



Building Entrance, Looking West

OWNER / APPLICANT

Thoroughbred Lane L.L.C.  
Carefield Senior Living  
Contact: Vicky Barklis  
201 Lomas Santa Fe Dr., Ste 500  
Solana Beach, CA. 92075  
858 259 5591

ARCHITECT

Jones Ballard Architects  
Contact: Stephen Jones  
3383 Baltimore Street  
San Diego, CA. 92117  
619 977 5675

CONSULTANT

James Chagala \$ Associates  
Contact: James Chagala  
555 West Country Club Lane  
Escondido, CA. 92026  
760 751 2691

CIVIL

Farrington Engineering, Inc.  
Contact: Mark Farrington  
11679 Via Firul  
San Diego, CA. 92128  
858 675 9490

HYDROLOGY

Tory R Walker Engineering  
Contact: Levi Ryan  
122 Civic Center Dr. # 206  
Vista, CA. 92084  
760 414 9212

LANDSCAPE ARCHITECT

Garbini Landscape Architecture, Inc.  
Contact: Rick Garbini  
4142 Adams Ave. Ste.103 #621  
San Diego, CA 92116  
619 232 4747

LIGHTING CONSULTANT

The Ruzika Company, Inc.  
Contact: Betty Ann Andrews  
2 Executive Circle, Ste. 290  
Irvine, CA. 92614  
949 253 3479 x 113

UNIT SUMMARY

FIRST FLOOR - MEMORY CARE UNITS:	24
FIRST FLOOR - ASSISTED LIVING UNITS:	18
SECOND FLOOR - ASSISTED LIVING UNITS:	38
TOTAL UNITS:	80

UNIT TYPE	#	SIZE (SF)
ASSISTED LIVING		
STUDIO	18	485
ONE BEDROOM	38	625
MEMORY CARE		
STUDIO	18	350
COMPANION	6	450

PARKING SUMMARY

REQUIRED SPACES @ 1 PER 3 BEDROOMS:	27
REQUIRED SPACES @ 1 PER EMPLOYEE:	17
TOTAL REQUIRED SPACES:	44

RESIDENT "TRANSPORT VAN" SPACE	1
PARKING SPACES PROVIDED: (INCLUDES 3 ACCESSIBLE SPACES)	45

PROJECT DATA

ADDRESS: THOROUGHbred LANE & MISSION RD  
BONSALL, CA. (NORTHERN CORNER)

APN: 126-230-55-00  
CONSTRUCTION TYPE: TYPE VA  
SPRINKLERS: FULLY SPRINKLERED  
NUMBER OF STORIES: 1 & 2 STORIES  
GROSS BUILDING AREA: 76,500 SQ. FT.  
PROPOSED F.A.R.: 0.38  
MAX BUILDING HEIGHT: 35'  
SITE COVERAGE: 23.7%

CURRENT ZONING: 'C-30' - OFFICE, PROFESSIONAL  
PROPOSED ZONING: 'C-46' - MEDICAL CENTER  
PROPOSED USE: RCFE COMMUNITY  
R2.1, A-2, A-3, B

PROPERTY SIZE: 4.60 ACRES (200,540 SQ FT)

PROJECT DESCRIPTION

THIS FACILITY WILL BE A NEW STATE-OF-THE-ART RESIDENTIAL CARE FACILITY FOR THE ELDERLY (RCFE) AND IS LICENSED BY THE DEPARTMENT OF SOCIAL SERVICES, COMMUNITY CARE LICENSING. SPECIFICALLY UNDER TITLE 22, DIVISION 6, CHAPTER 8.

THIS LICENSING CATEGORY ALLOWS US TO HOUSE SENIORS OVER THE AGE OF 62 AND TO AID THEM IN THEIR ACTIVITIES OF DAILY LIVING. IN ADDITION, OUR FACILITY PROVIDES 3 MEALS PER DAY IN A COMMON AREA DINING ROOM, TRANSPORTATION AND AN ACTIVITIES PROGRAM. UNLIKE SKILLED NURSING, WE DO NOT PROVIDE 24 HOUR MEDICAL CARE.

SHEET INDEX

A000 TITLE SHEET  
A100 EXISTING CONDITIONS  
A101 PROPOSED SITE PLAN  
A200 PROPOSED BUILDING PAD PLAN  
A201 FIRST FLOOR PLAN  
A202 SECOND FLOOR PLAN  
A203 ROOF PLAN  
A204 UNIT DETAIL PLANS  
A300 BUILDING ELEVATIONS  
A400 SITE / BLDG SECTIONS  
A500 MONUMENT SIGN DETAIL  
A501 MATERIAL / IMAGE BOARD

L100 LANDSCAPE LEGEND & NOTES  
L101 LANDSCAPE SITE PLAN  
L102 LANDSCAPE IMAGES  
L103 RENDERED PRELIMINARY PLAN

LT200 LIGHTING SITE PLAN  
LT201 LIGHTING CALCULATIONS  
LT202 LIGHTING CALCULATIONS  
LT203 LIGHTING CALCULATIONS  
LT204 LIGHTING CALCULATIONS  
LT205 LIGHTING CALCULATIONS  
LT206 LIGHTING CALCULATIONS  
LT207 LIGHTING CALCULATIONS  
LT208 LIGHTING CALCULATIONS  
LT209 EXTERIOR LIGHTING FIXTURES

C100 CIVIL LEGEND + NOTES  
C200 EXISTING CONDITIONS + EASEMENTS  
C300 PRELIMINARY GRADING PLAN INDEX  
C400 PRELIMINARY GRADING + UTILITY PLAN  
C500 PRELIMINARY GRADING + UTILITY PLAN  
C600 PAVEMENT CROSS SECTION  
C700 PROPOSED CIVIL CONSTRUCTION DETAILS

X001 PLOT PLAN

VICINTY MAP, NTS



Record ID# PDS2019-REZ-19-001  
PDS2019-STP-19005  
Environmental Log# PDS2019-ER-19-02-002



Carefield Senior Living, Bonsall, California







1 Existing Site 1"= 30'-0"





1 Building / Site Plan Context

1"= 30'-0"



