire protection from brushfires.
- Antennas or satellite dishes that are visible from Del Dios Highway are prohibited.
- Barns and other accessory structures should be of materials, colors and textures similar to the residential structure.
- Outdoor lighting should be typical for a residential unit including low intensity lighting for access walkways, patios, outbuildings and connecting walkways. General area lighting of the structure and grounds is prohibited.

CHAPTER 2.3 TRANSPORTATION

INTRODUCTION

The 4S Ranch Specific Plan combines a variety of transportation modes into an efficient and safe system. The road system is an extension of existing and planned regional roadways, but it is also integrated into a plan for a balanced community circulation system. This overall transportation system provides realistic options for residents to use non-vehicular transportation, opportunities for connections to planned regional transit systems.

The 4S Ranch is approximately two miles from I-15 and is connected to it by two arterial roadways (Camino del Norte and Bernardo Center Drive) and one major roadway (Rancho Bernardo Road). In the future, Camino del Norte may function as the feeder connection to a regional transit system along I-15. In addition, several roadways existing or planned in areas to the east, south, and southwest also provide potential routes for regional transit.

SANDAG's plan for a future overall transportation system foresees the regional roadway system as the backbone of a system expected to include regional bus or trolley systems, high occupancy vehicle facilities, park and ride, and bicycle and pedestrian facilities. The 4S transportation system is designed to be compatible with this regional system, be adaptable to a variety of ways the system may be implemented, and to provide alternative transportation options and compact land use patterns which reduce overall travel needs and travel by individual automobile.

GUIDING PRINCIPLES

Based on the principles for the overall project described in Chapter 1.2, additional and more specific guiding principles have been established for the Transportation Plan. They are as follows:

- Land use planning should reinforce transit by developing higher residential densities and sufficient transit patrons within walking distance of each potential stop.
- Enhanced opportunities to walk, bicycle, or use transit should be planned within the community to reduce automobile trips to work, school, shopping, and recreation.
- The circulation plan should reduce the impact on the community of trips through the community to external destinations.

- A single street should always be designed to be part of a street network. A variety of alternative paths connecting various destinations should minimize the traffic load on any one street.
- Street designs should be varied based on their pedestrian and vehicular loads and the neighborhood character.
- Distances between intersections should be relatively short to improve the walkability of the street network and allow the creation of blocks defined by cross streets and building forms.
- The design of local streets should consider landscaping as an integral part of the design of the public road easement improvements.

TRANSIT ADAPTABLE DEVELOPMENT

The transportation system and the land use plan for the 4S Ranch is a “transit adaptable development” (TAD) based on the established Transit Oriented Development (TOD) approach to community planning which directly reinforces transit and opportunities for non-automobile transportation. The guiding principles of a TOD are incorporated into the 4S Ranch plan. The exception is the recommended higher residential densities and the orientation of the design to a pre-existing transit station or trunk/express bus line. The TOD recommended residential densities are not considered appropriate for the 4S Ranch due to local transportation and community planning issues.

The future transit plans for the I-15 corridor and extending into the 4S Ranch are still under study by MTDB. Both transit adaptable development (TAD) and Transit Oriented Development (TOD) seek to address a variety of contemporary urban problems by redirecting urban development to patterns which reduce automobile dependence and support alternative modes of transportation. The key feature is a compact pattern of land uses. The principal characteristic is a core of moderate and higher density housing, along with public parks and plazas, employment, and commercial services within mixed-use development located at strategic points along existing and planned transit systems. The core area is generally defined as 2,000 feet from the commercial area and transit stop. Lower density housing, including single-family residences, and other more auto-dependent uses may be included in “secondary areas.” Secondary areas are defined as up to one mile from the commercial and transit facilities. The guidelines for Neighborhood TOD’s in new growth areas recommend that the core area have an average minimum density of 12-18 dwelling units per acre and 7 dwelling units per acre in the secondary areas. The transit adaptable plan

for the 4S Ranch includes densities that average approximately one-half to two-thirds of the TOD guidelines.

In these transit oriented or transit adaptable plans, the location, design, configuration, and mix of uses emphasize a pedestrian and bicycle-oriented environment and reinforce the use of public transportation. This linkage between land use and transit is designed to result in an efficient pattern of development which supports the transit system and makes significant progress in reducing sprawl, traffic congestion, and air pollution. The mixed-use clustering of land uses within a pedestrian-friendly area connected to transit provides for growth with minimum environmental and social costs.

The approach still allows freedom of movement and choice of travel mode. Although focused on reinforcing transit, following these principles also results in more mixed-use, walkable, and bicycle-oriented neighborhoods. Each of these travel modes is expected to play a role in solving traffic congestion problems.

A "walkable" environment is a key aspect of these projects. The alternatives to drive-alone automobile use depend on creating comfortable pedestrian environments at the origin and destination of each trip as an incentive to walking, biking, carpooling, or riding transit. The planning seeks to bring many destinations within walking distance and allow trips to be combined. Placing local retail, office, entertainment, day care, civic, and education services, and the transit stop at the center reinforces the opportunity to walk or bike for many errands. It also allows the combining of the trip to or from a transit stop with other daily trips. Streets lined by trees which connect to transit stops with local destinations also help to make the environment "pedestrian-friendly."

Key features of the 4S Ranch are in response to the guiding principles for transit adaptability and emphasis on non-automobile transportation. They are discussed in Chapters 2.1 and 2.2 and are summarized as follows:

- A continuous pedestrian and bicycle corridor extends through the community (4S Ranch Parkway) connecting a variety of recreation, education and commercial destinations, as well as potential future transit stops. Almost all local commercial services and public facilities are located along this corridor.
- A vehicular circulation system is organized to direct exterior trips to periphery roadways and maintain lower vehicular volume on the 4S Ranch Parkway. This lower volume, lower speed parkway is an important characteristic to achieving a walkable environment along this corridor.

- A mixed use district in the central portion of the community is located within easy walking or bicycling distance of the residential neighborhoods. It is organized around a central "Town Square", and contains a community retail center, small shops and restaurants, recreation and entertainment, medical and professional offices, religious and cultural facilities.
- The higher residential densities are located adjacent to the transit stops to increase potential transit users within walking distance. These higher density areas are connected to transit stops by pedestrian and bicycle pathways.

CIRCULATION ORGANIZATION

The 4S Ranch and each neighborhood or district contains an integrated system of roads and streets which work together with pedestrian, bicycle, and transit facilities to form a balanced transportation system. The road and street system is defined below by a series of individual road types. Some road types are unique to a particular situation or neighborhood while others may be found in all neighborhoods. The pattern of roads varies by neighborhood to respond to topographic features, existing circulation element roads and land use organization. However, the local road system has a common theme of allowing easy access for pedestrians and bicycles to the 4S Ranch Parkway and routing high volume vehicular traffic away from these areas. External trips to destinations outside the community use local residential streets leading to roadways on the periphery of the community. Internal trips to destinations within the community can use local streets leading to the 4S Ranch Parkway. This organization of the circulation pattern is illustrated in Exhibit 2.3.1. The following section describes each road or street type and how these roads function within the layout of an individual neighborhood or district.

STREETS AND ROAD SYSTEM

The overall roadways system within the 4S Ranch is categorized as follows:

- The 4S Ranch Parkway which provides a continuous north-south local circulation route through the community.
- The backbone community roads which connect to the regional freeway system or to circulation element roads.
- Local streets which provide access routes through the residential neighborhoods and other development areas of the community.

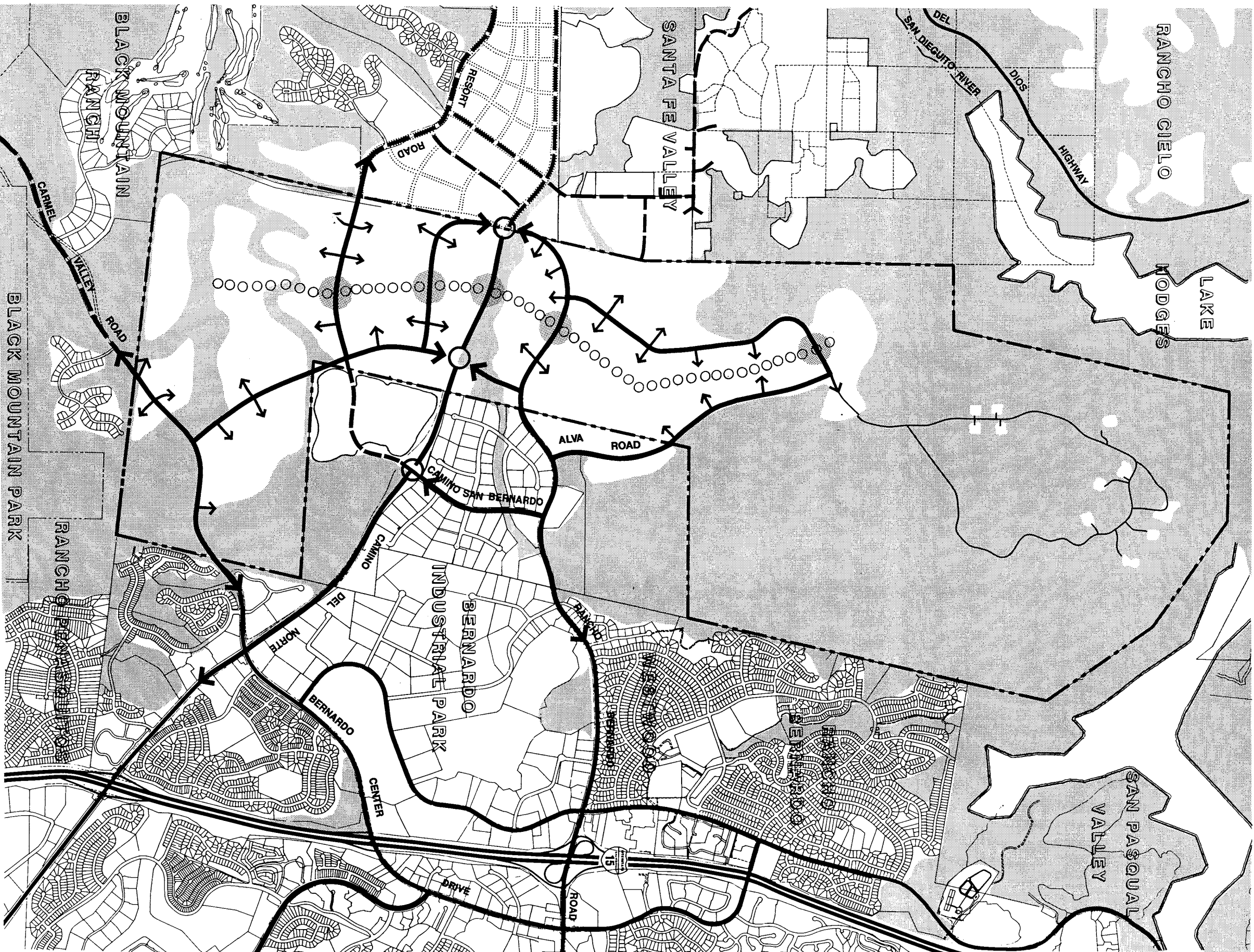


EXHIBIT 2.3.1
CIRCULATION ORGANIZATION AND PARKWAY

- LEGEND
- Major Vehicular Access Routes
 - Access to Residential Neighborhoods/Mixed Use District
 - 4S Ranch Parkway
 - Special Treatment Intersections for Pedestrians and Bicycles

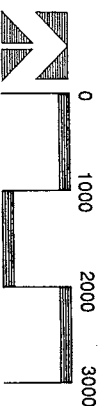


EXHIBIT 2.3.1
CIRCULATION ORGANIZATION
AND PARKWAY



4S RANCH PARKWAY

The central theming element of the community is the 4S Ranch Parkway. It is a linear, urban parkway comprised of most of the civic spaces of the community including parks, plazas, schools, parkway streets, the Town Square, and transit, pedestrian and bicycle facilities. Vehicular traffic is provided for along the 4S Ranch Parkway. However, the organization of major circulation streets and access to residential neighborhoods directs most traffic away from the Parkway. Vehicular traffic along the corridor will be lower speed and local traffic compatible with the pedestrian and bicycle orientation.

The primary purpose of the 4S Ranch Parkway is to create an aesthetic and functional connection through the community which encourages non-automobile travel. Its urban design, landscaping, and character as an attractive civic space will increase the frequency and distance people will normally walk or bicycle within their community.

The major elements of the 4S Ranch Parkway are illustrated in Exhibit 2.3.2. These range from large public facilities such as the Town Square, community park, elementary schools, and neighborhood parks, to smaller scale residential parkway streets and special treatment intersections.

Where single-family homes front on the Parkway, access to garages is generally from a lane behind the homes rather than from the street. In the area north of the Mixed-Use District, multi-family residential units face onto and help spatially define a portion of the Parkway called the Linear Park. Primary vehicular access to these residential units is from adjacent streets rather than the one-way street on either side of the Linear Park.

The 4S Ranch Parkway is comprised of various special designs which provide enhanced bicycle and pedestrian facilities, additional landscape parkways, and medians and other design features to provide an environment where non-vehicle travel and recreation activities are well balanced with low volume, low speed automobile traffic. The final parkway design may be varied, but the basic concept of the parkway is illustrated in Exhibit 2.3.3.



EXHIBIT 2.3.2 4S RANCH PARKWAY DESIGN CONCEPT

LEGEND







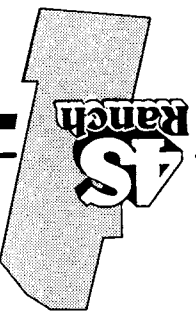
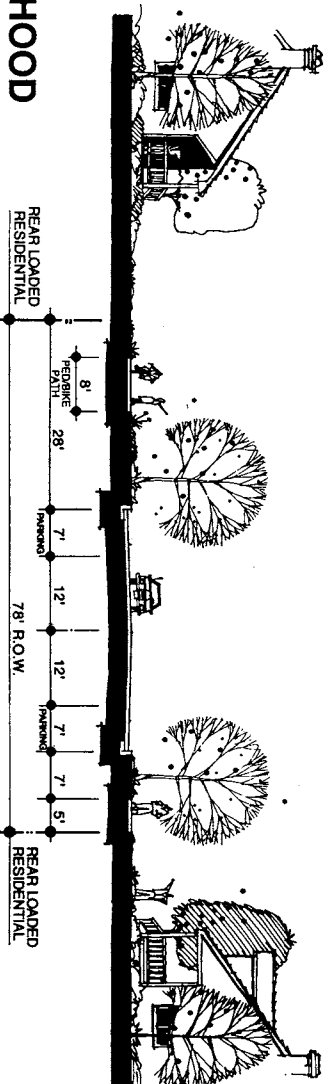
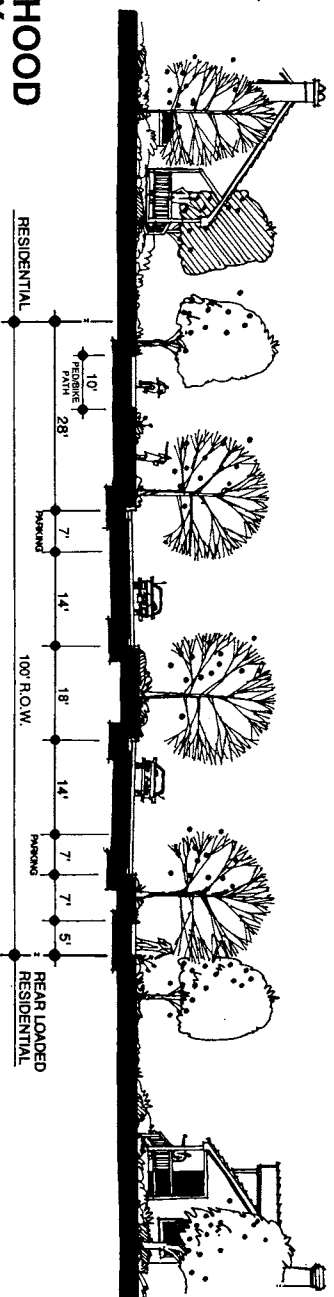
- | | | | |
|---|---------------------------------------|---|--------------------------------|
|  | Parkway Streets |  | Neighborhood Greens |
|  | Special Treatment Intersection |  | Potential Transit Stops |
|  | Parks |  | Elementary School |

EXHIBIT 2.3.2
4S RANCH PARKWAY
DESIGN CONCEPT

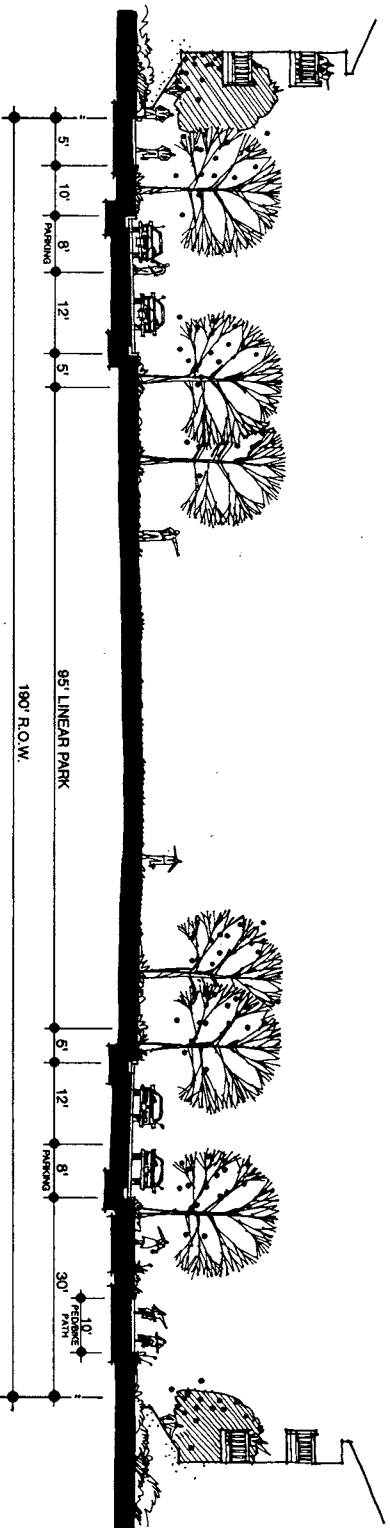




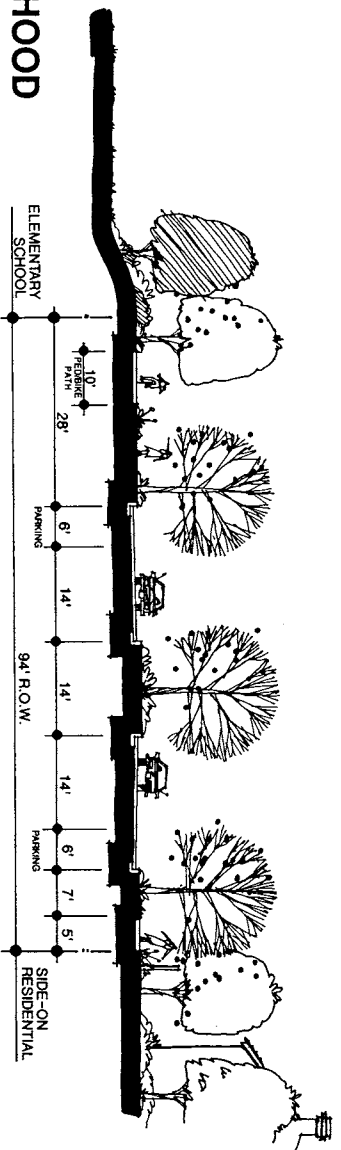
**NEIGHBORHOOD
3 PARKWAY**
VIEW NORTH



**NEIGHBORHOOD
1 PARKWAY**
VIEW NORTH



**LINEAR
PARK**
VIEW SOUTH



**NEIGHBORHOOD
2 PARKWAY**
VIEW NORTH

**EXHIBIT 2.3.3
4S RANCH PARKWAY SECTIONS**



**EXHIBIT 2.3.3
4S RANCH PARKWAY SECTIONS**

BACKBONE COMMUNITY ROADWAYS

Existing and planned Circulation Element Roadways in the City and County of San Diego identify a network of continuous routes which will serve the regional area. The 4S Ranch Specific Plan identifies the alignment of these routes within the 4S Ranch community and how the overall Specific Plan accommodates these regional roadways.

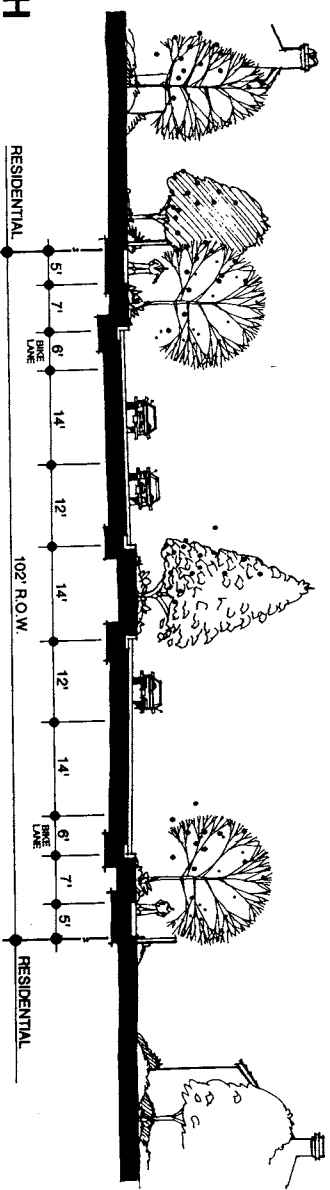
The design of the backbone community roadways conforms to the requirements of the County of San Diego and regional and project traffic analysis for these roadways. Some modifications have been made to the design of medians, parkways, and landscaping which are illustrated in Exhibit 2.3.4 and described below:

Camino del Norte: The alignment of Camino del Norte has been generally established by its existing terminus at Camino San Bernardo on the east and the approximate alignment illustrated on the Framework Plan for the City of San Diego North City Future Urbanizing Area on the west. This alignment has been coordinated with and agreed to by the Black Mountain Ranch owners through whose project Camino del Norte would continue to the west. The alignment within the 4S Ranch is designed as a natural parkway area which parallels Artesian Creek Natural Park. The design includes lowering the roadway relative to adjacent land, contour grading the slopes, and revegetation of slope banks.

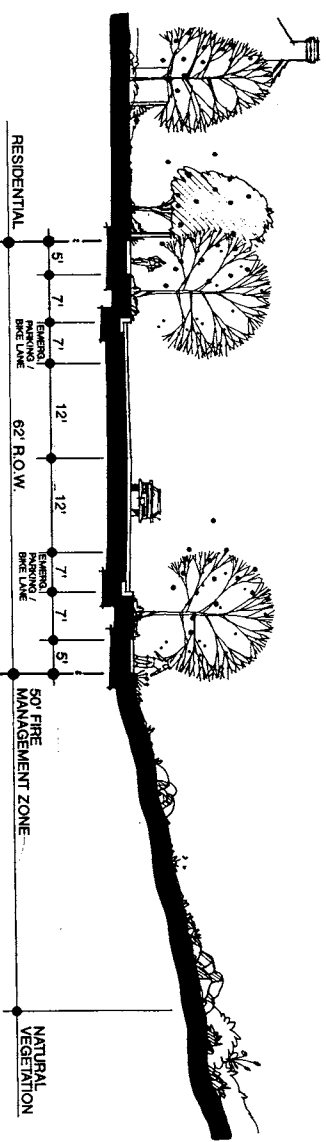
Camino del Norte is a six-lane prime arterial east of the 4S Ranch and is extended as a six-lane prime arterial to its intersection with Dove Canyon Road. From Dove Canyon Road west it is extended as a four-lane major road in a six-lane public road easement. Camino del Norte west of Dove Canyon Road is designed with a 38-foot median as part of the natural parkway through the Artesian Creek Natural Park Area between Neighborhood One and the Mixed-Use District. This median would be reduced to 14 feet if the roadway was ever widened to six lanes.

Bernardo Center Drive/Carmel Valley Road: The alignment of Bernardo Center Drive/Carmel Valley Road has been generally established by its existing terminus at the eastern boundary of the 4S Ranch and an approved tentative map for Black Mountain Ranch project located adjacent to the southern property line. The previously approved alignment within the 4S Ranch would have extended this road through an area of steep topography and an existing pond with wetlands habitat located near the extreme southeastern corner of the property. A revised alignment is proposed which generally follows an existing water transmission pipeline and crosses Lusardi Creek downstream of the pond and surrounding wetlands area. This realignment has been coordinated with the Black Mountain Ranch tentative map adjacent to the 4S Ranch to implement the change to the alignment.

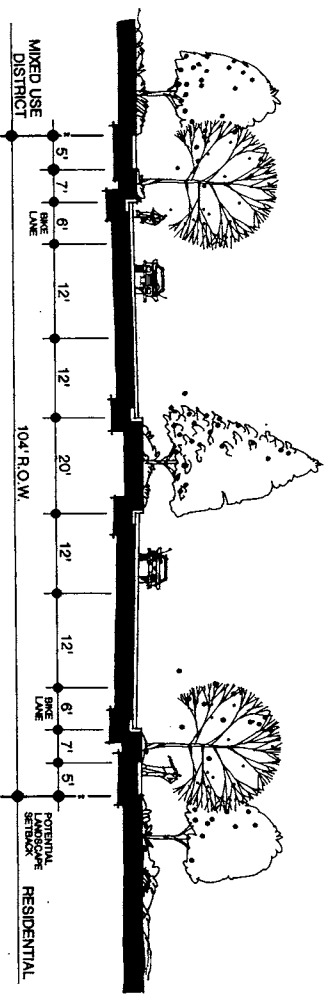
RALPHS RANCH ROAD



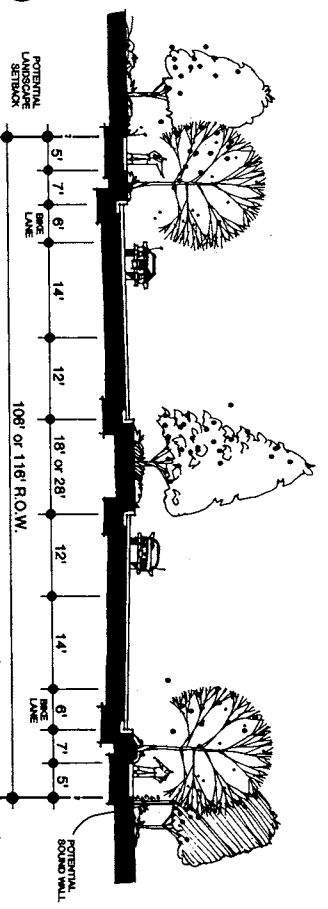
ALVA ROAD



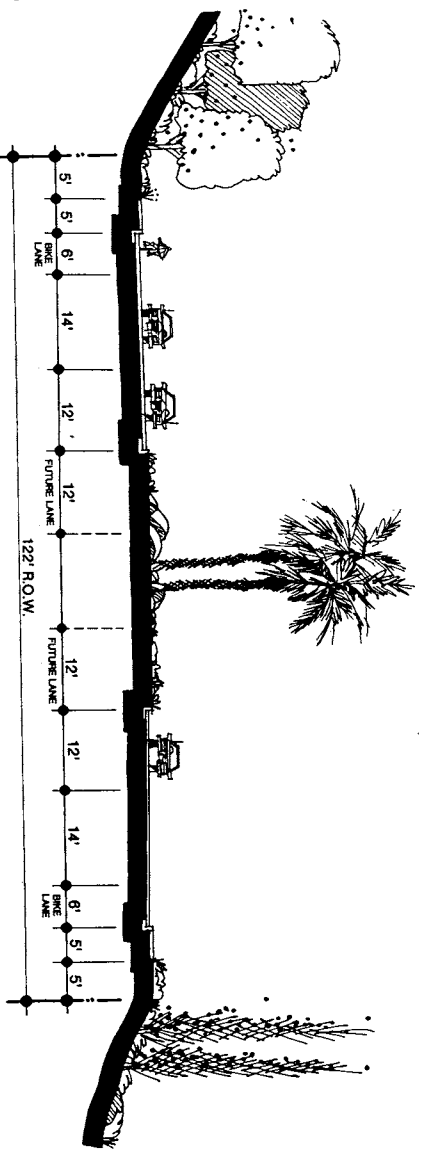
RANCHO BERNARDO ROAD



DOVE CANYON ROAD



CAMINO DEL NORTE
WEST of DOVE CANYON ROAD



BERNARDO CENTER DRIVE / CARMEL VALLEY ROAD

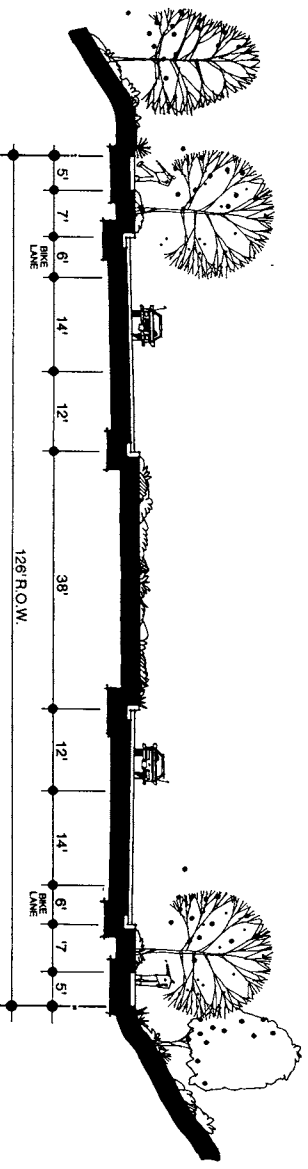


EXHIBIT 2.3.4
BACKBONE COMMUNITY ROADWAY SECTIONS

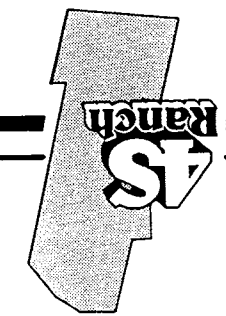


EXHIBIT 2.3.4
BACKBONE COMMUNITY
ROADWAY SECTIONS

Bernardo Center Drive is a six-lane arterial road east of the 4S Ranch and is extended as a four-lane major road in a six-lane, 122-foot public road easement to connect to Dove Canyon Road. Bernardo Center Drive south of Dove Canyon Road will also be a four-lane major road in a 122-foot public road easement sufficient for expansion in the future to a 6-lane prime arterial. This design is consistent with the adopted Framework Plan of the City of San Diego, and the approved tentative map for Black Mountain Ranch.

Dove Canyon Road: The alignment of Dove Canyon Road is established in part by intersection spacing requirements along Camino del Norte with which it intersects. It is planned to extend south from Rancho Bernardo Road to Camino del Norte approximately 2,400 feet west of Camino San Bernardo and further south to Bernardo Center Drive/Carmel Valley Road. The alignment within the 4S Ranch is along the eastern boundary to an intersection with Bernardo Center Drive just north of the Lusardi Creek. This alignment, combined with the realignment of Bernardo Center Road described above, eliminates one of the two planned major road crossings of Lusardi Creek and minimizes disturbance to this riparian corridor.

Dove Canyon Road is a four-lane major road between Rancho Bernardo Road and Camino del Norte. The design of Dove Canyon Road is modified from the standard County of San Diego section and includes wider medians and parkways.

Rancho Bernardo Road: The alignment of Rancho Bernardo Road has been generally established by its existing improved terminus at the easterly boundary of the 2,891-acre portion of the 4S Ranch Specific Plan Area. At this boundary, the alignment also corresponds to the alignment of the Ramona pipeline which extends east-west through the property. The alignment of Rancho Bernardo Road within the 2,891-acre portion of the 4S Ranch Specific Plan Area follows the alignment of the pipeline, incorporating the easement into the public road easement. Near the westerly boundary, Rancho Bernardo Road curves south to intersect with Camino del Norte. This intersection is on the boundary between the 4S Ranch and Black Mountain Ranch projects.

Rancho Bernardo Road is a four-lane major road with widened public road easement to allow a landscaped median. Near the center of the Mixed-Use District, Rancho Bernardo Road intersects the 4S Ranch Parkway. At this location a transit stop and special treatment intersection focused on pedestrians and bicycles are planned. This transit stop will directly serve both the Mixed-Use District and Neighborhood Three, as well as the balance of the 4S Ranch community.

Camino San Bernardo: The alignment of Camino San Bernardo has been partially established by the alignment of Resort Road in the Black Mountain Ranch project to which it connects on the west. The alignment of Camino San Bernardo is also influenced by the plan for its future extension east of Dove Canyon Road to connect to Camino del Norte at the existing interchange. The alignment within the 2,891-acre portion of the 4S Ranch Specific Plan Area is a relatively straight east-west alignment extending on the west from the planned terminus of Resort Road to an intersection with Dove Canyon Road. The location of its intersection with Dove Canyon Road has been coordinated with the most probable alignment for the extension of Camino San Bernardo to the existing interchange.

Alva Road: The alignment of Alva Road has been partially established by its existing terminus at the easterly boundary of the 2,891-acre portion of the 4S Ranch Specific Plan Area north of Rancho Bernardo Road. The northwesterly orientation of the roadway at that point allows various potential alignments as it is extended westward. The planned alignment extends through Neighborhoods Three and Four, and connects to Ralphs Ranch Road. This alignment around the periphery of most residential units in Neighborhood Three allows access to Neighborhood Four with minimal traffic impact on Neighborhood Three.

The existing Alva Road is a four-lane collector road to the east adjacent to The Boulders multi-family project. It is extended into the area of Neighborhood Three and Four as a two-lane collector.

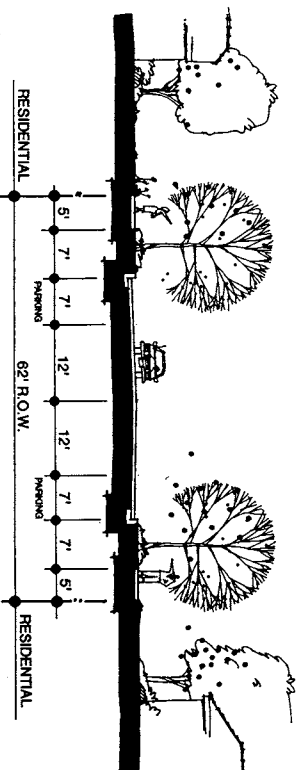
Ralphs Ranch Road: The portion of Ralphs Ranch Road north of Rancho Bernardo Road is designed as a standard four-lane collector with widened parkways. This four-lane roadway transitions to a two-lane collector roadway with widened parkways as it extends north toward Neighborhood Four.

LOCAL STREETS

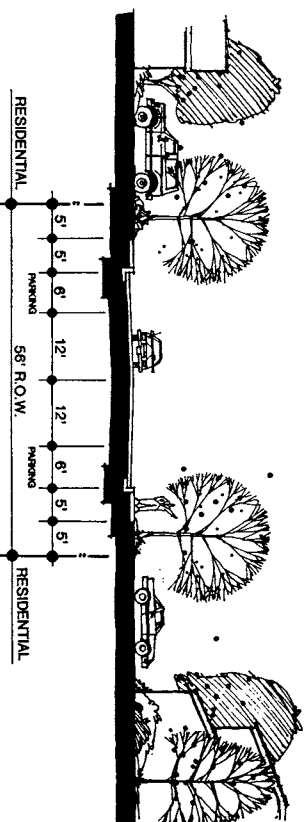
Local residential streets in the 2,891-acre portion of the 4S Ranch Specific Plan Area are generally based on County of San Diego standards. In some cases, however, these streets are modified based on the standards recommended by the American Society of Civil Engineers, National Association of Home Builders, and Urban Land Institute in Residential Streets (ASCE, NAHB and ULI 1990).

