

Important County of San Diego Rebuild Information



The County of San Diego, Planning & Development Services, is providing you with this information packet.

Please keep these documents; they will assist you in the rebuild process.

When you want to start preparing to rebuild, review the enclosed information.

County contact numbers are included for your convenience.



Office use: Permit Number: _____

County of San Diego, Planning & Development Services

MOBILE HOME PARK/SITE PERMIT APPLICATION
BUILDING DIVISION**APPLICANT TO COMPLETE SECTIONS 1 THROUGH 9**

1	MOBILE HOME PARK INFORMATION		Assessor Parcel Number: _____	
	Park Name: _____		Park ID Number: 37- _____	Community: _____
	Park Address: _____		City: _____	Zip: _____ Space Number: _____
	Lot Occupant/Owner Name: _____		Phone: _____	E-mail: _____
	Lot Occupant/Owner Address: _____		City: _____	Zip: _____
APPLICANT CERTIFICATION: I certify that I have read this application and state that the above information is correct. I agree to comply with all county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes. Applicant Signature: _____ Date: _____				
MOBILE HOME PARK MANAGER'S APPROVAL (Manager <u>must</u> sign in order to submit the application. Plan check fees due with application and are not refundable.) Manager signature: _____ Date: _____				
2	CALIFORNIA LICENSED CONTRACTOR INFORMATION			
	CA License Class: _____		CA License Number: _____	
	Business Name: _____		E-mail: _____	
	Street: _____		Suite #: _____	
	City: _____ State: _____ Zip: _____		Phone: _____	
3	LICENSED CONTRACTOR DECLARATION – I hereby affirm that I am licensed under provisions of Chapter 9 of Division 3 of the State of California Business and Professions Code, commencing with Sec. 7000, and my license is in full force and effect. Signature: _____ Date: _____			
	OWNER-BUILDER DECLARATION – I hereby affirm that I am exempt from the Contractor's State License Law for one of the following reasons: I hereby affirm that I am exempt from the Contractor's license law or the following reason (Sec. 7031.5 Business and Professions Code: Any city or county which requires a permit to construct, after, improve, demolish, or repair any structure, prior Contractor to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's license law {Chapter 9 commencing with Sec. 7000 of Division 3 of the Business and Professions Code}, or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Sec. 7031.5 by an applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars {\$500}).			
4	I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale, (Sec. 7044, Business and Professions Code); The Contractor's license law does not apply to an owner of property who builds or improves thereon or who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement are sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.			
	I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code; The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for each project with a contractor(s) licensed pursuant to the Contractor's license law).			
5	I am exempt under Sec. _____ B.&P.C. for this reason _____			
	Owner's Signature: _____ Date: _____			
6	WORKERS' COMPENSATION DECLARATION I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation insurance, or a certified copy thereof (Sec. 3800, Labor Code). My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy Number: _____			
	8 CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE (This section need not be completed if the permit is for one hundred dollars (\$100) or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Applicant's Signature: _____ Date: _____			
	CONSTRUCTION LENDING AGENCY I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code). Lender's Name: _____ Lender's Address: _____			
	EXPIRATION AND EXTENSION OF PERMITS FOR MOBILE HOME PARK/SITE CONSTRUCTION All building division permits issued within MH and SOV parks are valid for six (6) months from the date of issuance. Extensions may be granted in some cases for additional six month time periods. There is a maximum life for project completion of two (2) years from the date of issuance. See California Code of Regulations, Title 25, Division 1, Chapter 2 (MH parks) and 2.2 (SOV parks), sections 1038 and 2038 respectively for specific information.			
	PLEASE CALL FOR INSPECTION WHEN WORK IS READY PRIOR TO CONCEALMENT			

5510 OVERLAND AVE., SUITE 110, SAN DIEGO, CA 92123 • (858) 565-5920 • (888) 336-7553

[HTTP://WWW.SDCPS.ORG](http://www.sdcps.org)



Project Address:	Record ID:
Cross Street:	Community:
Scope Code:	Use of Structure(s):

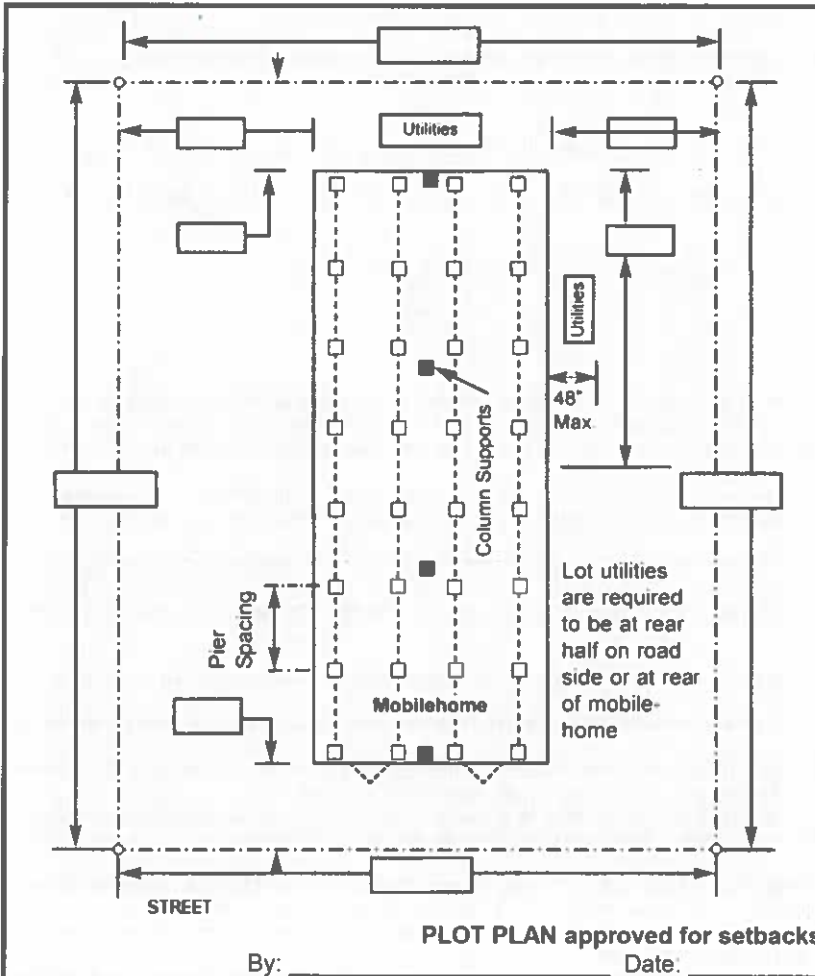
Plans Approved by: _____	Date: _____
Use Permit or Variance Number: _____	Sewer Receipt Number or DEH Approval: _____
Application Approved by: _____	Date: _____
PERMIT VALIDATION (Final Approval) Inspector: _____	Date: _____

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[HTTP://WWW.SDCPDS.ORG](http://www.sdcpsd.org)



County of San Diego, Planning & Development Services
MOBILEHOME INSTALLATION INFORMATION
BUILDING DIVISION

PARK NAME _____ I.D. NO. 37- _____ SPACE NO. _____
MOBILEHOME OWNER _____ SITE ADDRESS _____
CONTRACTOR _____ LICENSE NUMBER _____
MAILING ADDRESS _____ CONTRACTOR PHONE _____



LOT UTILITY SERVICES

1. Gas ☐ Natural ☐ LPG
Riser size _____
2. Drain Inlet: Size _____
3. Electrical:
☐ Permanent Wiring Connection ☐ Power Supply Cord
Receptacle Rating _____ (amps)
Service _____
Equipment Rating _____ (amps)
Circuit Breaker Rating _____ (amps)

Manager Approval _____

MOBILEHOME DATA

1. Size: Length _____ (ft)
Width _____ (ft)
2. Electrical Power Cord
Ampere Rating _____
Metal Tag Rating amps _____
3. Electrical Power Assembly
Wire size and type _____
Flexible conduit size _____
4. Gas supply size _____
Type _____
5. Water connector size _____
Type _____
6. Drain connector size _____
Type _____
7. Manufacturer: _____
Vehicle Serial No.: _____
HCD Insignia or HUD Label No.: _____
Date of Manufacture _____
Design Roof Live Load _____ (psf)
Design Wind Load _____ (psf)
Maximum Allowable Pier Spacing _____ (ft)
Required PAD Capacity _____ (lbs)
Required PIER Capacity _____ (lbs)
8. M/H State Lic. Nos. _____

Installers Signature

DATA TO BE SUBMITTED WITH APPLICATION:

1. Two copies of mobile-home support and foundation plans (if mobile-home was manufactured after 10/7/73, two copies of manufacturer's instructions and plans must be provided).
2. Show size and location of all structures on lot. Show distances to lot lines and any mobile-home or permanent structure located on adjacent lots if within 10' of the proposed mobilehome.

SUPPORTS

- Over 3" ☐ Yes ☐ No
☐ Typ. Metal pier layout
(5" o/c on 2"x12"x30" P.T. wood pad)
☐ Other: Type: _____
Pier spacing _____
Pad Size _____
Footing Size _____

Title 25 – Section Summary on Mobile-home (M/H) Installations

Sec. 1324 **Permit Required**. A permit shall be obtained each time a M/H which is in excess of 8' in width or in excess of 40' in length is to be installed on any site for the purpose of human habitation or occupancy as a dwelling.

Sec. 1326 **Inspection**. A request for an inspection shall be made at least 24 hours in advance of the time the installation is expected to be completed. When the M/H installation fails to comply with the requirements of these regulations, the enforcement agency shall notify the installer in what respects the installation does not comply. The installer shall perform the necessary corrective work and request re-inspection within ten days. The fee for re-inspection shall be paid when re-inspection is requested.

Sec. 1330 **Location**. The minimum distance required for the separation of a M/H from a permanent building shall be 10'. The minimum distance required for the separation of a M/H from any other M/H shall be 10' from side to side, 8' from side to front or rear, and 6' from rear to rear, or front to front, or front to rear, provided, however, that each M/H shall not be located closer than 3' from rear or side lot line abutting a property line or another M/H lot. (See Sec. 1424 for exception on garages.) NOTE: Zoning requirements may require greater setbacks.

In mobile-home parks constructed prior to 9/15/61, no M/H shall be located closer than 6' from any permanent building or another M/H.

Sec. 1334 **Mobile-home support**. Individual load bearing footings if placed on the surface of the ground must be placed level on cleared, firm, undistributed soil or compacted fill.

Footings shall be adequate in size to withstand the tributary live and dead loads of the M/H of any concentrated loads. The length to width of the footing shall not exceed 2.5 to 1.

Individual load bearing supports or devices three or more feet in height shall be provide with lateral bracing in two directions at right angles to each other. When more than one-fourth of an area of the M/H is supported at a height of 3' or more, the M/H shall be installed on a permanently constructed support structure.

Sec. 1336 **Manufacturer's installation Instructions**. Mobile-homes manufactures on or after 10/7/73 shall be installed in accordance with the approved manufacturer's installation instructions.

M/H's manufactures prior to 10/7/73 or M/H's which do not have manufacture's instruction shall have supports not more than 6' apart. Footing area for 6' spacing is (Sec. 1342):

<u>Width of Mobile-home Unit</u>	<u>Footing Area</u>	<u>Typical Footing (in.)</u>
8 ft. wide	260 sq. in.	11.25 x 23
10 ft. wide	324 sq. in.	22.5 x 14.5
12 ft. wide	388 sq. in.	22.5 x 17.5
14 ft. wide	452 sq. in.	22.5 x 20.5

Sec. 1346 **Under-floor Enclosures**. Where the space beneath a M/H is enclosed, there shall be provided a removable access panel not less than 18" in any dimension, and not less than 4 sq. ft. in area. The access panel shall be located so that the lot utility connections to the electrical, water, sewer and gas systems of the M/H are within 20'. The access panel shall not be fastened by any means requiring the use of a special tool or device to remove the panel.

Cross ventilation shall be provided by openings having a net area of not less than 1 ½ sq. ft. for each 25 linear feet of the M/H and including attached enclosed unventilated structures such as porches. The openings shall be provided on at least two opposite sides and shall be as close to all the corners as practicable.

Where wood is used for the M/H enclosure within 6" of the ground, it shall be an approved treated material or wood of natural resistance to decay.

Sec. 1350 **Support Inspection**. At the time of inspection the installation of the M/H on its support system shall be completed. The space beneath the M/H shall be accessible for inspection.

Sec. 1362 **Test**. When a M/H consists of two or more units, all utility connections from one unit to another shall be visually inspected and included in the tests.

Water Distribution System. Test with normal operating pressures or the system shall be tested by a 50 pound per square inch air pressure test for a period of not less than 15 minutes without leaking.

Drainage Piping System. Flow water into all fixtures, and receptors, including the clothes washer standpipe, for a period of three minutes. If the water system is not under pressure then pour at least three gallons of water into each fixture and receptor then check for leaks.

Fuel Gas Piping System. Before it is connected to the M/H lot gas outlet, the system shall be subjected to a pressure test with all appliances shut-off valves, except those ahead of fuel gas cooking appliances, in the open position. Appliance shut-off valves ahead of fuel gas cooking appliances shall be closed.

The test shall consist of air pressure at not less than 10' no more than a MAXIMUM 14" water column. (Six ounce to a MAXIMUM eight ounce psi.) The system shall be isolated from the air pressure source and maintain this pressure for not less than two minutes without perceptible leakage. Upon completion of the test the appliance valves ahead of fuel gas cooking appliances shall be opened and the gas cooking appliance connectors tested with soapy water or bubble solution while under the pressure remaining in the piping system.

The Electrical Wiring and Power Supply feeder Assembly. The electrical wiring system of the M/H shall not be energized during the test. A M/H equipped with a power supply cord shall not be connected to the lot or site service equipment. A M/H equipped with a feeder assembly shall have the flexible metal conduit connected to the M/H service equipment, however, the supply conductors, including the neutral conductor, shall not be connected.

The continuity test shall be made with all M/H interior branch circuit switches or circuit breakers and all switches controlling individual outlets, fixtures and appliances in the "on" position. The test shall be made by connecting one lead of the test instrument to the M/H grounding conductor at the point of supply to the feeder assembly, and applying the other lead to each of the supply conductors, including the neutral conductor. There shall be no evidence of any connection between any of the supply conductors and the grounding conductor. In addition, all non-current-carrying metal parts of electric equipment of the M/H, including fixtures and appliances, shall be tested to determine continuity between such equipment and the equipment grounding conductor.