February 07, 2020

# Carefield Senior Living, Bonsall, California

Mission Road & Thoroughbred Lane, Bonsall, California 92003

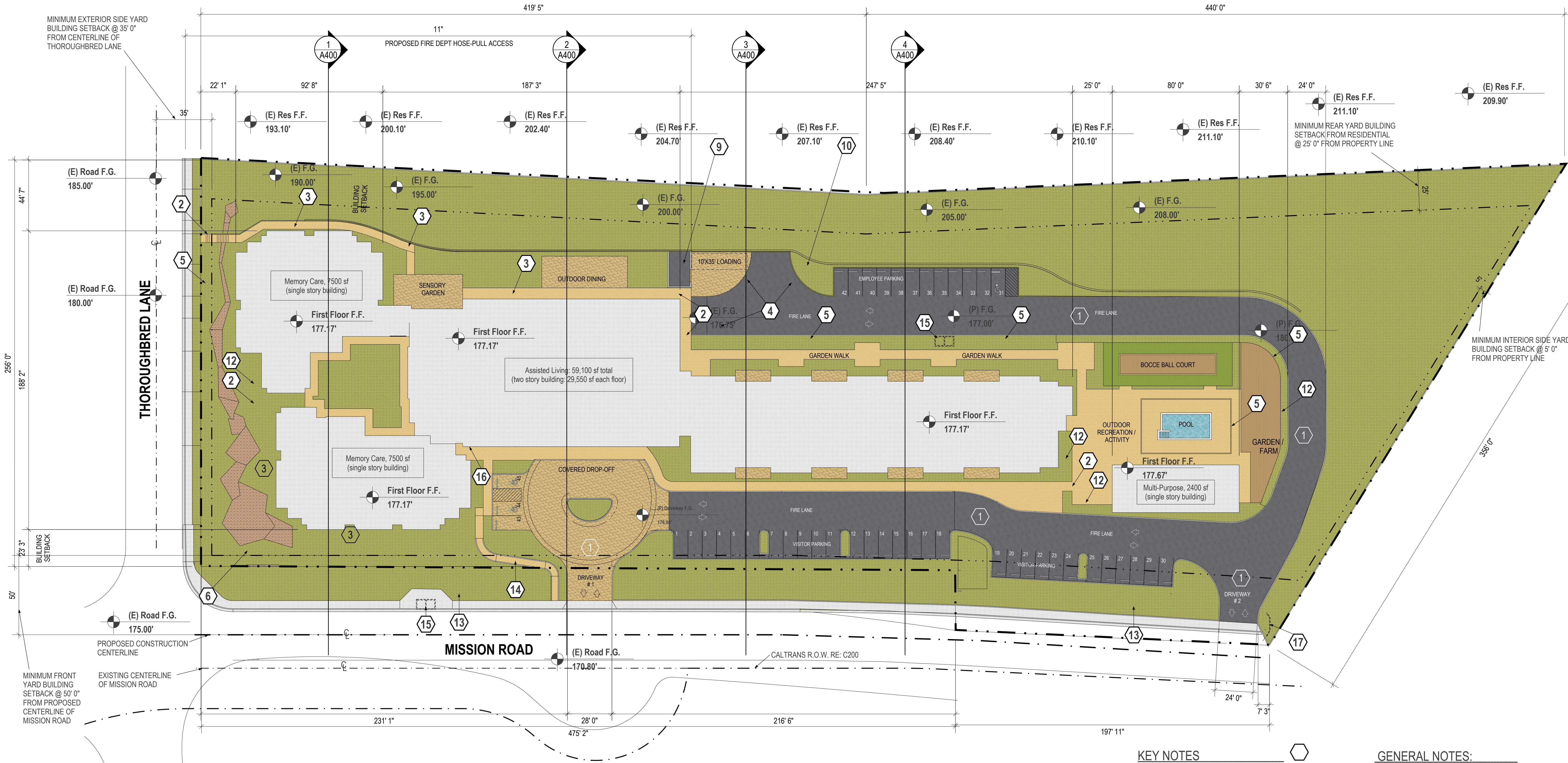


02.07.2020

Site Plan Rezone Application

A101





1 Building Pad / Site Plan

1"= 30'-0"

KEY NOTES

1. FIRE LANE, 24' WIDE MINIMUM.
2. FIRE DEPT ACCESS GATE, 6' HIGH x 36" MIN CLEAR WIDTH.
3. FIRE DEPT HOSE PULL ROUTE, 5' MINIMUM WIDTH CLEAR WALKWAY.
4. FIRE APPARATUS TURN AROUND PER FIRE DEPT REQUIREMENTS.
5. 6' HIGH ORNAMENTAL METAL FENCE.
6. MONUMENT SIGN, REMOTELY ILLUMINATED INDIVIDUAL METAL LETTERS ON A MAXIMUM 4' HIGH LANDSCAPE WALL.
7. PREFINISHED ALUMINUM FRAMED SKYLIGHT.
8. ROOFTOP MECH EQUIPMENT LOCATION, SCREENED BY PARAPET, TYP.
9. 288 SQFT, COVERED, TRASH & RECYCLING ENCLOSURE.
10. EMERGENCY GENERATOR.
11. TRANSFORMER, (TO BE DETERMINED).
12. 6' HIGH CMU SOUND ATTENUATION WALL.
13. PROPOSED FIRE HYDRANT LOCATION.
14. ACCESSIBLE WALKWAY/RAMP, RE: C400.
15. PROPOSED PVT. FILTERRA (TM) CURB INLET, RE: C300.
16. PROPOSED ROOF DOWN DRAIN (PVT.) CONNECTED TO BIO-FILTRATION BASIN. RE: C400.
17. PRIVATE TEMPORARY MASONRY RETAINING WALL PER RSD "C-6" (APPROX. 18" MAX WALL EXPOSED HEIGHT), RE: C500.

GENERAL NOTES:

NO ROOFTOP EQUIPMENT REQUIRING ACCESS SHALL BE LOCATED WHERE PARAPET OR BARRICADE DOES NOT MEET MINIMUM HEIGHT SAFETY REQUIREMENT.

ALL ROOFTOP EQUIPMENT SHALL BE LOCATED BEHIND PARAPET WALL AND SCREENED FROM PUBLIC VIEW. NO ROOFTOP EQUIPMENT LOCATED ON SINGLE STORY BLDG.

REFERENCE LANDSCAPE DRAWINGS FOR DETAILED SITE PLAN PLANTING AND FINISHES

REFERENCE CIVIL DRAWINGS FOR ALL EXISTING & PROPOSED FINISH GRADE ELEVATIONS AS WELL AS EXISTING PUBLIC RIGHT-OF-WAY AND EASEMENT LOCATIONS.



Carefield Senior Living, Bonsall, California







## 1 First Floor / Site Plan

1"= 30'-0"

## KEY NOTES

1. FIRE LANE, 24' WIDE MINIMUM.
2. FIRE DEPT ACCESS GATE, 6' HIGH x 36" MIN CLEAR WIDTH.
3. FIRE DEPT HOSE PULL ROUTE, 5' MINIMUM WIDTH CLEAR WALKWAY.
4. FIRE APPARATUS TURN AROUND PER FIRE DEPT REQUIREMENTS
5. 6' HIGH ORNAMENTAL METAL FENCE
6. MONUMENT SIGN, REMOTELY ILLUMINATED INDIVIDUAL METAL LETTERS ON A MAXIMUM 4' HIGH LANDSCAPE WALL
7. PREFINISHED ALUMINUM FRAMED SKYLIGHT
8. ROOFTOP MECH EQUIPMENT LOCATION, SCREENED BY PARAPET, TYP.
9. 288 SQFT, COVERED, TRASH & RECYCLING ENCLOSURE.
10. EMERGENCY GENERATOR
11. TRANSFORMER, (TO BE DETERMINED).
12. 6' HIGH CMU SOUND ATTENUATION WALL
13. PROPOSED FIRE HYDRANT LOCATION.
14. ACCESSIBLE WALKWAY/RAMP, RE: C400
15. PROPOSED PVT. FILTERRA (TM) CURB INLET, RE: C300
16. PROPOSED ROOF DOWN DRAIN (PVT), CONNECTED TO BIO-FILTRATION BASIN. RE: C400
17. PRIVATE TEMPORARY MASONRY RETAINING WALL PER RSD "C-6" (APPROX. 18" MAX WALL EXPOSED HEIGHT). RE: C500

## GENERAL NOTES:

NO ROOFTOP EQUIPMENT REQUIRING ACCESS SHALL BE LOCATED WHERE PARAPET OR BARRICADE DOES NOT MEET MINIMUM HEIGHT SAFETY REQUIREMENT.

ALL ROOFTOP EQUIPMENT SHALL BE LOCATED BEHIND PARAPET WALL AND SCREENED FROM PUBLIC VIEW. NO ROOFTOP EQUIPMENT LOCATED ON SINGLE STORY BLDG.

REFERENCE LANDSCAPE DRAWINGS FOR DETAILED SITE PLAN PLANTING AND FINISHES

REFERENCE CIVIL DRAWINGS FOR ALL EXISTING & PROPOSED FINISH GRADE ELEVATIONS AS WELL AS EXISTING PUBLIC RIGHT-OF-WAY AND EASEMENT LOCATIONS.





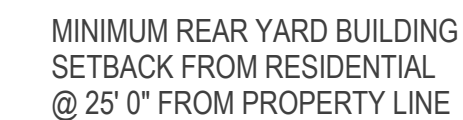
1 Second Floor / Site Plan



# Carefield Senior Living, Bonsall, California







MINIMUM INTERIOR SIDE YARD  
BUILDING SETBACK @ 5' 0"  
FROM PROPERTY LINE

PROPOSED CONSTRUCTION  
CENTERLINE

MINIMUM FRONT  
YARD BUILDING  
SETBACK @ 50' 0"  
FROM PROPOSED  
CENTERLINE OF  
MISSION ROAD

EXISTING CENTERLINE  
OF MISSION ROAD

## MISSION ROAD

CALTRANS R.O.W. RE: C200

## 1 Building Roof / Site Plan

1"= 30'-0"

