

SANTA FE CREEK

Specific Plan No. 92-01

Developed by:

ESCONDIDO CREEK DEVELOPMENT

Prepared by:

T & B PLANNING CONSULTANTS, INC.

5897 Oberlin Drive, Suite 208

San Diego, California 92121

Contact Persons:

Douglas P. Boyd

Karen Ruggels

In Association with:

WUNDERLIN ENGINEERING, INC.

ENTRANCO

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Laurie Simon

San Dieguito Engineering, Inc.

4407 Manchester Avenue, Suite 105

Encinitas, California 92024

(760)753-5525

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TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
I. PROJECT SUMMARY	1
II. INTRODUCTION.....	2
A. DOCUMENT PROPOSE	2
B. PROJECT LOCATION AND SETTING	2
C. SITE ANALYSIS	5
1. Existing Site Conditions.....	5
2. Topography	5
3. Drainage.....	5
4. Geology and Soil.....	5
5. Vegetation.....	7
6. Existing Utilities	7
D. OPPORTUNITIES AND CONSTRAINTS.....	7
1. Landform and Access.....	7
2. SDG&E Easement.....	9
3. Escondido Creek	9
E. PLANNING BACKGROUND	10
1. Existing and Surrounding Land Uses.....	10
2. Existing Land Use Designations and Zoning	13
III. SPECIFIC PLAN.....	15
A. PLANNING OBJECTIVES.....	15
1. Specific Plan	15
2. General Plan Amendment	16
3. Rezone	16
B. SPECIFIC LAND USE PLAN	16
1. Overview	16
2. Residential Planning Areas.....	16
3. Open Space	20
4. Roads and Circulation	24
C. DEVELOPMENT PLANS AND STANDARDS	26
1. General Development Standards	26
2. Residential Land Use	28
3. Circulation Plan	39
4. Drainage Plan	41
5. Water and Sewer	41
6. Grading Plan	46

<u>SECTION</u>	<u>PAGE</u>
IV. DESIGN GUIDELINES.	48
A. OVERVIEW.	48
B. DESIGN OBJECTIVES.	48
C. DESIGN ELEMENTS	48
1. Expanded Easement Treatment.	49
2. Equestrian Element	49
3. Walls and Fences.	49
D. LANDSCAPE GUIDELINES.	54
1. Landscape Design and Theme.	54
2. Plant Material Guidelines.	54
3. Irrigation Requirement.	58
4. Brush Management.	58
V. CONSISTENCY WITH APPLICABLE COUNTY PLANS, ORDINANCES AND STANDARDS.	59
A. OVERVIEW.	59
B. GENERAL PLAN ELEMENTS	59
C. SAN DIEGUITO COMMUNITY PLAN.	66
D. RESOURCE PROTECTION ORDINANCE.	71
VI. IMPLEMENTATION.	73
A. PHASING.	73
B. FINANCING.	73
C. PROCESSING AND REVIEW.	73
D. MAINTENANCE.	75

TABLE OF CONTENTS
SANTA FE CREEK SPECIFIC PLAN, NO.92-01

LIST OF FIGURES

<u>FIGURE</u>		<u>PAGE</u>
1	Regional Map	3
2	Vicinity Map	4
3	Aerial Photograph	6
4	Opportunities and Constraints Map.	8
5	Existing Community Plan Designations.	11
6	Existing Zoning.	12
7	Project Site Land Use Designation and Zoning.	14
8	Master Land Use Plan.	17
9	Residential Planning Areas.	19
10	Open Space Plan.	21
11	Circulation Plan – Vehicular, Pedestrian and Trails.	25
12A-D	Building Envelope Setbacks.	35-38
13A	Street Cross-Sections – “A” and Street “B”	40
13B	Street Cross-Sections – Equestrian Trail and Unimproved Access.	41
14	Drainage Plan	43
15	Water/Sewer Plan	44
16	Grading Plan	47
17	SDG&E Treatment	51
18	Walls and Fences Plan	52
19	Typical Walls and Fences.	53
20	Master Landscape Plan.	55
21	Project Phasing.	74

LIST OF TABLES

<u>TABLE</u>	<u>PAGE</u>
1 Santa Fe Creek Statistical Summary	18
2 Open Space Summary	22
3 Mesa Top Planning Area Lot Development Criteria.	29
4 Cornerstone Planning Area Lot Development Criteria.	31
5 Building Envelope Setbacks.	32

I. PROJECT SUMMARY

Santa Fe Creek is planned as a large lot residential development on approximately 195 acres in the San Dieguito Community planning area of San Diego County. The project site is characterized by flat north-south trending mesa tops incised by natural drainages tributary to Escondido Creek. Escondido Creek, viewed as a valuable wildlife habitat and open space resource, traverses the site in an east-west direction. The site's unique natural landforms provide an opportunity to locate development in flatter, easily accessible areas of the site while preserving significant wildlife habitat and steep hillsides in open space.

Santa Fe Creek will provide 45 homesites for future construction of custom and semi custom homes. Most of these lots will be concentrated on a flat mesa top in the southern portion of the site. Development also is planned for the southeast corner of the site where a circulation element road approved in conjunction with the adjacent Rancho Cielo project crosses Santa Fe Creek. Lot sizes within Santa Fe Creek will range in size from a minimum of one acre to more than four acres.

Via de las Flores and Vista Cascada will provide access to the site. Via de las Flores enters the site from the south, intersecting with the principal east-west project road.

Vista Cascada enters the project site at its southwest corner. This road is planned to be improved as part of the adjacent Horizon Country Club project. Both Via de las Flores and Vista Cascada will provide direct access to Aliso Canyon Road south of the site.

The northern mesa tops as well as Escondido Creek and steeply sloping hillsides will be preserved in open space through dedication or easements. Open space provided as part of the project is designed to protect wildlife habitat and expand passive recreational opportunities. A system of equestrian/pedestrian trails provided as part of the project will access Escondido Creek and continue through the project connecting with the off-site County trail system.

This Specific Plan has been prepared to provide the guidelines and criteria for development of Santa Fe Creek. Other actions accompanying this document include approval of a Tentative Map, General Plan Amendment and Rezone, and certification of the Environmental Impact Report. Resolutions of these actions and copies of supporting documentation are on file with the County of San Diego.

II. INTRODUCTION

A. DOCUMENT PURPOSE

According to Section 65450 of the California Government Code, local agencies are granted the authority to prepare a specific plan of development for any area covered by a General Plan. The purpose of this "Specific Plan" is to establish systematic methods for implementation of the agency's General Plan. A Specific Plan, as the term implies, is specific in nature, designed to address site specific issues such as existing on-site conditions relative to topography and existing environmental concerns, site design and layout, including setbacks and visual appearance, as well as project-wide issues such as on-site and off-site circulation, utility provisions and infrastructure financing alternatives. While a General Plan examines an entire City or County, a Specific Plan concentrates on individual development issues of a particular project. In general, the Specific Plan provides a bridge between the General Plan and individual project submittals in a more area-specific manner than is possible with community-wide planning and zoning documents.

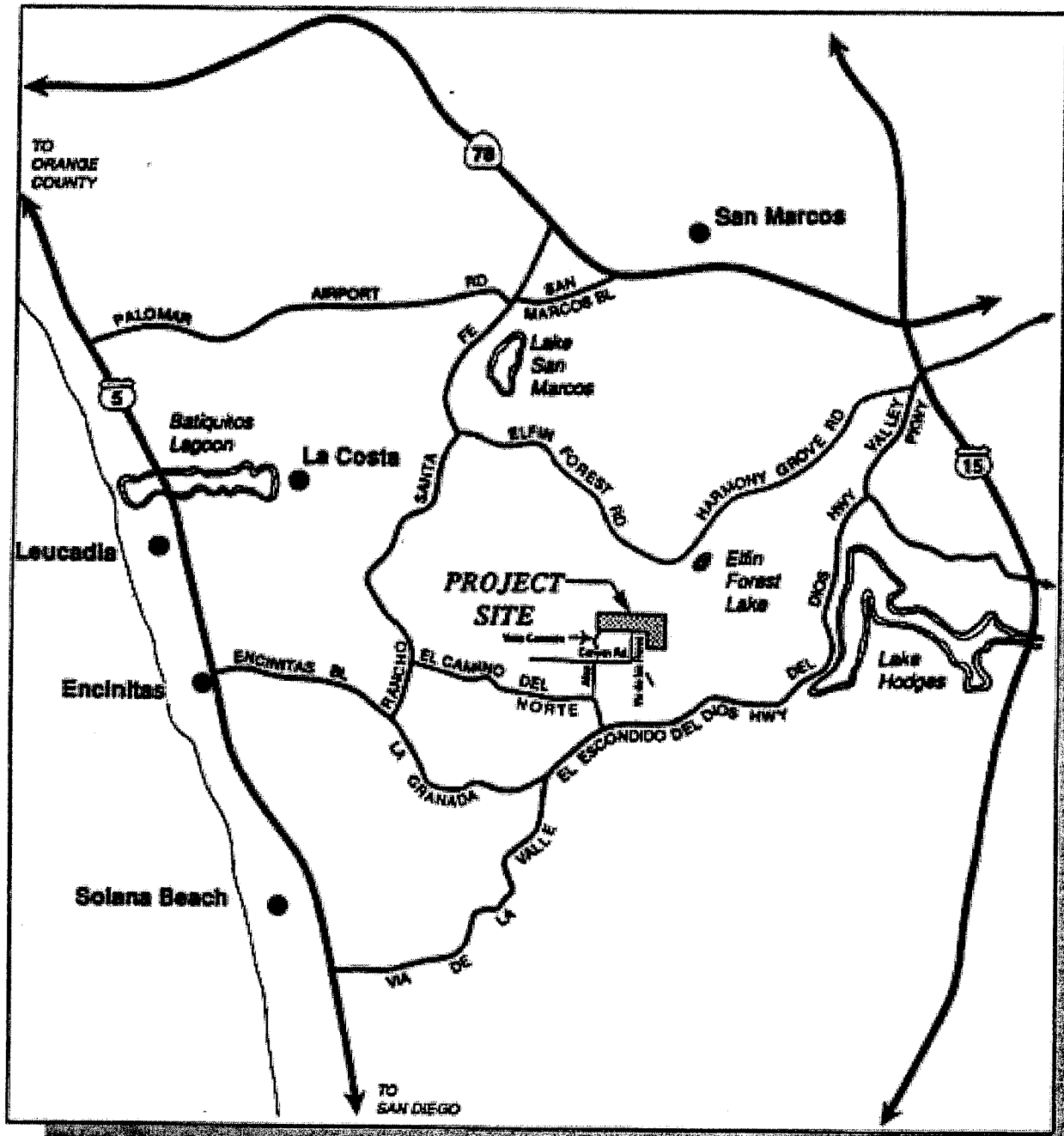
The purpose of this Specific Plan document is to provide a comprehensive framework for development of Santa Fe Creek. Santa Fe Creek is a master-planned development encompassing 195 acres in the San Dieguito planning area of the County of San Diego. This document has been prepared in a format which incorporates all applicable policies of the County General Plan and the San Dieguito Community Plan and is in conformance with State regulations governing Specific Plans. The Santa Fe Creek Specific Plan establishes objectives which ensure that the development meets with the County's standards of environmental protection, infrastructure, quality of design and planning, and the maintenance of aesthetic quality and cultural identity.

In addition to the Specific Plan, an accompanying Environmental Impact Report (EIR) has been prepared in accordance with the California Environmental Quality Act (CEQA) and is on file with the County of San Diego Department of Planning and Land Use. The reader is referred to that document for a discussion of project-wide environmental effects of the project.

B. PROJECT LOCATION AND SETTING

Santa Fe Creek is located within the San Dieguito Community Plan area, less than three miles northeast of Rancho Santa Fe, four miles southeast of the City of Escondido and north and west of Lake Hodges. As depicted on the *Regional Map*, Figure 1, and shown on the *Vicinity Map*, Figure 2, Santa Fe Creek encompasses approximately 195 acres in the unincorporated area of San Diego County. The subject site lies between the northern termini of Via de las Flores and Vista Gascada and the southern terminus of Suerte del Este. Santa Fe Creek shares its southerly property boundary with the Horizon Country Club and Rancho Cielo developments, portions of which are now under construction. The

REGIONAL MAP



SOURCE: T & B Planning Consultants

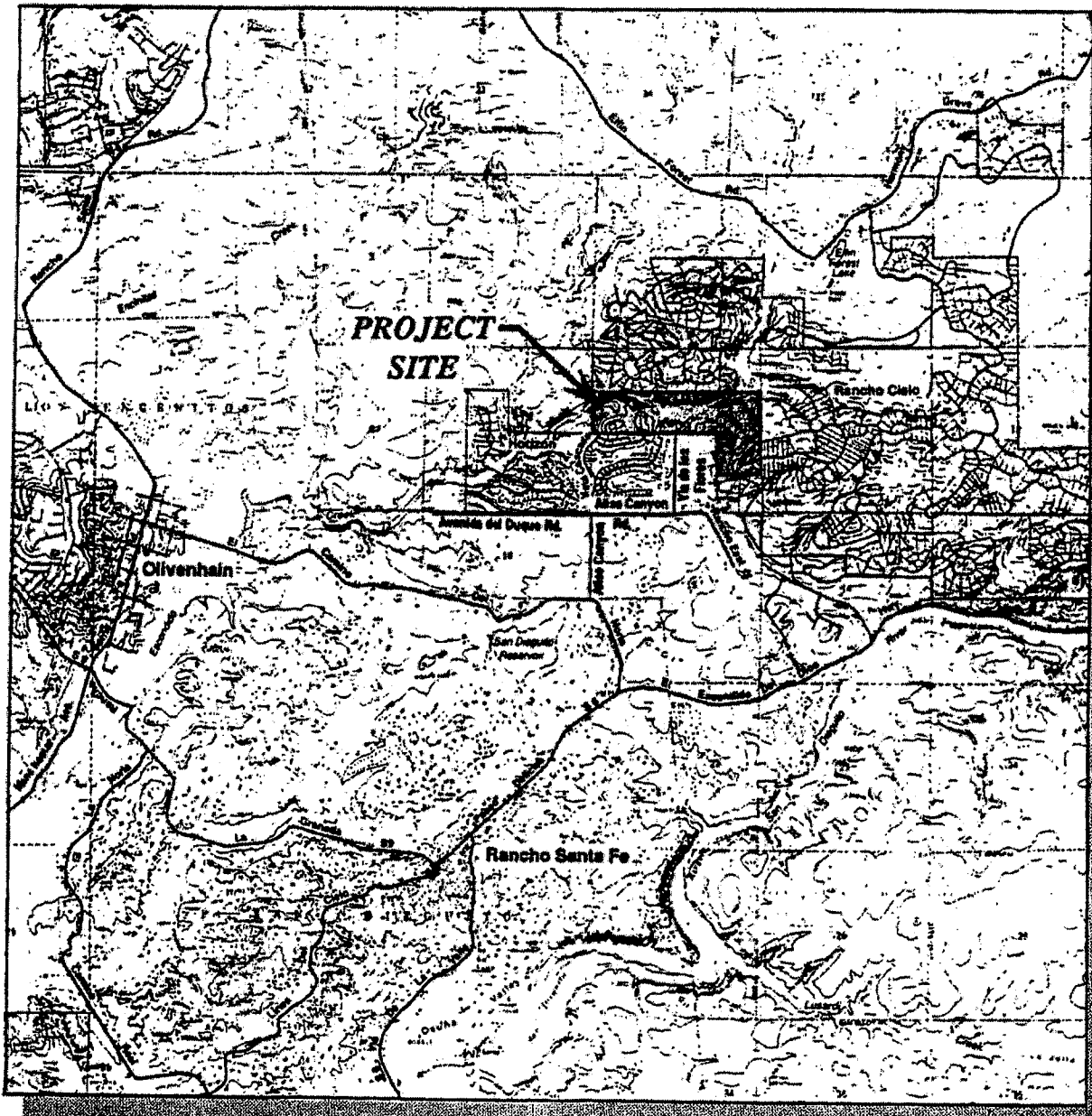
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FIGURE 1

II. INTRODUCTION

SANTA FE CREEK SPECIFIC PLAN NO. 92-01

VICINITY MAP



SOURCE: T & B Planning Consultants

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FIGURE 2

II. INTRODUCTION

SANTA FE CREEK SPECIFIC PLAN NO. 92-01

Rancho Cielo Specific Plan is also located north and east of the property with a portion of Rancho Cielo's circulation system planned within the southeasterly corner of the project site. West of the project site is undeveloped land and large lot development.

C. SITE ANALYSIS

1. EXISTING SITE CONDITIONS

Existing site conditions are presented in Figure 3, *Aerial Photograph*. The project site is characterized by areas of natural, relatively undisturbed native vegetation as well as areas of previous disturbance reflecting prior farming or grazing activities in the southern portion of the site and brush fire in the northern reaches. Hillsides flanking Escondido Creek remain in their natural state, although the creekbed has been an unauthorized depository for trash and abandoned vehicles.

Many dirt roads traverse the property. The primary north-south unimproved roadway provides legal access to three homeowners north of the property. Other dirt roads function as utility easement accessways or unauthorized equestrian use.

2. TOPOGRAPHY

The project site is characterized by the northern reaches of a mesa top formation which broadens further south. Escondido Creek traverses the site in a east-west direction and provides a natural topographic break for the project, with development located south of the creek and open space to the north. The landform flattens out again north of Escondido Creek as intervening mesa tops encroach the northern limits of the project site. Elevations on the property range from 925 feet mean sea level (MSL) in the southeast corner of the property to a low of approximately 200 feet MSL in the northwestern corner at the base of Escondido Creek.

3. DRAINAGE

Escondido Creek, running in an east-west direction through the site, functions as the major drainage course for the property. Escondido Creek flows from the City of Escondido through unincorporated areas of the County and through the City of Encinitas eventually emptying into San Elijo Lagoon, located approximately four miles west of the property.

4. GEOLOGY AND SOILS

Results of the geologic reconnaissance performed for the project indicate that there are no geologic hazards on the property which would preclude development of the property. The majority of the project site is overlain by a loose topsoil layer averaging two to three feet in thickness. Undocumented fill occurs as narrow strips associated with the many dirt roads, embankments and trails that cross the site. Slopewash soils occur along canyon side slopes and near the base of natural slopes. Alluvium is present within or on

AERIAL PHOTO



SOURCE: T.A.B. Planning Consultants
NOT TO SCALE

FIGURE 3
II. INTRODUCTION
SANTA FE CREEK SPECIFIC PLAN NO. 92-01

lower slopes of drainage bottoms. Metavolcanic rocks of the Jurassic-age comprise the Santiago Peak volcanics formational geologic materials for the site.

5. VEGETATION

Vegetation on the site is composed primarily of coastal sage scrub, chaparral, riparian woodland and disturbed plant communities. The steep north facing slopes flanking Escondido Creek support a dense arborescent phase of coastal sage scrub, while Diegan sage scrub occurs in the more gentler sloping areas of the site. Riparian woodlands occur along Escondido Creek. The northern and southern mesa top portions of the site have undergone various stages of disturbance as evidenced in the *Aerial Photograph*, Figure 3. Disturbed coastal sage scrub and non-native grasslands occur in these areas.

6. EXISTING UTILITIES

There are several utilities and/or easements which either cross the project site or terminate at its border. A 100-foot-wide SDG&E easement traverses the western portion of the site in- a northwest/southeast direction. Contained within this easement are three circuits of alternating current consisting of one 138 kV circuit and two 230 kV circuits. A 200-foot-wide easement runs through the approximate center of the project site on a northwest to southeast diagonal. This easement contains two circuits: one 138 KV circuit and one 230 kV circuit. In addition, a 100-foot wide easement for the San Diego County Water Authority pipeline traverses the center of the site in a north-south direction.