Upon completion of the continuity test, the power supply cord or feeder assembly shall be connected at the lot or site service equipment. A further continuity test shall be made between the grounding electrode and the chassis of the M/H.

Upon satisfactory completion of the electrical tests, the lot or site service equipment shall be approved for energizing.

Sec. 1368 **Required Exit facilities**. One exterior doorway of the Mobile-home shall be provided with a conforming porch and/or stairway at the time of the M/H installation.

All exterior doorways of the M/H shall be provided with a conforming exterior porch and/or stairway within 60 days of issuance of the M/H installation acceptance.

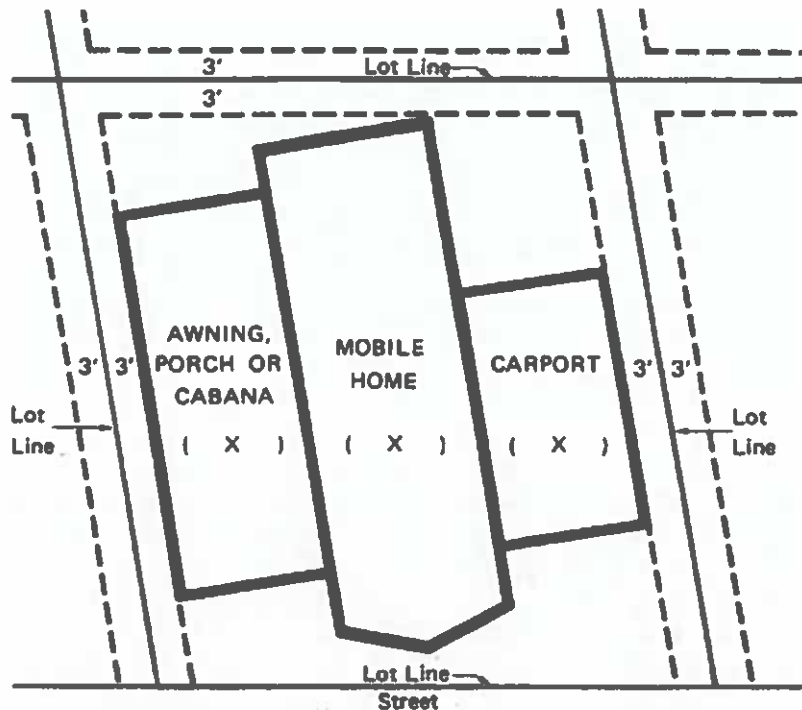


County of San Diego, Planning & Development Services
**MOBILE HOME PARKS ACCESSORY
BUILDINGS/STRUCTURES REGULATIONS**
BUILDING DIVISION

CALIFORNIA ADMINISTRATIVE CODE; TITLE 25, CHAPTER 5, ARTICLE 2

GENERAL NOTES:

This plot plan to be completed in duplicate. (Shade Construction area)



TWO SETS OF CONSTRUCTION PLANS ARE REQUIRED.

PARK

ADDRESS

SPACE NO.

OWNER

APPROVAL (Manager)

STATE SPACE NO

IS SITE ANGLE
REVERSED?

IS SITE
STRAIGHT?

AWNING TO BE
SCREENED?

WOOD PORCH?
INDICATE SIZE
ON PLAN

CABANA

1. 12' Maximum projection on coach supported awnings.
2. Carports shall be at least 50% open on at least 2 sides, or 1 side and 1 end.
3. Skirting shall have access opening and be vented on 3 sides, 2 square feet per 25 linear feet.
4. Awning enclosures are permitted from the slab or deck with readily removable transparent or translucent materials. The awning may also be partially enclosed with solid panels which do not exceed 42" in vertical or horizontal dimension (total dimension each way).
5. Windbreaks (Sec. 5299) or more than 42" high must be at least 3' from the mobile home, and from all other structures.
6. The occupied area of a mobile home lot shall not exceed 75% of the lot area.
7. Upon completion of all work covered by this permit please call for inspection

*A non-combustible carport or awning may be placed on the lot line if it is 3' minimum from mobile home and structures on adjoining lots. Show mobile home and all other structures on adjoining lots if yard is less than 3'0".



County of San Diego, Planning & Development Services
FIRESTORM POLICY AND GUIDANCE DOCUMENT
BUILDING DIVISION

Answers to Commonly Asked Questions on what to do after a Wildfire?

Experiencing a destructive wildfire can be devastating. This guide was written to help San Diego County residents to recover after a wildfire, but can also be as a guide to help you plan ahead before a wildfire occurs. This guide is intended to provide useful information during this difficult time, and to start you on the road to recovery. Please keep in mind that everything reasonable will be done by the County to allow Fire Survivors to rebuild as soon as possible.

Wildfires can start from natural causes, such as lightning, but most are caused by humans, either accidentally - from cigarettes, campfires, or outdoor burning - or intentionally. They can occur at any time throughout the year, but the potential is always higher during periods with little or no rainfall, or during Santa Ana winds, which make brush, grass, and trees dry and burn more easily.

Knowing what to do in the aftermath of a wildfire can help you return to normalcy as quickly and safely as reasonably possible.

Once you know your house has been damaged or destroyed by a wildfire, you should contact your insurer as soon as possible for guidance, so an adjuster can assess the damage. Hopefully, you have your Insurance Carrier's phone number on speed-dial.

After damage from a wildfire - or any other major disaster - it's important to take detailed notes to help the insurance claim process go as smoothly, and as swiftly, as possible.

"Evidence, evidence, evidence," is the best protection according to Insurance Consultants from the Consumer Federation of America. You'll need evidence of what you had before the wildfire. Most likely, you will need to fill out some sort of list that indicates all damaged structures and personal items. This is when your "list" and pictures of belongings will come in handy.

After a home is damaged or destroyed by a wildfire, the owner should keep a journal (any notebook will do) and update it daily, noting the date and time of calls with insurers, adjusters and contractors, and a short summary of what was said. A pocket or envelope for keeping receipts is helpful, too.

Property damage caused by fire or smoke, including water or other damage caused by fire fighters while putting out a fire, is normally covered under a standard homeowner's policy. However ... even with all their goodwill, it's possible the insurance companies will not be able to make the process relatively painless. If their estimates fall short of predicting the magnitude of the wildfire, they might not be able to pay fully. The sheer scope of the fires can often not have been predicted.

You should keep any damaged items until the adjuster visits and a claim has been filed. Be aware of claim limits, which vary by company.

DO NOT START ANY CLEAN UP UNTIL YOU HAVE BEEN CLEARED BY THE COUNTY DAMAGE ASSESSMENT TEAM AND RECEIVED APPROVAL FROM YOUR INSURANCE CARRIER AND THE FIRE AUTHORITY.

Document the damage with photographs and/or video and create a journal to ensure a smooth insurance claim.

- Most standard homeowner's policies cover fire damage and destruction, even from wildfires, and will pay to rebuild or repair your home, including other structures on your property. There's generally no worry, but the sheer scope of the wildfire disaster, will probably mean that insurers and adjusters, who visit properties to assess how much the insurer will pay, will be stretched thin.
- In reality, insurance policies are written by teams of lawyers, and it can be rough for homeowners after a wildfire.
- Your homeowner's, renters or standalone dwelling policy also covers any belongings lost or damaged in the wildfire, including theft or vandalism in the wake of the fire.
- If you can't live in your home because of the damage, your homeowner's, renters or dwelling policy may reimburse you for additional living expenses such as hotel rooms, restaurant meals and clothing expenses while your home is repaired or rebuilt.
- Evacuation costs are typically not covered as additional living expenses -- even if the evacuation is mandatory.
- And while it may be painful, take photos of your property, even if it is a total loss. You definitely need to take pictures, no matter what.
- Normally, your vehicle is covered under the comprehensive portion of your auto insurance policy if you elected to have it. The comprehensive policy protects your car against fire damage and vandalism, as well as such perils like falling trees.
- **Make sure your property was checked by a County damage assessment team member and Insurance Carrier and Fire Authority before you do anything.**
- **Be aware of and use extreme caution** around trees, power poles and other tall objects that may have lost stability during the fire. Most burned structures and surfaces will be unstable. Stay out of burned forests in windstorms as burned trees are easily downed by wind. **Do not touch any power lines.**

List of Q & A's

A. AFTER A WILDFIRE!

1. Important phone numbers!

- *The County has established a hotline number for non-emergency questions. The hotline number is **211**.*
- *For building questions for fire-damaged properties in the unincorporated area of the County, please call (888) 336-7553. For zoning questions for fire-damaged properties in the unincorporated area of the County, please call (888) 267-8770.*
- *For information on septic systems requirements, please contact the Department of Environmental Health offices at (858) 565-5173.*
- *For information on stormwater, please contact the Department of Public Works at (888) 846-0800.*
- *For removal of burnt vehicles, please call (858) 694-2705.*
- *If someone is planning to rebuild, they may also want to read the PDS form titled "How to Obtain a Building Permit" and "Helpful Hints Before You Start Drawing Plans." Both documents can be found on our website at www.sdcpds.org.*



2. **When will I know if my SFD has burned down?**

The County damage assessment team or fire authority will notify property owners (if we have the appropriate contact info) if your residence burned down.

3. **I was evacuated, what shall I do?**

If you were evacuated and are unable to live in your home, please contact your insurance carrier to find out what options are available to you and whether any of your costs will be covered.

4. **I was evacuated and I would like to know when I can return to my property?**

Stay away from your home or business until County and/or fire officials tell you it is safe to return. Cal Fire will notify the residents. If you were evacuated, you might be keen to return home to assess the damage to your property. But the [dangers of a wildfire](#) may not be over even after authorities have given the all-clear to return to an area. After a wildfire, you may face structural damage to your home, weakened trees, and unstable roads, all of which can lead to further property damage and even injuries.

5. **I just received confirmation that my house was burned down. Where do I start for my recovery process?**

The County of San Diego Recovery Team opens Local Assistance Centers at nearby location(s) after wildfires. The centers will be open daily from 9 am to 6 pm (if necessary) and will have several resources, including Insurance providers, Dept. of Animal Services, Planning and Development Services, Office of Housing and Community Development and several other departments and agencies, that will be available to the public there to assist in the recovery process.

6. **My house has been tagged with a color-coded sign, what does that mean?**

A building inspector may have determined that the house is unsafe. Therefore, if your house has been tagged with a color-coded sign, do not enter it until you get more information, advice and instructions about what the sign means and whether it is safe to enter your home.

7. Who is doing the Clearing of my property?

Clearing is the responsibility of the property owner. **The County of San Diego does not provide clearing services after a wildfire.** Take precautions during clean-up following a fire. Hazardous materials as well as structural damage pose serious threats to your health and safety. It is strongly advised you take some basic safety measures when inspecting and cleaning up your home and property. Ash, soot, dust, and other airborne particles may have been deposited inside and outside of homes and businesses. While ash from wildfires is relatively non-toxic and similar to ash that may be found in a home fireplace, it may be irritating to the skin, nose and throat.

8. How are local authorities verifying identification of the property owners entering the vacated properties, to ensure only the residents have access to the properties?

The Sheriff's department will have their Sheriff's out there verifying appropriate identification and will be patrolling the areas affected by the wildfire.

9. When will I be notified of the opening of the road closures?

Damage assessment teams evaluate and determine when a road closure will be lifted.

10. Where can I drop off donations?

A financial contribution to a recognized disaster relief organization is the most effective donation to make. When people support voluntary organizations with financial contributions, it helps ensure the right goods get to the right people at the right time following a disaster. For monetary donations, please see our list of community partners which can be found at [sdvoad.org](https://www.nvoad.org/voad-members/national-members/) or <https://www.nvoad.org/voad-members/national-members/>.

11. I have a vacant house available I would like to offer to the Fire Survivors. Who should I contact?

Please contact The Office of Housing and Community Development Services at (858) 694-4801.

12. Will I be reimbursed for the loss of the food damaged during the power outage?

We will have a Local Assistance Center open to the public who will have resources such as Health & Human Services available, to see if you qualify for food stamps, CAL Fresh/ Snap resources available to you. You may also contact SDG&E at 1800-422-7343, for power outage updates.

13. When will SDGE turn the power back on?

If your home was damaged or destroyed, please check with your local utilities company. Please contact SDG&E at 1800-422-7343 or visit their website at <https://www.sdge.com/safety/outages/outage-map>, for power outage updates.

14. Is the water safe for consumption?

Do not drink or use water from the faucet until emergency officials say it is okay; water supply systems can be damaged during wildfires or flooding. Visit the [DEH Website \(provide link\)](#) for more information, or call 858-694-3113 Monday - Friday, 8-5, for more information Or, contact the SD County Water Authority at 760-480-1991.

15. Who do I call for deceased animal disposal?

Please call County Animal Services at 619-236-2341 for lost pets or animal disposal.

B. REBUILDING

1. Is a Demolition Permit required to remove a building that was damaged or destroyed by the fire?

No. The County will waive the requirement for a demolition permit. However, do not start any cleanup in the unincorporated area of the county until a County Damage Assessment Team has cleared you. Also, check with your insurance company or you could jeopardize your insurance claims. The Damage Assessment Team will post a green card notifying you that the assessment has been done. DO NOT REMOVE THIS CARD. For your safety, please check with SDG&E to be sure all utilities have been properly shut off before beginning demolition and clean up.

2. When a home is rebuilt, must it be built in compliance with current building codes?

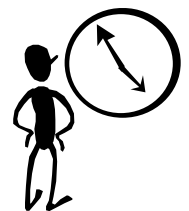
Yes, the buildings must be constructed according to current codes in effect at the time the permit is issued for the reconstruction.

3. Can someone live in a trailer on their property while they are rebuilding a home that was destroyed by fire?

Yes, provided the County has issued a building permit to rebuild your home, you may be issued a Temporary Occupancy Permit (TOP). The County will not charge a fee for this permit when your home has been destroyed by the firestorm.

4. When will the Temporary Occupancy Permits expire?

Temporary Occupancy Permits that are issued to Fire Survivors are valid during construction of your home, so long as building permits for the reconstruction of the single-family dwelling are maintained and kept current throughout construction.