## KEY NOTES

1. FIRE LANE, 24' WIDE MINIMUM.
2. FIRE DEPT ACCESS GATE, 6' HIGH x 36" MIN CLEAR WIDTH.
3. FIRE DEPT HOSE PULL ROUTE, 5' MINIMUM WIDTH CLEAR WALKWAY.
4. FIRE APPARATUS TURN AROUND PER FIRE DEPT REQUIREMENTS
5. 6' HIGH ORNAMENTAL METAL FENCE
6. MONUMENT SIGN, REMOTELY ILLUMINATED INDIVIDUAL METAL LETTERS ON A MAXIMUM 4' HIGH LANDSCAPE WALL
7. REFINISHED ALUMINUM FRAMED SKYLIGHT
8. ROOFTOP MECH EQUIPMENT LOCATION, SCREENED BY PARAPET, TYP.
9. 288 SQFT, COVERED, TRASH & RECYCLING ENCLOSURE.
10. EMERGENCY GENERATOR
11. TRANSFORMER, (TO BE DETERMINED).
12. 6' HIGH CMU SOUND & ATTENUATION WALL
13. PROPOSED FIRE HYDRANT AND TEST COUPLER
14. ACCESSIBLE WALKWAY/RAMP, RE: C400
15. PROPOSED PVT. FILTERRA (TM) CURB INLET, RE: C300
16. PROPOSED ROOF DOWN DRAIN (PVT.) CONNECTED TO BIO-FILTRATION BASIN, RE: C400
17. PRIVATE TEMPORARY MASONRY RETAINING WALL PER RSD "C-6" (APPROX. 18" MAX WALL EXPOSED HEIGHT). RE: C500

GENERAL NOTES:

NO ROOFTOP EQUIPMENT REQUIRING ACCESS SHALL BE LOCATED WHERE PARAPET OR BARRICADE DOES NOT MEET MINIMUM HEIGHT SAFETY REQUIREMENT.

ALL ROOFTOP EQUIPMENT SHALL BE LOCATED  
BEHIND PARAPET WALL AND SCREENED FROM  
PUBLIC VIEW. NO ROOFTOP EQUIPMENT  
LOCATED ON SINGLE STORY BLDG.

REFERENCE LANDSCAPE DRAWINGS FOR  
DETAILED SITE PLAN PLANTING AND FINISHES

REFERENCE CIVIL DRAWINGS FOR ALL EXISTING &  
PROPOSED FINISH GRADE ELEVATIONS AS WELL  
AS EXISTING PUBLIC RIGHT-OF-WAY AND  
EASEMENT LOCATIONS.