The purpose of these modifications is to create a local street system which provides for vehicular travel needs balanced with parking, landscaping, pedestrian, and bicycle travel to produce a functional, attractive, and human-scale street design. For local residential streets, the design principle is not

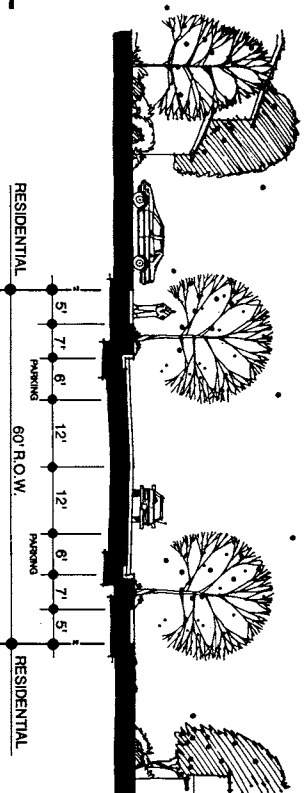
RESIDENTIAL
COLLECTOR STREET



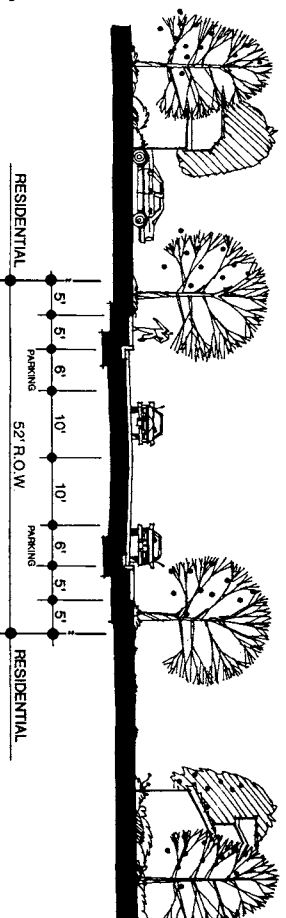
RESIDENTIAL
STREET



RESIDENTIAL
STREET MODIFIED



RESIDENTIAL
CUL-DE-SAC



LANE

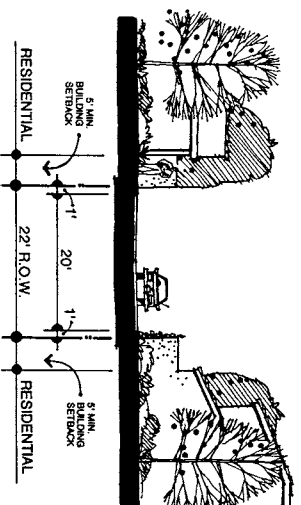


EXHIBIT 2.3.5
LOCAL STREET SECTIONS

EXHIBIT 2.3.5
LOCAL STREET SECTIONS



providing pavement for the largest vehicle which might use the street, but rather selecting the minimum width which will reasonably satisfy all realistic needs. The local streets are illustrated in Exhibit 2.3.5 and described below:

Residential Collector Street: The residential collector street is typically to be used for roadways that extend for some distance through residential neighborhoods and connect to backbone community roadways. It is also typical of residential roadways which are the major connecting roadways to the 4S Ranch Parkway. The design incorporates a 38-foot paved section with 12-foot parkways and the sidewalk adjacent to the edge of public road easement creating a 7-foot landscaped parkway along the curb.

Residential Street: The standard residential street is used within all four residential neighborhoods. Parking is allowed on both sides of the street and the sidewalk is adjacent to the curb. The design incorporates a 36-foot paved section with 10-foot parkways.

Residential Street Modified: This modified residential street is typically used within the residential neighborhoods on streets leading to the 4S Ranch Parkway. Parking is allowed on both sides of the street, and the sidewalk is adjacent to the public road easement. The design incorporates a 36' paved section with 12-foot parkways. A 7-foot landscaped parkway separates the roadway from the sidewalk.

Residential Cul-de-Sac: The Cul-de-Sac residential street is typically used for short cul-de-sacs or short street segments where the projected ADT is less than 200. The design incorporates a 32-foot paved section with 10-foot parkways and sidewalks adjacent to the curb.

Lane: Lanes provide alternative vehicular access to homes typically at the rear of single-family lots. By locating garages and driveways at the rear of the property, vehicles can be stored behind the homes. Lanes are typically used for homes which face on the 4S Ranch Parkway. This "rear-loaded" parking is used to improve the visual quality of the street by eliminating numerous driveways, garage doors, and parking as the dominant element of the street scene. It also is used to improve the safety and convenience of pedestrians and bicycles by eliminating conflicts with driveways. The design incorporates a 20-foot paved section within a 22-foot public road easement.

TRANSIT SYSTEM PLAN

Regional transportation plans envision the creation of a transit corridor along I-15 consisting of some combination of light rail, express bus, and high occupancy vehicle lanes. The plans for this transit corridor are still

underway; therefore, planning for the incorporation of transit into the 4S Ranch must be flexible and capable of adapting to a variety of ways which transit routes and stops could be introduced into the community.

The transit plan for the 4S Ranch has been designed to be adaptable to any of the three methods by which MTDB may develop transit service along I-15 and extending into the 4S Ranch Specific Plan area. These are:

- Light rail or express bus along I-15 with transit stations within or adjacent to the public road easement. The stations would be served by feeder bus routes extending into the adjacent commercial areas and residential communities.
- Express bus routes along the I-15 corridor which also extend into adjacent neighborhoods to transit stops located at key commercial and residential nodes.
- Express bus routes which operate along Camino del Norte, Camino Ruiz, and Bernardo Center Drive/Carmel Valley Road connecting to routes on I-15 and Route 56.

A flexible range of potential transit routes and stations or stops which have been incorporated into the 2,891-acre portion of the 4S Ranch Specific Plan Area are illustrated in Exhibit 2.3.6. The future MTDB plan should utilize these routes and stops to achieve efficient transit service to most of the residents of the community. The quarter-mile radius from two potential stops is shown indicating the transit coverage of the system within the core area. The secondary areas are also shown which are connected to the core area transit stops by the 4S Ranch Parkway.

The most likely approach that transit would be extended to the 4S Ranch includes a feeder/express bus line coordinated closely with I-15 corridor system. This route would connect the 4S Ranch either directly to a light rail station at Camino del Norte and I-15 or into an exclusive HOV/bus lane on I-15. Within the 2,891-acre portion of the 4S Ranch Specific Plan Area, this route would form a loop through Neighborhood One, the Mixed-Use District and Neighborhood Three. This is illustrated in Exhibit 2.3.6. The primary stops are at intersections with the 4S Ranch Parkway. These stops are shown in the conceptual designs of these areas illustrated in Exhibits 2.5.5 and 2.2.9.

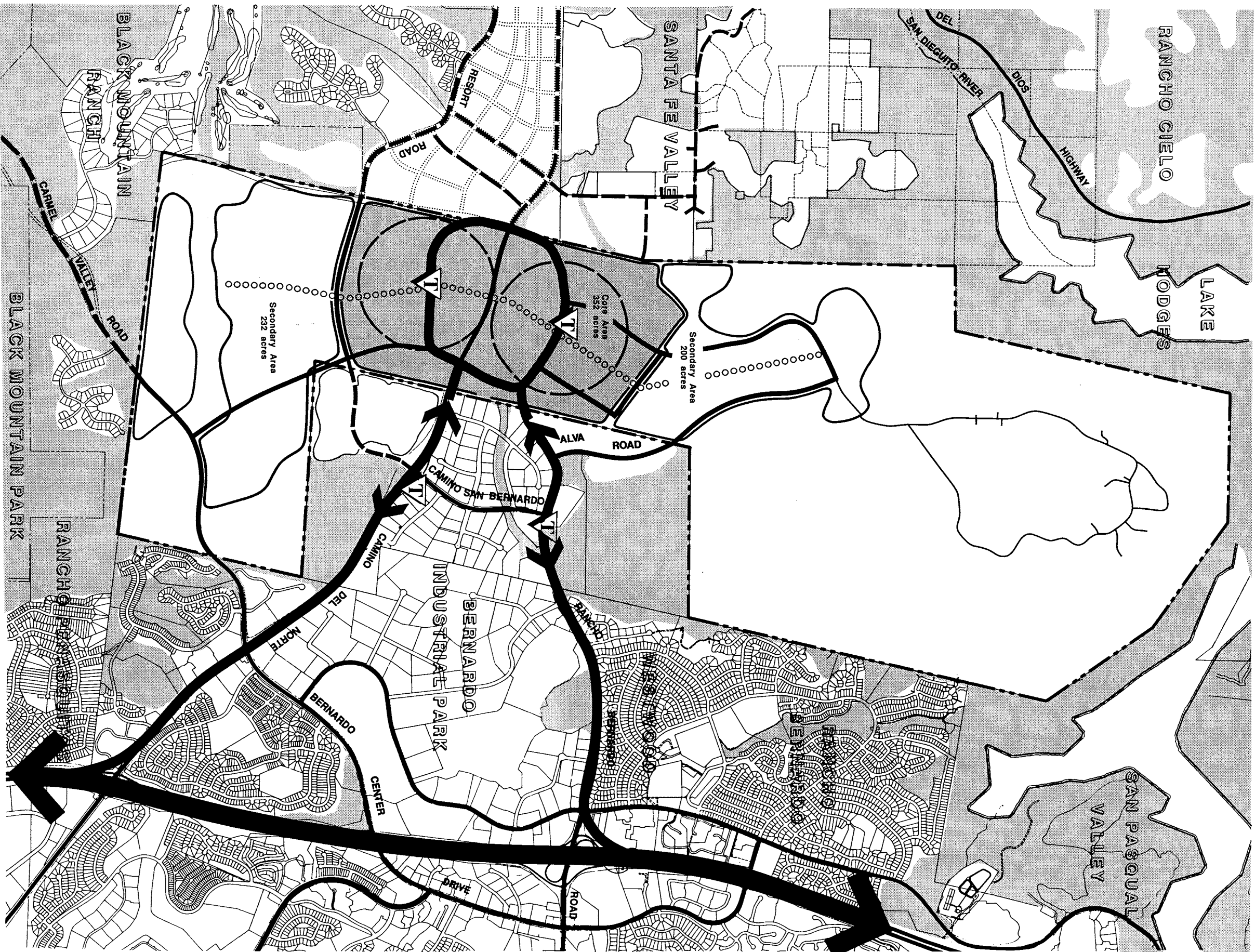
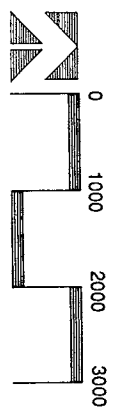


EXHIBIT 2.3.6
TRANSIT PLAN

EXHIBIT 2.3.6
TRANSIT PLAN



- LEGEND**
- Interstate 15 Transit Corridor
 - Feeder or Express Bus Route
 - Community Transit Stops
 - Desirable Walking Radius - 1/4 mile
 - 4S Ranch Parkway

The transit stop on Rancho Bernardo Road adjacent to the Mixed Use District will also be in proximity to a park-and-ride area. This park and ride area is expected to total 30 to 40 parking spaces located near Rancho Bernardo Road on the periphery of the retail center parking area. The facility will utilize a shared parking approach allowing the parking spaces to be available evenings and weekends for customers of the Mixed-Use District.

A similar loop route could be utilized by a bus line operating between I-15 and the 4S Ranch along Rancho Bernardo Road. This is seen as a less likely route as traffic conditions and opportunities for transit stops and access to potential express lanes are much more favorable at the Camino del Norte/I-15 Interchange.

The transit plan is also adaptable to the potential of an extended transit route operating along Camino del Norte and Camino Ruiz connecting to bus routes on I-15 and Route 56. A transit stop could be incorporated into the Artesian Creek Natural Park on Camino del Norte near the intersection with 4S Ranch Parkway. All or portion of the loop road could also be used to bring the transit stop closer to the highest concentration of commercial and residential development.

In all transit alternatives, the 4S Ranch Parkway functions as the corridor by which people can access the transit stop by bicycle, pedestrian or automobile. The Parkway also has the potential to be a direct part of the transit system. If warranted, portions of the Parkway could be established as a local transit route by North County Transit District. Stops located at key points along the Parkway would bring most of the residents of the 4S Ranch within the 2,000 feet walking distance of this local transit route.

In summary, the 4S Ranch Specific Plan has been designed to be adaptable to the emerging regional transit plans. Whatever the nature of the final regional plan, flexible routes have been established within a configuration of land uses and residential densities so as to create an effective transit-adaptable community.

BICYCLE AND PEDESTRIAN PLAN

The bicycle circulation plan for the 2,891-acre portion of the 4S Ranch Specific Plan Area provides for bicycle lanes on the main circulation roadways which connect to existing or planned bicycle lanes on the regional roadway systems as illustrated in Exhibit 2.3.7. This allows continuity and connectivity to those regional systems through the 4S Ranch. Beyond regional connectivity, however, the 4S Ranch bicycle circulation plan focuses on the provision of facilities and appropriate site planning to encourage the increased use of bicycles for circulation within the community for short trips such as those to school, recreation, entertainment, and some shopping trips. The 4S Ranch Parkway is the focus of these bicycle

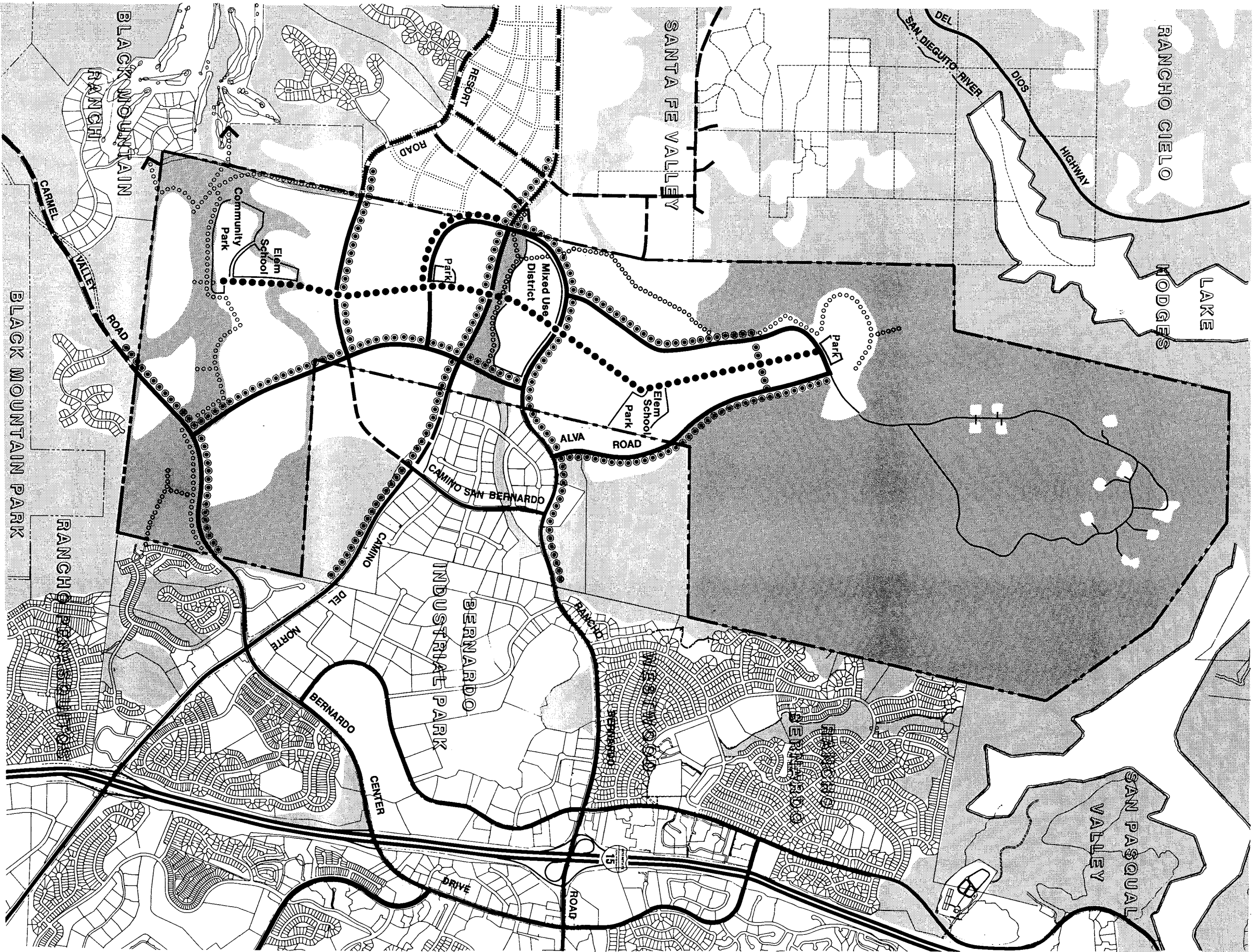


EXHIBIT 2.3.7
BICYCLE AND
PEDESTRIAN PLAN

LEGEND

- Class I Bikeway - Bike Path
- Class II Bikeway - Bike Lanes
- Unpaved Multi-purpose Trail

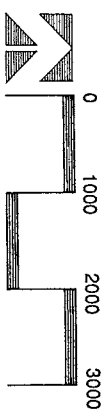


EXHIBIT 2.3.7
BICYCLE AND
PEDESTRIAN PLAN



facilities and trips as most education, recreation, entertainment, and shopping destinations have been located adjacent to the Parkway. The vehicular circulation system has been planned such that vehicular trips to destinations outside the community typically use roadways other than the Parkway, thus allowing the Parkway to remain a low volume, low speed route further encouraging its utilization as the main "spine" of the bicycle circulation plan. Local residential streets are generally oriented to the Parkway with many points of connection. Most residents of the community are within a three block bicycle ride of the 4S Ranch Parkway along a local residential street.

The pedestrian plan for the 4S Ranch is almost identical to the bicycle plan. The pedestrian pathways along the 4S Ranch Parkway are typically separated from the street by a landscaped area which varies from 7 feet to more than 20 feet. Access to residential units adjacent to the Parkway are typically from lanes behind the homes or other residential streets allowing the pathway to have minimal driveway crossings. As with the bicycle plan, most residents of the community are within a three-block walk of the pedestrian pathways of the 4S Ranch Parkway along a local residential street.

Exhibit 2.3.7 illustrates the types of facilities that comprise the bicycle and pedestrian circulation plan. The 4S Ranch Parkway will contain a Class 1 bicycle path from the community park and southern elementary school in Neighborhood Two to the neighborhood park in Neighborhood Four. In Neighborhoods One and Two, this bicycle path will be along the westerly side of the Parkway which is relatively unbroken by driveway crossings. Within the Mixed-Use District, the path may be combined with some vehicular and pedestrian circulation systems. Within Neighborhood Three, the bicycle path will be along the westerly side of the 4S Ranch Parkway across from the Linear Park. North of the elementary school the bicycle path is along the westerly side of the 4S Ranch Parkway and extends into Neighborhood Four to the neighborhood park. An additional Class 1 bicycle path is located on the north side of Lone Quail Road between 4S Ranch Parkway and Camino Del Norte.

Class 2 bicycle lanes are incorporated on the main circulation roads of Rancho Bernardo Road, Camino del Norte, Dove Canyon Road, Camino San Bernardo and Bernardo Center Road/Carmel Valley Road. An additional Class 2 bicycle lane is a loop connection north along Alva Road to Cross Stone Road between Neighborhoods Three and Four and south along Ralphs Ranch Road to Rancho Bernardo Road.

The 4S Ranch Parkway is also the primary focus of the pedestrian circulation through the 4S Ranch. Its widened parkways with sidewalks well separated from the roadway, tree-lined streets, and clustering of most of the potential

destinations of walking trips along the Parkway makes it both an aesthetic and functional pedestrian corridor.

The bicycle and pedestrian plan includes unpaved trails which accommodate both bicycles and pedestrians. These unpaved trails extend and interconnect the system within the community.

One unpaved trail is a separate pathway through the Lusardi Creek Community Park. On the west it connects to an existing segment of Black Mountain Road and extends east along the north side of Lusardi Creek to the intersection of Dove Canyon Road and Bernardo Center Drive. This segment of the trail will connect to the active area of the community park, residential areas to the north and the 4S Ranch Parkway. Two segments of the unpaved trail will also connect to the residential areas south of Lusardi Creek. East of the intersection of Dove Canyon Road and Bernardo Center Drive, the trail will follow the southerly public road easement of Bernardo Center Drive. At the easterly property boundary it will connect to the existing Bernardo Center Drive sidewalk, thus providing access and connection to the existing residential areas of Rancho Bernardo.

Another unpaved trail is the existing and realigned Black Mountain Road through Neighborhoods One and Two. Upon development of the southerly portion of Neighborhood Two, Black Mountain Road will be closed to regular vehicular traffic. It will remain open as a bicycle and pedestrian trail, and as an emergency access. On the north it connects to Camino San Bernardo/Resort Road near the westerly property boundary. From that point it extends south through the valley separating 4S Ranch and the City's Future Urbanizing Area, and crosses Lusardi Creek using the existing bridge. South of Lusardi Creek a portion of the existing road alignment is included in a residential area. Where this occurs a segment of unpaved trail connects around the west side of the residential area to a proposed trail in Black Mountain Ranch near the southwestern corner of the property. This trail in Black Mountain Ranch extends southward towards Black Mountain Park. An additional segment of unpaved trail connects from Black Mountain Road north of the existing bridge westerly to another proposed trail in Black Mountain Ranch. These two connections to trails in Black Mountain Ranch permit that trail system to extend into the 4S Ranch and cross Lusardi Creek using the existing bridge. This is illustrated in Exhibit 2.5.4.

Another unpaved trail is a pedestrian only trail aligned around part of Neighborhood Four. On the west it connects to the sidewalk along Ralphs Ranch Road near the intersection with Cross Stone Road. It extends as a loop within the brush management area around Neighborhood Four connecting to the local street system and sidewalk near the boundary of the Ralphs Family Ranch. From that point it continues south along Alva Road to the intersection with Cross Stone Road.

CHAPTER 2.4 HOUSING

INTRODUCTION

The housing within the 2,891-acre portion of the 4S Ranch Specific Plan Area is planned to provide a wide variety of housing types and prices. This approach differs from typical suburban development where a large area or an entire neighborhood may contain only a single unit type, size, and price range. This mixture of housing is a key feature of the project and is in response to the planning principle to achieve a balanced community.

GUIDING PRINCIPLES

Based on the principles for the overall project described in Chapter 1.2, additional and more specific guiding principles have been established for the Housing Plan. They are as follows:

- A variety of housing opportunities should be provided including affordable housing sufficient to meet or exceed the 4S Ranch's proportionate share of the San Dieguito Community Plan's Fair Share allocation for affordable housing.
- Any housing project focused on special needs should be coordinated with appropriate care facilities and community services.
- Affordable housing should be sited close to transit, local shopping, education and day care services.
- Consideration should be given to alternate building technologies and materials which reduce costs, increase affordability and address environmental issues such as water conservation and recycling.
- All housing should be in full compliance with State and Federal statutes regarding barrier free environments.

REGIONAL POPULATION AND HOUSING

The San Diego Association of Governments (SANDAG) is the agency responsible for the development and adoption of regional growth forecasts for San Diego County. This section is based on information from SANDAG Series 8 Regional Growth Forecast (1990-2015), and SANDAG's INFO, which is a bi-monthly publication produced as a part of SANDAG's planning program.

SANDAG statistics are broken down demographically into seven major statistical areas (MSA) and 41 subregional areas (SRA). The project site lies within MSA 1 (North City) and SRA 14 (North San Diego). SRA 14 encompasses approximately 29,299 acres, generally comprised of the area south of the San Dieguito River and Lake Hodges, west of Pomerado Road, north of Poway and Black Mountain Roads, and east of El Camino Real. Approximately 9,226 acres of SRA 14 were developed as of 1990.

San Diego County is one of the fastest growing counties in the state, with a 1991 population of over two and one-half million people. Of the seven MSA's, the North City MSA had the largest gain in population over the past 11 years. Of the 41 SRA's, SRA 14 also experienced the largest increase in population (28,216 in 1980 to 67,763 in 1990, a 148 percent increase). This SRA is expected to increase to 116,323 by the year 2015. That is a numerical increase of 48,560 or 71.7 percent.

San Diego County had an estimated 958,858 housing units as of January 1, 1991, which is an increase of 238,000 units since 1980 for a 33 percent increase. SRA 14 increased from 11,470 units in 1980 to 28,493 in 1990, for a 154 percent increase. Approximately 67 percent of SRA 14 housing stock is attributed to single-family dwelling units (SFDU), with a median 1994 SFDU price of \$208,300.

Table 2.41

POPULATION AND HOUSING - SRA 14

	<u>1980</u>	<u>1990</u>	<u>2000</u>	<u>2015</u>
Population	28,216	67,763	88,366	116,323
Housing	11,470	28,493	34,514	47,475

4S RANCH AFFORDABLE HOUSING

The 4S Ranch Specific Plan proposes to voluntarily develop affordable housing units equal to 10 percent of the developed "market rate" housing units as its contribution to the County's "Fair Share" housing allocation. Market rate housing is herein defined as housing units whose sale or rental price is determined by the market at the time of sale or rental. Thirty-three percent of the affordable units shall qualify as "low income housing" and 67 percent shall qualify as "moderate income housing." Based on the proposed build-out of 4,287-market rate units, this commitment translates into 428 affordable units.

The main incentives offered by the County for the provision of affordable housing are found in the Board of Supervisors policies I-75 (Inclusionary Housing Policy) and I-79 (Affordable Housing for Elderly Households).

Policy I-75 authorizes density bonuses of 25 percent for the provision of affordable housing. This 25 percent bonus can be obtained by designating 10 percent of the "normal" yield as lower income housing, or by designating 25 percent of the "normal" yield as low to moderate income housing.

It should be noted that the proposed affordable housing is a voluntary program and the applicant is not seeking any density bonus for this commitment.

The implementation of the affordable housing program will be phased over the course of the project build-out and attainment of specific numbers of affordable housing units is tied to threshold numbers of total housing units. The affordable housing plan, including the phasing, is described in more detail in Chapter 3.4.

HOUSING TYPES

At build-out the 2,891-acre portion of the 4S Ranch Specific Plan Area will provide 4,715 total housing units. Approximately 83 percent will be some form of single-family building type, and the remaining 17 percent will be a form of multi-family housing. These numbers are approximate since there are several areas in Neighborhoods One and Three which are zoned with the Residential-Variable (RV) Use Regulation which will allow either building type. The Residential-Variable designation helps to address the issue of anticipating exactly the type and size of residential product desired by the public. Recent experience shows that the residential housing market tends to be fairly volatile, often leaving the project which has not accurately predicted the market direction with the prospect of taking the property back through the entitlement process. The purpose for including both the location and maximum number of units in the RV areas is to provide the 4S Ranch with the ability to respond to markets that are 5, 10 and even 15 years away, while still providing the County and the public with a plan which identifies the residential character of the neighborhoods.

Single-family Residential: The single-family housing authorized by this Specific Plan Amendment includes a very diverse range of single-family units. Some of the housing types reflect emerging concepts in single-family housing which may not have been applied for previously in the County. Some housing types reflect traditional approaches and designs which have been built in the County, but not for 40 or more years. The standard single-family residential areas tend to be located in Neighborhoods Two and Four.

Most of these lots have standard lot dimensions, standard zoning setbacks and do not include any special area regulators, or a need for implementing use permits or site plans. In some cases, lanes serving the rear of otherwise standard lots are or may be proposed. In these cases, non-standard setbacks are desirable. Such areas will require subsequent Site Plan approval for setbacks.

The non-standard single-family residential areas are largely located in Neighborhoods One and Three. These areas are characterized as "non-standard" because of lot sizes which require specialized design considerations and setbacks. Such areas may require Site Plan approval.

Variable Residential Housing: The Variable Residential housing is located in Neighborhoods One and Three. As discussed above, the Variable Housing Use regulation allows a mix of both single and multi-family residential housing types. The total of 1,169 units associated with this type of housing reflects the need for the Specific Plan to retain a degree of flexibility in order to respond to the changing residential housing market. Areas zoned for variable lot sizes have a minimum lot size of 5,000 square feet. Smaller lot sizes may be appropriate and would be considered consistent with the Specific Plan when processed through a subsequent rezone or under the provisions of the Planned Residential Development.

Multi-family Housing: There are three locations where this type of housing occurs within the 4S Ranch Specific Plan. One area is immediately north of the Mixed-Use District and Rancho Bernardo Road on both sides of the 4S Ranch Parkway. The second area is on the west side of the Mixed-Use District. Both areas are adjacent to the retail center and other services within the Mixed-Use District. They are also adjacent to the 4S Ranch Parkway and Linear Park which provide convenient access to the Town Square, northern elementary school and neighborhood park, and is within walking distance of the middle school to the west and the high school site and employment center to the east. The third area is the parcel immediately south of the Wastewater Reclamation Facility. This area is zoned for commercial development (C-34) but may be developed as multi-family residential which is permitted within the zone. If developed for multi-family, the site specific design guidelines are described in Chapter 2.2.

RESIDENTIAL UNIT TRANSFERS

The phasing plan for the 2,891-acre portion of the 4S Ranch Specific Plan Area anticipates build-out of the 4S Ranch over a period of approximately 12-15 years. Due to a variety of social and economic factors, residential housing markets may experience significant shifts in market preference and demand every two to three years. This Specific Plan Amendment

incorporates certain measures to allow a degree of flexibility in implementation of the specific plan over time to respond to those changing market conditions and preferences. Once such measure is the flexibility allowed within neighborhoods described in Chapter 2.1, Residential Neighborhoods. Another measure is the provision of limited residential unit transfers within and/or between neighborhoods. The 4S Ranch Specific Plan configures the various residential unit types of the plan in a manner so as to create a certain generalized neighborhood character comprised of various residential products. The residential unit transfer program described below identifies the approach in which residential units, not built in early phases of development, can be transferred to certain areas of later development phases. This transfer program is limited in scope. The limitations are provided in order to maintain the overall character of the Specific Plan Area and the individual residential neighborhoods, while allowing flexibility to respond to changing market conditions.

Exhibit 2.1.8 of this Specific Plan Amendment tabulates the anticipated residential build-out of the 2,891 acre portion of the 4S Ranch by neighborhood. This tabulation is intended as a generalized summary. Maximum residential development within Neighborhoods 1, 2, 4 and the Ralphs Family Ranch is designated by this Specific Plan Amendment as per the description and discussion of each neighborhood in Chapter 2.2. In addition, the maximum residential build-out of any given zone parcel within any of these neighborhoods is limited by that zoning. Maximum residential development within Neighborhood 3 and the Mixed-Use District may exceed the number of units identified on Exhibit 2.1.8 and designated in Chapter 2.2, but only to the extent and within the limitations identified below related to the transfer of residential units. Additionally, such increase of residential units within a designated zone parcel beyond that allowed by the applicable zoning would require a subsequent rezone approval.

This residential unit transfer plan allows the transfer from previously developed areas, of allowed but unbuilt single-family, variable or multi-family residential units to one of two specific "receiving" areas. These receiving areas have been identified as being capable of accommodating additional units while achieving the compact, transit adaptable community envisioned for 4S Ranch. The two areas of the 2,891 acre- portion of the 4S Ranch Specific Plan Area to which unbuilt residential units may be transferred are the residential portion of the Mixed-Use District and the variable residential portions of Neighborhood 3 located on either side of the Linear Park.

With respect to unit type and traffic generation assumptions, this residential unit transfer program shall be applied only in one direction. That is, unbuilt single-family, variable or multi-family residential units may be transferred into the Mixed-Use District, and unbuilt single-family or variable residential units may be transferred into the variable residential portions of Neighborhood

Three located on either side of the 4S Ranch Parkway. However, unbuilt multi-family residential units may not be transferred to variable residential areas. With residential unit transfers always occurring into higher density product types with corresponding lower ADT/unit trip generation assumptions, there would be no increase in traffic projections.

The transfer of residential units into the receiving areas noted above shall be allowed by this Specific Plan Amendment so long as the following criteria for the Mixed Use and Neighborhood Three are met:

Mixed Use District: This Specific Plan Amendment designates up to 310 residential units within the Mixed-Use District. Under this residential unit transfer plan, this designation within the Mixed-Use District, as a "receiving" area, may be increased up to a total of 650 dwelling units with the transfer of unbuilt single-family, variable or multi-family residential units associated with the buildout of any neighborhood or the Ralphs Family Ranch as "sending" areas. Such transfer of residential units shall be accompanied with an application for an approval of a rezone to correspondingly increase the allowable residential density within the Mixed-Use District and decrease the density within the "sending" parcel(s). Such transfer will not, however, require further amendment to this Specific Plan Amendment.

Neighborhood Three: This Specific Plan Amendment designates up to 1,924 dwelling units within Neighborhood Three. Under this residential unit transfer plan, this designation within Neighborhood Three, as a "receiving" area, may be increased up to a total of 2,200 dwelling units with the transfer of unbuilt single-family or variable residential units associated with the build-out of any neighborhood or the Ralphs Family Ranch as "sending" areas. Such transfer of residential units shall only be applied to the designated variable residential areas on either side of the 4S Ranch Parkway as designated "receiving" parcels, and shall be accompanied with an application for and approval of a rezone to correspondingly increase the allowable residential density within such variable residential "receiving" parcel and decrease the density with the "sending" parcel(s). Such transfer will not, however, require subsequent amendment to this Specific Plan Amendment.

The locations of the two elementary schools and a portion of the site for a high school have been identified on the Specific Plan Map. They are further identified in the descriptions and exhibits for each Neighborhood. It is possible that the Poway Unified School District will select some other site within 4S Ranch for these school facilities. If this occurs, then the residential density/units for the selected site can be transferred to the site that had been identified for the school. If the District selects an off-site location for one or more of these school facilities, then the sites can be developed based upon the existing residential zoning. However, in no case

will a density designator be permitted which would allow either the maximum number of residential units for the Specific Plan or the maximum number of residential units within the neighborhood to be exceeded (See Exhibit 2.1.8). In addition, it may be necessary to rezone other sites to modify the permitted densities to ensure that the prescribed maximum number of units are not exceeded.

CHAPTER 2.5 PARKS, RECREATION AND OPEN SPACE

INTRODUCTION

The 4S Ranch Parkway, with its interconnecting parks, recreation areas, plazas, and open space is the principal organizing element of the 4S Ranch. This park and open space system is planned to exceed the County of San Diego requirements and, by making it an unifying community theme, contribute to the quality of life for residents.

The parks, recreation, and open space system is comprised of a variety of individual elements which are described in this chapter. However, individual elements often have visual, functional, or urban design relationships to other elements of the plan. Therefore, it is beneficial to view the plan as a singular, continuous linear system which has a varying design and character. This is illustrated symbolically in Exhibit 2.5.2 and 2.3.2.

GUIDING PRINCIPLES

Based on the principles for the overall project described in Chapter 1.2, additional and more specific guiding principles have been established for the Parks, Recreation, and Open Space Plan. These are as follows:

- The developed open space system should contain a full range of facilities from active sports fields to areas for passive recreation and small group play.
- Parks and school facilities should be located together where possible to encourage joint use.
- Local walkways and/or trails should connect community recreation facilities to each other and to the residential neighborhoods.
- Concentrations of sports fields should be located to minimize noise and parking impacts to residential neighborhoods.
- Developed parks adjacent to or within natural open space should be designed to conserve habitat areas.
- The existing wildlife corridor along Lusardi Creek should be conserved and enhanced.
- Residential units adjacent to natural open space should include a brush management area to protect structures from wildfires.