5. How long do I have to rebuild my permanent residence?

There is no timeline on when you have to rebuild. However, once issued, building permits are valid for three years, so long as progress is being made on construction and regular inspections (one every six months, minimum) are being scheduled and conducted by a County of San Diego building inspector.

6. How is the County determining the amount of square footage that was on my property?

When determining square footage, County staff will refer to building permit history records and Damage Assessment Team information. However, the County will consider the square footages in other formal documents, such as insurance papers or old building plans on a case-by-case basis.

7. Can a house be rebuilt on a fire-damaged foundation?



Applicants who wish to use the existing foundation systems must have a “suitability analysis” of the existing foundation performed by a registered civil or structural engineer. This analysis shall state that the engineer has visited the site and investigated the condition of the existing building elements. It shall also state that the remaining foundation is suitable for

the support of the new structure, and that all under-slab utility systems (such as drain, waste, vent, water, mechanical, electrical, etc.) are suitable for continued use. Electrical conduits may remain but all under-slab electrical conductors must be replaced.

Applicants who choose to demolish the slab/foundation system will need to provide a compaction report to address re-compaction of the lot after slab removal if soil was disturbed to a depth greater than 12 inches. A licensed geotechnical or civil engineer must prepare the compaction report.

8. Once I have prepared plans, how do I submit for a building permit?

If you are submitting plans for the first time, drive to the County Permit Center located at 5510 Overland Avenue, San Diego, CA 92123. Upon arrival, walk to the check-in counter and inform the clerk that you are a Fire Survivor, or that you represent one, and you wish to submit plans. Staff will provide guidance on how to proceed with your submittal.

9. Does the County of San Diego keep home plans on file for existing homes?

Typically, the County does not keep plans for residential buildings on file. However, the county may have plans if the dwelling passed final inspection within the last 90 days or is part of a developer-built subdivision.

C. LEGAL, ILLEGAL AND NONCONFORMING STRUCTURES/USES

1. Can I rebuild a nonconforming structure (a structure that was lawfully built, but because of changes in the zoning ordinance, is no longer permitted)?

Yes, so long as you are not expanding the nonconforming structure and you can prove that the structure existed prior to the fire. Refer to C.6 for answers on how the eligible square footage is determined. Once rebuilt, the structure will retain its “nonconforming structure” status. However, it is in the homeowner’s best interest to attempt to minimize the non-conformity by modifying the structure or its location to comply with current codes to the maximum extent practical.

2. What if a structure was legally built, but the use was converted illegally (i.e., a residential dwelling in a residential zone that was converted into commercial office space)? Will a building permit be issued to reestablish the converted business?

No. A building permit will be issued only for the legal or nonconforming structure; it does not authorize illegal use. In the example above, a building permit will be issued for a residential dwelling, but not for the illegal commercial conversion.

3. What if there were three or more houses on one parcel prior to the fire, when only two are allowed by code? Will the County issue a building permit for more than two houses?



No. The use for which a building permit is sought must be either permitted by current Zoning Ordinance requirements, or must be shown to be a "legal nonconforming" structure on the property.

- 4. Where there are numerous lots with two dwelling units on them that are now nonconforming, will building permits be issued?**

Yes, for these legal nonconforming dwellings.

D. SETBACKS/LOT LINES/EASEMENTS

- 1. In certain cases, structures cannot meet current setback requirements due to lot sizes or topography. Will the County still issue building permits?**

Yes, but the structures must meet setbacks to the greatest extent practical.

- 2. Will the County require evidence of a legal lot prior to issuance of a new building permit?**

Yes. Be aware that one legal lot may have several Assessor Parcel Numbers (APNs), and that APNs do not establish legal lot status. Therefore, the legal lot lines must be established prior to issuance of building permits.

- 3. Is a Certificate of Compliance (COC) required to merge two lots if the septic system for a residence is located on a separate legal parcel?**

Yes. The Certificate of Compliance must be issued prior to approval of the building permit.

- 4. Must fire clearing and access width requirements be met for all rebuilds per review of the Fire Marshal having jurisdiction?**

Yes.

- 5. Can I rebuild a structure within a public or private road easement?**

No. All structures must be located outside of all road right-of-ways, regardless whether the structure was located within the easement prior to the fire.

- 7. Will building permits be issued for structures in a Floodway or Floodplain?**

Regarding Floodways (that area necessary to pass to 100-year no. This is a health and safety issue and all structures must be outside of the floodway. Regarding Floodplains (that area located on side of the floodway that is subject to inundation by the 100-year Yes. Habitable structures in the floodplain must conform to the flood control ordinance and have a building pad elevated above the 100-year flood level.



flood), located either flood),

E. OWNERSHIP TRANSFER (FIRE SURVIVORS WHO DECIDE TO SELL THEIR PROPERTY BEFORE REBUILDING)

1. Is the new owner required to meet all zoning requirements, including setbacks?

Yes.

2. Is the new owner eligible for fee waiving?

No.

F. SEPTIC ISSUES

1. If my home is on a septic system, may I use the existing septic system?

Yes, the County will waive fees for fire rebuilds, located on the same foundation, and with the same number of bedrooms as the destroyed structure. If the new building will be located significantly outside the original foundation footprint and/or with additional bedrooms or plumbing the DEH will need to review the project and DEH fees may apply

Refer to the DEH Guideline for permit processing with fire-damaged homes.

2. If my home is on a well, do I need to have the well tested?

Testing is not required. However, if the well was opened or disturbed in any way DEH strongly suggests that owners of buildings served by individual water wells have the well tested for potability prior to re-occupancy of the permanent dwelling.

G. CLEARING REQUIREMENTS

1. What clearing is allowed by the County for fire prevention purposes around existing buildings?



The County allows 100 feet of clearing around existing dwelling units. The cleared area should be landscaped with fire resistant plants. Any additional clearing for fire prevention, control or suppression purposes can be done when authorized or required in writing by a fire prevention or suppression agency. See link for additional information:

<https://www.sandiegocounty.gov/sdcfa/>

2. Are any permits required to clear up to 100 feet away from an existing residence?

No. Clearing for fire protection purposes can be done within 100 feet of existing dwelling units without a permit. This does not authorize off-site clearing, although clearing in cooperation with your neighbors is encouraged.

3. If a building permit has been issued for a proposed building, is an additional clearing permit required to clear?

No. Clearing and grading, which are exempt from a grading permit (if less than 200 cubic yards and cut, and fill less than 8 feet), DO NOT require an additional County clearing permit provided they are incidental to the repair, alteration, or construction of a proposed structure with an approved building permit. The building permit authorizes the construction to begin and that includes clearing the building site. However, property owners must use caution regarding what is cleared and how the clearing is done. All disturbed earth will be required to have erosion control measures installed in accordance with County stormwater pollution prevention standards.

4. Who is responsible for clearing the brush from around buildings?

The property owner.

5. Who enforces the regulations regarding clearance of brush from around buildings?

The Fire Agencies enforce weed abatement programs that require clearing of flammable vegetation from around buildings. The County's Weed Abatement Ordinance applies to unincorporated areas that are not within by a fire protection district.

H. OTHER CODES/ORDINANCES

1. Do new building permits for structures have to meet fire code and septic system requirements?

Yes.

2. Is a grading permit exempt from environmental review?

Not automatically. Since grading permits are not ministerial, they do not enjoy that exemption from CEQA. Another exemption may apply, but this needs to be evaluated case-by-case. Also, for related requirements, call the ENVIRONMENTAL HOTLINE at 858-694-3825.



I. HELPFUL HINTS BEFORE YOU START DRAWING PLANS

In order to expedite the review of your building application, the Building Division recommends that some initial research and data collection be conducted prior to preparing your building plans. Issues such as legality of prior use, legal lot status, proximity to floodplain, and damage assessment information can significantly impact the design and location of your new home. In order to help you identify this needed information, the Building Division has identified some basic fact finding steps, which are outlined below.

Step 1 – Check the County Assessor's Office Records

Obtain a copy of the Building History Record from the County Assessor's Office. If there were improvements on your parcel that were being taxed, they should be reflected on this document (e.g. building footprint, square footage, number of buildings, etc.). This information will assist our staff to determine what portion of your rebuild is subject to waiver of building permit fees, what additional square footage may need to meet current zoning and septic requirements, and confirm what structures existed on your parcel prior to the fire. In order to obtain this information, you must have the Assessor Parcel Number (APN), owner name, signature of owner, address and phone number. Please call the office listed below to confirm that the Assessor's Office has your records on file.

Downtown Assessor's Office
1600 Pacific Highway, Suite
260
San Diego, CA 92101
Phone: (619) 237-0502

San Marcos Assessor's
Office
141 East Carmel Street
San Marcos, CA 92078
Phone: (760) 940-6868

El Cajon Assessor's Office
200 S. Magnolia Avenue
El Cajon, CA 92020
Phone: (619) 401-5700

Please do not be alarmed if the Building History Record does not identify all of the structures that were on your parcel. Also, please do not assume any square footage is legal until staff completes their review of the property as identified in the steps below.

Step 2 – Check your Personal Records

If you have any records related to building permits or septic systems, please combine those records with the Building History Record. This information will further assist staff in identifying what structures existed prior to the fire.

Step 3 – Reconstruction Record

Bring the information gathered in Steps 1 and 2 to the County Permit Center. Identify yourself as a Fire Survivor, or as assisting a Fire Survivor. Staff will assist you through the next steps.

County Permit Center
5510 Overland Ave. Ste. 110
San Diego, CA 92123
(888) 336-7553

Step 4 – Check with Department of Environmental Health

After you conclude your meeting with Planning & Development Services, bring the information gathered in Steps 1 through 3 and visit the Department of Environmental Health (DEH) counter, which is also located in the County Permit Center. Ask the DEH counter staff if they have any septic information such as a layout approval or septic permit on file. Share with them your plans for rebuilding so they can identify any major issues prior to you drawing official building plans.

Please review the DEH "Permit Processing for Fire-Damaged Homes" guideline because a site visit by DEH staff to your property may be necessary. Additionally, DEH may require that you expose the septic tank and verify the following: 1) the relationship of the tank to the proposed new structure(s); 2) location of the disposal portion of the septic system and reserve area; and, 3) lot topography. Should you have any questions, please contact the DEH office located at:

County Permit Center
5510 Overland Ave. Ste. 110
San Diego, CA 92123
Phone: (858) 565-5173

Please keep in mind that if your septic system is undersized, impacted by seasonal high groundwater, and/or does not have 100% reserve area available, DEH may not be able to approve building plan designs that increase the potential occupancy of the building or increase the size of the building footprint.

Step 5 – Show a Draft Plot Plan to a PDS Planner

Prepare a Plot Plan (as shown on [form PDS 090](#)). Bring all the documents collected in steps 1 through 4 and go to the County Permit Center. Please sign in to see a Planner, who will review your proposal and give you a preliminary zoning approval or other advice related to the zoning ordinance for your rebuild. Upon initial approval, the Planner will sign and date your plot plan.

Step 6 - Show a Draft Plot Plan to a DEH Counter Technician

After you conclude your meeting with the Planner, take the information to the DEH counter at the County Permit Center. Similar to the process in Step 5, the DEH counter staff will review your proposal and give you pending approval or other advice related to septic/sewer requirements.

Step 7 – Submit Building Plans

After our planner and DEH have given initial approval, please prepare your full sets of building plans and submit them (including the signed and dated plot plan) for plan check at the Building Division. Please call ahead if you have any questions about submittals and staff will direct you.

County Permit Center
5510 Overland Ave. Ste. 110
San Diego, CA 92123
(888) 336-7553

Where can the public find out more information about fire prevention? *Planning & Development Services has informational brochures on fire-resistive landscaping, creating defensible space, building a fire-resistive home, and installing water storage tanks. Much of this information can be found on the [PDS website](#), in [A-Z Services](#), under **W**.*

How does the Assessor's Office determine the amount of property taxes to be refunded if my house was partially destroyed by a fire?

The appraiser determines the market value of the house before and after the damage. The percentage of the loss is then applied to the assessed value of the house and a refund is issued. The land value will remain unchanged.

Once I file my application, what is the process?

After the application is processed by the Assessor's Office, a notice of proposed new assessment will be sent to the taxpayer. A separate supplemental refund will be made based on the amount of reduction. The refund will be prorated from the date of destruction to the end of the fiscal year. You must still pay your regular tax bill.

What if I disagree with the value as determined by the Assessor's Office?

If you disagree with the value established by the Assessor's Office, you must file an appeal within six months from the date on the notification of proposed values. A hearing will be scheduled by the Assessment Appeals Board.

How can I qualify for this property tax relief?

In order to qualify for this property tax relief, you must file a claim form with the Assessor's Office.

Where do I get the necessary claim form?

You may obtain an application by calling the Assessor's Office at (858) 505-6262, by downloading the application from our Web site at www.sdarcc.com, by visiting any of our office locations, or by writing to us at:

Ernest J. Dronenburg, Jr.
Assessor/Recorder/County Clerk
1600 Pacific Highway, Suite 103
San Diego, CA 92101

July 2011



Ernest J. Dronenburg
Assessor / Recorder / County Clerk
County of San Diego

**REASSESSMENT OF
PROPERTY DAMAGED BY
MISFORTUNE OR CALAMITY**



INFORMATION
1600 Pacific Highway, Suite 109
San Diego, CA 92101
(858) 505-6262

Branch Office Locations to Serve You:

CHULA VISTA
590 Third Avenue
Chula Vista, CA 91910
(619) 498-2200

EL CAJON
200 S. Magnolia Avenue
El Cajon, CA 92020
(619) 401-5700

KEARNY MESA
9225 Clairemont Mesa Blvd.
San Diego, CA 92123
(858) 505-6262

SAN MARCOS
141 E. Carmel Street
San Marcos, CA 92078
(760) 940-6868

OFFICE HOURS
8:00 a.m. to 5:00 p.m.
Monday through Friday
(All Locations)

www.sdarcc.com

Section 170 of the Revenue and Taxation Code of the State of California allows the Assessor's Office to temporarily reduce the assessed value of a property that was damaged or destroyed by misfortune or calamity and through no fault of the property owner.

What type of property tax relief is available?

The current property taxes will be reduced for that portion of the property damaged or destroyed. This reduction will be from the date of the damage, and will remain in effect until the property is rebuilt or repaired.