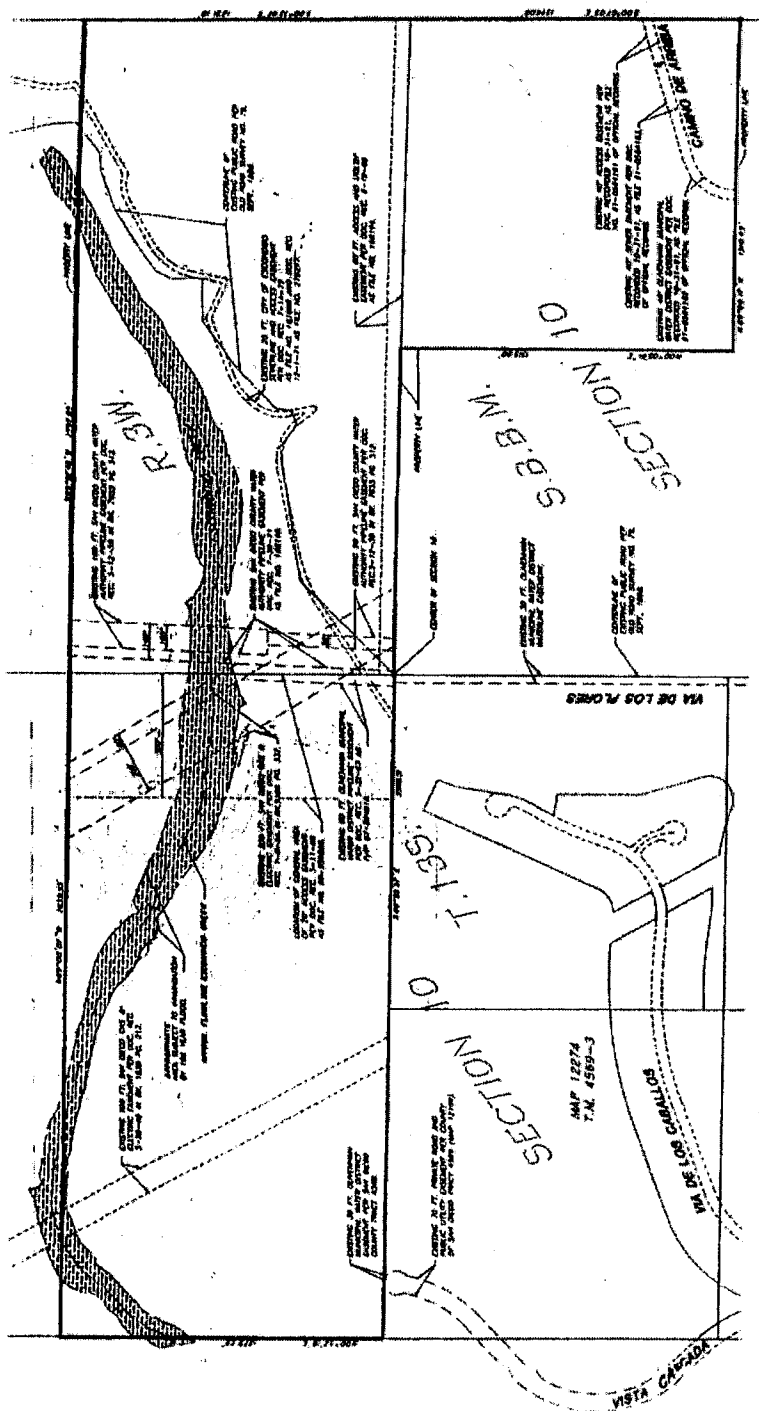
D. OPPORTUNITIES AND CONSTRAINTS ANALYSIS

The primary opportunities and constraints facing development of the Santa Fe Creek property are landform and existing points of access, the SDG&E utility easements and Escondido Creek. The Land Use Plan has been based on a .comprehensive opportunities and constraints analysis of the property. The results of that study are graphically represented in Figure 4, *Opportunities and Constraints Map*, and summarized here. The property's underlying topography, the presence of Escondido Creek, and the preponderance of high quality native vegetation have directed a sensitive development scheme for Santa Fe Creek.

1. LANDFORM AND ACCESS

The project has been designed to function as a part of the underlying landform taking advantage of existing points of access to minimize landform alteration, and two primary development areas result. The majority of the residential development will be located on the flat mesa top in the southern portion of the site at the northern terminus of the improved portion of Via de las Flores. Set at a higher elevation, this mesa top development area will overlook the adjacent Horizon Country Club golf course and will have expansive view opportunities to the south and west.

OPPORTUNITIES & CONSTRAINTS MAP



SOURCE: Wunderlin Engineering, Inc.

FIGURE 4
II. INTRODUCTION
SANTA FE CREEK SPECIFIC PLAN NO. 92-01

The eastern portion of the site is constrained by steeply sloping topography. This area is planned as an extension of the Escondido Creek Open Space and would not be disturbed by development. Equestrian trails planned for this area would utilize existing dirt roads.

Physically separated by the project's open space, homesites are also planned for the southeastern corner of the site. An approved circulation road crosses this corner of the site providing access to these homesites. Development of this area will occur with development of the adjacent Rancho Cielo project and associated circulation system.

2. SDG&E EASEMENTS

A man-made constraint to development of the property is presented by high power transmission lines and towers within the SDG&E 100-foot-wide and 200-foot-wide easements. Crossing the property in a northwest-southeast direction, SDG&E's 100-footwide easement encompasses 3.4 acres and bisects the development area planned for the southern mesa top. In an attempt to lessen the utility's visual impact on the development, ~~a 50-foot setback on both sides of the SDG&E easement will extend the distance between future residential units and the powerpoles and transmission lines. No inhabitable structures will be permitted in the 50-foot setback.~~ Additionally, ~~the latticetype power poles will be replaced with monopole structures. The project uses the constraints posed by powerlines, poles and easement as an opportunity to provide a landscaped area for passive recreation, such as hiking and wildlife observation, and pedestrian passage.~~ the 138kv line within the 100' western easement will be undergrounded.

SDG&E's 200-foot-wide easement traversing the center of the site in a north-south direction is not regarded as a major constraint to the project. Power poles and utility lines within this easement quickly descend the mesa top as the topography transitions into the steep canyon slopes flanking Escondido Creek. Their visibility in proximity to development is diminished due to elevational differences between power poles and homesites. ~~A 50-foot setback will be provided on both sides of the SDG&E easement; no habitable structures will be permitted in the 50-foot setback.~~

3. ESCONDIDO CREEK

Escondido Creek is an important natural element of the project site affording both an opportunity and constraint to planning of the property. Escondido Creek acts as a natural separation between developable mesa top areas in the northern and southern portions of the site. As a constraint, access between these two areas is not easily accomplished without improved crossing of the creek which could prove costly and potentially environmentally damaging. As an opportunity, Escondido Creek provides high quality habitat value and open space relief to the developing area.

In order to maintain the natural features of the creek as a visual amenity and to promote its protection as a valuable wildlife resource, Santa Fe Creek sites development south of the creek, preserving approximately 127 acres in contiguous open space. Included within this open space preserve are the 14.0-acre floodway of Escondido Creek, steeply sloping

canyon sides which flank the creekbed, the flat mesa tops which intrude into the site from its northern boundary, and steep eastern slopes.

Although through its design the project does not preclude crossing of the creek via an existing unimproved road, no improvements to the creek crossing will occur with the project. Some unimproved roads on the property will continue to provide equestrian and pedestrian access to the creek for passive enjoyment of this resource, while others will be revegetated with coastal sage scrub species to enhance natural wildlife habitats.

E. PLANNING BACKGROUND

The Santa Fe Creek property is located within the San Dieguito Community planning area, an unincorporated area located in the County of San Diego. The San Dieguito Community Plan, various elements of the County of San Diego General Plan, the County Zoning Ordinance, and other planning policies govern development of the project site.

1. EXISTING AND SURROUNDING LAND USES

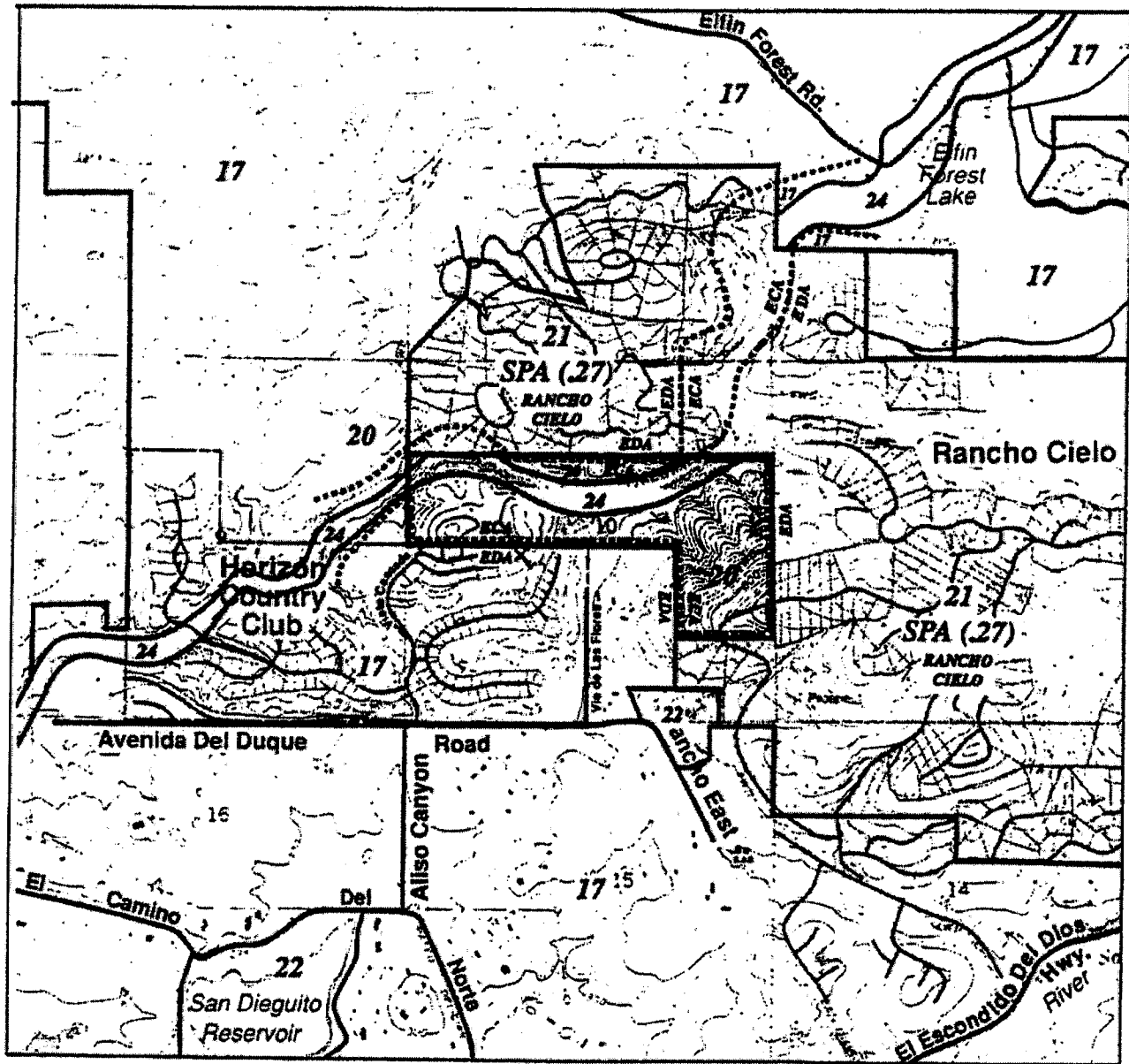
Figure 5, *Existing Community Plan Designations*, graphically depicts the pattern of development in proximity to Santa Fe Creek. Characterized by a disturbed mesa top in the southern portion of the property and steep canyon sides flanking Escondido Creek, the site is surrounded by existing or approved, but not-yet-built, low density development.

The Rancho Cielo Specific Plan Area (SPA) is located to the north, east and south. Zoned R-R1 (1-acre minimum), this area is designated 21 (SPA). Rancho Cielo will provide 770 dwelling units on a total of 2,815 acres. Residential land uses within Rancho Cielo will include townhomes and single-family units on large lots, ranging from one to more than 10 acres, averaging 2.43 acres with an overall residential density of one dwelling unit per 3.66 acres. Additional land uses within Rancho Cielo will include a neighborhood commercial area, village center and firestation, heliport, equestrian center, water reclamation facilities and substantial open space areas.

The Horizon Country Club lies directly southwest of Santa Fe Creek and proposes a golf course community with 205 single family dwelling units on a total of 446 acres for an overall density of one unit per 2.18 acres. Residential land use within the Horizon Country Club community includes single family units on lot sizes ranging from 7,800 square feet to 6.24 acres. Open space areas and an 18-hole golf course and country club will also be developed on 229 acres. The clubhouse will include office space, dining facilities, locker rooms, golf shop and tennis facilities. Presently, the Horizon Country Club development has been graded and construction is proceeding.

Land immediately west and northwest of Santa Fe Creek is zoned R-R.5 (2 acre minimum) and designated Estate Residential. Individual lots in this area have been developed with large estate homes or remain vacant.

EXISTING COMMUNITY PLAN DESIGNATIONS



17	Estate (1 Du/2 and 4 Acres)	24	Impact Sensitive Area (1 Du/4,8 and 20 Acres)
20	Agricultural Preserves (1 Du/8 Acres)	EDA	Estate Development Area
21	Specific Plan Area	ECA	Environmentally Constrained Area
22	Public/Semi-Public Area		Project Site



SOURCE: T & B Planning Consultants

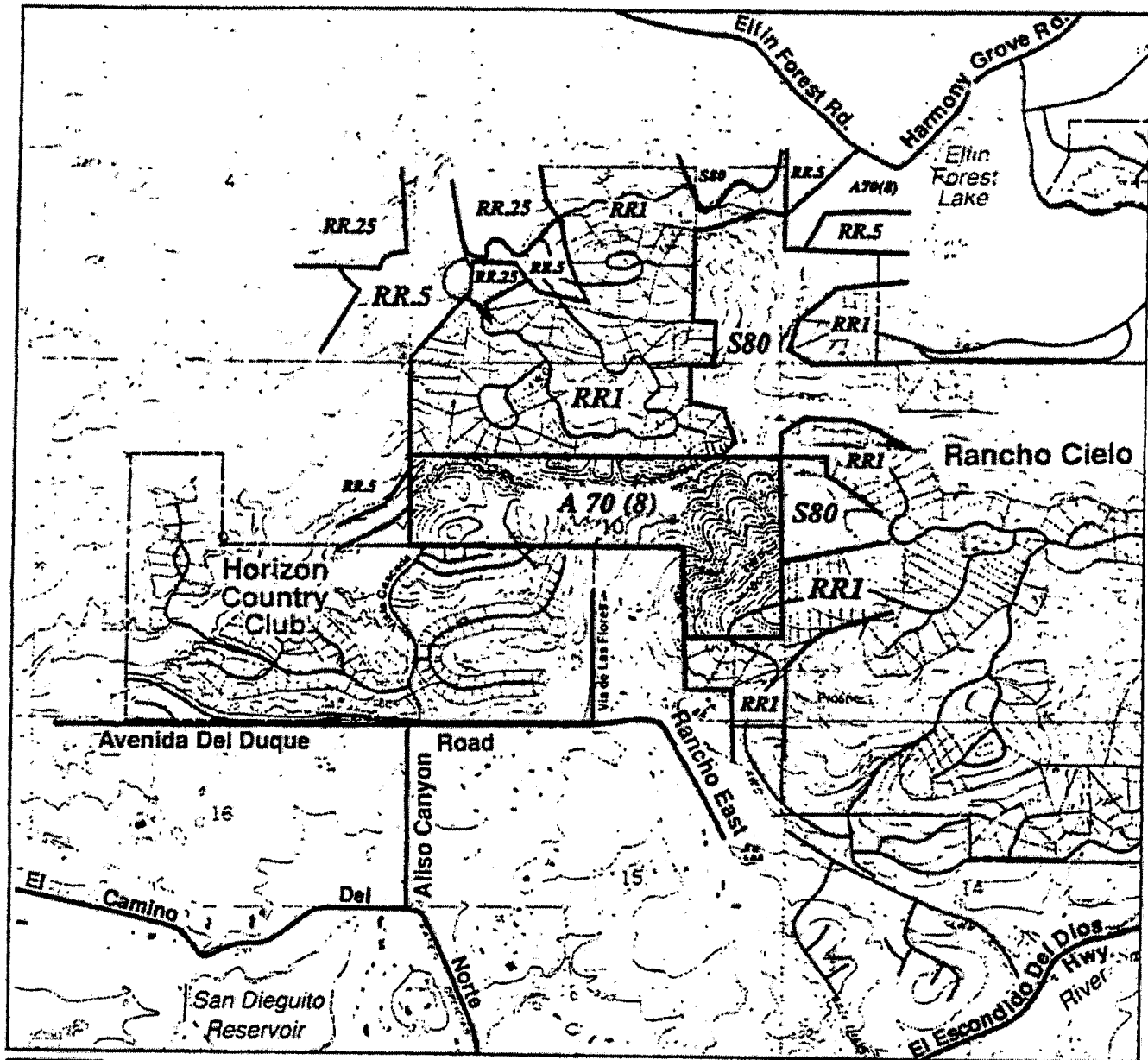
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FIGURE 5

II. INTRODUCTION

SANTA FE CREEK SPECIFIC PLAN NO. 92-01

EXISTING ZONING



A70(8)	Limited Agriculture (8 Acre Minimum)	RR1	Rural Residential (1 Acre Minimum)
RR.25	Rural Residential (4 Acre Minimum)	S80	Rural Residential
RR.5	Rural Residential (2 Acre Minimum)		Project Site



SOURCE: T & B Planning Consultants

FIGURE 6

II. INTRODUCTION

NOT TO SCALE

SANTA FE CREEK SPECIFIC PLAN NO. 92-01

2. EXISTING LAND USE DESIGNATIONS AND ZONING

According to the San Dieguito Community Plan, the property is designated (20) Agricultural Preserve and (24) Impact Sensitive. Figure 6 shows existing zoning for the property.

Up until March 1992, the project site was under a Williamson Act Contract, identified as Agricultural Contract No. AP-77-61. That contract was filed on February 28, 1978 as document #78-080258. A Notice of Non-Renewal was filed on March 8, 1982 as document #82-062928. As of March 1992, the portion of property within the agricultural preserve has been released from contract.

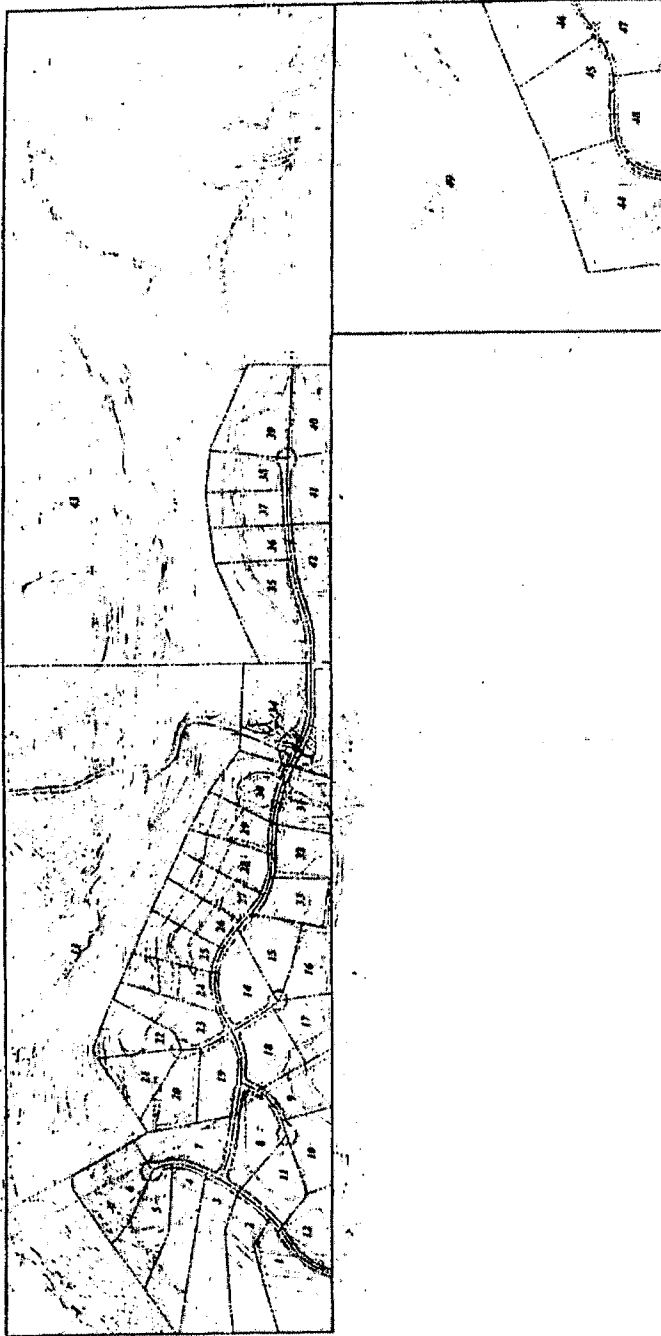
The (20) Agricultural Preserve designation has been applied to portions of the site to reflect the Williamson Act Contract. The (24) Impact Sensitive designation is applied to areas considered unsuitable for urban development for reasons of public safety or environmental sensitivity. This designation is placed on the Escondido Creek and floodway area due to its environmental sensitivity.

The current zoning of the project site is A70 Limited Agricultural Use. This zone is intended to create and preserve areas primarily for agricultural crop production. The project site also lies within an area designated Environmentally Constrained Area (ECA). ECA's include floodplains, lagoons, areas with construction quality sand deposits, rock quarries, agricultural preserves and areas containing rare and endangered plant and animal species. The ECA designation on the project site reflects valuable wildlife habitat occurring on the site associated with Escondido Creek and areas of native vegetation.

A General Plan Amendment and Rezone accompany this Specific Plan. The General Plan Amendment results in a change in land use designation from (20) Agricultural Preserve and (24) Impact Sensitive to (21) SPA, to accommodate land use presented in this document and to reflect the vacation of the Williamson Act Contract. The accompanying rezone from A70 to S88 Specific Planning Area Use Regulations will be necessary in order to accommodate the Santa Fe Creek Specific Plan. The S88 zone will allow uses consistent with the adjacent development -- Horizon Country Club and Rancho Cielo -in a logical pattern of growth. These land use and zoning changes are reflected in Figure 7, *Project Site Land Use Designation and Zoning*.

