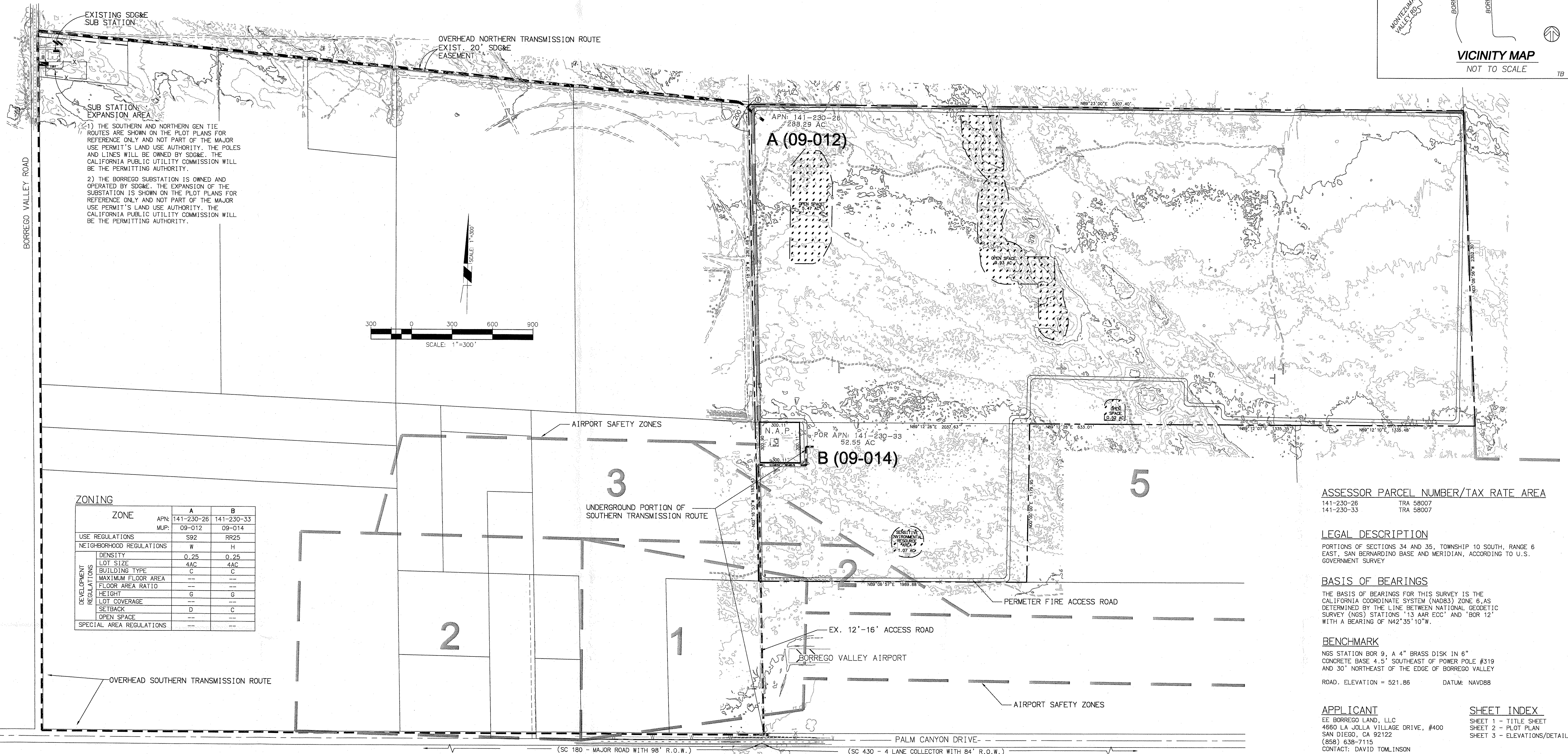
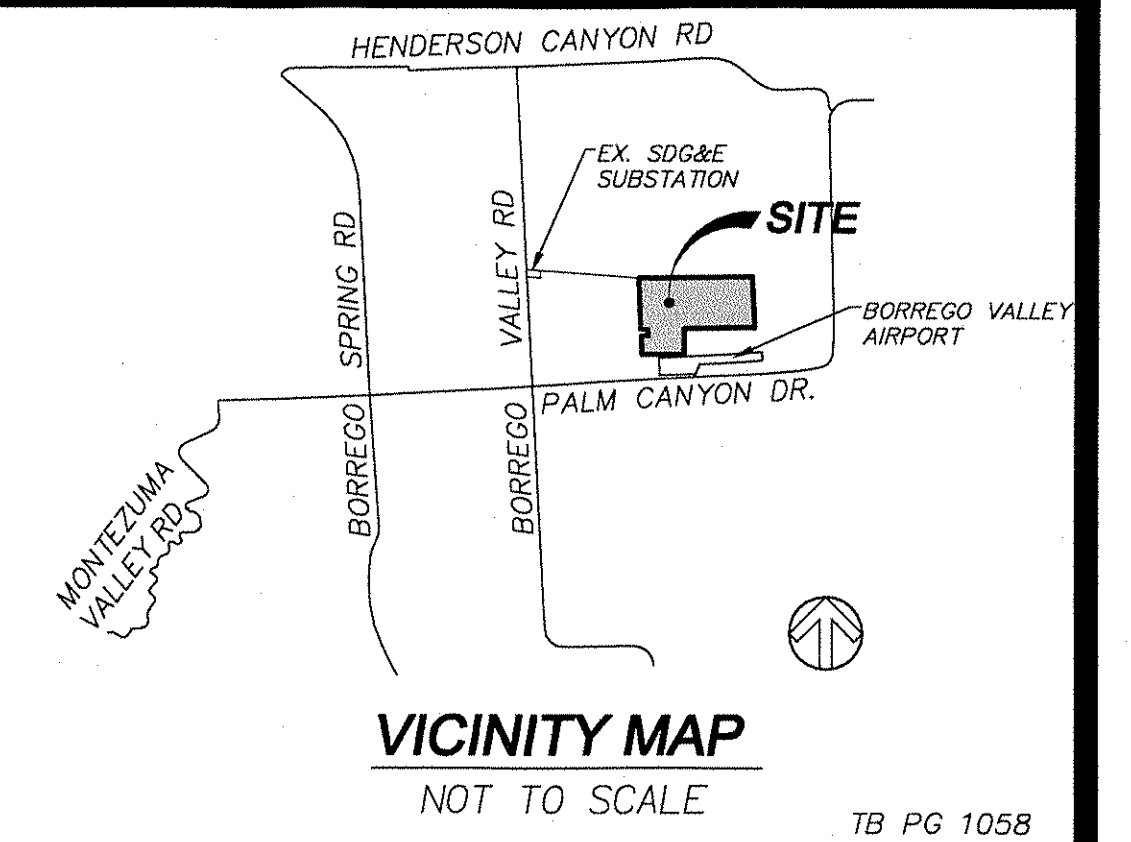


MAJOR USE PERMIT PLOT PLAN



ZONING		
ZONE	A	B
APN: 141-230-26	09-012	141-230-33
MUP: 09-012	09-014	
USE REGULATIONS	S92	RR25
NEIGHBORHOOD REGULATIONS	W	H
DENSITY	0.25	0.25
LOT SIZE	4AC	4AC
BUILDING TYPE	C	C
MAXIMUM FLOOR AREA	---	---
FLOOR AREA RATIO	---	---
HEIGHT	G	G
LOT COVERAGE	---	---
SETBACK	D	C
OPEN SPACE	---	---
SPECIAL AREA REGULATIONS	---	---

ASSESSOR PARCEL NUMBER/TAX RATE AREA
141-230-26 TRA 58007
141-230-33 TRA 58007

LEGAL DESCRIPTION
PORTIONS OF SECTIONS 34 AND 35, TOWNSHIP 10 SOUTH, RANGE 6 EAST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO U.S. GOVERNMENT SURVEY

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (NAD83) ZONE 6, AS DETERMINED BY THE LINE BETWEEN NATIONAL GEOGRAPHIC SURVEY (NGS) STATIONS '13 AAR ECC' AND 'BOR 12' WITH A BEARING OF N42°35'10"W.

BENCHMARK
NGS STATION BOR 9, A 4" BRASS DISK IN 6" CONCRETE BASE, 4.5' SOUTHEAST OF POWER POLE #319 AND 30' NORTHEAST OF THE EDGE OF BORRERO VALLEY ROAD. ELEVATION = 521.86 DATUM: NAVD88

APPLICANT
EE BORRERO LAND, LLC
4560 LA JOLLA VILLAGE DRIVE, #400
SAN DIEGO, CA 92122
(858) 638-7115
CONTACT: DAVID TOMLINSON