After my property is rebuilt or repaired following the damage, will my property taxes be increased over what they were before?

No. Property owners will retain their previous taxable value if the house is rebuilt in a like or similar manner, regardless of the actual cost of construction. However, any new square footage or extras, such as additional baths, will be added to the base-year value at its full market value.

What are the requirements to qualify for this tax relief?

In order to qualify, the damage must be in excess of \$10,000 in value, and a claim must be filed with the Assessor's Office within 12 months from the date the damage occurred.

If my manufactured home is severely damaged by fire, do I qualify for this tax relief?

Yes. You qualify for this property tax relief if your manufactured home was assessed for property taxes and is not on State license fees.

If my furniture was destroyed, can my property taxes be reduced?

No. Household furnishings are not assessed for property taxes and, therefore, do not qualify for property tax relief.

Do boats and airplanes qualify for this property tax relief if they were damaged by a storm or fire?

Yes. Tax relief is available for all taxable property, including boats, aircraft, and business personal property.

Do I qualify for property tax relief if a storm damaged my avocado or citrus grove?

Yes. Tax relief is available if the damage to your grove exceeds \$10,000. The fruit, however, is not assessed for property tax purposes and, therefore, is not available for property tax relief.

I have an avocado grove and, due to the fruit fly infestation, my entire crop was lost. Can I qualify for a calamity reduction?

Although the Assessor's Office values the trees and irrigation system for property tax purposes, the actual fruit is not assessed. Therefore, there can be no reduction in property taxes.

My house has a cracked slab. Does this qualify as a calamity?

No. Although any construction defect will adversely affect the value of the property, it does not qualify for relief under this program. A court decision has determined that since the damage occurred over time and not as a sudden event, an exact date cannot be established. Therefore, there can be no reduction under this provision.

APPLICATION # _____

**ERNEST J. DRONENBURG, JR.
SAN DIEGO COUNTY ASSESSOR
1600 PACIFIC HIGHWAY, SUITE 103
SAN DIEGO, CALIFORNIA 92101
TELEPHONE: (858) 505-6262**

APPLICATION FOR REASSESSMENT OF PROPERTY DAMAGED BY MISFORTUNE OR CALAMITY

California law (Revenue & Taxation Code Section 170) provides property tax relief for taxpayers whose property was damaged or destroyed as a result of a misfortune or calamity. This property tax relief is available to owners of real property, business equipment and fixtures, and to owners of boats and aircraft. Damage to personal property such as furniture or to growing crops is not eligible since it is not assessed for property tax purposes. This program requires reassessment of the property to reflect its damaged condition, and the subsequent reduction or partial refund of the current year's taxes. After the property is fully repaired, owners will retain their previous taxable value if the property is rebuilt in a like or similar manner. Property suffering a gradual deterioration over a long period of time does not qualify. Eligibility requirements for this program are shown below:

1. The damage must be equal to or greater than \$10,000 (Market Value).
2. Caused by a sudden misfortune or calamity and not the fault of the property owner.
3. The application must be submitted to the Assessor's Office **within 12 months** from the date the damage occurred.

NAME(S) ON TITLE EXACTLY AS THEY APPEAR ON DEED OR ATTACH A COPY OF THE DEED _____

MAILING ADDRESS (STREET NUMBER, STREET NAME, CITY, ZIP) _____

PROPERTY ADDRESS (STREET NUMBER, STREET NAME, CITY, ZIP) _____

ASSESSOR'S PARCEL NUMBER OR BILL NUMBER _____

DATE DAMAGE OCCURRED (MONTH/DAY/YEAR) _____

LIST ITEMS DAMAGED (HOUSE, GARAGE, BUSINESS EQUIP., ETC.)	DESCRIBE EXTENT OF DAMAGE LOSS (FULL/PARTIAL) (CAUSE OF DAMAGE SUCH AS FIRE, FLOOD, WIND ETC.)	MARKET VALUE (Use insurance estimates or contract cost)		
		VALUE PRIOR TO DAMAGE	VALUE AFTER DAMAGE	DAMAGE OR LOSS
		(Col. # 1)	(Col. # 2)	(#1 less #2)
		\$	\$	\$

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

SIGNATURE _____

HOME PHONE _____

WORK PHONE _____

DATE _____



County of San Diego, Planning & Development Services

AGENCY CONTACT LIST

BUILDING DIVISION

WATER DISTRICTS

Water District and Address	Telephone and Website
Borrego Water District P.O. Box 1870 Borrego Springs, CA 92004	(760) 767-5806 www.borregowd.org
Canebrake County Water District 140 Smoke Tree Ln. Julian, CA 92036	(760) 765-0622
City of Escondido Utilities – Water 201 North Broadway Escondido, CA 92025	(760) 839-4681 http://www.ci.escondido.ca.us/depts/ut/index.html
Cuyamaca Water District P.O. Box 609 Julian, CA 92036	(760) 765-1202
Descanso Community Water District P.O. Box 610 Descanso, CA 91916	(888) 422-5260 www.amwater.com
Fallbrook Public Utility District 990 East Mission Rd. Fallbrook, CA 92028	(760) 728-1125 www.fpud.com
Helix Water District 7811 University Ave. La Mesa, CA 91941	(619) 466-0585 www.hwd.com
Jacumba Community Services District 1266 Railroad St. Jacumba, CA 91934	(619) 766-4359
Julian Community Services District 2656 Farmer Rd. Julian, CA 92036	(760) 765-0483 http://juliancsd.org
Lakeside Water District 10375 Vine St. Lakeside, CA 92040	(619) 443-3805 www.lakesidewaterdistrict.com
Majestic Pines Community Services District 1405 Banner Rd. Julian, CA 92036	(760) 765-0532
Mootamai Municipal Water District P.O. Box 812 Pauma Valley, CA 92061	(760) 742-3704
Olivenhain Municipal Water District 1966 Olivenhain Rd. Encinitas, CA 92024	(760) 753-6466 www.olivenhain.com
Otay Water District 2554 Sweetwater Springs Blvd. Spring Valley, CA 91978	(619) 670-2222 www.otaywater.gov
Padre Dam Municipal Water District 9300 Fanita Pkwy. Santee, CA 92072	(619) 448-3111 www.padredam.org
Pauma Municipal Water District P.O. Box 706 Pauma Valley, CA 92061	(760) 742-1520

Water District and Address	Telephone and Website
Pine Valley Mutual Water Company 28789 Old Highway 80 Pine Valley, CA 91962	(619) 473-8450 www.pinevalleywater.org
Questhaven Municipal Water District 20560 Questhaven Rd. Escondido, CA 92029	(760) 744-1500
Rainbow Municipal Water District 3707 Old Highway 395 Fallbrook, CA 92028	(760) 728-1178 www.rainbowmwd.com
Ramona Municipal Water District 105 Earlham St. Ramona, CA 92065	(760) 789-1330 www.rmwd.org
Rincon del Diablo Municipal Water District 1920 North Iris Ln. Escondido, CA 92026	(760) 745-5522 www.rinconwater.org
San Diego County Water Authority 4677 Overland Ave. San Diego, CA 92123	(858) 522-6600 www.sdcwa.org
San Dieguito Water District 160 Calle Magdalena Encinitas, CA 92024	(760) 753-1145 www.ci.encinitas.ca.us/Government/CityD/SanDWD/
San Luis Rey Municipal Water District 5328 Highway 76 Bonsall, CA 92003	(714) 730-7083 www.sanluisreymwd.org
Santa Fe Irrigation District 5920 Linea Del Cielo Rancho Santa Fe, CA 92067	(858) 756-2424 www.sfidwater.org
Sweetwater Authority (South Bay Irrigation) 505 Garrett Ave. Chula Vista, CA 91910	(619) 420-1413 www.sweetwater.org
Vallecitos Water District 201 Vallecitos de Oro San Marcos, CA 92069	(760) 744-0460 www.vwd.org
Valley Center Municipal Water District 29300 Valley Center Valley Center, CA 92082	(760) 749-1600 www.vcmwd.org
Vista Irrigation District 1391 Engineer St. Vista, CA 92083	(760) 597-3100 www.vid-h2o.org
Wynola Water District P.O. Box 193 Santa Ysabel, CA 92070	(760) 765-4872 http://water.wynolaestates.com
Yuima Municipal Water District P.O. Box 177 Pauma Valley, CA 92061	(760) 742-3704 www.yuimamwd.com

SEWER SERVICES

Water District and Address	Telephone and Website
Borrego Water District P.O. Box 1870 Borrego Springs, CA 92004	(760) 767-5806 www.borregowd.org
City of Vista (Including Buena Sanitation District and Shadowridge) 200 Civic Center Dr. Vista, CA 92084	(760) 726-1340, x1372 www.cityofvista.com
Fallbrook Public Utility District 990 East Mission Rd. Fallbrook, CA 92028	(760) 728-1125 www.fpud.com
Leucadia Wastewater District 1960 La Costa Ave. Carlsbad, CA 92009	(760) 753-0155 www.lcwwd.org
Olivenhain Municipal Water District (Including 4S Ranch and Rancho Cielo) 1966 Olivenhain Rd. Encinitas, CA 92024	(760) 753-6466 www.olivenhain.com
Otay Water District 2554 Sweetwater Springs Blvd. Spring Valley, CA 91978	(619) 670-2222 www.otaywater.gov
Padre Dam Municipal Water District 9300 Fanita Pkwy. Santee, CA 92072	(619) 258-4635 www.padredam.org
Pauma Valley Community Services District 33129 Cole Grade Rd. Pauma Valley, CA 92061	(760) 742-1909 www.yuimamwd.com
Rainbow Municipal Water District 3707 Old Highway 395 Fallbrook, CA 92028	(760) 728-1178 www.rainbowmwd.com
Ramona Municipal Water District 105 Earlham St. Ramona, CA 92065	(760) 789-1330 www.rmwd.org
Vallecitos Water District 201 Vallecitos de Oro San Marcos, CA 92069	(760) 744-0460 www.vwd.org
Valley Center Municipal Water District 29300 Valley Center Valley Center, CA 92082	(760) 749-1600 www.vcmwd.org
County Sanitation Districts Alpine Julian Lakeside Pine Valley Spring Valley Winter Gardens	(858) 514-4990
Private Sewer Districts (Dudek & Associates) Fairbanks Ranch Rancho Santa Fe CSD Whispering Palms	(760) 942-5147 www.dudek.com

SEPTIC INFORMATION

County of San Diego Department of Environmental Health
http://www.sdcountry.ca.gov/deh/water/lu_septic_systems.html

Kearny Mesa (858) 565-5173
San Marcos (760) 471-0730

FIRE AGENCY

For information on the fire authority for your parcel, please see the San Diego County Fire Authority's web site at <http://www.sandiegocounty.gov/content/sdc/sdcfa/prevention/development-services.html>. A contact list is provided in the Fire Plan Check Forms section.

SCHOOL DISTRICTS

Note: Most school districts do not accept personal checks; contact the district office for information.

School District and Address	Telephone and Website	Comments
Alpine Union 1323 Administration Way Alpine, CA 91901	(619) 445-3236 www.alpineschools.net	
Bonsall Union 31505 Old River Rd. Bonsall, CA 92003	(760) 631-5200 www.bonsallusd.com	
Borrego Springs Unified 1315 Palm Canyon Dr. Borrego Springs, CA 92004	(760) 767-5359 www.icoe.k12.ca.us/ICOE/Schools/Borrego	
Cajon Valley Union 750 E. Main St. El Cajon, CA 92020	(619) 588-3000 www.cajonvalley.net	Closed between 12 p.m. and 1 p.m.
Chula Vista Elementary 84 East "J" St. Chula Vista, CA 91910	(619) 425-9600 www.cvesd.org	
Del Mar Union 225 9th Street Del Mar, CA 92014	(858) 755-9301 www.dmusd.org	
Dehesa 4612 Dehesa Rd. El Cajon, CA 92019	(619) 444-2161 www.sdcoe.k12.ca.us/districts/dehesa	
Encinitas Union 101 S. Rancho Santa Fe Rd. Encinitas, CA 92024	(760) 944-4300, x1166 www.eusd.k12.ca.us	
Escondido Union Elementary 2310 Aldergrove Ave. Escondido, CA 92029	(760) 432-2400 www.eusd4kids.org	Collects fees for Escondido Union High
Escondido Union High 302 N. Midway Dr. Escondido, CA 92025	(760) 291-3200 www.euhdsd.k12.ca.us	Fees collected by Escondido Union Elementary, San Pasqual Union or Valley Center Union/Pauma
Fallbrook Union Elementary 321 N. Iowa St. Fallbrook, CA 92028	(760) 731-5400 www.fuesd.k12.ca.us	
Fallbrook Union High 2234 S Stagecoach Ln. Fallbrook, CA 92028	(760) 723-6332 www.fuhdsd.net	Collects fees for Bonsall Union and Vallecitos
Grossmont Union High 1100 Murray Dr. El Cajon, CA 92020	(619) 644-8000 http://portal.guhdsd.net	
Jamul-Dulzura Union 14581 Lyons Valley Rd. Jamul, CA 91935	(619) 669-7700 www.jdusd.k12.ca.us	Closed between 12 p.m. and 1 p.m.
Julian Union 1704 Cape Horn Julian, CA 92036	(760) 765-0661 www.sdcoe.k12.ca.us/districts/julianel	
Julian Union High 1656 Highway 78 Julian, CA 92036	(760) 765-0606 http://julian.ca.schoolwebpages.com	
La Mesa/Spring Valley 4750 Date Ave. La Mesa, CA 91941	(619) 668-5700 www.lmsvdsd.k12.ca.us	
Lakeside Union 12335 Woodside Ave. Lakeside, CA 92040	(619) 390-2600 www.lusd.lsusd.net	