**PROJECT SITE
LAND USE DESIGNATION
AND ZONING**

Land Use Designation SPA (.23)
Zoning (S88)




 SOURCE: T & B Planning Consultants
NOT TO SCALE

FIGURE 7
II. INTRODUCTION
SANTA FE CREEK SPECIFIC PLAN NO. 92-01.

III. SPECIFIC PLAN

A. PLANNING OBJECTIVES

1. SPECIFIC PLAN

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Environmental considerations, engineering feasibility, market acceptance, economic viability, County comprehensive General Plan goals, San Dieguito Community Plan goals, and development phasing were all evaluated during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity and positive aesthetic effects of this Specific Plan, specific planning and development goals for the project were established and supported by this extensive analysis. With these specific project goals in mind, the Santa Fe Creek Specific Plan:

- Furnishes a plan for development that is sensitive to the environment as well as aesthetically pleasing, and one that provides for habitat preservation, protection of health and safety and the promotion of the people, community and region.
- Considers topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that essentially conforms to the condition of the land by maintaining and using basic landforms where practical.
- Anticipates marketing needs and public demand by providing large lot and estate homesites of varying sizes and values that will be marketable within the evolving economic profile of surrounding communities as well as within San Diego County.
- Provides infrastructure systems and facilities to support development in an efficient and timely manner.
- Reinforces the community identity of the project vicinity through control of project design elements such as architecture, landscaping, color, paving, walls, fencing, signage, equestrian trails and entry treatments through a viable circulation network.
- Develops an environment that is visually attractive and efficiently and effectively organized, including a pleasing landscape palette reflective of the natural surrounding environment.
- Integrates with the surrounding communities and establishes a development pattern that results in logical coordinated growth.
- Provides for a long-range comprehensive planning approach to development which cannot be accomplished on a parcel-by-parcel basis.

**III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN No. 92-01**

2. GENERAL PLAN AMENDMENT

Concurrent with the filing of the Specific Plan, a General Plan Amendment (GPA 93-02) has been filed for the 195-acre property, requesting a change in land use designation from the existing (20) Agriculture Preserve and (24) Impact Sensitive to (21) SPA to accommodate the land uses detailed in by this document. The General Plan Amendment requires adoption by resolution by the San Diego County Board of Supervisors.

3. REZONE

Implementation of the project also involves a change of zone from the existing A-70 (Limited Agriculture) to S88 (Specific Plan). The subject parcel is located within the Environmentally Constrained Area (ECA) Regional Plan Category. The ECA designation is applied to areas that generally include floodplains, lagoons, areas with construction quality sand deposits, rock quarries, agricultural preserves, and areas containing rare and endangered plant and animal species. The ECA designation has been applied to the Santa Fe Creek property due to its previous designation as Agricultural Preserve under a Williamson Act Contract and sensitive Escondido Creek habitat. The project would place in open space the majority of the site for the protection of sensitive resources.

B. SPECIFIC LAND USE PLAN

1. OVERVIEW

The *Master Land Use Plan* for Santa Fe Creek is shown in Figure 8 and detailed in Table 1, Statistical Summary. Based on this land use concept, this Specific Plan ensures a well balanced residential community by incorporating single-family residences, open space, passive recreational uses, and a comprehensive circulation network into a sensitively designed, master-planned development. Santa Fe Creek will reflect the development pattern of the surrounding rural area and will implement the quality and scale of development envisioned by the General Plan and San Dieguito Community Plan. Developed as a high quality, low density residential project, Santa Fe Creek will offer a variety of estate-sized lots and an opportunity for construction of custom and semicustom homes. Threaded through the project will be a system of equestrian/pedestrian trails sensitively designed as a cohesive force linking together the natural and built environments.

2. RESIDENTIAL PLANNING AREAS

Two distinct development areas have been designed to implement the Planning Objectives set forth for Santa Fe Creek while accommodating 45 homesites and associated infrastructure (Figure 9 shows the location of the residential Planning Areas). The *Mesas Top* planning area includes the disturbed mesa top located in the southern portion of the project site with access from Via de las Flores and Vista Cascada. The Cornerstone planning area will locate homesites in the southeast corner with access

MASTER LAND USE PLAN

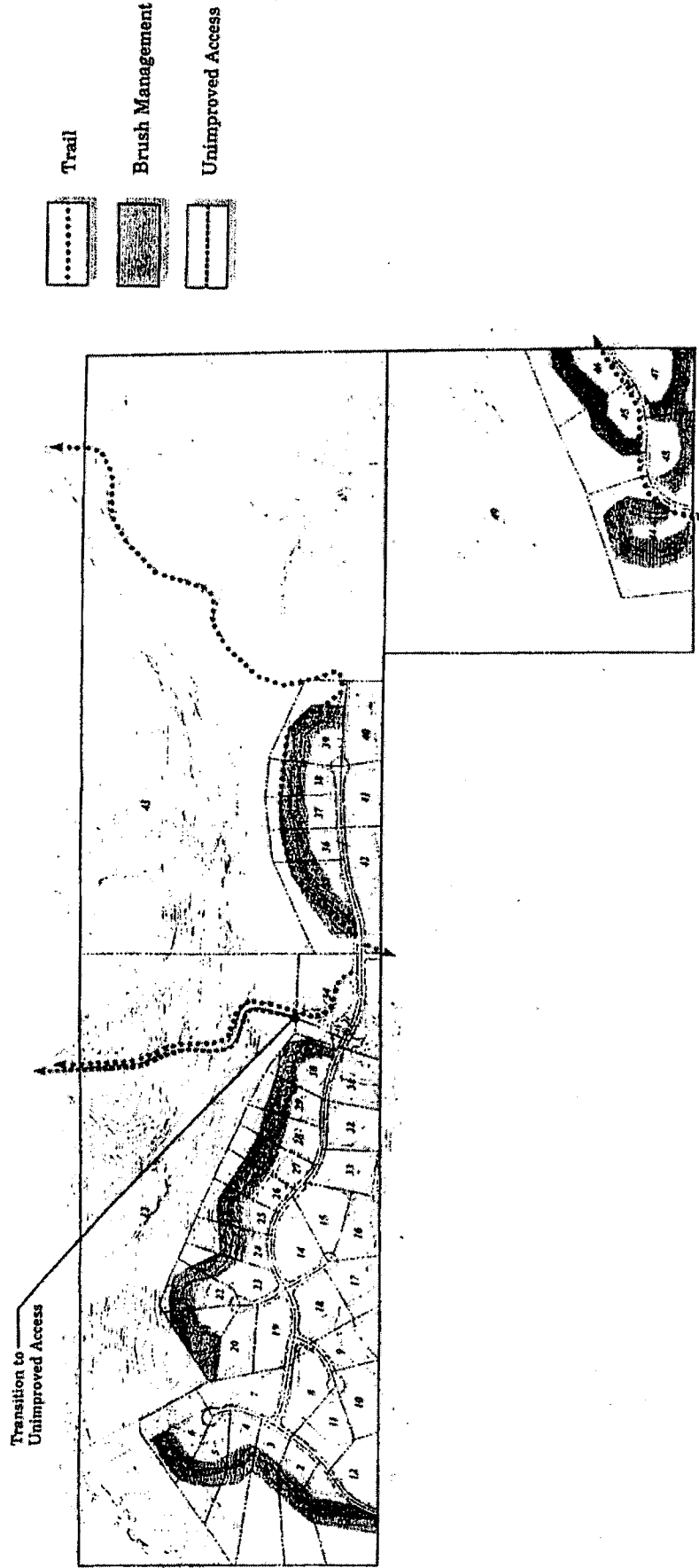


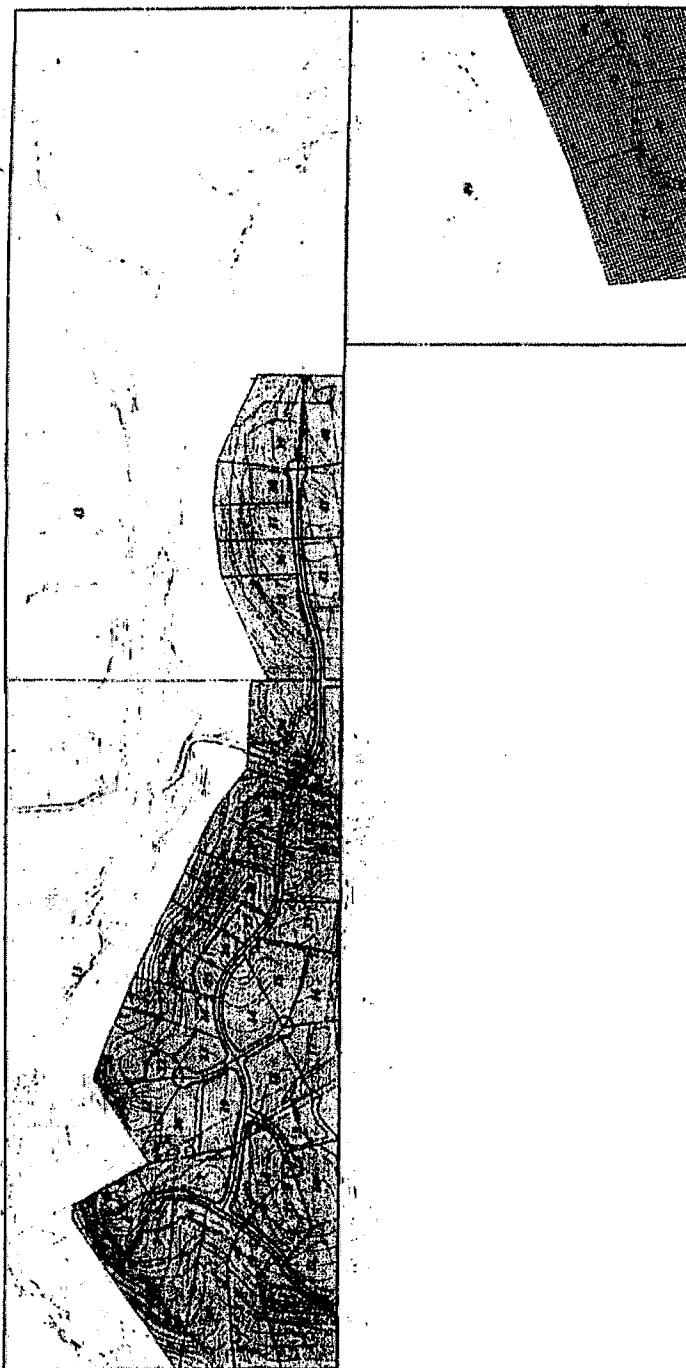
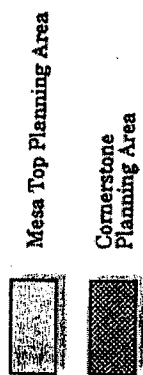
FIGURE 8
III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. 92-01

TABLE 1
SANTA FE CREEK
STATISTICAL SUMMARY

LAND USE	GROSS ACREAGE (ACRES)	PERCENTAGE (%)	MAXIMUM DWELLING UNITS
RESIDENTIAL DEVELOPMENT			
Single Family Residential: <i>Mesa Top Planning Area</i>	52.5 ⁽¹⁾	26.9	40
Single Family Residential: <i>Cornerstone Planning Area</i>	12.5	6.4%	5
SUBTOTAL	65.0⁽²⁾	33.3%	45
OPEN SPACE			
Escondido Creek Open Space Preservation	100.0 ⁽³⁾	51.3%	--
Eastern Slope Open Space	27.0	13.9%	--
Lot 34	3.0	1.5%	--
SUBTOTAL	130.0	66.7%	--
PROJECT TOTAL	195.0	100.0%	45⁽⁴⁾

- (1) Includes 2.6 acres of the total 3.4 acre SDG&E easement occurring within this planning area.
- (2) Acreage contains 24 acres of residential open space easements which includes 6 acres for fuel modification purposes.
- (3) Acreage includes 14.0 acres located within 100-year floodway of Escondido Creek and 0.8 acres of the total 3.4 acre SDG&E easement occurring within this area.
- (4) The proposed Santa Fe Creek Specific Plan would result in an overall project density of 0.23 dwelling units per acre.

RESIDENTIAL PLANNING AREAS



SOURCE, T & B Planning Consultants

NOT TO SCALE

FIGURE 9

III. SPECIFIC PLAN

SANTA FE CREEK SPECIFIC PLAN NO. 92-01

provided by a circulation roadway constructed as part of the adjacent Rancho Cielo project. Development within the planning areas as well as other components of the project are described in detail below.

a. MESA TOP PLANNING AREA

A total of 40 lots are located within the Mesa Top planning area, with lots ranging in size from a minimum of one acre to more than 2.5 acres. A total of 32 residential lots will be created in the western portion of this planning area, to the west of Via de las Flores. Set at a higher elevation, interior homesites will overlook the adjacent Horizon Country Club golf course and will have expansive view opportunities to the south and west. Canyon perimeter lots in this area will be larger in size than the interior homesites and will have expansive views of the Escondido Creek and natural open space areas to the north, east and west. In addition to these 32 lots, 8 lots will be created to the east of the Via de las Flores. Lots in this area which border the Escondido Creek open space will have views to the north, east and west, while lots along the southern border will overlook the rural development and Horizon Country Club to the south and west.

Internal circulation for the Mesa Top planning area will be provided by Street "A", the main project thoroughfare. Other internal cul-de-sacs will create smaller neighborhood clusters which connect to this main thoroughfare.

b. CORNERSTONE PLANNING AREA







Five lots are located in the southeast corner of Santa Fe Creek. Lots in this Cornerstone planning area vary in size from 1.6 to 4 acres. This planning area is separated from the Mesa Top Planning Area by more than 26 acres of natural open space and native vegetation. As such, homes in this area will have views of natural open space to the north and residential development planned for Rancho Cielo to the south and west.

The approved circulation network for Rancho Cielo includes construction of a road through this corner of Santa Fe Creek. Access to homesites in the Cornerstone planning area will be from this roadway.

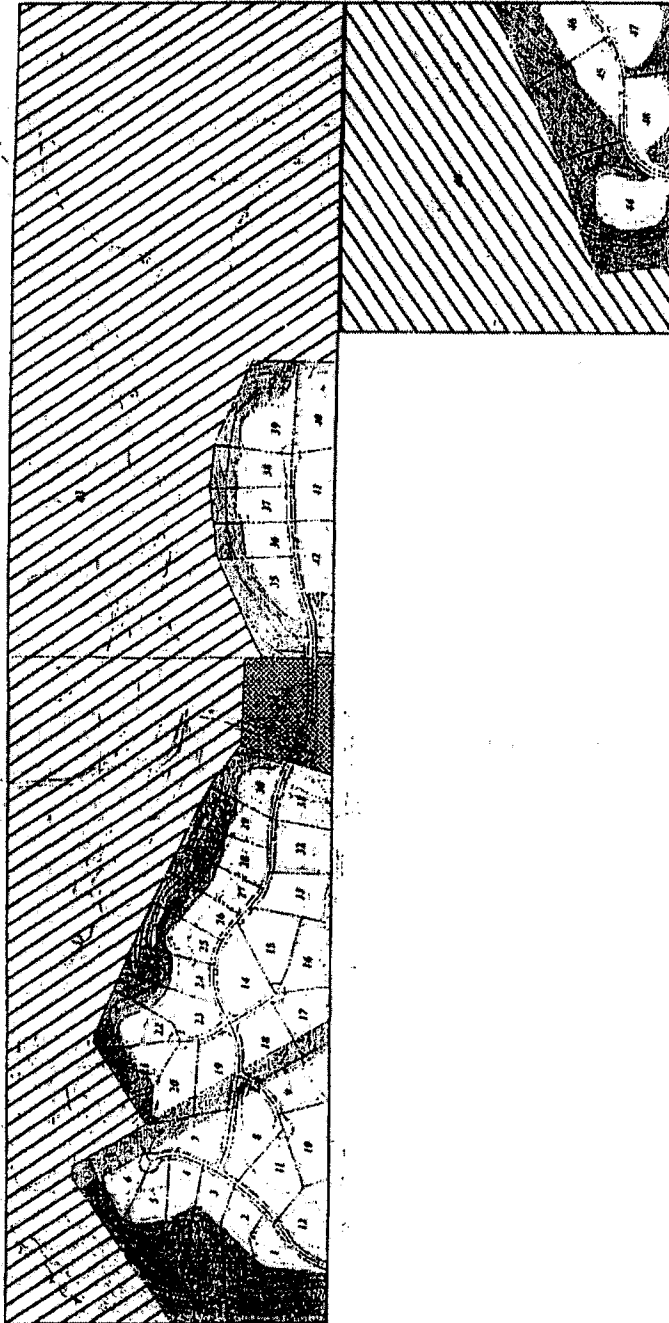
3. OPEN SPACE

The Santa Fe Creek Specific Plan provides for a significant amount of open space, as shown in Figure 10, *Open Space Plan* and Table 2, *Open Space Summary*. Open space provides the community with a valuable asset that not only preserves and enhances natural resources, but also provides a positive psychological benefit to the area-wide residents. Approximately 79% or 154.7 acres of the Specific Plan will be preserved in various forms of open space, as described below. This includes Lot 34, the central lot at Via de las Flores, which encompasses 3.0 acres.

OPEN SPACE PLAN

	Esccondido Creek Open Space Preservation	100.0 Ac ¹
	Eastern Slope Open Space	27.0 Ac
	SDG&E Easement	2.6 Ac ²
	Subtotal	129.6 Ac
	Residential Open Space Easement	22.1 Ac
	Lot 34	3.0 Ac ³
	Total	154.7 Ac

NOTES: 1. Includes 14.0 acres within the Esccondido Creek
100-year floodway.
2. The total 100' wide SDG & E easement on the
western side of the property is 2.4 acres. The 2.6
acres in the above abstract reflects the part of
the easement within the total area.
3. Lot 34 (3.0 acres) includes both open space and
developed area required for road improvement.



SOURCE: T & B Planning Consultants
NOT TO SCALE

FIGURE 10
III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. 93-01

TABLE 2
OPEN SPACE SUMMARY

OPEN SPACE DESIGNATION	ACREAGE	PERCENTAGE (OF TOTAL PROJECT ACREAGE)
Escondido Creek Open Space Preservation	100.0	51.3%
Eastern Slopes Open Space	27.0	13.8%
SDG&E Easement (200-foot wide expanded easement)	2.60 (1)	1.3%
Residential Open Space Easements	22.1	11.3%
Lot 34 (2)	3.0	1.5%
TOTAL OPEN SPACE	<u>152.1</u>	<u>78%</u>
	154.7	79.2%

(1) ~~The total SDG&E 200-foot wide expanded easement acreage is 3.4, however, 0.8 acres of this easement lie within the Escondido Creek Open Space Preservation area.~~

(2) This lot will include both disturbed and undisturbed open space

**III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. 92-01**

a. ESCONDIDO CREEK OPEN SPACE PRESERVATION

An important element of the project is the open space dedication and preservation of approximately 127 acres for protection of Escondido Creek and its associated wildlife habitats. This acreage includes not only the creekbed of Escondido Creek (14.0 acres) but the hillsides which flank the creek, the flatter mesa top areas which lie at a higher elevation north of the creek and approximately 0.8 acres of the SDG&E 100-foot wide easement.

The preservation of this area provides an invaluable public resource and is an integral part of the Escondido Creek open space preserve. The cities of Encinitas and Escondido have indicated their support and commitment in the creation of a linear park along the entire reaches of Escondido Creek from Escondido through the County to Encinitas. Additionally, the County of San Diego Department of Public Works finds its preservation important in meeting the intent of the trails element currently being drafted which identifies Escondido Creek as a potential regional trail corridor. This element of the Specific Plan implements the regional planning efforts currently underway in these jurisdictions. Additionally, the preservation and dedication of this portion of the creek will set the tone and precedent for similar dedications along the entire creek.

b. EASTERN SLOPES OPEN SPACE

Added to the Escondido Open Space is approximately 27.0 acres of land in the eastern slopes portion of the property containing steep topography, environmentally significant vegetation and wildlife habitat which also will be preserved in a natural state. This open space area will physically separate residential development in the southeastern corner of the property from the residences in the Mesa Top portion of the project.

c. SDG&E EASEMENT

Additional open space opportunity is provided by the 100-foot-wide SDG&E easement which runs in a northwest to southeast direction, bisecting the Mesa Top Planning Area. This 3.4-acre open space area will be landscaped in a park-like setting and is envisioned as a passive recreational use area for individual lots. ~~Additionally, the project includes a 50-foot setback on either side of the SDG&E easement where no habitable structures may be constructed. This effectively expands the easement to 200 feet, a portion of which will be an open space easement within lots and the remainder SDG&E easement. This SDG&E easement and setback open space encompasses 2.6 acres within the lotted portion of the Mesa Top Planning Area. The remaining 0.8 acres of this easement are included in the Escondido Creek Open Space Preservation, as previously stated above.~~

d. RESIDENTIAL OPEN SPACE EASEMENTS

Steeply sloping areas within each lot will be placed in open space easements dedicated to the County. These residential open space easements totalling approximately 22.1 acres will provide an additional buffer zone between the homesites overlooking the Escondido Creek and the eastern slope open space areas. Development will be prohibited within this open space area. Brush management procedures designed to reduce fuel load are permitted in residential open space easements as described in Section IV.D.4 of this document.

e. **EQUESTRIAN AND PEDESTRIAN TRAILS**

Equestrian and pedestrian trails are also an important element of Santa Fe Creek due to interest from the surrounding equestrian community and passive recreational experiences offered by the unique Escondido Creek environment. Trails will be provided as shown on Figure 11, *Circulation Plan*. An informal trail will parallel Via de las Flores from its intersection with Aliso Canyon Road to its entrance into Santa Fe Creek. From the project entrance, the trail follows the existing unimproved road, traverses Escondido Creek, and continues north as an existing dirt road. Another trail element provided as part of Santa Fe Creek follows unimproved easement access roads. Beginning at the project entrance, the 10-foot-wide trail continues east along the perimeter of lots in the Mesa Top planning area. This trail element continues through the property and connects with off-site trails planned as part of the regional trail system. A third trail element will be provided parallel to the approved access road serving the Cornerstone Planning Area. It is envisioned that this trail will connect with future trails in the Rancho Cielo development.