THE FOLLOWING APPLICATION

☐ Tentative Map No. _____

☐ Tentative Parcel Map No. _____

☐ Preliminary Grading Plan No. _____

☒ Site Plan No. **380 09-012/09-014**

☐ Other No. _____

Was approved on **1-12-11** by _____

☐ The Director of Planning and Land Use

☐ The Zoning Administrator

☐ The San Diego Planning Commission

☐ The San Diego County Board of Supervisors

BY _____ Name _____ Title _____

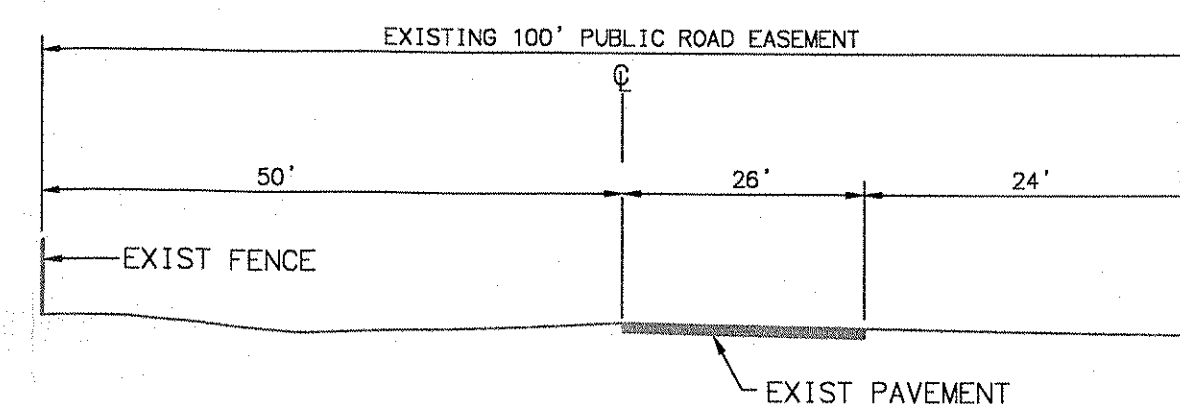
No. Sheets **3**

NOTES

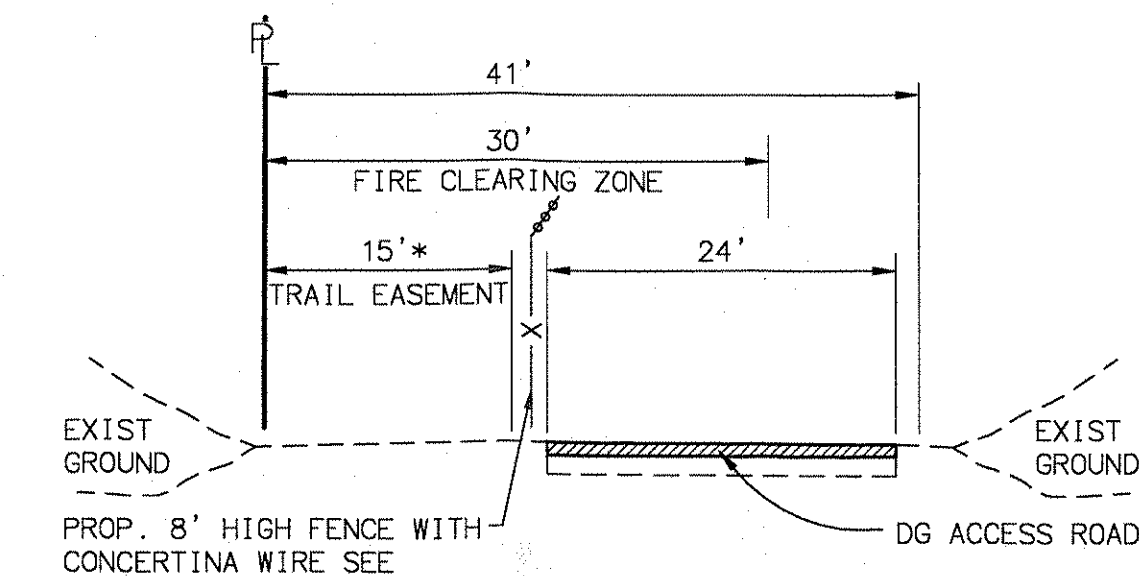
- GROSS AREA: 340.84 ACRES
- NET AREA: 338.55 ACRES
- TOPOGRAPHIC SOURCE: VERTICAL MAPPING, FLOWN 5/8/09
- ASSOCIATED REQUESTS: NONE
- THE APPROVAL OF THIS MAJOR USE PERMIT (MUP) AUTHORIZES THE FOLLOWING: CONSTRUCTION, OPERATION, AND MAINTENANCE OF A PHOTOVOLTAIC SOLAR FARM PURSUANT TO SECTION 1350 AND 2185a, 2525a, 2925a, OF THE SAN DIEGO COUNTY ZONING ORDINANCE.
- THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMITS BEFORE COMMENCING SUCH ACTIVITY.
- ALL BUILDINGS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (CONCRETE, BLOCK, METAL) OR SIMILAR.
- NO LANDSCAPING PROPOSED.
- LIGHTING FOR MAINTENANCE AND SECURITY PURPOSES ONLY. SHIELDED LIGHTING LOCATED AT GATES AND SUBSTATION BUILDING AND SHALL CONFORM TO COUNTY OF SAN DIEGO OUTDOOR LIGHTING REQUIREMENTS. SEE DETAIL ON SHEET 3.
- PHASING - PROJECT WILL BE IMPLEMENTED IN SEVERAL PHASES WITHOUT REGARD TO SEQUENCE.
- ALL DISTURBED AREAS WOULD BE COVERED WITH GRAVEL OR A BINDING AGENT TO REDUCE DUST.
- SEE PRELIMINARY GRADING PLAN FOR PROPOSED GRADING.
- NO SIGNAGE PROPOSED, EXCEPT FOR DIRECTIONAL AND SAFETY SIGNAGE.
- NO DEVELOPMENT WILL OCCUR IN THE AREAS IDENTIFIED ON THE PLOT PLAN AS "UNDISTURBED AREA".
- SEE SHEET 2 FOR LEGEND.
- THE ENTIRE SITE IS SUBJECT TO INUNDATION BY THE 100-YEAR FLOOD AND IS WITHIN FEMA MAP NO. 06073C0675F THE LIMITS OF THE 100-YEAR FLOOD ALONG THE WATERCOURSE WHICH FLOWS THROUGH THE PROPERTY.
- ALL SITE ACCESS GATES (2 EXISTING & 1 PROPOSED) TO BE EQUIPPED WITH FIRE DEPARTMENT APPROVED STROBE LIGHT ACTIVATION AND KNOX KEY-OPERATED SWITCH.
- THE SOLAR RELATED FACILITIES (PANELS, RACKING, ELECTRICAL CONNECTIONS, INVERTER STRUCTURES, STORAGE BUILDING, SUBSTATION, CONTROL ROOMS, FENCING, AND INTERNAL ACCESS, ETC.) SHOWN ON THE PLOT PLAN MAY BE RELOCATED, RECONFIGURED, AND/OR RESIZED WITHIN SOLAR FACILITY DEVELOPMENT AREA (EXCLUSIVE OF THE OPEN SPACE AREAS) WITH THE ADMINISTRATIVE APPROVAL OF THE DIRECTOR OF DPLU WHEN FOUND IN CONFORMANCE WITH THE INTENT AND CONDITIONS OF PERMIT'S APPROVAL.
- THE ENTIRETY OF THE PARCEL ENCOMBERED BY MUP 09-012 (APN 141-230-26-00) IS SUBJECT TO THE RESTRICTIONS AND TERMS OF A COUNTY AVIGATION EASEMENT.
- TOTAL SOLAR PANEL HEIGHT WILL NOT EXCEED 10 FEET IN EITHER OF THE 2 OR 3 PANEL SYSTEM.

PROJECT SITE & SURROUNDINGS

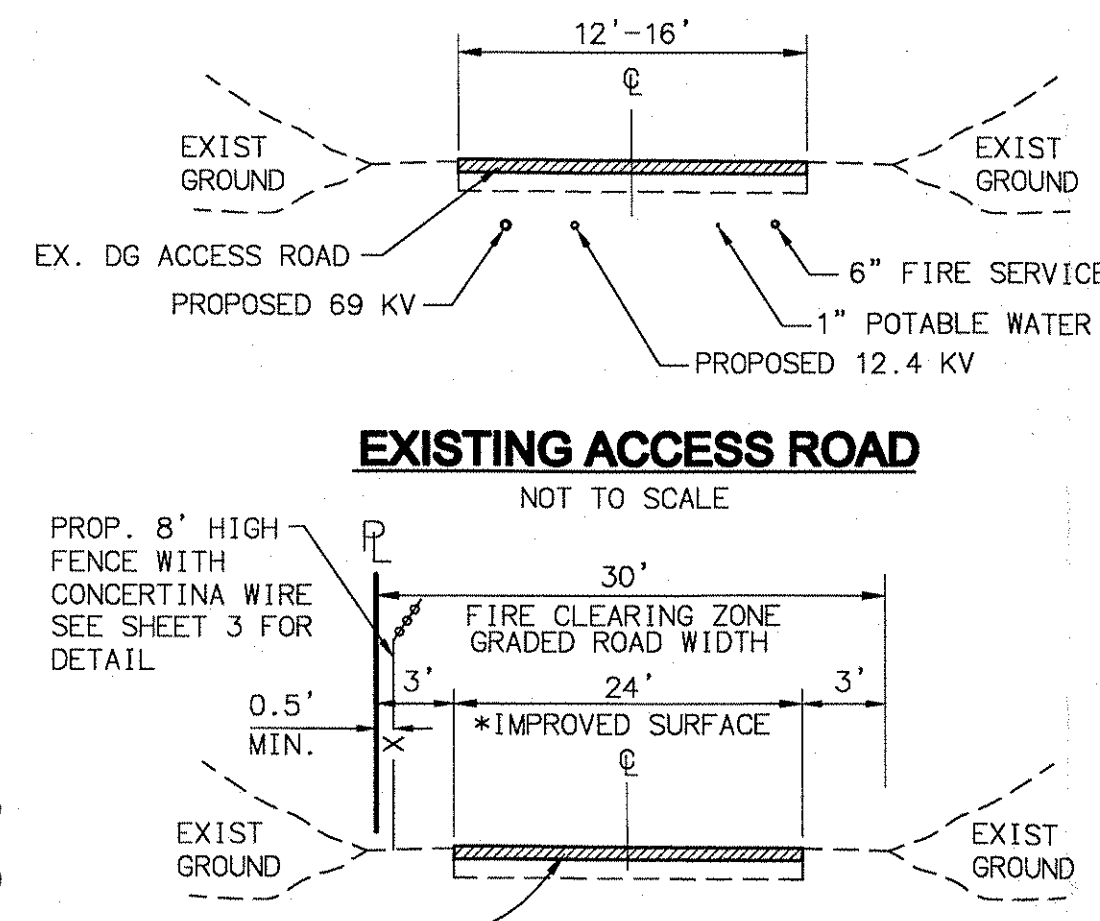
SCALE: 1"=300'