## Carefield Senior Living, Bonsall, California

Mission Road &amp; Thoroughbred Lane, Bonsall, California 92003

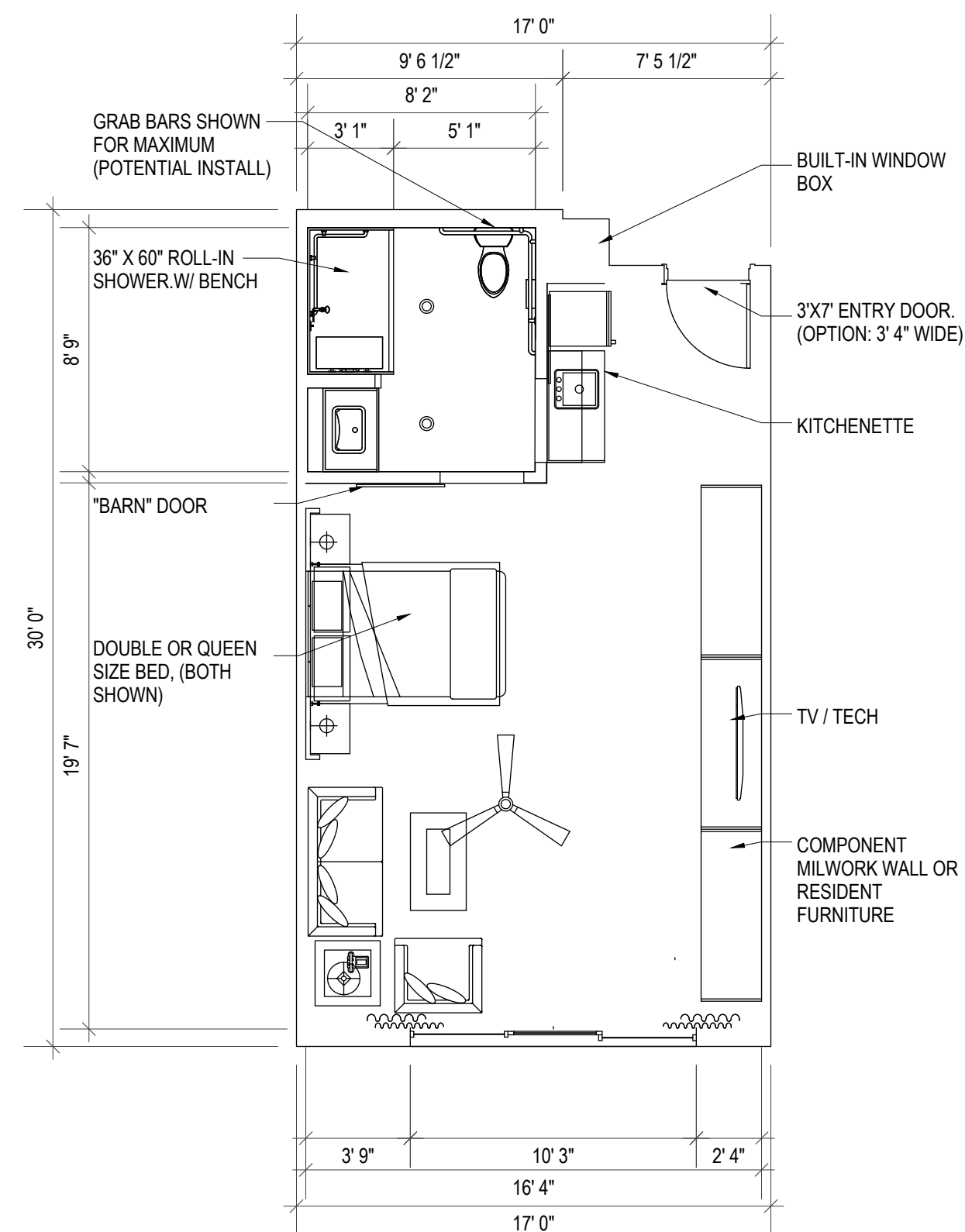
02.07.2020

## Site Plan Rezone Application

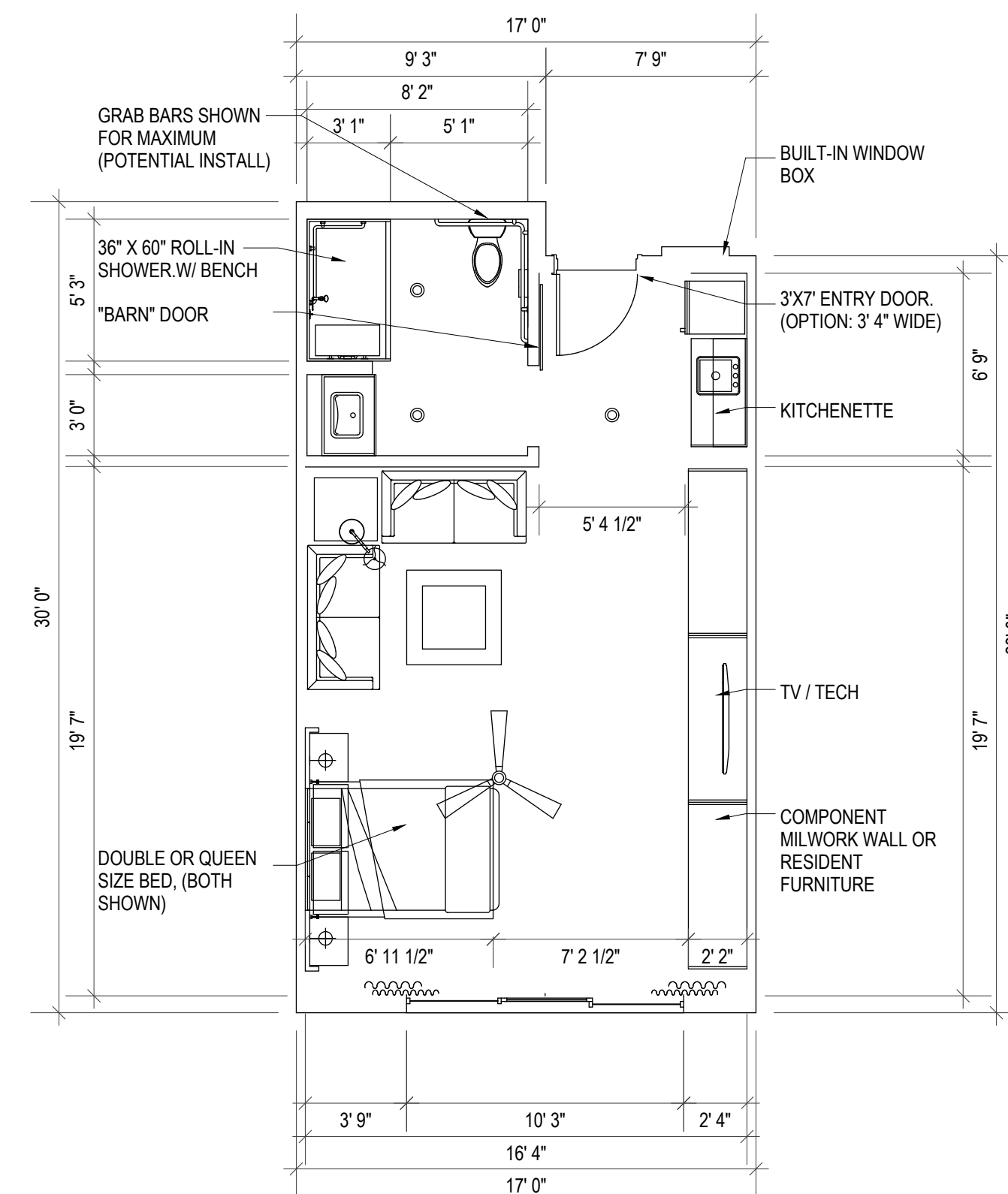
A203



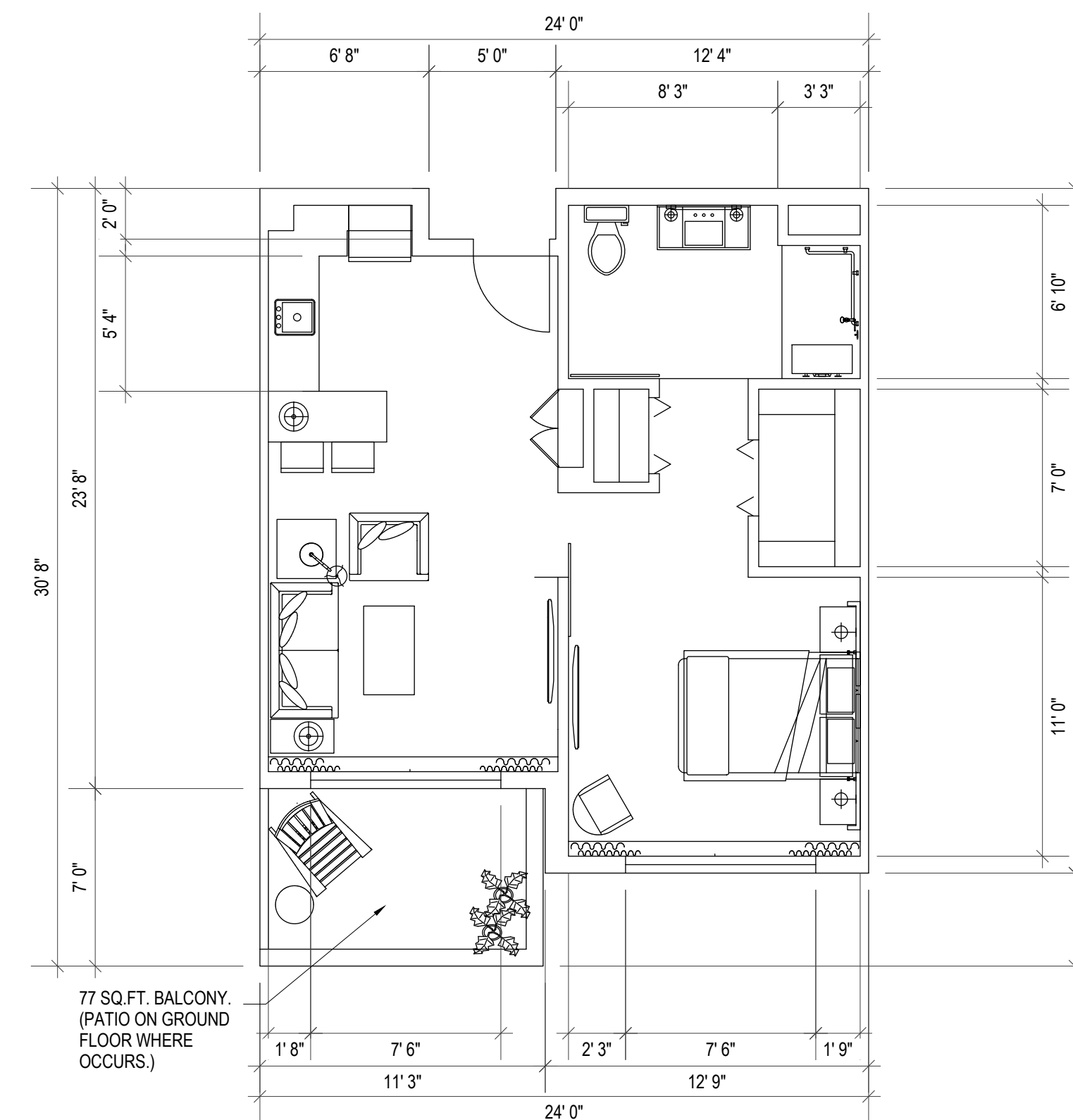