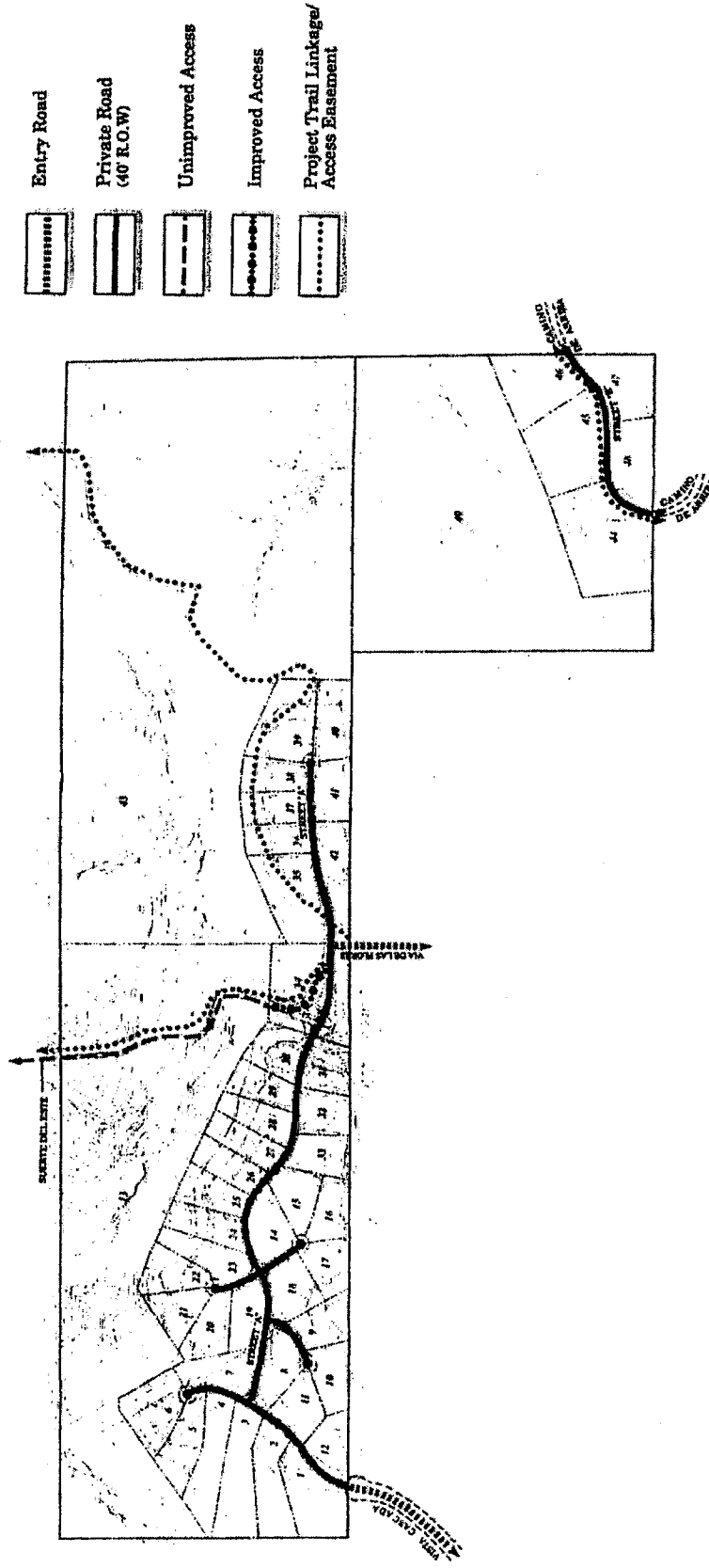
Trails provided as part of the project will link the trail system planned as part of the San Dieguito Regional Park. With Escondido Creek preserved as a linear park on the north and San Dieguito Regional Park on the south, a comprehensive trail system will result for this part of the County allowing hikers and equestrians an opportunity to travel from Encinitas and Escondido along the creek, through the Santa Fe Creek property and to San Dieguito Regional Park via the County trail system.

4. **ROADS AND CIRCULATION**

Figure 11, *Circulation Plan*, presents the vehicular, pedestrian and equestrian circulation for the project. Via de las Flores and Vista Cascada will provide primary access to Santa Fe Creek. Via de las Flores will be extended approximately 850 linear feet into the project site where it will transition from an improved and realigned roadway into Suerte del Este, an existing unimproved roadway that continues off site. A portion of the existing unimproved access road will be abandoned to accommodate the rerouting of Via de las Flores. This area will be revegetated to blend in with the natural landscape. Vista Cascada will be improved as part of the adjacent Horizon Country Club project.

Interior to the project, private roads will provide direct access to development in the Mesa Top Planning Area, while a roadway improvement planned as part of Rancho Cielo which crosses the southeast corner of the site will provide direct access to lots in the Cornerstone planning area. Based on discussions with Rancho Cielo representative, Mark Middlebrook, final maps have been recorded and bonds have been posted for infrastructure construction. It is anticipated that infrastructure construction within Rancho Cielo will begin in Spring of 1993.

CIRCULATION PLAN



SOURCE: T & B Planning Consultants
NOT TO SCALE

FIGURE 11
III. Specific Plan
SANTA FE CREEK SPECIFIC PLAN NO. 92-01

Interior roads are designed to County rural road standards and will be enhanced in accordance with the Design Guidelines of this Specific Plan to further promote the rural atmosphere of the project area. The project circulation system is discussed in greater detail in Section "C.3" below. Pedestrian and equestrian trails will be designed on-site to traverse development and access open space areas. These trails will connect with trails planned off-site as a part of the County Regional Trail system.

C. DEVELOPMENT PLANS AND STANDARDS

1. GENERAL DEVELOPMENT STANDARDS

To ensure the orderly and sensitive development of the land uses proposed for the Santa Fe Creek Specific Plan, project-wide development standards have been prepared. These general standards are:

- The total Specific Plan shall be developed with a maximum of 45 dwelling units on 195 acres, as illustrated on the *Master Land Use Plan*, Figure 8. General uses permitted will include residential and passive uses such as hiking and wildlife observation; and equestrian and pedestrian trails.
- Uses and development standards will be in accordance with the County of San Diego Zoning Code, General Plan and San Dieguito Community Plan as defined by the Specific Plan objectives, Tentative Map and future detailed building permits.
- The development of the property shall be in accordance with the mandatory requirements of all San Diego County ordinances and State laws; and shall conform substantially with this Specific Plan as approved by San Diego County Board of Supervisors, unless otherwise amended.
- Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization may be public or private. Merger with an area wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then a neighborhood association shall be established for the residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

- Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
- The maintenance organization shall be established prior to, or concurrent with, the issuance of the first Certificate of Occupancy for any approved land division,
- The Escondido Creek Open Space and eastern slope open space areas shall be placed in public ownership through dedication to a resource conservation agency authorized by the County. The conservation agency shall be responsible for maintenance and management of the Escondido Creek Open Space through a management plan approved by the County. In the event the Escondido Open Space is not dedicated to a resource agency, the property owner shall develop a management plan and shall be responsible for maintenance and management of the open space.
- The applicant shall defend, indemnify, and hold harmless the County of San Diego or its agents, officers and employees from any claim, action or proceeding against the County of San Diego or its agents, officers or employees to attach, set aside, void or annul an approval of the, County of San Diego, its advisory agencies, appeal boards or legislative body concerning the Specific Plan. The County of San Diego will promptly notify the applicant of any such claim, action or proceeding against the County of San Diego and will cooperate fully in the defense. If the County fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the County of San Diego.
- Lots created pursuant to this Specific Plan shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
- Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be open space easements dedicated to the County. Grading, construction or other development activity shall be prohibited in such open space. Brush management activities may be permitted in accord with requirements of this Specific Plan and the Rancho Santa Fe Fire Department.
- All project landscaping shall be in conformance with this Specific Plan and in accordance with the San Diego County Landscape and Water Conservation Ordinances.

- 2. RESIDENTIAL LAND USE
- a. MESA TOP PLANNING AREA
- Descriptive Summary

The Mesa Top planning area is located in the flat southern portion of the site where previous disturbance has occurred. Access will be provided from the terminus of Via de las Flores and Vista Cascada. West of the Via de las Flores entrance, 32 residential lots will be created with driveway access taken from Street "A" and other smaller internal cul-de-sacs. To the east, 8 residential lots will take access from the eastern extension of Street "A". Lots which border the Escondido Creek open space area will be larger in size and will have views to the north, east and west. Large lots along the southern perimeter of the Mesa Top planning area will set at a higher elevation than areas to the south affording views over the Horizon Country Club development as well as rural, single lot development in the San Dieguito community. Figure 12 provides an example of typical lot development for the Mesa Top planning area.

- Land Use and Development Standards
 - A total of 40 single family lots ranging in size from one acre to over 2.6 acres will be accommodated in the Mesa Top planning area as presented in Table 3.
 - Setbacks: Building envelope setbacks are identified on Table 5 and Figures 2A-D to ensure that the project buildout develops with a variety of setbacks which enhance the streetscene and deter the use of singular, uniform front setbacks. Setbacks are determined on a lot-by-lot basis and take into consideration topography, lot size, configuration, net pad area and brush management.

TABLE 3
MESA TOP PLANNING AREA LOT DEVELOPMENT

LOT No.	Gross LOT Size" (ACRES)	DISTURBED AREA (ACRES)	RESIDENTIAL OPEN SPACE EASEMENT (ACRES)
1	2.1	0.83	1.27
2	1.7	0.62	1.08
3	2.1	0.48	1.62
4	1.9	0.63	1.27
5	1.3	0.67	0.63
6	1.6	0.56	1.04
7	1.4	1.23	0.17
8	1.3	1.3	0.0
9	1.1	0.78	0.32
10	1.1	0.5	0.6
11	1.1	1.1	0
12	1.1	1.1	0
13	35.0	0	Open Space Lot
14	1.3	1.3	0
15	1.1	1.1	0
16	1.1	0.6	0.50
17	1.1	0.89	0.21
18	1.2	1.17	0.03
19	1.1	1.1	0
20	1.1	1.01	0.09
21	1.1	0.57	0.53
22	1.1	0.57	0.53
23	1.2	0.8	0.40
24	1.1	0.6	0.50
25	1.1	0.64	0.46
26	1.1	0.66	0.44
27	1.1	0.59	0.51
28	1.1	0.68	0.42
29	1.1	0.64	0.46
30	1.2	0.72	0.48
31	1.2	1.18	0.02
32	1.1	1.1	0
33	1.1	1.1	0
34	3.0	1.23	1.77
35	2.6	1.16	1.44
36	1.1	0.76	0.34
37	1.1	0.76	0.34
38	1.1	0.71	0.39
39	2.1	1.14	0.96
40	1.3	1.14	0.16
41	1.2	1.2	0
42	1.6	1.19	0.41
43	65.0	0	Open Space Lot
TOTAL	165.5	56.11	19.39

(1) Include pads, manufactured slopes, roads, driveways, private open space and residential open space easements and the 50-foot setback from the SDG&E easement.

(2) Includes pads and manufactured slopes only.

On a lot-by-lot basis, setbacks may be less than shown on Table 5 and Figures 12A-D, however, in no case may they be less than the minimum required setbacks shown below:

- Front yard minimum: 20 feet
- Side yard minimum: 5 feet from top of slope
- Rear yard minimum: 30 feet

- No inhabitable structures shall be erected within residential open space easements. ~~Non-inhabitable and recreational uses such as swimming pools, play areas, gazebos, etc. may be permitted within the 50-foot SDG&E setback area.~~
- No development shall be permitted within the residential open space easements adjacent to Escondido Creek.
- Landscaping of all lots shall be in accord with the Landscape Guidelines of this Specific Plan, Section IV.D, and the San Diego County Landscape and Water Conservation Ordinances.
- Walls and fences are permitted as described in Section IV.C.6 of this Specific Plan.

b. CORNERSTONE PLANNING AREA

Descriptive Summary

The Cornerstone planning area is located in the southeast corner of the property. Within this area, a total of 5 lots will be created ranging in size from 1.6 acre to more than 4 acres, as shown in Table 3. Access to these lots will be provided by Street "B" planned as a circulation roadway in conjunction with Rancho Cielo. View potentials for the Cornerstone planning area are primarily to the south, into rural estate development of the San Dieguito Community planning area, and to the north, into the Eastern Slope open space area.

Land Use and Development Standards

- A total of 5 single family lots will be developed in the Cornerstone planning area in accordance with the criteria presented in Table 4.
- Setbacks: Building envelope setbacks are identified on Table 5 and Figures 12A-D to ensure that the project buildout develops with a variety of setbacks which enhance the streetscene and deter the use of singular, uniform front setbacks. Setbacks are determined on a lot-by-lot basis and take into consideration topography, lot size, configuration, net pad area and brush management.

TABLE 4

CORNERSTONE PLANNING AREA LOT DEVELOPMENT

LOT No.	GROSS LOT SIZE (ACRES)	DISTURBED AREA (ACRES)	RESIDENTIAL OPEN SPACE EASEMENT (ACRES)
44	4.0	1.32	2.68
45	2.8	0.96	1.84
46	2.2	0.85	1.35
47	1.9	1.15	0.75
48	1.6	0.92	0.68
49	27.0	0	Open Space Lot
CORNERSTONE P.A. TOTAL	39.5	5.2	7.3

- (1) Include pads, manufactured slopes, roads; driveways, private open space and residential open space easements ~~and the 50-foot setback from the SDG&E easement.~~
- (2) Includes pads and manufactured slopes only.

TABLE 5
BUILDING ENVELOPE SETBACKS

LOT No.	FRONT YARD SETBACK	SIDE YARD SETBACK	REAR YARD SETBACK
1	240'	10'*, 10'*	40'
2	30' (varies)	5'	30'*
3	20'	5'	30'*
4	20'	101, 15'	30'*
5	20', 50'	10'	30'*
6	30'	10', 50 ²	30'*
7	20'(varies)	10'	50 ² ***
8	20'-30'	20', 50 ² ***	30'*
9	20'	50 ² ***, 10'*	10'*
10	30'	20'*	30', 50'
11	30'	15', 10'	30'*, 40'*
12	20'	10'*, 20'	20'*, 30'*
13	OPEN SPACE LOT		
14	30'	10'	50'
15	50'	10', 20'	20'*
16	50'	15', 20'	20"', 30'*
17	20'	15', 20'	30'*, 50 ² ***
18	20'	20'	50 ² ***
19	20'	20', 50'	20'
20	20'	10'*, 15', 30'*	50 ² ***
21	20'	10'	30'*
22	20'	10', 15'	30'*, 50'*
23	20'	10', 10'	30'*
24	20'	5', 10'	30'*
25	20'	5', 10'	30'*
26	20', 30'	5', 10'	30'*
27	20'	10'	30'*
28	20'	10'*, 20'	30'*
29	20'	10'	30'*

TABLE 5

LOT No.	FRONT YARD SETBACK	SIDE YARD SETBACK	REAR YARD SETBACK
30	20'	10', 30'*	30'*
31	30'	10'	40'*
32	40'	20', 20'*	50'
33	50'	30', 20', 20'	30'*
34	CENTRAL ENTRY LOT		
35	20'	10', 5'*	30'*
36	25'	10'	30'*
37	25'	10', 10'*	30'*
38	30'	10', 10'*	30'*
39	20'	10', 25'	30'*
40	20'*	20', 35'*	40'*
41	20'	10'*, 20'	40'
42	40'	10', 40'*	30', 30'*
43	OPEN SPACE LOT		
44	60'	30'*	30'*
45	20'	10'*	30'*
46	20'	5'*, 30'*	30'*
47	30'	10'*, 30'*	30'*
48	30'	15'*, 30'*	70'
49	OPEN SPACE LOT		

* Minimum dimension from edge of pad.

** From SDG&E Easement.

on a lot-by-lot basis, setbacks may be less than shown on Table 5 and Figures 12A-D, however, in no case may they be less than the minimum required setbacks shown below:

- Front yard minimum: 20 feet
- Side yard minimum: 15 feet from top of slope
- Rear yard minimum: 30 feet

- No development shall be permitted in the residential open space easements.
- Landscaping of all lots shall be in accord with the Landscape Guidelines of this Specific Plan, Section IV.D, and the San Diego County Landscape and Water Conservation Ordinances.
- Walls and fences are permitted as described in Section IV.C.6, of this Specific Plan.

BUILDING ENVELOPE SETBACKS



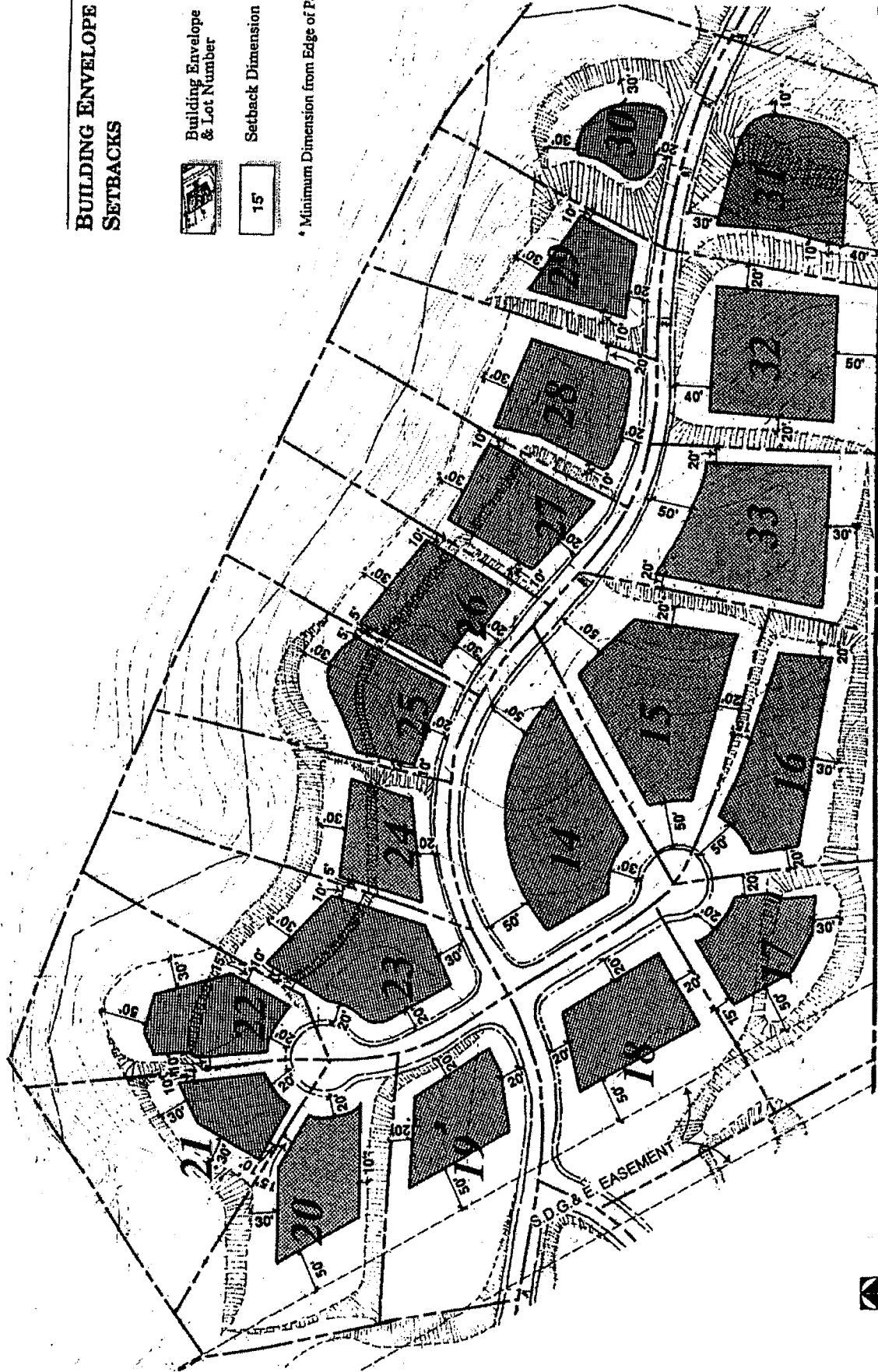
Building Envelope
& Lot Number



Setback Dimension

15'