TYPICAL SECTION
PERIMETER FIRE ACCESS ROAD
WITH TRAIL EASEMENT
NOT TO SCALE



TYPICAL SECTION
PERIMETER FIRE ACCESS ROAD
NOT TO SCALE



TYPICAL SECTION
PERIMETER FIRE ACCESS ROAD
NOT TO SCALE

PHOTOVOLTAIC
SOLAR FARM
BORRERO SPRINGS, CA
MUP PLOT PLAN 09-012 & 09-014
ER NO. 09-05-001 - RPL2

September 21, 2010
SHEET 1 OF 3

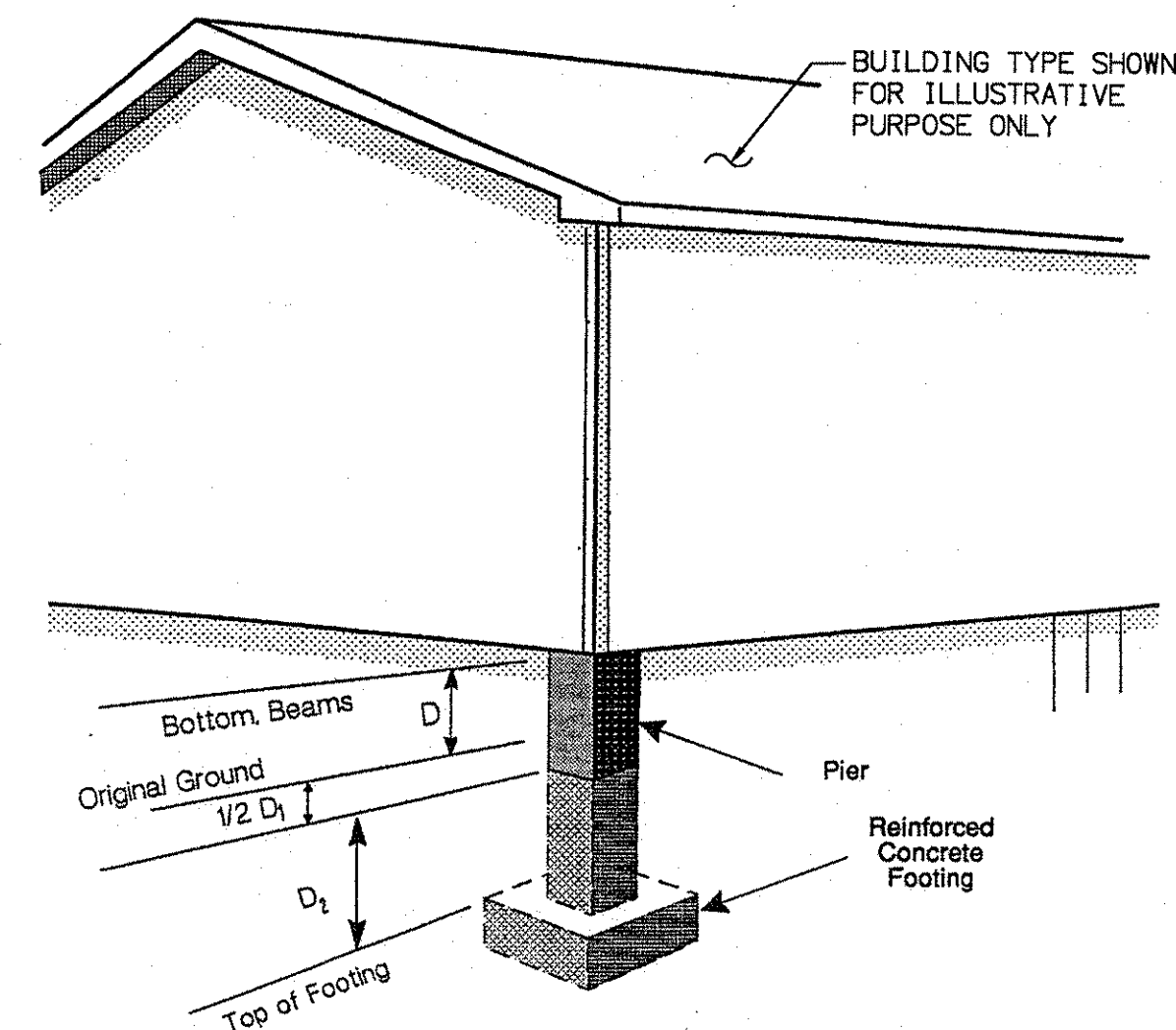
TITLE SHEET
RBF CONSULTING

3/14/2011 10:54 AM KBTJTS 3/14/2011 10:54 AM

MAJOR USE PERMIT PLOT PLAN

D. Pier Scour
Depth of Scour (feet)

Velocity (fps)	4	6	8	10	12
1	.75	1.00	1.25	1.50	1.75
2	1.00	1.25	1.50	1.75	2.00
4	1.50	1.75	2.00	2.25	2.75
6	1.75	2.00	2.50	2.75	3.25
8	2.00	2.25	2.75	3.25	3.50
10	2.25	2.50	3.00	3.50	4.00
15	2.50	3.00	3.50	4.00	4.50



OPTION - PIER FOUNDATION

Depth of Erosion Protection

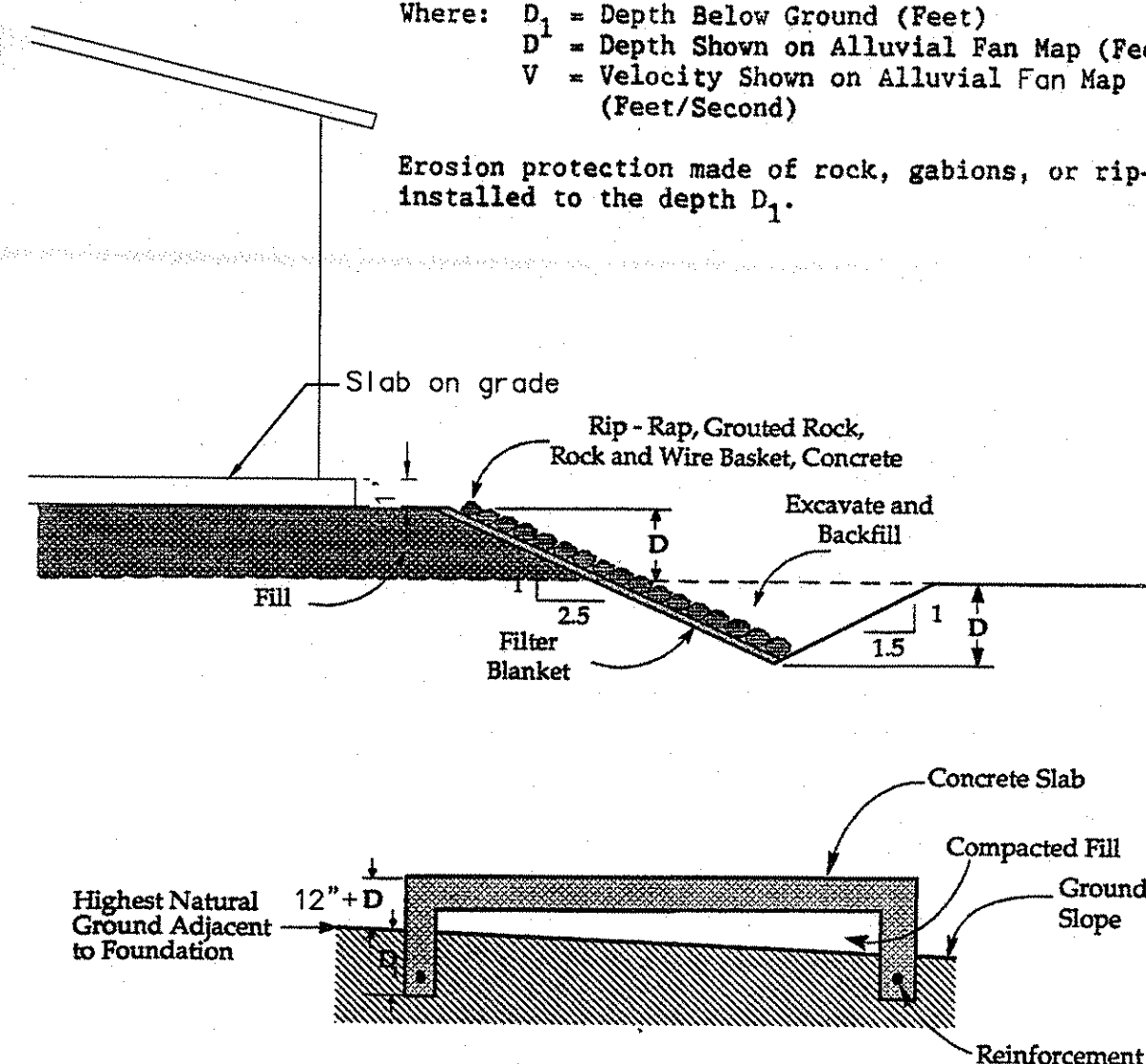
Footings for slab foundations must be constructed to a depth below the prevailing ground level as shown in Figure II-1 Sht. 1. The necessary depth of construction for these footings is based on the Borrego Valley Alluvial Fan Map.

The flood depth (D) shown for the particular location is converted to a construction depth (D₁) based on the velocity shown on the map, using the following table:

Velocity (V)	Construction Depth (D ₁)
4 Feet/Second	D ₁ = D
6 Feet/Second	D ₁ = D
8 Feet/Second	D ₁ = 1.8 X D
Over 8 Feet/Second	Study Required

Where: D₁ = Depth Below Ground (Feet)
D = Depth Shown on Alluvial Fan Map (Feet)
V = Velocity Shown on Alluvial Fan Map (Feet/Second)

Erosion protection made of rock, gabions, or rip-rap must be installed to the depth D₁.