- Where compatible with adjacent uses, recreation and entertainment facilities such as tennis clubs, recreation centers, amphitheaters, bandstands, etc. may be incorporated into the parks and developed open space system.
- Neighborhood parks should be centrally located within residential neighborhoods, and, to increase security, should be visible from adjacent local streets and other public areas.
- Landscaping of parks should be part of a community landscape theme so that the park is visually extended along the 4S Ranch Parkway and into the residential areas.

PARKS AND OPEN SPACE SYSTEM

The parks and open space system is illustrated in Exhibits 2.5.1 and 2.5.2. The system contains both public and private park facilities, most of which are adjacent to the 4S Ranch Parkway. Concept designs for specific areas of the 4S Ranch Parkway are illustrated in Chapter 2.2. Together the parks and the residential streets which comprise the Parkway form a continuous landscaped circulation system through the community. The types of designated parks and open space are as follows:

Public Community and Neighborhood Parks: The community park includes areas for field sports and other active recreation areas. The neighborhood parks include active play facilities and playgrounds which may be adjacent to and complement similar facilities within an elementary school.

Private Natural Parks, Neighborhood Greens and Pocket Parks: Private natural parks are native and revegetated areas which are managed to maintain and improve habitat value but may contain specific areas for trails and other facilities compatible with the habitat preservation focus of the park. Private neighborhood greens and pocket parks are small areas within neighborhoods for passive recreation activities, small group play, and informal social gatherings.

Natural Open Space: Natural open space areas are undisturbed by development or brush management programs. The Lusardi Creek and Artesian Creek natural areas may contain areas for trails and enhanced wetlands and other habitat areas. These limited improvements are illustrated in a concept plan for the area, Exhibit 2.5.4.

Managed Open Space: Managed open space is comprised of brush management areas which are either landscaped manufactured slopes or native areas which are managed to reduce the potential wildlife damage.

EXHIBIT 2.5.1
4S RANCH PARKS AND OPEN SPACE SUMMARY

NEIGHBORHOOD/DISTRICT	PUBLIC COMMUNITY AND NEIGHBORHOOD PARKS	PRIVATE NATURAL PARKS, NEIGHBORHOOD GREENS AND POCKET PARKS	NATURAL OPEN SPACE	MANAGED OPEN SPACE ⁽¹⁾	TOTAL
NEIGHBORHOOD 1	5 Ac	2 Ac	0 Ac	15 Ac	22 Ac
NEIGHBORHOOD 2	25	0	230	47	302
NEIGHBORHOOD 3	5	3	0	19	27
NEIGHBORHOOD 4	3	0	312	25	340
MIXED USED DISTRICT	0	17 ⁽²⁾⁽³⁾	5 ⁽²⁾	11	33
RALPHS FAMILY RANCH	0	0	1,065	78	1,143
TOTALS	38 Ac	22 Ac⁽²⁾⁽³⁾	1,612 Ac⁽²⁾	195 Ac	1,867 Ac

Footnotes:

- (1) Includes open space in fire management zones located on the periphery of the developed area and major internal landscaped slopes located within the developed area.
- (2) The Artesian Creek Natural Park contains 17 acres of natural open space and native revegetation areas. This is tabulated within natural parks and not included in natural open space.
- (3) The Town Square has been defined as a private park but because its ultimate size is not known, it is not included in the tabulation.

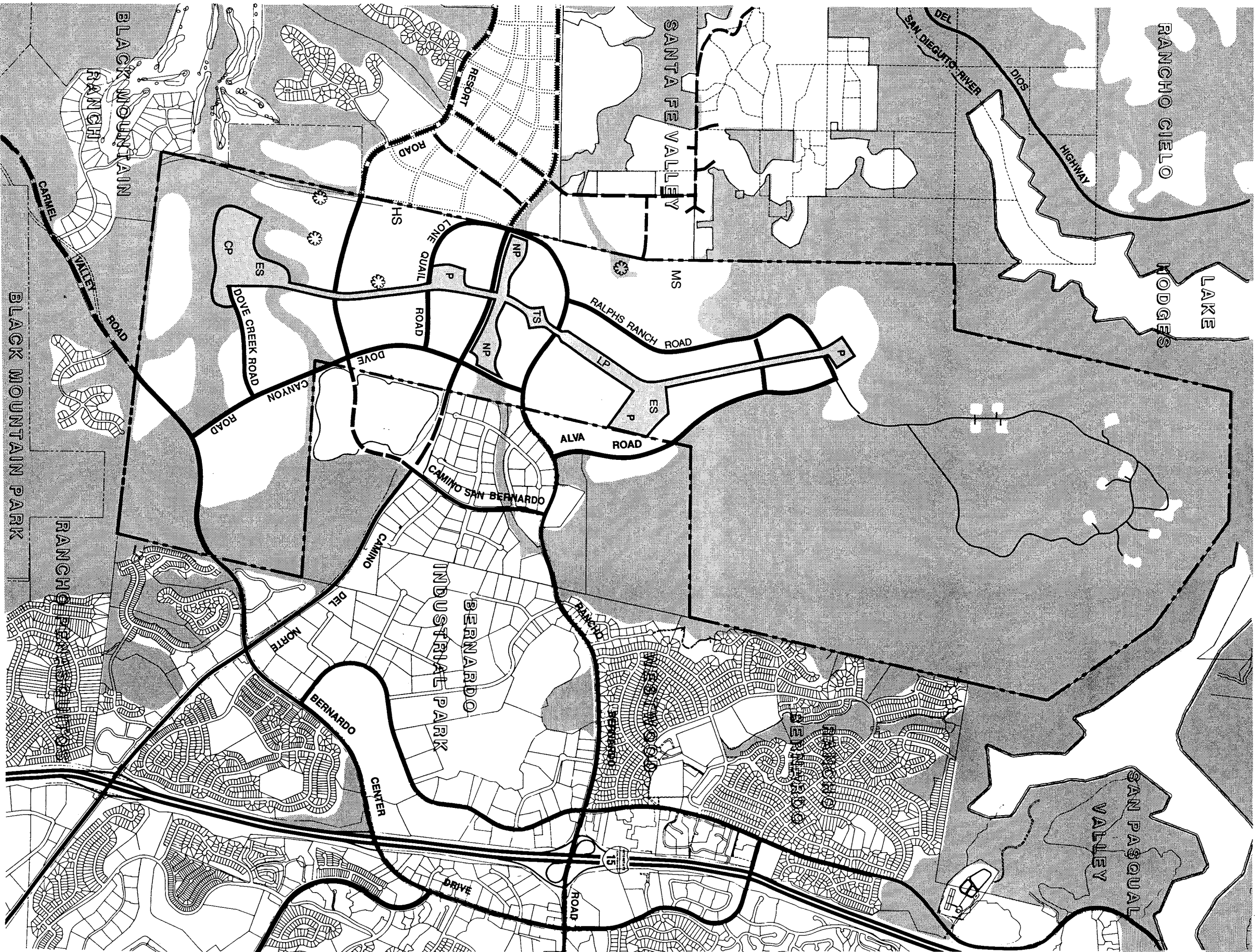













EXHIBIT 2.5.2 PARKS AND OPEN SPACE

LEGEND			
	Parks, Plazas, Schools, & 4S Ranch Parkway		MS Middle School
	Open Space		ES Elementary School
	Natural Park		Neighborhood Greens & Pocket Parks
	Community Park		HS High School
	Neighborhood Park		TS Town Square
	Linear Park		

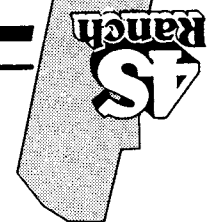
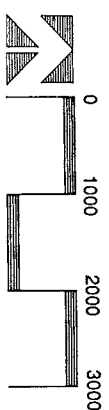


EXHIBIT 2.5.2
PARKS AND OPEN SPACE

The design of parks requires consideration of the surrounding land uses, facilities program, park service and maintenance standards, area served, and joint use with schools or other co-located land uses. Usable acreage for community and neighborhood parks should generally conform to the following design criteria:

- Sports fields and areas designated for parking or structures should be graded to a maximum two percent slope.
- General play areas should not exceed four percent slope except for specialized play areas where use of mounding or topographic features are part of the park design.
- Land forms or grading necessary to protect archaeological sites or natural areas should be incorporated into the overall grading and park design.
- Manufactured slopes within and surrounding the parks should be contour graded using variations to the horizontal and vertical design.
- Unique or natural land forms which are retained and incorporated into the park design should be credited towards any total park acreage requirements.

PUBLIC PARKS

The public community and neighborhood parks within the 4S Ranch are described below:

Lusardi Creek Community Park: The 4S Ranch community park is located at the southern terminus of the 4S Ranch Parkway in the La Jolla Valley and extends along a portion of Lusardi Creek within the 4S Ranch. Although located in the southernmost neighborhood, it is accessible to the community by vehicle via the 4S Ranch Parkway, and Dove Canyon Road and Dove Creek Road. Primary pedestrian and bicycle access to the park is from the 4S Ranch Parkway and Dove Creek Road, via pathways from the adjacent elementary school site and via pathways from the residential areas to the north. Additional access is provided by trails through the natural open space along Lusardi Creek which connect to existing neighborhoods in Rancho Bernardo to the east and future neighborhoods in the City's Future Urbanizing Area to the south and west.

The design guidelines for Lusardi Creek Community Park are as follows:

- Vehicular access to the park should be from 4S Ranch Parkway and Dove Creek Road connecting to parking lots which serve the active area of the park.
- Pedestrian access should be from designated trails which enter the park from the surrounding area. Informal trails should be discouraged by the design of the park and location of well marked access trails.
- If feasible, the parking for the park and adjacent elementary school should be designed to allow each parking area to function as overflow parking for the adjacent facility.
- The sports field area should be designed to allow easy conversion to multiple fields of the sport to support tournaments and league play.

A concept design for the park is illustrated in Exhibit 2.5.3, and its relationship to the surrounding neighborhood is illustrated in Exhibit 2.2.4. It is comprised of an active recreation area of 25 acres adjacent to the southern elementary school.

The location of the community park adjacent to a large natural area permits it to be a part of a large contiguous open space area. The southern boundary of the park will use native plantings meandering into the developed park site to create a soft edge between the active park and natural area.

The final design and improvements of the Community Park will be based on an agreement between 4S Ranch and the County Parks and Recreation Department. This also applies to the additional park concept plans illustrated in this chapter.

Key features of the Lusardi Creek Community Park respond to the guiding principles as follows:

- The site of the active sports fields is separated by natural open space, slopes, or passive parkland from nearby residential areas. This distance will reduce noise impacts to the residential neighborhoods.

Final site plan approved by the County Parks and Recreation Department may vary from this concept site plan.

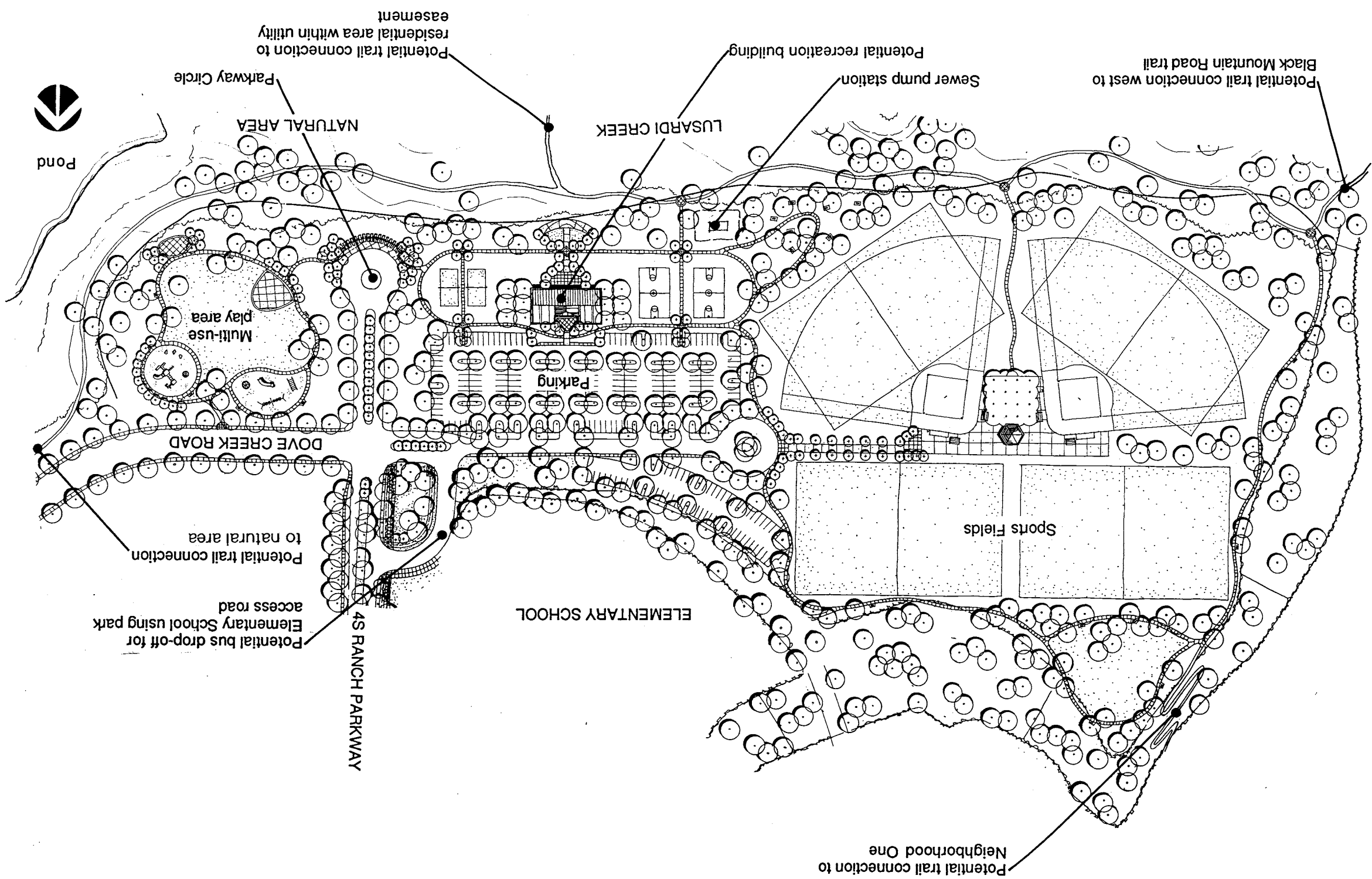


EXHIBIT 2.5.3
LUSARDI CREEK
COMMUNITY PARK

EXHIBIT 2.5.3
LUSARDI CREEK COMMUNITY PARK

Deneen Powell Atelier

- The active portion of the park is located next to an elementary school. The elementary school site is at a slightly higher elevation permitting it to be planned in coordination with the park but maintaining some visual and functional separation. Shared parking will permit peak period needs to be satisfied within the school/park boundaries.

Neighborhood Parks: The three public neighborhood parks are located to serve the day-to-day recreational needs of neighborhood residents. Each of these parks is located adjacent to the 4S Ranch Parkway. Two of the neighborhood parks are a minimum of five acres; the third neighborhood park is a minimum of three acres. The parks typically include tot lots, playground equipment, and open play areas.

Neighborhood One Park: This five-acre park located in Neighborhood One is at the intersection of Lone Quail Road and the 4S Ranch Parkway. A concept plan for the five-acre park is illustrated in Exhibit 2.5.4, and its relationship to the surrounding neighborhood is illustrated in Exhibit 2.1.1. Pedestrian access to the park is provided from the sidewalks along both of these adjacent streets. A transit stop is located at the corner of the park near the intersection of Lone Quail Road and 4S Ranch Parkway.

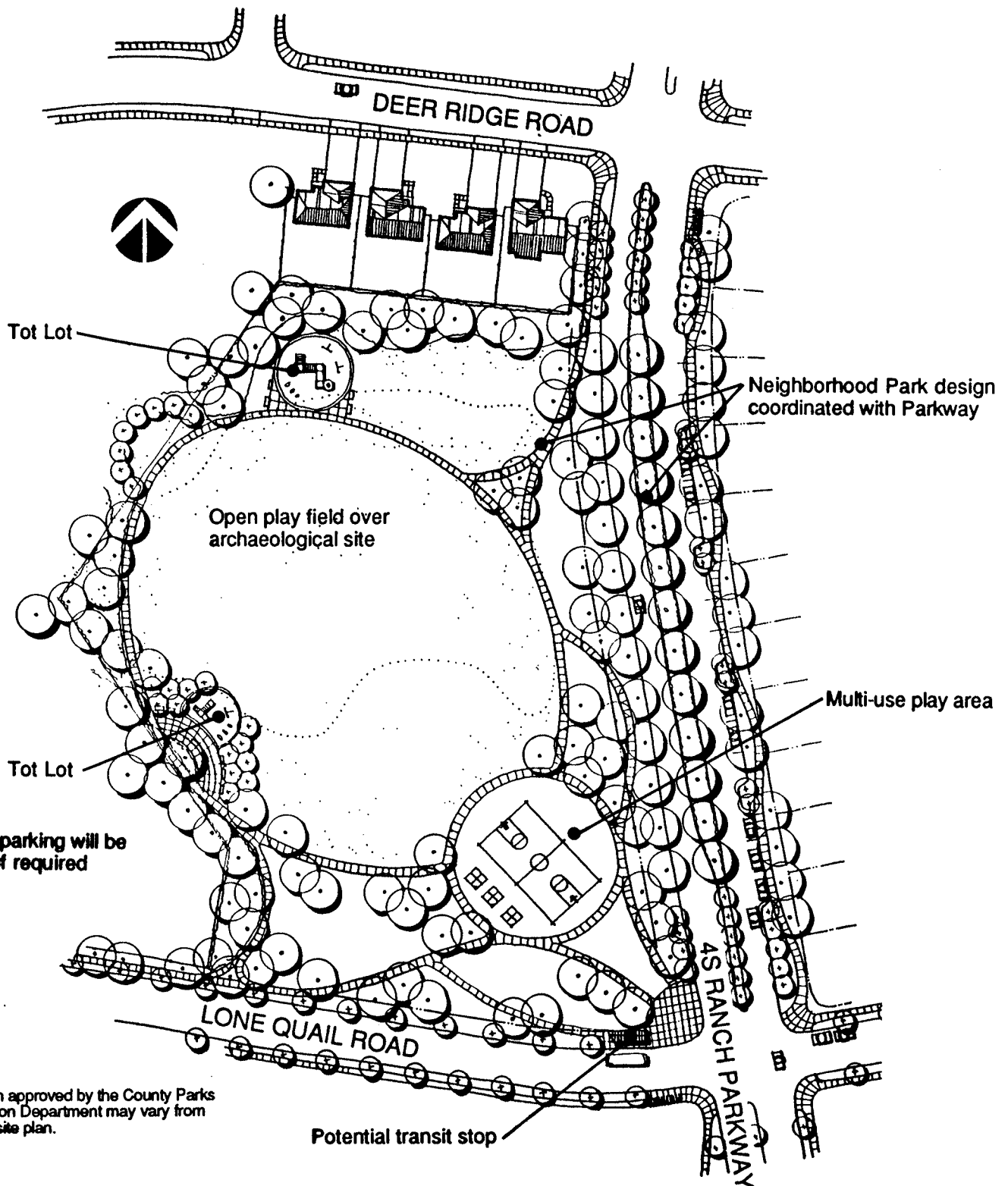
Neighborhood Three Park: This park in Neighborhood Three is co-located with the elementary school. A concept plan for this five-acre park is illustrated in Exhibit 2.5.5, and its relationship to the surrounding neighborhood is illustrated in Exhibit 2.2.10. Pedestrian access to the park is from sidewalks along 4S Ranch Parkway, Albert Avenue, and the elementary school. All the types of facilities in the park are intended to complement sports fields and other facilities at the adjacent elementary school.

Neighborhood Four Park: The park in Neighborhood Four is the northerly terminus of the 4S Ranch Parkway. A concept plan for this three-acre park is illustrated in Exhibit 2.5.6, and its relationship to the surrounding neighborhood is illustrated in Exhibit 2.2.14. Pedestrian access to the park is provided from the sidewalks along the adjacent streets which meander into the park.

Key features of the neighborhood parks respond to the guiding principles as follows:

- Neighborhood parks are located near the geographic center of the neighborhood and are bordered by local streets which allow visibility into the park.

- Active play areas are located away from adjacent residential units. Landscape areas are sited next to residential lots.
- One neighborhood park is co-located with an elementary school and is planned to include an active sports area to complement the sports fields of the school.
- Pedestrian and bicycle facilities along the 4S Ranch Parkway and local residential streets provide easy access to the neighborhood parks.
- Landscaping of the parks is designed as part of the overall 4S Ranch Parkway, so the park will visually extend beyond the park boundaries and along the parkway corridor.



Final site plan approved by the County Parks and Recreation Department may vary from this concept site plan.

EXHIBIT 2.5.4 NEIGHBORHOOD ONE PARK CONCEPT



Deneen Powell Atelier



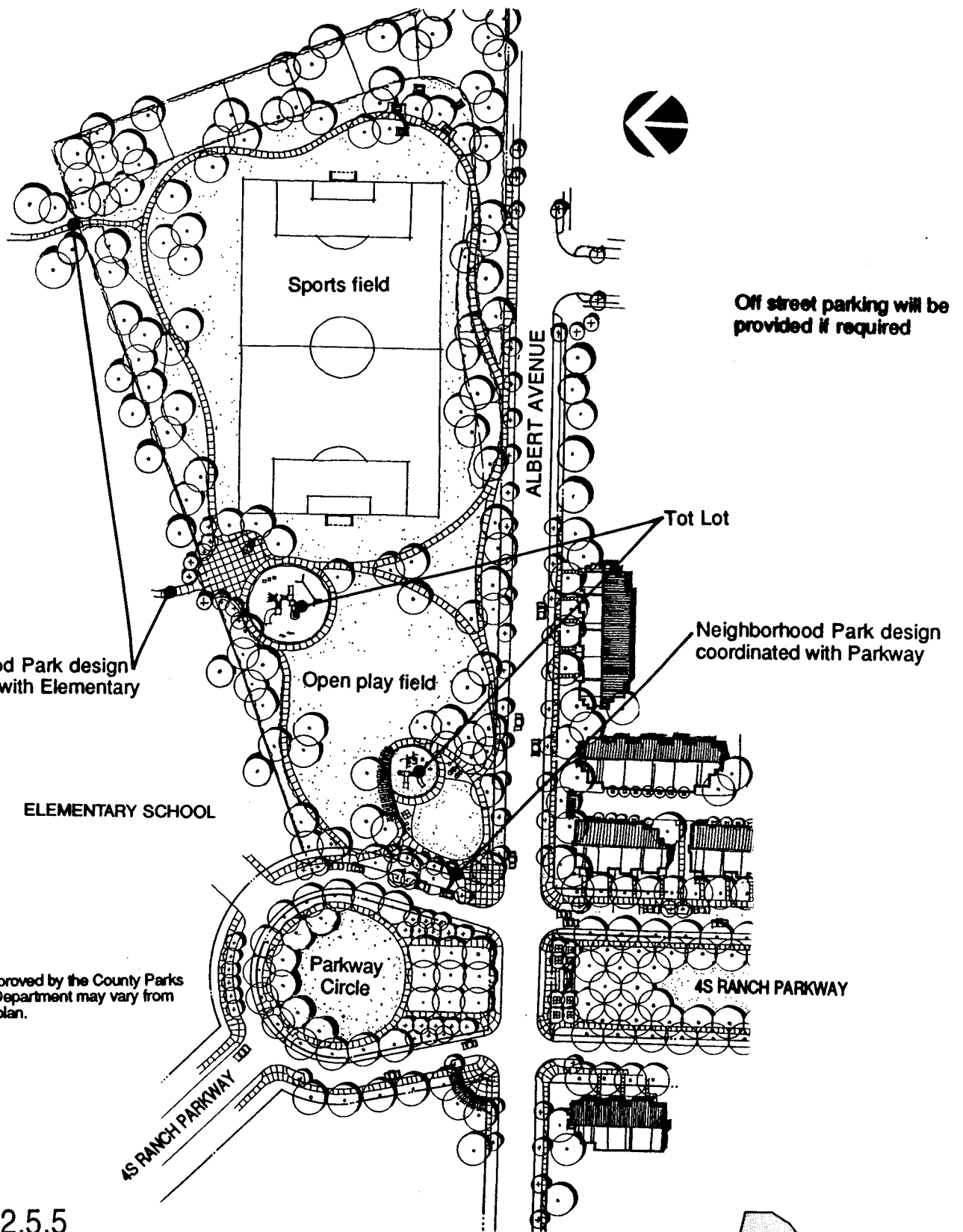


EXHIBIT 2.5.5

NEIGHBORHOOD THREE PARK CONCEPT



Deneen Powell Atelier



Final site plan approved by the County Parks and Recreation Department may vary from this concept site plan.

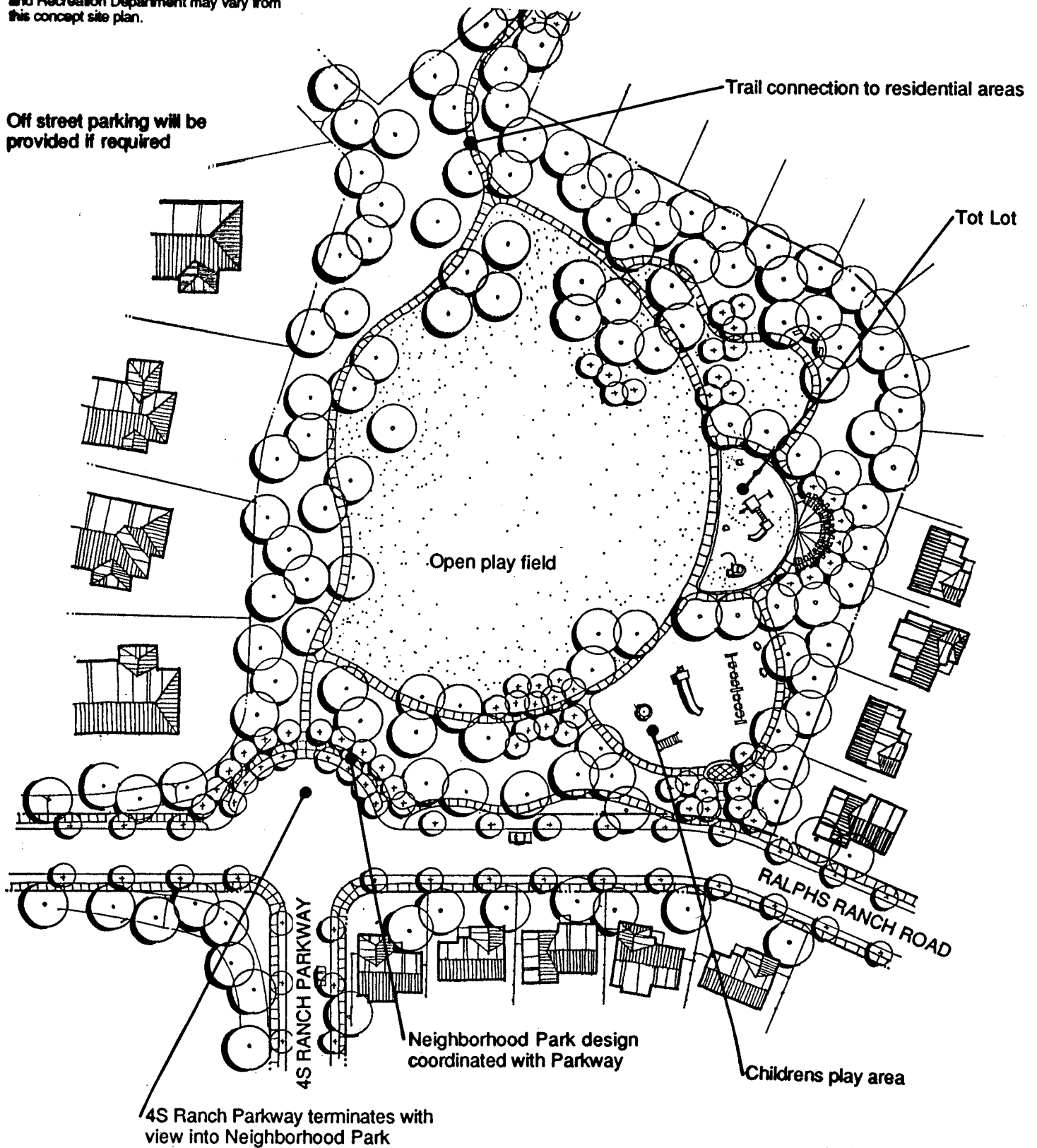


EXHIBIT 2.5.6 NEIGHBORHOOD FOUR PARK CONCEPT



Deneen Powell Atelier



PRIVATE PARKS

The private parks within the 4S Ranch are called neighborhood greens and are described below:

Neighborhood Greens: These small private parks are located along the 4S Ranch Parkway or within residential areas and connected to the parkway via residential streets and pedestrian pathways. The size and design of the neighborhood greens varies widely, ranging from formal spaces defined by local streets and adjacent residential units to informal landscaped areas adjacent to natural open space.

The sites of the currently planned neighborhood greens are described below. Other neighborhood greens and pocket parks may be added as more detailed designs are prepared for the neighborhoods and individual residential areas within the neighborhoods. The general design themes are summarized below:

Neighborhood Green One - The Linear Park: This linear, formal park is located in Neighborhood Three between the Mixed-Use District and the northern elementary school/neighborhood park. It also bisects the multi-family residential area providing an open space focal point for residents and a pedestrian and bicycle corridor connecting to the park, elementary school and local shopping. The Linear Park contains open grass areas for informal play and passive recreation. A concept plan for the Linear Park is illustrated in Exhibit 2.5.7.

Neighborhood Green Two - Town Square: This park is the Town Square for the 4S Ranch. It is located in the central portion of the Mixed-Use District called the Mixed Use Core. It is sited at the point of convergence of two visual corridors or axes. One is the axis created by the Linear Park which is extended south into the Mixed-Use District. The second is the axis created by the 4S Ranch Parkway extended north into the District. The Town Square is a landscaped plaza which is spatially defined by the surrounding buildings containing commercial, office, and recreation uses. It is also envisioned as the activity center of the community performing a function similar to traditional town squares.

A concept for the Town Square and surrounding pedestrian-oriented spaces envisions a space which allows a variety of public gatherings such as street fairs, seasonal celebrations, concerts, and other cultural events. Landscaping within or adjacent to the Town Square is used to define spaces, provide shading, create areas for seating, and add visual interest.

Final site plan may vary from
this concept site plan.

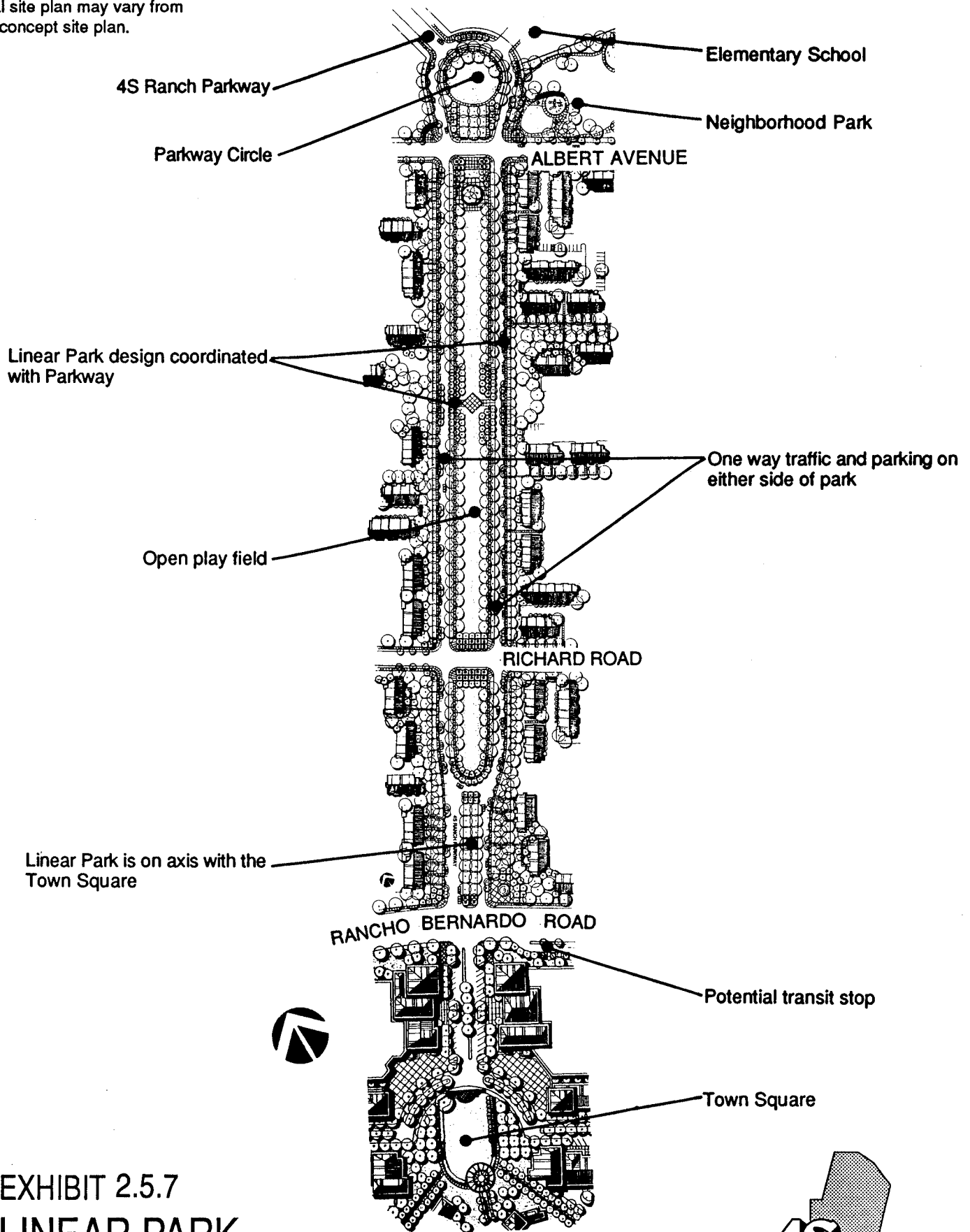


EXHIBIT 2.5.7 LINEAR PARK



Deneen Powell Atelier



Final site plan may vary from this concept site plan.