* Minimum Dimension from Edge of Pad



SOURCE: T. & B. Planning Consultants



NOT TO SCALE

FIGURE 12A

III. SPECIFIC PLAN

SANTA FE CREEK SPECIFIC PLAN NO. 92-01

BUILDING ENVELOPE SETBACKS

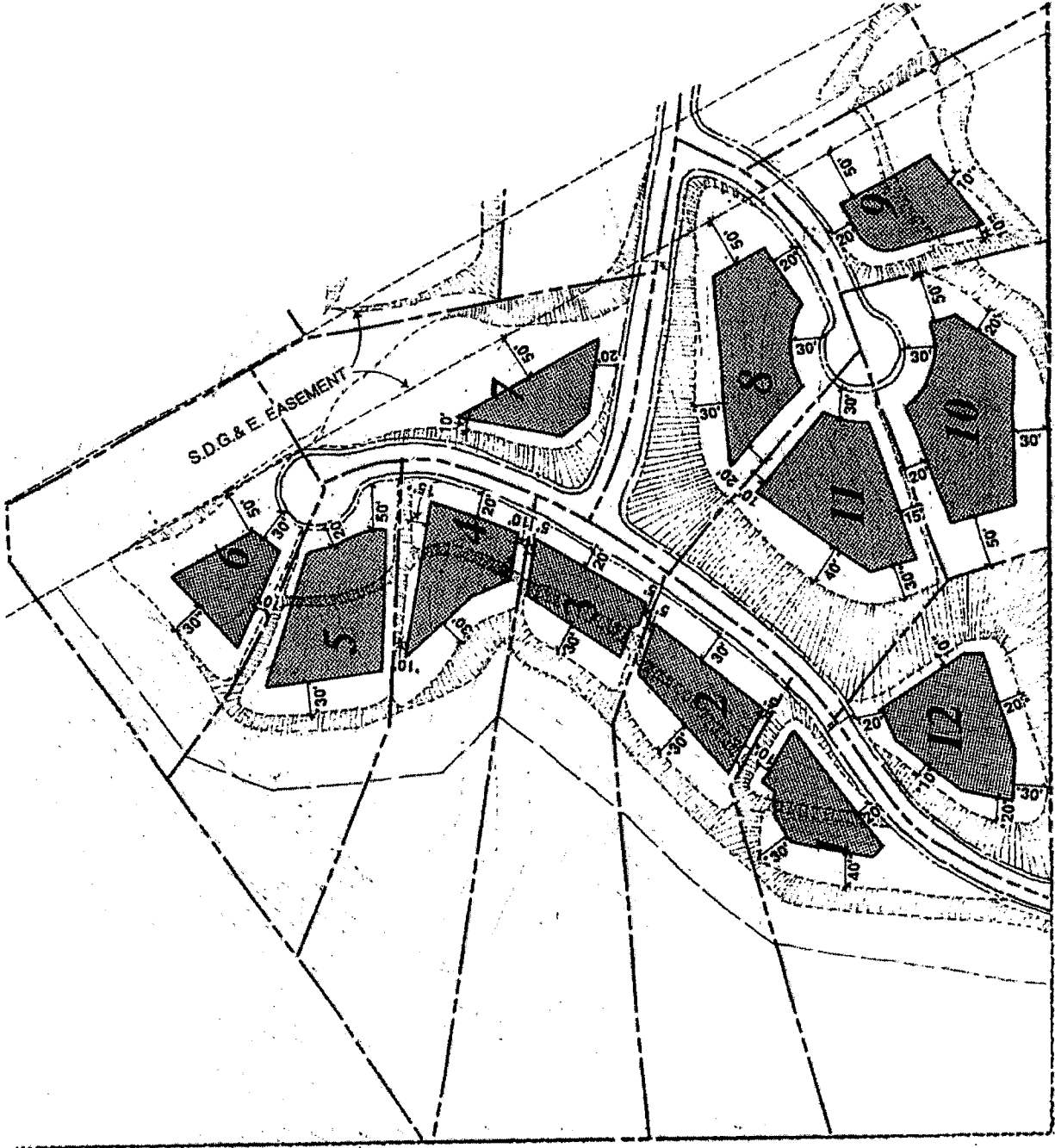


Building Envelope
& Lot Number



Setback Dimension

* Minimum Dimension from Edge of Pad



BUILDING ENVELOPE SETBACKS



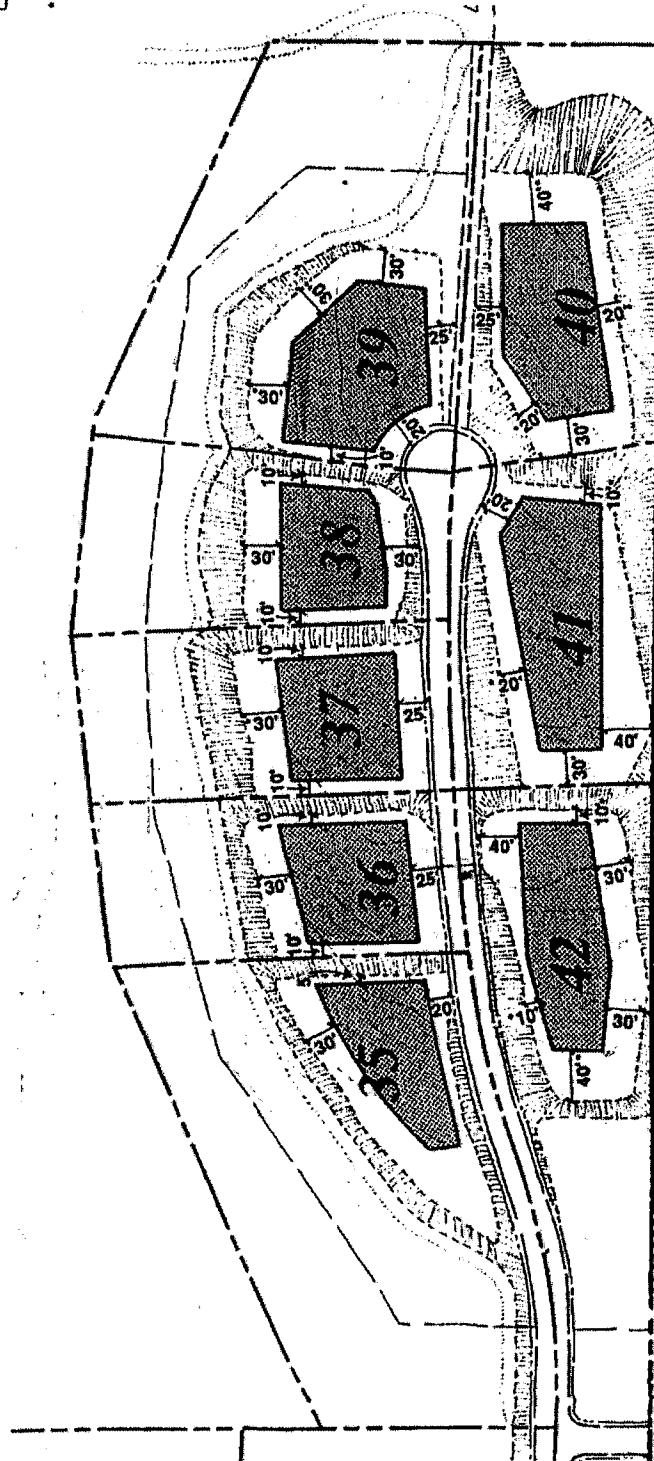
Building Envelope
& Lot Number



Setback Dimension

25'

* Minimum Dimension from Edge of Pad



SOURCE: T & B Planning Consultants
NOT TO SCALE

FIGURE 12C
III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. 92-01

BUILDING ENVELOPE SETBACKS

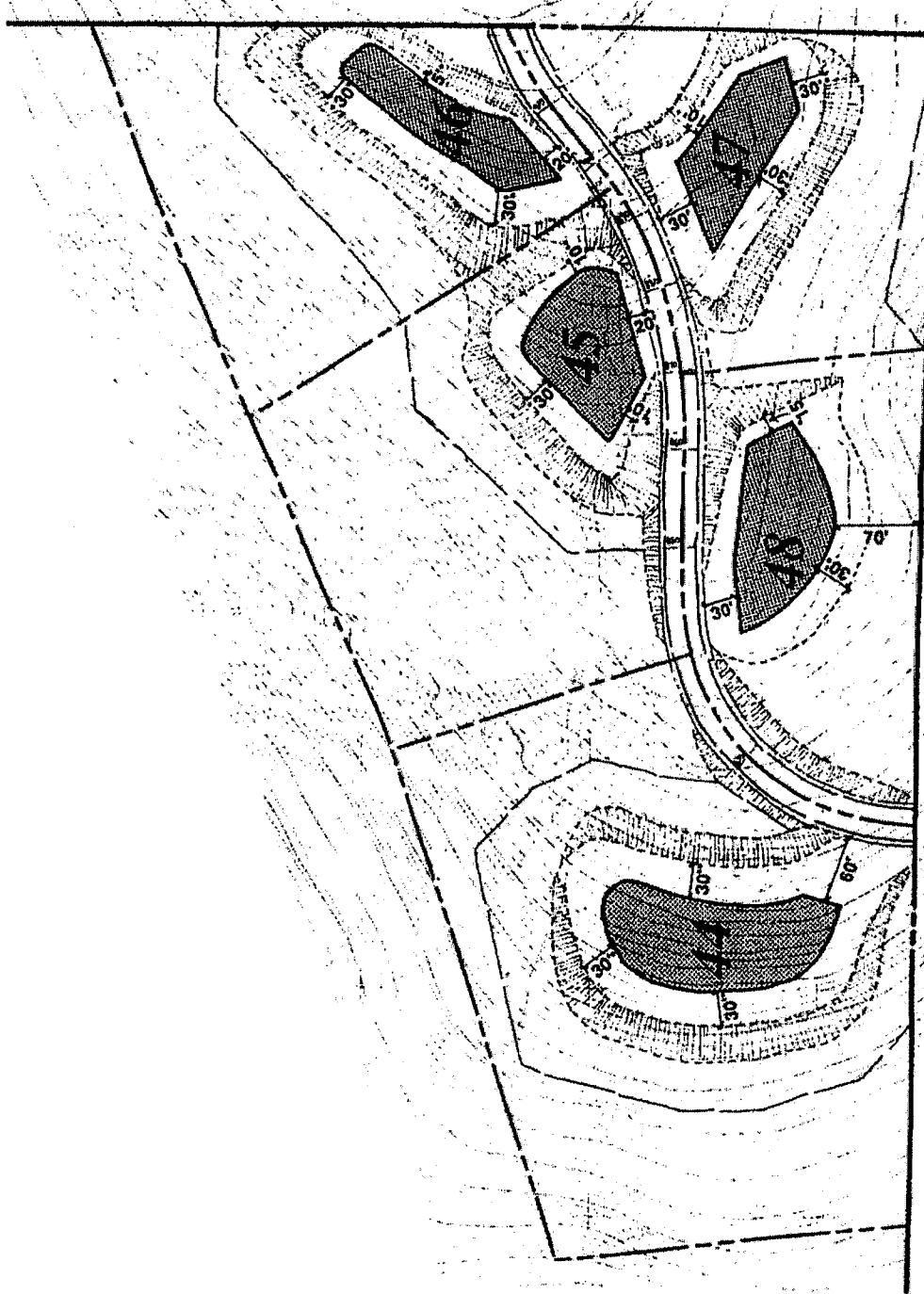


Building Envelope
& Lot Number



Setback Dimension

* Minimum Dimension from Edge of Pad



SOURCE: T & R Planning Consultants
NOT TO SCALE

FIGURE 12D
III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. 92-01

3. CIRCULATION PLAN

a. Circulation Plan Description

On-site circulation will be accommodated by a safe and efficient network of roadways. The roadway locations and sizes are designed to facilitate the efficient movement of traffic throughout the site. The project roadway concept is illustrated in the *Circulation Plan*, Figure 11.

Via de las Flores exists as an unimproved roadway. In conjunction with approval of the adjacent Horizons Country Club, there is an irrevocable offer to dedicate (IOD) 30 feet within the Via de las Flores right-of-way. This improvement would serve Santa Fe Creek. Principal north-south roadway access to the site will be achieved by Via de las Flores and Vista Cascada. Vista Cascada will be constructed as part of the approved Horizon Country Club project: Street "A" will provide east-west access through the Mesa Top planning area. The Cornerstone planning area will be served by construction of a 24-foot wide (curb-to-curb) circulation roadway approved as part of the adjacent Rancho Cielo project (Street "B").

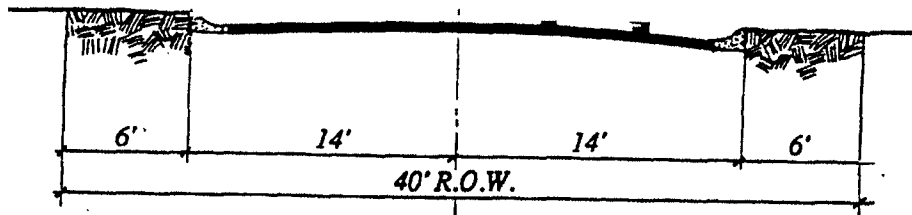
b. Circulation Development Standards

Street Sections for Santa Fe Creek are presented in Figure 13A, *Street Cross-Sections Street "A" and Street "B"*, and 13B, *Street Cross-Sections, Equestrian Trail and Unimproved Access*. Street classifications are as follows:

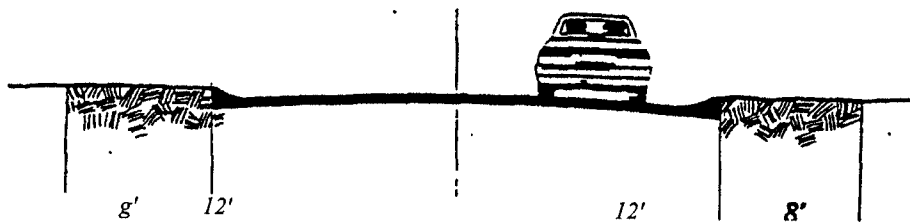
- Street "A" (Private Road): right-of-way - 40 feet; curb-to-curb improvement - 28 feet
- Street "B" (Private Road): right-of-way - 40 feet; curb-to-curb improvement - 24 feet.

All proposed roads within Santa Fe Creek shall conform to the San Diego County Public Road Standards. The landscape guidelines section discusses the proposed parkway street trees and plant palette for internal streets.

STREET
CROSS-SECTIONS-
"A" & "B"



STREET "A"
PRIVATE ROAD

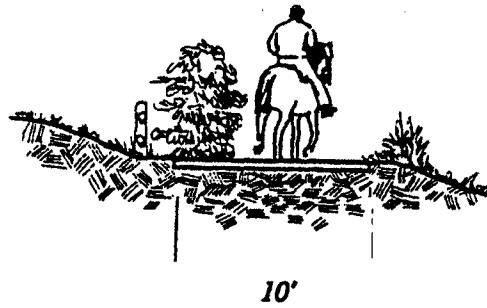


40' R.O.W.
STREET "B"
PRIVATE ROAD

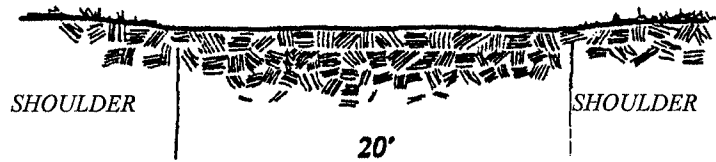
SOURCE: T & B Planning Consultants
NOT TO SCALE

FIGURE 13 A
III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. _

STREET
CROSS-SECTIONS.
TRAIL & UNIMPROVED
ACCESS



TRAIL



UNIMPROVED ACCESS

FIGURE 13 B

SOURCE: T & B Planning Consultants
NOT TO SCALE

III. SPECIFIC PLAN
SANTA FE CREEK SPECIFIC PLAN NO. _

4. DRAINAGE PLAN

a. Drainage Plan Description

Under natural conditions, runoff from the project site flows north and west into Escondido Creek. In order to insure that Santa Fe Creek does not increase the amount or velocity of runoff either during construction or at project buildout a comprehensive Drainage Plan has been developed (see Figure 14). Runoff will be directed toward streets, collected at points indicated on the *Drainage Plan*, and released into natural drainages through energy dissipators. Collection points and energy dissipators have been located to occur in small natural drainage swales in the east, west and central portions of the site. To minimize sediment transport, desilting and detention basins will be constructed as shown in Figure 14. These features will collect sediment-laden runoff and allow sediment to settle out before runoff enters the drainage systems. The remaining silt will be hauled off-site and disposed of in a landfill according to County procedure. The desilting and detention basins will be maintained by a homeowner's association.

b. Development Standards

- Drainage and flood control facilities and improvements shall be provided in accordance with San Diego County's Flood Control and Department of Public Works. All major drainage and flood control facilities will be maintained by the County Flood Control District and will be designed to provide adequate levels of safety, maintainability, economy and protection to existing and proposed improvements.
- Grading for building pads and proposed streets will be constructed in a manner so as to provide positive drainage and to prevent ponding of water. Necessary measures to prevent erosion and siltation will be employed both during construction and after completion of the project.

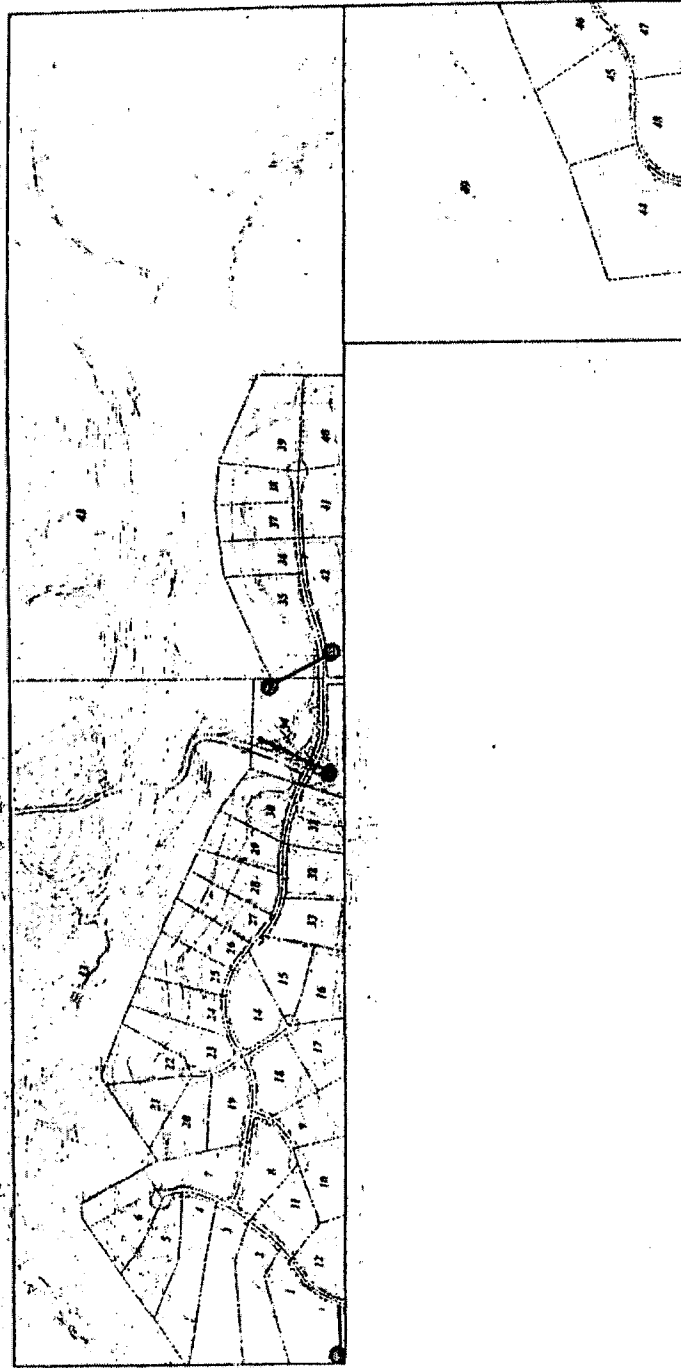
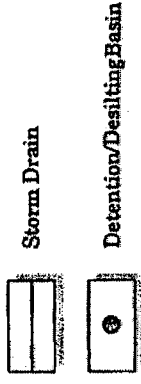
5. WATER AND SEWER PLAN

a. Water and Sewer Plan Description

Figure 15, *Water /Sewer Plan*, shows the location of existing water and sewer facilities. Also included in Figure 15 are the connections and facilities necessary to serve Santa Fe Creek.