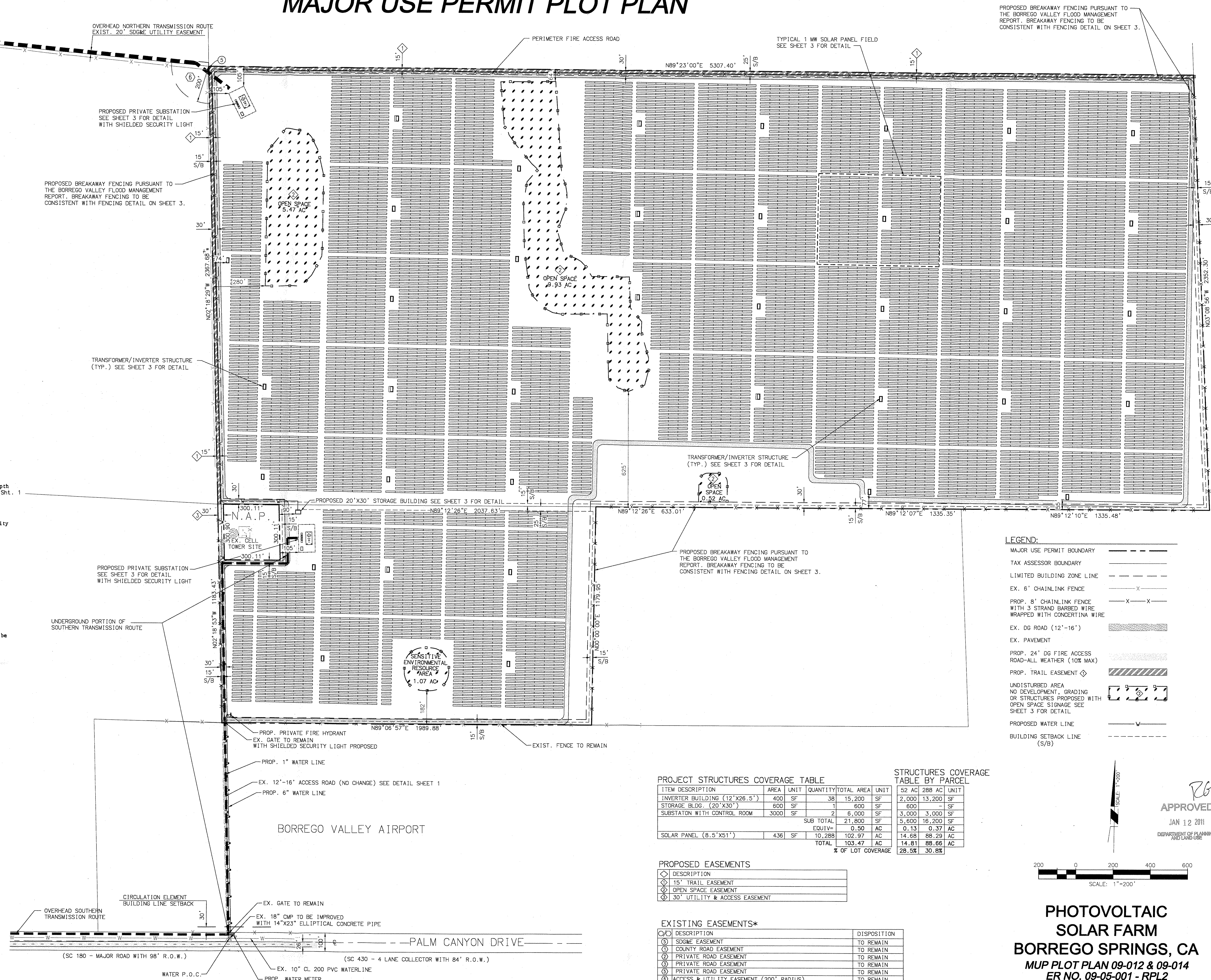


OPTION - SLAB ON GRADE FOUNDATION

TYPICAL SECTION FOUNDATION FOOTING OPTIONS INVERTER/TRANSFORMER STRUCTURE STORAGE BUILDING & CONTROL ROOM

N.T.S.
SOURCE: BORRERO VALLEY FLOOD MANAGEMENT REPORT DATED OCT. 1989

NOTE: EITHER A SLAB ON GRADE FOUNDATION WITH FILL OR A PIER FOUNDATION DESIGN MAY BE USED. IF THE SLAB ON GRADE DESIGN IS SELECTED, THEN THE PROJECT WILL BE CONDITIONED TO PREPARE A CLOMR/LOMR TO ADDRESS THE PLACEMENT OF FILL UNDER THE STRUCTURE. IF A PIER FOUNDATION DESIGN IS SELECTED TO RAISE THE BUILDINGS SO THEY ARE AT LEAST 1' ABOVE THE BASE FLOOD ELEVATION, THEN A CLOMR/LOMR PROCESS IS NOT NEEDED.



PROJECT STRUCTURES COVERAGE TABLE

ITEM DESCRIPTION	AREA	UNIT	QUANTITY	TOTAL AREA	UNIT
INVERTER BUILDING (12'X26.5')	400	SF	38	15,200	SF
STORAGE BLDG. (20'X30')	600	SF	1	600	SF
SUBSTATION WITH CONTROL ROOM	3000	SF	2	6,000	SF
				21,800	SF
				0.50	AC
SOLAR PANEL (8.5'X51')	436	SF	10,288	102.97	AC
				14.81	AC
				14.81	AC
				28.5%	AC
				30.8%	AC

STRUCTURES COVERAGE TABLE BY PARCEL

ITEM DESCRIPTION	AREA	UNIT	QUANTITY	TOTAL AREA	UNIT
INVERTER BUILDING (12'X26.5')	400	SF	38	15,200	SF
STORAGE BLDG. (20'X30')	600	SF	1	600	SF
SUBSTATION WITH CONTROL ROOM	3000	SF	2	6,000	SF
				21,800	SF
				0.50	AC
SOLAR PANEL (8.5'X51')	436	SF	10,288	102.97	AC
				14.81	AC
				14.81	AC
				28.5%	AC
				30.8%	AC

PROPOSED EASEMENTS

DESCRIPTION
15' TRAIL EASEMENT
OPEN SPACE EASEMENT
30' UTILITY & ACCESS EASEMENT

EXISTING EASEMENTS*

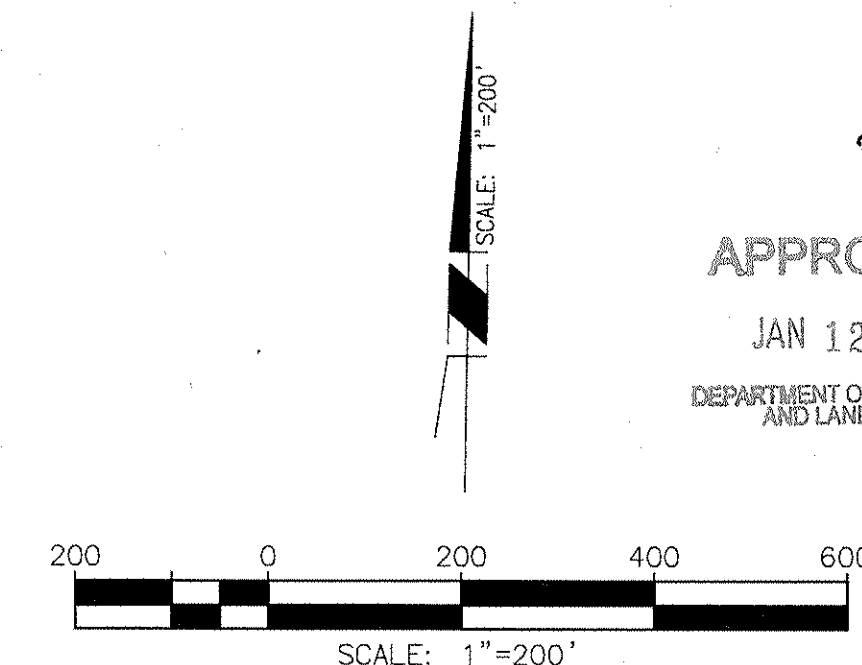
DESCRIPTION	DISPOSITION
SDG&E EASEMENT	TO REMAIN
COUNTY ROAD EASEMENT	TO REMAIN
PRIVATE ROAD EASEMENT	TO REMAIN
PRIVATE ROAD EASEMENT	TO REMAIN
PRIVATE ROAD EASEMENT	TO REMAIN
ACCESS & UTILITY EASEMENT (200' RADIUS)	TO REMAIN

* BASED ON DATA FROM PRELIMINARY TITLE REPORT BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO. 08-4032574, DATED JANUARY 29, 2009.
* BASED ON DATA FROM PRELIMINARY TITLE REPORT BY LAWYERS TITLE COMPANY, ORDER NO. 39310626, DATED JANUARY 12, 2009.

PROPOSED BREAKAWAY FENCING PURSUANT TO THE BORRERO VALLEY FLOOD MANAGEMENT REPORT. BREAKAWAY FENCING TO BE CONSISTENT WITH FENCING DETAIL ON SHEET 3.

