MAJOR USE PERMIT JVR ENERGY PARK

COUNTY OF SAN DIEGO, CA

GORGE RD (98) VICINITY MAP NOT TO SCALE



BayWa r.e. **Solar Projects LLC**

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GENERIC ZONING SETBACKS

PER COUNTY OF SAN DIEGO, PLANNING & DEVELOPMENT SERVICES, SETBACKS FOR SOLAR PHOTOVOLTAIC PANELS DOCUMENT; TO BE EVALUATED DURING MUP APPLICATION PROCESS.

FRONT: 3 FT EXTERIOR SIDE: 3 FT INTERIOR SIDE: 3 FT REAR: 3 FT

SURVEY NOTE

COORDINATE SYSTEM: REFERENCE ALTA DATUM: REFERENCE ALTA ZONE: REFERENCE ALTA GEOID: REFERENCE ALTA VERTICAL DATUM: REFERENCE ALTA ORIGINATING BENCHMARK: REFERENCE ALTA

BENCHMARK NOTE

ELEVATIONS FOR THIS SURVEY ARE BASED UPON NGS BENCHMARK "M1252" PID DC0157, BEING A VERTICAL CONTROL DISC AS DESCRIBED PER THE NGS DATASHEET.

ELEVATION: 2872.21 FEET DATUM: NAVD88

BASIS OF BEARINGS NOTE

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 83, ZONE 6, NAD83, EPOCH 2010.00, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS OPERATING REFERENCE STATIONS (CORS) "PO66" AND "POTR" BEING NORTH 89°37'30" WEST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE NATIONAL GEODETIC SURVEY (NGS), AND MEETS ALL THE REQUIREMENTS OF THE CALIFORNIA PUBLIC RESOURCES CODE.

ZONING

EXISTING ZONE	PROPOSED ZONE	APN
	S-92 (GENERAL RURAL USE)	660-150-07
		660-150-08
		660-150-10
		660-1550-16
		660-150-21
		660-140-06
		660-140-08
S-88 (LIMITED USES AFTER ADOPTION OF SPECIFIC PLAN)		REMAINING APN LISTING
RL-40 - RURAL LANDS		661-010-02

ASSESSOR PARCEL NUMBERS

660-150-07	660-150-16	660-140-06
660-150-08	660-150-21	660-140-08
660-150-10	660-140-06	661-010-02

PROJECT TEAM

OWNER/DEVELOPER PATRICK BROWN BAYWA R.E. SOLAR PROJECTS, LLC 17901 VON KARMAN AVE, SUITE 1050L IRVINE, CA 92614 (949) 398-3915

CIVIL ENGINEER DAVID BOSSU, P.E KIMLEY-HORN AND ASSOCIATES, INC. 765 THE CITY DRIVE, SUITE 200 ORANGE, CA 92868

(714) 705-1347 DAVID.BOSSU@KIMLEY-HORN.COM

AFFROLEDBY

MICHAEL KNAPTON, P.L.S., P.E. KIMLEY-HORN AND ASSOCIATES, INC. 401 B STREET, SUITE 600 SAN DIEGO, CA 92101 (619) 744-0142 MICHAEL.KNAPTON@KIMLEY-HORN.COM

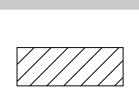
NOTES

- 1. GROSS (PROPERTY) AREA: 1,355.84 ACRES
- 2. MUP BOUNDARY ("DEVELOPED") AREA 691± ACRES
- 3. GENERAL PLAN: SPECIFIC PLAN AREA
- 4. REGIONAL CATEGORY: MOUNTAIN EMPIRE SUBREGIONAL PLAN
- 5. TOPOGRAPHIC SOURCE: FIELD SURVEY COMPLETED 8/8/2018 (SEE SURVEY NOTE, LEFT)
- 6. ASSOCIATED REQUESTS: NONE
- 7. WATER DISTRICT: JACUMBA COMMUNITY SERVICE DISTRICT
- 8. FIRE DISTRICT: SAN DIEGO COUNTY FIRE AUTHORITY
- 9. THE APPROVAL OF THIS MAJOR USE PERMIT (MUP) AUTHORIZES THE FOLLOWING: CONSTRUCTION, OPERATION, AND MAINTENANCE OF A PHOTOVOLTAIC (PV) SOLAR FARM PURSUANT TO SECTION 6952 OF THE SAN DIEGO COUNTY ZONING ORDINANCE.
- 10. THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON AND AGREES TO OBTAIN VALID GRADING PERMISSIONS BEFORE COMMENCING SUCH ACTIVITY.
- 11. ALL SOLAR EQUIPMENT STRUCTURES TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL (CONCRETE, BLOCK, METAL) OR SIMILAR AND PAINTED EARTH TONE COLORS AS EXPLICITLY REQUIRED BY THE CONDITIONS OF APPROVAL.
- 12. LIGHTING FOR MAINTENANCE AND SECURITY PROPOSES ONLY. SHIELDED LIGHTING LOCATED AT ENTRANCE GATES AND INVERTER/TRANSFORMER PADS AND SHALL CONFORM TO COUNTY OF SAN DIEGO OUTDOOR LIGHTING REQUIREMENTS. SEE DETAIL ON SHEET 2.
- 13. PHASING PROJECT MAY BE IMPLEMENTED IN SEVERAL PHASES WITHOUT REGARD TO SEQUENCE.
- 14. ALL DISTURBED AREAS WOULD BE COVERED WITH ORGANIC MULCH OR A BINDING AGENT TO REDUCE DUST, SEEDED, AND WATERED REGULARLY DURING CONSTRUCTION.
- 15. SEE PRELIMINARY GRADING PLAN FOR PROPOSED GRADING.
- 16. SITE ACCESS GATE(S) TO BE EQUIPPED WITH FIRE DEPARTMENT APPROVED STROBE LIGHT ACTIVATION AND KNOX KEY-OPERATED SWITCH.
- 17. SOLAR RELATED FACILITIES (PANELS, RACKING, ELECTRICAL CONNECTIONS, INVERTER/TRANSFORMER PADS, SWITCHGEAR, MET STÀTION, FENCING AND INTERNAL ACCESS, ETC.). SHOWN ÓN THE PLOT PLAN MAY BE RELOCATED RECONFIGURED, AND/OR RESIZED WITHIN THE SOLAR FACILITY DEVELOPMENT AREA WITH THE ADMINISTRATIVE APPROVAL OF THE DIRECTOR OF PDS WHEN FOUND IN CONFORMANCE WITH THE INTENT AND CONDITIONS OF PERMITS APPROVAL. INVERTER/TRANSFORMER LOCATIONS CAN BE RELOCATED/RECONFIGURED WITHOUT REQUIREMENT OF MINOR DÉVIATION. THE INVERTER/TRANSFORMER MUST COMPLY WITH THE NOISE ORDINANCE AND MUST BE ELEVATED 1' ABOVE FLOOD ÉLEVATION. THE 20' FIRE ACCESS ROAD WIDTHS MAY BE REDUCED ADMINISTRATELY WITH THE APPROVAL OF THE COUNTY AND FIRE AUTHORITY HAVING JURISDICTION OVER THE PROJECT.
- 18. A SYSTEM IDENTIFICATION SIGN SHALL BE LOCATED AT THE GATE ENTRANCE. SIGN SHALL BE 12" X 18" MIN. SIGN SHALL LIST NAME OF SITE AND CONTACT INFORMATION AS PROVIDED BY SDGE.
- 19. PRIVATE PROPERTY/NO TRESPASSING AND HIGH VOLTAGE SIGNS SHALL BE LOCATED AT THE GATE ENTRANCE AND EVERY 100' MINIMUM ON FENCE, THE SIGN SHALL BE 10" X 14" MISCELLANEOUS INTERIOR DIRECTIONAL AND SAFETY SIGNAGE AND PERMITTED.
- 20. OUTDOOR LIGHTING CIRCUITS SHALL INCORPORATE DUSK-TO-DAWN PHOTOCELL CONTROLLERS, OCCUPANCY SENSORS, AND/OR SWITCHES AS APPROPRIATE.
- 21. A METEOROLOGICAL (MET) STATION SHALL BE LOCATED ADJACENT TO THE INVERTER/EQUIPMENT PAD.

SHEET LIST TABLE			
SHEET NUMBER	SHEET TITLE		
001	COVER SHEET		
002	TITLE REPORT		
100	OVERALL PLOT PLAN		
101	ENLARGED PLOT PLAN		
102	ENLARGED PLOT PLAN		
103	ENLARGED PLOT PLAN		
104	ENLARGED PLOT PLAN		
201	DETAILS		
202	DETAILS		
300	AVIATION COMPATIBILITY PLAN		
301	AVIATION COMPATIBILITY PROFILE		
400	OVERALL CONCEPTUAL LANDSCAPE PLAN		
401	CONCEPTUAL LANDSCAPE ENLARGEMENT A AND SECTIONS		
402	CONCEPTUAL LANDSCAPE ENLARGEMENT B AND SECTIONS		
403	CONCEPTUAL LANDSCAPE ENLARGEMENT C AND SECTIONS		
404	CONCEPTUAL LANDSCAPE ENLARGEMENT D AND SECTIONS		

LEGEND

LEGEND	
	PROPERTY LINE
	CENTER LINE
	SETBACK LINE
	EASEMENT LINE
W	EXISTING WATER LINE
OH	EXISTING OVERHEAD ELECTRIC
-x-x-x-x-x-x-x-x-x-x-x-x-x-x-x-x-x-x-x	PROPOSED SITE PERIMETER FENCE
	PROPOSED SUBSTATION FENCE
	DDODOGED I ANDCOADE DUFFED
	PROPOSED LANDSCAPE BUFFER



PROPOSED PAVED ACCESS ROAD. PAVED IMPROVEMENTS SHOULD BE COORDINATED WITH THE ADJACENT LANDOWNER UNLESS EXPLICIT RIGHTS ARE HELD TO MAKE SUCH IMPROVEMENTS.

PROPOSED ALL WEATHER ACCESS ROAD

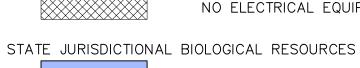


WELL TO REMAIN



WELL TO BE DECOMMISSIONED (TBD)

30-FT WIDE FUEL MODIFICATION ZONE

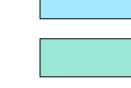


NO ELECTRICAL EQUIPMENT PERMITTED

NON-VEGETATED CHANNEL



DESERT SINK SCRUB



MESQUITE BOSQUE

SDC PDS RCVD 11-16-18

GPA18-010, **REZ18-007**,

MUP18-022

PROJECT NUMBER KHA -194083001 DRAWN BY REVIEWED BY CLIENT SIGNATURE

SITE INFORMATION JVR ENERGY PARK

PROJECT MANAGER

PATRICK BROWN

PROJECT ENGINEER DREW CORRAO 310.936.5067

ISSUE

MUP - FIRST SUBMITTAL 11/1/18

949.398.3915

MAJOR USE PERMIT **COVER SHEET**

DRAWING NUMBER 001

LEGAL DESCRIPTION PER TITLE REPORT

P.T.R. NO. 01180-286185

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THE NORTHWEST QUARTER; AND THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32 IN TOWNSHIP 17 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING THAT PORTION THEREOF CONVEYED BY WILLIAM M. RUBY AND PEARL RUBY TO THE SAN DIEGO AND ARIZONA RAILWAY COMPANY, A CORPORATION, BY THAT CERTAIN DEED DATED JANUARY 4, 1918, AND RECORDED JANUARY 18, 1918 IN OF DEEDS, WHICH SAID DEED WAS RE-RECORDED JANUARY 25, 1918 IN OF DEEDS.

ALSO EXCEPTING ALL THAT PORTION LYING NORTHERLY OF THE SOUTHERLY BOUNDARY OF STATE HIGHWAY XI-SD-8 AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19, 1965 AS INSTRUMENT NO. 210946 OF OFFICIAL RECORDS.

614-100-20

NO. 01180-286186

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA. COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 17 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF; AND LOT 1(NE QUARTER OF NORTHEAST QUARTER) OF SECTION 5; AND LOT 4 (NORTHWEST QUARTER OF NORTHWEST QUARTER); AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4. IN TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPT FROM SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32 AND FROM SAID LOT 4 IN SECTION 4 THOSE PORTIONS LYING NORTHEASTERLY AND NORTHERLY OF THE SOUTHWESTERLY AND SOUTHERLY LINES OF STATE HIGHWAY XI-SD-8 AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19, 1965 AS FILE NO. 210946 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION LYING WITHIN 102 FOOT STRIP OF LAND DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO RECORDED MARCH 3, 1967 AS FILE NO. 29320 OF OFFICIAL RECORD KNOWN AS ROAD SURVEY NO. 635-66.