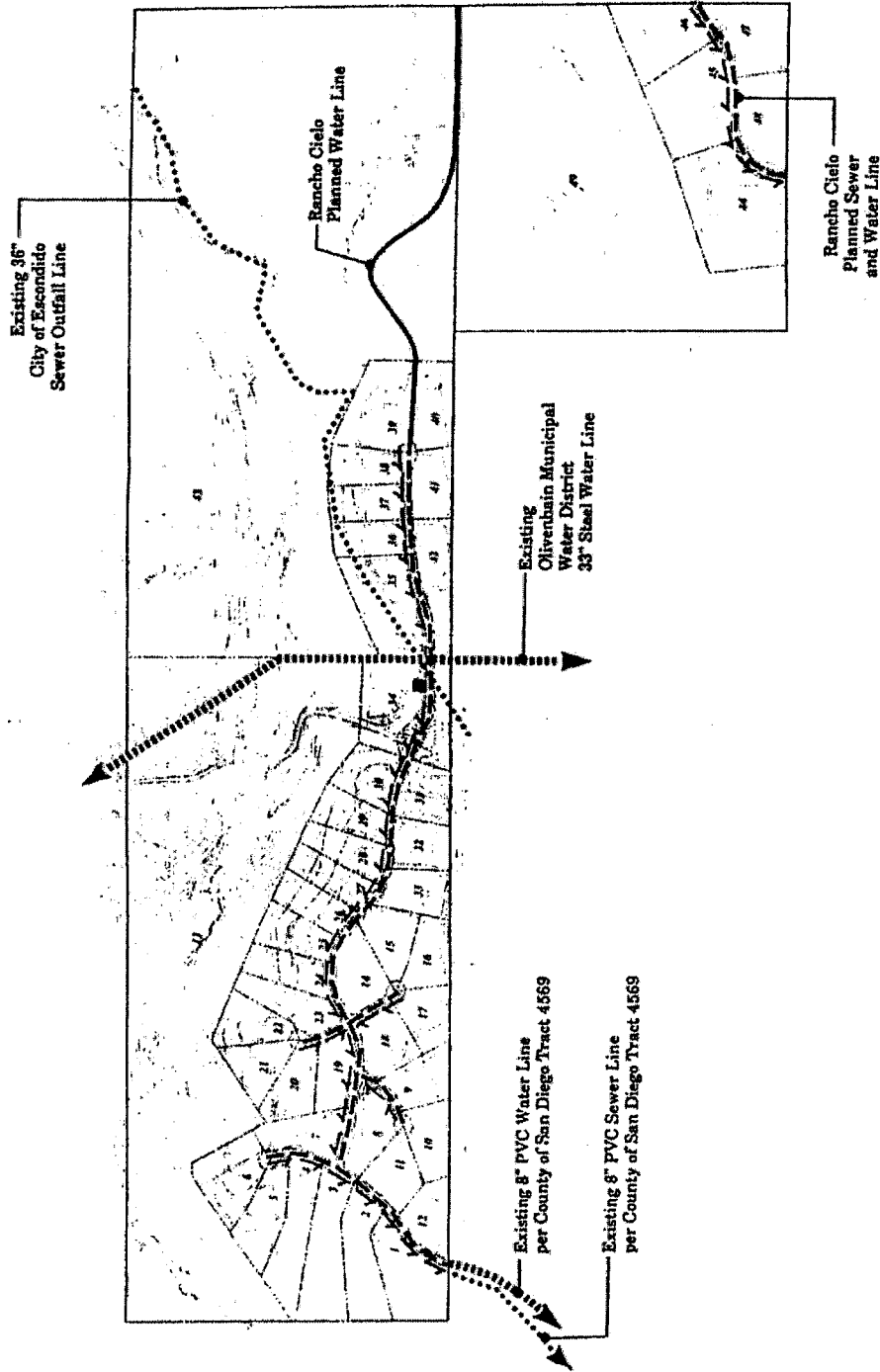
Water service will be provided by the Olivehain Municipal Water District. Currently the District has a 33-inch line running in a general north-south direction through the center of the site. The project will connect an eight-inch line with this facility to serve homesites. The eight-inch line will connect with an existing eight-inch line in Horizon Country Club, creating a loop system for optimum water flow.

DRAINAGE PLAN



SOURCE: Wunderlin Engineering, Inc.
NOT TO SCALE

WATER/SEWER PLAN



Rancho Santa Fe Sanitation District will provide sewer service for the lots in the Mesa Top planning area, and the project will require annexation to the improvement district. According to the district, there is capacity to serve the project. Sewer improvements have been constructed as part of the Horizon County Club project (TM 4569-1 and Map No. 12109, recorded July 6, 1988). The bonded improvements are nearly 90 percent complete. Sewer lines extend along Vista Cascada to within 50 feet of the property line. The applicant will provide a connection to these lines and pay the required application fees for annexation into Improvement District No. 1. The western portion of the site will gravity flow into the sewer line connection. To serve the eastern portion of the site, a pump station will be installed in the vicinity of the project entrance to pump effluent from eastern and central portions of the site to the western area.

The five lots in the Cornerstone planning area will be served by the Rancho Cielo Sanitation District. Sewer service will be available through connections to lines to be constructed in Camino de Arriba. It is anticipated that the Rancho Cielo development will construct a wastewater treatment plant to facilitate effluent generated by the Rancho Cielo project within a minimum of five years. Capacity at the planned Rancho Cielo Wastewater Treatment Plant is expected to be available to serve the Cornerstone planning area. Additionally, the developer of Rancho Cielo and the project applicant have an approved agreement which provides water and sewer in exchange for the right to build an access road and construct sewer and water facilities through the Santa Fe Creek project. There will be capacity in the treatment plant to provide service to a maximum of 10 lots in Santa Fe Creek.

b. Water and Sewer Plan Development Standards

- All water and sewer lines shall be placed underground.
- All water lines will be designed per the Olivenhain Municipal Water District's requirements.
- The infrastructural system will be installed to the requirements of the San Diego County Engineering Department.
- Water and sewer disposal facilities shall be installed in accordance with the requirements and specifications of the San Diego County Health Department and State Regulations.
- The project will be designed to accept reclaimed water when a reliable source becomes available.

6. GRADING PLAN

a. Grading Plan Description

Santa Fe Creek has been designed to minimize the amount of grading necessary for construction of homesites and exterior roadways. Figure 16, *Grading Plan*, provides a graphic which identifies grading for the project.

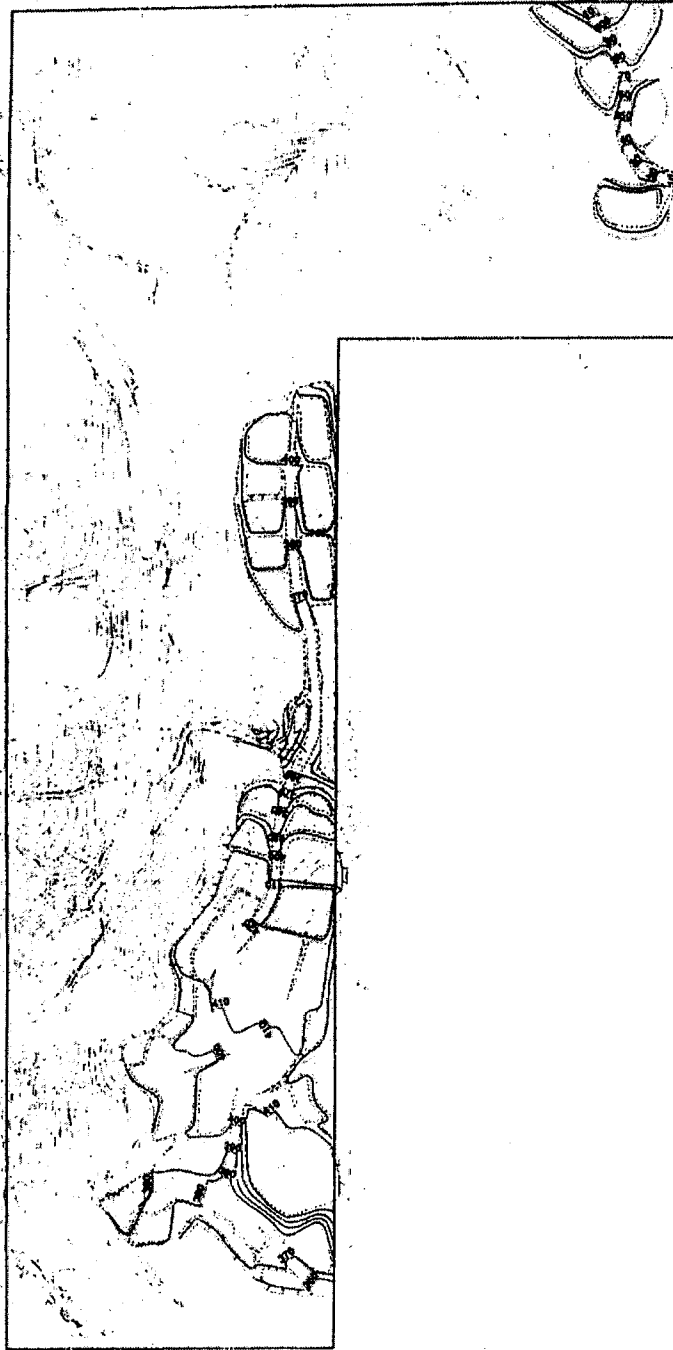
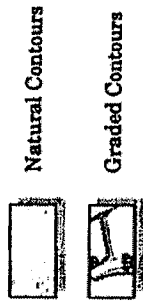
The majority of the development will occur in the previously disturbed mesa top area of the site (the Mesa Top planning area). Daylight grading techniques are employed to limit the amount of manufactured slopes. Where manufactured slopes occur, contour grading, including varying slope gradients undulation and rounding of top and toe of slopes, are utilized so that manufactured slopes mimic the natural landform.

Grading for homesites located in the Cornerstone planning area takes advantage of the grading necessary for the circulation element roadway which will be constructed as part of the adjacent Rancho Cielo project. In this manner, homes will be built around the already approved road design.

b. Grading Plan Development Standards

- 1) All manufactured slopes shall be constructed at a gradient no steeper than 2:1.
- 2) All manufactured slopes in excess of six feet in height shall be contour graded using techniques such as undulation, rounding of top and toe of slope and varying gradients.
- 3) Grading shall be in accordance with the County's Grading Ordinance.
- 4) All slopes exceeding six feet in height shall be revegetated with native and naturalized drought tolerant plant material.

GRADING PLAN



SOURCE: T & B Planning Consultants
NOT TO SCALE

IV. DESIGN GUIDELINES

A. OVERVIEW

The purpose of this project design element is to provide designers, developers and review agencies with basic design objectives and guidelines for the development of Santa Fe Creek. The overall goal is to create a strong sense of project identity while contributing to the identity of the San Dieguito area as a whole. A functional and aesthetically pleasing development should result with adherence to the Design Guidelines set forth in this design element.

B. DESIGN OBJECTIVES

The following general principles and objectives should be considered in the development of Santa Fe Creek. The plan should:

- Create a neighborhood identity while maintaining an overall unity.
- Create a development that favorably responds to the physical and visual features of the Specific Plan area.
- Preserve significant environmental resources.
- Maximize visual opportunities.
- Incorporate conservation practices into the design and maintenance of residences and spaces.
- Architecture shall be low in scale and structures shall be no more than 30 feet in height within the Cornerstone Plug Area.
- Earth-toned materials shall be used throughout the project to blend the development with the natural backdrop.

C. DESIGN ELEMENTS

These design elements are not intended to restrict the creativity of the designers of Santa Fe Creek. Rather, they are formulated to guide the designer while allowing flexibility. Particular architectural, site planning or landscaping solutions or styles will not be recommended. Instead, general planning concerns will be addressed that should be considered in the development of Santa Fe Creek. Proposals presented here are conceptual and will be refined and modified in accordance with the approved objectives and guidelines during the development plan stage and subsequent stages of development of Santa Fe Creek.

2. EXPANDED EASEMENT TREATMENT

The 100-foot-wide SDG&E easement area is envisioned as ~~an a private~~ open space, passive use area, as illustrated on Figure 17, *SDG&E Treatment*. ~~The project adds an additional 50 feet to both sides of this easement area, expanding its passive and visual open space opportunities. No habitable structures will be allowed within the 50-foot setback area; however, ancillary structures such as gazebos, sheds, swimming pools and decks may be built on individual lots within this setback area. This open space area will be landscaped in a park-like setting including use of deciduous accent trees, evergreen background grove trees, shrubs, groundcover, and turf.~~

SDG&E's 200-foot-wide easement traversing the site in a north-south direction is not regarded as a major constraint to the project. Power poles and utility lines within this easement quickly descend the mesa top as the topography transitions into the steep slopes flanking Escondido Creek. ~~A 50-foot wide setback will be provided on both sides of this SDG&E easement. No habitable structures or accessory buildings will be allowed within the easement area.~~

2. EQUESTRIAN ELEMENT

Equestrian and hiking trails are an important element of Santa Fe Creek. Trails which will be provided as part of the project will connect with the trail system planned as part of the San Dieguito Regional Park and are proposed in accordance with the San Dieguito Community Plan Area Board Adopted Trail System. Figure 11 illustrates the location of these trails traversing the property.

3. WALLS AND FENCES

Walls and fences are a major component in achieving an overall community theme at Santa Fe Creek. A strong cohesive appearance is achieved through the use of the following general overall wall guidelines represented in Figures 18 and 19.

a. SOLID WALL. REQUIREMENT

Where privacy or protection of common area views dictate, a solid masonry wall with pilasters shall be used. Pilaster construction of square column block shall occur at all property lines, changes in vertical and horizontal direction and at other intervals appropriate to the length of the wall. When designated to be installed on the property line between two residential properties, the centerline of pilaster shall be positioned on the property line with a 1-inch square permanent marker denoting the property line location for homeowner fence alignment purposes.

b. COMBINATION WALL REQUIREMENT

This community wall occurs where partial privacy is necessary but permits some view opportunity. Typically, these walls occur along side yard property lines within the building pad limits. A combination masonry foundation wall and tubular steel fence

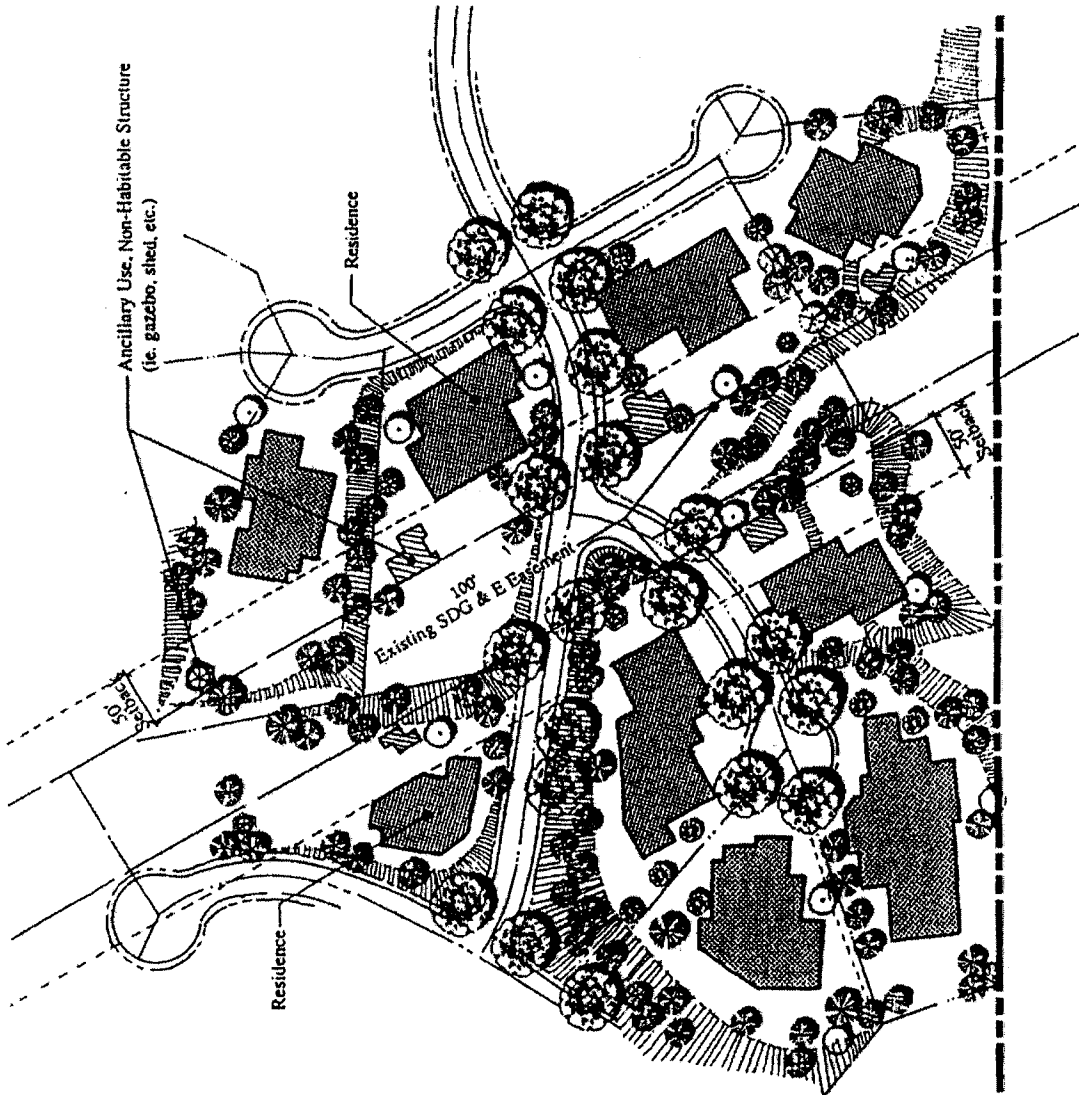
panels between pilasters shall be used. The pilasters shall match those described for the base requirement solid wall treatment, including size, design configuration and location.

c. OPEN/VIEW WALL REQUIREMENT

Where view opportunity exists, an open or view wall may be used. Typically, these walls will occur along rear yards following the "limit of development" line adjacent to open space, and may also occur following the side yard property line, beyond the building pad.

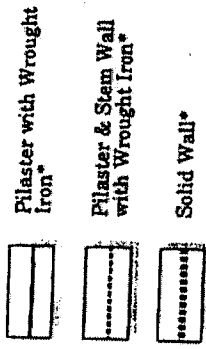
SDG&E EASEMENT TREATMENT

NOTE: No habitable structure will be permitted within setback.