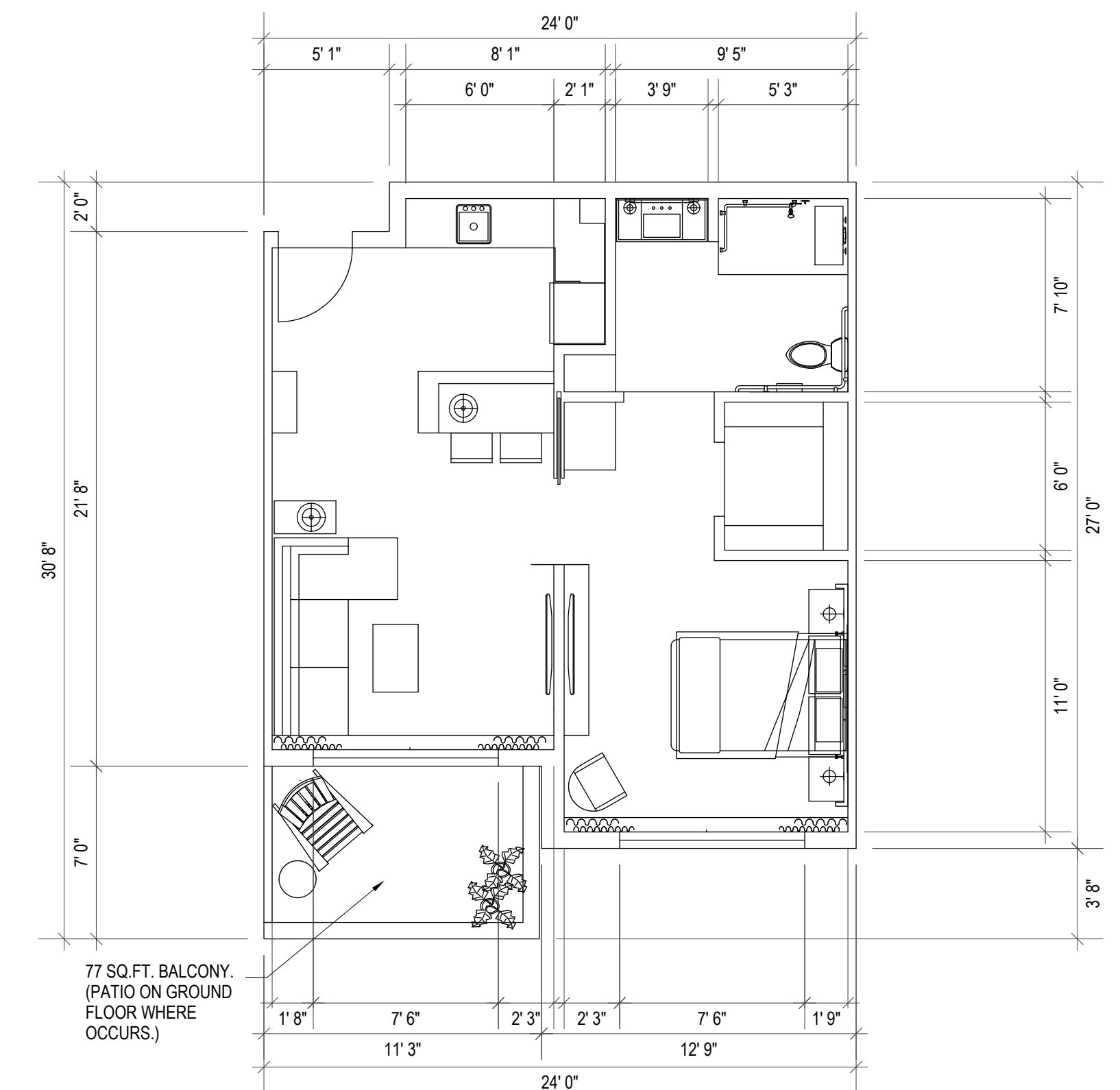
AL Studio 'E' +/- 502 sf



AL Studio 'F' +/- 500 sf



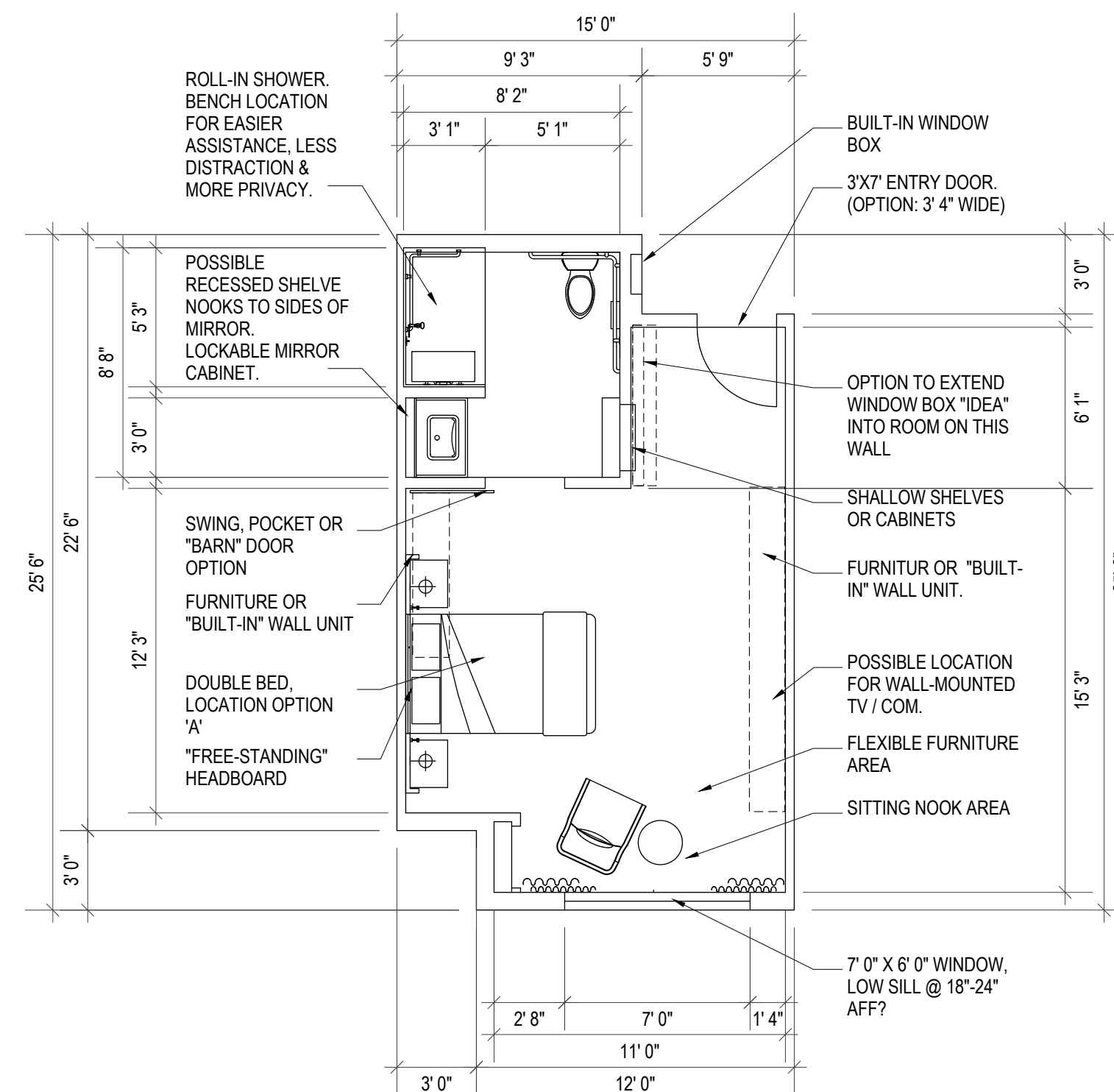
AL 1-Bedroom 'B' +/- 593 sf (670 sf w/ deck)



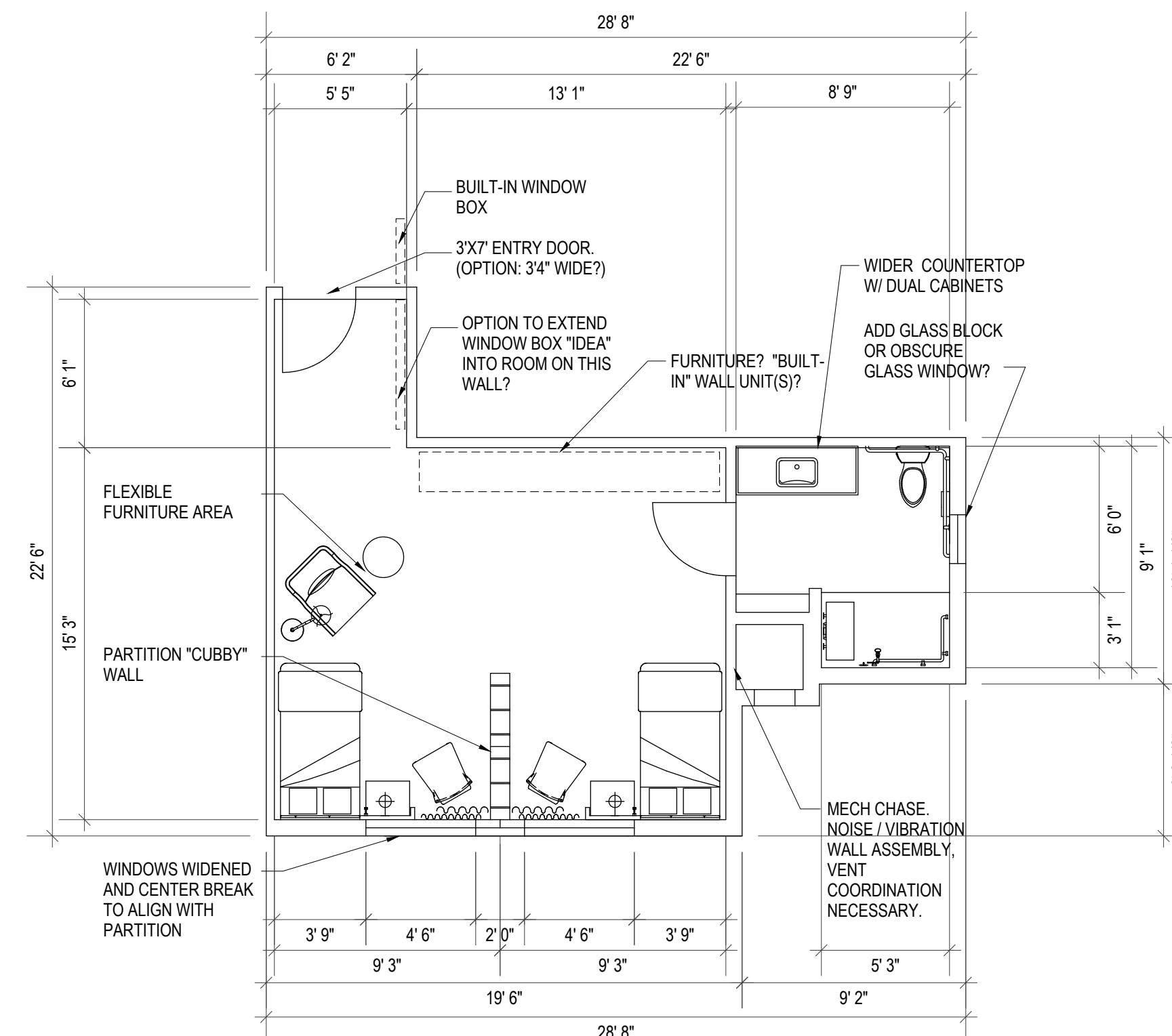
AL 1-Bedroom 'C' +/- 593 sf (670 sf w/ deck)