LEGEND:

MAJOR USE PERMIT BOUNDARY	---
TAX ASSESSOR BOUNDARY	---
LIMITED BUILDING ZONE LINE	---
EX. 6" CHAINLINK FENCE	---
PROP. 8" CHAINLINK FENCE WITH 3 STRAND BARBED WIRE WRAPPED WITH CONCERTINA WIRE	---
EX. DG ROAD (12'-16')	---
EX. PAVEMENT	---
PROP. 24" DG FIRE ACCESS ROAD-ALL WEATHER (10% MAX)	---
PROP. TRAIL EASEMENT	---
UNDISTURBED AREA NO DEVELOPMENT, GRADING OR STRUCTURES PROPOSED WITH OPEN SPACE STORAGE SEE SHEET 3 FOR DETAIL	---
PROPOSED WATER LINE	---
BUILDING SETBACK LINE (S/B)	---

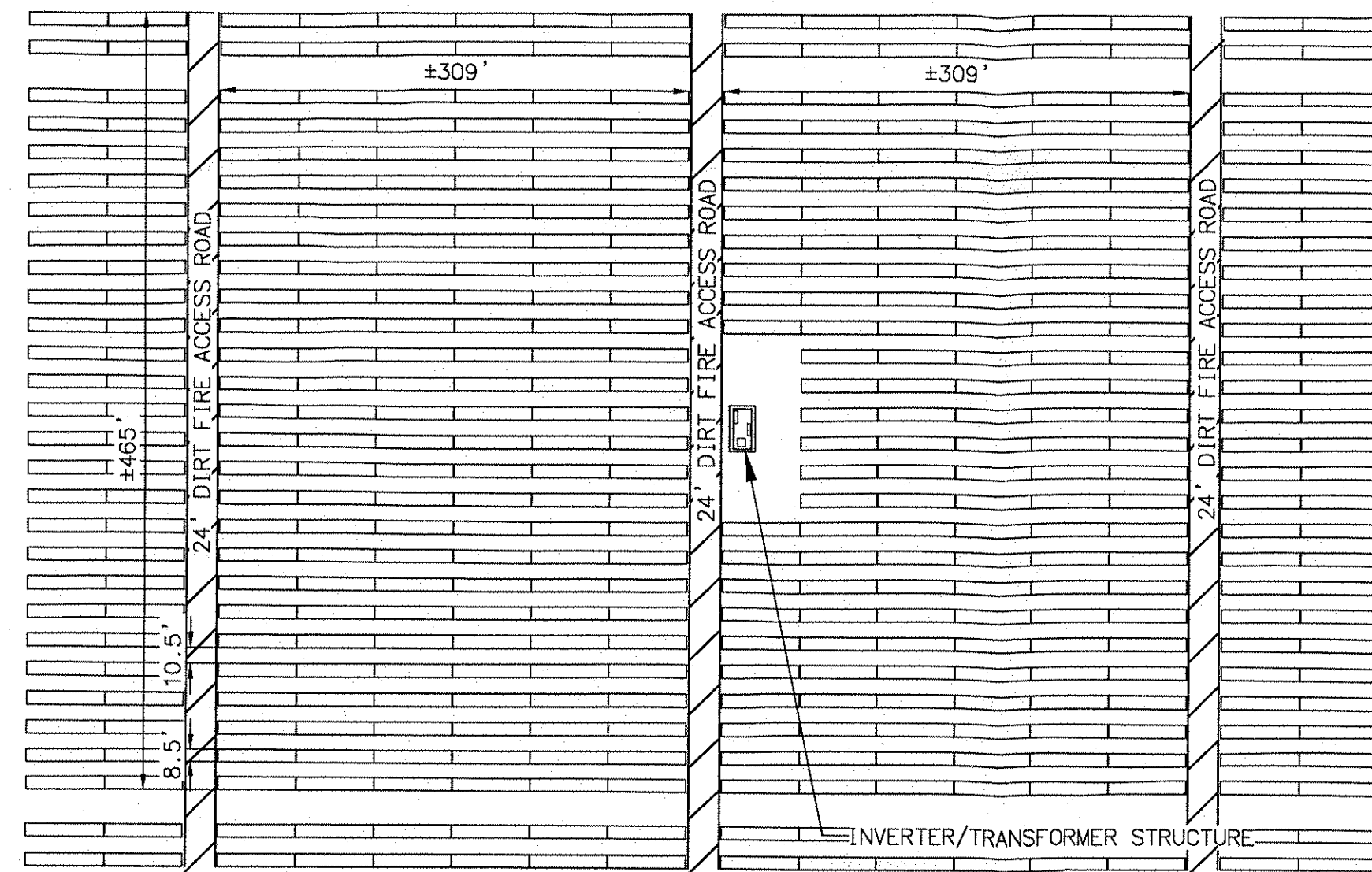


PHOTOVOLTAIC SOLAR FARM
BORRERO SPRINGS, CA
MUP PLOT PLAN 09-012 & 09-014
ER NO. 09-05-001 - RPL2
PLOT PLAN

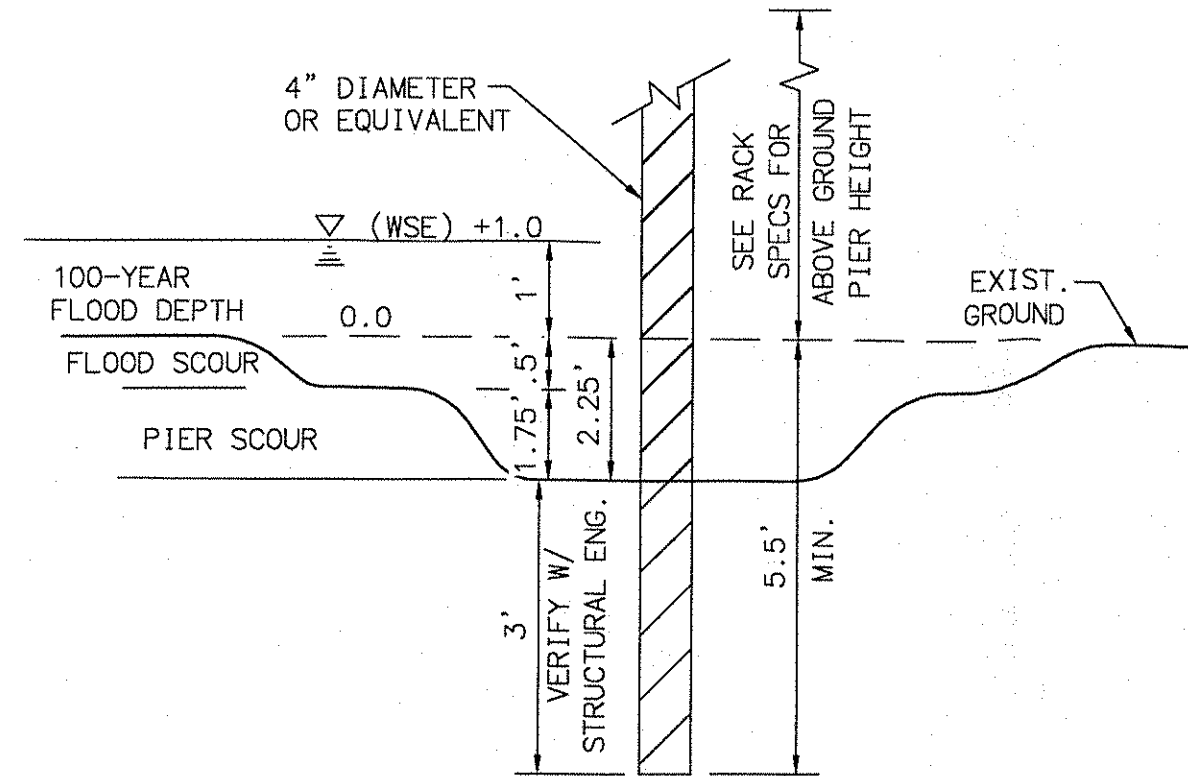
September 21, 2010
SHEET 2 OF 3

RBF CONSULTING
PLANNING • DESIGN • CONSTRUCTION
975 CLAREMONT AVENUE, SUITE 100
SAN DIEGO, CALIFORNIA 92104-1004
619.594.5000 • FAX 619.594.5001 • WWW.RBF.COM