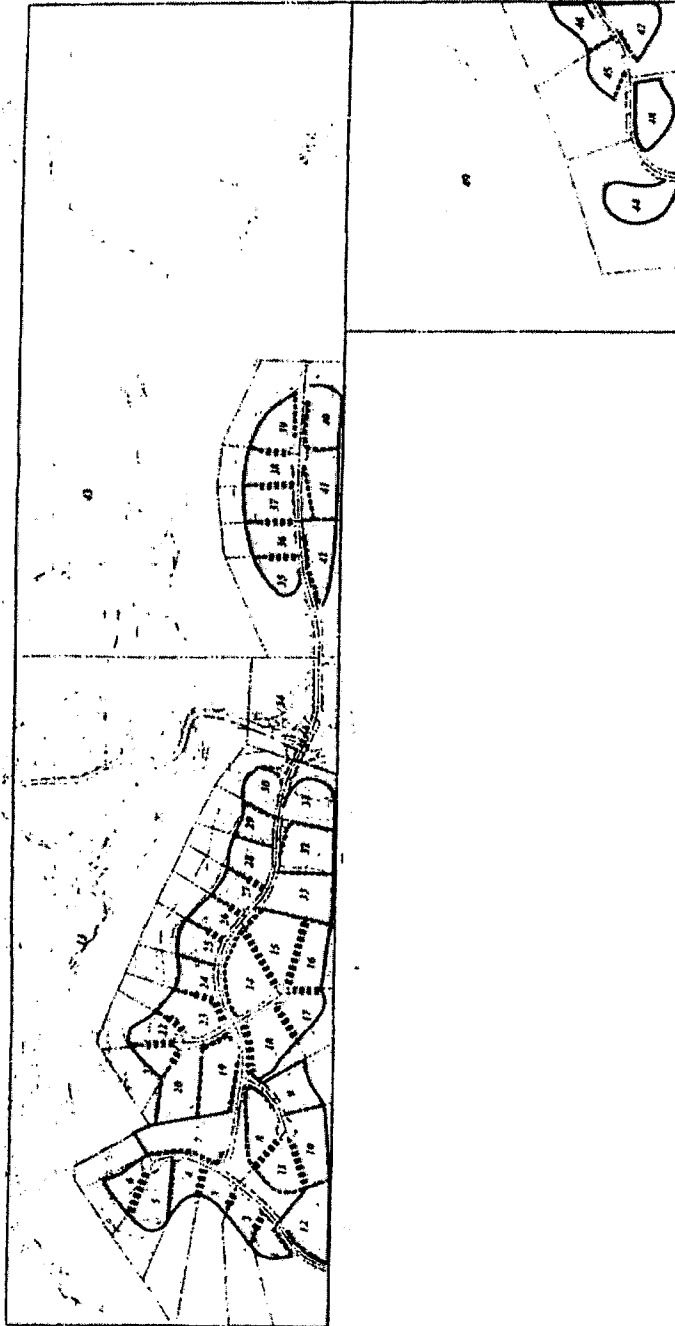


SOURCE: T & B Planning Consultants
NOT TO SCALE

WALLS AND FENCES PLAN

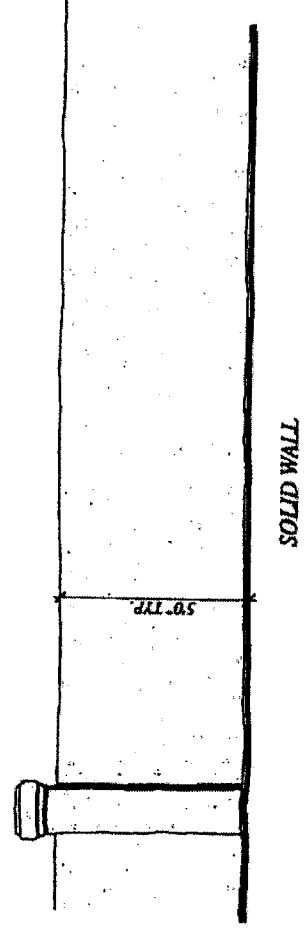
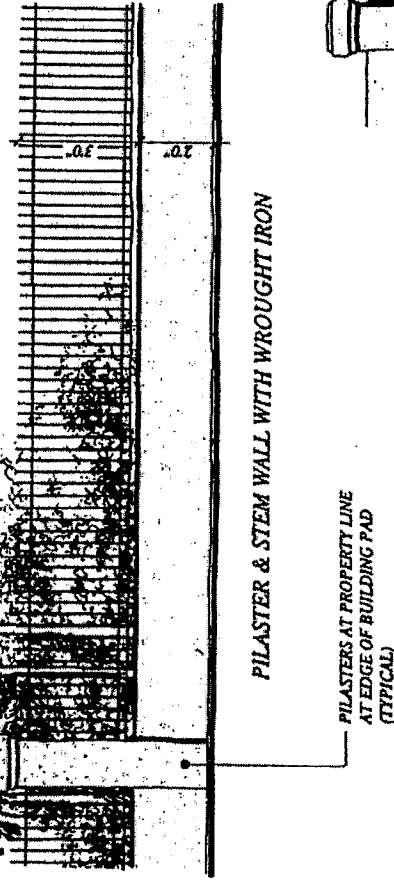
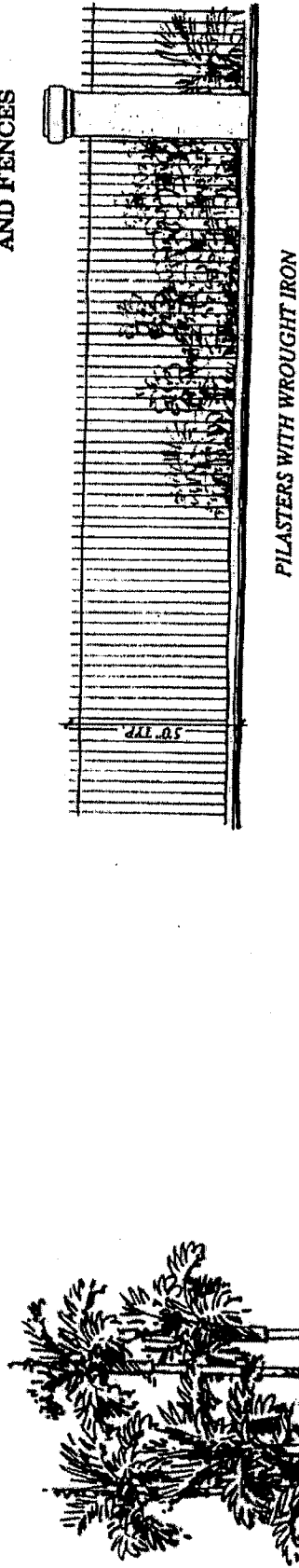


• See Figure 25



SOURCE: T & B Planning Consultants
NOT TO SCALE

TYPICAL WALLS AND FENCES



SOURCE: T & B Planning Consultants
NOT TO SCALE

D. LANDSCAPE GUIDELINES

1. LANDSCAPE DESIGN AND THEME

The Santa Fe Creek landscape development character is directly influenced by the projectsite's indigenous vegetation, natural landforms, Escondido Creek and rural character of the San Dieguito community. The landscape concept illustrated on Figure 20, *Master Landscape Plan*, is an important element of the Santa Fe Creek development and overall community character. The major goals of the landscape development concept for Santa Fe Creek will be to reinforce and remain sensitive to the rural character of the site, and maintain and enhance the significant natural resources which help to develop a sense of place that is uniquely Santa Fe Creek. Features which constitute the landscape concept are streetscenes and entry monumentation, plant materials and corresponding irrigation methods, open space and recreation treatment.

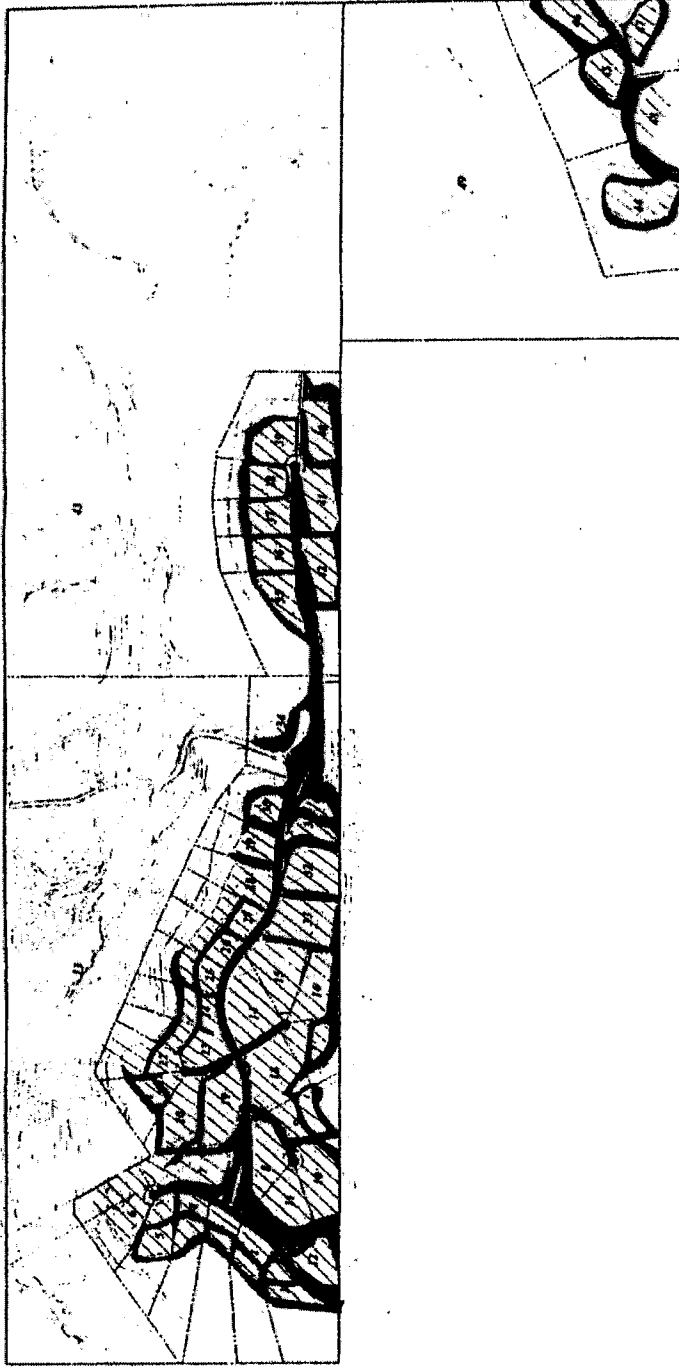
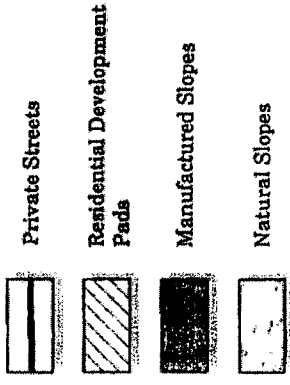
The following detailed objectives are used to guide the planning of the landscape development for the Santa Fe Creek community.

- Develop a comprehensive coordinated treatment for landscape, hardscape and monumentation, creating a strong thematic identity for the project and providing visual direction, whereby enhancing the community's function and aesthetic quality.
- Develop a coherent landscape theme which emphasizes retention of natural vegetation and revegetation of manufactured slopes with drought tolerant, fire resistant vegetation.
- Preservation of the Escondido Creek
- Maximize the desirable off-site views from the project while minimizing the visual impact of community development.
- Employ a landscape treatment that is complementary to the existing environment and rural community character and that conforms with the San Diego County Landscape and Water Conservation Ordinances.
- Promote outdoor recreation opportunities through provision of quality open space areas.

2. PLANT MATERIAL GUIDELINES

These guidelines are intended to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to allow greater unity and thematic identity to the Santa Fe Creek community. Limited plant material selection for common landscape areas associated with Santa Fe Creek as described in text, is contained in the following palette.

MASTER LANDSCAPE PLAN



SOURCE: T & B Planning Consultants
NOT TO SCALE

a. STREETSCAPE DEVELOPMENT TREE PALETTE

The trees selected will be utilized as informally spaced street trees. These trees will serve as foreground elements providing summer shade and as wind modulators. In addition, trees selected will provide community direction and land use emphasis.

Informal street trees may be selected from the following plant palette:

Deciduous Trees

BOTANICAL NAME	COMMON NAME
<i>Alnus rhombifolia</i>	White Alder
<i>Liquidamber styraciflua</i>	Sweet Gum
<i>Platanus racemosa</i>	California Sycamore
<i>Platanus acerifolia</i>	London Plane Tree
<i>Pyrus 'Bradfordi'</i>	Bradford Pear
<i>Alibizzia julibrissin</i>	Mimosa Tree
<i>Jacaranda acutifolia</i>	N.C.N.
<i>Chorisia speciosa</i>	Floss Silk Tree

Evergreen Trees

BOTANICAL NAME	COMMON NAME
<i>Schinus molle</i>	California Pepper Tree
<i>Quercus suber</i>	Cork Oak
<i>Quercus agrifolia</i>	California Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Cinnamomum camphora</i>	Camphor Trees
<i>Cupania anacardiodes</i>	Carrotwood
<i>Eucalyptus polyanthemos</i>	
<i>Pinus halepensis</i>	Red - Flowering Gum
<i>Pinus torreyana</i>	Aleppo Pine
<i>Pinus canariensis</i>	Canary Island Pine
<i>Tristania conferta</i>	Brisbane Box

b. SPECIFIC PLAN PALETTE

Shrubs

BOTANICAL NAME	COMMON NAME
<i>Abelia grandiflora</i>	Glossy Abelia
<i>Cistus species</i>	Rockrose .
<i>Cotoneaster parneyii</i>	Red Clusterberry
<i>Grevillea 'Noellii'</i>	N.C.N.
<i>Heteromeles arbutifolia</i>	Toyon
<i>Hypericum calycinum</i>	Aaron's Beard
<i>Prunus illicifolia</i>	Hollyleaf Cherry
<i>Prunus lyonii</i> - ~	Catalina Cherry
<i>Rhamnus californica</i>	Coffeeberry
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Rhus lances</i>	African Sumac
<i>Rhus laurina</i>	Laurel Sumac
<i>Rhus ousts</i>	Sugar Bush
<i>Dodonea viscosa</i>	Hopseed Bush
<i>Escallonia</i>	N.C.N.
<i>Nerium oleander</i>	N.C.N.
<i>Photinia fraseri</i>	N.C.N.
<i>Pittosporum</i>	Mock Orange
<i>Bougainvillea</i>	N.C.N.
<i>Agapanthus africanus</i>	Lily of the Nile
<i>Heimerocallis species</i>	Day Lily
<i>Juniperus species</i>	Juniper

Ground Covers

BOTANICAL NAME	COMMON NAME
<i>Baccharis pilularis</i> 'Twin Peaks'	Coyote Brush
<i>Delosperma 'Albs'</i>	White Trailing Ice Plant
<i>Lonicera japonica</i>	Japanese Honeysuckle
<i>Rosemarinus officinalis</i>	Rosemary
<i>Hpericum calycinum</i>	Aaron's Beard
<i>Lonicera japonica</i>	Honeysuckle
<i>Myoperum parvifolium</i>	Myoperum
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Hedera helix</i>	English Ivy

3. IRRIGATION REQUIREMENTS

All interior landscaped areas shall be watered with a permanent underground irrigation system; slopes may be watered with a permanent above ground irrigation system. Where slopes occur adjacent to native vegetation and open spaces, temporary irrigation shall be employed until revegetation is established. Irrigation systems which adjoin a separate maintenance responsibility area shall be designed in a manner to insure complete water coverage between the areas. Proper consideration of irrigation system design and installation in the climate extremes of the Santa Fe Creek area is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection. Irrigation systems shall be designed with head to head 100 percent double coverage at a minimum. In addition, irrigation controllers should have a minimum time setting of one minute and be capable of providing multiple repeat start times.

4. BRUSH MANAGEMENT

The Santa Fe Creek Specific Plan recognizes the importance of a successful brush management plan. The following guidelines have been designed in accordance with the Public Resources Code for Minimum Statewide Clearance of Brush and enforced by the Rancho Santa Fe Fire Protection District.

Due to the sloping conditions of those lots abutting existing open space areas, the maintenance of a fuel break around any structure for a perimeter of 100 feet is required. This shall be accomplished by clearing completely an area of not less than 30 feet from a structure. The remaining 70-foot area will be additionally protected by thinning out the dead brush, flammable vegetation or combustible growth. Grass and other vegetation located more than 30 feet from the structure and not exceeding 18 inches in height above the ground may be maintained to stabilize the soil. Additionally, specimens of native plants may be retained provided they have been thinned to remove dead wood lower branches. In order to maintain soil stability and root structure of native plant material, disking of the brush management area shall be prohibited.

Where natural vegetation has been removed, it is essential to revegetate the area with plants and species that offer inherent resistance to fire. Those species may include:

- Creeping Sage
- Dwarf Coyote Bush
- Creeping Saltbush
- Fourwing Saltbush
- Fuschia Gooseberry
- African Trailing Daisy
- Ice Plants
- Creeping Rosemary, and many others

V. CONSISTENCY WITH APPLICABLE COUNTY PLANS, ORDINANCES & STANDARD

A. OVERVIEW

Santa Fe Creek is planned based upon the goals and policies set forth in the San Diego County General Plan, San Dieguito Community Plan, and Zoning Ordinance No. 7739. This section addresses the conformance of the Santa Fe Creek Specific Plan to the General Plan and the Community Plan on a general or conceptual basis.

B. GENERAL PLAN ELEMENTS

1. OPEN SPACE

Goal: *Control development on steep slopes to minimize slide danger, erosion, silting, and fire hazard.*

Consistency: Development in steeply sloping areas is minimized. Canyon walls which flank Escondido Creek and other steeply sloping areas will be preserved in open space or protected through open space easements. Residential development is planned for the flattest portions of the property or those easily accessible by a planned circulation system.

Goal: *Encourage the conservation of vegetation and trees needed to prevent erosion, siltation, flood, and drought, and to protect air and water quality.*

Consistency: The existing streambed and riparian and wetland vegetation will be preserved and dedicated to open space. Existing coastal sage scrub and chaparral habitats located on steeply sloping hillsides will be preserved, and minimal disturbance to natural vegetational communities is anticipated for project implementation.

Goal: *Encourage the conservation of the habitats of rare or unique plants and wildlife.*

Consistency: The project will preserve Escondido Creek and associated riparian and wetland habitats in open space. Additionally, native habitat located in other areas of the project will be preserved in open space or through open space easements. The preservation of a total of 157.3 acres of the property as open space conserves wildlife habitat..

Goal: *Encourage the use of minor natural water courses as local open spaces.*

Consistency: Escondido Creek will be preserved as an open space feature providing the project and surrounding community with recreational opportunities.

Goal: *Encourage the acquisition of historic sites (including unique archaeological sites) and their immediate environs by public agencies or private organizations interested in our historical and cultural heritage.*

Consistency: No historic sites or unique archaeological resources have been encountered on the project site. A potentially important but degraded archaeological resource is located within the Mesa Top portion of the site proposed for development. The site will be excavated and the resource retrieved and documented prior to the construction of lots and roads in this area of the project site.

Goal: *Encourage an intermingling of open space as an integral part of all major residential development so as to preserve an atmosphere of openness at the neighborhood scale.*

Consistency: The Escondido Creek open space as well as other open space areas will be integrated with future development of custom, semi-custom and estate home sites.

Goal: *Encourage development that is designed so as to include riding, hiking and bicycle trails.*

Consistency: Santa Fe Creek will provide equestrian/hiking trails which will loop through the site and link with off-site existing trails.

2. REGIONAL LAND USE

Goal: *Urban growth be directed to areas within or adjacent to existing urban areas, and that the rural setting and lifestyle of the remaining areas of the County be retained.*

Consistency: The Santa Fe Creek project is located between the Horizon Country Club development and the Rancho Cielo Specific Plan area. The project will be developed at a overall density less intense than that approved for the surrounding projects. Lot sizes will complement both the adjacent developments and San Dieguito's rural setting.

3. CIRCULATION

Goal: *Utilize public property, such as utility and drainage easement, parks, and lightly traveled roads, whenever possible, for construction of bikeways.*

Consistency: A system of trails suitable for hikers, equestrians and mountain bikes will be provided through the project.

4. RECREATION

Goals: *Enhance the physical, mental and spiritual well being of County residents by providing opportunities for relaxation, rest, activity, education, and relationships with their neighbors.*

Provide a system of public parks, riding and hiking trails, and outdoor recreation facilities which not only preserve significant areas of natural beauty for citizen enjoyment, but which also serve the needs of the citizens in their immediate environments. This system is to be augmented by private outdoor recreation facilities that are compatible with the goals and objectives of the public system.

Consistency: The Specific Plan will incorporate trails through the project and adjacent to portions of Escondido Creek. The trail system will connect with the County's planned trail system and could ultimately provide a north-south trail connection between San Dieguito River Valley and Escondido Creek.

5. SEISMIC SAFETY

Goal: *... to minimize the loss of life and destruction of property in San Diego County by making planning recommendations giving consideration to seismic and geologic occurrences and their long-range impact on the community.*

Consistency: The project will incorporate grading development standards and recommendations which will minimize any potential geotechnical and site development constraints that occur on-site.

6. PUBLIC SAFETY

Goals: *Minimize injury, loss of life and damage to property resulting from fire, geologic or crime occurrence.*

Maximize public safety factors in the physical planning process.

Consistency: The Rancho Santa Fe Fire Department will provide fire protection to Santa Fe Creek. Police protection will be provided by the County of San Diego Sheriff's Department. The project will include design guidelines which provide public safety site planning criteria.

7. HOUSING

Goals: *... to ensure that new residential construction will be adequate to meet the needs of the region if adequate public services and facilities are available. Housing should be available in a variety of styles, tenancy types, and prices throughout the region.*

Maintain housing stock in good repair and protect residential communities from deterioration. All neighborhoods should have adequate and coordinated public and private services and facilities, clean air, quiet and pleasant surroundings, reasonable assurance of safety and security, and a sense of community life.

Consistency: Environmental and architectural design guidelines will be an important element of the Santa Fe Creek Specific Plan to assure that Santa Fe Creek maintains and facilitates a quality living environment. The project will offer a variety of custom and semi-custom housing types on minimum one-acre estate lots in the southern and southeastern portions of the site.

8. CONSERVATION

General Policies: *The San Diego County General Plan will include provisions for the conservation of natural resources. These include water, vegetation and wildlife, cultural sites, etc.*

Consistency: The project proposes the establishment of open space along Escondido Creek and adjacent hillsides. The open space areas will extend beyond the limits of the Escondido Creek floodway and will include wetland areas, riparian areas and uplands. Additionally, steeply sloping hillsides vegetated in coastal sage scrub will be preserved in open space or through easements. Open space areas established on the site will ensure preservation of natural habitats.

9. PUBLIC FACILITIES

- **Section 2 Coordination Policies:** *"Assure that growth is limited to areas where adequate public facilities exist or can be efficiently provided. "*

"Development projects will be required to provide or fund their fair share of all public facilities needed by the development."

"Large scale projects will be required to plan for the siting of necessary public facilities and to provide or fund their fair share of all public facility needs created by the development."

"The County will ensure that the provision of all necessary public facilities occurs concurrently with development to the extent possible within the constraints of facility financing programs."

"The County will encourage collaboration among facility providers within the region."

Consistency: All public facility connections are located adjacent to the site, and adequate capacity has been deemed available by the responsive agencies. Service facility letters have been obtained from these agencies and their comments/recommendations have been incorporated into the project accordingly. Where appropriate, separate agreements have been or will be executed prior to final map approval if not before.

The County will prepare conditions of approval for the proposed and Tentative Map that ensure that timing and phasing of the project corresponds with the provision of necessary public services. Facility providers have coordinated efforts individually with the project applicant and through formal response to adopted County procedures.