614-100-21, 660-020-06, 661-010-15, 661-010-26

NO. 01180-286187

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 17 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, LYING SOUTHWESTERLY OF THE SOUTHWESTERLY BOUNDARY OF STATE HIGHWAY XI-SD-8 AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19, 1965 AS FILE NO. 210946 OF OFFICIAL RECORDS.

APN: 614-110-04

P.T.R. NO. 01180-286190

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA. COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8 IN TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING FROM SAID THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER THAT PORTION THEREOF CONVEYED BY BESSIE FOSTER, A WIDOW TO JOHN. A EUBANK BY DEED DATED JULY 29, 1921 AND RECORDED IN BOOK 857 PAGE 184 OF DEEDS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 18 SOUTH, RANGE 8 EAST: THENCE RUNNING IN AN EASTERLY DIRECTION ALONG THE COUNTY HIGHWAY, A DISTANCE OF 417.42 FEET; THENCE SOUTH AT RIGHT ANGLES TO SAID COUNTY HIGHWAY, A DISTANCE OF 417.42 FEET; THENCE IN A WESTERLY DIRECTION A DISTANCE OF 417.42 FEET, THENCE NORTH, A DISTANCE OF 417.42 FEET TO PLACE OF BEGINNING.

ALSO EXCEPTING THEREFROM ANY PORTION, IF ANY, LYING NORTH OF THE CENTER LINE OF THE STATE HIGHWAY AS THE SAME IS CONSTRUCTED ACROSS THE PROPERTY.

APN: 660-150-04

P.T.R. NO. 01180-286191

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

LOTS 5, 6 AND 7 IN SECTION 8 IN TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING FROM LOT 7 THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF THE WEST LINE 380 FEET NORTH OF THE

SOUTHWEST CORNER; THENCE EAST 200 FEET PARALLEL WITH THE NORTH LINE; THENCE NORTH PARALLEL WITH THE WEST LINE TO THE NORTH LINE; THENCE WEST TO THE NORTHWEST CORNER; THENCE SOUTH TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY 60 FEET.

APN: 660-150-07, 660-150-08, 660-150-10

P.T.R. NO. 01180-286196

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA. COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THE NORTHEAST QUARTER; AND THE NORTHEAST OF THE NORTHWEST QUARTER OF SECTION 8 IN TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THOSE PORTIONS LYING WITH THE RAILWAY RIGHT OF WAY OF THE SAN DIEGO AND ARIZONA EASTERN RAILWAY COMPANY.

APN: 660-150-14, 660-150-17, 660-150-18

P.T.R. NO. 01180-286197

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

LOT 35 IN BLOCK 1 OF JACUMBA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1707, FILED IN THE OFFICE OF THE COUNTY REORDERED OF SAN DIEGO COUNTY, MARCH 10, 1953.

APN: 660-170-09

P.T.R. NO. 01180-286200

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4 AND THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 5, ALL IN TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

PARCEL B:

PARCEL A:

LOT 2 AND THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP, 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO OFFICIAL PLAT THEREOF: *SEE SURVEYORS NOTE 15*

EXCEPTING THAT PORTION THEREOF INCLUDED WITHIN THE 200 FOOT STRIP OF LAND CONVEYED BY MRS. ANNA M, ANTHONY TO SAN DIEGO AND ARIZONA RAILWAY COMPANY, A CORPORATION, BY DEED DATED MAY 24, 1917, RECORDED IN BOOK 722 PAGE 309 OF DEEDS.

ALSO EXCEPTING THAT PORTION OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, LYING NORTHERLY OF THE SOUTHERLY BOUNDARY OF STATE HIGHWAY XI-SD-8 AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19 1965 AS FILE NO. 210946 OF OFFICIAL RECORDS.

PARCEL C: THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE OF MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 5. THAT PORTION THEREOF CONVEYED BY ELIZABETH ESBURY, EXCUTRIX AND LORENE M. MAYER C. M. GIFFORD AND ARTHUR A. HENDERSON, EXECUTORS OF THE LAST WILL AND TESTAMENT OF SMITH HARRIS ESBURY, DECEASED, ET AL, TO THE SAN DIEGO AND ARIZONA RAILWAY COMPANY, A CORPORATION BY DEED DATED AUGUST 1917 AND RECORDED IN BOOK 744, PAGE 393 OF DEEDS.

APN: 660-020-05

P.T.R. NO. 01180-286201

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

PARCEL A: THAT PORTION OF LOT 3 (THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 4, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, LYING SOUTHWEST OF THE SOUTHWESTERLY LINE OF STATE HIGHWAY XI-SD8 AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19, 1965 AS INSTRUMENT NO. OF OFFICIAL RECORDS.

THE EAST HALF OF THE SOUTHWEST QUARTER; THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER; AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4 IN TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. ACCORDING TO OFFICIAL PLAT THEREOF.

EXCEPTING THAT PORTION OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER LYING WITHIN THE BOUNDARY OF STATE HIGHWAY XI-SD-8 AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19, 1965 AS DOCUMENT NO. 210946 OF OFFICIAL

ALSO EXCEPTING THAT PORTION OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER LYING NORTHEASTERLY OF THE LOCATION AND NORTHWESTERLY PROLONGATION OF THE SOUTHWESTERLY BOUNDARY OF THE 102 FOOT STRIP OF LAND DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO RECORDED MARCH 3, 1967 AS DOCUMENT NO. 29320 OF OFFICIAL RECORDS, KNOWN AS ROAD SURVEY NO.L 635-66.

ALSO EXCEPTING FORM SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER THAT PORTION LYING WITHIN SAID 102 FOOT STRIP OF LAND DESCRIBED IN DEED TO THE COUNTY OF SAND DIEGO RECORDED MARCH 3, 1967 AS DOCUMENT NO. 29320 OF OFFICIAL RECORDS, KNOWN AS ROAD SURVEY NO. 635-66.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND AS DESCRIBED IN A DEED TO BAHJASHALLAL. A WIDOW RECORDED DECEMBER 5, 2011 AS INSTRUMENT NO. 2011-0649937 OF OFFICIAL RECORDS.

THOSE PORTIONS OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHEASTERLY CORNER OF THE LAND DESCRIBED IN PARCEL 6-8 IN FINAL ORDER OF CONDEMNATION RECORDED NOVEMBER 19, 1965 AS FILE NO. 210946 OF OFFICIAL RECORDS, BEING A POINT DISTANT NORTH 17°55'25" WEST, 858.01 FEET FROM A ROCK MOUND MARKING THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 4, SAID ROCK MOUND BEING AT COORDINATES Y EQUALS 169,423.87 FEET AND X EQUALS 2,029,052.61 FEET; THENCE NORTH 81025'00" WEST, 1700 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 8°34'00" WEST, 120.00 FEET; THENCE NORTH 81°26'00" WEST, 231.28 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 4350 FEET, THROUGH AN ANGLE OF 8°46'51" A DISTANCE OF 666.66 FEET; THENCE SOUTH 37°10'03" WEST, 73.73 FEET; THENCE FROM A TANGENT THAT BEARS, SOUTH 52°49'57" EAST, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 530 FEET, THROUGH AN ANGLE OF 22°48'41", A DISTANCE OF 211.01 FEET TO THE NORTHEASTERLY LINE OF A COUNTY ROAD, 60 FEET WIDE, DESCRIBED IN DEED TO THE COUNTY OF SAND DIEGO RECORDED JANUARY 17, 1935 IN BOOK 371, PAGE 218 OF OFFICIAL RECORDS OF SAID COUNTY, ALSO KNOWN AS CARRIZO GORGE ROAD AND BEING A POINT IN THE NORTHWESTERLY BOUNDARY OF THE 102 FOOT STRIP OF LAND DESCRIBED IN DEED TO THE COUNTY OF SAND DIEGO, RECORDED MARCH 3, 1967 AS DOCUMENT NO. 29320 OF OFFICIAL RECORDS; THENCE ALONG SAID NORTHWESTERLY BOUNDARY NORTHEASTERLY 11 FEET TO THE MOST NORTHERLY CORNER OF SAID 102 FOOT STRIP; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY BOUNDARY OF SAID STRIP TO THE WESTERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE SOUTHERLY ALONG SAID WESTERLY LINE TO THE SOUTHWEST CORNER THEREOF; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG THE AST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER TO THE SOUTHERLY BOUNDARY OF SAID PARCEL 6-8; THENCE ALONG SAID SOUTHERLY BOUNDARY NORTH 81°26' WEST THE TRUE POINT OF BEGINNING.

EXCEPTING THAT PORTION LYING WITHIN SAID 102 FOOT STRIP OF LAND DESCRIBED IN THE DEED TO THE COUNTY OF SAND DIEGO RECORDED MARCH 3. 1967 AS FILE NO. OF OFFICIAL RECORDS, KNOWN AS ROAD SURVEY NO 635-66

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND IN A DEED TO REAGAN SHALLAL, A SINGLE MAN RECORDED MARCH 16, 2012 AS INSTRUMENT NO. 2012-0156124 OF OFFICIAL RECORDS.

APO: 661-010-30

P.T.R. NO. 01180-286202

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

PARCEL A:

THE WEST HALF OF TH ENORTHWEST QUARTER OF SECTION 9, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

PARCEL B:

THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

APN: 661-060-12

P.T.R. NO. 01180-286203

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

OFFICIAL PLAT THEREOF.

LOT 8 OF SECTION 9, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO OFFICIAL PLAT THEREOF.

THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN IN THE THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO

EXCEPT THAT PORTION OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9 LYING WITHIN A STRIP OF LAND 400.00 FEET WIDE, LYING 200.00 FEET ON EACH SIDE OF THE FOLLOWING CENTER LINE:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, THENCE SOUTH 01°33'54" WEST, 793.87 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ON THE WESTERLY PORTION OF THE CENTER LINE OF THE JACUMBA AIRPORT RUNWAY, THENCE ALONG SAID WESTERLY PROLONGATION OF CENTER LINE SOUTH 83°00"24' WEST, 939.81 FEET. THE SIDE LINE OF SAID STRIP ARE TO BE LENGTHENED OR SHORTENED TO TERMINATE ON THE EASTERLY LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 9 ON THE EAST AND LINE PERPENDICULAR TO SAID CENTER LINE ON THE WEST

APN: 661-060-22

P.T.R. NO. 01180-286204

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS:

THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL

EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 4, THENCE SOUTH 528 FEET THENCE WEST 165 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 264 FEET, THENCE WEST 82.5 FEET THENCE NORTH 264 FEET, THENCE EAST 82.5 FEET TO THE TRUE POINT OF

APN: 661-010-02

P.T.R. NO. 18000480409

THE LAND REFERED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO UNINCORPORATED AND DESCRIBED AS FOLLOWS: PARCEL 1: THE WEST 200 FEET ON THE NORTH 200 FEET THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT SURVEY AND SUPPLEMENTAL PLAT APPROVED APRIL 4, 1914.

THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8 TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT SURVEY AND SUPPLEMENTAL PLAT APPROVED APRIL 4, 1914.

EXCEPTING THEREFROM THAT PORTION OF SAID IN A GRANT DEED TO THE COUNTY OF SAN DIEGO RECORDED APRIL 19, 1984 AS FILE NO. 84-144067 OF OFFICIAL RECORDS AND DESCRIBED AS FOLLOWS:

THE NORTHERLY 1007.50 FEET OF THE WESTERLY 900.00 FEET OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECITON 8 TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED APRIL 4. 1914.

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8 TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAND DIEGO. STATE OF CALIFORNIA. ACCORDING TO GOVERNMENT SURVEY AND SUPPLEMENTAL PLAT APPROVED APRIL 4, 1914.