MAJOR USE PERMIT PLOT PLAN

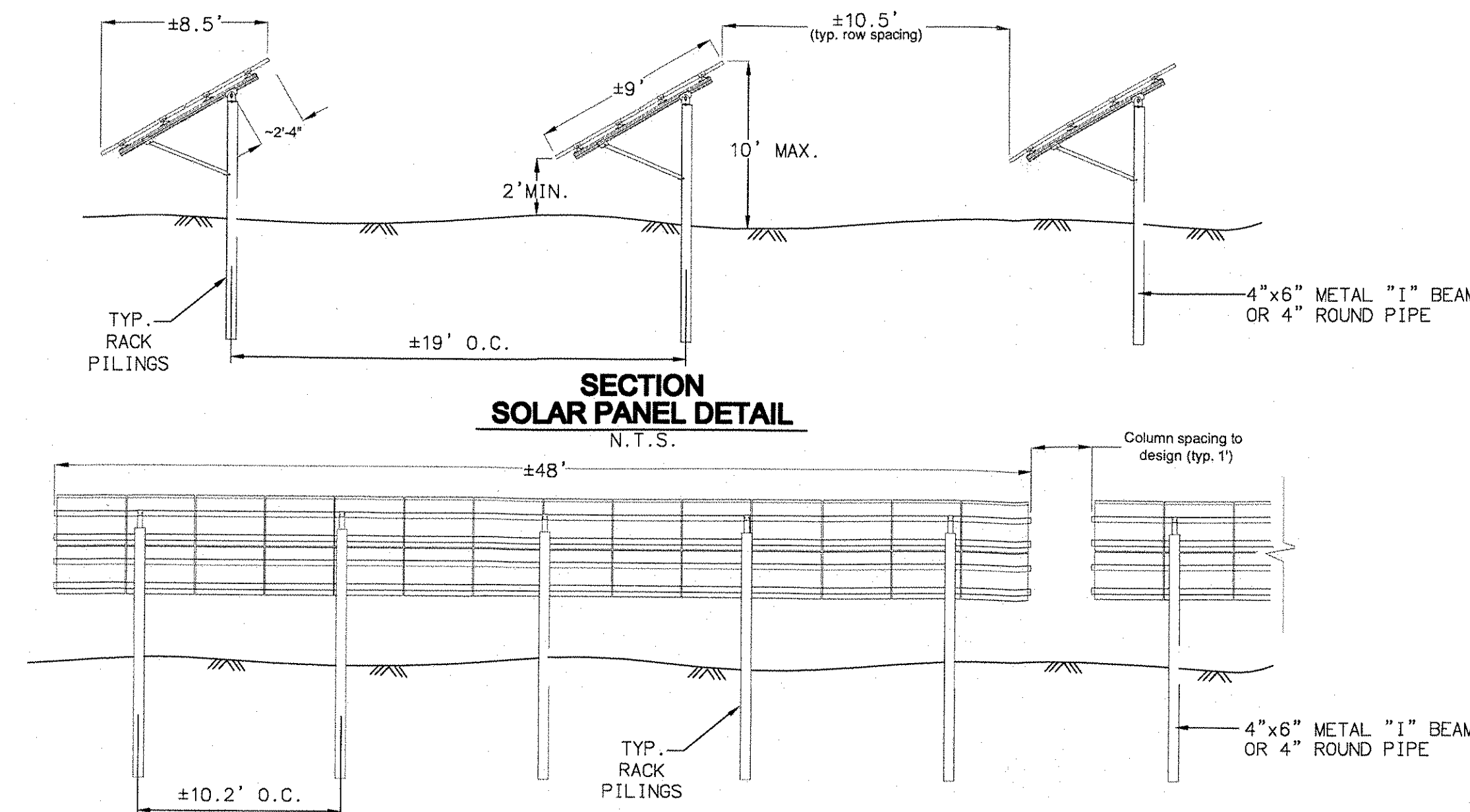


**TYPICAL LAYOUT
SOLAR PANEL ARRAY FIELD**
N.T.S.



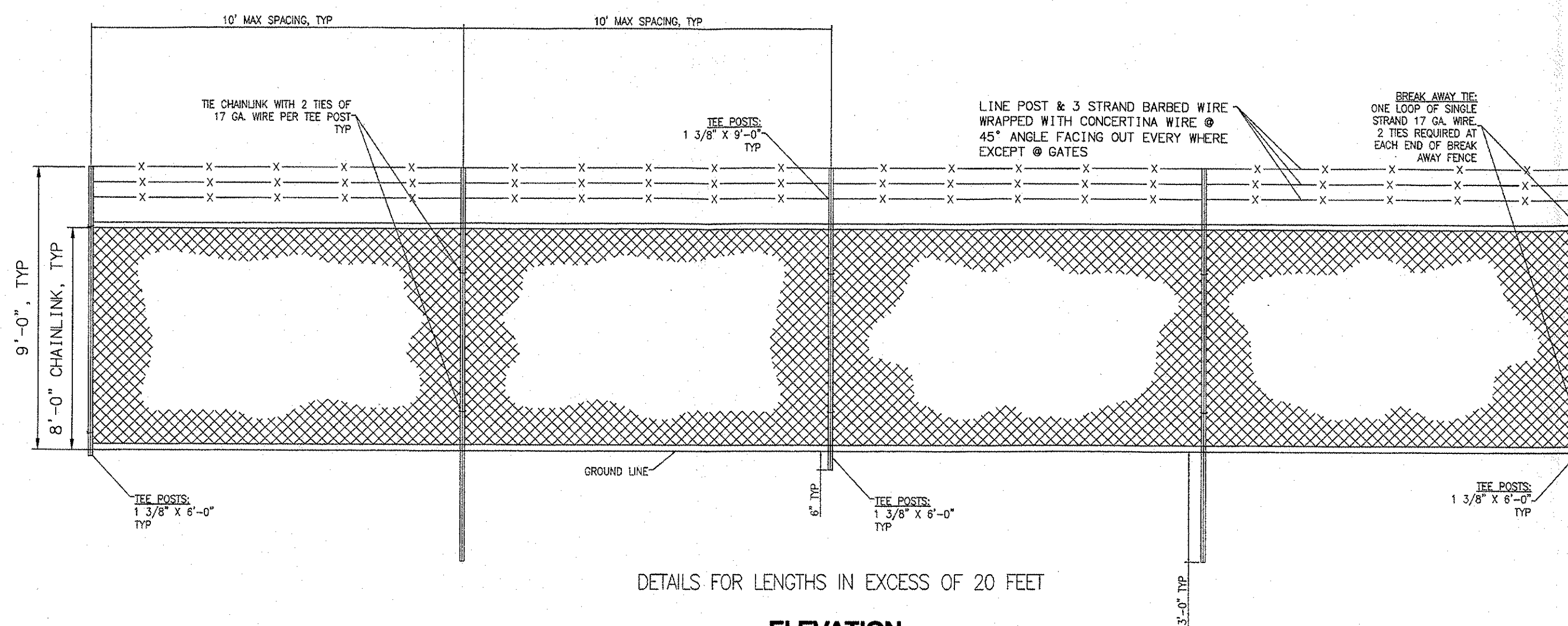
**TYPICAL SECTION
SOLAR PANEL RACK**
N.T.S.

SOURCE: BORRERO VALLEY FLOOD
MANAGEMENT REPORT
DATED OCT. 1989



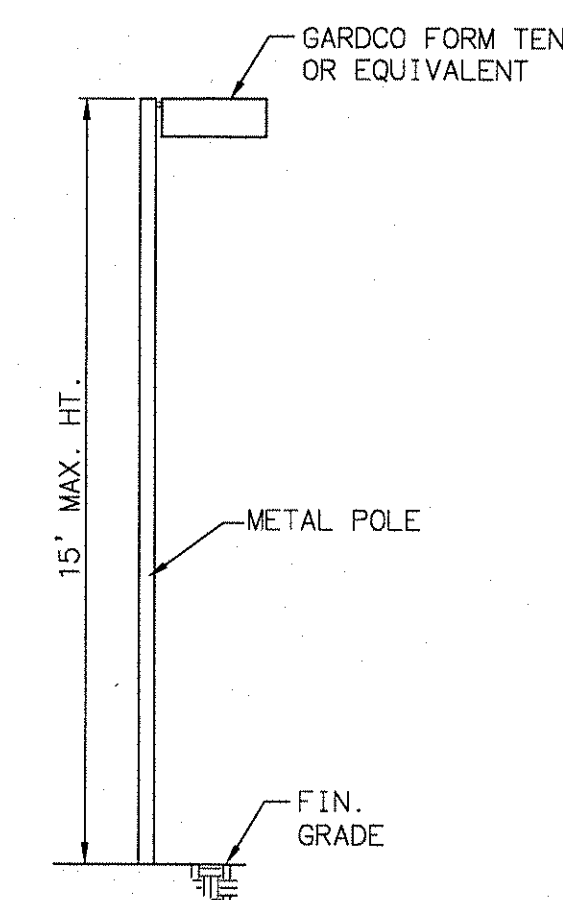
**ELEVATION
SOLAR PANEL RACK DETAIL**
N.T.S.

ARRANGEMENT/NUMBER OF PHOTOVOLTAIC PANELS, SPACING OF SUPPORTING
RACKS AND RACK PILING ARE SHOWN TO ILLUSTRATE THE GENERAL
CONFIGURATION OF THE PROPOSED SOLAR COLLECTION SYSTEM AND ARE
SUBJECT TO MODIFICATIONS AT FINAL ENGINEERING DESIGN.



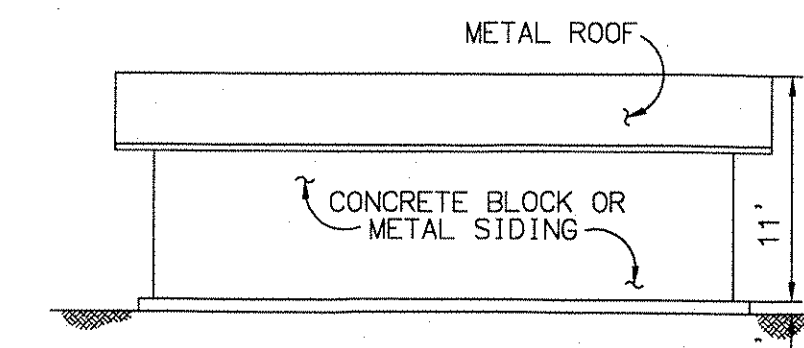
DETAILS FOR LENGTHS IN EXCESS OF 20 FEET

**ELEVATION
BREAKAWAY FENCING DETAIL**
N.T.S.

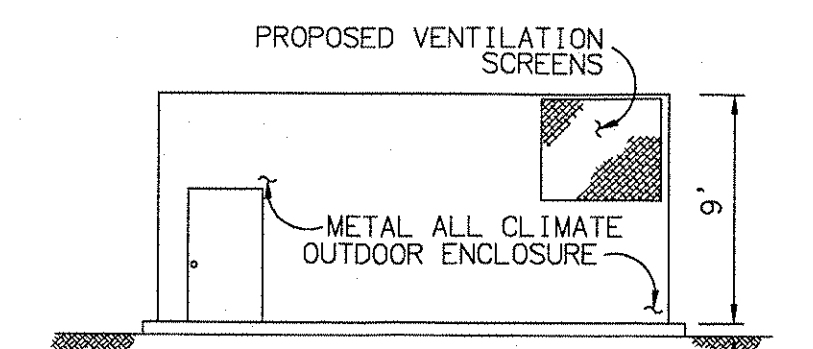


**TYPICAL
MOTION-ACTIVATED
LPS SECURITY FLOOD LIGHT**
N.T.S.

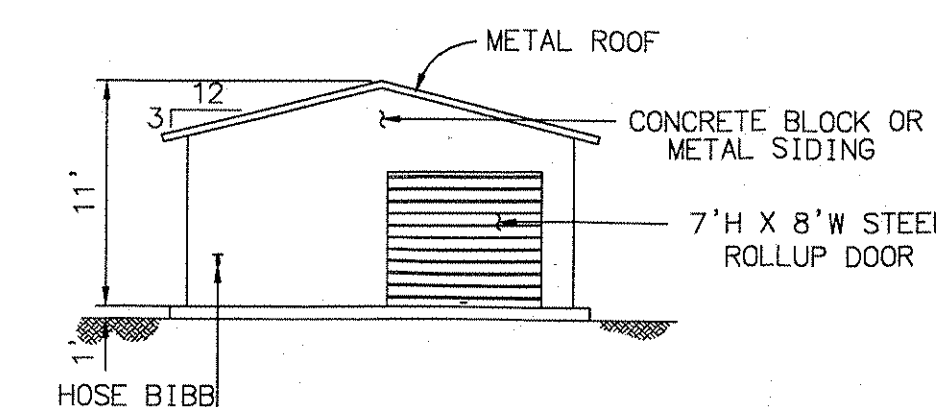
- 15' MAXIMUM HEIGHT
- 200 WATT MAXIMUM LOW PRESSURE SODIUM
- LOCATIONS:
MAIN SITE ENTRY (1)
ENTRANCE TO SUBSTATION (2)



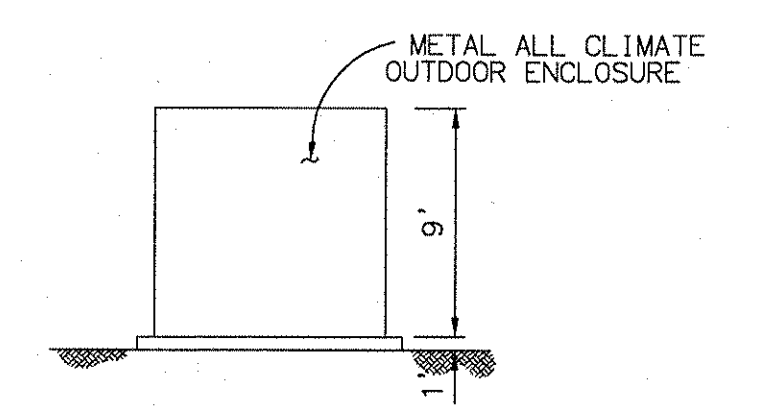
**EAST ELEVATION
STORAGE STRUCTURE**
N.T.S.