School District and Address	Telephone and Website	Comments
Mt. Empire Unified 3291 Buckman Springs Rd. Pine Valley, CA 91962	(619) 473-9022 www.meusd.k12.ca.us	
National City 1500 "N" Ave. National City, CA 91950	(619) 474-6791, x208 http://nsd.us	
Oceanside Unified 2111 Mission Ave. Oceanside, CA 92054	(760) 757-2560, x281 www.osite.k12.ca.us	
Poway Unified 13626 Twin Peaks Rd. Poway, CA 92064	(858) 679-2570 www.powayusd.com	
Ramona Unified 720 Ninth St. Ramona, CA 92065	(760) 787-2031 www.ramonausd.net/ramonausd/site/default.asp	
Rancho Santa Fe P. O. Box 809 Rancho Santa Fe, CA 92067	(760) 753-6491 http://rsfschool.net/	Fees collected by San Dieguito Union High
San Diego Unified 4100 Normal St., Annex 2 San Diego, CA 92103	(858) 637-3687 www.sandi.net	
San Dieguito Union High 684 Requeza Drive, Encinitas, CA 92024	(760) 753-6491 www.sduhsd.k12.ca.us	Collects fees for Rancho Santa Fe and Solana Beach
San Marcos Unified 215 Mata Way, Bldg. 5 San Marcos, CA 92069	(760) 290-2649 www.smusd.org	
San Pasqual Union 15305 Rockwood Rd. Escondido, CA 92027	(760) 745-4931 sanpasqual.schoolwires.com	Collects fees for Escondido Union High
Santee 9625 Cuyamaca St. Santee, CA 92071	(619) 258-2300 www.santeesd.net	
San Ysidro 4350 Otay Mesa Rd. San Ysidro, CA 92173	(619) 428-4476, x3003 www.sysd.k12.ca.us	
Solana Beach 309 North Rios Ave. Solana Beach, CA 92075	(858) 794-7100 www.sbsd.k12.ca.us	Fees collected by San Dieguito Union High
Spencer Valley 4414 Highway 78 Santa Ysabel, CA 92070	(760) 765-0336 www.sdcoe.k12.ca.us/districts/spencer	This district does not levy school fees at this time
Sweetwater Union High 1130 Fifth Ave. Chula Vista, CA 91911	(619) 691-5553 www.suhsd.k12.ca.us	
Vallecitos 5253 Fifth St. Rainbow, CA 92028	(760) 451-8200 www.vallecitosd.com	Fees collected by Fallbrook Union
Valley Center Union/Pauma 28751 Cole Grade Rd. Valley Center, CA 92082	(760) 749-0464 www.vcpusd.k12.ca.us	Collects fees for Escondido Union High
Vista Unified 1222 Arcadia Avenue Vista, CA 92084	(760) 726-2170, x2320 www.vusd.k12.ca.us	Accepts fees during the hours of 1:00 p.m. to 4:00 p.m.
Warner Unified P.O. Box 8, 30951 State Hwy 79 Warner Springs, CA	(760) 782-3517 www.sdcoe.k12.ca.us/districts/warner	As of May 8, 2012 fees are levied

All districts levy school fees only under Government Code Section 53080.



County of San Diego

Department of Environmental Health

Land and Water Quality Division

5500 Overland Avenue, Suite 210

San Diego, CA 92123

(858) 565-5173

Email: lwqduh.deh@sdcounty.ca.gov

www.sdcdeh.org

Emergency TOPs for Fire-Damaged Homes

For Sites Served by Onsite Wastewater Disposal Systems

The County of San Diego Planning Development Services, Building Division (PDS) will issue Emergency Temporary Occupancy Permits (ETOP) for properties with dwellings made uninhabitable by recent wildfires. Persons that qualify for this permit will be property owners of existing, legal dwellings that sustained damage. The ETOP expires 12 months after the date of issuance and cannot be issued to replace an illegal trailer or illegal dwelling. During this time, the property owner is expected to obtain a building permit from PDS to reconstruct the dwelling.

The Department of Environmental Health (DEH) will facilitate the processing of ETOPs where appropriate. These temporary trailers/mobile homes/RV units must be connected to an approved onsite wastewater disposal system, public sewer or holding tank that is maintained as described below. The following are the acceptable options for sewage disposal for travel trailers, RV's or mobile homes:

1. Leak proof connection to the existing septic tank or public sewer, assuming that neither have been damaged by the fire or fire related activities (clearing, salvage, etc.) Installation of sewage ejector pumps or pump systems to transport effluent may require additional permits and inspections by PDS/ Building Division.
2. If the temporary dwelling unit cannot readily gain access to the existing onsite wastewater disposal system or public sewer, confining the wastewater at all times to a holding tank may be permitted. Any holding tank must be dumped/pumped as needed (at an approved dump station or by a DEH-permitted Septic Pumper to prevent wastewater from discharging to the ground surface. Please note that DEH will cite the discharge of sewage effluent on the ground in accordance with San Diego County Section 68.311. Evidence of improper wastewater disposal may result in the cancellation of the ETOP by PDS.

Existing drinking water supply wells should be evaluated by a licensed contractor and serviced prior to use in the temporary unit. This is especially important in areas impacted by power outages.

Land Use Duty Specialists are available by phone at (858) 565-5173 from 8:00 a.m. to 4:00 p.m., Monday through Friday.



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Permit Processing for Fire-Damaged Homes For Sites Served by Onsite Sewage Disposal Systems

The Department of Environmental Health (DEH) will facilitate permit processing where appropriate, to help property owners rebuild homes that have been damaged or destroyed by fire. DEH may be able to sign off on the building permit application over-the counter (OTC) and waive fees, if the rebuild of the dwelling utilizes the same footprint and bedroom number as the originally approved dwelling. Proof that the damaged structure is being replaced on the existing footprint with same number of bedrooms will be verified by the County of San Diego, Planning and Development Services, Building Division (PDS). DEH will verify that the project meets the criteria for an OTC approval by consulting with PDS staff and utilizing the Accela system for property-specific information. Minor deviations will be handled on a case-by-case basis.

Affected property owners should contact DEH early in the rebuilding process, prior to building plan development or submittal to schedule a preliminary assessment. In many cases, a site visit will be required for DEH to obtain site specific information that must be evaluated prior to DEH building plan approval. DEH approval of building plans is required prior to PDS issuance of a building permit.

If the rebuild will result in a change in footprint, an increase in bedroom number, or house relocation, the proposal will be reviewed as any proposed addition or remodel for a house served by an onsite wastewater disposal system. OTC approvals for fire rebuilds *with modifications as described above* will only be considered when there is sufficient documentation demonstrating that the proposed structure will not impact the existing onsite wastewater disposal system including the required 100% reserve area or any off-site properties due to grading or setbacks. If an OTC approval cannot be granted, a field layout review with applicable fees may be required.

All fire-rebuild layout submittals will be expedited. Additionally, any property that requires relocation or modification of the onsite wastewater disposal system will be required to obtain a septic tank permit.

Homeowner's Guide for Flood, Debris, and Erosion Control after Fires



The assistance of the following agencies and publications in preparing this guide is gratefully acknowledged:

Homeowner's Guide for Flood, Debris, and Erosion Control published by the Los Angeles County Department of Public Works

Homeowners Guide for Flood Prevention and Response published by Santa Barbara County Flood Control and Water Conservation District

Stormwater Best Management Practice Handbook for Construction Activities California
Stormwater Quality Association (CASQA), January 2003

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*This information is provided to assist residents with erosion control, but not all circumstances are alike. Home owners should consult an erosion control professional for assistance with more difficult circumstances.

After the Fire

The effects of fire can be felt long after the flames are extinguished. Rates of erosion and runoff can increase to unsafe levels when trees, shrubs, grasses and other groundcover are no longer present. Under normal circumstances, roots help to stabilize soil, while stems and leaves slow water down, giving it time to absorb or soak into the soil. These protective functions can be severely compromised or even eliminated by fires. In the aftermath of a fire, the potential for flooding, debris flows, and erosion is greatly increased. Fortunately there are many things you can do to protect your home or business from the damaging effects of a fire:

Flooding - Flooding may occur even during moderate storms as rain falls on areas where vegetation has been destroyed by fire. Remember that flood waters:

- Consist of large quantities of water, and are often very turbulent and murky due to fine sediment, ash, and soil.
- Flood waters can quickly reach depths that would pose a threat to people or automobiles.
- Inundate large areas and can damage or destroy structures in their path.

Debris Flows - Debris flows are equally dangerous, especially in hillside or mountainous areas. Remember that debris flows:

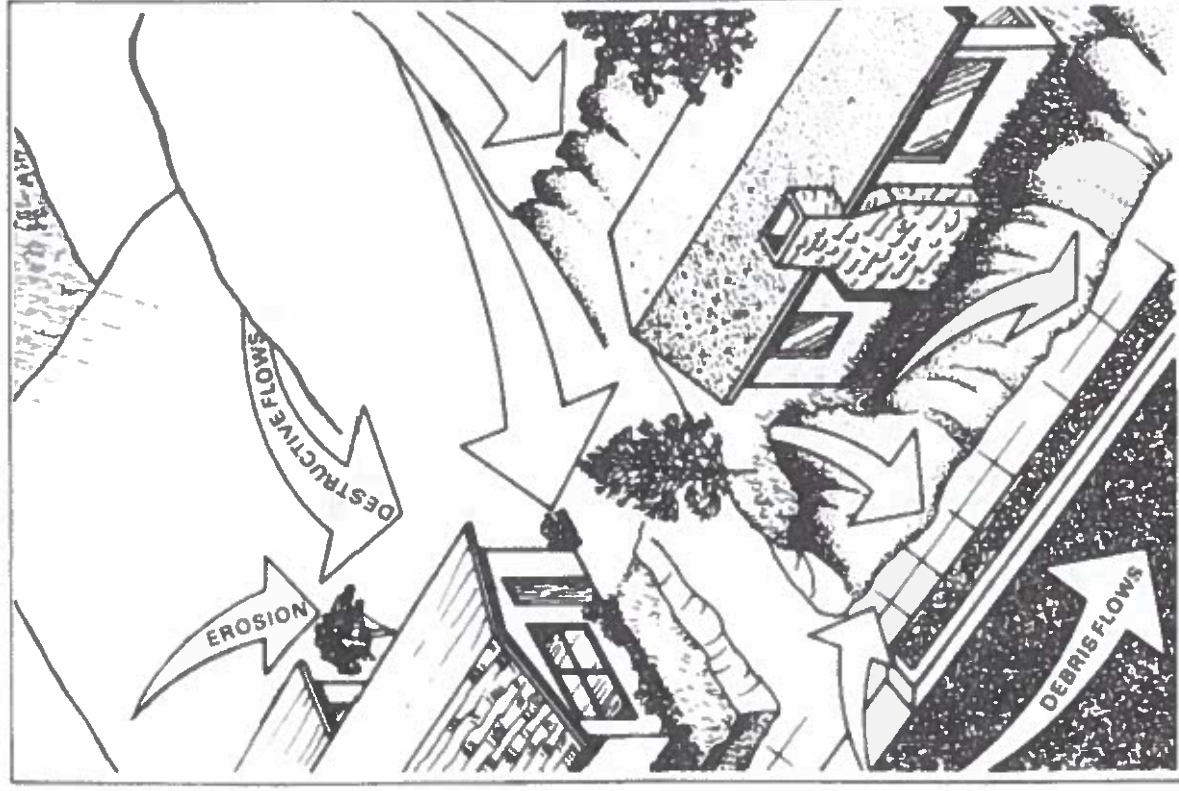
- Consist of large quantities of soil, rocks, boulders, trees, or brush moved by flood waters.
- Occur when flood waters flow over barren soils and burn areas.
- Are highly destructive and may leave large quantities of sediment and rocks in their paths.
- Contain sufficient strength to destroy objects in their path.
- Can be controlled or directed to reduce property damage.

Erosion - Erosion often results in areas where there are steep banks of scoured soil or other ground materials. Remember that erosion:

- Cannot be controlled while it is happening and is often not seen until flood waters have subsided.
- Can seriously undermine structures, often leading to major structural failures.
- Occurs most often when waters flow rapidly over loosely compacted soil or burn areas.
- Can be reduced by stabilizing slopes prior to storms.

Figure 1 provides a general illustration of the types of actions you can take to protect your property from those hazards mentioned above. The remainder of this guide provides more detailed descriptions of these and other recommended practices that you can take to protect your home and property.

An Unprotected Home



A Protected Home

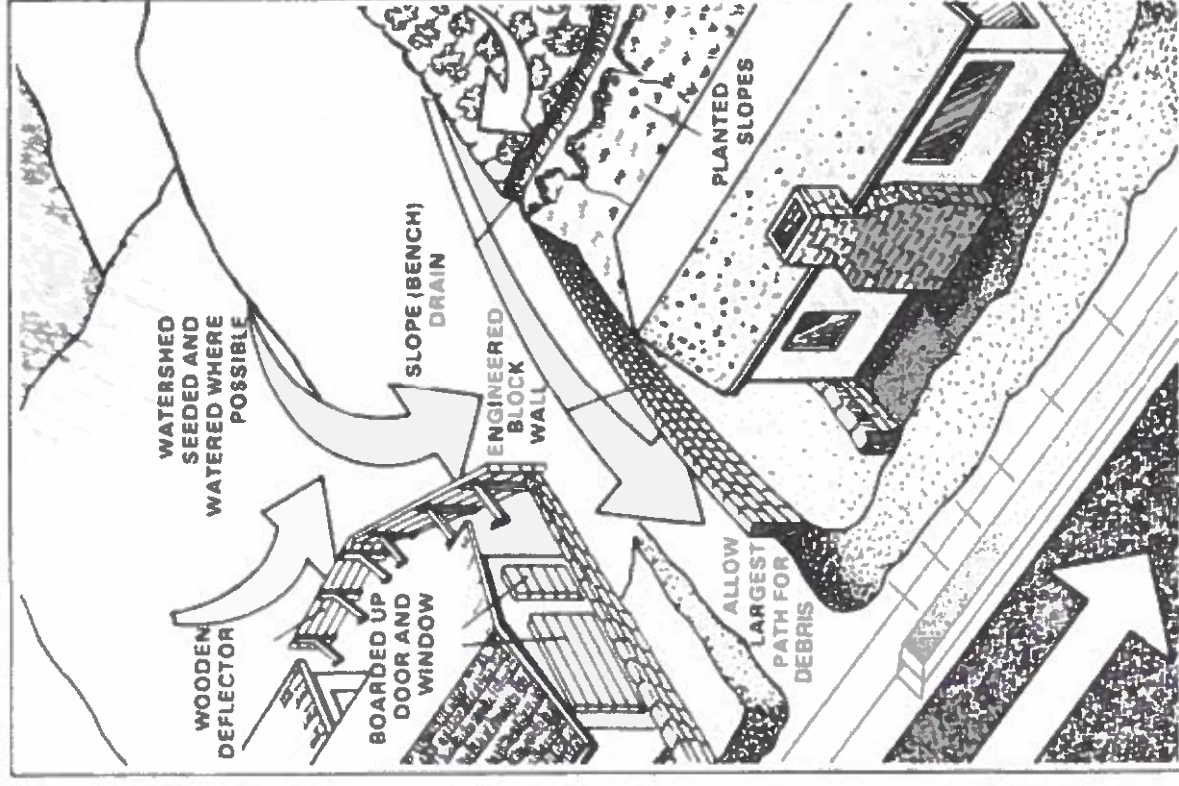


Figure 1: Examples of Unprotected vs. Protected Homes

Getting Prepared

Evaluating your Property

After a fire, it is important to thoroughly evaluate and plan for storm events in order to help protect your property. First, start by determining where water and debris are likely to flow and collect. Once you have located potential routes where water and debris may flow, plan and implement diversions in those identified flow pathways. Pay particular attention to steep, barren slopes, low spots, and high flow areas when planning for structure and property protection.