EXCEPTING THEREFROM THE WEST 200 FEET OF THE NORTH 200 FEET THE NORTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 18 SOUTH, RANGE 8 EAST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT SURVEY AND SUPPLEMENTAL PLAT APPROVED ON APRIL 4, 1914.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID IN A GRANT DEED TO THE JACUMBA COMMUNITY SERVICES DISTRICT RECORDED FEBRUARY 1, 1990 AS FILE NO. 90-058157 OF OFFICIAL RECORDS AND DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHEAST $\frac{1}{4}$ OF SAID FRACTIONAL SECTION 8. SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. ACCORDING TO GOVERNMENT SURVEY AND SUPPLEMENTAL PLAT APPROVED APRIL 4. 1914. DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST & CORNER OF SAID SECTION 8, THENCE NORTH 89°49'03" WEST ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION 8 A DISTANCE OF 1390.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 00°10'57" WEST 240.000 FEET; THENCE SOUTH 89°49'03" EAST 10.00 FEET; THENCE SOUTH 00°10'57" WEST 30.00 FEET; THENCE NORTH 89° 49'03" WEST 30.00 FEET; THENCE NORTH 000 10'57" EAST 30.00 FEET; THENCE SOUTH 89°49'03" EAST 10.00 FEET; THENCE NORTH 00°10'57" EAST 240.00 FEET TO THE EAST AND WEST 1 LINE OF SAID SECTION 8 THENCE SOUTH 89°49'03" EAST 10.00 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION LYING NORTHERLY OF THE SOUTHERLY RIGHT OF WAY OF OLD HIGHWAY 80, 100 FEET WIDE, AS SHOWN ON MISCELLANEOUS MAP NO. 116, COUNTY OF SAN DIEGO RECORDS.

ALSO EXCEPTING THEREFROM A ROUTE DESCRIBED AS FOLLOWS:

COMMENCING AT SAID TRUE POINT OF BEGINNING; THENCE SOUTH 00°10'57" WEST 240.00 FEET; THENCE NORTH 89°49'03 WEST 10.00 FEET; THENCE NORTH 00°10'57" EAST 240.00 FEET TO THE EAST AND WEST $\frac{1}{2}$ LINE OF SAID SECTION 8; THENCE SOUTH 89°49'00" EAST 10.000 FEET TO SAID TRUE POINT OF BEGINNING.

APN: 660-140-06, 660-140-08, 660-150-06, 660-150-21



BayWa r.e. **Solar Projects LLC**

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65 THE CITY DRIVE, SUITE 200, ORANGE, CA 92868

PHONE: 714-939-1030 FAX: 714-938-9488

WWW.KIMLEY-HORN.COM

SITE INFORMATION

JVR ENERGY PARK

PROJECT MANAGER PATRICK BROWN

949.398.3915 PROJECT ENGINEER DREW CORRAO 310.936.5067

> ISSUE PRELIMINARY 11/1/2018

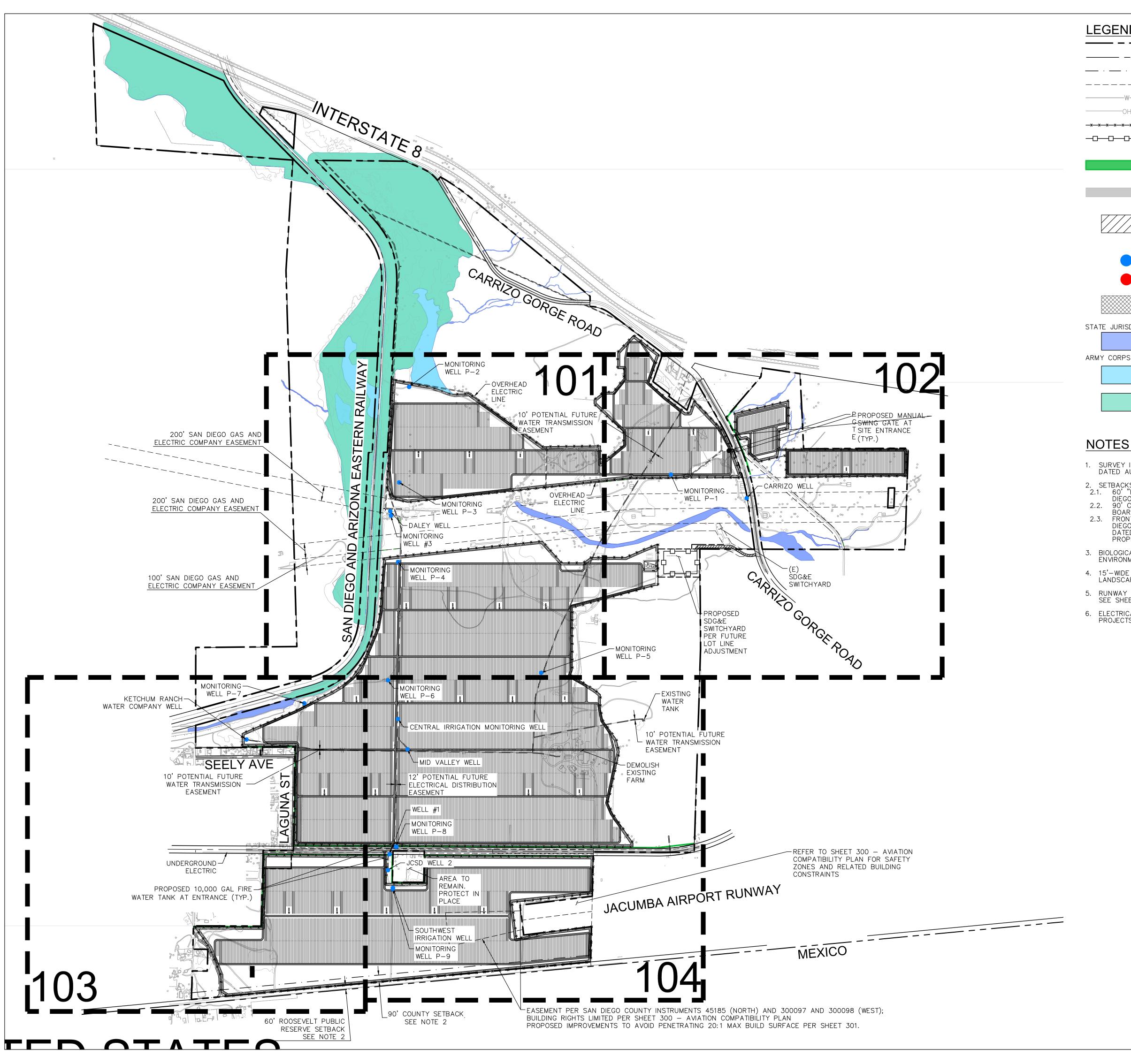
PROJECT NUMBER KHA -194083001 DRAWN BY

CLIENT SIGNATURE

REVIEWED BY

MAJOR USE PERMIT TITLE REPORT

DRAWING NUMBER 002

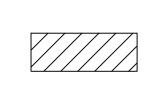




—— — CENTER LINE ---- · --- · SETBACK LINE ---- EASEMENT LINE -W----EXISTING WATER LINE ————OH———— EXISTING OVERHEAD ELECTRIC PROPOSED SUBSTATION FENCE



PROPOSED LANDSCAPE BUFFER



PROPOSED PAVED ACCESS ROAD. PAVED IMPROVEMENTS SHOULD BE COORDINATED WITH THE ADJACENT LANDOWNER UNLESS EXPLICIT RIGHTS ARE HELD TO MAKE SUCH IMPROVEMENTS.

PROPOSED ALL WEATHER ACCESS ROAD

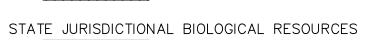


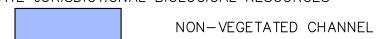
WELL TO REMAIN

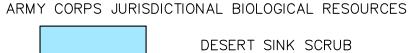


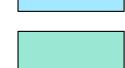
30-FT WIDE FUEL MODIFICATION ZONE NO ELECTRICAL EQUIPMENT PERMITTED

WELL TO BE DECOMMISSIONED (TBD)









MESQUITE BOSQUE

- 1. SURVEY INFORMATION PREPARED BY KIMLEY-HORN AND ASSOCIATES DATED AUGUST 2018; PENDING ALTA COMPLETION.
- 2.1. 60' "ROOSEVELT" PUBLIC RESERVE SETBACK PER "COUNTY OF SAN DIEGO, CALIFORNIA BOARD OF SUPERVISORS POLICY NUMBER I—111"
 2.2. 90' COUNTY SETBACK PER "COUNTY OF SAN DIEGO, CALIFORNIA
- BOARD OF SUPERVISORS POLICY NUMBER I—111"
 FRONT, REAR, AND SIDE BUILDING COUNTY SETBACKS PER SAN
 DIEGO COUNTY "SETBACKS FOR SOLAR PHOTOVOLTAIC PANELS" DATED 01/30/18. REQUIRES A MINIMUM 3' SETBACK FROM PROPERTY LINE TO GROUND-MOUNTED PV SOLAR ARRAYS.
- 3. BIOLOGICAL RESOURCE DELINEATION PROVIDED BY DUDEK ENVIRONMENTAL ON AUGUST 30TH 2018.
- 4. 15'-WIDE PROPOSED LANDSCAPE BUFFER, REFER TO CONCEPTUAL LANDSCAPE PLANS, SHEETS XX.
- 5. RUNWAY SAFETY ZONES DELINEATED PER AVIATION COMPATIBILITY PLAN. SEE SHEET 300.
- 6. ELECTRICAL LAYOUT SHOWN AS PROVIDED BY BAYWA R.E. SOLAR PROJECTS, LLC DATED OCTOBER 09, 2018.



BayWa r.e. **Solar Projects LLC**

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SITE INFORMATION JVR ENERGY PARK