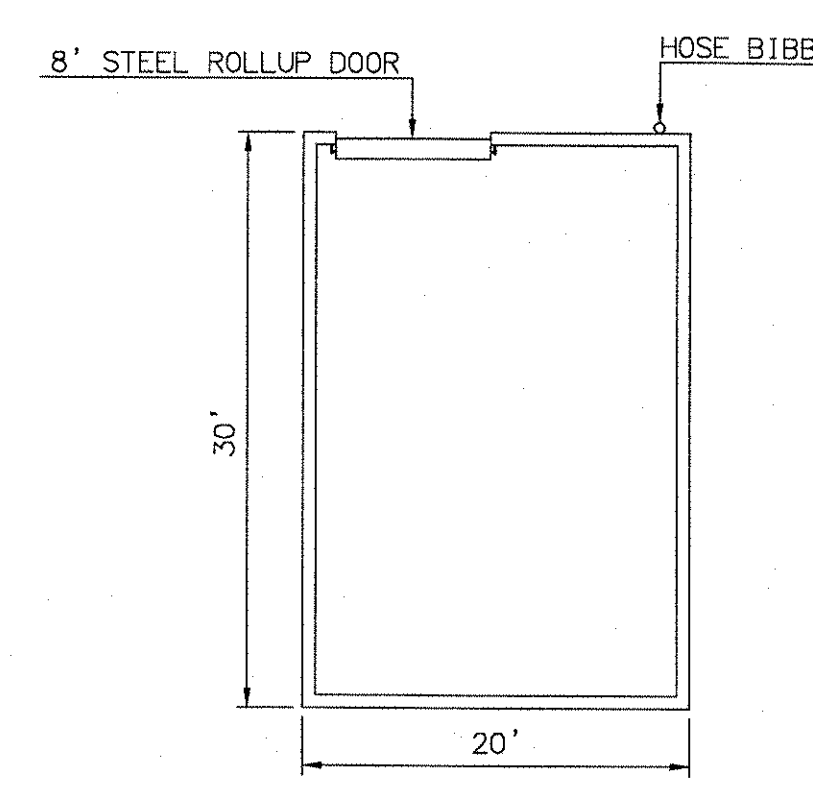
**EAST ELEVATION
INVERTER/TRANSFORMER STRUCTURE**
N.T.S.



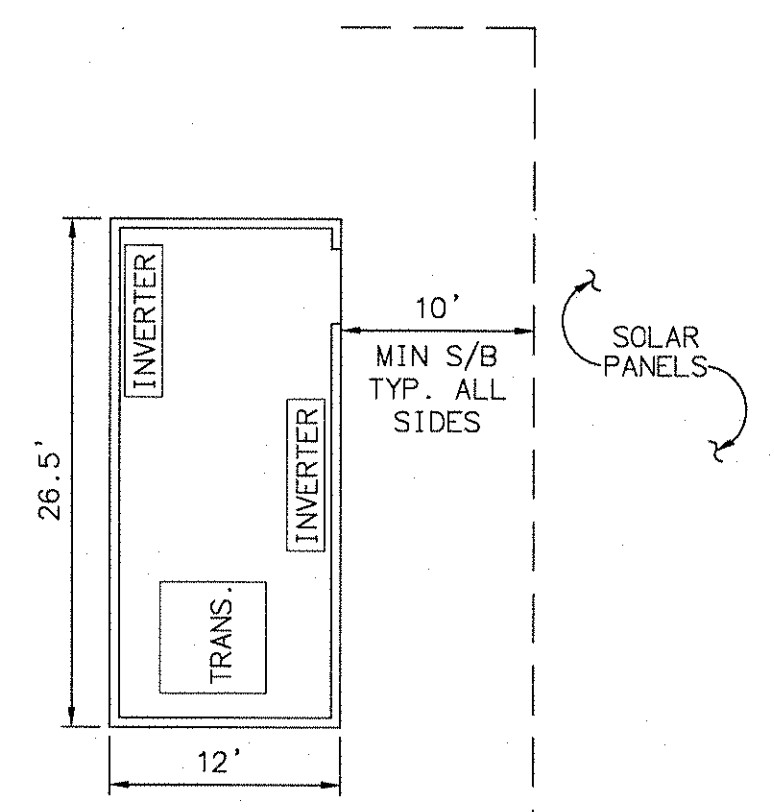
**NORTH ELEVATION
STORAGE STRUCTURE**
N.T.S.



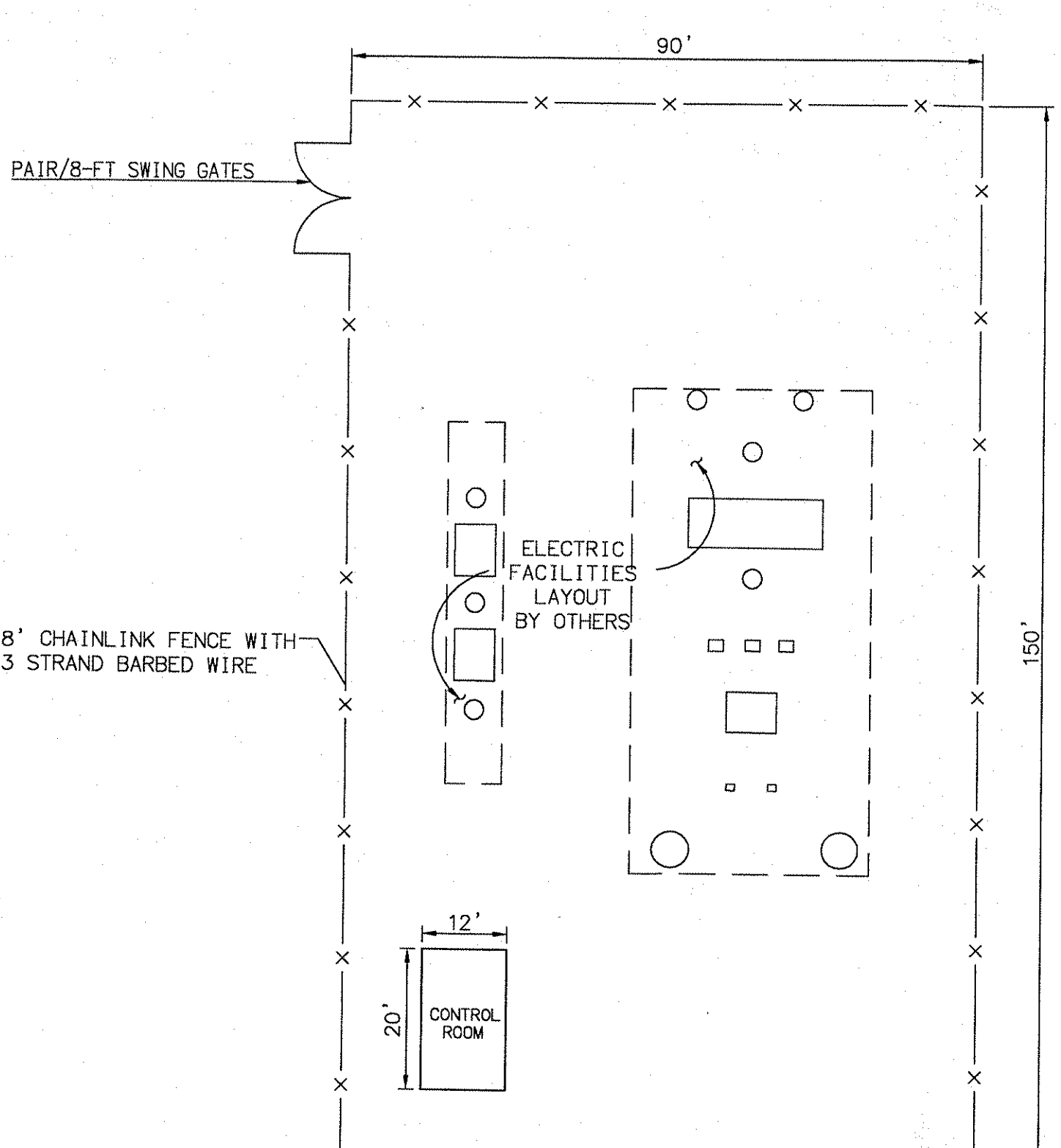
**NORTH ELEVATION
INVERTER/TRANSFORMER STRUCTURE**
N.T.S.



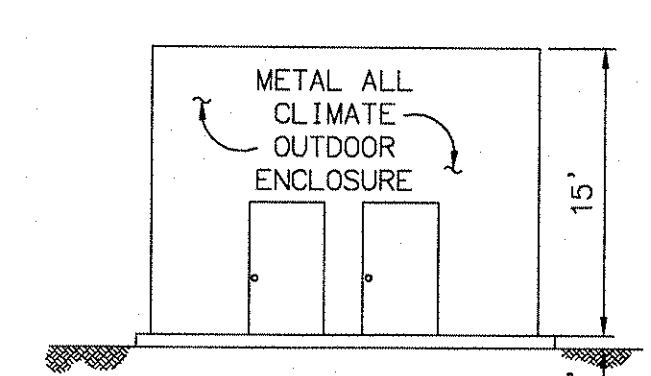
**FLOOR PLAN
STORAGE BUILDING**
N.T.S.