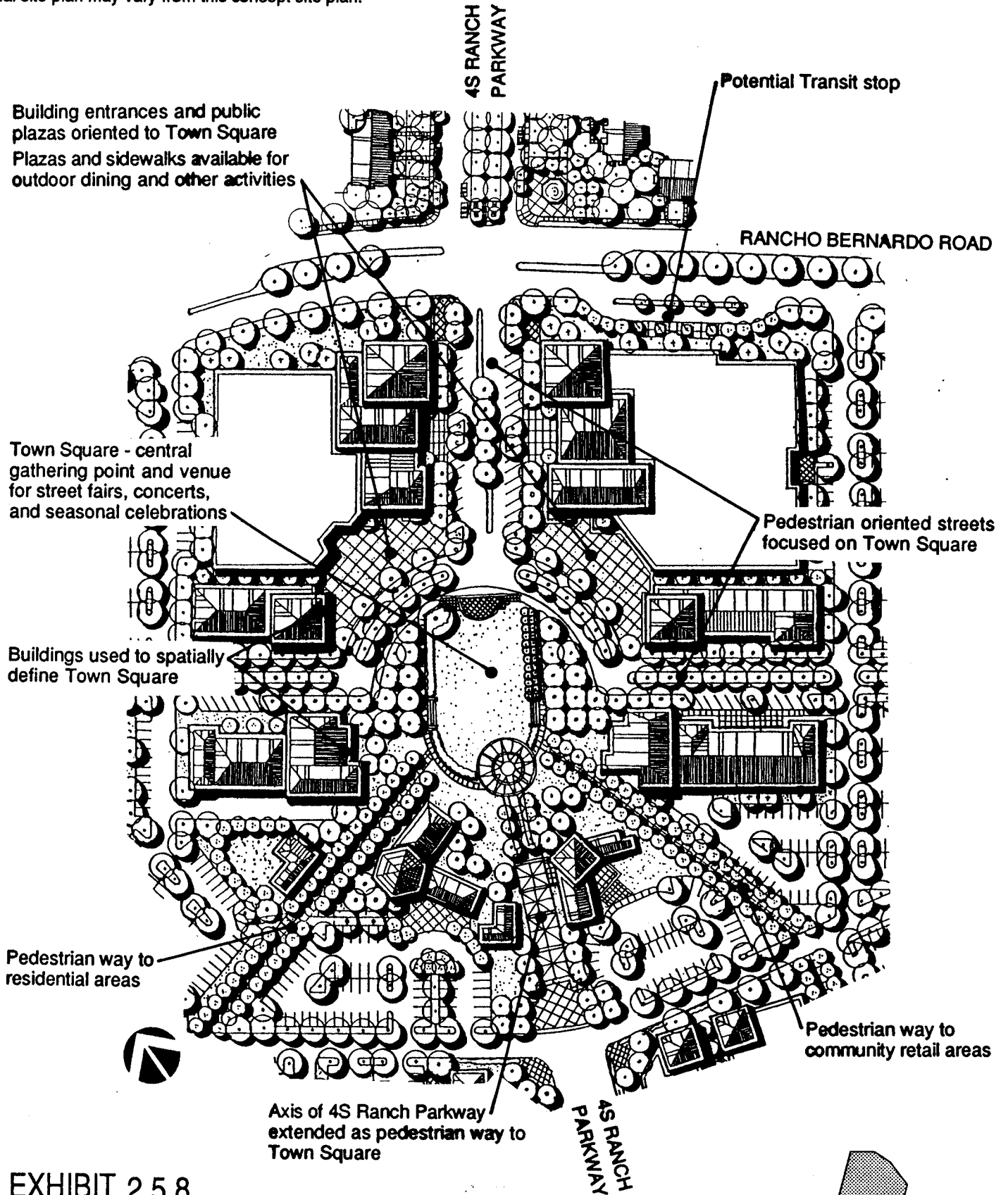


EXHIBIT 2.5.8 TOWN SQUARE



Deneen Powell Atelier



Final site plan may vary from this concept site plan.

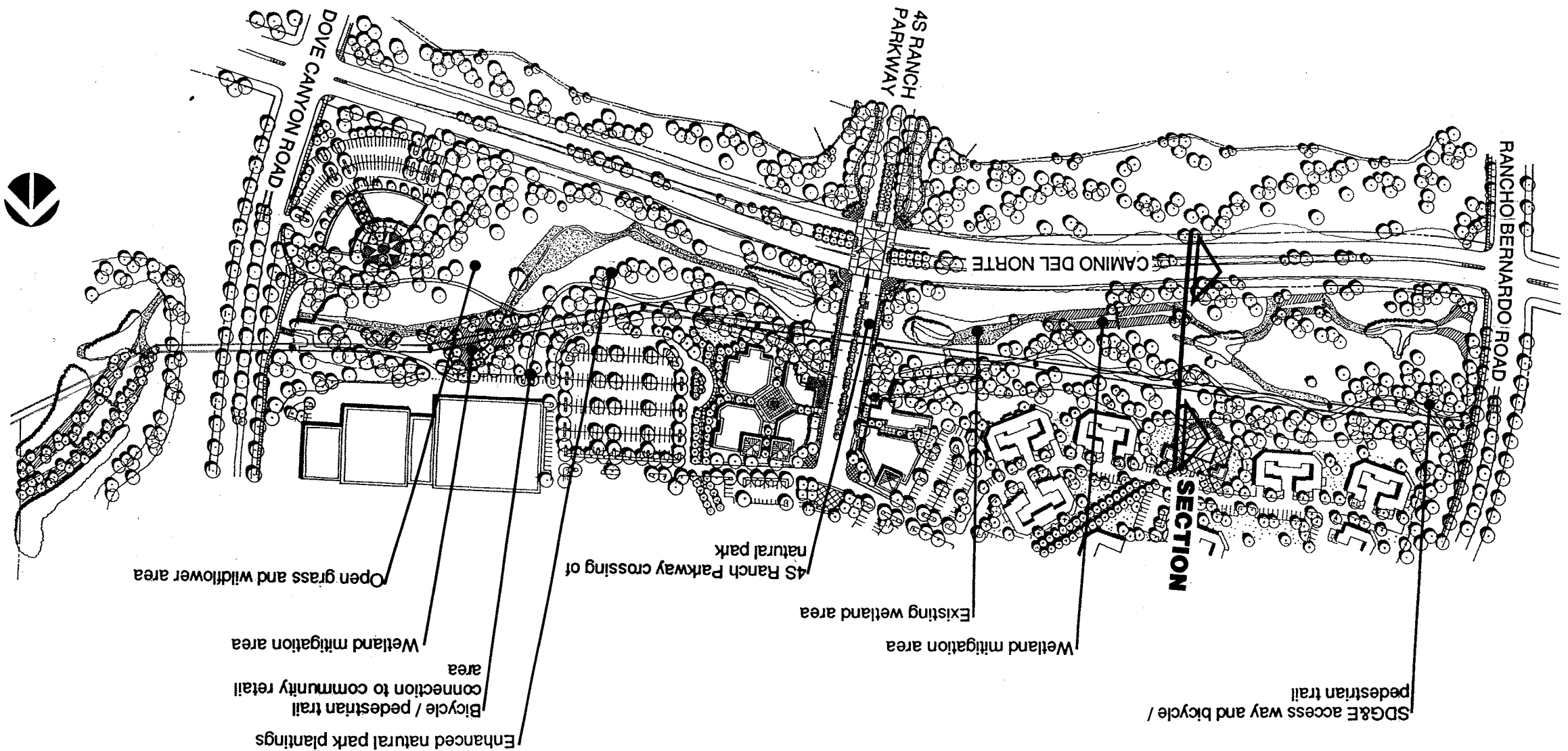
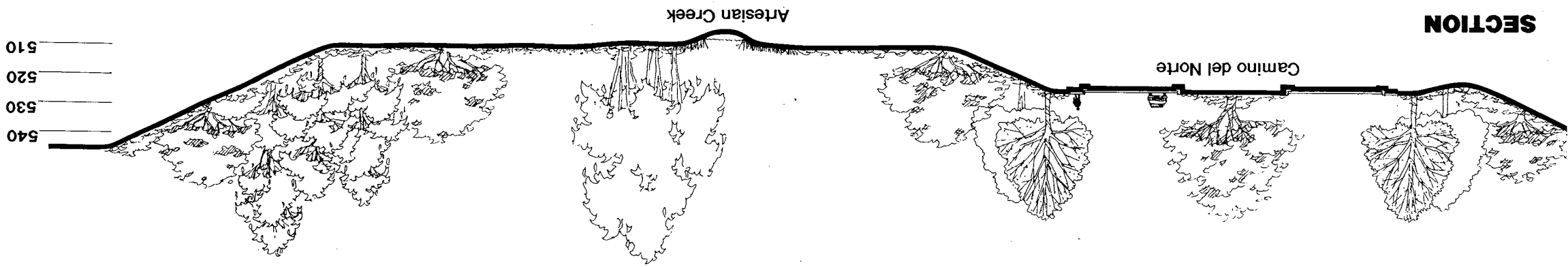


EXHIBIT 2.5.9
ARTESIAN CREEK
NATURAL PARK



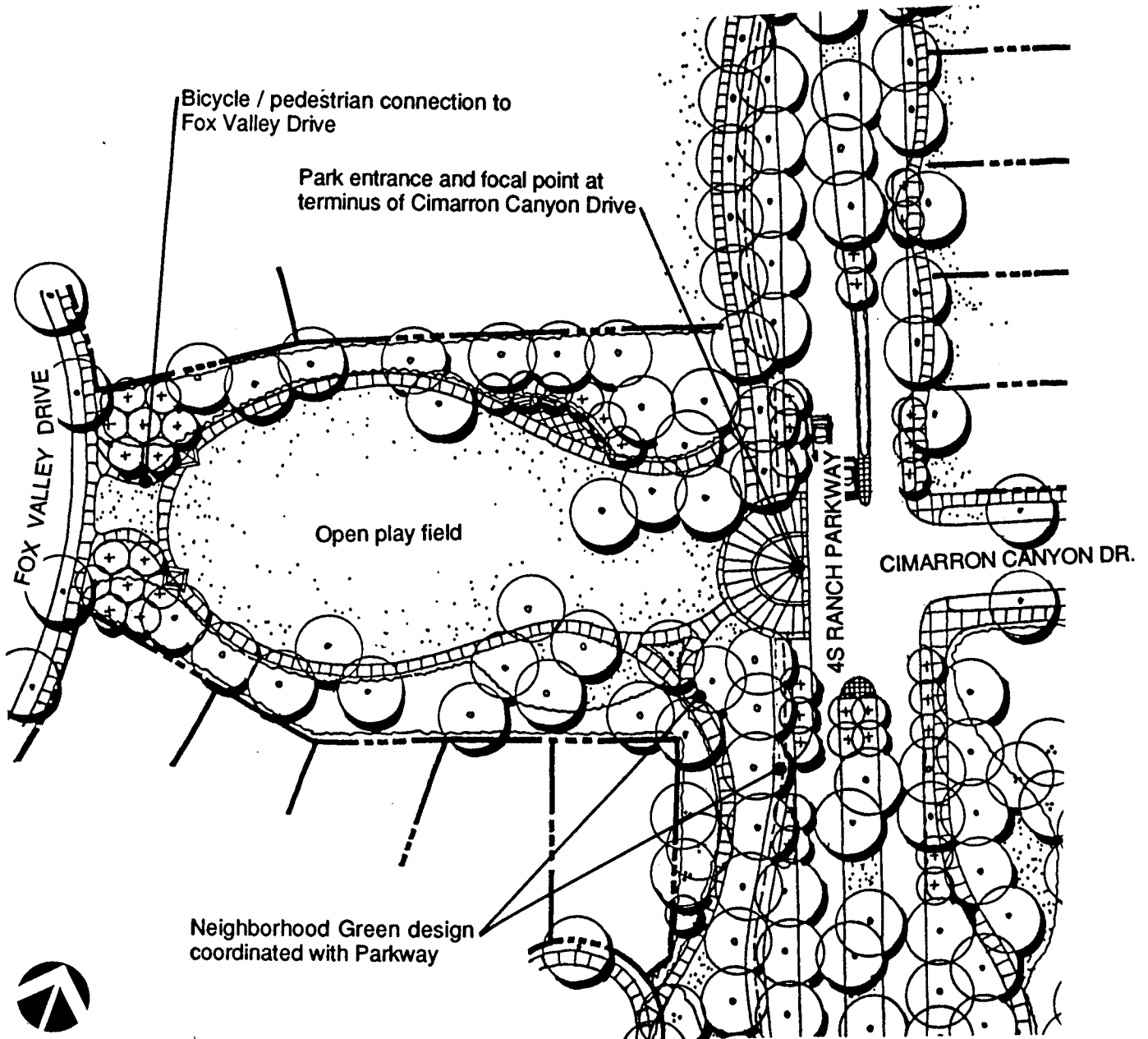
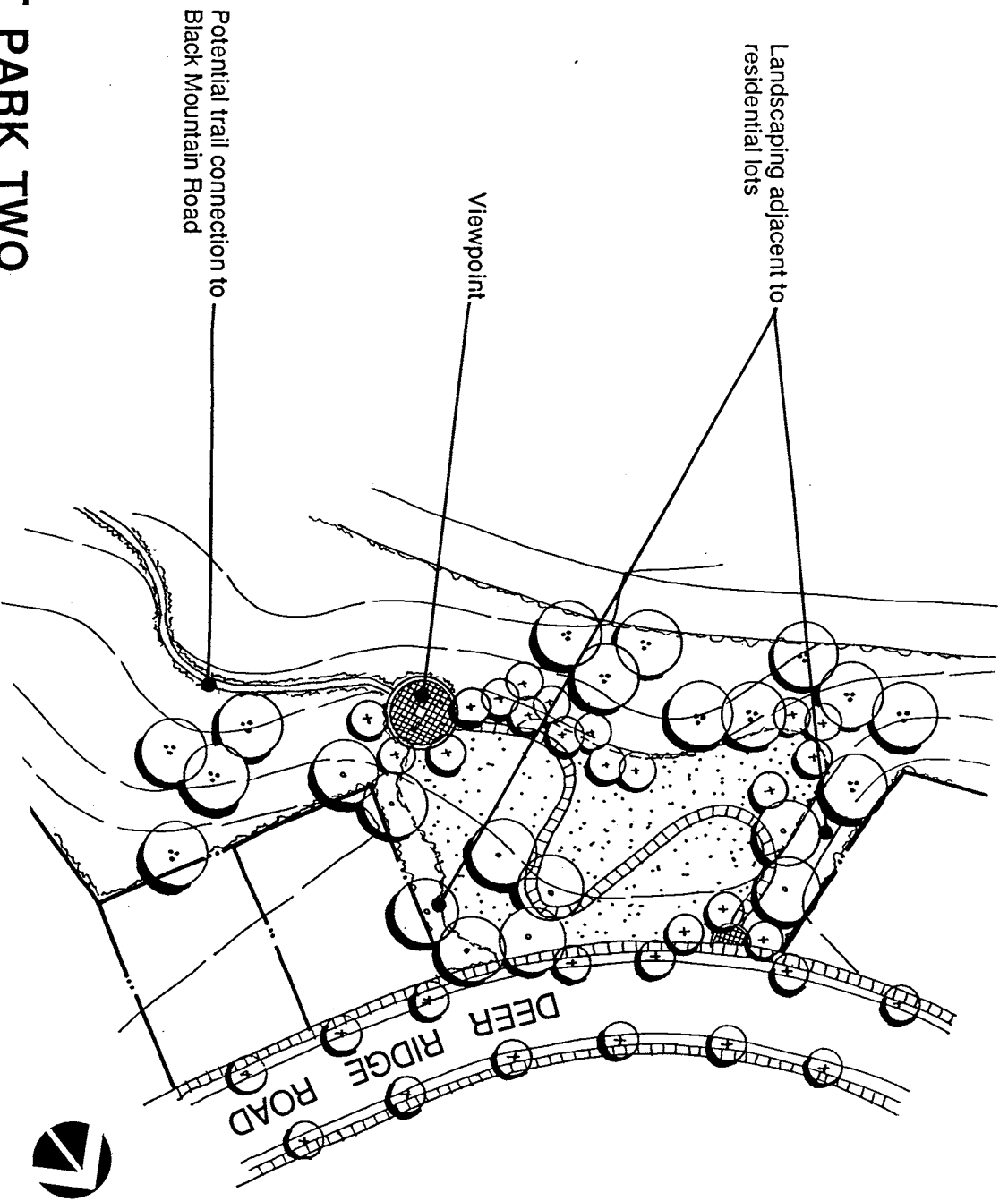
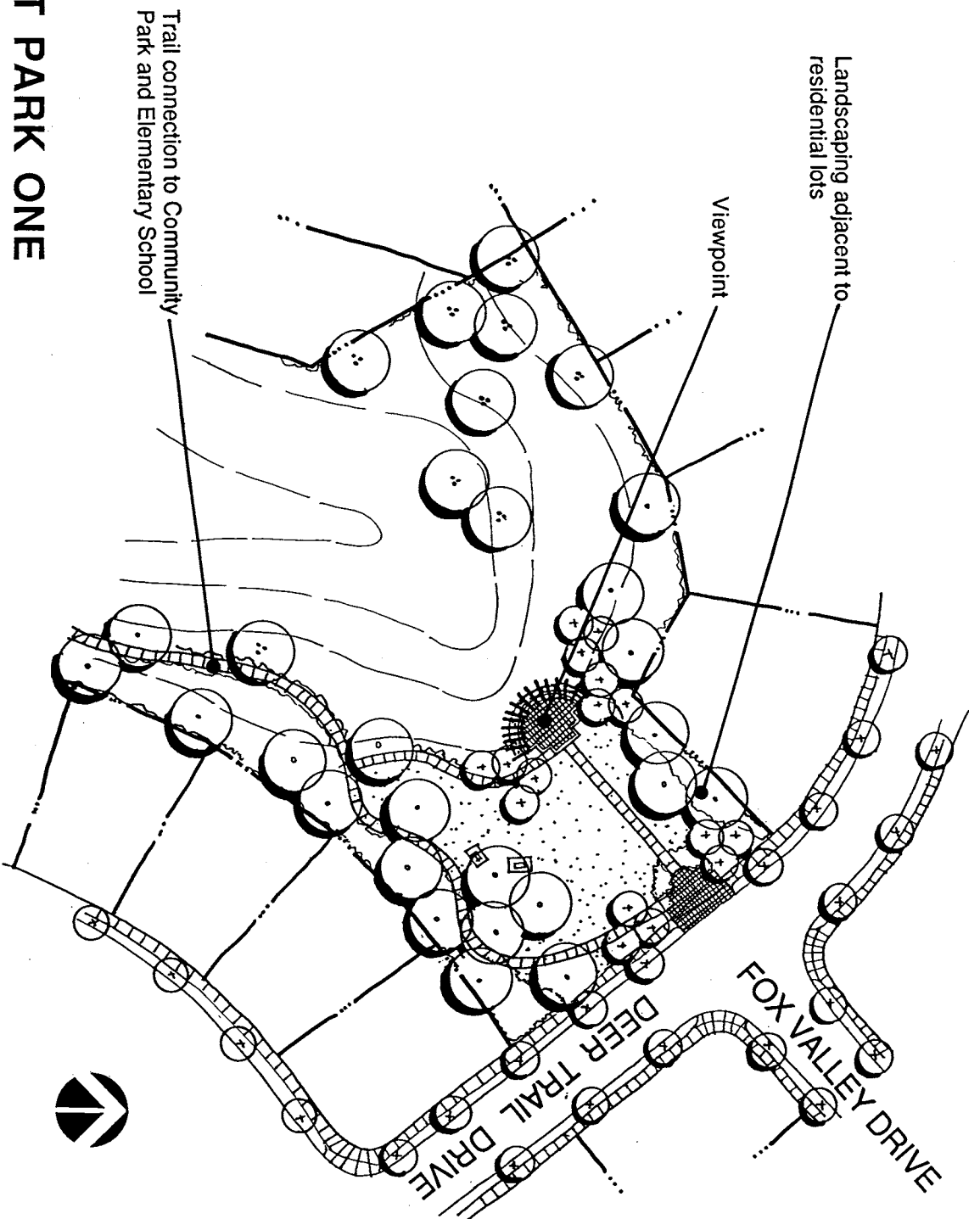


EXHIBIT 2.5.10
NEIGHBORHOOD GREEN
LOCAL PARK



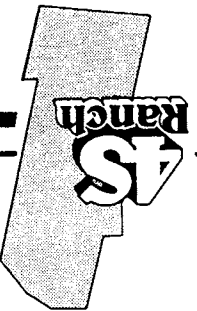
POCKET PARK TWO

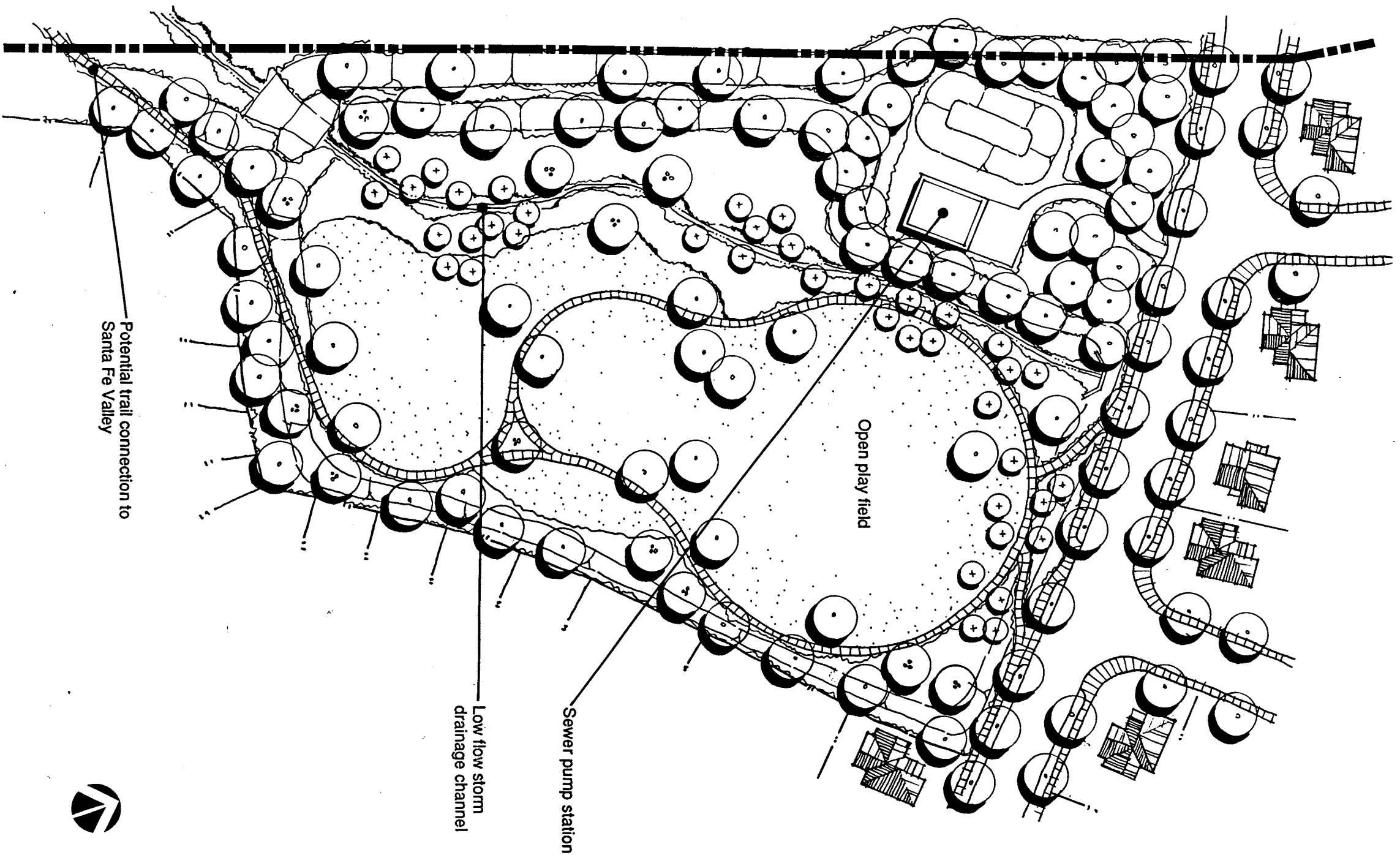


POCKET PARK ONE

Final site plans may vary from these concept site plans

EXHIBIT 2.5.11
POCKET PARKS 1 & 2



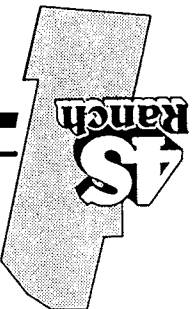


Final site plan may vary from this concept site plan.

EXHIBIT 2.5.12
POCKET PARK 3

EXHIBIT 2.5.12

POCKET PARK 3



The Town Square is linked to the 4S Ranch Parkway theme through use of similar paving and plant materials. Typical uses in the surrounding buildings are smaller scale retail establishments, food service, and public facilities and services. The Town Square is also connected to other areas of the Mixed-Use District by pedestrian concourses, arcades, and walkways. A concept design for the Town Square is illustrated in Exhibit 2.5.8. The size of the Town Square has not been included in the Exhibit 2.5.1 tabulations because the acreage is a function of the final design of the square and the surrounding area.

Neighborhood Green Three - Artesian Creek Natural Park: This park is a natural area along Artesian Creek from Dove Canyon Road to Rancho Bernardo Road at the westerly property boundary. It is north of Camino del Norte and borders the southern boundary of the Mixed Use Core. The park is predominantly existing and revegetated native planting along a very thin wetlands area which comprises Artesian Creek. An entrance road to the Mixed Use Core crosses the park near its midpoint. The only improvements planned for the park are an east-west trail connecting to the 4S Ranch Parkway and potentially to future development areas off-site to the east and west. A concept design for the Artesian Creek Natural Park is illustrated in Exhibit 2.5.9.

Neighborhood Green - Local Park: This small park area is 2 acres and located along the west side of the 4S Ranch Parkway in Neighborhood One. This location makes it accessible to the community via the pathway and bicycle path along the west side of the Parkway. It is also connected to the residential neighborhoods to the east and west via local streets.

The location of this park is illustrated in Exhibit 2.5.2 and a concept design for this neighborhood green is illustrated in Exhibit 2.5.10. Its relationship to the surrounding neighborhood is illustrated in Exhibit 2.2.1. The plan for this neighborhood green is a passive park area with open areas for informal play. Seating areas with benches and trees provide an overhead shade canopy along the pathways. Tree plantings are used for noise buffering from the street as well as some screening for adjacent residents.

Neighborhood Green - Pocket Park #1 - This small park area is located at the north end of the small drainage separating two residential areas in Neighborhood One south of Camino San Bernardo. It is also the trailhead for a pathway leading down the drainage which connects these residential areas to the southern elementary school and Lusardi Creek Community Park. The location also provides a visual feature as the terminus of a local residential street and allows a view southward to the community park. The location of this park is illustrated in Exhibit 2.5.2 and a concept plan for this pocket park is illustrated in Exhibit 2.5.11.

Neighborhood Green - Pocket Park #2 - This small park area is located on a local residential street south of Camino San Bernardo near the westerly property boundary. It is adjacent to the drainage that forms the separation between the 4S Ranch and Subarea 1 of the City's Future Urbanizing Area. The park allows an overlook view to the southwest and an access point to the Black Mountain Road trail which is located just below the park area. The location of this park is illustrated in Exhibit 2.5.2 and a concept plan for this pocket park is also illustrated in Exhibit 2.5.11.

Neighborhood Green - Pocket Park #3: This small park area is part of the desiltation basin in Neighborhood Three adjacent to Ralphs Ranch Road. The desiltation basin is expected to include a low flow channel along one side of the basin. This will allow the remaining area to be usable open space for all but the relatively short periods of time during and immediately after a major rainstorm. The location of this park is illustrated in Exhibit 2.5.2 and a concept plan for this pocket park is illustrated in Exhibit 2.5.12.

Key features of the neighborhood greens respond to the guiding principles as follows:

- The neighborhood greens are located near the center of residential neighborhoods to provide additional parklands and landscaped areas easily accessible to residents.
- The area surrounding the Town Square will include commercial recreation and entertainment facilities, as well as religious and cultural facilities. This approach will integrate these other types of activities with public parks and open space system.
- The Linear Park and the Town Square are both spatially defined by the surrounding buildings and are central features of the urban design plan for the 4S Ranch. The Linear Park is a traditional urban space framed by the landscaping and high density residential buildings on each side of the corridor and terminating with a circle. The Town Square is a plaza-type space surrounded by buildings of varying size and mass, but which create the enclosure necessary to define the urban space.

NATURAL OPEN SPACE

Lusardi Creek Natural Area: The natural area adjacent to the community park is a private open space area and consists of two parcels totaling 167 acres. One parcel is to the east of the planned Bernardo Center Drive/Carmel Valley Road and contains the upper 4S pond. The second parcel is to the west of the planned Bernardo Center Drive/Carmel Valley

Road and contains the lower 4S Ranch pond. The primary purpose of the natural area is to conserve the wildlife corridor along Lusardi Creek. The width of the main east-west corridor is a minimum of 400 feet and typically ranges from 500-600 feet. At the westerly property boundary and around the two existing ponds the width ranges from 1,200 to 1,300 feet. A secondary corridor extending south toward Black Mountain is approximately 400 feet wide. The natural area connects to existing and planned natural open space areas to the east, south and west. Its relationship to these other open space areas is illustrated in Exhibit 2.5.1. The two existing ponds will be conserved. The only permanent improvements within the natural area will be the hiking and bicycle trails and utility and storm water improvements.

The bicycle and hiking trail within the Lusardi Creek natural area is shown on Exhibit 2.5.4. The primary trail is an east/west trail along the north side of Lusardi Creek. Along this segment of the trail, two crossings of Lusardi Creek are planned to connect to residential areas south of the creek. One of these crossings is designed to coincide with a utility easement.

On the west, the trail will connect to existing Black Mountain Road. Upon development of Neighborhood Two, the existing segment of Black Mountain Road will cease to be a vehicular roadway except for emergency vehicles. At that time, Black Mountain Road, including the existing bridge over Lusardi Creek, will become part of the 4S Ranch trail system. Where residential development is planned over a portion of existing Black Mountain Road south of Lusardi Creek, a new trail segment will be constructed within the brush management area at the westerly end of the residential area. (See Chapter 2.2, Neighborhood Two plan and description.)

In Black Mountain Ranch south of the 4S Ranch, a segment of Black Mountain Road will remain and not be utilized for vehicular traffic. This segment could permit a southward continuation of the trail discussed above to Black Mountain Park if incorporated into the Black Mountain Ranch development. Similarly, the trail in the Lusardi Creek natural area could be extended through La Jolla Valley ultimately connecting to the San Dieguito River if incorporated into the Black Mountain Ranch development and other landholdings to the west. The tentative maps approved in 1992 for Black Mountain Ranch north and south contained both of these trail extensions.

On the east, the trail will cross Bernardo Center Drive at its intersection with Dove Canyon Road. It will extend along the southerly public road easement of Bernardo Center Drive to the easterly boundary of the 4S Ranch connecting to the existing residential neighborhood in Rancho Bernardo.

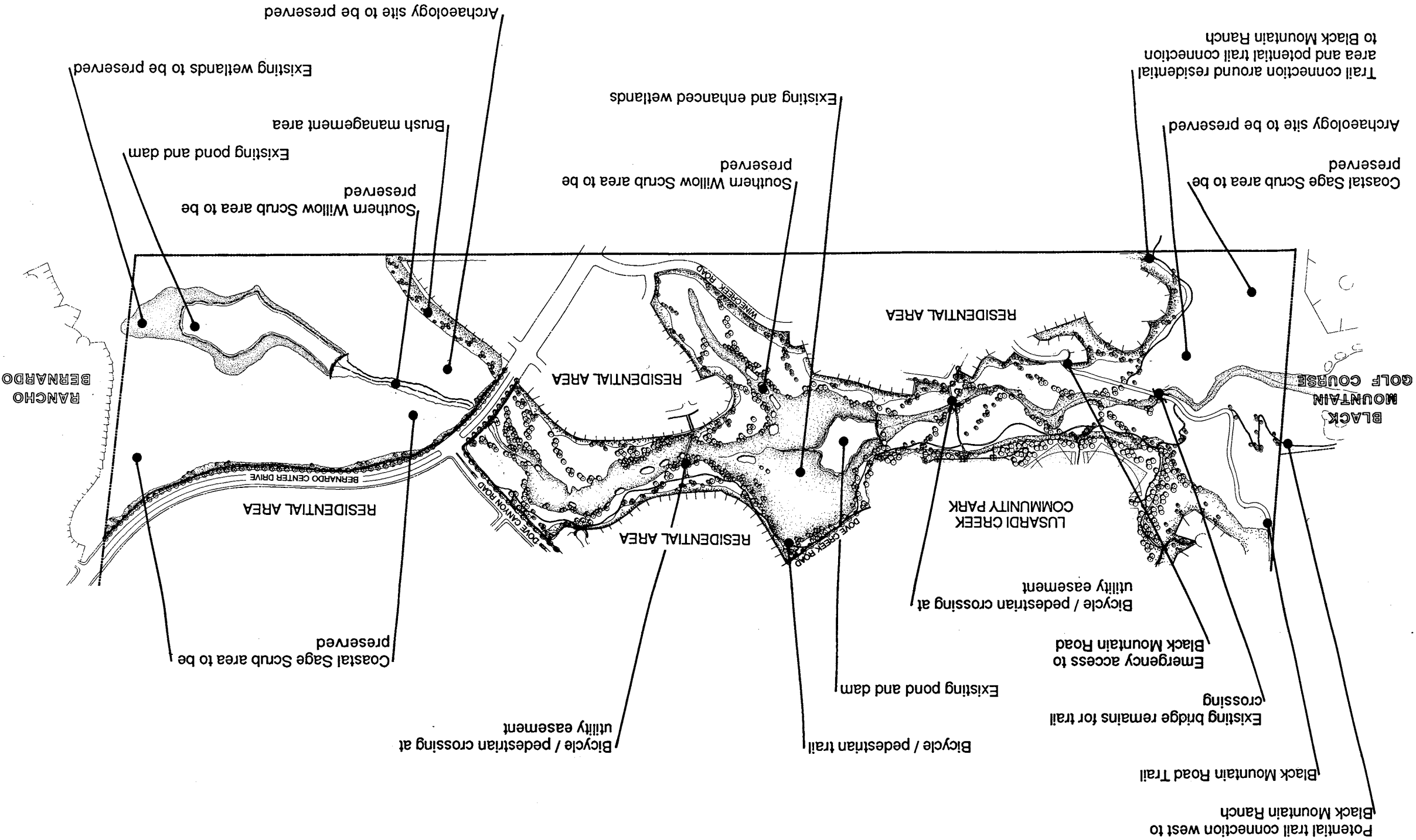


EXHIBIT 2.5.13
LUSARDI CREEK
NATURAL AREA

4S
Ranch

EXHIBIT 2.5.13

LUSARDI CREEK NATURAL AREA

CHAPTER 2.6 PUBLIC FACILITIES

INTRODUCTION

The 4S Ranch will be served by public utilities and public services which are either extensions of existing facilities or the construction of new facilities necessary to provide increased capacity. These utilities and services are provided by agencies of the County of San Diego or existing districts. In all cases, the development of the 4S Ranch has been anticipated by these agencies or districts and included in their master plans. Therefore, many facility planning decisions in the past have been made based on the expectation of the 4S Ranch development. As a result of this advance planning, the provision of utilities and services to the 4S Ranch will proceed in an efficient and timely manner.

GUIDING PRINCIPLES

Based on the principles for the overall project described in Chapter 1.2, additional, more specific guiding principles have been established for the 4S Ranch public facilities. These are as follows:

- The elementary school and parks should be developed in coordination with neighborhood phasing. The focus of early residential development in Neighborhoods One and Two should result in early implementation of the elementary school and community park in Neighborhood Two. A focus of early development in Neighborhood Three should result in early implementation of the elementary school and neighborhood park in Neighborhood Three.
- The parks and open space should be designed to be irrigated with water from the reclamation plant as soon as treated wastewater can efficiently be made available.
- The interim and permanent use of 4S Ranch reclaimed water should be planned in coordination with emerging plans for a regional reclaimed water system.