PROJECT MANAGER

PATRICK BROWN

949.398.3915 PROJECT ENGINEER DREW CORRAO 310.936.5067

PROJECT NUMBER	KHA -194083001
DRAWN BY	CK
REVIEWED BY	WC

ISSUE

PRELIMINARY 11/1/2018

CLIENT SIGNATURE

MAJOR USE PERMIT

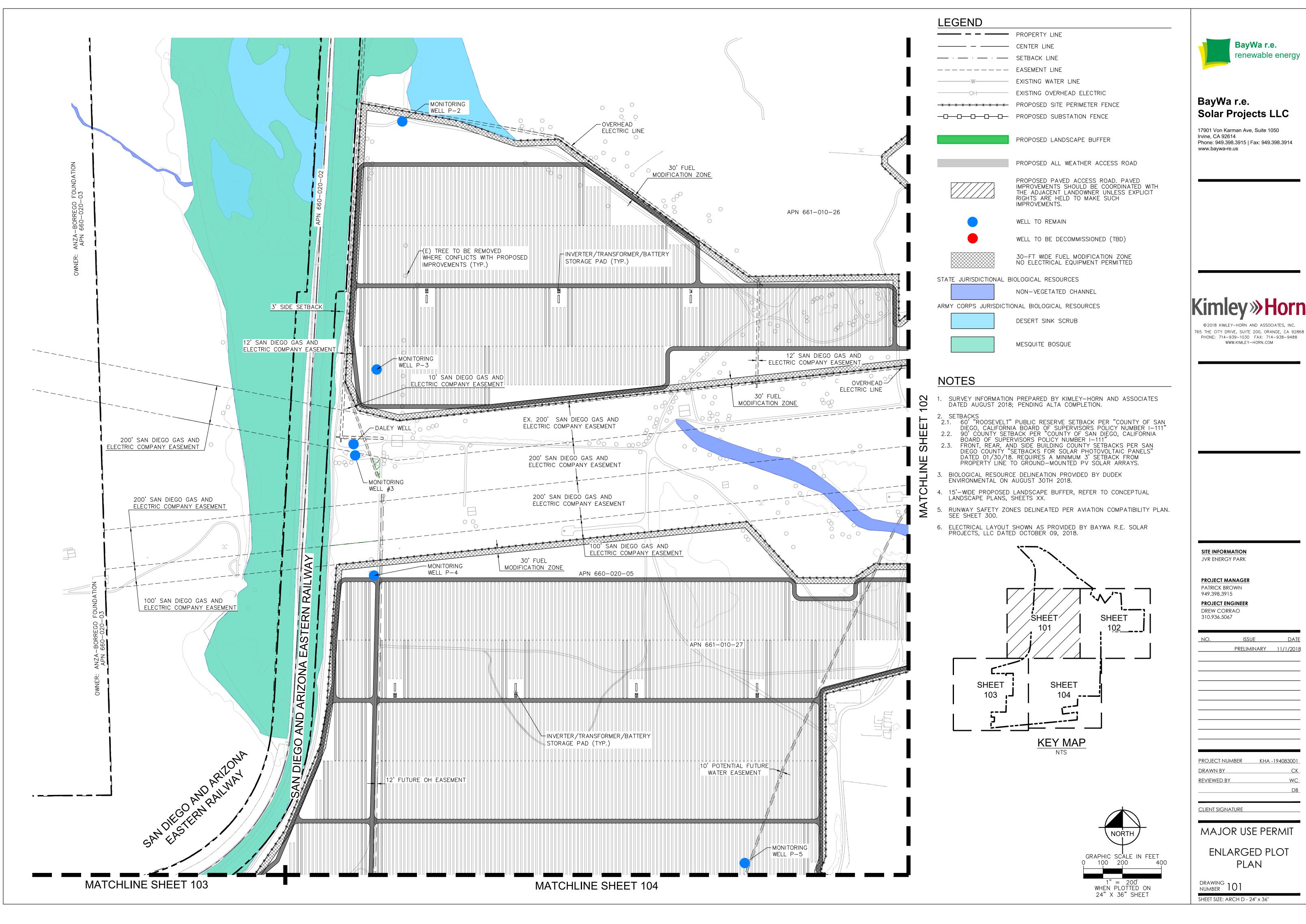
OVERALL PLOT PLAN

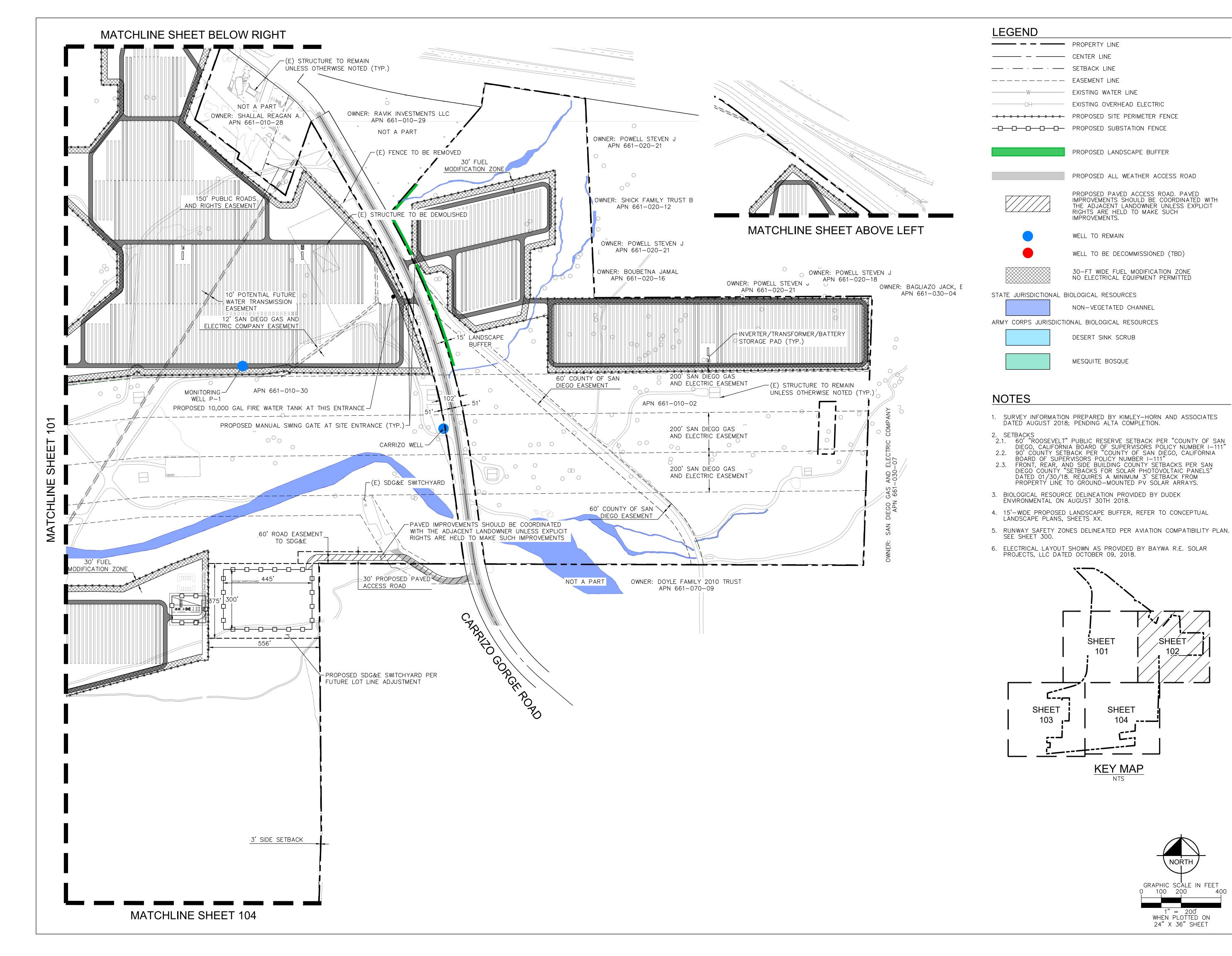
DRAWING 100

GRAPHIC SC[']ALE IN FEET O 300 600 120

1" = 600 WHEN PLOTTED ON

24" X 36" SHEET







PROPOSED LANDSCAPE BUFFER

PROPOSED ALL WEATHER ACCESS ROAD

PROPOSED PAVED ACCESS ROAD. PAVED

RIGHTS ARE HELD TO MAKE SUCH

WELL TO BE DECOMMISSIONED (TBD)

30-FT WIDE FUEL MODIFICATION ZONE

NO ELECTRICAL EQUIPMENT PERMITTED

NON-VEGETATED CHANNEL

SHEET

KEY MAP

GRAPHIC SCALE IN FEET

1" = 200 WHEN PLOTTED ON

24" X 36" SHEET

DESERT SINK SCRUB

MESQUITE BOSQUE

IMPROVEMENTS.

WELL TO REMAIN

IMPROVEMENTS SHOULD BE COORDINATED WITH

THE ADJACENT LANDOWNER UNLESS EXPLICIT

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SITE INFORMATION

JVR ENERGY PARK

PROJECT MANAGER PATRICK BROWN

949.398.3915 PROJECT ENGINEER

DREW CORRAO 310.936.5067 ISSUE

PRELIMINARY 11/1/2018

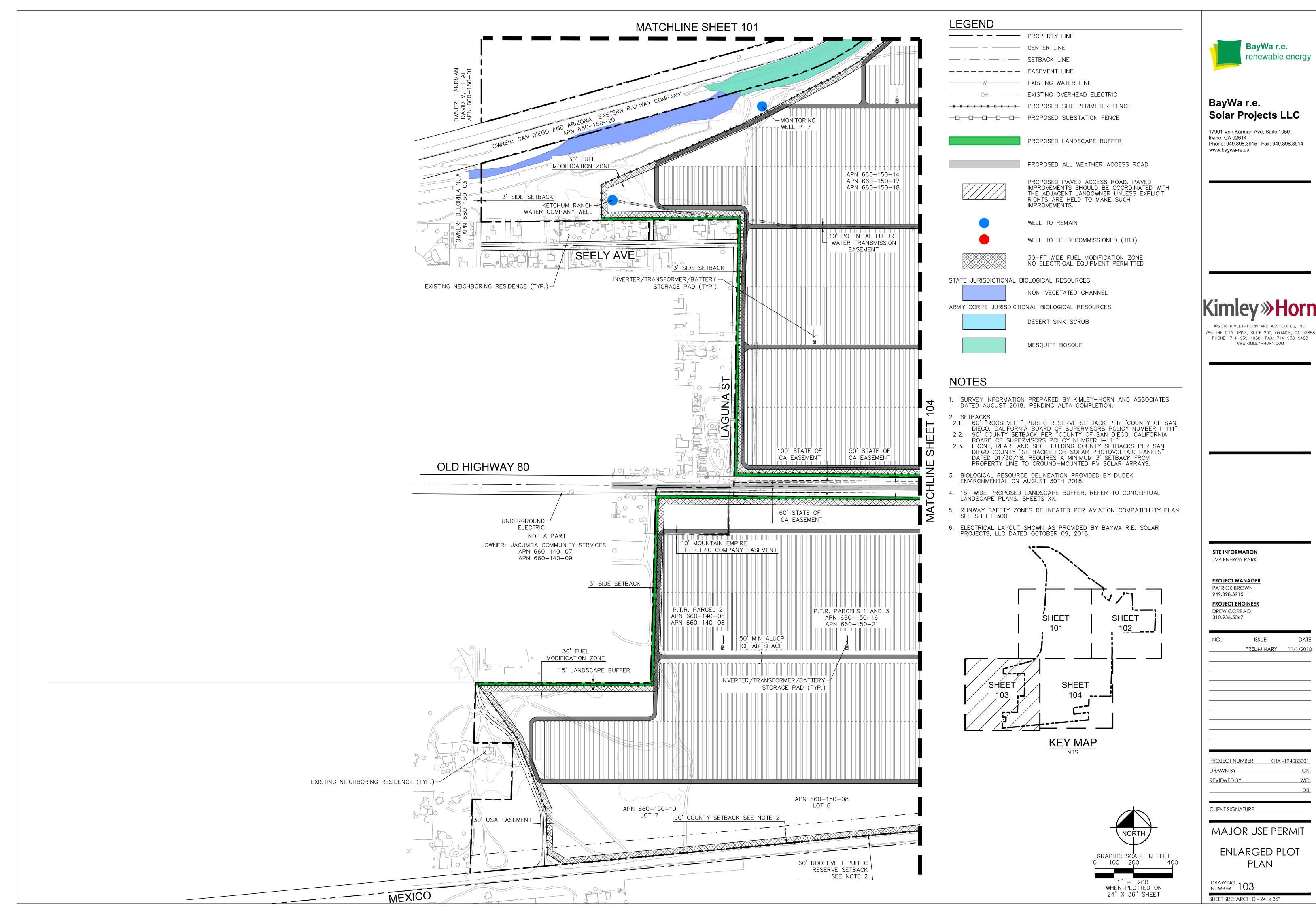
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CLIENT SIGNATURE