## 2 Assisted Living Resident Unit Plans

3/16"= 1'-0"



MC Studio 'C' +/- 350 sf



MC Studio Dbl 'B' +/- 450 sf

## 1 Memory Care Resident Unit Plans

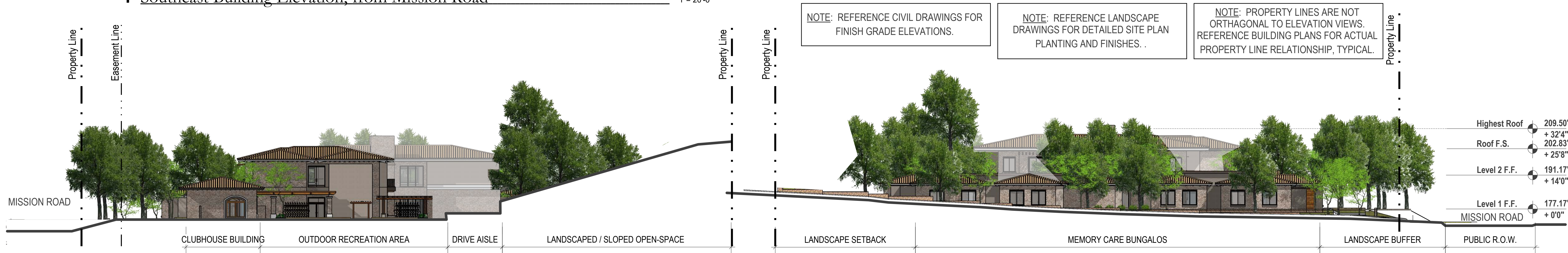
3/16"= 1'-0"





4 Southeast Building Elevation, from Mission Road

1"= 20'-0"

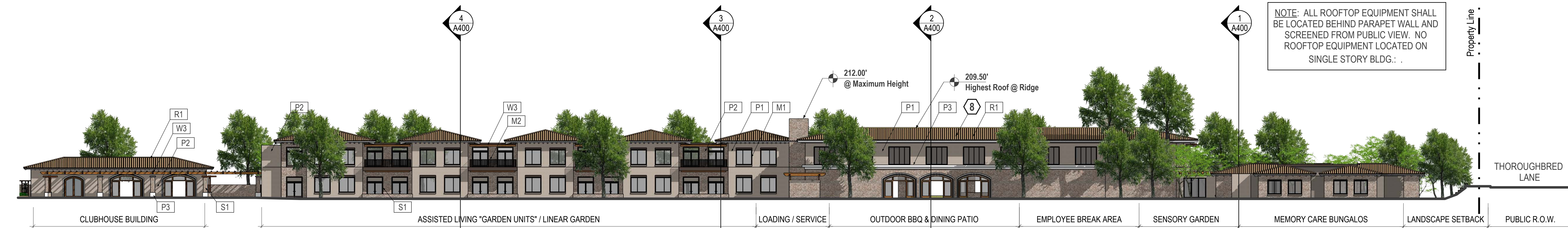


3 Northeast Building Elevation,

1"= 20'-0"

2 Southwest Building Elevation, from Thoroughbred Lane

1"= 20'-0"



1 Northwest Building Elevation

1"= 20'-0"

KEY NOTES

1. FIRE LANE, 24' WIDE MINIMUM.
2. FIRE DEPT ACCESS GATE.
3. FIRE DEPT HOSE PULL ROUTE, 6' WIDE CONCRETE SIDEWALK
4. FIRE APPARATUS TURN AROUND PER FIRE DEPT REQUIREMENTS
5. 6' HIGH ORNAMENTAL METAL FENCE
6. MONUMENT SIGN, REMOTELY ILLUMINATED METAL LETTERS ON A MAXIMUM 3' HIGH LANDSCAPE WALL
7. PREFINISHED ALUMINUM FRAMED SKYLIGHT
8. ROOFTOP MECH EQUIPMENT LOCATION, SCREENED BY PARAPET, TYP.

FINISH NOTES

- |  |   |   |  |   |  |
|--|---|---|--|---|--|
| P1 CEMENT PLASTER: COLOR - FRAZEE MEXICAN TEA, CL2883D       | M1 ALUMINUM FRAMED WINDOWS: COLOR "BRONZE"    | S1 MANUFACTURED STONE TILE: MONTECITO CLIFFSTONE                    | W1 WOOD AND WOOD-LOOK COMPOSITE PANELS: COLOR: TBD | C1 CONCRETE: COLOR "NATURAL WHITE"              | R1 MISSION TILE ROOF: 3-COLOR RANDOM BLEND - RUSTIC                        |
| P2 CEMENT PLASTER: COLOR -FRAZEE JACK-IN-THE-PULPIT, CL2885A | M2 PREFINISHED METAL: COLOR "MEDIUM BRONZE"   | S2 STONE TILE: "NATURAL LIMESTONE", COLOR "INCA GOLD" / "JURA GREY" | W2 WOOD SITE FURNITURE: COLOR: IPE-NATURAL         | C2 CONCRETE BLOCK: COLOR "NATURAL GREY"         | R2 STANDING SEAM METAL ROOF: COLOR-SEE MATERIAL BOARD (OPT, PATINA COPPER) |
| P3 CEMENT PLASTER / PRECAST: COLOR NATURAL                   | M3 PREFINISHED METAL: COLOR "SAGE" OR SIMILAR | S3 STONE TILE: COLOR "RUSTIC GOLD SLATE"                            | W3 WOOD & WOOD ACCENT: COLOR: TBD                  | C3 CONCRETE BLOCK: COLOR "SPLIT-FACE DARK GREY" |  |

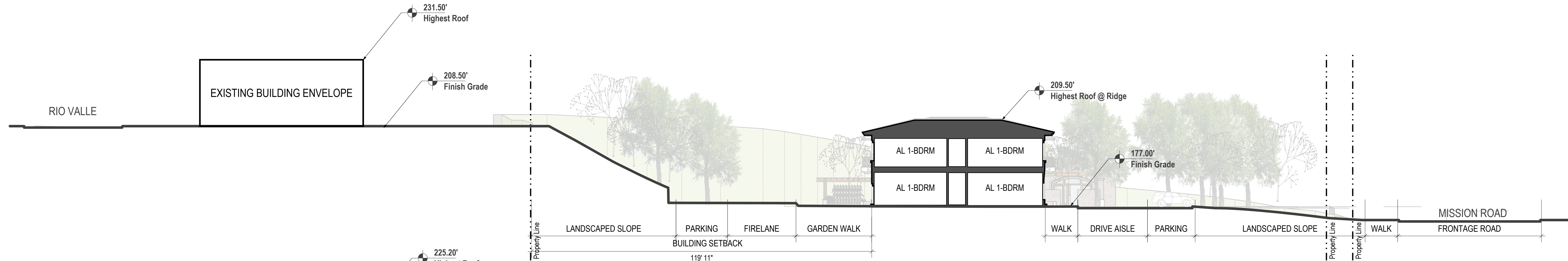


# Carefield Senior Living, Bonsall, California

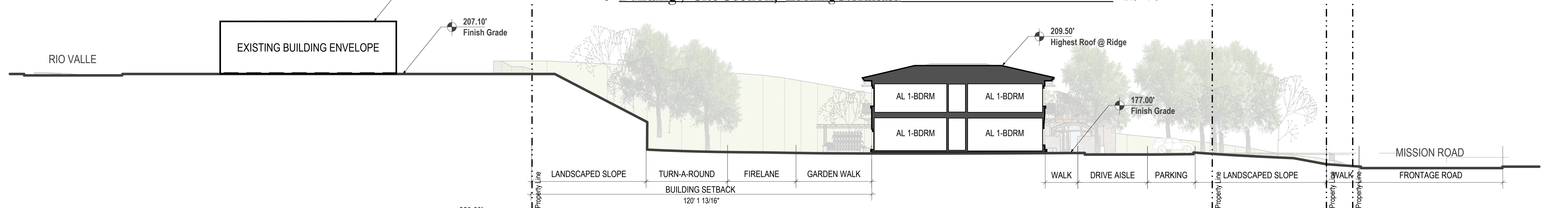
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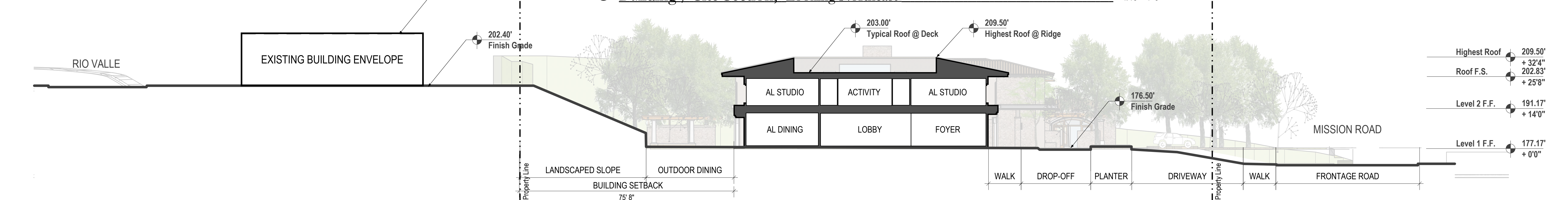