PUBLIC FACILITIES AND SERVICES

Water Service: The entire 3,525-acre 4S Ranch was annexed into the Metropolitan Water District (MWD), San Diego County Water Authority (SDCWA) and the Olivenhain Municipal Water District (OMWD) in 1985 at a total annexation cost of approximately \$5 million.. These annexations

provided the 4S Ranch with a right to water service equal to that provided to all other water users within the respective districts.

All water service to the 4S Ranch is provided by OMWD through agreements between the 4S Ranch and OMWD for the construction of water facilities and provision of water service. OMWD receives its water from SDCWA via five connections to the California Aqueduct.

An initial water system analysis was conducted for the 4S Ranch by Boyle Engineers in 1984. Subsequent to that initial analysis, a revised report titled "4S Ranch Water System Conceptual Design Report" was prepared by Boyle Engineers for OMWD in 1987 which described an overall water system for the 4S Ranch including both the 634-acre and 2,891-acre portions of the property. That report served as the basis for an agreement between 4S Ranch and OMWD regarding the initial provision of water facilities at the 4S Ranch. As a result of that agreement, a number of major water facilities were designed and constructed by the 4S Ranch at its cost in conjunction with the development of the 634-acre Specific Plan Area as described in Volume 1 of the 4S Ranch Specific Plan. These facilities included: the up-sizing of a portion of the Ramona Pipeline which connects the San Diego Aqueduct to Lake Ramona via Lake Poway to provide initial capacity to the 4S Ranch; a metered connection to that pipeline; a transmission pipeline from that connection to the 4S Ranch water storage tank; and, participation in the construction of the 10 million gallon 4S Ranch water storage tank. This storage tank was sized to serve both the 634-acre area and other areas within OMWD. In addition, all on-site water distribution pipelines and other facilities required to provide water service to the 634-acre area were designed and constructed by 4S Ranch at its cost. The facilities serving the 634-acre area are more fully described in Volume 1 of the 4S Ranch Specific Plan.

An updated report titled "Water System Re-Analysis for the 4S Kelwood Project," dated September 1994, has been prepared by Boyle Engineers for OMWD which updates the prior analysis identified above. The updated Boyle analysis was based on the specific land uses described in this Volume 2 of the 4S Ranch Specific Plan and serves as the basis for further agreements between 4S Ranch and OMWD regarding the provision of water facilities to serve the 2,891-acre portion of the property. The ongoing provision of adequate water facilities will be assured through those agreements. As a part of those agreements, 4S Kelwood has committed to design and construct at its cost, or provide funding assurance acceptable to OMWD, all on-site and off-site facilities required to serve the proposed development on a phased basis as described in the 1994 Boyle report, and/or such alternative facilities as may be acceptable to OMWD. In general, these facilities include: an off-site water transmission pipeline from the Ann Peay water storage tank to the 4S Ranch; a pump station

connected to that pipeline; all on-site water transmission pipelines; an additional 7 million gallon on-site storage tank; and, the complete on-site water distribution pipeline system. In addition, 4S Kelwood has committed to providing 4S Ranch's fair share contribution, via capacity fees imposed by OMWD at the time of issuance of water meters, for other OMWD existing and planned regional facilities which benefit the 4S Ranch. This includes nearly 20 percent of the funding for the proposed Mount Israel Water Reservoir and funding for the Mount Israel Treatment Plant and related OMWD facilities.

Wastewater Treatment/Reclamation: The 4S Ranch County Sanitation District was formed in March 1986 to provide wastewater treatment and reclamation service to the 4S Ranch. The County Board of Supervisors sits as the Board of Directors of the district. The district was initially formed to provide service to the 634-acre portion of the 4S Ranch. As such, the 2,891-acre portion of the property will need to be annexed into the district, although that annexation was envisioned in the agreement discussed below. The provision of adequate wastewater treatment facilities was assured through a Sanitation Agreement entered into between the 4S Ranch and the County in April 1989. In general, that agreement requires that 4S Ranch design and construct all wastewater treatment facilities at its cost less any capacity entitlement fees collected from subsequent owners within the district for expansion of the facilities. In addition, district operating costs are covered by annual sewer service charges to owners within the district connected to the facilities, as well as by annual standby charges to owners within the district not then connected to the facilities.

The 4S Ranch Wastewater Treatment/Reclamation Plant was initially designed to provide secondary level of treatment of sewage. The plant facilities were sited on the 2,891-acre portion of the 4S Ranch south of Camino del Norte and immediately adjacent to the 634-acre portion. In general, the facilities consisted of the plant itself, an adjacent wet weather storage reservoir, and a spray irrigation field for interim disposal. In October, 1987, a major use permit (P87-036) was issued for the construction and operation of the plant. That use permit was subsequently modified in June 1988 (P87-036W1). The modified permit allowed for the construction and operation of the plant at a capacity of 0.6 mgd and a 150-acre gross area for spray irrigation disposal. A waste discharge permit (85-40) has also been issued by the California Regional Water Quality Control Board. In September 1992, that waste discharge permit was modified by an addendum which approved an operating capacity of 0.6 mgd.

The initial phase of the 4S Ranch Wastewater Treatment / Reclamation Plant has been built and is currently in operation. The built plant has a capacity of 0.25 mgd and includes a 74 acre foot wet weather reclaimed water storage reservoir and a spray irrigation field of approximately 35 acres. The

plant is being operated by the 4S Ranch Sanitation District. As noted above, the plant is permitted to expand to a capacity of 0.6 mgd, 165 acre foot wet weather storage reservoir and a 150 acre spray irrigation field under the existing County major use permit and California Regional Water Quality Control Board discharge permit.

A report titled "Technical Memorandum for Wastewater Treatment Plant Expansion", dated March 1996, has been prepared by Montgomery Watson Consulting Engineers which updates the 4S Ranch wastewater treatment and water reclamation system based on the specific land uses described in this Volume 2 of the 4S Ranch Specific Plan. That report discusses in detail the proposed expansion and up-grade of the 4S Ranch wastewater treatment / reclamation facility. In general, the plant will be expanded in phases to an ultimate capacity of 1.8 mgd. This is illustrated in Exhibit 2.6.1 which also shows the number of units served by each expansion phase and the cumulative units served by the plant's capacity. In conjunction with the first planned expansion beyond the existing 0.25 mgd built capacity, several process units will be added to upgrade the level of treatment from secondary to tertiary treatment meeting all of the requirements of Title 22, Division 4 of the California Administrative Code for unrestricted irrigation reuse of the reclaimed water. The additional facilities required to provide tertiary level treatment include flocculation / coagulation, filtration treatment and disinfection.

**EXHIBIT 2.6.1
SUMMARY WASTEWATER TREATMENT PLAN EXPANSION**

	EXISTING PLANT	PHASE 1 EXPANSION	PHASE 2 EXPANSION	PHASE 3 EXPANSION
Capacity (MGD)	0.25	0.60	1.2	1.8
Residential Units Served	360	1,225	1,883	2,146
Cumulative Residential Units Served	360	1,585	3,468	5,615

A portion of the reclaimed water will be utilized by the 4S Ranch development for the irrigation of parks, parkways, major slope banks and other common area landscaping. In addition, a portion of the reclaimed water will be initially used for construction purposes. The balance of the reclaimed water, under an agreement between 4S Kelwood and the Olivenhain Municipal Water District (OMWD), will be conveyed to OMWD for subsequent irrigation reuse by other district customers as part of the OMWD reclaimed water system. Under that agreement, OMWD will ensure sufficient reclaimed water storage off-site of the 4S Ranch to provide adequate wet weather storage of the ultimate 1.8 mgd facility. OMWD will

also ensure full off-site reuse of all reclaimed water not utilized on-site by the 4S Ranch development.

As previously noted, the initial upgrade to tertiary treatment and expansion of the plant to 0.6 mgd can be accomplished on-site with the permitted expansion of the wet weather reclaimed water storage reservoir to 165 acre feet, and the permitted expansion of the spray irrigation fields to 150 acres. The storage reservoir can be expanded by increasing the height of the earthen dams as per the approved plans and permits. The spray irrigation field is planned to be relocated from the previously approved site immediately north and west of the storage reservoir to the proposed development area (Phase 2 - Section A) south of the storage reservoir and north of Lusardi Creek as illustrated in Chapter 3.1 - Project Phasing of this Volume 2 of the 4S Ranch Specific Plan. The initial expansion to 0.6 mgd provides adequate capacity for both the entitled 634-acre area and a maximum of 900 EDUs within the proposed Phase 1 - Section A development area (TM 5067) of 1,105 dwelling units. Development beyond the initial Phase 1 - Section A area will require the completion of construction of and connection to the OMWD regional reclaimed water system, including the off-site wet weather reclaimed water storage reservoir.

With respect to the relocated spray irrigation field, it should be noted that the tertiary treatment upgrade to the plant provides reclaimed water at a quality meeting State Title 22 standards for unrestricted irrigation disposal. Additionally, the surface soils on-site at the proposed spray field location consist generally of clays which provide low infiltration rates. Therefore, the potential for percolation of reclaimed water into the groundwater from the spray irrigation fields is low. The spray fields are monitored with ground moisture detectors and spray periods are managed to avoid runoff. Finally, spray irrigation is suspended during periods of wet weather.

Public access to the 4S Ranch Wastewater Treatment / Reclamation Plant and associated facilities is restricted. The entire wastewater facility is operated by the 4S Ranch Sanitation District which is responsible for public access and safety issues.

A Major Use Permit modification to expand and upgrade the wastewater treatment / reclamation plant has been submitted concurrently with this GPA/SPA application for development. The 4S Ranch Sanitation District has indicated that adequate sewer service will be available to serve the proposed development from the expanded 4S Ranch Wastewater Treatment/ Reclamation Plant.

Schools: The entire 2,891-acre portion of the 4S Ranch, as well as the 634-acre portion, lies within the jurisdiction of the Poway Unified School District

(PUSD), which serves all grades K through 12. All students generated by residential development within the 634-acre portion of the 4S Ranch are currently accommodated by existing schools within the Rancho Bernardo area. PUSD has issued letters of school facilities availability in conjunction with all previously approved development within the 634-acre area. Additionally, all residential, industrial and commercial uses within the 634-acre portion pay state mandated school fees concurrent with the issuance of building permits. Refer to Volume 1 of the 4S Ranch Specific Plan for additional discussion of schools related to the 634-acre portion of the 4S Ranch Specific Plan.

PUSD currently operates sixteen elementary schools, four middle schools, four high schools and one special continuation high school. The district has indicated that additional elementary schools, middle school and high school, either within or in the vicinity of the 4S Ranch 2,891-acre development, will be necessary to serve the anticipated additional students generated by the proposed development of the 2,891-acre portion of the 4S Ranch and other planned developments within the Santa Fe Valley Specific Plan Area and Black Mountain Ranch west of 4S Ranch.

PUSD has developed student generation rates to estimate the number of students generated from proposed residential developments. The current total student generation rate is 0.78 students per single-family residential unit and 0.31 students per multi-family residential unit. For single-family units, this breaks down as 0.34 students in grades K-5 (elementary school), 0.18 students in grades 6-8 (middle school), and 0.10 students in grades 9-12 (high school). For multi-family units, the total generation rate breaks down as 0.14 students in grades K-5, 0.07 students in grades 6-8, and 0.10 students in grades 9-12.

Development of the 2,891-acre portion of the 4S Ranch Specific Plan Area would generate approximately 2,903 total students with 1,273 elementary school students, 668 middle school students and 962 high school students (Table 2.6.2). For planning purposes, PUSD targets optimum new school capacities at 700 students per elementary school, 1,250 students per middle school, and 2,150 students per high school.

**EXHIBIT 2.6.2
4S RANCH PROJECTED STUDENT POPULATION**

TOTAL GRADE LEVEL STUDENTS	(3,065 DU)		(1,650 DU)		
	SINGLE-FAMILY		MULTI-FAMILY		
	Rate	Students	Rate	Students	
K - 5	.34	1,042	.14	231	1,273
6 - 8	.18	552	.07	116	668
9 - 12	.26	797	.10	165	962
Total		2,391		512	2,903

The proposed development of the 4S Ranch has long been envisioned and incorporated into the PUSD Long Range Master Plan. PUSD has planned four elementary schools, a middle school and a high school within or in the vicinity of the 4S Ranch to serve future students from the 4S Ranch, Santa Fe Valley SPA and northern portion of Black Mountain Ranch. Within the 2,891-acre portion of the 4S Ranch Specific Plan Area, two elementary schools have been planned and sited. One new elementary school serves Neighborhoods 1 & 2 south of Camino del Norte; and, one new elementary school serves Neighborhoods 3 & 4, the Mixed Use District, the existing residential parcels within the 634-acre portion of the 4S Ranch, and the Ralphs Family Ranch. In general, each of these two new elementary schools will be at 90% capacity serving 4S Ranch students at build-out of the 4S Ranch development. Additional new elementary schools are planned within the eastern portion of the Santa Fe Valley Specific Plan Area near the 4S Ranch, and within the northern "bow-tie" area of Black Mountain Ranch. Finally, PUSD is planning a new high school and middle school and is currently evaluating several potential sites. The development of the 2,891-acre portion of the 4S Ranch will generate approximately 53% of the middle school capacity at build-out. The development of the 2,891-acre portion of the 4S Ranch will generate approximately 45% of the high school capacity at build-out.

Funding assurance for new school facilities will be provided through an agreement between 4S Kelwood and PUSD. 4S Kelwood has proposed to provide funding, consistent with the California State capital school facility cost allocation methodology, for any shortfall in State school funding in proportion to the students generated by the development of the 2,891-acre portion of the 4S Ranch. 4S Kelwood and PUSD are in the process of defining a mitigation agreement to assure that funding, and establishing a

Mello Roos district. Such a Mello Roos district would be in lieu of school fees. The agreement between 4S Kelwood and PUSD may contain other funding mechanisms and/or assurances acceptable to PUSD.

Police Protection: The entire 3,525-acre 4S Ranch lies within San Diego County Sheriff's master beat number 419, which is serviced from the Poway Sheriff's Station located on Pomerado Road in Poway. The station is approximately five miles from the project. Specific response times to the 4S Ranch are not available. However, the Sheriff's Department has indicated that in urbanized areas of the unincorporated area of San Diego, the current goal for response time to a priority call is 8 minutes or less. For all other calls, the current goal is 16 minutes or less. The Sheriff's Department has also indicated that the desirable law enforcement service level for unincorporated areas as a whole has been determined to be a 24-hour shift package consisting of 7 patrol deputies, 2 detectives, 1 supervisor and 1 clerical support staff for each 10,000 resident population. The Public Facility Element of the County General Plan contains a general goal of the County developing facilities to support a service level of 4 patrol shifts per day per 10,000 population, or service area equivalent for commercial / industrial land uses.

This amendment to the 4S Ranch Specific Plan identifies a 1.5-acre site on Rancho Bernardo Road immediately west of the fire station site for potential acquisition and development of a sheriff's station by the County. The provision of sheriff department personnel is funded through the County's general fund, revenues of which come largely from property taxes. 4S Ranch contributes its fair share toward police protection through the increased property tax valuation associated with the development. In the event that the County does not acquire the designated site and construct a sheriff's station within Phase 1A of the 4S Ranch development program as identified in this Specific Plan Amendment, the designated site will be considered released for commercial development pursuant to the commercial zoning.

Fire Service: The entire 3,525-acre 4S Ranch was annexed into the Rancho Santa Fe Fire Protection District (RSFFPD) in 1986. In September 1986, 4S Ranch and RSFFPD entered into an annexation agreement wherein 4S Ranch paid an annexation fee in excess of \$350,000.00, and RSFFPD agreed to provide fire protection, fire fighting services and medical response to the 4S Ranch. In addition to the annexation agreement, 4S Ranch and RSFFPD entered into a more specific agreement for the provision of fire protection, fire fighting services and facilities, and emergency medical response to the 4S Ranch. In general, that agreement obligates the 4S Ranch to construct, at its cost, a fire station of adequate and appropriate size to house a single fire truck and ambulance, and house two firefighters. In addition, 4S Ranch funded the purchase of the District's fire truck and reimburses the District

for costs and expenses in operating the station which exceed the District's share of the property taxes generated within the service area of the station as per the terms of the agreement.

In 1987, 4S Ranch and the RSFFPD entered into a subsequent agreement which provided a fire safety master plan and agreement for the provision of temporary fire protection facilities for the 634-acre portion of the 4S Ranch Specific Plan Area. Based upon that agreement, 4S Ranch constructed a temporary station located on a 1.2-acre site on Rancho Bernardo Road within the 2,891-acre portion of the 4S Ranch immediately adjacent to the 634-acre portion. The temporary station site was designed to allow for the construction of the permanent fire station facilities on that site while maintaining on-going fire service operations from the temporary facility. The existing station houses one fire truck, and three firefighters on 24-hour call. The firefighters have paramedic training. Automatic aid agreements for mutual fire protection support services have been made between the RSFFPD and the Cities of San Diego and Escondido, and the Rincon Del Dios Fire District.

In accordance with the September 1986 agreement, 4S Kelwood will be funding the construction of a permanent fire station on the existing fire station site with the development of the 2,891-acre 4S Ranch project. The specifications and specific timing of that station shall be determined based upon a further agreement with RSFFPD. In lieu of funding the construction of a permanent fire station on-site, 4S Kelwood may participate with other owners within the Santa Fe Valley Specific Plan Area to provide a permanent fire station within the eastern portion of the Santa Fe Valley SPA if approved by the RSFFPD. Such alternative fire station location and construction would be provided only upon the subsequent execution of an agreement between the affected property owners and RSFFPD. In the event that the permanent fire station is developed within the Santa Fe Valley SPA in lieu of the 4S Ranch, the designated 4S Ranch site will be considered released for commercial development pursuant to the underlying zoning.

Concurrent with the preparation of this Specific Plan Amendment, a Fire Protection Master Plan for the 4S Ranch 2,891-acre Specific Plan Area has been prepared and submitted to the RSFFPD for approval. That plan provides detailed fire protection standards for the development of the 2,891-acre portion of the 4S Ranch.

Solid Waste Collection: The County of San Diego does not provide collection service in the unincorporated area. Instead, under the current Solid Waste Ordinance, the unincorporated area is divided into 27 permit areas which coincide with the sub-regional census tract areas for the County. Private collectors are issued permits within each designated area.

Solid waste collection from all uses within the 634-acre portion of the 4S Ranch is being provided by the Mashburn Sanitation Company. Solid waste collection from all uses within the 2,891-acre portion of the 4S Ranch Specific Plan Area will similarly be provided by Mashburn. All recyclable materials and landscape vegetation will be collected separately curbside and recycled through appropriate providers.

Power and Gas: San Diego Gas and Electric (SDG&E) provides both gas and electric service to the 4S Ranch. SDG&E has long anticipated growth within the 2,891-acre 4S Ranch Specific Plan Area and adequate gas and electric facilities can be made available to serve the proposed development.

The 4S Ranch is served with power from the Bernardo SDG&E Substation located on Rancho Bernardo Road immediately adjacent to the eastern boundary of the 634-acre portion of the 4S Ranch. Two untapped electrical circuits have been reserved at the Bernardo SDG&E Substation to serve development to the west, including the 4S Ranch. SDG&E further plans to construct a new substation within the Black Mountain Ranch property to further serve anticipated new development in the City Future Urbanizing Area.

SDG&E has recently reinforced the regional grid system in the Scripps Ranch / Poway / Rancho Bernardo region through the installation of the new 69KV Tie Line 6920 from the Sycamore Canyon SDG&E Substation to the Bernardo SDG&E Substation. This new 69KV line provides additional power transmission capacity as well as emergency back-up distribution in the event of an outage within the grid system in the region. A portion of that new 69KV line crosses the 4S Ranch from east to west. The alignment of that line was coordinated between 4S Kelwood and SDG&E to occur along the north side of the Artesian Creek open space corridor in order to minimize the impact on the planned future residential development within the 4S Ranch.

As part of that new installation, SDG&E also relocated the existing 69KV transmission line which had existed along Rancho Bernardo Road to this new transmission corridor.

A complete underground power distribution network including all 12KV distribution lines was partially funded by 4S Ranch and installed by SDG&E as part of the initial development of the 634-acre portion of the 4S Ranch Specific Plan Area. This underground power distribution network will be extended in phases concurrent with development of the 2,891-acre portion of the 4S Ranch Specific Plan Area as per this Specific Plan Amendment.

SDG&E's gas system has reserve capacity sufficient to serve the demand created by the proposed development. A complete underground gas distribution network was partially funded by 4S Ranch and installed by

SDG&E as part of the initial development of the 634-acre portion of the 4S Ranch Specific Plan Area. This underground gas distribution network will be extended in phases concurrent with development of the 2,891-acre portion of the 4S Ranch Specific Plan Area as per this Specific Plan Amendment.

Telephone: Pacific Bell provides telephone service to all development in the general area of Rancho Bernardo, including the 4S Ranch. A complete underground telephone network was partially funded by 4S Ranch and installed by Pacific Bell as part of the initial development of the 634-acre portion of the 4S Ranch Specific Plan Area. This underground telephone network will be extended in phases concurrent with development of the 2,891-acre portion of the 4S Ranch Specific Plan Area as per this Specific Plan Amendment.

Parks and Recreation: The provision and implementation of both public and private parks and recreation facilities is discussed in detail in Chapters 2.5 and 3.3 of this Specific Plan Amendment.

All private parks and recreation facilities within the 4S Ranch Specific Plan Area as identified in this Specific Plan Amendment will be owned by a master homeowners association to be established for the community. All private parks will maintained by that master homeowners association or by a lighting and landscaping assessment district to be established for the community.

All public parks within the 4S Ranch Specific Plan Area as identified in this Specific Plan Amendment will be dedicated to the County. Improvements to public parks will use park in-lieu fees of \$667 per residential unit which will total over 3 million dollars for the Specific Plan. In 1976, the County formed a County Service Area, CSA 83, covering the San Dieguito Community Plan Area to provide funding for public park maintenance. The entire 3,525-acre 4S Ranch is within this existing CSA. This CSA was established with a maximum property tax rate of \$.05 per \$100 of assessed valuation. All public parks within the 4S Ranch Specific Plan Area will be maintained by the County utilizing funding provided through this CSA.

Animal Control, Libraries, Child Care, Courts and Jails, Social Services, Health, Senior Services, and County Administration: The 4S Ranch Phase 1 GPA Opportunities and Constraints Analysis Report prepared by Bryan Grunwald Associates contains a complete discussion of the facility levels and implementation measures contained in the Public Facility Element of the County General Plan for the services identified above, as those measures pertain to the 4S Ranch. With respect to new development proposals, the Public Facility Element in general directs the County to determine the relationships between new growth and the need for those services identified; to establish the legal and technical basis of a region-wide

development impact fee; and, to seek region-wide implementation of that impact fee.

Although no specific facilities associated with the public services identified above have been included within this 4S Ranch Specific Plan Amendment, nothing in the Specific Plan would preclude the County from siting public libraries, child care facilities, social service facilities, health service facilities, senior service facilities or County administration facilities within the 4S Ranch Specific Plan Area. With respect to the funding of facilities, no region-wide development impact fees have been established by the County or other jurisdictions at this time. New development within 4S Ranch will contribute its fair share through the increased property tax valuation associated with the development.

PART THREE

IMPLEMENTATION



CHAPTER 3.1 PROJECT PHASING AND FACILITY IMPLEMENTATION

DEVELOPMENT PHASING APPROACH AND PHASING FLEXIBILITY

The phasing described in this chapter is only one of many potential sequences in which the 4S Ranch project could be constructed. It is referenced to the economic, financial and market conditions expected during the buildout period of approximately 15 years and the necessary supporting infrastructure and public facilities for the residential and commercial areas. However, development in San Diego in recent years has had to respond to many rapidly changing conditions. For residential development there has been significant change in preference for unit types, lot sizes and configurations. This changing market is a major problem for projects like the 4S Ranch which anticipate a relatively long build-out period. A 4S Ranch project phasing plan is illustrated in Exhibit 3.1.1 and the residential phasing is tabulated in Exhibit 3.1.2. A summary of the projected facilities phasing is illustrated in Exhibit 3.1.3. An important characteristic of the project is that it has been designed to allow construction in many potential sequences and still be consistent with the full range of public facility requirements. The flexibility to modify the phasing plan to respond to changing conditions is essential for a successful project. Modifications to the phasing plan illustrated and described in this Chapter should be considered appropriate if the necessary public facilities and services are in place prior to development and the combination of the existing development, plus the next phase will continue to be a coherent, urban area that meets the established circulation and other appropriate standards for a developing area.

The implementation of the project will require that the developer work closely with a number of public agencies and service providers to ensure that they can efficiently provide services to the 4S Ranch and that construction activities for any required new facilities are coordinated with the development phasing. Coordination efforts will also address and seek to avoid the potential for conflicts between the activities of different agencies.

PHASE 1 - SECTION A INITIAL DEVELOPMENT OF NEIGHBORHOOD ONE

Phase 1 - Section A consists of the construction of designated portions of Neighborhood One and the Mixed-Use District and is illustrated in Exhibit 3.1.1. The portion of the Mixed-Use District includes the revegetation areas along Artesian Creek north of Camino del Norte and commercial site number 3 (See Chapter 2.2, Mixed Use District and Exhibit 2.2.8). The Section A development and associated public facilities are summarized below.

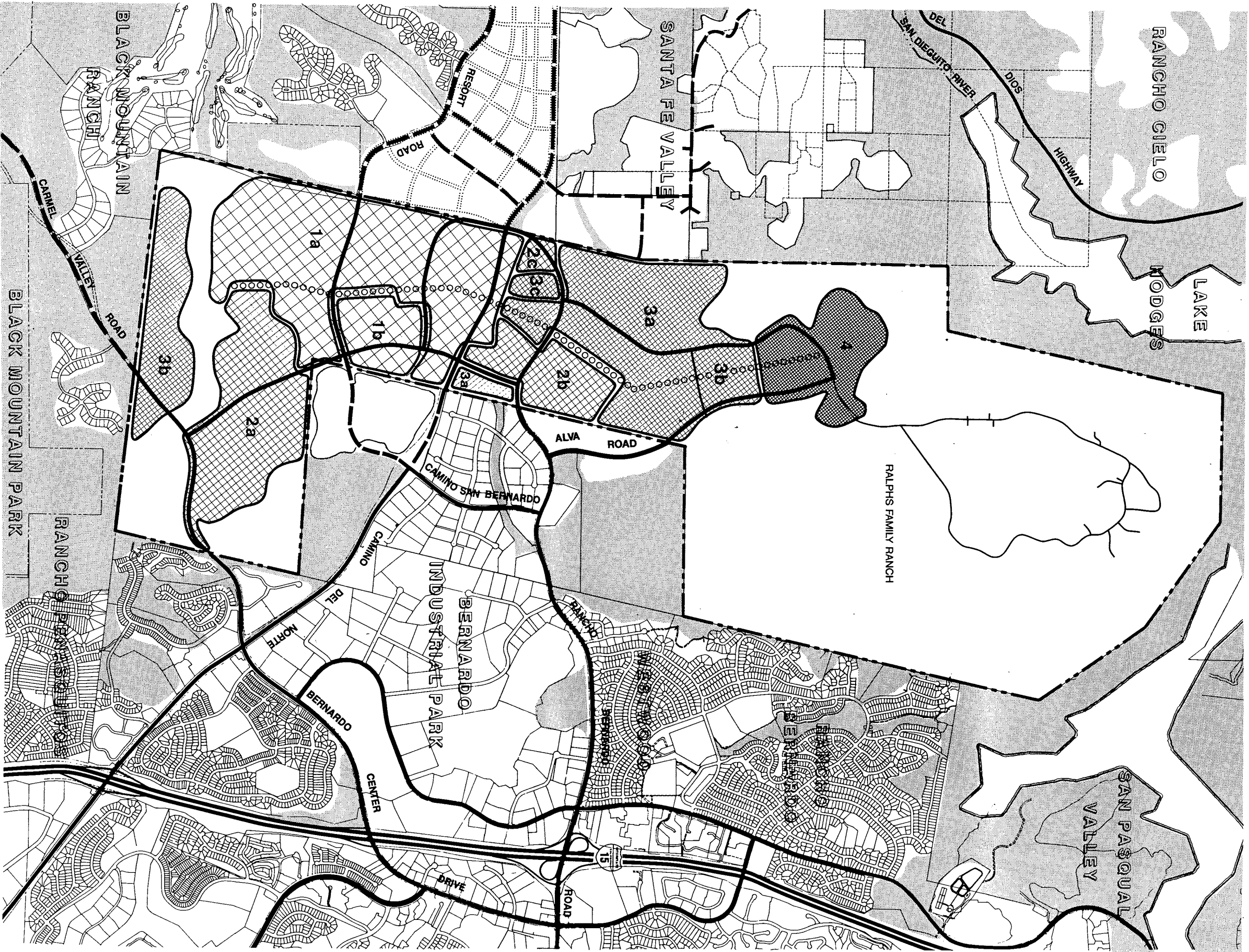
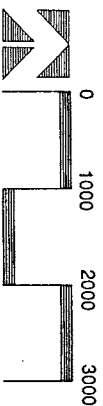


EXHIBIT 3.1.1 PROJECT PHASING

EXHIBIT 3.1.1
PROJECT PHASING

4S
Ranch



LEGEND

- | | | | |
|--|---------|--|------------------|
| | Phase 1 | | Major Roads |
| | Phase 2 | | 4S Ranch Parkway |
| | Phase 3 | | |
| | Phase 4 | | |

Ralphs Family Ranch can be constructed as part of any Phase 1-4

EXHIBIT 3.1.2
RESIDENTIAL PHASING

Phase Total	Single	Variable (SF&MF)	Multiple	Units
1A	820	285	0	1105
1B	80	200	120	400
Subtotal	900	485	120	1505
2A	475	0	0	475
2B	0	484	210	694
2C	0	0	155	155
Subtotal	475	484	365	1,324
3A	740	100	160	1000
3B	295	100	0	395
3C	0	0	155	155
Subtotal	1035	200	315	1550
4	325	0	0	325
Ralphs Family Ranch	11	0	0	11
TOTAL	2746	1169	800	4715

EXHIBIT 3.1.3
SUMMARY PUBLIC FACILITIES PHASING

FACILITY	PHASE ⁽¹⁾									
	1A	1B	2A	2B	2C	3A	3B South	3B North	3C	4
Schools										
Elementary School 1	●	●	●	●	●	●	●	●	●	●
Elementary School 2										
Public Parks										
Neigh. Park 1	●									
Community Park	●		●	●	●	●	●	●	●	●
Neigh. Park 3										
Neigh. Park 4										●
Onsite Roadways										
Camino Del Norte	●			●	●					
Rancho Bernardo Rd.	●			●	●					
Dove Canyon Road	●		●							
Lone Quail Road	●									
Camino San Bernardo	●	●				●				●
4S Ranch Parkway	●		●							
Bernardo Center Dr.			●			●	●	●		●
Dove Creek			●							
Ralphs Ranch Road						●				●
Alva Road						●				●
Cross Stone						●				●
Richard Road						●				
Offsite Roadways										
Camino Del Norte	●									
Camino San Bernardo/Camino Del Norte	●									
Rancho Bernardo Rd.	●									
Rancho Bernardo Rd./I-15 Ramps	●					●				
Rancho Bernardo Rd./West Bernardo Dr.	●		●							
Bernardo Center Dr.			●	●	●					
Camino Del Norte/I-15 Ramps			●	●	●					
Bernardo Center Dr./I-15 Ramps			●	●	●					
Camino Del Norte/Bernardo Center Dr.							●	●		
Water Service										
Exist. 10 mg Tank	●	●								
Offsite Pipelines			●	●	●	●	●	●	●	●
New 7 mg Tank										
Wastewater Treatment										
Exist. 0.6 mgd Cap. Relocated Spray Fields	●									
Lift Station #2										
Exp. 1.2 mgd Cap.		●								
Spray Fields Elim.			●							
Lift Station #3				●						
Exp. 1.8 mgd Cap.						●	●	●	●	●

(1) The phasing described in this summary is only one of many potential sequences in which the 4S Ranch project could be constructed. Modifications to the phasing plan illustrated in this summary should be considered appropriate if the necessary public facilities and services are in place prior to development and the combination of the existing development, plus the next phase will continue to be a coherent, urban area that meets the established circulation and other appropriate standards for a developing area.

The site preparation and construction of facilities may extend over several phases. The "●" designation indicates a projection of some level of construction activity for this facility. More detail is provided in the text of Chapter 3.1.

Number / Type of Dwelling Units

- 820 single-family
- 285 variable (single-family and/or multiple-family)

On-site Roadways

- Camino del Norte will be dedicated from the easterly property boundary to the westerly property boundary. Full-width improvements will be installed from the easterly property boundary to 4S Ranch Parkway.
- Rancho Bernardo Road will be dedicated and full-width improvements installed from the easterly property boundary to a temporary intersection with Black Mountain Road west of Dove Canyon Road. In addition, Rancho Bernardo Road will be dedicated from its intersection with Camino del Norte north to its connection with existing Black Mountain Road. On this road segment, full-width improvements will be graded and half-width improvements installed.
- Dove Canyon Road will be dedicated and full-width improvements installed from Rancho Bernardo Road to Lone Quail Road. If the Phase 1 - Section A commercial site located south of Camino del Norte and east of Dove Canyon Road is deleted from this phase, then the improvement of the portion of Dove Canyon Road south of Camino del Norte may be deleted.
- Lone Quail Road will be dedicated and full-width improvements installed from Dove Canyon Road to the intersection of Camino del Norte at the westerly property boundary. If the Phase 1 - Section A commercial site is deleted from this phase, then the improvement of the portion of Lone Quail Road east of Prairie Springs Road may be deleted.
- Camino San Bernardo will be dedicated and full-width improvements installed from Lone Hawk Drive to the westerly property boundary.
- 4S Ranch Parkway will be dedicated and graded from Camino del Norte to Dove Creek Road in Neighborhood Two. Full-width improvements will be installed from Camino del Norte to Deer Trail Drive. Full-width improvements will be installed

south of Deer Trail Drive if either Elementary School #1 or portions of the Community Park are constructed in Phase 1 Section A.

- Local residential streets will be dedicated and constructed as shown on implementing tentative maps within Phase 1 - Section A.

Off-site Roadways and Improvements

- Camino del Norte will be extended from its existing terminus at Camino San Bernardo to the easterly property boundary.
- Construct intersection improvements and extend ramps to the west to connect Camino San Bernardo to Camino del Norte from the existing overpass structure.
- Rancho Bernardo Road will be improved to a six-lane major facility from West Bernardo Drive to I-15 Southbound Ramps.
- Construct intersection improvements at Rancho Bernardo Road/I-15 Southbound Ramps.
- Construct intersection improvement at Rancho Bernardo Road/West Bernardo Drive.

Public Parks

- The neighborhood park in Neighborhood One will be graded and improved in accordance with plans approved by the County Parks and Recreation Department.
- The community park located in Neighborhood Two will be graded in accordance with an agreement between 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #1 site and street access will be improved and made available for school construction.

PHASE 1 - SECTION B COMPLETION OF NEIGHBORHOOD ONE

Phase 1 - Section B consists of the construction of designated portions of Neighborhood One and is illustrated in Exhibit 3.1.1. Section B is the remaining portion of Neighborhood One. Its development is contingent upon the relocation of the reclaimed wet weather storage reservoir off-site. Depending on the schedule for this relocation, development of this area may occur concurrent with Phase 1 - Section A or as part of Phase 2. The Section B development and associated public facilities are summarized below.