MAJOR USE PERMIT

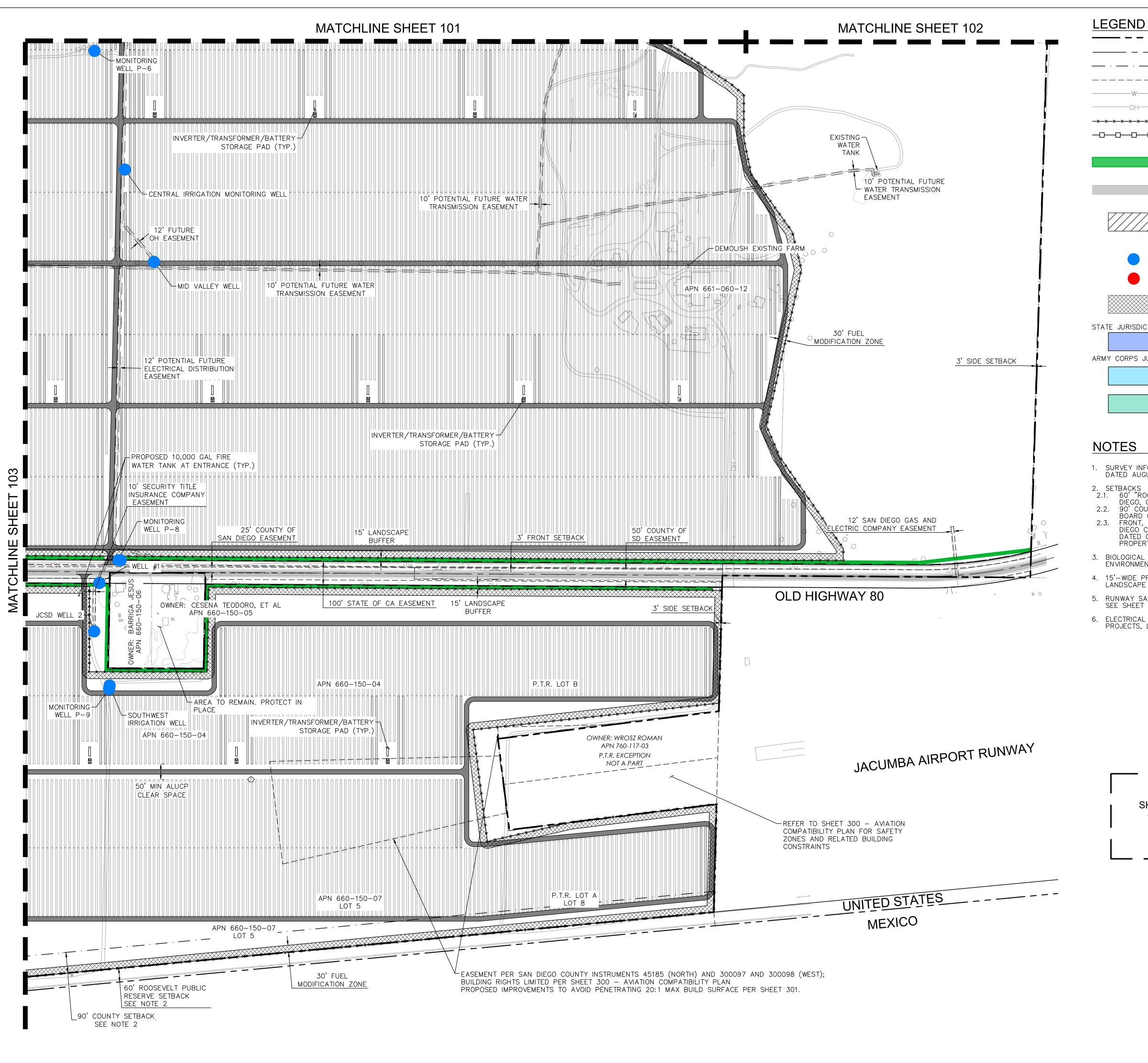
ENLARGED PLOT PLAN

DRAWING NUMBER 102



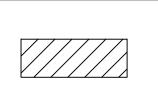


PRELIMINARY 11/1/2018



PROPERTY LINE ———— CENTER LINE ---- · --- · SETBACK LINE ---- EASEMENT LINE -W---- EXISTING WATER LINE OH———— EXISTING OVERHEAD ELECTRIC PROPOSED SUBSTATION FENCE

PROPOSED LANDSCAPE BUFFER



PROPOSED PAVED ACCESS ROAD. PAVED IMPROVEMENTS SHOULD BE COORDINATED WITH THE ADJACENT LANDOWNER UNLESS EXPLICIT RIGHTS ARE HELD TO MAKE SUCH IMPROVEMENTS.

PROPOSED ALL WEATHER ACCESS ROAD

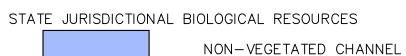


WELL TO REMAIN

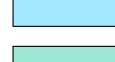


30-FT WIDE FUEL MODIFICATION ZONE NO ELECTRICAL EQUIPMENT PERMITTED

WELL TO BE DECOMMISSIONED (TBD)



ARMY CORPS JURISDICTIONAL BIOLOGICAL RESOURCES



MESQUITE BOSQUE

DESERT SINK SCRUB

1. SURVEY INFORMATION PREPARED BY KIMLEY-HORN AND ASSOCIATES DATED AUGUST 2018; PENDING ALTA COMPLETION.

60' "ROOSEVELT" PUBLIC RESERVE SETBACK PER "COUNTY OF SAN DIEGO, CALIFORNIA BOARD OF SUPERVISORS POLICY NUMBER I—111" 90' COUNTY SETBACK PER "COUNTY OF SAN DIEGO, CALIFORNIA

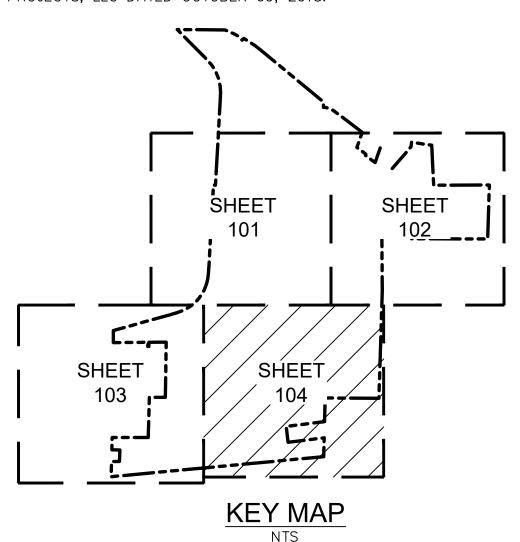
BOARD OF SUPERVISORS POLICY NUMBER I—111"
FRONT, REAR, AND SIDE BUILDING COUNTY SETBACKS PER SAN DIEGO COUNTY "SETBACKS FOR SOLAR PHOTOVOLTAIC PANELS" DATED 01/30/18. REQUIRES A MINIMUM 3' SETBACK FROM PROPERTY LINE TO GROUND-MOUNTED PV SOLAR ARRAYS.

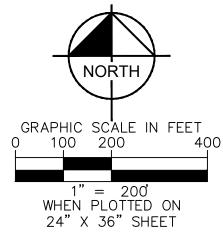
BIOLOGICAL RESOURCE DELINEATION PROVIDED BY DUDEK ENVIRONMENTAL ON AUGUST 30TH 2018.

4. 15'-WIDE PROPOSED LANDSCAPE BUFFER, REFER TO CONCEPTUAL LANDSCAPE PLANS, SHEETS XX.

5. RUNWAY SAFETY ZONES DELINEATED PER AVIATION COMPATIBILITY PLAN. SEE SHEET 300.

6. ELECTRICAL LAYOUT SHOWN AS PROVIDED BY BAYWA R.E. SOLAR PROJECTS, LLC DATED OCTOBER 09, 2018.







BayWa r.e. **Solar Projects LLC**

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SITE INFORMATION JVR ENERGY PARK

PROJECT MANAGER PATRICK BROWN 949.398.3915 PROJECT ENGINEER

DREW CORRAO 310.936.5067 ISSUE

PRELIMINARY 11/1/2018

PROJECT NUMBER KHA -194083001

<u>DRAWN BY</u> REVIEWED BY

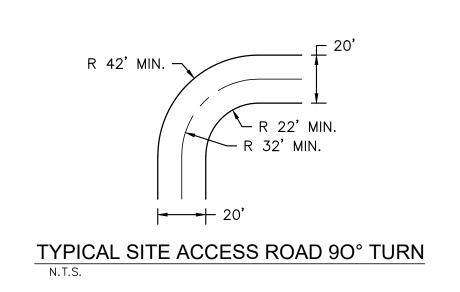
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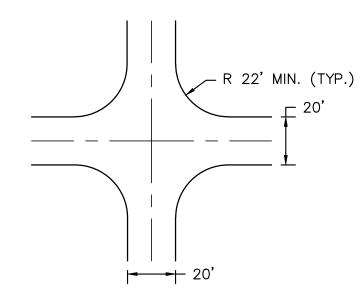
MAJOR USE PERMIT

ENLARGED PLOT

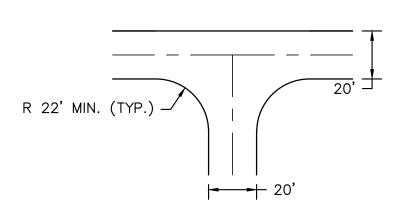
PLAN

DRAWING NUMBER 104





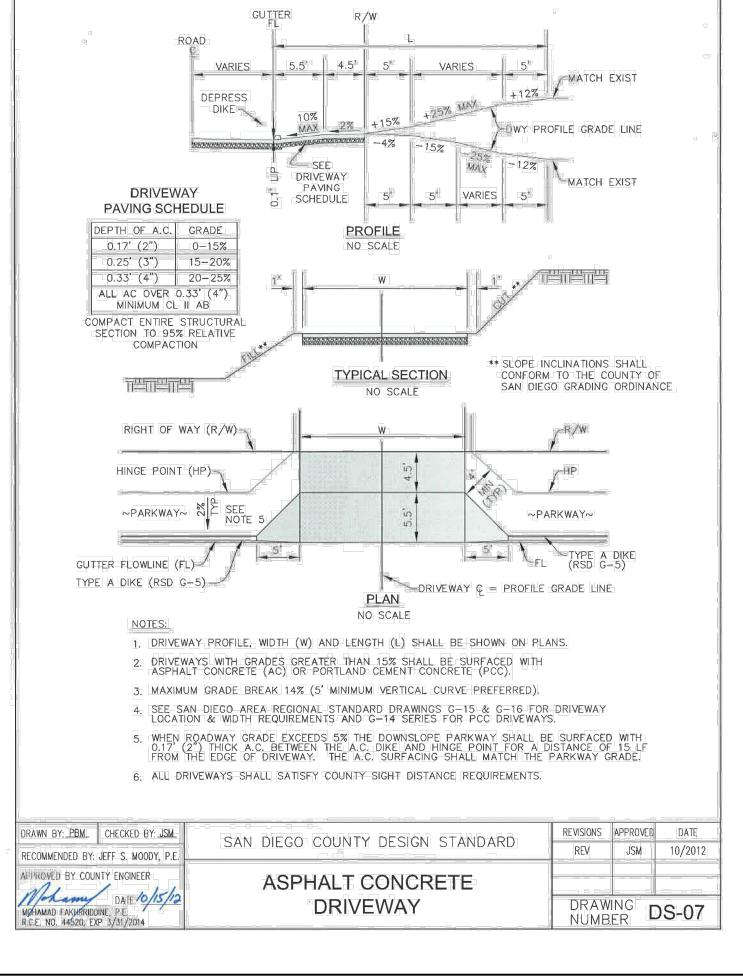
TYPICAL SITE ACCESS ROAD 4-WAY INTERSECTION

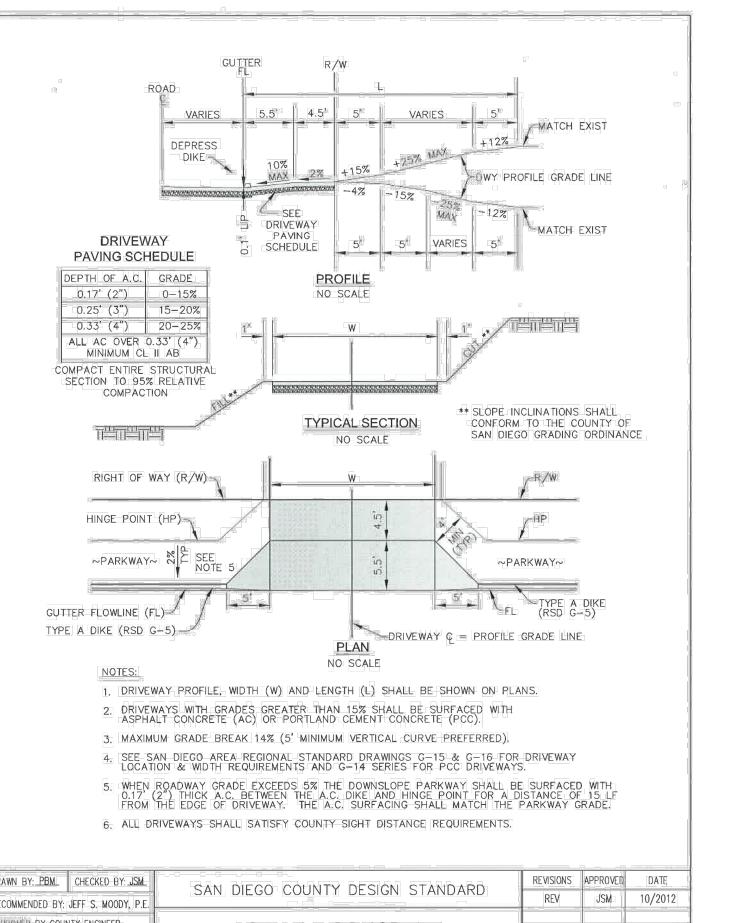


TYPICAL SITE ACCESS ROAD "T" - INTERSECTION

6 ONSITE ACCESS ROAD INTERSECTIONS

SCALE: NTS 5 ASPHALT CONCRETE DRIVEWAY





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BITUMINOUS

TACK COAT

SURFACE

EXISTING AGGREGATE BASE COURSE TO BE

PROTECTED AND REMAIN UNDISTURBED TO PREVENT LOSS OF DENSITY AND SUPPORT

UNDER EXISTING PAVEMENT

— EXISTING ASPHALT



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4) SAWCUT AND JOIN SCALE: NTS SCALE: NTS

1. ALL IMPROVEMENTS SHOULD ADHERE TO THE GETOTECHNICAL CONSULTANT'S RECOMMENDATIONS.

CONTRACTOR TO SAW CUT FULL DEPTH OF

EXISTING AC PAVEMENT AND PROVIDE NEW AC

PAVEMENT TO MATCH EXISTING DEPTH OR PER

— NEW ASPHALT

NEW AGGREGATE

BASE COURSE

SURFACE

GEOTECHNICAL REPORT RECOMMENDATIONS,

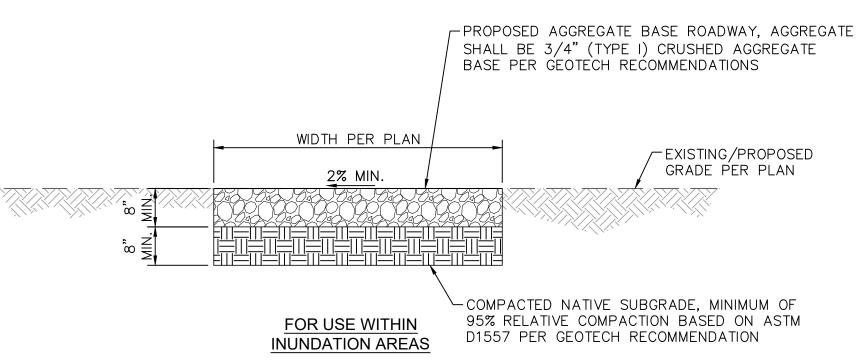
WHICHEVER IS GREATER

24" MIN.