General Precautions

During a storm event, property damage can be attributed to stormwater runoff, debris (mud, rocks, branches, etc.), or both. When devising a protection strategy for your property, pay special attention to the following general rules:

- Never underestimate the power of stormwater and debris flows.
- Try to direct stormwater and debris flows away from any structures.
- Avoid altering natural or existing drainage patterns in a way that might worsen conditions for you or your neighbor. Work cooperatively with your neighbor to achieve the best results.
- Avoid trying to control or confine flows more than is absolutely necessary; remember that the water and debris flows need to go somewhere.
- Place protection devices in such a way so as to deflect debris; do not try to create a dam or stop the flows in any way; this may cause flooding.
- In extreme condition, board up windows as necessary to prevent debris from entering structures.
- Protect your most valuable property first - your home; then consider what time and money are available to protect other less valuable objects such as swimming pools, landscaping, or other minor structures.
- Be prepared to sacrifice the use of portions of your property to achieve the greatest amount of protection.
- Don't take unnecessary risks; if your debris control problems appear to warrant solutions beyond the scope of this guide, consult a competent expert such as a civil or geotechnical engineer or a landscape architect for additional advice.

Materials and Supplies

There are many effective and relatively inexpensive do-it-yourself ways to control flows. Most can be installed with normal household tools using materials available at your local lumber yard or hardware store. Materials that you may need to implement the specific methods

described in this guide typically include sandbags, gravel bags, fiber rolls, lumber, plywood, plastic sheeting, rubber seals (similar to weather stripping), and concrete blocks.

Maintenance of all erosion control devices along with the routine removal of accumulated water and debris is crucial to avoid potential flooding problems and structural damage. When not routinely maintained, erosion control devices may become ineffective. In addition, all drainage pathways should be kept clear of debris and overgrowth since blockage may cause flooding and structural failure. Typically, maintenance of hillside drains is the responsibility of the property owner.

Sandbags - Sandbags are commonly used for a variety of specific purposes to prevent property damage. Properly filled, installed, and maintained sandbags can be used very effectively to re-direct stormwater and debris flows away from property improvements. Figure 2 below provides general instructions for filling and placing sandbags. Note: sand bags should NOT be used on a slope or hillside.

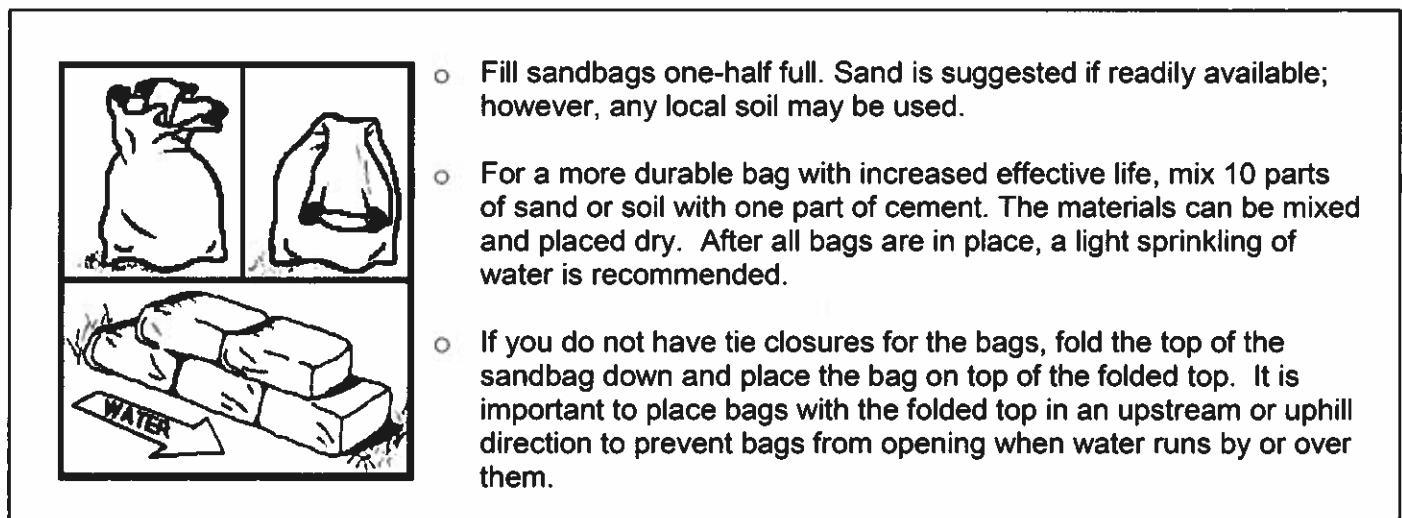


Figure 2: Instructions for Filling and Using Sandbags

To ensure their effectiveness, care should be taken to properly stack sandbags. Figure 3 illustrates a number of ways in which sandbags can be used, each showing their proper placement. When stacking sandbags, make sure that each layer is completed prior to starting the next one. Also limit placement to two layers unless a building is used as a backing or the sandbags are stacked in a pyramid fashion.

It's important to remember that there are limitations to using sandbags. They will not completely seal out water. Sand and soil filled sandbags also deteriorate when they're exposed to the sun for extended periods of time, and from the continued wetting and drying over several months; if the bags are placed too early, they may not be as effective when it rains. Finally, sandbags are generally intended for low-flow protection (up to two feet). Protection from higher flows often requires a more permanent type of structure.

Gravel bags are similar to sandbags except they are made of burlap and filled with small rocks (gravel). Gravel bags should be placed on slopes to minimize erosion. The burlap and gravel

allow stormwater to pass through the bag while trapping sediment upstream. Gravel bags should be placed across the slope not more than two high as shown in Figure 2. Remember to clean out the silt trapped behind the bags after each storm.

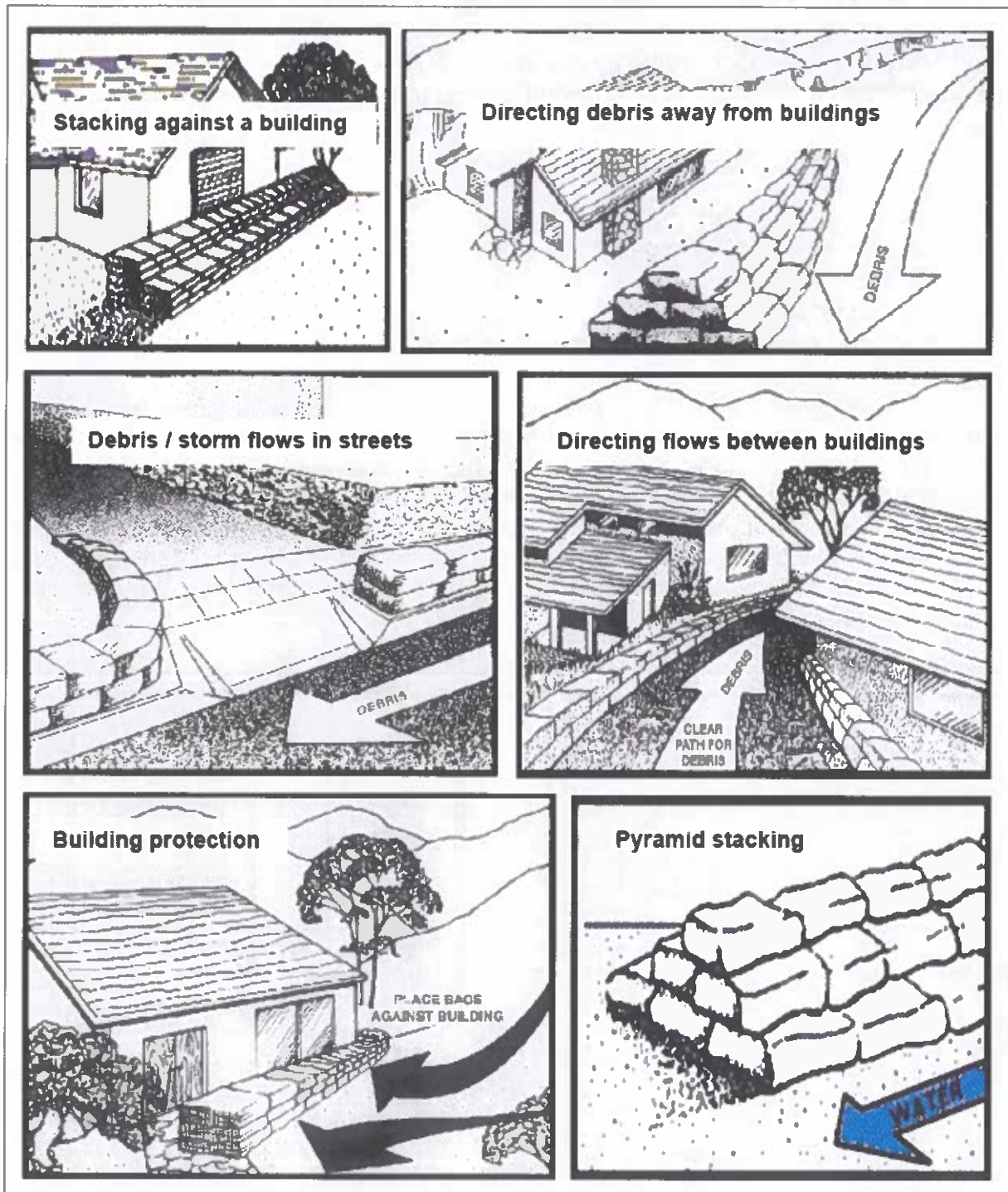


Figure 3: Uses and Proper Placement of Sandbags

Methods for Protecting Your Property

Each property is unique. Protective measures should always be selected to address your property and its surroundings. The following issues should be considered in developing a strategy:

- Protecting structures
- Protecting land from water and debris flows
- Protecting slopes and surfaces from erosion

Protecting Structures

Several types of deflection devices can be used to protect structures, doorways, and windows on your property.

For Doors and Windows - One way to protect doors and windows is to completely cover them with plywood. Low-grade plywood can be placed over windows, vents, and doors and should overlap 3 to 4 inches on all sides. Each sheet of plywood should be secured with four or more nails, screws, or bolts; stakes and boards may also be used to wedge barriers in place. When the plywood is no longer needed, it can be dismantled and stored for years to come. As an alternative, standing pipes on both sides of a door may be used to secure a removable barrier (see Figure 4).

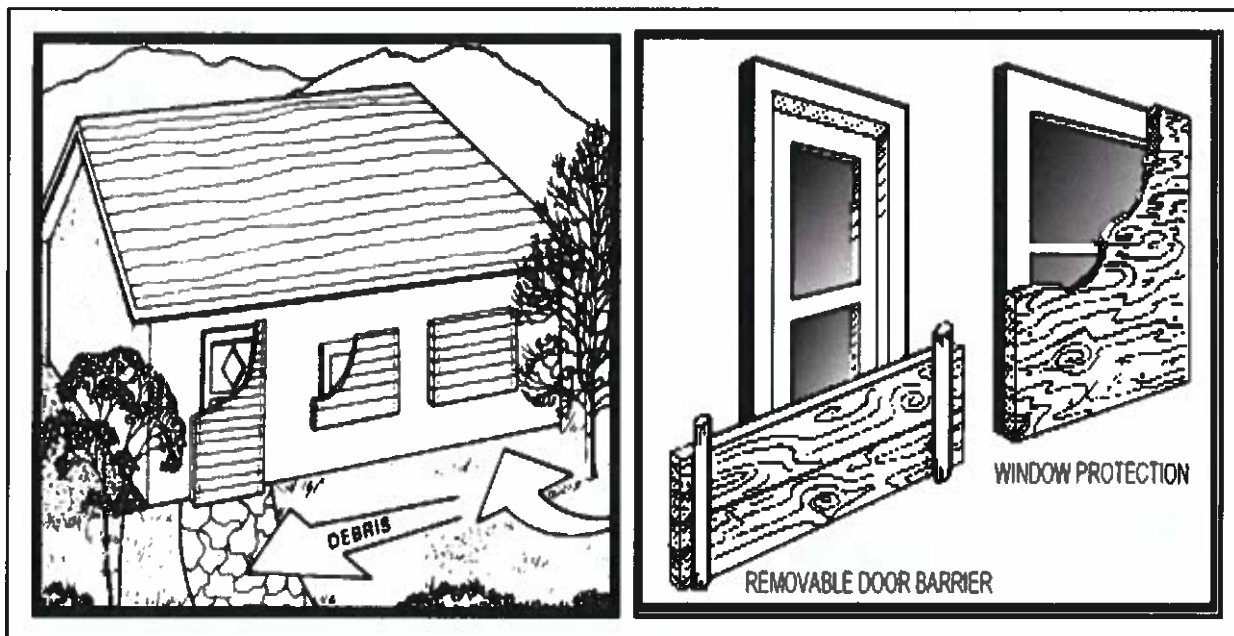


Figure 4 - Using Plywood to Protect Doors and Windows

To prevent water from seeping around a door, a rubber seal (similar to weather stripping) can be affixed to the doorframe. When the door is closed, a watertight seal should result. To prevent water from seeping around a sliding glass door, a plastic sheet (2 to 3 millimeters thick) should be placed between the door and the sandbags or between the door and the plywood barrier (see Figure 5). This is not recommended if water levels are anticipated to rise above two feet.