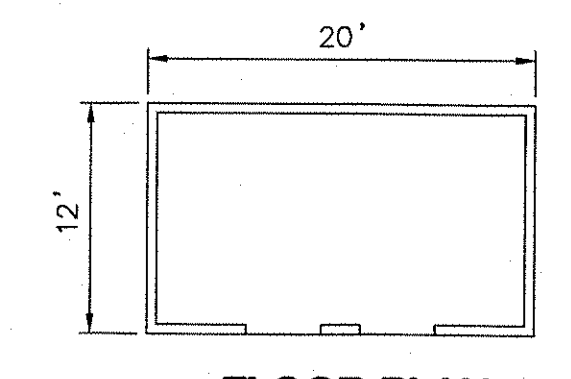
**FLOOR PLAN
INVERTER/TRANSFORMER BUILDING**
N.T.S.



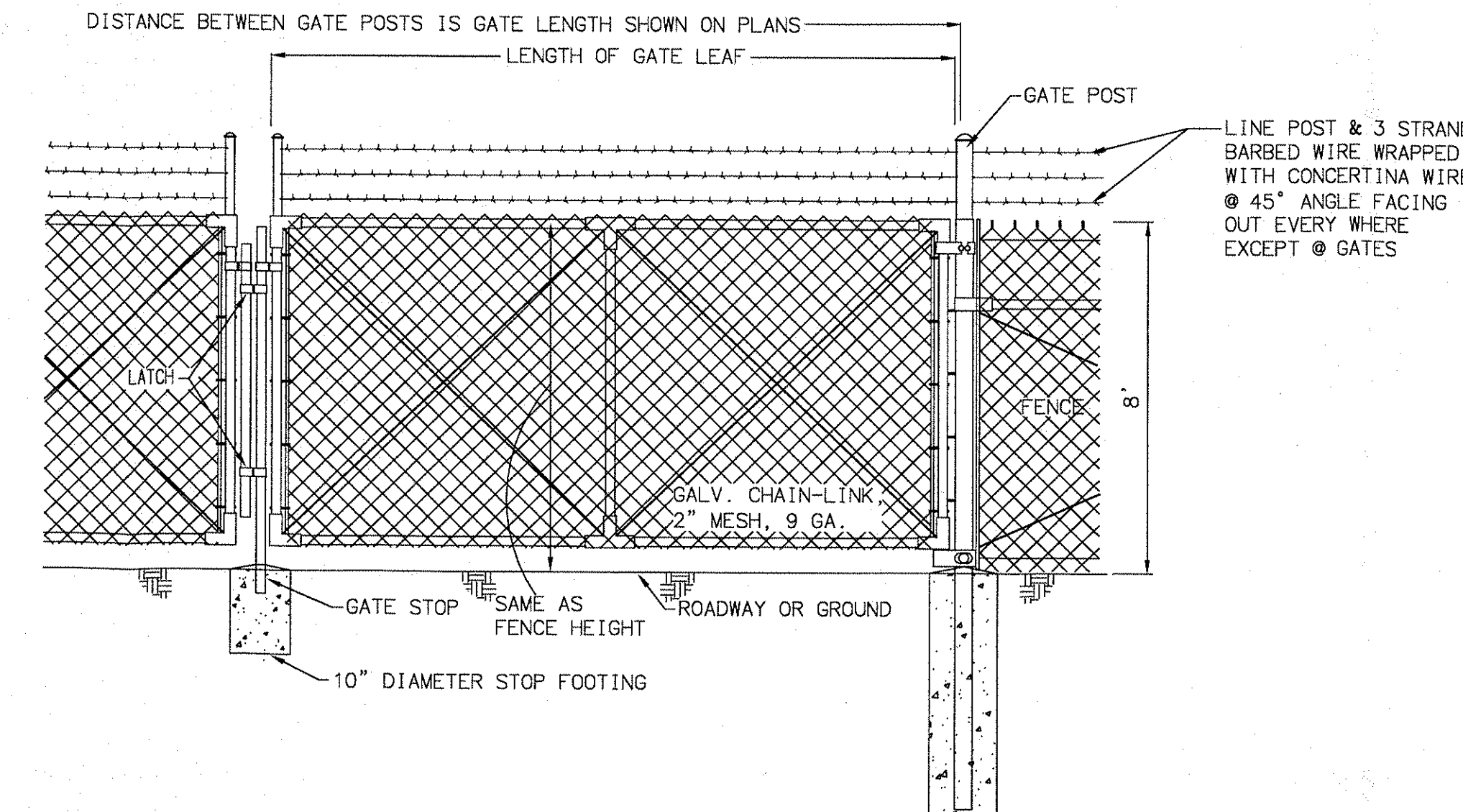
PRIVATE SUBSTATION
N.T.S.



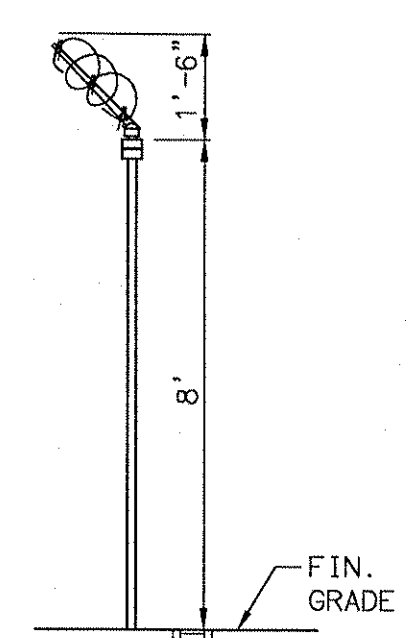
**NORTH ELEVATION
CONTROL ROOM**
N.T.S.



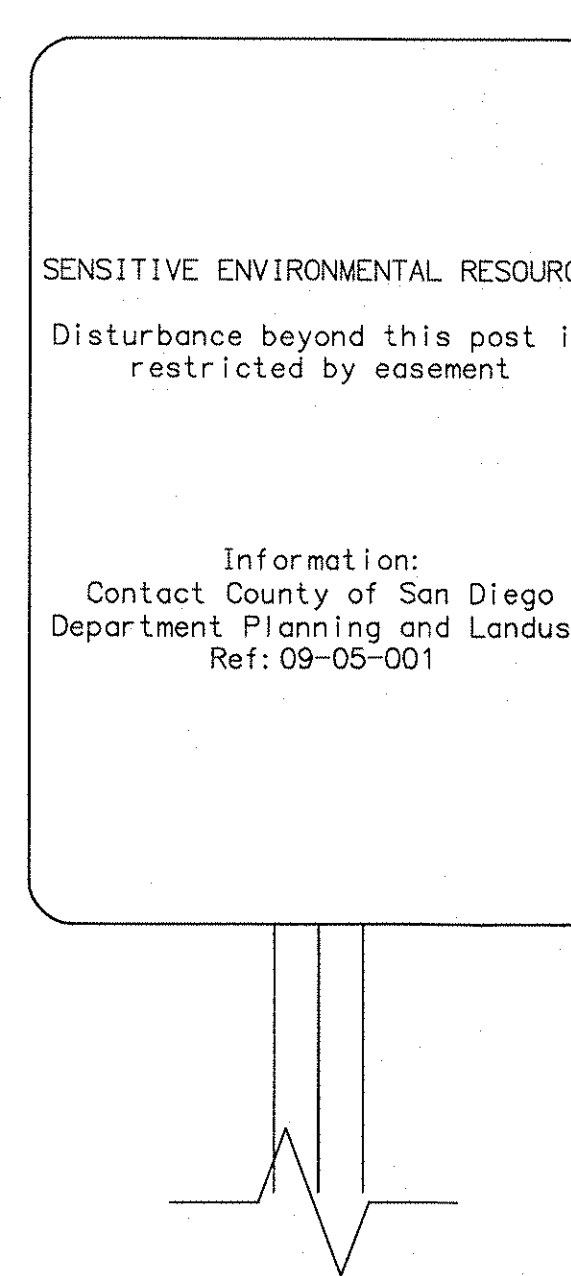
**FLOOR PLAN
CONTROL ROOM**
N.T.S.



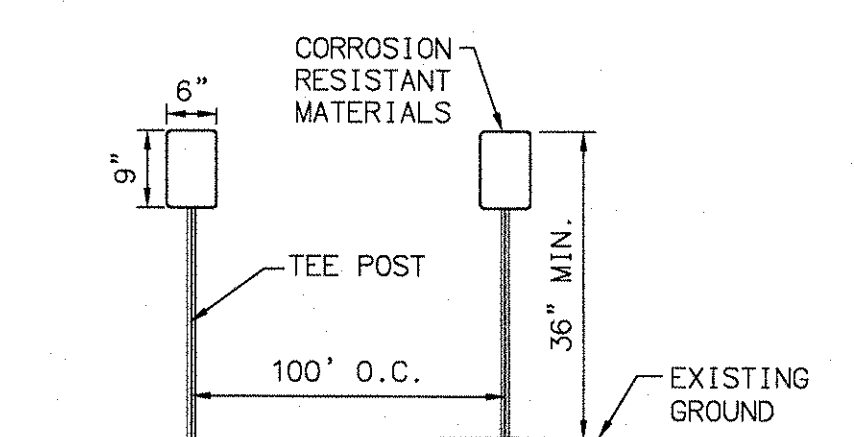
**ELEVATION
HALF DOUBLE SWING GATE/FENCE**
N.T.S.



**SECTION
TYPICAL FENCE/GATE**
N.T.S.



**TYPICAL
OPEN SPACE SIGNAGE**
N.T.S.



**TYPICAL
OPEN SPACE SIGNAGE**
N.T.S.

**PHOTOVOLTAIC
SOLAR FARM
BORRERO SPRINGS, CA**
MUP PLOT PLAN 09-012 & 09-014
ER NO. 09-05-001 - RPL2
ELEVATIONS/DETAILS

September 21, 2010
SHEET 3 OF 3

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