Number and Type of Dwelling Units

- 80 single-family
- 200 variable (single-family and/or multiple-family)
- 120 multiple-family

On-site Roadways

Dove Canyon Road will be dedicated and full-width improvements installed from Lone Quail Road to Camino San Bernardo. In addition, full-width improvements will be installed for any remaining unimproved portion of Dove Canyon Road north of Lone Quail Road.

- Camino San Bernardo will be dedicated and full-width improvements installed from Dove Canyon Road to Lone Hawk Drive.
- Local residential streets will be dedicated and constructed as shown on implementing tentative maps within Phase 1-Section B.

Off-site Roadways and Improvements

- No additional off-site public roadways or improvements are required beyond those identified in Phase 1 - Section A to complete this section of Phase 1 development.

Public Parks

- No public parks are associated with Section B. This phase is adequately served by parks dedicated and improved in Phase 1 - Section A.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #1 site and street access will be improved and made available for school construction.

PHASE 2 - SECTION A INITIAL DEVELOPMENT IN NEIGHBORHOOD TWO

Phase 2 - Section A consists of the construction of designated portions of Neighborhood Two and is illustrated in Exhibit 3.1.1. The areas of Neighborhood Two include all of the residential and open space areas north of the Lusardi Creek Community Park. Section A development and associated public facilities are summarized below.

Number / Type of Dwelling Units

- 475 single-family

On-site Roadways

- Dove Canyon Road will be dedicated and full-width improvements installed from Camino San Bernardo to Bernardo Center Drive.
- Bernardo Center Drive will be dedicated as a six-lane prime arterial public road easement and four-lane full-width improvements installed from Dove Canyon Road to the easterly property boundary to connect to the existing Bernardo Center Drive.
- Dove Creek Road will be dedicated and full-width improvements installed from Dove Canyon Road to 4S Ranch Parkway.
- 4S Ranch Parkway will be improved from Dove Creek Road to Deer Trail Drive if not already completed as part of Phase 1 - Section A or B.
- Local residential streets will be dedicated and constructed as shown on implementing tentative maps within Phase 2 - Section A.

Off-site Roadways and Improvements

- Bernardo Center Drive will be extended from its existing terminus at Camino Crisalida to the easterly property boundary and the intersection of Bernardo Center Drive and Camino Crisalida improved as necessary to accommodate the Bernardo Center Drive extension.
- Construct partial intersection improvements at Camino del Norte/I-15 Southbound Ramps.

Public Parks

- A portion of the community park located in Neighborhood Two will be improved in accordance with an agreement between the 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #1 site and street access will be improved and made available for school construction.

PHASE 2 - SECTIONS B & C MIXED-USED DISTRICT AND INITIAL DEVELOPMENT IN NEIGHBORHOOD THREE

Phase 2 - Sections B & C consist of the construction of designated portions of the Mixed-Use District and Neighborhood Three and is illustrated in Exhibit 3.1.1. The areas of the Mixed-Use District include the retail center near the corner of Rancho Bernardo Road and Dove Canyon Road, the commercial sites numbers 4 and 5, and the initial portion of the multi-family residential on the west side of the district south of Rancho Bernardo Road. The area of Neighborhood Three included in this phase is generally north of Rancho Bernardo Road and east of 4S Ranch Parkway. The Sections B & C development and associated public facilities are summarized below.

Number / Type of Dwelling Units

- 484 variable (single-family and/or multiple-family)
- 365 multiple-family

On-site Roadways

- Rancho Bernardo Road will be dedicated and full-width improvements installed from the point where dedication and improvements were completed in Phase 1 - Section A west to the intersection with Camino del Norte.
- With the development of multiple-family residential in Phase 2 - Section C, Camino del Norte full-width improvements will be installed from 4S Ranch Parkway west to the intersection with Rancho Bernardo Road/Lone Quail Road.
- Local residential streets will be dedicated and constructed as shown on implementing tentative maps within Phase 3. This may include portions of 4S Ranch Parkway and Albert Avenue as part of residential development in Phase 2 - Section B.

Off-site Roadways and Improvements

- Construct intersection improvements at Bernardo Center Drive/I-15 Northbound Ramps.
- Construct partial intersection improvements at Camino del Norte/I-15 Southbound Ramps.
- Construct intersection improvements at Camino del Norte/I-15 Northbound Ramps .

Public Parks

- The neighborhood park located in Neighborhood Three may be graded and improved in accordance with an agreement between the 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #2 site and street access will be improved and made available for school construction.

PHASE 3 - SECTION A MIXED-USE DISTRICT AND COMPLETION OF NEIGHBORHOOD THREE

Phase 3 - Section A consists of the construction of designated portions of Neighborhood Three and portions of the Mixed-Use District and is illustrated in Exhibit 3.1.1. The area of the Mixed-Use District includes the central portion around the extension of the 4S Ranch Parkway and commercial sites numbers 1 and 2.

One of the commercial sites includes the location of the temporary fire station/designated permanent fire station site, and the proposed Sheriff's substation site. Although designated in Phase 3 - Section A, the requirements of the Fire District for a permanent station or market demand for commercial sites may indicate an earlier or later development sequence. The Section A development and associated public facilities are summarized below.

Number and Type of Dwelling Units:

- 740 single-family
- 100 variable (single-family and/or multiple-family)
- 160 multiple-family

On-site Roadways

- Ralphs Ranch Road will be dedicated and full-width improvements installed from Rancho Bernardo Road to Cross Stone Road (the boundary road between Neighborhoods Three and Four).
- Alva Road will be dedicated and full-width improvements installed from its existing terminus at the easterly property boundary to Cross Stone Road.
- Cross Stone Road will be dedicated and full-width improvements installed from Ralphs Ranch Road to Alva Road.
- Richard Road will be dedicated and full-width improvements installed if required to provide access to the potential site for a Middle School located in the Santa Fe Valley Specific Plan area.

- 4S Ranch Parkway will be dedicated and full-width improvements installed from Rancho Bernardo Road to Cross Stone Road.
- Local residential streets will be dedicated and constructed as shown on implementing tentative maps within Phase 3 - Section A.

Off-site Roadways and Improvements

- Construct intersection improvements at Camino del Norte/Bernardo Center Drive.

Public Parks

- The neighborhood park located in Neighborhood Three will be improved in accordance with an agreement between 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #2 site and street access will be improved and made available for school construction.

PHASE 3 - SECTION B COMPLETION OF NEIGHBORHOOD TWO

Section B of Phase 3 consists of the construction of designated portions of Neighborhood Two and Neighborhood Three and is illustrated in Exhibit 3.1.1. The section of Neighborhood Two includes all of the residential areas south of the Lusardi Creek Community Park. The section of Neighborhood Three includes the remaining residential development of this neighborhood. The Section B development and associated public facilities are summarized below.

Number and Type of Dwelling Units:

- 295 single-family
- 100 variable (single-family and/or multiple-family)

On-site Roadways

- Bernardo Center Drive will be dedicated as a six-lane prime arterial public road easement and four-lane improvements

installed from Dove Canyon Road to the southerly property boundary.

- Local residential streets will be dedicated and constructed as shown on implementing tentative maps within Section B.

Off-site Roadways and Improvements

- No additional off-site public roadways or improvements are required beyond those identified in Phase 3 - Section A and prior phases to complete this section of Phase 3 development.

Public Parks

- The final portion of the community park located in Neighborhood Two will be improved in accordance with an agreement between 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #2 site and street access will be improved and made available for school construction.

PHASE 3 - SECTION C COMPLETION OF MIXED-USE DISTRICT

Phase 3 - Section C consists of the construction of designated portions of the Mixed-Use District and is illustrated in Exhibit 3.1.1. This area of the Mixed Use District includes the completion of the remaining portion of the multi-family residential on the west side of the Mixed-Use District south of Rancho Bernardo Road. The Section C development and associated public facilities are summarized below:

Number and Type of Dwelling Units

- 155 multiple-family

On-site Roadways

- There are no additional on-site public roadways required to complete this Section of Phase 3 development.

Off-site Roadways and Improvements

- No additional off-site public roadways or improvements are required beyond those identified in Phase 3 - Section A and prior phases to complete this Section of Phase 3 development.

Public Parks

- The final portion of the community park located in Neighborhood Two will be improved in accordance with an agreement between 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #2 site and street access will be improved and made available for school construction.

PHASE 4 - NEIGHBORHOOD FOUR

Phase 4 consists of the construction of Neighborhood Four and is illustrated in Exhibit 3.1.1. The Phase 4 development and associated public facilities are summarized below.

Number / Type of Dwelling Units

- 325 single-family

On-site Roadways

- Ralphs Ranch Road will be dedicated and full-width improvements installed from Cross Stone Road to the boundary of the Ralphs Family Ranch.
- Alva Road will be dedicated and full-width improvements installed from Cross Stone Road to Ralphs Ranch Road.
- 4S Ranch Parkway will be dedicated and full-width improvements installed from Cross Stone Road to Ralphs Ranch Road.

- Local residential streets will be dedicated and constructed as shown on implementing tentative maps in Phase 4.

Off-site Roadways and Improvements

- No additional off-site public roadways or improvements beyond those identified in prior phases are required to complete this phase of development.

Public Parks

- The neighborhood park located in Neighborhood Four will be graded and improved in accordance with an agreement between 4S Ranch and the County Parks and Recreation Department.

Schools

- When required by the Poway Unified School District, and in accordance with an agreement between 4S Ranch and the District, the southern Elementary School #2 site and street access will be improved and made available for school construction.

RALPHS FAMILY RANCH

This phase consists of the construction within the Ralphs Family Ranch. A total of 11 units including the existing ranch house are permitted. Legal access is now provided by the existing ranch road. Future access will be maintained by the retention of the existing ranch road or new roadways in Neighborhoods Three and Four. A tentative map application has been filed for this phase, and all or a portion of the Ralphs Family Ranch could be developed at any time. The development of the ten new residential units in the Ralphs Family Ranch are not dependent on any other phase of the 4S Ranch described above, nor on any major public on-site or off-site improvement associated with any development phase as described in this Specific Plan Amendment.

WASTEWATER COLLECTION, TREATMENT AND DISPOSAL

Phasing

The existing 4S Wastewater Reclamation Facility has an existing capacity of 0.25 mgd, a wet weather storage capacity of 74 acre feet and existing spray fields of approximately 35 acres. The existing Major Use Permit allows for expansion of the treatment plant capacity to 0.6 mgd. The MUP

also allows for expansion of the wet weather storage reservoir to 165 acre feet and the spray fields to 150 acres; both expansions corresponding to the 0.6 mgd capacity.

The permitted treatment plant capacity of 0.6 mgd is adequate to accommodate its current commitments within the 634-acre portion of the 4S Ranch which include buildout of the 4S Business Park, the existing Boulders residential project east of Alva Road, the future development of the residential parcel west of Alva Road and the Christopherhill Project; plus, the Phase 1 - Section A development of the 2,891-acre portion of the 4S Ranch.

Upon commencement of grading of Phase 1 - Section A, the spray fields will be relocated to the area in Neighborhood Two corresponding to Phase 2 - Section A. (Refer to Modification of Major Use Permit Plot Plan.) During development of Phase 1 - Section A the existing wet weather storage reservoir will be expanded to the previously approved 165 acre feet capacity when required by the 4S Ranch Sanitation District.

The development of Phase 1 - Section B and Phases 2, 3 and 4 will require an agreement with OMWD and, as part of that agreement, construction of pipelines to convey off-site the reclaimed water not used for on-site irrigation. (Up to 0.6 mgd may be used on-site.) This will allow the elimination of the on-site wet weather storage reservoir and spray fields. Those sites would then be developed with residential uses.

Beginning with Phase 1 - Section B, the treatment plant capacity will be expanded in phases to a total capacity of 1.8 mgd as required to serve the development phasing. A technical report describing those phased expansions has been prepared by Montgomery Watson Consulting Engineers dated March, 1996. The first phase of expansion and all phases thereafter will treat the wastewater to tertiary standards. These expansions can be constructed within the site allocated for the Wastewater Treatment Facility in this Specific Plan Amendment, along with the screening berms and landscaping.

A total of three lift stations are part of the wastewater collection system on the 4S Ranch. Lift Station #1 is the existing facility located near the corner of Rancho Bernardo Road and Dove Canyon Road. This station will remain to serve new development on the 4S Ranch and the 634-acre portion of the 4S Ranch Specific Plan. Lift Station #2 is located in the Lusardi Creek Community Park near the boundary between the active and natural park areas. It will be constructed with the development of Phase 1 - Section A. Lift Station #3 is located in Neighborhood Three west of Ralphs Ranch Road. It will be constructed with development of Phase 2 - Section B or C based on final design of those portions of the Specific Plan.

Implementation

The developer will work closely with the 4S Ranch Sanitation District in the planning and construction of both the interim and permanent wastewater facilities.

Prior to the recordation of any Final Map within the 2,891-acre area, the 2,891-acre property shall be annexed into the 4S Ranch Sanitation District.

Prior to the recordation of the first Final Map and approval of any grading permits in Phase 1 - Section A of the Phasing Plan, the Major Use Permit for the existing wastewater treatment facility shall be modified so that, on an interim basis, the spray fields are allowed to be relocated.

Prior to the approval of any Final Map for commercial or residential development within Phase 1 - Section B, Phase 2 - Sections A, B, or C, Phase 3 - Sections A, B, or C, or Phase 4 of the Phasing Plan all Use Permit conditions relating to the offsite wet weather storage and disposal of treated water shall be satisfied.

DOMESTIC WATER STORAGE AND DISTRIBUTION

Phasing

The agreement with the Olivenhain Municipal Water District (OMWD) allows the use of the existing interim connection point to the Ramona Pipeline near Black Mountain Road and the existing 10 million gallon tank east of the 4S Ranch. These domestic water facilities will be adequate to serve Phases 1A and 1B. Development of the 4S Ranch beyond these phases will require the design and construction of both on-site and off-site water transmission pipelines, an on-site distribution system and an on-site 7 mgd storage tank located in Neighborhood Three. These facilities will be constructed in phases in accordance with an agreement between 4S Ranch and OMWD to assure adequate domestic water and fire flows for each development phase.

Implementation

The developer will work closely with the Olivenhain Municipal Water District (OMWD) in the planning for construction of water services. The 2,891 acres has already been annexed into the district and the previously constructed onsite facilities are adequate to serve the development through the implementation of Phases 1 - Section A and Phase 1 - Section B of the Phasing Plan.

Prior to the approval of any implementing tentative map or recordation of any final map for commercial or residential development within Phase 2 - Sections A, B, or C, Phase 3 - Sections A, B, or C, or Phase 4, the developer shall enter into a binding agreement with OMWD to provide adequate phased on-site and off-site facilities to serve the development phases.

FIRE PROTECTION

Phasing

The agreement with the Rancho Santa Fe Fire Protection District obligates the 4S Ranch to construct a permanent on-site fire station. The designated site for the permanent fire station is located in the Mixed-Use District on commercial site 1. (Refer to Exhibit 2.2.8.) This site currently is the location of the temporary fire station and has been designed to allow for continuous fire service operations from the temporary facility during construction of the permanent facility. Absent any revision to the agreement with the Fire District relating to the proposed Santa Fe Valley station discussed below, the 4S Ranch permanent station will be built at the designated location on the 4S Ranch. The specific details and timing of the construction of the permanent station will be determined based upon a subsequent agreement between the 4S Ranch and the Fire District.

There has been an ongoing discussion regarding a potential station in the Santa Fe Valley Specific Plan area to serve the 4S Ranch and Santa Fe Valley. In the future, the Fire District may waive or amend the agreement with 4S Ranch based on completion of a satisfactory agreement for the construction of a permanent fire station on an alternative site in Santa Fe Valley, should the Santa Fe Valley Specific Plan be adopted by the County Board of Supervisors. Under this alternative, the 4S Ranch would contribute its fair share proportion to the construction of that facility in lieu of constructing a permanent station on-site. The specific details, funding requirements, and timing of the construction of the Santa Fe Valley Station would be determined based upon a subsequent agreement between the 4S Ranch, Santa Fe Valley property owners, and the Fire District.

Implementation

Fire protection and emergency rescue services will be provided by the Rancho Santa Fe Fire Prevention District (RSFFPD). The 2,891 acre site has previously been annexed into the RSFFPD and the developer has an agreement with the RSFFPD to provide a permanent fire station at the southeast corner of the intersection of Rancho Bernardo Road and Dove Canyon Road. In addition, the agreement with the district states that the facilities provided by the developer are in lieu of the fire mitigation fee

normally required at the Building Permit stage. RSFFPD is considering an alternate location for the 4S Ranch fire station in the Santa Fe Valley Specific Plan area. Should RSFFPD determine that such a location is preferable, an amendment to the existing agreement may be required to address both the nature and location of the permanent facility. It is anticipated that such an amendment, if required, will be executed prior to the recordation of any Final Map within the 2,891-acre area.

SCHOOLS

The entire site is within the Poway Unified School District (PUSD). Prior to the approval of the Specific Plan, the developer and PUSD shall conclude a mitigation agreement that assures adequate funding, per the State allocation method, for the construction of the required school facilities in proportion to the total anticipated students generated within the 2,891-acre portion of the 4S Ranch Specific Plan Area; or, the developer shall comply with the then prevailing state law on school fees for mitigation of project impacts.

Elementary Schools

It is anticipated that PUSD will acquire the southern elementary school site concurrent with the development of Phase 1 - Section A, and will construct the school concurrent with the development of Phase 1 - Section A or Section B.

It is further anticipated that PUSD will acquire the northern elementary school site concurrent with the development of Phase 3 - Section A, and will construct the school concurrent with the development of Phase 3 - Section A, or sooner.

Middle School and High School

The PUSD has prepared a Long-Range Master Plan for school facilities within the district. This master plan has identified a need for a middle school and high school within the district boundaries in the general area of the 4S Ranch, eastern portion of the Santa Fe Valley Specific Plan and northeast portion of Black Mountain Ranch. The site selection process is at the sole discretion of the PUSD. At this time a final decision has not been made on a specific site for either school. It is envisioned that both the middle school and high school will be located within an approximately 1 ½ mile radius of the 4S Ranch Mixed Use District.

LIBRARY

The 4S Ranch Specific Plan does not identify a specific site for a branch library facility. If a branch library is required the most appropriate site is seen to be in the Mixed Use District-Town Square area. This would be adjacent to other community facilities and services and also the most convenient location for pedestrians and bicyclists.

The County may, at its discretion, acquire a freestanding library site in the Mixed Use District. A library is one of the land uses permitted within the Mixed Use District (Refer to Part Two - Chapter 2.2). However, the developer of the commercial center within the Mixed Use District will be required to offer the County a market rate lease on a storefront type space for a branch library. The space will be up to the size required for the residents of the 4S Ranch Specific Plan Area; calculated to be 5,110 square feet.

ROADS

Major On-site Roads

The on-site roads will be dedicated and constructed as required to serve the project at each phase of development and in accordance with the condition established by the discretionary approval process. The major roads that are to be constructed with each development phase are described in detail in this chapter.

Off-site Road and Intersection Improvements

The off-site roads and intersection improvements will be constructed in accordance with the condition established by the discretionary approval process. The major off-site roads and intersection improvements that are to be constructed with each development phase are described in detail in this chapter.

TRANSIT FACILITIES

Transit services will be provided by the Metropolitan Transit Development Board. The current transit plans envision the creation of a transit corridor along I-15 consisting of some combination of light rail, express bus and high occupancy vehicle lanes. The planning for this transit corridor is still underway. The most likely transit stops are shown adjacent to Neighborhood One Park and in the Mixed Use District near the 4S Ranch Parkway and Neighborhood Three. This second area contains the highest

residential densities as well as the commercial and retail center of the community. These transit stops will be included in the site planning associated with the Major Use Permit for the Mixed Use District and the site planning for the Neighborhood Park pursuant to a subsequent agreement between 4S Ranch and the County Parks and Recreation Department. These two areas will be reserved for MTDB until such time that MTDB determines the sites are no longer needed as a site for a transit stop.

PARKS AND OPEN SPACE

The applicant will work closely with the County Department of Parks and Recreation to coordinate the design and implementation of the public parks system within the 4S Ranch. Improvements to the public parks will use park in-lieu fees of \$667 per residential unit which will total over 3 million dollars for the Specific Plan. The Specific Plan identifies the size and location of parks and illustrates a concept for the park design.

Neighborhood Parks

Prior to the recordation of Unit 1 of the first Final Implementing Map 5067, the developer shall enter into an agreement with the Department of Parks and Recreation regarding the dedication and improvement of all public parks proposed by the specific plan. The agreement shall provide for the phasing of improvements, contributions and plans.

Community Park

Concurrent with the recordation of the first Final Map for residential development in Phase 2 - Section A or Phase 3 - Section B, the developer shall obtain approval of a Major Use Permit as required by the County Zoning Ordinance.

Concurrent with the development of Phase 1 - Section A, a grading permit may be granted for preliminary grading of the elementary school site and improved portions of the Community Park located within Neighborhood Two without the requirement for a prior approved Use Permit.

Open Space

Open Space easements over open space areas within each neighborhood, which have been made a condition of approval of the Specific Plan, shall be granted as required by individual Tentative Map.

Private Parks

Private parks including neighborhood greens, linear park and pocket parks will be constructed at the same time as the development of the area surrounding the private park site.

CHAPTER 3.2 NEIGHBORHOOD IMPLEMENTATION

INTRODUCTION

The previous chapter described the overall relationship between the different development phases of the Specific Plan. This chapter discusses the specific processes required to implement the development described in this Specific Plan text. In general there are two different types of processes required to implement the plan. The Legislative process includes the Reclassification (rezoning) of the site to accommodate the development described by the Specific Plan text. The Discretionary process includes the applications necessary to subdivide the site, obtain Major Use Permits, or Site Plans required by the Specific Plan or Zoning, and any Administrative Permits that may be required.

LEGISLATIVE ACTIONS

Rezone

In order to implement the Specific Plan text for the neighborhoods within the specific plan, the existing S-88 Specific Plan Area Use Regulation will need to be replaced with a number of other Use Regulations as described below:

Residential: The RS (Residential Single-Family) and RV (Residential Variable) RM (Residential Multi-Family) Residential Use Regulations will, with one exception, implement the areas identified for urban residential uses in the plan text. The RS Use Regulation when applied will not allow the multi-family building type. Where implementing Residential Use Regulations allow lots less than 5,000 square feet, a "D" Designator shall be placed into the Special Area Regulator to require Site Design Review. The RV Use Regulation when applied allows for either single or multi-family building types and densities ranging from 7 to 18 dwelling units per acre. The two RV subareas adjacent to the 4S Ranch Parkway, north of the Mixed Use District will include the "V" Setback Designator to establish front yard setbacks. The RM (Residential Multi-Family) Use Regulation only allows the multi-family residential building type at a density of 29 dwelling units per acre. The RM Use Regulations requires the application of both the "V" Setback, and "D" Special Area Regulators. These designators will require the approval of a Site Plan prior to the granting of any ministerial permits.

Ralphs Family Ranch: In order to implement the Specific Plan text for the Ralphs Family Ranch, the existing S-88 Specific Plan Area Use Regulation will have to be replaced with the A-70 (Limited Agricultural) Use Regulation. This Use regulation will include a Lot Size Designator requiring a minimum parcel size of 20-acres. The density designator will be calculated to

accommodate the eleven single family residential parcels called for in the specific plan text.

Commercial-Residential Uses: The parcel located south of the Wastewater Treatment Plant and east of Dove Canyon Road shall be rezoned to the C-34 (Commercial-Residential) Use Regulation. This Use Regulation shall include a density designator of 18.0 dwelling units per acre to accommodate the potential development of the site with up to 120 multi-family housing units. The Zoning Ordinance requires the approval of a Site Plan for any residential and civic development prior to permits being granted.

Mixed Use District: In order to implement the Specific Plan text for the Mixed-Use District, the existing S-88 Specific Plan Area Use Regulation will have to be replaced with Commercial Use Regulations as described below:

Mixed Use Core Area - The Mixed Use Core shall be rezoned to the C-34 (General Commercial-Residential) Use Regulation. This Use Regulation shall initially include a density designator of 8.0 DU/acre to accommodate the development of as many as 310 multi-family housing units. As noted elsewhere in this text, the core area is a "receiving" area for residential unit transfers. In order to exceed the 310 multi-family units a reclassification adjusting the density designator must be approved by the County. The Use Regulation requires the approval of a Planned Commercial Development use permit prior to any development permits being granted (see below).

Commercial Sites 1-4 - The commercial areas east of the core area and north of Camino del Norte (see Exhibit 2.2.8) shall be rezoned to the C-35 (General Commercial-Limited Residential) Use Regulations. This will permit these individual parcels to develop commercial uses supporting the uses within the core commercial area. The commercial area east of the core and south of Camino del Norte shall be rezoned to the C-36 Use Regulation. This Use Regulation will also allow uses supporting those in core area, but more appropriate to the location on Camino del Norte.

Commercial Site 5 - The small commercially designated area west of the core and north of Rancho Bernardo Road (see Exhibit 2.2.8) shall be rezoned to the C-35 (General Commercial - Limited Residential) Use Regulation.

Wastewater Treatment Plant: The parcel upon which the Wastewater Treatment plant is located shall be reclassified to the C-38 (Service Commercial) Use Regulation. The regulators in the Zone Box shall recognize and accommodate the planned uses of the site as identified by the Major Use Permit.

Open Space and Parks: The slope and open space area north of Lusardi Creek, Artesian Creek and the open space areas north of Neighborhood 4 shall be reclassified to the S-80 (Open Space) Use Regulation.

Residential Unit Transfers

The transfer of residential units within the 4S Ranch Specific Plan is limited in scope and is described in Chapter 2.4. The residential unit transfer program allows the transfer, from primarily developed areas, of allowed but unbuilt single-family, variable or multi-family residential units to one of two specific receiving areas. These receiving areas have been identified as being capable of accommodating additional units while achieving the compact, transit adaptable community envisioned for 4S Ranch. The RV (Residential Variable) parcels of Neighborhood Three are designated by the Specific Plan as "receiving" areas for the transfer of residential units which have not been used in previously developed phases. All subsequent proposals to transfer units shall propose to both increase the number of units of the "receiving" site and, if required, decrease the number of units of the "sending" site through a rezone.

The Mixed-Use District is designated by the Specific Plan as a "receiving" area for the transfer of residential units which have not been used in previously developed phases. All proposals to transfer units shall propose to both increase the number of units of the "receiving" site and, if required, decrease the number of units of the "sending" site through a rezone.

DISCRETIONARY ACTIONS

Subdivision

Residential Areas: In order to implement the Specific Plan text, the property may be subdivided by a "master", and/or "implementing" tentative maps. Master tentative maps when recorded create a number of large lots which can be sold and developed with the uses permitted by the Specific Plan and zoning. If subdivided by a master tentative map, the areas planned for single-family residential development will require additional implementing maps to create the individual lots sold to the retail consumer. In areas which allow either single or multi-family housing types, additional implementing subdivision maps may be required depending upon the type of housing proposed.

Mixed Use Core: If the Mixed-Use Core area is created as a legal lot by a master tentative map, the Mixed-Use Core will require additional implementing maps to create the individual parcels to be sold to individual commercial developers unless the entire core area is developed at one time.

Major Use Permit

Wastewater Treatment Facility: The existing Wastewater Treatment Facility's Use Permit shall be modified in order to allow the first phase of development to proceed. The modifications to the plant will be phased such that the development of Phase 1-A of the Specific Plan can proceed with the completion of the required improvements to the first phase of modifications to the plant which include the relocation of the spray fields, and the increase in the capacity of the existing wet weather storage pond. The development of all subsequent phases of the Specific Plan will require the construction and approval of all required permits for the second and final phase of modifications to the Use Permit. The Use Permit shall be conditioned to ensure that any significant noise, odor and visual impacts to the adjacent properties are adequately mitigated.

Mixed Use District: The Mixed Use District is comprised of four general areas; a Community Retail Area, a Mixed Use Core, a Multi-family Residential Area, and individual commercial sites 1-5 (Exhibit 2.2.8). It is expected that several builders will likely be involved in the construction of the Community Retail Area, Mixed Use Core and Multi-family Residential. It is also expected that there may be different builders for each of the individual commercial sites 1-5. In order to implement the Specific Plan, a Major Use Permit for all of the Mixed Use District, except the individual commercial sites 1-5, will be applied for and granted pursuant to the requirements of the County Zoning Ordinance. The Major Use Permit may be phased to allow these three components; Community Retail Area, Mixed Use Core, and Multi-family Residential; to be implemented in separate construction stages. Any areas shown for future development on the Major Use Permit will require a subsequent modification to the Major Use Permit prior to development and until that modification occurs, development will be shown as consistent with the concept plan included in the Specific Plan.

The Town Square is a private park located in the Mixed Use Core which will be owned and maintained either by the commercial developer/owner or a commercial business owners association for the Mixed Use Core area. It will be the sole responsibility of the developer of the Mixed Use Core to implement the Town Square in accordance with the Specific Plan guidelines and the Major Use Permit.

Lusardi Creek Community Park: In order to implement the Specific Plan text, a Major Use Permit for the Lusardi Creek Community Park will be applied for and granted pursuant to the requirements of the County Zoning Ordinance. The community park shown in Neighborhood Two will require the granting of a Major Use Permit in order to allow for the grading, improvement and dedication of the park to the County. The Major Use Permit for the park may be phased to allow the park to be implemented in several construction stages. The entire park will be included in the first "Implementing" Tentative Map for residential development in Neighborhood Two and dedicated with

the recordation of the first "Implementing" Final Map in Neighborhood Two. The Major Use Permit shall be approved prior to the recordation of the first "Implementing" Final Map in Neighborhood Two. The improvement of the park and any facilities will be as required by the permit and a subsequent agreement between the developer and the Director of Parks and Recreation.

Local Park: A Major Use Permit, if required by the Department of Planning and Land Use, will be applied for and granted for the neighborhood park shown in Neighborhood One in order to allow the grading, improvement and dedication of the park to the County. The park will be included in the first "Implementing" Tentative Map for residential development in Neighborhood One and dedicated with the recordation of the first "Implementing" Final Map in Neighborhood One. The Major Use Permit, if required, shall be approved prior to the recordation of the first "Implementing" Final Map in Neighborhood One. The improvement of the park and any facilities will be as required by the permit and a subsequent agreement between 4S Ranch and the County Parks and Recreation Department.

Religious Assembly: Certain areas within Neighborhood One, Neighborhood Three and the Mixed Use Core have been identified in Chapter 2.2 of this text as being potentially suitable for a church or other place of religious assembly. If such a use is proposed in a location authorized by the text, approval of a Major Use Permit shall be required.

Site Plan

In order to implement the Specific Plan, Site Plans will be required for certain areas within the specific plan as described below:

RS Residential: Residential single family (RS) zoned parcels which allow lots less than 5,000 square feet shall include both the "V" Setback and the "D" Special Area Regulators in the Zone Box. These designators require the approval of a Site Plan prior to the granting of any development permits. The "V" Setback Designator will be applied to allow the Site Plan to propose building setbacks developed for each site. The "D" Designator will be applied because the Specific Plan in authorizing single-family housing types on parcels less than 5,000 square feet housing types, recognizes that intensive residential housing requires special design consideration. The objective of the Site Plan is to ensure that specific consideration be given to building setbacks; lot widths; the orientation of buildings and/or access to the adjacent streets and neighborhood park and greens; and, the orientation of buildings to each other where appropriate, consistent with the design guidelines outlined for this neighborhood in Chapter 2.2.

Commercial-Residential: The area adjacent to and south of the Wastewater Treatment Facility will be reclassified to the C-34 General Commercial-Residential Use Regulation. This Use Regulation (Section 2341) requires the approval of a Site Plan for any commercial development prior to the granting

of any grading permits. This area can be developed to either commercial or multi-family residential uses. The objective of the commercial Site Plan is to ensure that the developed areas are located and oriented in such a way as to minimize any significant, adverse visual impacts resulting from this location adjacent to the Wastewater Treatment Facility.

Subdivision Adjacent to Santa Fe Valley Specific Plan: The single-family residential parcel located adjacent to the Santa Fe Valley Specific Plan shall include the "D" Special Area Regulator in the Zone Box. The "D" Designator will require the approval of a Site Plan concurrently with approval of the Tentative Map for the subdivision of the parcel. The objective of the Site Plan is to ensure that the subdivision of this area conforms with and incorporates the design criteria relating to the lot layout, use of landscape buffering and trails as identified in Chapter 2.2.

RM Residential: The parcels designated for multi-family residential development are each required to be developed pursuant to a Site Plan. Both parcels may be included in one Site Plan. The RM Use Regulation applied to both parcels shall include both the "V" Setback and the "D" Special Area Regulator in the Zone Box. These designators require the approval of a Site Plan prior to the granting of any ministerial permits. The "V" Setback Designator will be applied to allow the Site Plan to propose building setbacks developed for each site. The "D" Designator will be applied because the Specific Plan in authorizing multi-family housing recognizes that intensive residential housing requires special design considerations.

Other Actions

Grading Permit: In order to implement the Specific Plan in Neighborhood One, it will be necessary to file for and obtain rough grading permit(s) not only for the grading of Neighborhood One but for the elementary school and community park sites in Neighborhood Two; and, for the grading associated with the construction of portions of Camino del Norte, Rancho Bernardo Road, Dove Canyon Road, and the commercial sites on the southeast and northwest corners of Camino del Norte and Dove Canyon Road within the Mixed-Use District.

Agricultural Preserve: The existing Agricultural Preserve (Number 60) boundary may be modified such that it will only include the area designated as the Ralphs Family Ranch. Agricultural Preserve contracts may be applied for any property within the modified agricultural preserve.

Administrative Permit: In order to insure that common open space areas are maintained it will be necessary to file for and obtain an administrative permit to establish that the homeowners association will be responsible for the open space.

CHAPTER 3.3 AFFORDABLE HOUSING IMPLEMENTATION

INTRODUCTION

The voluntary affordable housing program identified herein is in response to the planning principles for the project as specified in Chapter 1.2 and the guiding principles for housing specified in Chapter 2.4. This program has been structured to allow the phased development of affordable units in an economically feasible manner. This program represents the voluntary commitment of the developer to providing affordable housing. A more detailed affordable housing plan will be prepared and submitted for approval as stipulated herein.

AFFORDABLE HOUSING PROGRAM

The 4S Ranch Specific Plan proposes to develop affordable housing units equal to 10 percent of the 4,287 developed "market rate" housing units as its contribution to the County's "Fair Share" housing allocation. The 4S Ranch Affordable Housing Plan further proposes that 33 percent of these affordable units shall qualify as "low income housing," and 67 percent shall qualify as "moderate income housing." Based on the proposed build-out of 4,287 market rate units, this commitment would translate into 428 affordable units consisting of 141 low income units and 287 moderate income units, for a combined total build-out of 4,715 market rate and affordable dwelling units.

This Specific Plan identifies Neighborhood Three and the Mixed-Use District of the 4S Ranch as having the greatest potential for the affordable housing program and any special needs housing. These areas are within five minutes walking distance of transit, shopping, school, parks, and recreation. In addition, they are within five to fifteen minutes walking distance of the high school and employment center.

The specific number and timing of affordable housing units which are to be completed is tied to a threshold number of total building permits. These thresholds are shown in Table 3.3.1.