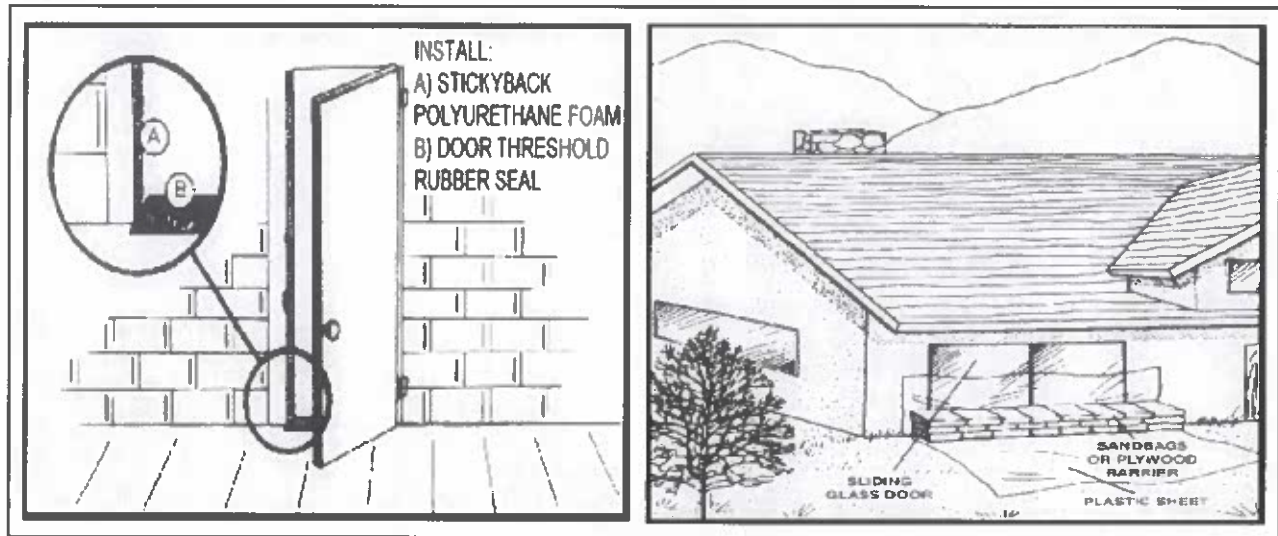


Figure 5 – Sealing Conventional and Sliding Glass Doors

For Structures - Low-grade lumber can be used to create a timber deflector (see Figure 6). This device should be limited to a height of three feet. When installing timber deflectors, drive stakes into the ground at least one-half their length to ensure proper anchorage. Place deflectors on solid, level soil if possible to reduce the hazard of undercutting.

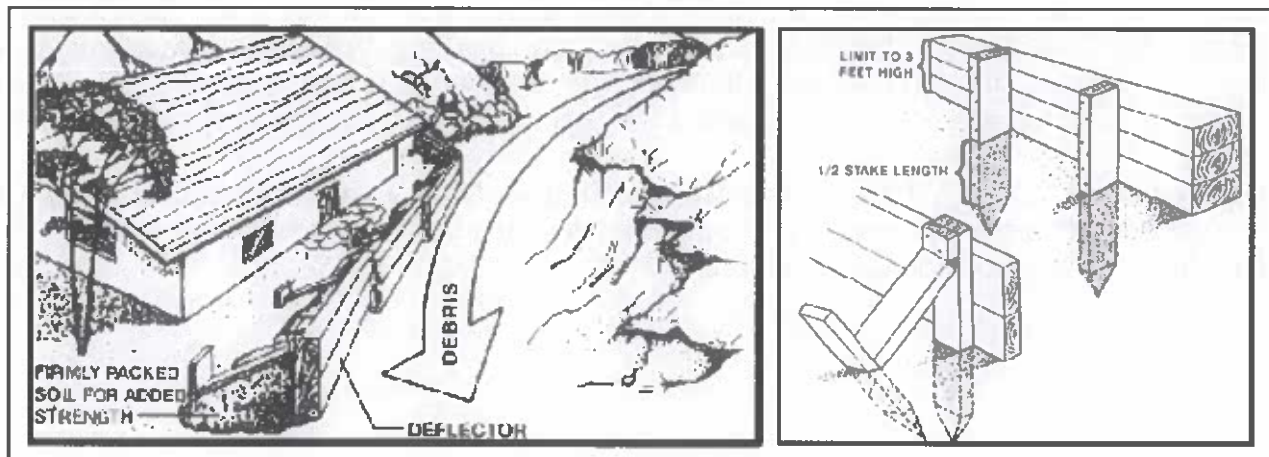


Figure 6 – Using Lumber and Soil to Create a Timber Deflector

Sections of the lumber barriers should be overlapped so that the protruding ends are facing downstream. If additional strength is needed, soil or sandbags can be firmly packed behind the deflector. If a taller barrier is required, an engineered wall should be considered.

Concrete block walls that are designed and built to withstand water and debris flows are excellent for protection and durability. In many cases, such walls can be adapted to become part of the landscaping. These walls generally are expensive and should be considered permanent installations. *Caution: Only engineered walls should be installed.* Other permanent solutions include telephone poles or railroad tie barriers or removable driveway barriers (see Figure 7).

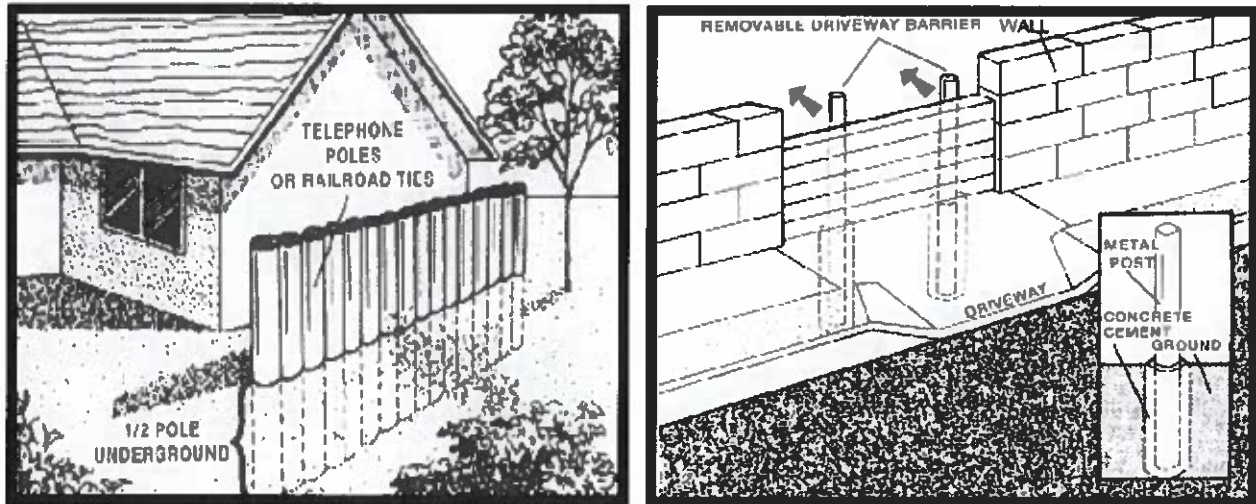


Figure 7 – Examples of Permanent Barriers

Protecting Land from Water and Debris Flows

At times it may be necessary to control the amount of water and debris that flows onto your property from surrounding areas. To divert this water, a small slope or drain can be dug at the top of each steep slope surrounding your property (see Figure 8). It is important not to allow large amounts of water to flow or build up along any one route. Maintenance of the control devices and accumulated water and debris flows is crucial to avoid potential flooding problems. All drainage areas should be kept clear of debris and overgrowth since blockage may cause undermining and structural failure of the drainage areas or increased erosion of the hillside. Typically, maintenance of hillside drains is the responsibility of the property owner.

Ditches and Drains - Where ditches are used in unstable or non compacted soils, they should be planted with perennial grasses. Slopes particularly susceptible to erosion may also require supplemental erosion control measures.

Please note that is unlawful to divert natural flows in a way that will negatively impact neighboring property. Always work cooperatively with your neighbors for the best results. Ditches should ideally drain into a natural watercourse or a well-vegetated area.

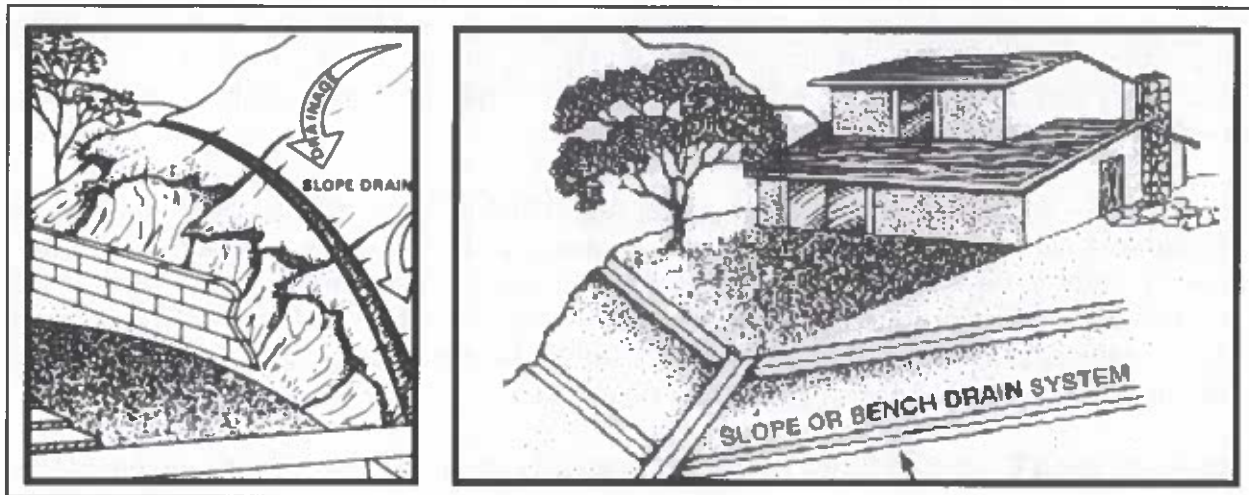


Figure 8 – Using Drains to Divert Flow from Slopes

Protecting Slopes and Surfaces from Erosion

The focus of your erosion control strategy should be on permanently stabilizing all slopes and exposed surfaces. Landscaping of slopes is a long-term solution to erosion problems and is typically the easiest way to prevent erosion. Barren areas should be replanted as soon as possible and temporary measures used until the plants are well established. Professionally applied slope stabilization (such as hydro-seeding or hydro-mulching) is commercially available, and should be considered on high, steep slopes. These and other temporary measures are discussed below and illustrated in Figure 9.

Hydro-seeding - Hydro-seeding consists of applying a mixture of seeds combined with a binding substance to barren slopes and burned hillsides. Hydro-seeding can help to reduce erosion by establishing quick growing plants to stabilize soils. Once established, these plants will reduce erosion by slowing runoff velocity, enhancing infiltration of water into the soils, and trapping sediment and other particulates. Hydro-seeding will require irrigation during dry weather in order to establish the seed growth process. Hydro-seeding should be applied at least 24 hours prior to a rain event. Until the vegetation is established, additional erosion control measures may be necessary; additionally, a second application may be required for it to remain effective for an entire rainy season.

Hydro-mulching - Hydro-mulching consists of applying a mixture of shredded wood fiber or other hydraulic matrix. Mulching temporarily protects exposed soil from erosion by storm runoff or wind. Hydro-mulching can help to decrease runoff and increase natural water infiltration and should be applied at least 24 hours prior to a rain event. Because mulching is a temporary measure, additional erosion control measures may be necessary until new

vegetation is established; additionally, a second application may be required for it to remain effective for an entire rainy season.

Fiber Rolls - Fiber rolls are comprised of straw, flax, or other similar materials bound into a tight tubular roll. When they are placed at the toe and on the face of slopes, these devices reduce the velocity of storm runoff by releasing the runoff as sheet flow, and help to contain (hold back) and remove sediment from the runoff. When properly installed, fiber rolls can also be effective in reducing erosion.

Silt Fences - Silt fences are made of a filter fabric that is attached to supporting poles, and sometimes backed by a plastic or wire mesh for support. They help to retain sediment, while allowing water to flow through. Silt fences are suitable for perimeter control and should be placed below areas where sheet flows discharge from the site. They are only applicable for sheet or overland flows, and should not be used on slopes. Silt fences are most effective when used in combination with other erosion controls.

Straw or Wood Chip Mulching - Straw or wood chips can be used to hold soil in place. This has the added benefit of increasing the organic content of the soil. Either material should be worked into the top few inches of the soil. A cover layer of chips approximately 2 inches deep (or less) can also be used as slope and soil conditions warrant.

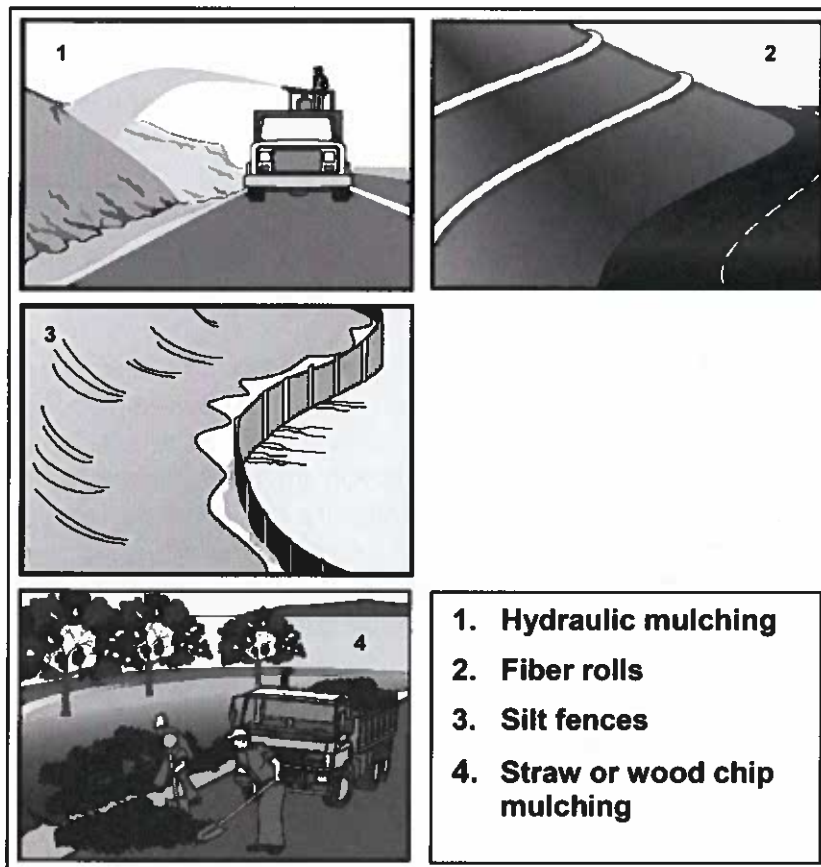


Figure 9 – Examples of Temporary Measures to Protect Your Property

Flood Insurance

Flood insurance under the National Flood Insurance Program is available throughout the unincorporated areas of San Diego County even if your property is not in a flood hazard area. To determine if your property is in a federally designated flood hazard area, you can contact the County of San Diego at (858) 694-2112.