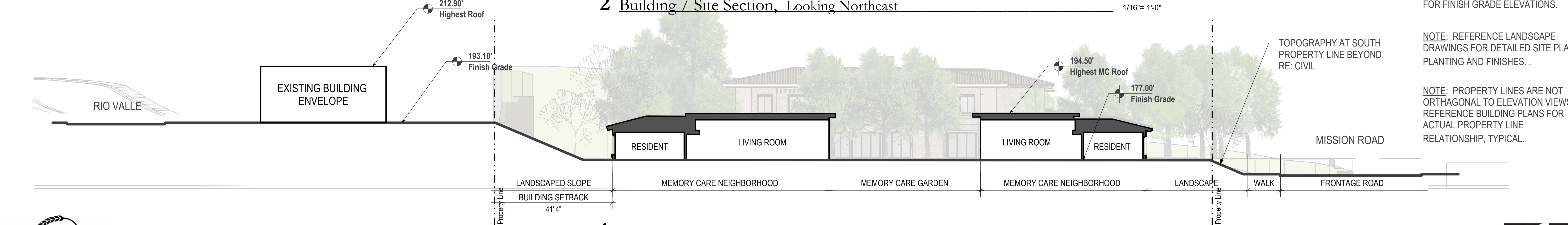
4 Building / Site Section, Looking Northeast 1/16"= 1'-0"



3 Building / Site Section, Looking Northeast 1/16"= 1'-0"



2 Building / Site Section, Looking Northeast 1/16"= 1'-0"



1 Building / Site Section, Looking Northeast 1/16"= 1'-0"

Highest Roof	209.50'
Roof F.S.	+ 32'4"
	+ 25'8"
Level 2 F.F.	191.17'
	+ 14'0"
Level 1 F.F.	177.17'
	+ 0'0"

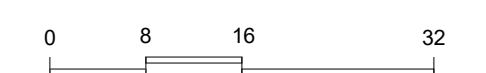
NOTE: REFERENCE CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS.

NOTE: REFERENCE LANDSCAPE DRAWINGS FOR DETAILED SITE PLAN PLANTING AND FINISHES. .

NOTE: PROPERTY LINES ARE NOT ORTHOGONAL TO ELEVATION VIEWS. REFERENCE BUILDING PLANS FOR ACTUAL PROPERTY LINE RELATIONSHIP, TYPICAL.



# Carefield Senior Living, Bonsall, California







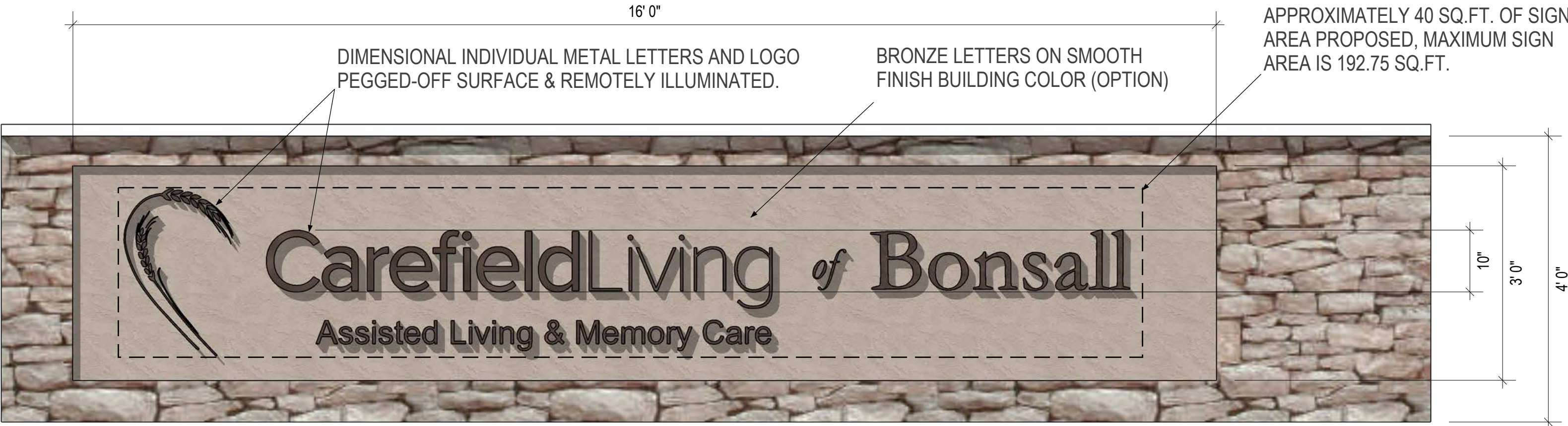
3 Preliminary Concept design at Outdoor Dining - Trellised Seat Wall



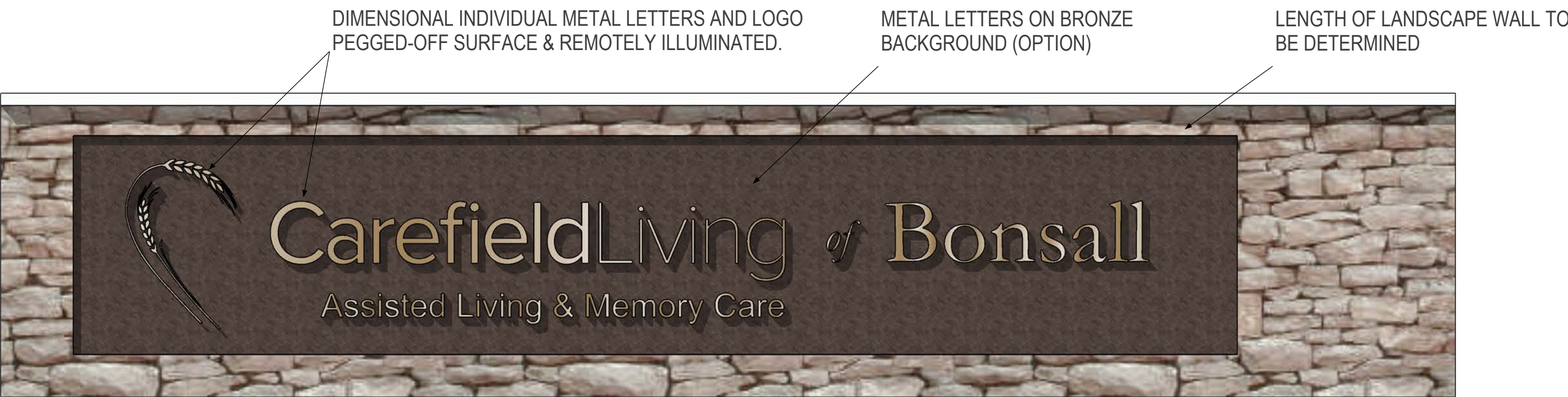
4 Preliminary Concept design at Trash/Recycling - Trellis Enclosure