EXHIBIT 3.3.1**Fair Share Housing Thresholds**

CUMULATIVE DWELLING UNIT THRESHOLDS BY DEVELOPMENT PHASE					CUMULATIVE DISTRIBUTION OF AFFORDABLE UNITS	
Phase	Market Rate Units	Afford Units	% of Afford to Market Rate	Total Units	Mod Income Units	Low Income Units
1	1,435	70	5%	1,505	70	0.00
2	2,644	185	7%	2,829	138	47
3	3,981	398	10%	4,379	257	141
4	4,287	428	10%	4,715	287	141

AFFORDABLE HOUSING PLAN

Prior to the recordation of the first Final Map, a detailed affordable housing plan shall be submitted and approved by the Director of the Department of Planning and Land Use in consultation with the County Housing Authority. The 4S Ranch Affordable Housing Plan shall:

- Identify the applicable income standards and how the plan is in compliance.
- Identify where affordable units will be located by income group, number, type, and tenure.
- Provide a more detailed phasing program in conformance with the standards outlined in Table 3.3.1 or an alternate phasing program which implements the affordable units to the satisfaction of the Director of the Department of Planning and Land Use.
- Identify where appropriate any local, state and federal initiatives and funding programs which may be employed to provide the affordable or special needs units. These may include, but are not limited to, tax-exempt mortgage bond financing and the use of non-profit partners.

- Describe controls necessary to ensure unit affordability for the term stipulated in the Plan.

A total of 4,715 residential units are planned within the 4S Ranch. Senior housing and care facilities which qualify as affordable housing will count towards the commitment of 10% affordable units.

PART FOUR

GENERAL PLAN CONSISTENCY



CHAPTER 4.1 GENERAL PLAN CONSISTENCY ANALYSIS

GENERAL PLAN AMENDMENT BACKGROUND

The 4S Ranch General Plan Amendment (GPA), including a complete and detailed Scope of Work, was originally authorized by the Board of Supervisors on March 4, 1992. The Scope of Work for the GPA was prepared by the staff of the Department of Planning and Land Use and identified a four-phase work effort to analyze and respond to the critical site and subregional issues for this strategically located 2,891-acre property.

The Phase 1 work effort was prepared by the County's consultants, Brian Grunwald & Associates. It identified and reviewed all of the policies contained in the 12 regional elements of the County's General Plan and the San Dieguito Community Plan. The Phase 1 Report provided a summary of all the policies which would be applied to the 4S Ranch.

The Phase 2 Report was prepared by the applicant and was submitted to County staff for their review six months after the final Phase 1 Report was completed. Continuing the work effort begun in Phase 1, the Phase 2 report identified four alternative land use plans for the 4S Ranch with a range of densities from 1 to 2.5 dwelling units per acre. The Phase 2 report assessed the degree to which these alternatives conformed or failed to conform to the established planning goals and policies.

The preparation of the submittal documents completed Phase 3 of the Scope of Work and the completion of the public hearing process will complete the fourth and final phase.

CONSISTENCY ANALYSIS

Based on the analysis and review in Phases 1, 2 and 3 County staff has concluded that the following General Plan goals and policies are the goals and policies which need to be assessed to most appropriately determine the consistency between the proposed Specific Plan and the General Plan elements.

Open Space Element

The Open Space Element has four general goals including:

- *Promote the health and safety of San Diego County residents by regulating the development of land.*

- *Conserve scarce natural resources and lands needed for vital natural processes and the managed production of resources.*
- *Conserve open spaces needed for recreation, educational and scientific activities.*
- *Encourage and preserve those open space uses that distinguish and separate communities.*

Project Consistency: The proposed changes to the Regional Land Use Element, San Dieguito Community Plan, and the adoption of the proposed Specific Plan will result in the direct implementation of these Open Space Goals. Over sixty percent of the property is designated for open space preservation, including over 86 percent of the most valuable and significant natural resources found on the site. The regulatory process has ensured the open space preservation program, and the design of the open space system preserves the scarce resources, conserving them for recreational, educational and scientific purposes. The open space areas like the Lusardi Creek Natural Park and Artesian Creek also tend to distinguish and separate the 4S Ranch neighborhoods from each other, from the existing communities to the east, and from the majority of the Santa Fe Valley Specific Plan area to the west.

Open Space Design of Private Lands

Goal I - Health and Safety

1. *Control development on steep slopes to minimize slide danger, erosion, silting, and fire hazard.*
3. *Protect life and property by regulating use of areas subject to flooding, landslides, high fire hazard, and high earthquake potential.*

Project Consistency: The Phase 1 analysis identified all of the constrained areas, including the hazards identified above. The areas identified for development generally avoid the potentially hazardous areas such as Lusardi and Artesian Creeks and the steep sloped areas on Neighborhood 2.

2. *Control development to assure a minimal adverse polluting effect on reservoirs, lakes, rivers, streams and groundwater supplies.*

Project Consistency: The design of the proposed Specific Plan eliminates any substantial risk of pollution to Lake Hodges by permitting only 11 units within the watershed of the lake. The balance of the development will be required to meet the stringent National Pollution Discharge standards for depollutant facilities.

Goal II - Conservation of Resources and Natural Processes

4. Encourage the conservation of vegetation and trees needed to prevent erosion, siltation, flood and drought and to protect air and water quality.

5. Encourage the conservation of the habitats of rare or unique plants and wildlife.

8. Encourage the preservation of significant natural features of the County, including the beaches, lagoons, shorelines, canyons, bluffs mountain peaks, and major rock outcroppings.

Project Consistency: As part of the Phase 1 analysis, all of the biological resources and natural features of the property were mapped and assessed. The proposed Specific Plan was designed to conserve and preserve to the maximum extent possible the significant areas of native vegetation, the canyons, bluffs, peaks and major rock outcroppings. For example; 86 percent of the sensitive upland habitat, 85 percent of the riparian scrub-woodland, and 93 percent of the wetland habitat will be conserved as open space by the specific plan.

6. Encourage the use of minor natural watercourses as local open spaces.

Project Consistency: There are two minor natural watercourses within the Specific Plan area; Artesian Creek and Lusardi Creek. The proposed Specific Plan incorporates both drainage features into the overall open space corridor system for the project.

Goal III - Recreation

12. Encourage the acquisition of historic sites (including unique archeological sites) and their immediate environs by public agencies or private organizations interested in our historical and cultural heritage.

Project Consistency: Most of the identified unique archeological sites have been avoided by the design of the project. Open space easements are proposed over all significant sites which are to be preserved. In

addition, a comprehensive Archaeological Resource Management Plan has been prepared and incorporated into the project plans. The management plan details a comprehensive data recovery and mitigation program for all sites which will be disturbed.

Goal IV - Distinguish and Separate Communities

15. Encourage the use of open space to separate conflicting land uses whenever possible.

16. Encourage an intermingling of open spaces as an integral part of all major residential development so as to preserve an atmosphere of openness at the neighborhood scale.

Project Consistency: The Specific Plan design maximizes the use of open space to separate and distinguish the land uses within the Specific Plan. The eastern boundary of the Specific Plan includes large areas designated as open space used to separate the existing communities in Rancho Bernardo from the project. Both natural and developed open space areas are featured in the design of the Specific Plan to create and enhance the individual neighborhoods.

17. Encourage development that is designed so as to include riding, hiking and bicycle trails.

Project Consistency: The Specific Plan includes within the developed areas substantial facilities for walking and biking. In many cases these facilities are linked to existing or planned offsite facilities. The proposal to include a 193-acre active and passive park within the Lusardi Creek Community Park will permit future opportunities for hiking trails to connect to subregional and regional systems.

An important policy in the "**Open Space Design of Private Lands**" chapter of the Open Space Element is the requirement that subdivision proposals which meet certain criteria and which require a General Plan Amendment be reviewed by staff to determine the extent to which open space lands can be provided. The policy states:

The goals and objectives (of the Element) can best be attained if 40% of the total private land in a proposed development is retained in open space... It is the intent of the plan that as a condition of any amendment to the Land Use Element... that open space be designed as part of the plan amendment....It is specifically intended that the developer be given the right to develop the remaining percentage of his property at a sufficiently

higher density so as to compensate for the loss of density created by the open space requirement.

Project Consistency: The goal to retain 40 percent of the open space equates to the retention of approximately 1,192 acres in some form of open space. The Specific Plan proposes to retain 1,612 acres in natural open space, and an additional 195 acres in managed open space. Thirty-eight acres have been reserved for community and local parks. The total reservation of 1,867 acres provides 157 percent of the quantitative standard established by this policy. In addition to exceeding the quantitative standard, the open space system proposed for preservation by the Specific Plan constitutes extremely valuable, high quality habitat located contiguous to other open space areas of sufficient size to ensure long-term biodiversity. In all cases, the 4S Ranch natural open space areas are connected to adjacent areas of high quality habitat which are also designated or proposed to be designated as open space.

This policy, which has been in effect since 1977, requires the County to compensate the developer for the land subject to the "taking". This compensation is not in place of, nor instead of, other General Plan policies.

Land Use Element Goals

The County Regional Land Use Element has a number of goals which relate to the assessment of the proposed Specific Plan. These include the following "Overall Goals":

- 1.1 *Urban growth should be directed to areas within or adjacent to existing urban areas, and that the rural setting and lifestyle of the remaining areas of the County can be retained.*

Project Consistency: The entire 3,525-acre 4S Ranch is within the adopted Urban Limit Line. The urban growth proposed by the Specific Plan is proposed within an area designated since 1984 for urban levels of growth by the County General Plan, and the San Dieguito Community Plan. The implementation of the plan will assist the goal in meeting the objective of diminishing the pressure to subdivide rural areas and thus retain the rural setting of the designated rural areas.

- 1.2 *Growth should be phased with facilities.*

Project Consistency: The 2,891-acre portion of the 4S Ranch Specific Plan Area has been included within most service districts for a number of years. The extension of development concurrently with the facilities

needed to provide appropriate and adequate levels of service is a requirement of the Specific Plan and implementing permits.

- 1.3 Growth be managed in order to provide for affordable housing and balanced communities throughout the unincorporated area.*

Project Consistency: The Specific Plan will be providing a wide range of housing including a substantial number of affordable housing units, and therefore conforms with the need to provide affordable and balanced housing opportunities in this Community Plan area. No other significant, reasonable opportunities currently exist for the San Dieguito Community Plan area to meet its affordable housing goals.

- 1.4 Urban areas of the unincorporated area should be encouraged to either annex to an adjacent city or incorporate and that urban levels of service be provided in an efficient manner and be financed using equitable financing mechanisms.*

Project Consistency: The 2,891-acre portion of the 4S Ranch Specific Plan Area has been within the Urban Limit Line established by the Board of Supervisors since 1984. The property is not within the established Sphere of Influence for the City of San Diego, and therefore cannot annex to the City. The property, because of its size, cannot be considered a logical candidate for incorporation. Pursuant to the Public Facilities Element of the County General Plan and the provisions of this Specific Plan Amendment, the provision and funding of urban levels of service will be required in a manner which will implement this policy.

In addition to the overall goals, the Land Use Element includes a number of other goals which apply:

- 2.2 Encourage future urban growth contiguous to existing urban areas and to maximize the use of underutilized lands within existing urban area.*

Project Consistency: Land Use Goal 2.2 calls for future urban development to be located adjacent to existing urban uses. This is clearly the case with the proposed Specific Plan because existing urban development, both within the County and within the City of San Diego, abuts the property along its entire eastern boundary. In addition, Goal 2.2 calls for the "maximum use" of underutilized lands within existing urban areas. While the overall density designator of 1.72 DU/Acre is a relatively low density for a designated urban area, the actual density of

development within the developed area is safely within a range which can be described as maximizing the use.

2.6 Insure the preservation of contiguous regionally significant open space corridors.

3.1 Protect lands needed for preservation of natural and cultural resources; managed production of resources; and recreation, educational, and scientific activities.

Project Consistency: The Phase 1 Constraints Analysis identified the areas which can be considered as regionally significant open space corridors. The discussions with County staff, U.S. Fish and Wildlife Service, and California Department of Fish and Game have concluded with the identification of the corridors within the Specific Plan which are to be preserved.

3.2 Promote the conservation of water and energy resources.

Project Consistency: The modification of the wastewater treatment plant Major Use Permit will require the recycling of 100 percent of the treated wastewater to California State Title 22 standards. The use of recycled water will produce a number of tangible benefits to the 4S Ranch communities and the county as a whole. Using recycled water to irrigate all of the major landscaping results in a substantial reduction in the demand for the use of imported water. In addition, the use of recycled water will allow a much broader and intensive landscape palette to be used resulting in a more varied and interesting urban environment.

4.1 Assure efficient, economical and timely provision of facilities and services for water, sewer, fire protection, schools, and roads to accommodate anticipated development.

4.2 Assure that facilities and services provided by all agencies are coordinated in their timing, location, and level of service.

Project Consistency: With the adoption of the Public Facilities Element, the County has a mechanism to ensure that not only will the necessary services be provided concurrently with need, but that the developer coordinate with the service agencies for the actual provision of services.

5.4 Coordinate planning efforts with the cities of the region to develop compatible land use strategies.

Project Consistency: The development of the Specific Plan project design over the last several years has required the developer to coordinate both land use planning and facilities planning with staff at the City of San Diego, as well as numerous service agencies and districts.

6.1 Encourage the development of communities that are accessible to a mix of residents representative of the full ranges of age, income and ethnic groups in the region.

6.3 Assist the private sector in the provision of sufficient housing units in the unincorporated area to accommodate regional population projections endorsed by the Board of Supervisors.

Project Consistency: The Specific Plan has as its primary objective the provision of a full range of housing so that the entire range of housing needs can be met. The SANDAG Series 8 projections released in early 1995 show that the region will need to supply an additional 487,900 residential units between 1990 and 2015. The area of the County which includes the 4S Ranch (SRA 14) is expected by the Series 8 Forecast to provide 18,982 of those units. The affirmative fair housing action plan required of all subdivisions will ensure that the residential development is made available to all regardless of race or ethnic origins.

Land Use Element Policies

The County Regional Land Use Element has a number of policies which relate to the assessment of the proposed Specific Plan.

Policy 1.1 Current Urban Development Area (CUDA)

The Current Urban Development Area includes those county lands to which near-term urban development should be directed.

--Commercial, industrial and residential uses and densities will be those permitted by the applicable land use designations on the community or subregional plan maps.

Project Consistency: The application for a General Plan Amendment concurrently with the Specific Plan will ensure that the density and distribution of uses proposed by the Specific Plan are consistent with those permitted by the General Plan.

--In areas planned for residential densities at or above 4.3 dwelling units per gross acre, development should approach the

maximum densities permitted by the applicable land use designations depicted on the community or subregional plan maps.

Project Consistency: The intent of this portion of the policy is that in areas planned at or above 4.3 DU/Ac, developments should consistently attempt to maximize densities appropriate for the site. The mixed use district together with the four residential neighborhoods in the 4S Ranch Specific Plan range in densities from 0.8 to 7.3 dwelling units per acre with an average for the development "bubble" of 3.13 DU/Ac.

--On residential lands, achievement of overall densities of at least four dwelling units per gross acre will be encouraged....

Project Consistency: This part of the policy speaks directly to the first overall goal of the Land Use Element, which states that urban growth needs to be directed to urban areas so "... that the rural setting and lifestyle of the remaining areas of the County can be maintained." The proposed density for the 4S Ranch Specific Plan is 1.72 dwelling units per acre, which is substantially less than the 4 dwelling units per acre encouraged by the policy. However, the proposed density is an appropriate response to the on-site environmental constraints, the adjacent intensities of development and the ability of the public facilities systems to provide adequate levels of services.

"It is not the intent... to force higher densities into the low density fringes..."

Project Consistency: An assessment of this section of the policy requires an understanding of how "higher densities" and the "low-density fringe" are defined in the General Plan. The terms "higher and lower densities" have both an absolute and a relative or contextual meaning. In absolute terms, the Land Use Element includes a range of permitted urban residential densities ranging from 1 to 43 dwelling units per acre. Since the gross density proposed by the Specific Plan is 1.72 dwelling units per acre, the proposed Specific Plan must be seen in absolute terms as having a low density. In relative or contextual terms, the proposed density is significantly less than the 2.7 dwelling units per acre gross density existing in the contiguous areas of Rancho Bernardo to the east and is also substantially less than the 5.0 dwelling units per acre gross density permitted within the "Bowtie" portion of the Framework Plan located immediately west of the 4S Ranch. In effect the 4S Ranch has, or will have net urban densities of 5 dwelling units per acre or more located on either side of the property.

The 4S Ranch is also adjacent to the Santa Fe Valley Specific Plan along the west side of the property north of Camino del Norte. The Santa Fe Valley property has a density of 0.45 dwelling units per acre. This is an appropriate density since the Santa Fe Valley Specific Plan area is in the Estate Regional Land Use Category, which, pursuant to Land Use Policy 1.3, requires that the land uses be confined to "agricultural and low density residential uses" with parcel sizes ranging from two to 20 acres. The boundary line between the 4S Ranch and the Santa Fe Valley Specific Plan is the location of the "Urban Limit Line" as defined by the General Plan.

--Density bonuses will be available for those developments using the Inclusionary Housing Policy.

Project Consistency: The Specific Plan, while providing a substantial number of affordable housing units, does not propose to use the density bonus provision of the Inclusionary Housing Policy. For additional detail see Chapter 3.4.

Policy 1.2 Future Urban Development Area

- *Future Urban Development Areas are those that will ultimately be developed at urban densities, but which should be held in reserve for at least five years after the effective application of this category.*
- *The boundaries between Current Urban and Future Urban Development Areas will be evaluated every five years.*
- *The outer boundaries of all Current Urban and Future Urban Development Areas will be designated as Urban Limit Lines beyond which urban development will not be permitted through 1995.*

Project Consistency: The Future Urban Development Area (FUDA) category, applied to the 4S Ranch in 1984, has been in place for 11 years which satisfies the first section of the policy. The decision by the Board of Supervisors on March 4, 1992 authorizing the processing of the GPA request concluded a year long assessment of whether it was the appropriate time to proceed with the transition of the property to the Current Urban Development Area (CUDA) category. Finally the 4S Ranch is wholly within the "Urban Limit Line" and does not propose any development beyond that line. The proposed project is in conformance with this policy.

Virtually all of the FUDA areas identified on the Regional Land Use Element map have been converted to urban uses. The most significant exception is the FUDA area applied to the 4S Ranch. As discussed during the PAA hearings in 1992, the conversion of the property from the Future Urban to Current Urban Category is warranted due to the tremendous opportunities which now exist to coordinate subregional land use planning, habitat management, and facilities infrastructure between the major property owners and the various land use and service jurisdictions.

Policy 2.6 Special Purpose Designations

(21) Specific Plan Area

This designation is used where a specific plan has been adopted or must be adopted prior to development...

Adopted Specific Plan Areas: An adopted Specific Plan Area is an area designated on the map of any subregional or community plan of the General Plan where the Board of Supervisors has determined that more detailed planning is required prior to development.... The Board of Supervisors may indicate by resolution of adoption of a Specific Plan Area designation any goals, objectives or conditions it deems appropriate... The language in policy 2.6 is intended to supersede any language contained in any adopted subregional and/or community plan text which may conflict with said policies.

Policy 3.2 Community Plan Designations

Community and subregional plan designations, goals, objectives and policies shall be consistent with the regional categories, goals and policies of the Regional Land Use Element....

Project Consistency: Together these two policies allow the Board of Supervisors to approve the project with appropriate findings where conflicting goals or policies in the General Plan, including goals and policies in the San Dieguito Community Plan, have been identified which would otherwise limit or preclude the approval of the project.

Circulation Element

Chapter 1 Road Network

This chapter in the Circulation Element does not contain any goals or policies, but rather explains the relationship of the Circulation System to

the other General Plan elements, the objectives and principles of the element, and the system of classifying the road network.

Project Consistency: The 4S Ranch has three Circulation Element Roads located on the property including SA 680 (Camino del Norte), SA 730 (Carmel Valley Road) and Black Mountain Road (Rancho Bernardo Road). The first two roads are currently classified as Prime Arterials. Black Mountain Road (Rancho Bernardo Road) is classified as a Major Road. The Specific Plan has integrated all of these roads into the design of the project and will be conditioned to dedicate and improve all or portions of these facilities with the approval of implementing subdivisions. The County of San Diego processed an amendment to the Circulation Element which deleted Camino del Norte from the Circulation Element west of the project site. This amendment is scheduled to occur prior to the hearings for this application. No amendment of the Circulation Element is required by the project.

Chapter 2 Bicycle Network Goals and Policies

The adopted text of the Circulation Element contains a series of goals and policies relating to the provision of a safe and adequate Bicycle Network.

Goals

1. *Provide for the safe and convenient use of bicycles throughout San Diego County....as a viable alternative to the automobile as a form of transportation.*
4. *Utilize public property, such as ...parks, lightly traveled roads, whenever possible, for construction of bikeways.*
5. *Provide continuous bikeways, affording safe and convenient community wide accessibility... to the greatest extent feasible.*

Project Consistency: The 4S Ranch Specific Plan is consistent with the goals of the Bicycle Network sub-element of the Circulation Element in that the Specific Plan provides a comprehensive system of bikeways, trails and lanes such as the 4S Ranch Parkway throughout the community (see Chapter 2.3 - Transportation) which makes it both convenient to use bikes as an alternative to the automobile, and connects all public and community uses with continuous bikeways.

Policies

4. *Connect cultural facilities, recreation areas, commercial areas, and educational facilities by bikeways.*
5. *Separate bicycles and automobiles whenever it is economically and physically possible to do either a bike lane or bike path.*
6. *Design bikeways as an integrated part of all subdivisions and planned residential developments with connections to the bicycle network.*

Project Consistency: The Specific Plan includes within Chapter 2.3 (Transportation) a description of the extensive bikeway system provided in the Specific Plan. Exhibit 2.37 shows the locations of the various bikeways, trails, and lanes within the 4S Ranch Specific Plan. The 4S Ranch bikeway system connects the core areas with all of the residential neighborhoods, and is connected to the Bicycle Network shown on the adopted Bicycle Plan.

Recreation Element

The Recreation Element provides policies for the provision of recreational facilities in the unincorporated area of San Diego County.

Chapter 1 - Local Parks

Policy 4: All parks and recreation facilities should be planned as part of an overall, well-balanced park system.

Policy 5: Local park planning should be integrated with general planning programs....

Policy 6: Each local park facility should be of sufficient size and proper location to foster flexibility in activities and programs.

Project Consistency: The proposed Specific Plan includes local neighborhood parks and a community park distributed throughout the Plan Area in a well-planned and balanced manner. The parks, which meet all applicable county park standards have been both sited and sized to foster flexibility and meet the needs of the new community. The standards for the amount of required acreage for local and regional parks is regulated by the Quimby Act, the County's Park Land Dedication Ordinance (PLDO) and standards in the Public Facilities Element and the Community Plan.

Chapter 3 - Riding and Hiking Trail Plan and Program

Policy 4: In addition to requiring the dedication of trails pursuant to Policy 8, the County will accept voluntary offers of dedication of trail easements provided that a route study and Environmental Analysis has been adopted by the Board of Supervisors showing a trail segment which concerns the land.

Policy 8: Require the dedication of riding and hiking trails from major subdivisions when such trails have been designated on maps adopted as part of the County General Plan (including community and subregional plans).

Project Consistency: Pursuant to Policy 8, only trails shown on adopted community plans can be required when a major subdivision is processed. No trails are shown on any adopted County maps for any portion of the 4S Ranch property.

Seismic Safety Element

The Seismic Safety Element provides policies which will guide efforts to minimize the risk from earthquakes and their aftereffects.

Policies on Landslides: It is the policy of the County of San Diego to:

- 2. Require a geologic report prepared by a certified engineering geologist on any development where landslides or similar geologic hazards are known to exist.*
- 3. Require where evaluation indicates that a slope can be stabilized, that stabilization be a condition for development and that the foundation and earth work be supervised by a certified engineering geologist.*
- 4. Prohibit alteration of the land in areas where there is a high potential for activation of landslides.*
- 5. Prohibit development in areas of extensive landsliding where stabilization cannot reasonably be done.*

Project Consistency: The Phase 1 constraints analysis identified areas where landslides could present a constraint to development. Analysis by the developer's consulting geologist indicates that these areas can be rendered suitable for development with appropriate remedial grading techniques. This information has been made available to the County

staff and appropriate conditions to ensure the public health, safety and welfare have been included in the conditions of approval.

Policies on New Development: It is the policy of the County of San Diego to:

5. Prohibit construction of homes and essential facilities in hazardous areas unless they can be designed to reduce the hazard to the satisfaction of responsible agencies.

7. Require submission of soils and geologic reports prepared by a certified engineering geologist on all projects where geologic hazards are known or suspected to be present.

Project Consistency: During the Phase 1 constraints analysis hazardous areas such as floodplain, steep slope areas, fault lines and areas prone to landslides were identified and mapped. All essential facilities have been located well clear of these potential hazardous areas. Certain areas where there exists the potential for landslides have been reviewed carefully by licensed geotechnical engineers and where appropriate mitigation techniques can be safely employed, those areas have been proposed for development.

Housing Element

The main goal of the Housing Element states that the County will:

Assist the private sector to ensure that new residential construction will be adequate to meet the needs of the region if adequate public services and facilities are available. Housing should be available in a variety of styles, tenancy types and prices throughout the region.

Project Consistency: Approval of the proposed Specific Plan by the Board of Supervisors would be consistent with and will serve to implement this goal. The Specific Plan provides for a variety of housing types, including both detached single-family units on a variety of lot sizes and multi-family units. This wide range of housing types will not only result in a variety of styles, but more importantly, will also assist a broad spectrum of the public to purchase homes in the 4S Ranch community.

The San Dieguito Community Plan, which includes the communities of Rancho Santa Fe and Fairbanks Ranch, contain some of the most expensive housing in the County. The median price for a single-family home in Rancho Santa Fe in 1994 was \$980,000. By comparison, the

median price in 1994 in Rancho Bernardo and Rancho Penasquitos was \$210,000 and \$209,500 respectively. The approval of the 4S Ranch Specific Plan will ensure a supply of affordable, entry-level and "move-up" housing in the San Dieguito Community Plan Area to meet the projected subregional demand. Within the Community Plan area, there are no other existing reasonable opportunities to provide the range and scale of housing opportunities needed to meet the SANDAG projections.

Policy 4: Community and Subregional Planning Area's Fair Share

Attainment of the fair share shall be pursued in each community and city in the region and no community or city need absorb an excess concentration of low-income housing units relative to the progress of other communities towards achievement of their fair share.

Project Consistency: The 1986-Housing Element's five-year housing goal for the San Dieguito Community Plan is 680 units. The 680 unit goal was developed when the cities of Solana Beach and Encinitas were still a part of the San Dieguito Community Plan. The revised, draft Housing Element eliminates Fair Share housing goals for the individual communities.

The 4S Ranch Specific Plan proposes (Chapter 3.4 Affordable Housing Implementation) to develop affordable housing units equal to five percent of the 4,730 "market share" housing units as a contribution to the County's fair share housing stock. This commitment equates to 235 low income housing units, which is roughly equivalent to 34 percent of the San Dieguito five-year, fair share goal. The 4S Ranch Specific Plan is consistent with the policy.

Policy 16: Incentive for Private Sector Development of Affordable Housing

Increase the supply of low and moderate cost housing by offering incentives to private developers.

Project Consistency: A project needs to reserve either 10 percent (Lower) or 20 percent (Low) of the total number of proposed housing units to meet the state definition of Affordable Housing. Since the project only proposes to provide 5 percent (Low) of the total, the 235 low income housing units will not qualify as "Affordable Housing". The 235 units will however substantially increase the number of low cost housing units in the community.

Policy 21: Mixed Land Uses in Commercial Zones

Encourage private developers to use the mixed use option in the commercial areas designated by the General Plan by providing special incentives.

Project Consistency: The approval of the proposed project will include a significant mixed use area. As above, the approval and implementation of this project may provide an example for mixed use development which will encourage other developers to provide this type of land use.

Conservation Element

The Conservation Element, as adopted, does not include a goal statement. However, the introduction to the Conservation Element states:

The purpose of this Conservation Element is to identify and describe the natural resources of San Diego County and prepare policies and action programs to conserve these resources.

Project Consistency: The proposed Specific Plan has been prepared based on a comprehensive analysis of environmental constraints completed during the Phase 1 analysis. There are minimal impacts to the steep-sloped areas, wetlands, and the biological and archeological resources. The proposed Specific Plan would conserve 85 percent of the on-site coastal sage shrub (CSS) and approximately 86 percent of all sensitive biological resources onsite.

Chapter 2 - General Conservation

Policy 4: The designation of resource conservation areas for San Diego County's most significant resources will be a major step toward the planned management, preservation and wise utilization of these resources.

Within resource conservation areas, County departments...shall give careful consideration and special environmental analysis to all projects...

This overlay identifies lands requiring special attention in order to conserve resources in a manner best satisfying public and private objectives.

Project Consistency: The Resource Conservation Areas (RCAs) are located throughout the County. This special General Plan overlay was

established by the County to preserve the most significant, and biologically important environmental resources in the County. From the perspective of the General Plan policies, the RCA's are the most important environmental resources.

The northern and northwestern periphery of the 4S Ranch is the only portion of the property within the boundary of the (San Dieguito River) RCA designation. Since the Plan does not propose any development within the existing RCA, the Specific Plan is in conformance with this policy.

Chapter 3 - Water

This chapter includes the following policies on water and water reclamation:

Policy 4: Reduce local reliance on water.

Policy 5: Water distribution systems should be designed to...accommodate future use of reclaimed water.

Policy 8: Wastewater discharges shall not adversely affect the beneficial use of receiving waters.

Policy 11: The County will encourage projects which will promote the reclamation and reuse of wastewater. Such projects will be given funding priority in all water management programs.

Policy 13: Decisions regarding the location, size and timing of wastewater service extensions should be in conformance with adopted urban development policies contained in all elements of the General Plan and current growth policies. Sewer service expansion shall be coordinated with the extension of other needed services and facilities.

Project Consistency: The district boundaries of the 4S Ranch County Sanitation District will be extended to serve the proposed Specific Plan. The District currently operates a Wastewater Reclamation Facility, which is sited southwest of the existing industrial park within the 2,891 acre portion of the Specific Plan area. The existing facility will be expanded to 2.0 mgd to serve both the 2,891-acre and 634-acre 4S Ranch Specific Plan Areas. The facility will be upgraded to a tertiary level of treatment in full compliance with California State Title 22 standards which will permit unrestricted re-use for irrigation purposes. The reclaimed water produced by the facility will be used to irrigate public landscape areas and erosion control landscaping in the project. This will

reduce the need to use imported water for irrigation purposes. Excess reclaimed water will be utilized for irrigation by "downstream" golf course developments and other potential users within the Olivenhain Metropolitan Water District. This will further reduce the reliance on imported water for irrigation.

Chapter 4 - Vegetation and Wildlife

The following policies are included in this chapter:

Policy 1: The County will act to conserve and enhance vegetation, wildlife and fisheries resources. These actions may include... the establishment of wildlife preserves under the Williamson Act...

Project Consistency: The important natural resources on the 4S Ranch will be conserved by the proposed Specific Plan. The following table summarizes the most sensitive habitats conserved by the Specific Plan, based on information developed for the EIR.

SENSITIVE HABITAT SUMMARY

Habitat Type	Total Acres	Acres Preserved	Percent of Total Preserved
Coastal Sage	1,110.3	941.0	85%
Wetlands	52.5	47.0	90%
Sycamore Woodlands	6.6	6.6	100%
Coastal Live Oak	1.8	1.8	100%
Grasslands	54.6	37.7	69%
Chaparral	510.7	468.3	92%
Total	1,736.5	1,502.4	86.5%

The discretionary approvals filed concurrently with the Specific Plan include an application for Williamson Act contracts on approximately 1,184 acres. The granting of the contracts will place an additional layer of protection on the property ensuring that no incompatible uses will be permitted so long as the contracts remain in effect.

Policy 2: San Diego County shall coordinate with appropriate federal, state and local agencies to conserve areas of rare, endangered or threatened species.

Project Consistency: The County is coordinating with these agencies through the NCCP process. In response to the MSCP planning effort the 4S Ranch voluntarily entered into negotiations with the USFWS, the CDFG, and the county in 1994. The result of these negotiations was a defined boundary for the 2,891-acre portion of the ranch that allowed a development area of 1,279-acres. The 4S Ranch specific plan is consistent with these boundaries and therefore with the preservation standards and geographic configuration of habitat lands identified in the Lake Hodges Subarea Plan.

Policy 6: If a project is determined to have a significant adverse impact on plants or wildlife, an acceptable mitigating measure may be a voluntary donation of land of comparable value to wildlife.

Project Consistency: The significant adverse impacts resulting from the development of the site will be fully mitigated and acceptable to the County of San Diego, the U.S. Fish and Wildlife Service and the California Department of Fish and Game. The project design incorporates the dedication of open space (approximately 1,500-acres) of the most significant, high quality resources on the property.

Chapter 7 - Astronomical Dark Sky

Policy 1 The County of San Diego will act to minimize the impact of development on the useful life of the observatories.

Project Consistency: The implementing applications will all be required to be in conformance with the County of San Diego's "Dark Sky Policy". For example, outdoor ballfields and recreation areas, if lighted will be required to have cut-off luminaries in conformance with county standards.

Chapter 8 - Cultural Sites

Policy 1: The County shall take those actions which will seek to conserve and protect significant cultural resources...

Policy 2: Conservation of cultural resources shall be given a high priority in County park acquisition and development programs...

Project Consistency: The project has been the subject of a thorough and exhaustive analysis of the cultural resources located on the site. By project design the vast majority of significant sites have been avoided, or only minimally impacted. Of the 170 identified sites, 126 are in areas designated as open space. A comprehensive Archaeological Resource Management Plan has been prepared and incorporated into the project plan. This management plan details a comprehensive data recovery and mitigation program for all sites to be disturbed.

Energy Element

The Energy Element includes two policies relevant to the planning effort of the 4S Ranch.

Policy US-3: Encourage increased densities when consistent with other General Plan Policies and Regional Growth Management Program.

Policy US-4: Promote land use aimed at minimizing transportation requirements.

Project Consistency: Because the Current Urban Regional Category permits densities as high as 43 dwelling units to the acre the proposed density is well within the density limitations permitted by the General Plan. The 4S Ranch Specific Plan in proposing a density of 1.72 DU/Ac is clearly at the low end of the urban density range. The Specific Plan clusters the proposed development into approximately 40 percent of the site. This clustering approach generally reduces transportation requirements. More importantly, the arrangement and distribution of land uses and the circulation system minimizes both the number and distance of the average trip. The proximity of the 4S Business Park and the Bernardo Industrial Park (with the potential for as many as 8,000 jobs) to the proposed residential uses in the Specific Plan is in conformance with the jobs-housing balance Growth Management policies of the County, the City and SANDAG.

Public Facilities Element

The principal goal of this element calls for the coordinated planning of facilities such as parks, libraries, schools and services to meet all present and anticipated needs of the development.

Coordinated Facility Planning

Policy 1.1: The County will include public facilities planning and availability as part of the decision making on land use development.

Policy 1.3: The County will coordinate planning for the appropriate siting of public facilities with the cities and affected service providers of the region at the earliest possible point in the siting process.

Project Consistency: The facilities planning and coordination with serving agencies has been an on-going process with the 4S Ranch from the earliest phases of the project planning. Through the development review process culminating at hearings before the Board of Supervisors, all public service issues will be thoroughly analyzed and appropriate conditions made a part of the project approval.

Policy 2.1: Assure that growth is limited to areas where adequate public facilities exist or can be efficiently provided.