- ***Section 4 Transportation Policies:*** "New development shall provide needed roadway expansion and improvements on-site to meet the demand created by the development, and to maintain a Level of Service "C" on Circulation Element Roads during peak traffic hours. New development shall provide off-site improvements designed to contribute to the overall achievement of a Level of Service "C" on Circulation Element Roads. "

"New development shall be required to contribute its fair share toward financing transportation facilities."

"Consider the need for transit improvements in Large Scale Projects. "

"Ensure the provision of bicycle facilities and other needed bikeway related improvements in new development."

Consistency: An extensive project traffic analysis has identified necessary and appropriate roadway improvements. Improvements to mitigate direct impacts have been incorporated into the project and Conditions of Approval will require the project to implement the improvements and contribute its fair share to facility development. The project would contribute an increment to cumulative impacts associated with intersections currently operating below Level of Service "C". The project provides mitigation options to ameliorate impacts. However, there is no funding mechanism currently available for financing such improvements. Therefore, the project would not be consistent with this policy.

Recreational biking will be accommodated within the project and mountain biking will be permitted within the regional trail system linkage to be developed within the project.

- **Section 6 Solid Waste Policies:** "The County will promote waste management techniques that are alternative to landfilling."

"Landfills shall be used primarily for wastes that cannot be recycled or processed and for the residual waste from processing facilities."

Consistency: Solid waste will be disposed in the San Marcos Landfill, and the project will comply with the County's Integrated Waste Management Plan (when adopted) and participate in community recycling programs.

- **Section 7 Law Enforcement Policies:** "The County will consider the availability of Sheriff facilities/ services in the planning process."

"The County will require, whenever possible, subdivision design that aids in crime prevention and law enforcement operations."

Consistency: The project has been reviewed by the Sheriffs Department; its recommendations will be incorporated into project design, and the project will implement any measures or conditions necessary to assure appropriate service levels.

- **Section 8 Animal Control Policies:** "New development shall be required to contribute its fair share toward financing animal control facilities to achieve the short term objective."

Consistency: The project shall be conditioned in accordance with County policy to so provide its fair share.

- **Section 10 Schools Policies:** "To the extent allowable under State law, new development shall be required to provide additional facilities needed to serve children generated by the new development. Such facilities shall be of the quality and quantity sufficient to meet State Department of Education standards or to maintain an existing higher level of service provided by an affected school district's facilities."

"Land use planning will be coordinated with the planning of school facilities."

Consistency: As required by County policy, a school agreement will be executed before approval of the project. School facilities are presently available, and the project will pay school fees in accordance with the aforementioned agreement.

- **Section 11 Fire and Emergency Policies:** "The County will ensure the availability of adequate fire and emergency services facilities in the review of discretionary land development applications, and require appropriate fire prevention and protection measures."

Consistency: The project has been reviewed by the fire district and a brush management program has been incorporated into the project. Other necessary measures will be addressed in the Conditions of Approval for the project.

- **Section 12 Wastewater Policies.** *"Land use planning, which is the responsibility of the County, will be coordinated with sewer system planning, which is the responsibility of facility providers. "*

"Discretionary land development applications will only be approved if the service provider reasonably expects that wastewater treatment and disposal will be available concurrent with need, and that all appropriate requirements will be met through conditions placed on project approval. "

"All land development projects requiring the use of sewage conveyance, treatment and disposal facilities shall obtain a commitment of service from the appropriate district prior to land preparation and construction. "

"Water reclamation and conservation measures shall be included in the land development review process. "

Consistency: As described under the project description, sewer service will be available to the project. The Rancho Santa Fe Sanitation District will provide sewer service to most of the project. The project will be required to annex into the Improvement District involving the payment of fees.

- **Section 13 Water Policies:** *"Land use planning, which is the responsibility of the County, will be coordinated with water system planning, which is the responsibility of the facility providers. "*

"Discretionary land development applications dependent on imported water will only be approved if the service provider reasonably expects that water facilities will be available concurrent with need, and that all appropriate requirements will be met through conditions placed on project approval. "

"All land development projects requiring the use of imported water shall obtain a commitment of service by the appropriate district prior to land preparation and construction. "

"Water reclamation and conservation measures shall be included in the land development review process. "

Consistency: The project will be constructed with state-of-the-art water conservation techniques, including low flow toilets and shower heads. The landscape plan includes drought tolerant plant materials. Irrigation will be moisture sensitive to limit irrigation

during times of heavy rains. The project incorporates appropriate reclamation and conservation measures.

- **Section 14 Child Care Policies:** *"The County will encourage the siting of child care facilities compatible with community needs, and use and character, and encourage such facilities to be available, accessible, and affordable for all economic levels."*

Consistency: The applicant, with County assistance, will encourage the local school district to include child care facilities at local schools.

C. SAN DIEGUITO COMMUNITY PLAN ELEMENTS

This section addresses the goals and policies of the San Dieguito Community Plan. *"The San Dieguito Community Plan Area is, generally, a low-density estate residential area surrounded by the rapidly urbanizing areas of North San Diego County. " The goals which follow reflect the desired total living environment within the San Dieguito area.*

1. COMMUNITY CHARACTER

Goal: *Provide for the orderly development of the San Dieguito Community Plan area while maintaining the identities of historically established neighborhoods.*

Consistency: Santa Fe Creek is a master planned development, providing low density estate lot homes on approximately 62.4 acres (gross) of the 195acre site, while preserving 132.2 acres of undisturbed open space and 22.1 acres of residential open space easements. Santa Fe Creek will reflect a rural living environment. The project lies adjacent to the existing Rancho Cielo Specific Plan Area and the Horizons Country Club development, and will develop in a logical and orderly pattern of growth, consistent with adjacent residential communities.

2. LAND USE

Goal: *Provide a distribution of land uses that is compatible with the existing character of the community and that is integrated with the planning activities of surrounding jurisdictions.*

Consistency: Development of Santa Fe Creek will occur in a logical pattern of growth, compatible with adjacent SPA's and land uses. Residential development is proposed for the flatter mesa-top, extending west of Rancho Cielo and north of the Horizon Country Club, and in the southeast corner of the site where an approved circulation roadway planned as part of Rancho Cielo will occur.

Goal: *Enhance the present living environment while accommodating gradual residential development that harmonize with the natural environment.*

Consistency: Residential development within Santa Fe Creek will occur on large estate lots, ranging in size from a minimum of one acre to more than 4 acres. The majority of the development will be located in the flat mesa-top portion of the site, south of Escondido Creek, minimizing landform alterations. Steeply sloping portions of lots located adjacent to planned open space areas will be preserved in residential open space easements, further complementing the natural environment.

Goal: *Maintain and enhance the future of agriculture within the plan area.*

Consistency: The project site is not in agriculture, although it had been under a Williamson Act contract. More than ten years ago, the property owner petitioned the State for non renewal of the contract, which was terminated in March 1992. Due to the property's limited potential for agricultural use and its location between two developing residential areas, vacation of the Williamson Act contract does not adversely affect agricultural pursuits in the community.

HOUSING

Goal: Ensure that adequate housing opportunities are provided for all residents of the plan area.

Consistency: Housing types within Santa Fe Creek will reflect the socioeconomic make-up of the area's residents. The San Dieguito Community planning area is primarily an Estate Development Area (EDA) containing one of the highest average incomes of any area in San Diego County, and the project is directed toward this income group. Therefore, large estate lots and future custom homesites are reflective of the market demand in the San Dieguito area.

The project does not provide for affordable housing. In general, the project will support the goals and policies of the County and State for the provision of affordable housing and balanced communities. The project is not in an area which lends itself to development of low and moderate income housing. Services are not easily accessible without the use of a private automobile, and employment centers are not located in close proximity to the property. However, the project will provide move-up housing and will participate in any affordable housing program required by the County's updated Housing Element.

4. CIRCULATION

Goal: *Implement a transportation system that is balanced and designed to accommodate a diversity of modes. Automobile, bicycle, equestrian, pedestrian and mass transit networks should be included within the total system. It shall be constructed to include the convenient movement of people, goods and services within the plan area, while minimizing any impacts that would detract from the natural beauty of the area and the quality of life of its citizens.*

Consistency: The Santa Fe Creek circulation system is designed to incorporate not only vehicular circulation, but equestrian, bicycle and pedestrian circulation, via a network of thoughtfully planned private roadways, riding and hiking trails and open space areas. The circulation network will be constructed to promote the convenient movement of people, goods and services within the Specific Plan area, while minimizing impacts that would detract from the natural environment.

5. PUBLIC SAFETY, SERVICES AND FACILITIES

Goal: *Minimize those elements within the natural, built and social environment which pose a clear and significant threat to life or property.*

Consistency: The project will be developed in accord with State and County regulations. Additionally, as part of the Specific Plan, a brush management program has been developed to minimize risk to wildfires.

Goal: *Provide those public services necessary to adequately protect and maintain the character and lifestyle of the plan area.*

Consistency: Public services including sewer, water, gas, electric and telephone are currently available to the project site and will be provided within Santa Fe Creek to adequately accommodate residents at the project's full buildout potential.

Goal: *Maximize educational opportunities for all age groups through a high standard of educational programs and physical facilities.*

Consistency: The project does not include formal educational programs or the construction of physical facilities for educational purposes. However, abundant educational opportunities exist through the exploration of the Escondido Creek open space. This area is included in the approximately 157.3 acres of open space afforded within the Santa Fe Creek community. The project proposes dedication of this open space area to public ownership for enjoyment of the San Dieguito community and other County residents.

Goal: *Provide those public facilities that are appropriate for the existing character of the community.*

Consistency: Facilities made available for public use within Santa Fe Creek include the many open space areas, providing a variety of passive and active recreational uses.

6. CONSERVATION

Goal: *Provide a desirable, healthful and comfortable environment for living while preserving San Dieguito's unique natural resources.*

Consistency: The project preserves approximately 157.3 acres of open space. Within these open space areas, a variety of important natural resources will be protected, including environmentally significant wildlife habitat and vegetation communities.

Goal: *Ensure adequate water supplies will be available for the land uses established by this Specific Plan.*

Consistency: Water service will be provided by the Olivenhain Water District. The project site is located within the sphere of influence of the Rancho Santa Fe Community Services District. The project will be annexed into Sewer Improvement District No. 1. The lots in the Mesa Top Planning Area will need to be annexed into the District for sewage service. Service to the Rancho Santa Fe Community Services District is currently available. The lots in the Cornerstone planning area will be served by the Rancho Cielo Sanitation District. It is anticipated that the Rancho Cielo development will construct a wastewater treatment plant to treat and process the waste generated by the Rancho Cielo project within a minimum of five years. Service Availability letters have been received from the Olivenhain Water District, Rancho Santa Fe Community Services District and Rancho Cielo Sanitation District.

Goal: *Prevent the unnecessary alteration of the natural landscape within the San Dieguito Plan area.*

Consistency: The location of proposed development areas and the grading within the project would minimize encroachment into steep slopes as required by the County's Resource Protection Ordinance. Grading within each lot limits the amount of developable area and maintains the steeper slopes within open space easements.

Goal: *Minimize erosion caused by grading for development and agricultural uses.*

Consistency: Grading within Santa Fe Creek is carefully designed to minimize impacts to the existing topography, in compliance with the County's Resource Protection Ordinance. Grading within each lot limits the amount of developable area and maintains the steeper slopes within residential open space easements.

Goal: *Restrict the use of exterior lighting throughout the San Dieguito Community Plan Area.*

Consistency: Exterior lighting within Santa Fe Creek will be limited to that of individual lots for architectural, landscaping and safety purposes, and where security and project entry enhancement is necessary. No street lights are planned within the community. The project will comply with the County's "dark sky" policy, which limits the use of exterior lights.

7. RECREATION

Goal: *Enrich the lives of San Dieguito residents of all age groups by establishing a well balanced system of recreational facilities and services.*

Consistency: The project provides a variety of passive recreational opportunities to future residents of Santa Fe Creek as well as residents of the San Dieguito community and the County. The Escondido open space area will provide for educational, hiking and equestrian opportunities as well as passive enjoyment of wildlife. Trails planned as part of the project will afford hikers and equestrians an opportunity to access Escondido Creek and other open space areas in this portion of the County. Other areas preserved as open space will further provide for passive visual open space opportunities and wildlife habitat protection.

Goal: *Establish and protect an enjoyable, efficient and safe network of public riding and hiking trails.*

Consistency: Santa Fe Creek provides riding and hiking trails throughout the development which will connect with the County's adopted Trails Network.

8. SCENIC HIGHWAYS

The "Scenic Highways" element of the San Dieguito Community Plan is not applicable to the Santa Fe Creek Specific Plan because the project will not develop adjacent to any roads with this designation.

9. SEISMIC SAFETY

Goal: *Minimize the loss of life and destruction of property from seismic events such as earthquakes.*

Consistency: A geological reconnaissance has been conducted for the property. That study revealed that there are no active or inactive faults crossing the property and that the property is suitable for residential development.

10. OPEN SPACE

Goal: *Provide a system of open space that is adequate to preserve the unique natural elements of the community.*

Consistency: As previously stated, Santa Fe Creek will provide 157.3 acres of open space preservation area. This open space is comprised of the 102.6-acre Escondido Creek open space, an additional 27.0 acres of eastern steep slopes, 22.1 acres of residential open space easements for protection of steeply sloping areas within lots, 3.0 acres for a landscaped entry lot, and approximately 2.6 acres planned as a passive greenbelt park within the 100-foot-wide SDG&E easement.

11. NOISE

Goal: *Protect and enhance the County's acoustical environment by simultaneously controlling noise at its source; along its transmission lines; and at the site of the ultimate receiver.*

Consistency: Development of Santa Fe Creek will have little impact on noise generation. The project will add a negligible amount of noise produced by vehicular traffic on local and private roadways. The project site is not located adjacent to a major highway or within close proximity to a general aviation airport, and therefore will not experience significant adverse noise impacts.

12. ENERGY

Goal: *Ensure maximum conservation practices and maximum development of alternative sources of energy.*

Consistency: Passive solar techniques will be encouraged within the architectural design of Santa Fe Creek. Simple energy saving devices such as window orientation and energy and water saving appliances shall be utilized in accordance with Federal, State and County energy and water conservation requirements.

D. RESOURCE PROTECTION ORDINANCE

On May 31, 1989, the Board of Supervisors adopted the Resource Protection Ordinance, requiring a Resource Protection Study for applications submitted on or after June 30, 1989 for various discretionary projects. A Resource Protection Study is required to determine if sensitive lands (i.e., wetlands, floodplains, steep slopes, sensitive biological habitats, and prehistoric and historic sites) are located on the property and whether the Resource Protection Regulations should be applied. The project will include preparation of a Resource Protection Study. The project will preserve sensitive resources as required by the ordinance. Specifically:

- Wetlands and Riparian Areas

The project will protect and preserve approximately 130 acres associated with Escondido Creek. This preservation area will include the creek, wetlands, riparian areas and upland vegetation. Additionally, coastal sage scrub will be preserved in hillside areas of the site through open space dedication or easements.

- Steep Slopes

Steeply sloping areas will be placed in open space or open space easements for their protection. Grading will be limited to the flatter portions of the property and the moderate to steeply sloping hillsides to encroach into steeply sloping hillsides will be below that permitted in RPO.

- Sensitive Biological Habitats

Sensitive biological habitats will be preserved in open space areas. These include coastal sage scrub occurring on the hillsides and wetland and riparian vegetation along Escondido Creek.

- Prehistoric and Historic Sites

No historic sites or unique archaeological resources have been encountered on the project site. A potentially important but degraded archaeological resource is located within the Mesa Top portion of the site proposed for development. The site will be excavated and the resource retrieved and documented prior to the construction of lots and roads in this area of the project site.

VI. IMPLEMENTATION

A. PHASING

For Santa Fe Creek, timing of development is dependent upon construction of the primary accesses to the two planning areas. For this reason, two primary phases are anticipated for project implementation, as shown in Figure 21, *Project Phasing*. Phase Ia involves grading for the western portion of the Mesa Top planning area. Included in this phase are development of the 32 residential lots and internal streets. As a separate sub-phase of Phase I, Phase Ib would provide for the construction of eight lots in the eastern portion of the Mesa Top Planning Area. The pump station planned as part of the Mesa Top planning area will also be constructed in Phase Ib. Phase II involves the development of the Cornerstone planning area. Development of this area is tied to development of Ranch Cielo. As development of Rancho Cielo proceeds, the circulation roadway which crosses the Cornerstone planning area can be constructed and individual lots graded.

A schedule has not been developed for project phasing. Phases may proceed concurrently or separate and in any order.

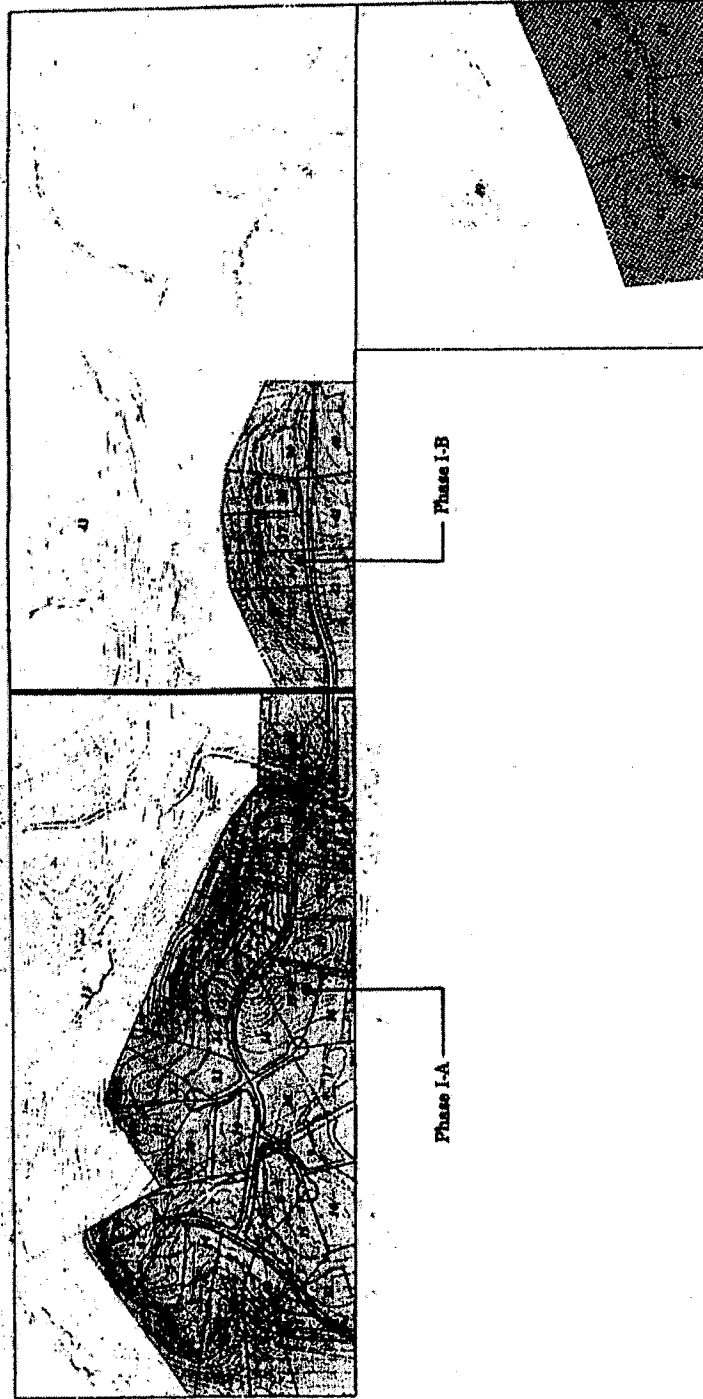
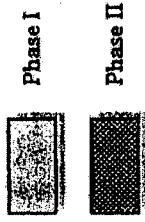
B. FINANCING

The developer will finance construction of the project. It is anticipated that Rancho Cielo will fund construction of the circulation roadway crossing the Cornerstone Planning Area. The developer will finance construction of the pump station planned in Phase I, Mesa Top Planning Area development.

C. PROCESSING AND REVIEW

The project is being developed for construction of custom and semi-custom homes. This can occur as an individual lot sales program or as a tract development for all or part of the project. As architectural and site development plans are prepared for the Mesa Top and cornerstone planning areas, review and conformance with this Specific Plan must be determined by County staff prior to administrative approvals. The Eastern Slopes planning area requires individual discretionary approval including site and architecture review, a Resource Protection Ordinance permit, and environmental analysis.

PROJECT PHASING



SOURCE: T & B Planning Consultants
NOT TO SCALE

FIGURE 21
VI. IMPLEMENTATION
SANTA FE CREEK SPECIFIC PLAN NO. 92-91

D. MAINTENANCE

A homeowner's association shall be established for maintenance of interior streets, the enhanced entry, and trails within the project. Maintenance of dedicated open space areas shall be the responsibility of the County or designated agency. Maintenance of the pump station located near the project entry at Street "A" shall be the responsibility of the Rancho Santa Fe Sanitation District. Maintenance of landscaping and brush management areas within each lot shall be the responsibility of the homeowner.