3 Preliminary Concept design at Multi-purpose Building - Trellis Arcade



2 Monument Sign Elevation, at the corner of Thoroughbred Lane & Mission Road (Option) 3/4"= 1'-0"



1 Monument Sign Elevation, at the corner of Thoroughbred Lane & Mission Road (Option) 3/4"= 1'-0"

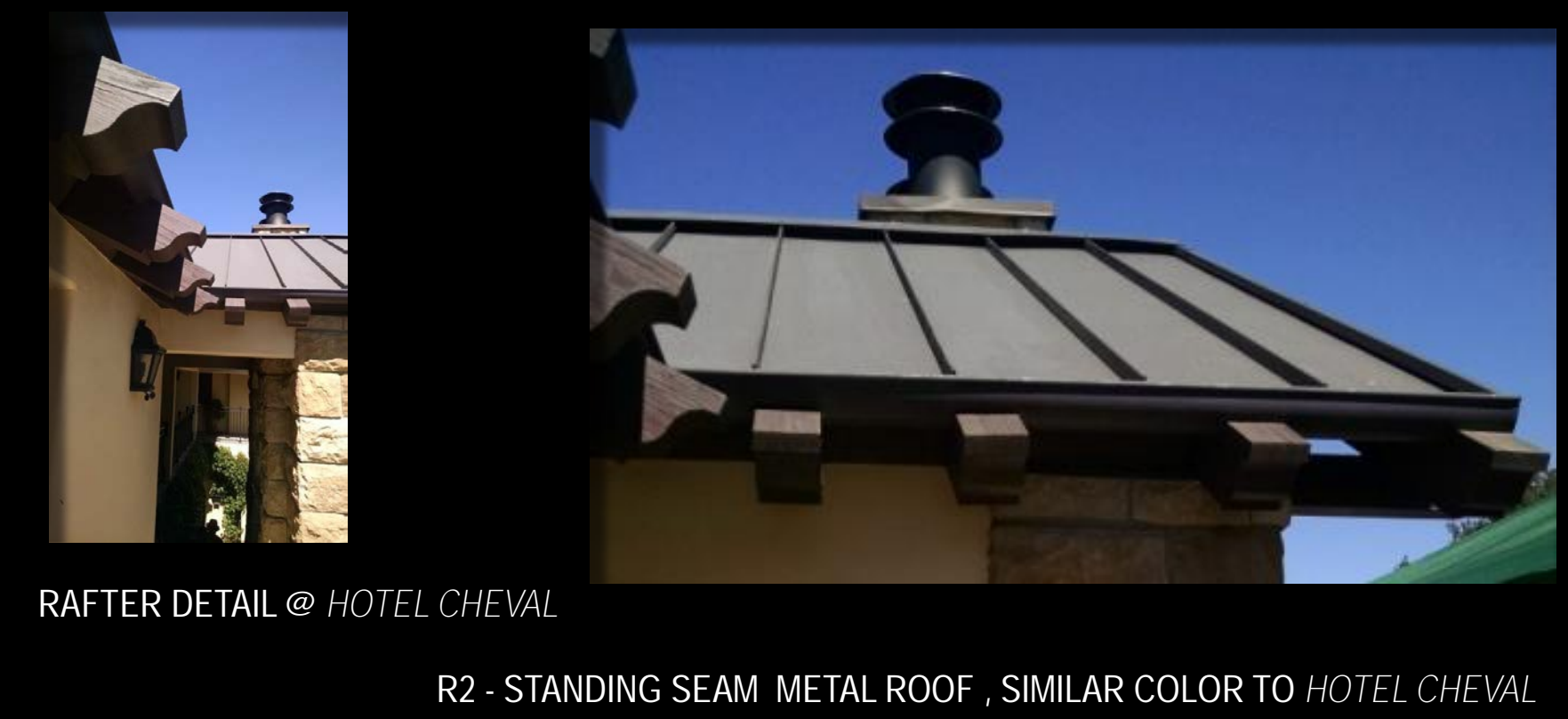
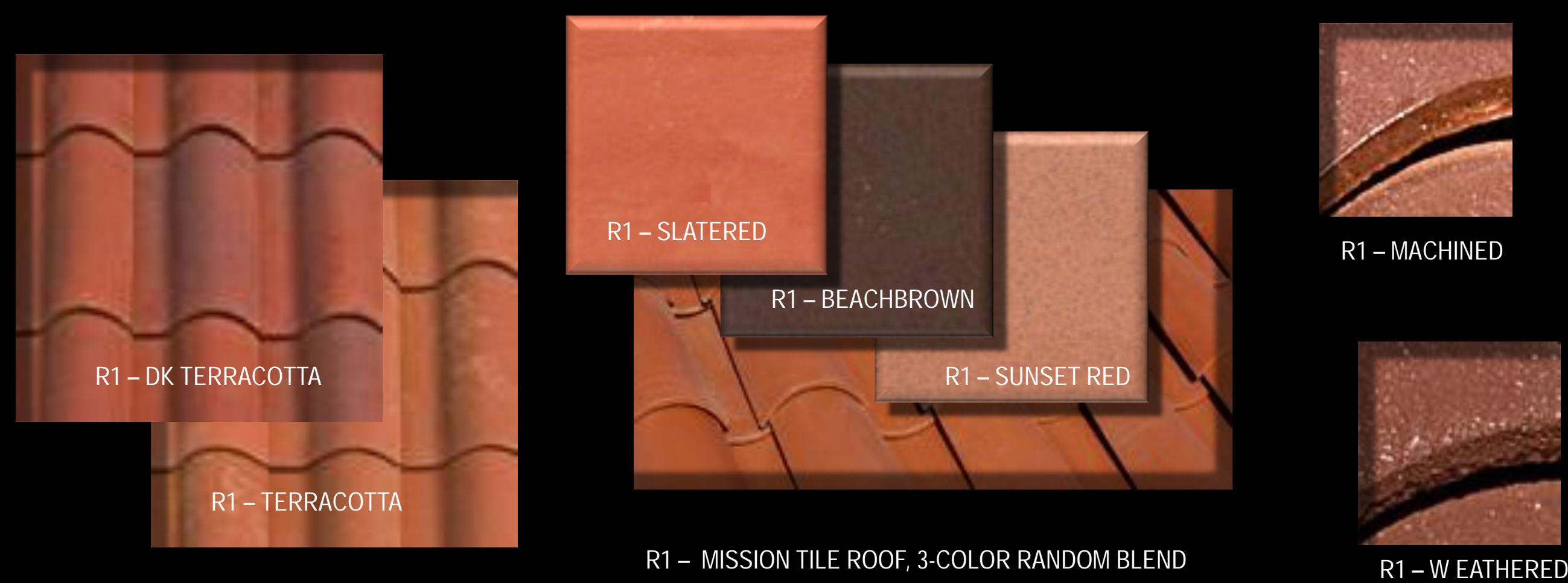
GENERAL SIGNAGE NOTES:	GENERAL SIGNAGE LIMITS:
SIGNAGE IS TO BE LOCATED ON A LOW LANDSCAPE WALL INTEGRATED WITH THE SITE AND BUILDING DESIGN.	THOROUGHbred LANE FRONTAGE IS 257 LINEAR FEET X .75 SQUARE FEET OF ALLOWABLE SIGNAGE PER FOOT EQUALS 192.75 SQUARE FEET OF SIGNAGE ALLOWED.
SIGNAGE WILL BE LOCATED SO AS TO NOT BLOCK DRIVEWAY OR STREET VIEWS OF ONCOMING TRAFFIC. TYPICAL FOR VEHICULAR AND PEDESTRIAN VIEWS.	MAXIMUM MONUMENT SIGN HEIGHT IS 4'-0".
ILLUMINATION WILL BE PROJECTED ONTO THE SIGN FACE. THE LIGHT SOURCE WILL BE FULLY SHIELDED FROM VIEW.	MAXIMUM LETTER & SYMBOL HEIGHT IS 10".
THE TOTAL NUMBER OF COLORS SHALL BE LIMITED TO 3 AND NO REFLECTIVE OR BRIGHT COLORS WILL BE AVOIDED.	



# Carefield Senior Living, Bonsall, California







"Warm tones of brown, green, gold, russet and sand are a hallmark of Tuscan style"



SITE WALLS: SPLIT FACE CMU WITH SMOOTH, GROUND AND/OR POLISHED ACCENTS

CONTEMPORARY TUSCAN DETAILS @ HOTEL CHEVAL

"Tuscan is an Old World style of design that is inspired by the rolling hills of Tuscany, with its plentiful vineyards, farmhouses & tile roofs. The raw textures and rich colors of nature guide the Tuscan style."

"With its earthy tones and natural elements such as wood, stone and iron", "Tuscan design is strong, simple, romantic and rustic all at the same time."