Project Consistency: The project has or will have available all required public services at the point where the project is implemented. The site is within or adjacent to all service provider districts.

Policy 2.2: Development projects will be required to provide or fund their fair share of all public facilities needed by the development.

Policy 2.3: Large Scale Projects will be required to plan for the siting of necessary public facilities and to provide or fund their fair share of all public facility needs created by the development.

Project Consistency: The applicants have sited all necessary public facilities and are funding their "fair share" of all public facilities required to implement the development proposal as discussed in Chapter 2.6 - Public Facilities and Services.

Parks and Recreation

Policy 2.2: The County will site, plan and develop local and regional parks that are compatible with community character, land use and the recreational, conservation and preservation needs of the intended service population.

Provide in the short term, five acres of local parks per 1,000 unincorporated area residents and the County's equitable portion of the regional park facilities level of 15 acres per 1,000 residents in the region.

The local portion of this policy is implemented by the County Park Land Dedication Ordinance (PLDO), which is in compliance with the State's Quimby Act. It requires land dedication of three acres per 1,000 population or in lieu fee of \$1,000 per dwelling unit.

Project Consistency: The 2,891-acre 4S Ranch Specific Plan exceeds all County requirements for public parks. The County Park Land Dedications Ordinance groups community and neighborhood parks together as local parks. The standard for both the PLDO and the PFE for local parks as stated in Policy 2.2 above, is three acres per 1,000 population which is consistent with the State of California Quimby Act on parkland dedication requirements for new developments. The PLDO also allows for the payment of park fees in the amount of \$1,000 per residential dwelling unit in lieu of the dedication of land. This payment is considered equivalent to the land dedication standard. In addition, the County Department of Parks and Recreation, by department policy, credits private park acreage at 1/2 credit toward the PLDO requirements. The San Dieguito Community Plan, however, recommends five acres per 1,000 population for community parks in addition to five acres per 1,000 population for neighborhood parks.

The 2,981-acre 4S Ranch Specific Plan area has a buildout population estimate of 14,593. Based on the PLDO, PFE and Quimby Act requirements, a total of 43.8 acres of local parks would be required to be dedicated. A total of 145.9 acres would be recommended under the San Dieguito Community Plan. The 2,891-acre 4S Ranch Specific Plan Amendment proposes the dedication of 205 acres of local public (community and neighborhood) parks. In addition the Specific Plan Amendment offers an additional \$677.00 per residential dwelling unit for public park improvements. This equates to an additional 29.2 acres of parkland dedication. Furthermore, the 4S Ranch Specific Plan designates an additional 22 acres of private parks which, by County Parks and Recreation policy, would be credited at 1/2 the acreage provided (or 11 acres) toward the PLDO, PFE requirements. Altogether the 4S Ranch

Specific Plan offers the equivalent of 245.2 acres of parkland dedication. This exceeds the requirements of the PLDO, PFE and Quimby Act by 600 percent, and is almost double the recommendation of the San Dieguito Community Plan.

Transportation

Policy 1.1: New development shall provide needed roadway expansion and improvements on-site to meet the demand created by the development and to maintain a Level of Service "C" on Circulation Element Roads during peak traffic hours. New development shall provide off-site improvements designed to contribute to the overall achievement of a Level of Service "D" on Circulation Element Roads.

Project Consistency: The 4S Ranch Specific Plan includes a circulation system which will ensure that all on-site roadway segments and intersections maintain a LOS of "C." Further, the Plan includes mitigation measures which will maintain a peak hour LOS "D", or functional equivalent, on all off-site Circulation Element Roads which serve the project.

Policy 3.1 The expansion of County transportation facilities will be coordinated with transportation plans of adjacent jurisdictions.

Project Consistency: The Circulation Element Roads that continue off-site to the east, southwest and west are located in the City of San Diego. The project will be conditioned to enhance existing road segments and road intersections based on the project traffic study and EIR prepared for this project. During the development of the project design over the last four years, the applicant has met with and coordinated the development of the transportation plans with the transportation staff of both the City and County of San Diego.

Policy 4.1: The use of alternative forms of transportation such as public transit and car/van pools will be supported and encouraged to reduce both roadway congestion and pollution.

Project Consistency: The project circulation system has been designed to maximize the alternatives available to the motorist to travel between destinations within the 4S Ranch. The maximizing of alternative routes decreases the potential for roadway congestion and pollution. The project also provides an emphasis on bicycle and pedestrian circulation, as well as a transit plan for the 2,891-acre project area. The project design also includes a substantial Park and Ride facility in the Mixed- Use District. This facility has been incorporated into the design of the project

with the specific intent of encouraging both the use of public transit, and car pooling.

Law Enforcement

Policy 2.1: The County will consider the availability of Sheriff facilities/services in the planning process.

Project Consistency: The developer has reserved a 1.5-acre site within the Mixed-Use District adjacent to the permanent Fire Station for acquisition by the Sheriff as a Sheriff's Substation. During the discretionary review for this project, the Sheriff and other agencies will have an opportunity to review the project and their ability to provide an adequate level of service.

Schools

Policy 1.2: To the extent allowable under State law, new development shall be required to provide additional facilities needed to serve children generated by the new development...

Project Consistency: The developer will have an agreement with the Poway Unified School District identifying the number, timing and location of facilities, and any fee requirements prior to the approval of any discretionary permit. The plan identifies the sites for two elementary schools, and anticipates that the Poway School District will locate a middle school and high school in the general vicinity.

Policy 3.1: Land Use planning will be coordinated with the planning of school facilities.

Project Consistency: The developer has been coordinating with the Poway Unified School District regarding the number, type, size, location, and timing of school facilities to serve the 4S Ranch, as well as school facility funding, for the last five years. The project has reserved sites for two elementary schools located adjacent to planned public parks. The district has a master plan which identifies a need for both a Middle and High School in the general area of the 4S Ranch, eastern portion of Santa Fe Valley SPA, and the Black Mountain Ranch. At this time a final determination for the siting of these facilities has not yet been made.

Fire Protection and Emergency Services

Policy 1.2: The County will ensure the availability of adequate fire and emergency services facilities in the review of discretionary land development applications, and require appropriate fire prevention and protection measures.

Project Consistency: The developer has a pre-existing agreement with the Rancho Santa Fe Fire Protection District to provide the required fire protection services. That agreement calls for the construction of a fire station on the site of the interim facility located on the south of Rancho Bernardo Road on the eastern project boundary.

CHAPTER 4.2 COMMUNITY PLAN CONSISTENCY ANALYSIS

SAN DIEGUITO COMMUNITY PLAN

The San Dieguito Community Plan was extensively revised in 1987, following the incorporation of Encinitas and Solana Beach. This incorporation removed from the Community Plan jurisdiction virtually all of the developed and undeveloped lands designated for urban development. As a result the focus of most of the policies in "Chapter 2 - Land Use" of the revised San Dieguito Community Plan are related to providing guidance to rural estate types of development. Many of these policies are directly in conflict with the planning goals and objectives for properties within the Urban Limit Line as defined by the Regional Land Use Element. The entire 4S Ranch Specific Plan Area, including the 2,891 acre portion of the Ranch, is reviewed in the existing Community Plan in a two page section. This section provides no specific guidance in terms of the expected density, intensity or character of development when the property converts from Future to Current Urban, notwithstanding the fact that the Plan acknowledges that **"Development of the 4S Ranch should be underway by the year 2000."** The major goals and policies of the Community Plan as they apply to the proposed Specific Plan are assessed below.

CONSISTENCY ANALYSIS

Chapter 1 Community Character

Goal - To provide for the orderly development of the San Dieguito Community Plan area while maintaining the identities of the historically established neighborhoods.

Project Consistency: The General Plan Amendment process currently underway, together with the expected buildout period of 10-20 years, will provide for the orderly development called for in this policy. As none of the development on the 4S Ranch will be visible from any of the existing, historically established neighborhoods within the community plan area, none of these established neighborhoods identified in the Plan will have their identities significantly affected by the proposal. In addition, as shown by the traffic study, the circulation impacts of the Specific Plan will not significantly affect the character of these neighborhoods.

Policy 3: Establish and maintain San Dieguito as an economically and socially balanced community while ensuring that development is gradual, orderly and in harmony with the existing environment.

Project Consistency: The implementation of the Specific Plan would result in a community which is significantly more economically and socially balanced. The discretionary hearing process and market forces will ensure that the development will be gradual and orderly. Given the relatively modest range of densities throughout the proposed development, the significant areas of open space and the fact that this property, unlike any other undeveloped property in the San Dieguito Community Plan area, is designated for urban development, the proposed plan is in harmony with the existing environment.

Policy 5: Encourage the preservation and enhancement of the natural features located within the San Dieguito Plan area.

Project Consistency: The "development envelope" for the Specific Plan was designed to generally exclude slopes over 25 percent and protect virtually all the areas of native habitats considered by the County to be sensitive. As a result, the area within the development envelope tends to be relatively flat and composed almost exclusively of disturbed lands or non-native vegetation. Both drainage features which cross the property, Artesian and Lusardi Creeks are preserved and enhanced. On the Ralphs Family Ranch, which includes the northern 1,184 acres of the property, there are a number of sites which, pursuant to the County's Resource Protection Ordinance, are not considered "sensitive." The Specific Plan, however, proposes to limit development to 10 new homesites in addition to the retention of the existing ranch house. Overall, over 86 percent of the sensitive habitat areas will be retained in natural open space.

Policy 6: Promote a stable, permanent population with a high degree of home ownership.

Project Consistency: The implementation of the Specific Plan will result in a project which at buildout will include a stable and permanent population many of whom will own their homes. Under the existing Community Plan there are no other opportunities to provide any substantial amount of affordable, entry level housing to existing and future residents of the plan area without requiring the conversion of Estate Development Areas to an urban designation.

Chapter 2 - Land Use

Goal - Provide a distribution of land uses that is compatible with the existing character of the community and that is integrated with the planning activities of the surrounding jurisdictions.

Project Consistency: The distribution of land uses proposed by the Specific Plan is compatible with the existing character of the community and has been integrated with the planning activities of the surrounding jurisdictions. To the east is a major regional industrial park of approximately 700 acres. In the existing CUDA area to the east, multi-family residential property is zoned for 20 DU/Ac and single-family residential property is zoned at 9 DU/Ac. In the City, adjacent residential densities range from 5 to 20 DU/Ac. To the west, the Proposed Subarea One Plan within the North City Future Urbanizing Area, shows urban residential densities up to 40 DU/Ac. It should be noted that the San Diego City Planning staff has directed that the proposed Subarea Plan for Subarea One of the NCFUA, although not approved, be used by 4S Ranch as the basis for assumed future land uses within the Subarea One portion of the Framework Plan. The draft Santa Fe Valley Specific Plan is permitting clustered development adjacent to the Neighborhood Three area at a density of approximately 2 to 3 DU/Ac. Additionally, the 4S Ranch Specific Plan designates 230 acres of sensitive habitat and wildlife corridors in La Jolla Valley as natural open space. In the sensitive areas in the northern portion of the 4S Ranch (Neighborhood 4, and the Ralphs Family Ranch), the Specific Plan calls for the designation of 1,377 acres of open space not only to protect the natural resources, but also to preserve the viewshed from the Del Dios highway, the community of Del Dios, Lake Hodges, the City of Escondido and the community of Rancho Bernardo as natural and essentially free from development.

Policy 1: Prohibit leap frog development as it will unnecessarily increase the costs of providing public services and facilities.

Policy 2: Ensure that development takes place in a coordinated, integrated fashion that is compatible with the rural, scenic qualities of the area.

Project Consistency: The provision of urban levels of service to the 4S Ranch Specific Plan Area does not require any of the service providers to extend facility infrastructure through areas not already served. The General Plan Amendment process itself requires that the development proposals be reviewed in a careful, coordinated and integrated manner.

Residential Goal: Enhance the present living environment while accommodating gradual residential development that harmonizes with the natural environment.

Project Consistency: The proposed Specific Plan recognizes and preserves the vast majority of the significant natural resources of the site. The entitlement and development process ensures that the overall development of the site will take place over what is anticipated to be a gradual 10-20 year period.

Policy 6: Preserve the rural, low density, residential character of the plan area.

Project Consistency: The 2,891-acre 4S Ranch Specific Plan Area is not designated on the county General Plan for rural, low-density residential development, but rather has been designated for urban uses (FUDA) since 1984. The preservation of the rural, low density residential character of San Dieguito is accomplished by the Regional Land Use Element and the San Dieguito Community Plan maps which identify the vast majority of the property within the plan area for rural estate uses (eg EDA). Certain specific areas within the San Dieguito community plan are identified by the General and Community Plan for higher density urban uses including the village in Rancho Santa Fe, and the existing developed areas of the 4S Ranch. The plan, by limiting and concentrating urban levels of development to certain areas is able to retain the rural, low density residential character of the plan area.

The specific plan for the Santa Fe Valley Specific Plan Area, while within the Estate Development Area (EDA), proposes to provide sewer service to parcels, many of which will be under one acre in size. In fact, the closest areas to the 4S Ranch which are being developed pursuant to the rural, low-density residential uses called for in the EDA are the communities of Rancho Cielo, Rancho Santa Fe, Santa Fe Hills and Fairbanks Ranch. These communities are geographically removed from the 4S Ranch and their character will not be compromised by the implementation of the project.

Commercial Goal: Provide for well designed and located commercial areas that are compatible with the character of the community.

Project Consistency: The areas designated for commercial uses within the 4S Ranch have been well designed and are integrated into and are compatible with the overall design of the plan.

Policy 5: Provide neighborhood shopping and service centers to satisfy the daily needs of adjacent neighborhoods, and locate them in areas with easy, safe pedestrian and bicycle access.

Policy 7: Cluster commercial uses and avoid the strip approach to commercial development.

Policy 9: Provide a commercial land use pattern that will offer the opportunity for a diversity of commercial types, thereby supplying the community with a broad economic base.

Project Consistency: The 4S Ranch Specific Plan identifies a commercial land use pattern and distribution of commercial zones that will provide for an interesting and diverse pattern of commercial uses. Many of the residential neighborhoods will be within easy walking, or biking distance of the commercial areas. Finally, the Mixed Use District is the antithesis of the "strip" approach to commercial development.

Policy 10: Maintain a proper balance between acreage of commercial land and population served.

Project Consistency: The relationship between the areas designated for commercial and other uses has been determined as the result of studies and analysis prepared during Phases 1 and 2 of the 4S Ranch General Plan Amendment process. This analysis concluded that there was an existing demand for some kinds of new commercial facilities west of I-15. This demand was projected to increase with the development of 4S Ranch and the emerging communities to the west of 4S Ranch. The studies also concluded that in order to achieve a balanced community west of I-15, including a community commercial center with a full service supermarket, increased residential units were necessary to support such commercial services. The commercial areas within the plan are community serving, as opposed to regional commercial, and are sized to meet the needs of the 4S Ranch and surrounding neighborhoods west of I-15.

Policy 12: Consider commercial uses in adjacent urbanized areas when determining the need for additional or expanded commercial uses within San Dieguito.

Project Consistency: The only adjacent urbanized area with commercial uses is Rancho Bernardo. The commercial uses within Rancho Bernardo are generally concentrated on the east side of I-15. Thus, the existing communities on the west side of I-15 are only marginally served. The Rancho Bernardo Community Planning Board has emphasized that the emerging communities west of I-15 must plan to provide for their own

commercial needs, because those needs cannot be accommodated within Rancho Bernardo. The commercial uses provided in the 4S Ranch Specific Plan are designed not only to accommodate the 4S Ranch, but Santa Fe Valley, the Black Mountain Ranch, and the existing communities in Rancho Bernardo located west of I-15.

Specific Plans

4S Ranch Specific Plan Area Criteria

The discussion in the Community Plan text regarding Fairbanks Ranch, Rancho Cielo and the 4S Ranch use "criteria" to describe the direction those Specific Plans should follow. The other Specific Plans described in the text contain "policies" which has a defined meaning in the Community Plan text. Most of the criteria in the 4S Ranch section relate to the 634-acre development within the existing Current Urban Development Area. Criterion 5 suggests that development proposals for the 2,891 acres wait until after 1992, Criterion 6 suggests that the Community Plan be amended in order to develop the 2,891 acres and Criterion 11 suggests that all Specific Plans on the 4S Ranch be in conformance with the Circulation Element.

Project Consistency: The 4S Ranch Specific Plan proposal has been submitted well after 1992, and the amendments to the Community Plan text will provide the planning framework for the development of the 2,891 acres. The project is in conformance with the Circulation Element.

Chapter 3 - Housing

Housing Goal - Ensure that there is adequate housing opportunities for all residents of the [Community] Plan area.

Project Consistency: The Market Study prepared as a part of Phase 1 concluded that the 4S Ranch Specific Plan area would support a mixture of residential development totaling 5,000-6,000 dwelling units, as well as the full range of supporting commercial uses and services. Additionally, the recent Preliminary Series 8 forecast from SANDAG concludes that the existing community plans do not provide sufficient housing to accommodate projected growth. Based on these studies, the proposed 4S Ranch Specific Plan is in conformance with and would serve to implement this policy.

Policy 1: All new multi-family residential development shall be considered for its potential in meeting the fair share low-income housing goals of the San Dieguito Plan area.

Project Consistency: Since the 2,891 acres which make up this portion of the 4S Ranch Specific Plan Amendment equate to approximately 10 percent of the San Dieguito Community Plan area, it could be argued that the 4S Ranch should accommodate 10 percent of the San Dieguito Community Plan Five-Year Fair Share housing goal, which would equate to 68 units assuming the 1986 Housing Element's five-year goal of 680 units. It should be noted, however, that the 680-unit goal was developed when the cities of Solana Beach and Encinitas were still a part of the San Dieguito Community Plan.

As stated in the discussion under the Housing Element, the 4S Ranch Specific Plan proposes to provide "fair share" low and moderate income housing equal to 10 percent of the "market rate" dwelling units proposed by the Specific Plan. Based on the proposed build-out of 4,875 market rate units, this commitment would translate into 490 affordable dwelling units consisting of 245 low income dwelling units and 245 moderate income dwelling units, for a combined total build-out of 5,365 market rate and affordable dwelling units. This commitment exceeds the 4S Ranch's "fair share" by a factor of eight times, based on overall acreage percentages of the community plan area.

The Specific Plan identifies Neighborhood Three and the Mixed-Use District of the 4S Ranch as having the greatest potential for the affordable needs housing program and any special needs housing. These areas are within five minutes walking distance of transit, shopping, school, parks, and recreation. In addition, they are within five to fifteen minutes walking distance of the middle school, high school, and employment center.

Policy 5: Establish criteria for mixed uses (design, scale, location, density).

Policy 7: Encourage mixed uses as part of the implementation of the Rancho Cielo, 4S Ranch and Santa Fe Valley Specific Plans.

Project Consistency: The 4S Ranch Specific Plan is based on a mixed-use concept. It is the central component of its urban design plan. The specific plan text describes in some detail the design, scale, location and density proposed for the Mixed Use District.

Chapter 4 - Circulation

Circulation Goal - Implement a transportation system that is balanced and designed to accommodate a diversity of modes. Automobile, bicycle, equestrian, pedestrian and mass transit networks should be included within the total system. It should

be constructed to include the convenient movement of people, goods and services within the plan area, while minimizing any impacts that would detract from the natural beauty of the area and the quality of life of its citizens.

Project Consistency: Many of the objectives of this goal are implemented by the Specific Plan. The transportation system is designed to accommodate a diversity of modes. Bicycles, pedestrians and mass transit considerations were important considerations in the project design, as was a circulation pattern that provides for the convenient movement of people and goods.

Policy 1: Minimize access to prime arterials to encourage their use as throughways.

Project Consistency: The Specific Plan includes two prime arterial roads, Camino del Norte (SA 680), and Bernardo Center Road (SA 730). No direct access has been provided to any 4S Ranch development parcel from either of these roadways. In all cases, access to 4S Ranch parcels is provided from local collector streets; or, in some limited cases, from major roadways under controlled circumstances.

Policy 3: Minimize private driveway access onto both major and residential collector roads by strictly adhering to the County access policy as outlined in the Public Road Standards.

Project Consistency: The plan has been designed to restrict driveway access in accordance with County standards. In addition, the road network provides multiple routes through the neighborhoods to minimize traffic impacts on individual streets.

Policy 4: Road design shall reflect the unique needs of the planning area...

Project Consistency: The Specific Plan includes a number of roads which are not in conformance with the County's standard road design. Authority to amend these standards is found in this policy, and in the County Subdivision Ordinance (Section 81.403). The Specific Plan text provides details for a number of road types proposed within the Plan.

Policy 5: Road alignment shall minimize the necessity of altering the landscape...

Project Consistency: Since the proposed development is generally located outside of contiguous areas over 25 percent slope, it follows that the road alignments proposed by the plan minimally impact the major

landscape features. For example, the Ralphs Family Ranch Road providing access to the northern portion of the property was specifically sited to avoid impacts to slopes and sensitive habitats.

Policy 8: Establish a separate system of hiking trails, bicycle paths and equestrian trails from which motorized vehicles will be banned.

Project Consistency: The Specific Plan includes a number of trails and bikeways which will not allow motorized vehicles to have access.

Policy 14: Road alignments should avoid stream beds such as...Lusardi Creek.

Project Consistency: Prior to preparation of the development plans for the Specific Plan, the existing alignment of Bernardo Center Drive crossed the upper reaches of Lusardi Creek in the extreme southeast corner of the 4S Ranch. That alignment made a second crossing of Lusardi Creek necessary to provide access to the development. The applicant has proposed that Bernardo Center Drive be extended more to the west, allowing the 4S roadway connection to be made north of the creek and thus requiring only one crossing of the creek.

Policy 15: Major roads serving high density areas- such as North City West, Rancho Bernardo, or La Jolla Valley- should be planned so that they are built within those areas. Planned alignments shall not cross over into low density County land.

Project Consistency: All of the Circulation Element Roads which cross the 4S Ranch and provide access to and from the existing and planned urban areas of the city of San Diego avoid the Estate Development Areas of the unincorporated areas.

Policy 18: Retain the narrow rural character of the San Dieguito roads.

Policy 20: Urban-type street improvements such as gutters, curbs, and sidewalks and extensive street lighting should not be installed because they would detract from the existing, highly-desired rural appearance of San Dieguito.

Project Consistency: These and a number of other circulation policies can and should be applied to the majority of the community plan area, which is designated for rural-estate types of development. However, because the 4S Ranch is designated for urban uses, Policy 3.4 of the

Regional Land Use Element permits the application of the urban road standards.

Chapter 5 - Public Safety, Services and Facilities Education Policies

Schools

Policy 1: Locate and maintain schools in areas free of disturbing factors such as heavy traffic flow or incompatible land uses.

Policy 3: Locate and maintain all elementary schools in areas which will permit safe and direct access for a maximum number of pupils.

Policy 4: Locate upper grade schools so that they are generally accessible to major streets.

Project Consistency: Both of the elementary schools proposed in the 4S Ranch Specific Plan are located adjacent to the 4S Ranch Parkway. The school sites were selected to afford ease of access for both the students and their parents. The major pedestrian and bicycle routes through the community are on the 4S Ranch Parkway. The middle school provided by the Santa Fe Valley Specific Plan is currently proposed to be located along the westerly property line of the 4S Ranch just north of Camino del Norte. The high school site currently being considered by the Poway Unified School District is adjacent to the existing Camino del Norte/Camino San Bernardo interchange within the existing 4S Ranch Business Park. Thus, both the middle and high school sites, when implemented, will be immediately accessible to major streets.

Policy 2: Develop schools in conjunction with neighborhood and community recreation facilities.

Project Consistency: Both of the planned elementary schools have been sited adjacent to public neighborhood and community parks which will enhance the community recreational opportunities.

Facilities Policies

Policy 7: New development shall be guided into areas now served by water, sewer, roads and other services.

Policy 10: Extension of sewer service shall be limited to those areas designated for urban uses on the community plan.

Project Consistency: Urban, non-urban and other types of land use categories are displayed on the Regional Land Use Element. The 2,891 acres was included within the Urban Limit Line by the same action which designated the property 21-SPA on the Community Plan Map. The application of the 21-SPA land use designation in 1984 included the property within an urban designation on the San Dieguito Community Plan map. The development proposed by this Specific Plan Amendment will be within the service district of all services except the 4S Ranch Sanitation District. As previously noted, the sanitation agreement between the 4S Ranch and 4S Ranch County Sanitation District addressed that annexation. Additionally, the annexation of the 2,891-acre portion of the property into the 4S Ranch County Sanitation District will be consistent with Policy 10 since all of the 4S Ranch property is currently within the Urban Limit Line.

Chapter 6 - Conservation

Conservation Goal - Provide a desirable, healthful and comfortable environment for living while preserving San Dieguito's unique natural resources.

Project Consistency: As discussed in the section on the Regional Conservation Element, the proposed 4S Ranch Specific Plan was developed based on a comprehensive set of environmental constraints. The Plan preserves virtually all of the significant resources on site. On a community plan basis, the most significant environmental resources have been identified and placed within the Resource Conservation Area overlay system.

Conservation Policies-

Policy 1: Utilize types and patterns of development that minimize water pollution, air pollution, fire hazard, soil erosion, silting, slide damage, flooding and serve hillside cutting and scaring.

Policy 3: Preserve the best natural features of the area in their natural state and avoid the creation of an urbanized landscape.

Project Consistency: The Phase 1 constraints analysis identified the best natural features of the site for preservation as natural open space. The type and pattern of the development proposed by the specific plan has been keyed to the constraints analysis developed in Phase 1 so that the project impacts minimize water and air pollution, soil erosion, flooding and impacts to hillsides.

Floodplain and Watercourse Goal - Provide protection from loss of life and property from flooding while preserving all floodplains and watercourses in their natural state.

Project Consistency: All of the identified floodplains have been placed into open space designations by the specific plan, and the design of the plan has been modified to minimize direct and indirect impact to the floodplains and watercourses.

Floodplain and Watercourse Policies -

Policy 1: Provide for adequate setbacks from all watercourses to protect property, improve water quality, and enhance the aesthetic beauty of the riparian environment.

Policy 6: Utilize the linear geographic qualities provided by floodplains as locales for greenbelts, open space corridors, community footpaths and park land.

Policy 8: Retain all watercourses in their natural state and prohibit all structures within the floodway.

Project Consistency: The specific plan retains both Artesian Creek and Lusardi Creek in their natural state by placing both areas into open space designations which will function as corridors, and which include both footpaths and park lands. The design of the specific plan also provides for adequate setbacks from the watercourses further enhancing the riparian environment.

Natural Habitat Protection Goal - Prevent the unnecessary alteration of the natural landscape within the San Dieguito Plan area.

Project Consistency: The design of the specific plan is based on the constraints analysis prepared in Phase 1. Those portions of the site containing the most valuable natural resources were identified and in most cases these areas were placed into open space designations preventing their unnecessary alteration.

Natural Habitat Protection Policies

Policy 1: Preserve the integrity, function and long-term viability of the environmentally sensitive habitat within the plan, with emphasis placed on areas exhibiting riparian characteristics, coastal sage scrub and coastal mixed chaparral.

Policy 2: Prevent adverse impacts to the coastal mixed chaparral and sage scrub habitat by preserving within a major inland open space system all native vegetation on slopes of 25 percent or more.

Policy 3: The following guidelines shall be used to evaluate proposals for development on parcels of 10-acres or more located within the environmentally sensitive Coastal Mixed Chaparral and Coastal Sage Scrub habitats.

- a. All such development shall be subject to the Planned Development Procedures of the county Zoning Ordinance.*
- b. Development shall be clustered away from slopes over 25 percent or more.*
- c. Open space shall be designed as a contiguous network within the project and linked with open space areas on adjacent parcels...*
- d. Create or maintain local wildlife movement corridors.*
- e. Retain all types of plant habitats...to achieve the best possible representation of the original habitat.*
- f. Integrate the design of the development with the uses and activities of adjacent parcels.*
- g. Preserve rare and endangered species on site and in their natural habitat.*

Project Consistency: The 4S Ranch Specific Plan preserves virtually all of the sensitive habitats and slopes over 25 percent identified above. In doing so the specific plan preserves the function, and long term viability of the environmentally sensitive habitats, including the coastal sage scrub and mixed chaparral habitats. The development proposed by the specific plan is clustered away from the steep slope areas, and the designated open space is linked with the open space areas on adjacent properties thus providing corridors for local wildlife. The development proposed by the specific plan has been designed to be integrated with and support the development on adjacent parcels.

Soils Goal - Minimize erosion caused by grading for development and agricultural uses.

Project Consistency: Opportunities for erosion have been minimized by the project design since almost all of the areas identified for development by the specific plan are under 25 percent slope.

Soils Policies -

Policy 2: Grading should retain the natural appearance of the existing land forms and natural slopes in excess of 25 percent shall be protected from unnecessary grading.

Policy 4: All grading plans shall include preparation for an installation of landscaping.

Policy 8: Unaltered land greater than 25 percent slope and at least 1,000 square feet in area shall be retained in it's natural state.

Project Consistency: Almost all areas with slopes over 25 percent have been placed into areas designated for open space by the specific plan thus preserving their natural appearances. Within the developed areas of the specific plan there are some isolated areas of steep slope which will be required to be graded. In the La Jolla Valley, for example, the grading plan has been prepared to retain the natural curvilinear pattern of the existing slope. Although the development envelope of the Specific Plan avoids the major concentrations of slopes over 25 percent, there are some limited, isolated areas where development will conflict with Policy 8.

Dark Sky Goal - Restrict the use of exterior lighting throughout the San Dieguito Community Plan.

Project Consistency: The 4S Ranch Specific Plan includes Community Design Guidelines that addresses exterior lighting and a specific guideline on Dark Sky Protection.

Dark Sky Policies

Policy 2: Street lighting shall not be made a condition of subdivision approval unless it is necessary for traffic safety at road intersections.

Project Consistency: Because the 4S Ranch is an urban project proposing urban land uses, safety considerations will require that street lighting, conforming to appropriate county standards, be made a condition of the subdivisions implementing the specific plan. However,

the 4S Ranch Specific Plan contains guidelines relative to down shielded street and parking lot lighting fixtures and using low intensity street lamps.

Policy 3: Commercial uses shall restrict hours of nighttime operation and shall utilize a subdued lighting system.

Policy 4: Prohibit lighting of exterior sports facilities, both public and private.

Project Consistency: The 4S Ranch Specific Plan text includes lighting guidelines with which development must be consistent. These guidelines will assure that the county's Dark Sky policies and standards are achieved. The Mixed Use Core and the Community Park are required by the Specific Plan and Zoning to have a Major Use Permit. The specifics of the lighting within these areas will be addressed as part of the more detail planning of these areas and the review of the MUP.

Cultural Sites Goal - Preserve and enhance access to archeological resources and provide adequate protection for those sites that are as yet discovered.

Cultural Policy 1: Identify and preserve significant historic sites.

Cultural Policy 2: All new development or construction should be preceded by test excavations and salvage programs.

Project Consistency: The 4S Ranch Specific Plan includes a detailed and exhaustive analysis of the onsite cultural resources. The design of the specific plan has been modified a number of times to ensure that the maximum number of cultural sites have been preserved within the project's system of open space.

Chapter 7 - Recreation Policies

Policy 1: Provide a minimum of 15 acres of local recreational area for each 1,000 population for the entire community to be distributed as follows:

- *one third to neighborhood and other close-at-hand recreational facilities;*
- *one third for community parks;*
- *the remainder for other facilities serving the entire San Dieguito area, such as trails or nature preserves.*

Project Consistency: The 2,891-acre 4S Ranch Specific Plan exceeds all County requirements for public parks. The County Park Land Dedications Ordinance groups community and neighborhood parks together as local parks. The standard for both the PLDO and the PFE for local parks is three acres per 1,000 population which is consistent with the State of California Quimby Act on parkland dedication requirements for new developments. The PLDO also allows for the payment of park fees in the amount of \$1,000 per residential dwelling unit in lieu of the dedication of land. This payment is considered equivalent to the land dedication standard. In addition, the County Department of Parks and Recreation, by department policy, credits private parks acreage at 1/2 credit toward the PLDO requirements. The San Dieguito Community Plan, however recommends five acres per 1,000 population for community parks in addition to five acres per 1,000 population for neighborhood parks.

The 2,981-acre 4S Ranch Specific Plan Area has a buildout population estimate of 14,593. Based on the PLDO, PFE and Quimby Act requirements, a total of 43.8 acres of local parks would be required to be dedicated. A total of 145.9 acres of neighborhood and community parks would be recommended under the San Dieguito Community Plan. The 2,891-acre 4S Ranch Specific Plan Amendment proposes the dedication of 205 acres of local public (community and neighborhood) parks. In addition the Specific Plan Amendment offers an additional \$677.00 per residential dwelling unit for public park improvements. This equates to an additional 29.2 acres of parkland dedication. Furthermore, the 4S Ranch Specific Plan designates an additional 22 acres of private parks which by County Parks and Recreation policy would be credited at 1/2 the acreage provided (or 11 acres) toward the PLDO/PFE requirements. Altogether the 4S Ranch Specific Plan offers the equivalent of 245.2 acres of parkland dedication. This exceeds the requirements of the PLDO, PFE and Quimby Act by 600 percent, and is almost double the recommendation of the San Dieguito Community Plan. The San Dieguito Community Plan also recommends 5 acres per 1,000 population for regional serving uses, such as nature preserves. In addition to the public parks proposed in the 4S Ranch Specific Plan, 1,445 acres of additional nature preserves, or 20 times the Community Plan recommendation is proposed.

Policy 2: Provide local park facilities that are appropriate for the individual neighborhoods and communities in which they are located.

Policy 3: Develop parks in conjunction with schools wherever possible and encourage joint use of facilities.

Project Consistency: The local parks planned for and provided by the 4S Ranch have been designed to meet the anticipated needs of both the adjacent neighborhoods and the community as a whole. Both planned elementary schools have been sited adjacent to parks and the opportunity for joint use of the facilities is available.

Policy 6: Maintain appropriate areas within neighborhood and community parks in a natural state, retaining natural topography and vegetation.

Project Consistency: The Lusardi Creek Community Park has both an active area with ballfields, play areas, parking etc., and a natural area where the topography and vegetation are essentially left in their natural state.

Open Space Goal - provide a system of open space that is adequate to preserve the unique natural elements of the community.

Open Space Policies

Policy 1: Enhance health and safety and conserve natural resources through the preservation of open space.

Policy 4: During the review of large scale projects permit the use of planned developments to cluster structures and leave areas of natural open space.

Policy 5: Adjacent residential development should locate their peripheral open space areas next to each other in order to maximize the beneficial effect provided by such a use.

Project Consistency: As discussed above, the project design provides substantial areas of open space which will conserve natural resources. The specific plan clusters development into the central areas of the site. The peripheral open space areas are in most cases located adjacent to the designated open space areas of adjacent developments.

Noise Goal - Protect and enhance the county's acoustical environment by simultaneously controlling noise at its source; along transmission lines; and at the site of the ultimate receiver.

Noise Policies

Noise Policy 1: Utilize solid barriers to attenuate noise impacts from conventional light vehicle traffic.

Project Consistency: The project includes appropriate sound mitigation techniques including solid barriers to minimize noise impacts to county residents.

Energy Goal - Ensure maximum conservation practices and maximum development of alternative sources of energy.

Energy Policy 8: Promote the availability of safe and practical walking and bicycling routes within the Plan area.

Project Consistency: The project includes a detailed and well planned system of walkways and bicycle paths to provide maximum opportunities for project residents to use these alternative forms of transportation.