APPROX. 1

- TWO (2) INCHES ASPHALT SURFACE COURSE PER GEOTECH RECOMMENDATIONS
- SIX (6) INCHES AGGREGATE BASE COURSE STONE AND COMPACTED TO AT LEAST 100% OF MAXIMUM DRY DENITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D1577), PER GEOTECH RECOMMENDATIONS
- NATIVE SUBGRADE TO BE COMPACTED TO 95% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). REFER TO SHEET 002 - TITLE REPORT, ACCESS ROAD GEOTECHNICAL RECOMMENDATIONS FOR REMEDIATION REQUIREMENTS

1. PAVEMENT SECTION PER GEOTECHNICAL RECOMMENDATIONS 2. ALL IMPROVEMENTS SHOULD ADHERE TO THE GETOTECHNICAL CONSULTANTS RECOMMENDATIONS.



- 3. SCARIFICATION, MOISTURE CONDITIONING AND COMPACTION OF THE SUBGRADE SOILS ARE NOT REQUIRED
- IF ROCK OR CEMENTED MATERIALS ARE ENCOUNTERED AT THE SUBGRADE ELEVATION 4. ALL IMPROVMENTS SHOULD ADHERE TO THE GEOTECHNICAL CONSULTANTS RECOMENDATIONS

/EXISTING/PROPOSED GRADE PER PLAN MAY VARY PER PLAN EXISTING NATIVE SOIL TO BE REMOVED AND RE-COMPACTED TO 90% OF THE MATERIAL'S ASTM D-698 MAXIMUM DRY DENSITY

1. SUBSEQUENT TO CLEARING AND GRUBBING WITHIN THE CIVIL LIMITS OF GRADING, THE EXISTING NATIVE SOILS SHALL BE EXCAVATED TWELVE (12) INCHES BELOW EXISTING GRADE OR FINISH GRADE, WHICHEVER IS LOWER AND SCARIFIED AN ADDITIONAL TWELVE (12) INCHES BELOW EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS LOWER. THE GEOTÈCHNICAL CONSULTANT SHALL INSPECT THE RESULTING SURFACES PRIOR TO FILL PLACEMENT.

- 2. SUBSEQUENT TO APPROVAL OF THE RESULTING SURFACE BY THE GEOTECHNICAL CONSULTANT, THE RESULTING SOIL SURFACE SHALL BE PROPERLY MOISTURE CONDITIONED TO AERATE TO NEAR OPTIMUM MOISTURE CONTENT, AND MECHANICALLY COMPACTED TO 90% RELATIVE COMPACTION AS DETERMINED BY ASTM D-698 TEST METHOD. COMPACTION SHALL BE VERIFIED BY TESTING BY THE GEOTECHNICAL CONSULTANT.
- 3. ALL IMPROVEMENTS SHOULD ADHERE TO THE GEOTECHNICAL CONSULTANT'S RECOMMENDATION

PROJECT MANAGER PATRICK BROWN 949.398.3915 PROJECT ENGINEER

SITE INFORMATION

JVR ENERGY PARK

DREW CORRAO 310.936.5067

ISSUE

PROJECT NUMBER KHA -194083001 DRAWN BY REVIEWED BY

CLIENT SIGNATURE

MAJOR USE PERMIT DETAILS

DRAWING NUMBER 201

1. EXISTING VEGETATION AND OTHER DELETERIOUS MATERIAL SHOULD BE STRIPPED AND REMOVED FROM PROPOSED ROADWAYS. EXPOSED SURFACES SHOULD BE FREE OF MOUNDS AND DEPRESSIONS WHICH COULD PREVENT UNIFORM COMPACTION. 2. AGGREGATE BASE SHOULD NOT BE PLACED WHEN THE SUBGRADE MATERIALS ARE WET OR FROZEN.

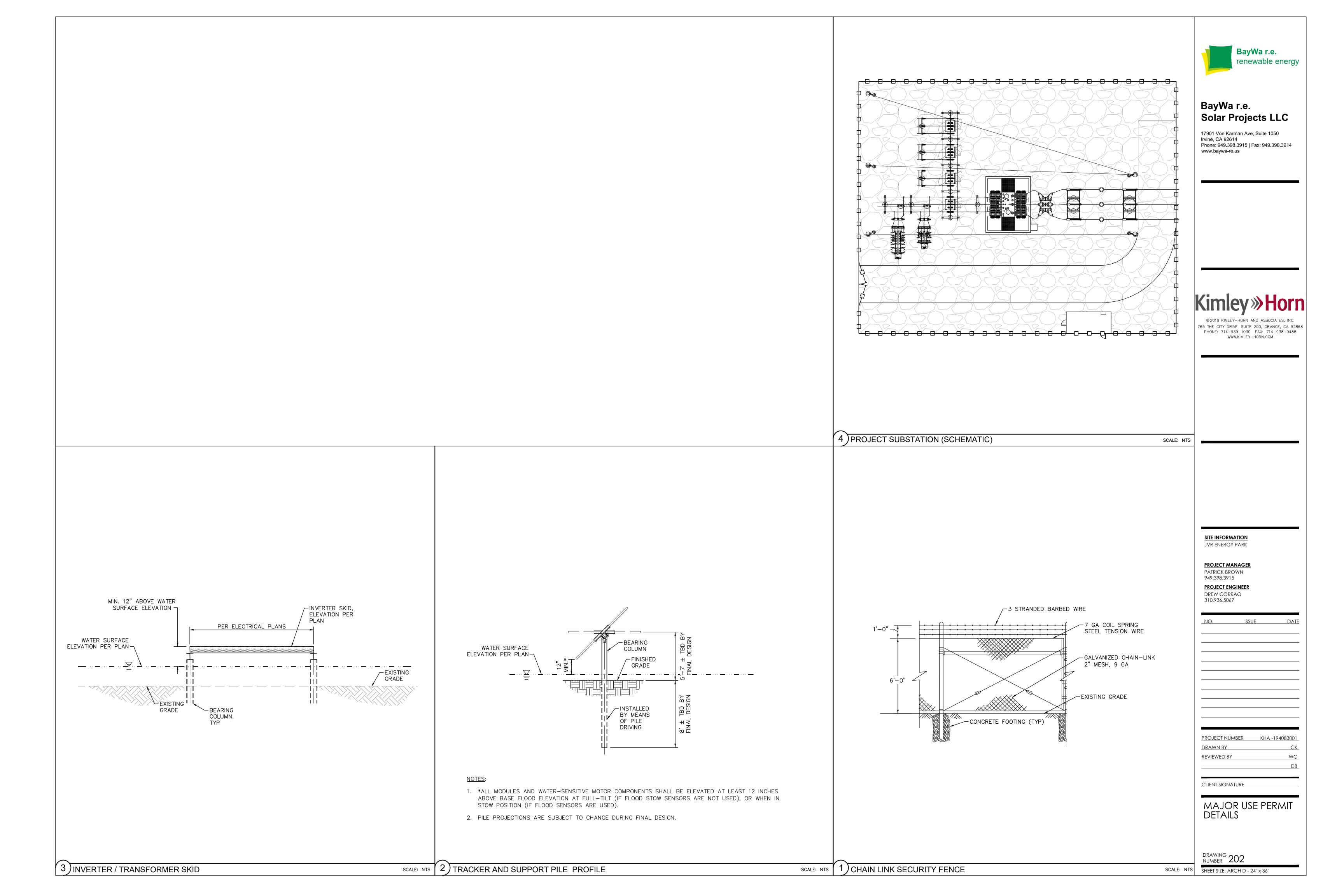
1) COMPACTED NATIVE ACCESS ROAD

3) AC PAVEMENT SECTION

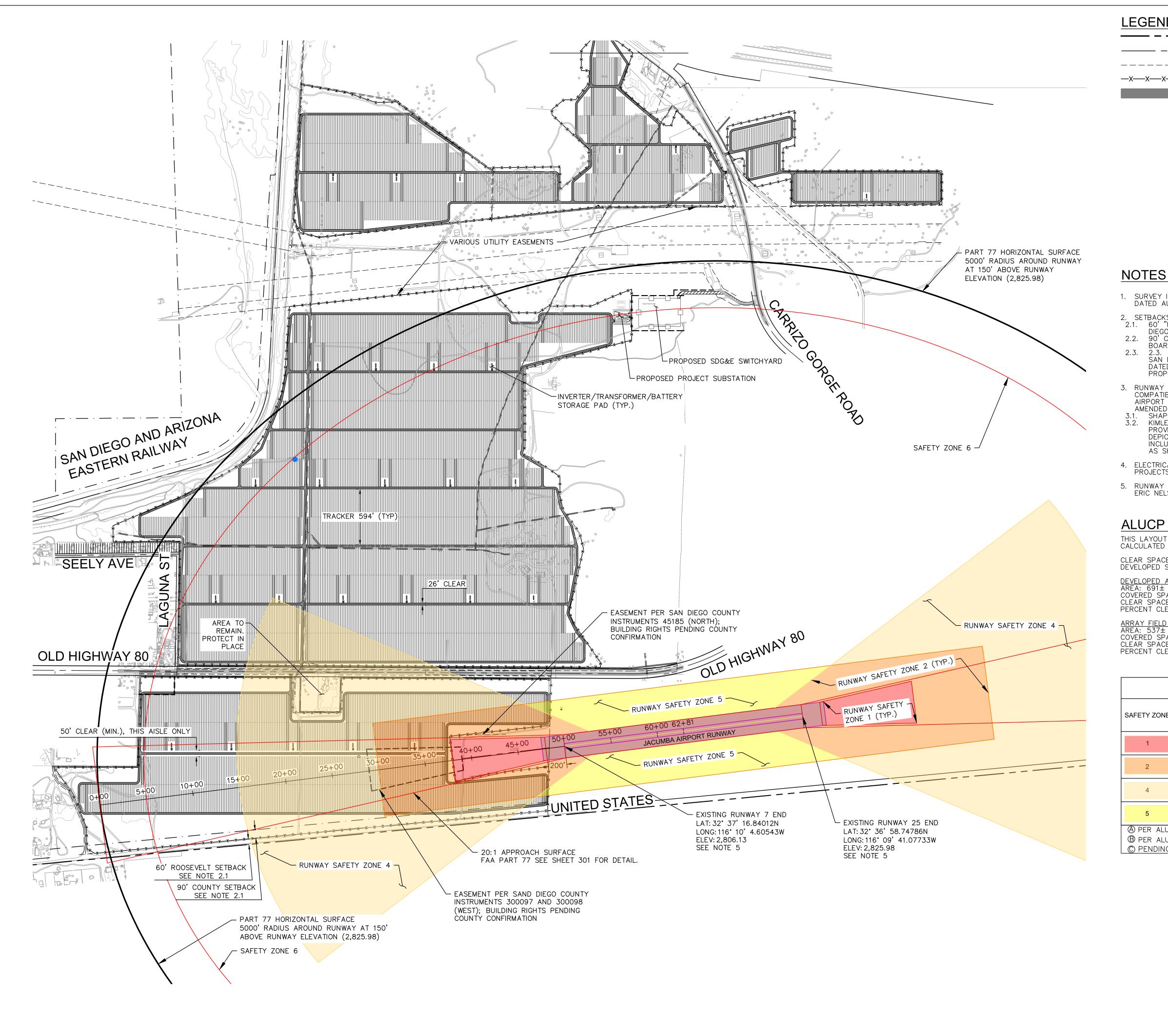
AFFFO/EDBY

SCALE: NTS 2 AGGREGRATE ROADWAY BASE

SCALE: NTS SHEET SIZE: ARCH D - 24" x 36"



AFFROJETBY



LEGEND

PROPERTY LINE — — CENTER LINE ---- EASEMENT LINE —X—X—X—X— PROPOSED FENCE

ALL WEATHER ACCESS ROAD



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1. SURVEY INFORMATION PREPARED BY KIMLEY-HORN AND ASSOCIATES DATED AUGUST 2018; PENDING ALTA COMPLETION.