If you have concerns that flooding may cause damage to your home, you should contact your insurance broker regarding flood insurance. Please note that when purchasing insurance voluntarily, there is a 30-day waiting period after the policy is issued, before the coverage becomes effective. For more information about flood insurance, contact the Federal Emergency Management Agency (FEMA) at the following toll free number: 1-888-379-9531 or floodsmart.gov.

Glossary of Terms

Bench Drain - Typically a V-shaped ditch covered with gunite or concrete, which is located horizontally and vertically along residential hillside areas. This device assists in draining the slope to protect against hillside erosion. Typical width is 3-5 feet and typical depth is 12". (Same as a "Slope Drain")

Debris - Any combination of ash, soil, rock, mud, trees, or vegetation usually transported by debris flow.

Debris Flow - Consists of any ash, soil, rocks, boulders, trees, or brush being moved along the landscape by storm waters. Depending on the intensity of the storm, debris flows may contain sufficient strength to destroy or move objects such as cars and buildings in their path.

Drainage Patterns - The drainage paths storm water runoff usually or historically takes through a given area.

Engineered Concrete Block Walls - Walls engineered to hold back water and debris flows. These walls are considered to be permanent, and generally do not require replacement or maintenance.

Flood - (1) typically a temporary condition of partial or complete inundation of land areas due to the overflow of inland or tidal waters; or (2) a large amount of storm runoff inundating an area of land that would, under normal conditions, be dry.

Flood Insurance - This type of insurance provides monetary compensation for flood damages to your home or belongings in your home. Flood insurance can be purchased through your local insurance agent.

Ground Cover - Typically low-lying vegetation that will spread outward, eventually covering all surrounding bare soil.

Natural Watercourse - An unimproved natural stream of any size; includes rivers, creeks, branches, canyons, arroyos, gullies, washes, etc.

Overgrowth - Foliage that has grown and spread out so as to obstruct or block any natural watercourse (drainage area), improved drainage device (such as a storm channel, culvert, or storm drain), or other such structures.

Rainy Season - That portion of the year, typically from October 1 to April 30, when San Diego County receives its largest amount of rain.

Sandbags - A plastic or vinyl type bag that can be filled with sand or native soil. These bags can be stacked or placed in such a fashion to redirect storm and debris flows away from homes or property improvements.

Slope Drain - Typically a V-shaped ditch covered with gunite or concrete located horizontally and vertically along residential hillside areas. This device assists in draining the slope to protect against hillside erosion. Typical width is 3-5 feet and typical depth is 12". ("Same as a Bench Drain ")

Sump - A low-lying area with no drainage outlet, which captures and contains any amount of storm runoff or debris flows.

Sump Pump - A pump designed to remove water or debris out of a sump or basement.



County of San Diego

DEPARTMENT OF ENVIRONMENTAL HEALTH
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www.sdcdeh.org

What to Do After a Wildfire

You may want to temporarily delay your property cleanup in the unincorporated area of the County until you have been checked by a County damage assessment team member. You may jeopardize your insurance claims. Contact your insurance company as soon as possible for guidance. For County damage assessment information please call 211.

Residents returning to fire damaged homes and structures need to take precautions. Hazardous materials as well as structural damage pose serious threats to your health and safety. It is strongly advised you take some basic safety measures when inspecting and cleaning up your home and property.

Returning to the Fire Zone

- **Use caution and exercise good judgment when re-entering a burned area.** Hazards may still exist, including hot spots, which can flare up without warning.
- **Avoid damaged or fallen power poles or lines, and downed wires.**
- **Immediately report electrical damage to authorities.** Electric wires may shock people or cause further fires. If possible, remain on the scene to warn others of the hazard until repair crews arrive.
- **Be careful around burned trees and power poles.** They may have lost stability and fall due to fire damage.
- **Watch for ash pits and mark them for safety.** Ash pits are holes full of hot ashes, created by burned trees and stumps. Falling into ash pits or landing in them with your hands or feet can cause serious burns. Warn your family and neighbors to keep clear of these pits.
- **Visually check the stability of the trees.** Any tree that has been weakened by fire may be a hazard. Winds are normally responsible for toppling weakened trees. The wind patterns in your area may have changed as a result of the loss of adjacent tree cover.

- **Look for burns on the tree trunk.** If the bark on the trunk has been burned off or scorched by very high temperatures completely around the circumference, the tree will not survive. Where fire has burnt deep into the trunk, the tree should be considered unstable.
- **Look for burnt roots by probing the ground with a rod around the base of the tree and several feet away from the base.** Roots are generally six to eight inches below the surface. If the roots have been burned, you should consider this tree very unstable, and it may be toppled by wind.
- **A scorched tree is one that has lost part or all of its leaves or needles.** Healthy deciduous trees are resilient and may produce new branches and leaves as well as sprouts at the base of the tree. Evergreen trees may survive when partially scorched. An evergreen tree that has been damaged by fire is subject to bark beetle attack. Please seek professional assistance from the forestry service concerning measures for protecting evergreens from bark beetle attack.

Returning to Your Home

- **If your home was damaged, check with your local utilities company.** Make sure gas and electricity are turned off before entering the area. SDG&E Phone: (800) 411-SDGE.
- **Use a flashlight.** Do not light matches or turn on electrical switches if you suspect electrical damage or gas leaks.
- **Check for gas leaks starting at the water heater.** If you smell gas, get everyone out of the area and house; if safe to do so turn off the main gas valve, open windows and contact the gas utility or propane company.
- **If there is no power and if safe to do so, check to make sure the main breaker is on.** Fires may cause breakers to trip. If the breakers are on and power is still not present, contact the utility company.
- **If safe to do so check the roof and extinguish any sparks or embers.** Wildfires may have left burning embers that could re-ignite.
- **Recheck for smoke and sparks throughout the home, including the attic for several hours.** The winds of wildfires can blow burning embers anywhere. Keep checking your home for embers that could cause fires.
- **Before sifting through debris, using a face mask, spray with a fine spray mist of water to minimize health impacts from breathing dust particles.**
- **Other hazards to be aware of:**
 - Unstable walls, floors, and roof
 - Sharp objects such as nails, glass, metal, etc
 - Dead or injured animals
 - Damaged septic tank
 - Snakes and other wild animals
 - Bees disturbed by the fire

Personal Protection

Take precautions while cleaning your property. You may be exposed to potential health risks from hazardous material, debris, and ash.

- Wear protective glasses or goggles to protect your eyes.
- Use a two-strap dust particulate mask with a nose clip. If you do not have a mask, use a damp cloth to cover your nose and mouth.
- Wear long sleeved shirt and long pants to protect your skin.
- Wear leather gloves to protect hands from sharp objects while removing debris.
- Wear rubber gloves when working with outhouse remnants, plumbing fixtures, sewer piping, and chemicals.
- Wear boots with thick (lug) soles. Avoid tennis/running shoes, sandals, etc. whose soles can melt or be punctured.
- Avoid getting overheated while working. Drink plenty of water to stay hydrated.

Hazardous Materials

Hazardous materials such as household cleaning products, paint, batteries, gasoline, contaminated fuel, and damaged fuel containers need to be safely handled to protect the environment and human health.

- For information on how to properly dispose of household hazardous waste please call:
 - Unincorporated areas of the County (877-713-2784)
 - Incorporated areas of the County 800-237-BLUE (800-237-2583)
 - City of San Diego 858-694-7000
 - North County Cities 800-714-1195
- For information on how to clean up spilled hazardous materials please contact the County of San Diego Hazardous Materials Information Line at 858-505-6880.

Household Hazardous Waste:

Household hazardous waste must be handled separately from other burn debris and cannot go into a landfill or into regular trash containers. Household hazardous waste includes damaged or leftover portions of products used at your home that can contain toxic chemicals. Products labeled *Caution, Warning, Danger, Poison, Toxic, Flammable, Combustible, or Corrosive* are considered hazardous.

Some examples of household hazardous waste includes:

- | | |
|--------------------|---|
| • Aerosols | • Fuels |
| • Antifreeze | • Latex / Oil-Based Paints, Stains, Varnishes |
| • Auto Batteries | • Pesticides |
| • Auto Fluids | • Pool Chemicals |
| • Batteries | • Propane BBQ Cylinder |
| • Cleaners | • Solvents |
| • Disinfectants | • Used Oil, Motor Oil, and Oil Filters |
| • Electronic waste | • Wood Preservatives |
| • Fertilizers | |

Propane or Heating Oil Tanks:

- If you have a propane tank system, contact your propane supplier, turn off valves on the system, and leave valves closed until the supplier inspects your system. Tanks, brass and copper fittings and lines may have been damaged from the heat and be unsafe. If fire burned the tank, the pressure relief valve probably opened and released the contents. Propane safety guidance:

http://www.sandiegocounty.gov/content/dam/sdc/deh/hmd/pdf/hmd_propane_factsheet.pdf

- If you have a heating oil tank system, contact a heating oil supplier for an inspection of your system before using. The tank may have shifted or fallen from the stand and fuel lines may have kinked or weakened. Heat from the fire may have caused the tank to warp or bulge. Non-vented tanks are more likely to bulge or show signs of stress. The fire may have loosened or damaged fittings and filters.

Portions of this document were excerpted from the American Red Cross's pamphlet: After a Wildfire
<http://www.redcross.org/get-help/prepare-for-emergencies/types-of-emergencies/wildfire#/About>



Planning & Development Services (PDS) provides several options to conduct online research for your property or development. Our online services are available 24 hours a day, seven days a week from the comfort of your home or office.

1. ZONING AND GENERAL PARCEL INFORMATION

For Zoning and General Plan information and more, please use the following link: [Zoning Info](#)
For a complete Initial Study Research package, please use the following link: [ISRP](#)

2. ZONING DIVISION

Discretionary Permit Types and Application Forms: Please use the following to access the discretionary permit types and the appropriate application forms:

<http://www.sandiegocounty.gov/content/sdc/pds/appforms.html>

- **Discretionary Permit Applications:** provides a list of permit specific Fee Summary Sheets which include, information on fees, deposits, processing notes, information and links to application forms for each type of Discretionary Permit.
- **Discretionary Forms:** Use these forms when submitting discretionary permit applications.
- **Fee schedule:** The Fee schedule (PDS-369) may assist you in determining the costs associated with your discretionary permit application. You could also use our discretionary permit time and cost guide to get an idea of how much the County portion of your project may cost:
<http://www.sandiegocounty.gov/content/dam/sdc/dplu/docs/cost-schedule-summary.pdf>

3. BUILDING DIVISION

for Building Permit information, forms, submittal info and handouts please use the following link:
<http://www.sandiegocounty.gov/content/sdc/pds/bldgforms.html>

4. PARCEL DEVELOPMENT AND ENVIRONMENTAL INFORMATION

For instructions on how to use the Initial Study Research Packet to obtain preliminary parcel development and environmental information for properties, including property maps, general plan and zoning information, please use the following link:

[http://www.sandiegocounty.gov/content/dam/sdc/pds/docs/guidance/ISRP%20User%20Guide Public.pdf](http://www.sandiegocounty.gov/content/dam/sdc/pds/docs/guidance/ISRP%20User%20Guide%20Public.pdf)

5. COPIES OF DISCRETIONARY PERMITS, PLOT PLANS, DECISIONS, ENV. RECORDS

For discretionary permits, or copies of approved plot plans, or decisions are available through this content library. Please note that not all documents in the library function with keyword search and not all PDS documents are available through the following link:

<https://www.sandiegocounty.gov/content/sdc/pds/doclibrary.html>

6. DISCRETIONARY PERMIT INFORMATION

The Planning & Development Services website please use the following link:
www.sandiegocounty.gov/pds



7. REVIEW AND PRINT COPIES OF PARCEL MAPS AND FINAL MAPS

For copies of PM's and Map's please use the following link: <https://srs.sandiegocounty.gov/>

8. ACCELA CITIZEN ACCESS

For permit research, apply for some permits, make payments and obtain other PDS information, please use the following link: <http://www.sandiegocounty.gov/content/sdc/pds/AccelaUpdates.html>

9. Have additional questions?

If you have any additional questions, we would strongly recommend requesting an Initial Consultation Meeting for relatively little money. This will afford you the opportunity to sit down with a planner and discuss the "ins and outs" of your project and receive general information of the feasibility of the project right up front before you make any major investment in time and money. The Planner will provide you with some basic information and identify the initial required deposit/fee to get the project started. Please use the following link to get started:

[https://www.sandiegocounty.gov/content/dam/sdc/pds/zoning/formfields/PDS-PLN-ESUB Initial Consult Meeting.pdf](https://www.sandiegocounty.gov/content/dam/sdc/pds/zoning/formfields/PDS-PLN-ESUB%20Initial%20Consult%20Meeting.pdf)

10. CONTACTS

If your property is within the unincorporated area of the County of San Diego, and if you have any additional questions, please contact the correct department/division below:

Department of Environmental Health
lwqduty.deh@sdcounty.ca.gov

Land Development
ldpermitcounter@sdcounty.ca.gov

Building Department
PDSBuildingPermitCounter@sdcounty.ca.gov

Zoning Division
PDSZoningPermitCounter@sdcounty.ca.gov

Agriculture Weights & Measures
sdcawm@sdcounty.ca.gov