2. SETBACKS

60' "ROOSEVELT" PUBLIC RESERVE SETBACK PER "COUNTY OF SAN DIEGO, CALIFORNIA BOARD OF SUPERVISORS POLICY NUMBER I—111" 90' COUNTY SETBACK PER "COUNTY OF SAN DIEGO, CALIFORNIA

- BOARD OF SUPERVISORS POLICY NUMBER I—111"

 2.3. FRONT, REAR, AND SIDE BUILDING COUNTY SETBACKS PER SAN DIEGO COUNTY "SETBACKS FOR SOLAR PHOTOVOLTAIC PANELS" DATED 01/30/18. REQUIRES A MINIMUM 3' SETBACK FROM PROPERTY LINE TO GROUND-MOUNTED PV SOLAR ARRAYS.
- RUNWAY SAFETY ZONES DELINEATED PER JACUMBA AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) ADOPTED BY THE SAN DIEGO COUNTY AIRPORT LAND USE COMMISSION (ALUC) IN DECEMBER, 2006 AND AMENDED IN DECEMBER, 2011. DATA SOURCE IS NOTED BELOW:
- 3.1. SHAPEFILES PROVIDED BY SAN DIEGO COUNTY KIMLEY—HORN DEPICTION PER SAFETY ZONE DIMENSIONAL PLAN
 PROVIDED BY BAYWA AND ALUCP; ALSO INCLUDES KIMLEY—HORN
 DEPICTION OF ADDITIONAL BUILDING LIMITATIONS PER FAA PART 77
 INCLUDING RUNWAY PROTECTION ZONE (RPZ), APPROACH ZONE, ETC AS SHOWN IN GREEN.
- 4. ELECTRICAL LAYOUT SHOWN AS PROVIDED BY BAYWA R.E. SOLAR PROJECTS, LLC DATED OCTOBER 09, 2018.
- 5. RUNWAY COORDINATES PER SD COUNTY -EMAIL DATED 10/4/2018 FROM ERIC NELSON

ALUCP CLEAR SPACE CALCULATIONS

THIS LAYOUT COMPLIES WITH §2.9 OF THE ALUCP (CLEAR SPACE) AS CALCULATED BELOW:

CLEAR SPACE REQUIREMENT: 0.5 AC MINIMUM PER 10 AC PORTION OF

<u>DEVELOPED AREA (OVERALL SITE):</u> AREA: 691± AC

COVERED SPACE: 171± AC

CLEAR SPACE: 520± AC PERCENT CLEAR SPACE: 7.5 AC PER 10 AC PORTION

ARRAY FIELD (INSIDE OF PERIMETER PERIMETER ROAD): AREA: 537± AC

COVERED SPACE: 168± AC

CLEAR SPACE: 369± AC
PERCENT CLEAR SPACE: 6.8 AC PER 10 AC PORTION

SAFETY ZONES			
SAFETY ZONE	PROP. LAND USE CATEGORY (A)	MAX LOT COVERAGE	EST. LOT COVERAGE
1		0%	25-45%
2	INDUSTRIAL OUTDOOR STORAGE	50%	25-45%
4		70%	25-45%
5	70%	25-45%	
♠ PER ALUCP MAP JAC-2			

® PER ALUCP § 2.8 © PENDING FINAL DESIGN JVR ENERGY PARK

SITE INFORMATION

PROJECT MANAGER PATRICK BROWN 949.398.3915

PROJECT ENGINEER DREW CORRAO 310.936.5067

> ISSUE MUP - FIRST SUBMITTAL 11/1/2018

PROJECT NUMBER KHA -194083001 DRAWN BY

CLIENT SIGNATURE

GRAPHIC SCALE IN FEET

1" = 500 WHEN PLOTTED ON 24" X 36" SHEET

250 500

REVIEWED BY

MAJOR USE PERMIT AVIATION COMPATIBILITY PLAN

DRAWING 300 NUMBER



NOTES

- ELEVATIONS ARE MEASURED ABOVE MEAN SEAN LEVEL PER SURVEY BY KIMLEY HORN & ASSOCIATES DATED AUG. 22, 2018.
- WEST EASEMENT COUNTY OF SAN DIEGO EASEMENT INSTRUMENT NO. 300098 RECORDED 8/25/1973
- 3. DO NOT PENETRATE WITH PERMANENT IMPROVEMENTS OR CONSTRUCTION EQUIPMENT.

BayWa r.e. Solar Projects LLC

17901 Von Karman Ave, Suite 1050 Irvine, CA 92614 Phone: 949.398.3915 | Fax: 949.398.3914 www.baywa-re.us



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PHONE: 714-939-1030 FAX: 714-938-9488
WWW.KIMLEY-HORN.COM

SITE INFORMATION

JVR ENERGY PARK

PROJECT MANAGER
PATRICK BROWN
949.398.3915

PROJECT ENGINEER
DREW CORRAO
310.936.5067

ISSUE

PRELIMINARY 11/1/2018

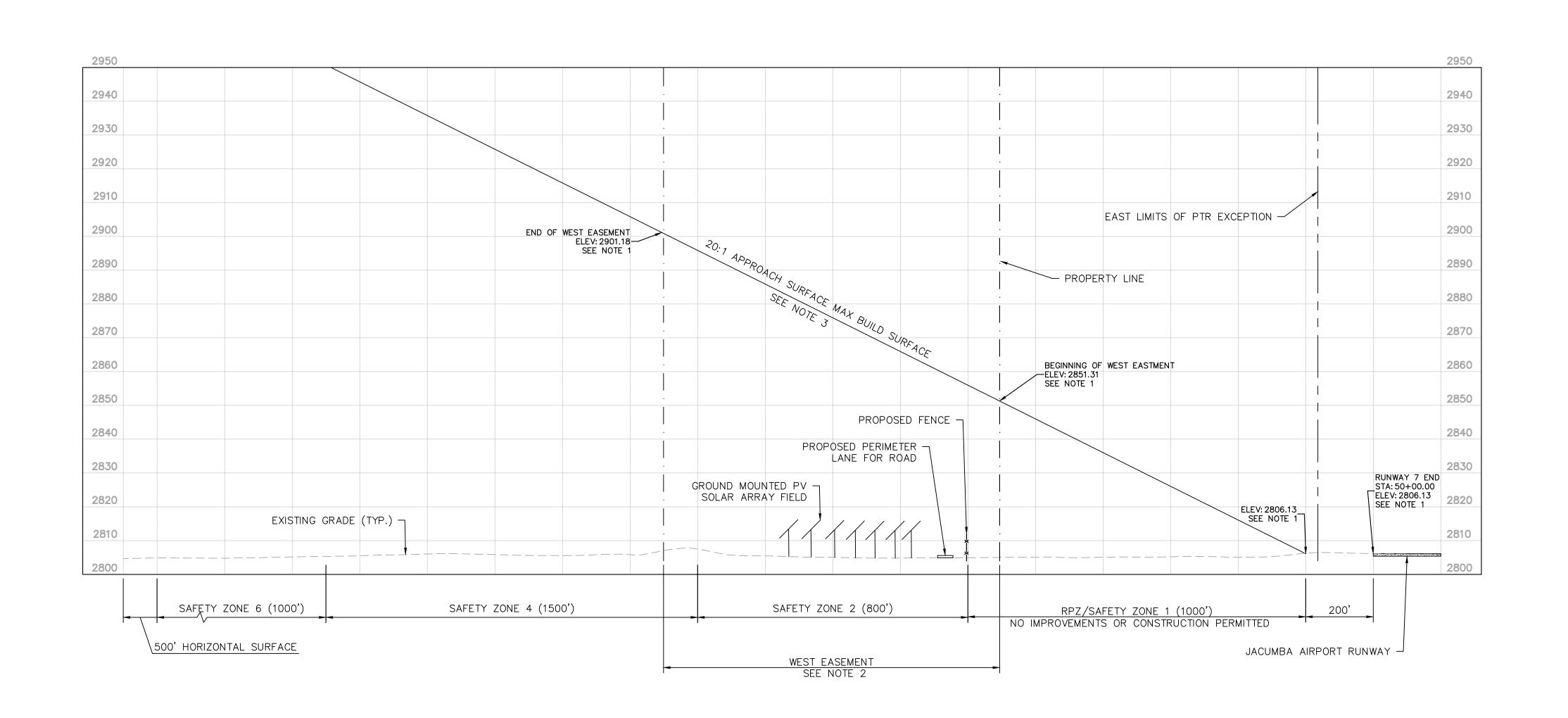
PROJECT NUMBER KHA -194083001
DRAWN BY LL
REVIEWED BY WC

CLIENT SIGNATURE

MAJOR USE PERMIT AVIATION COMPATIBILITY PROFILE

DRAWING NUMBER 301

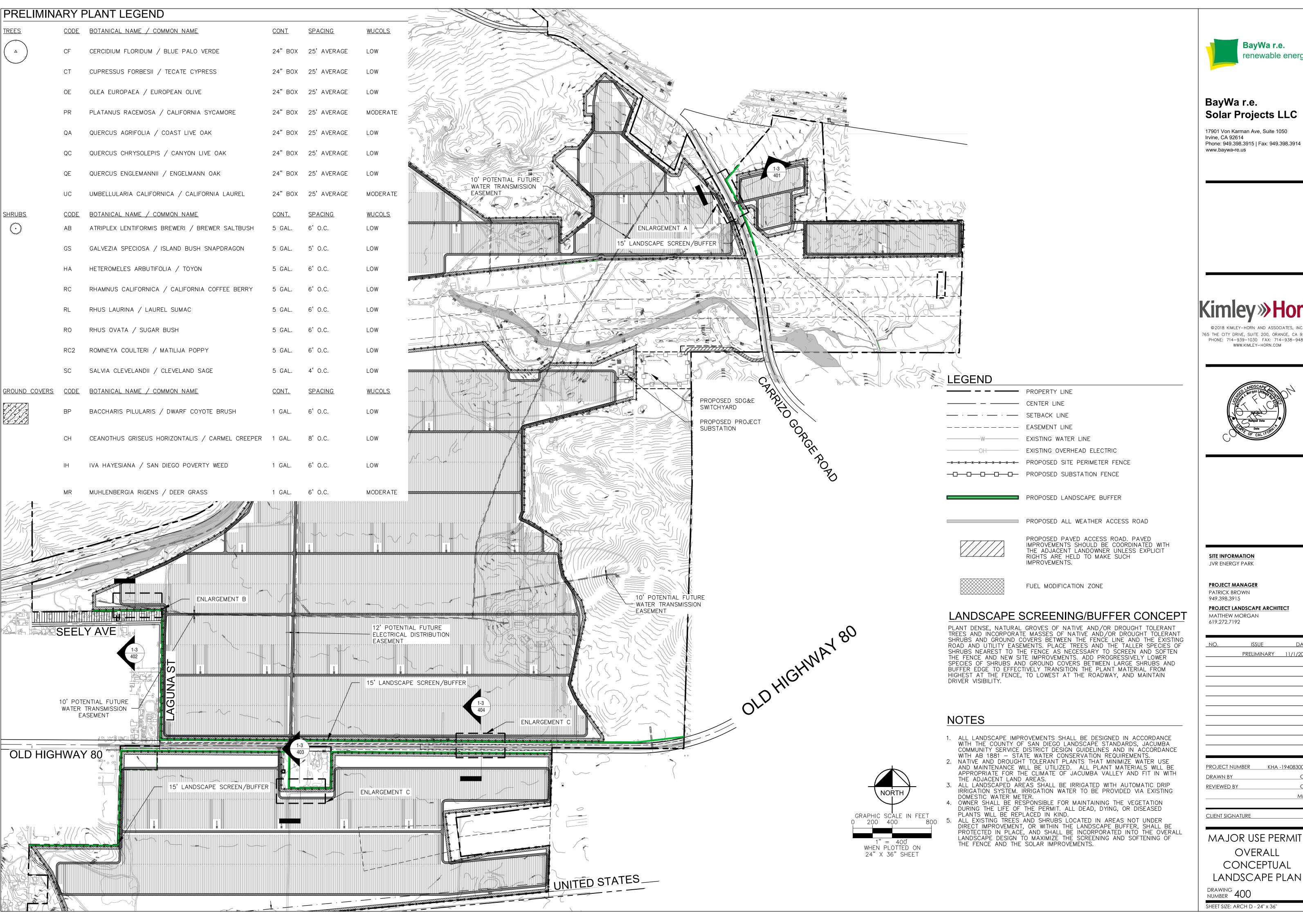
SHEET SIZE: ARCH D - 24" x 36"



AVIATION COMPATIBILITY PROFILE

N.T.S.

AFFO/EDBY



BayWa r.e. renewable energy

Solar Projects LLC

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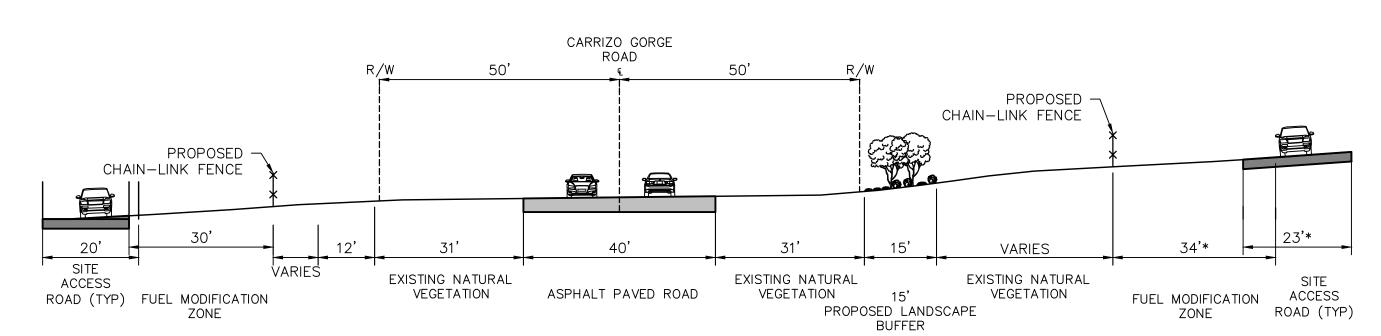
PROJECT LANDSCAPE ARCHITECT

PRELIMINARY 11/1/2018

PROJECT NUMBER KHA -194083001

OVERALL

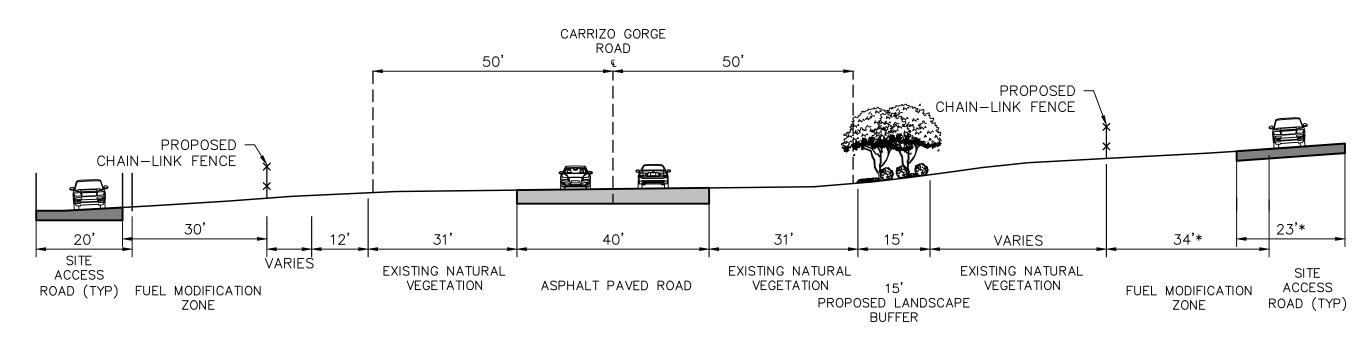
LANDSCAPE PLAN



SECTION 1 - (AT PLANTING)

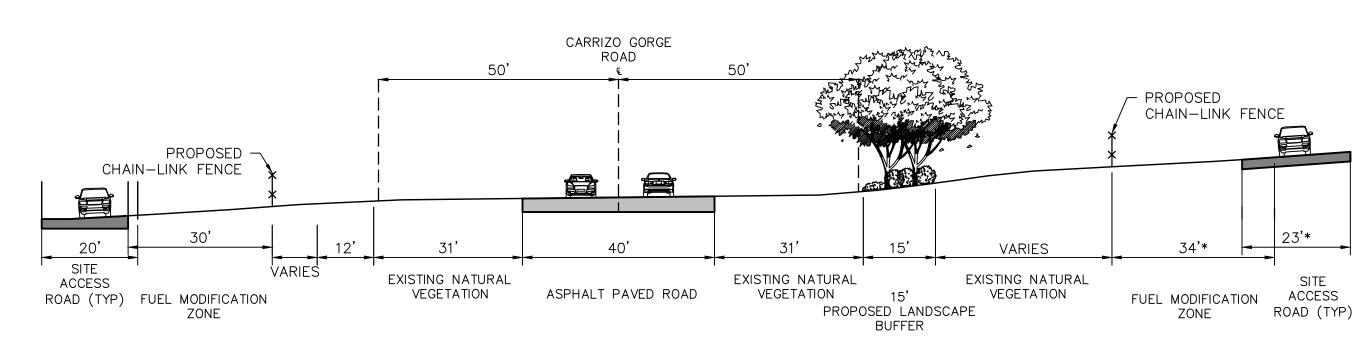
NOT TO SCA

*DIMENSIONS WITH AN ASTERISK ARE MEASURED AT ANGLE SHOW ON ENLARGED PLAN



SECTION 2 - (APPROXIMATELY 5 YEARS FROM PLANTING)

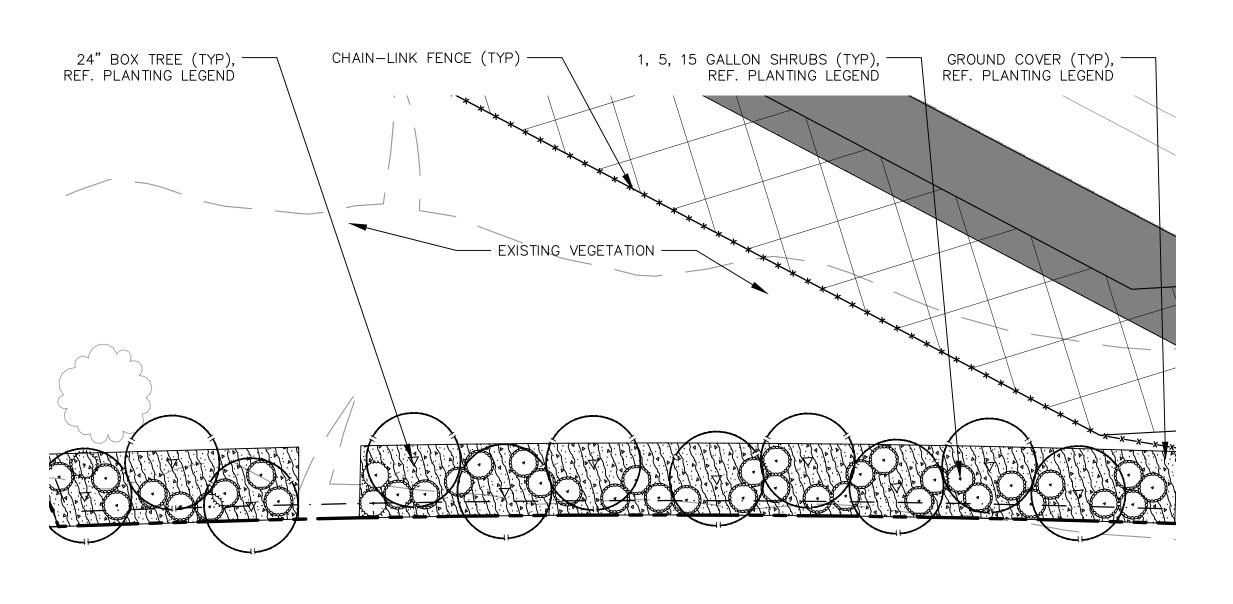
NOT TO SCALE
*DIMENSIONS WITH AN ASTERISK ARE MEASURED AT ANGLE SHOW ON ENLARGED PLAN



SECTION 3 - (APPROXIMATELY 10 YEARS FROM PLANTING)

NOT TO SCALE

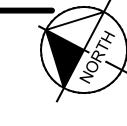
*DIMENSIONS WITH AN ASTERISK ARE MEASURED AT ANGLE SHOW ON ENLARGED PLAN



CARRIZO GORGE ROAD

ENLARGEMENT A

SCALE: 1" = 20'
*LANDSCAPE BUFFER WILL BE IRRIGATED
*REFER TO SHEET 400 FOR PLANT SCHEDULE, LEGEND, AND NOTES



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BayWa r.e.

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SITE INFORMATION

JVR ENERGY PARK

PROJECT MANAGER
PATRICK BROWN

619.272.7192

949.398.3915

PROJECT LANDSCAPE ARCHITECT

MATTHEW MORGAN

D. ISSUE DATE
PRELIMINARY 11/1/2018

PROJECT NUMBER KHA -194083001
DRAWN BY CF

REVIEWED BY C

CLIENT SIGNATURE

MAJOR USE PERMIT CONCEPTUAL LANDSCAPE ENLARGEMENT A AND SECTIONS DRAWING 401

NUMBER 40 I SHEET SIZE: ARCH D - 24" x 36"



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SITE INFORMATION

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PATRICK BROWN 949.398.3915

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MATTHEW MORGAN
619.272.7192

ISSUE	DATE
PRELIMINARY	11/1/2018

PROJECT NUMBER KHA -194083001

DRAWN BY CF
REVIEWED BY CF
MM

CLIENT SIGNATURE

MAJOR USE PERMIT CONCEPTUAL LANDSCAPE ENLARGEMENT B AND SECTIONS NUMBER 402

SHEET SIZE: ARCH D - 24" x 36"

SOLAR SITE ACCESS ROAD (TYP)

EXISTING NATURAL VEGETATION

10' POTENTIAL FUTURE WATER TRANSMISSION EASEMENT

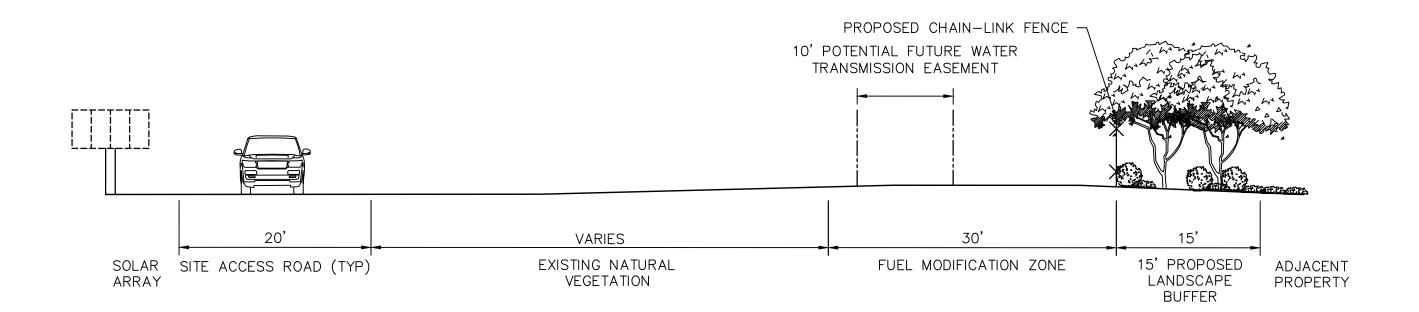
30' 15'

FUEL MODIFICATION ZONE LANDSCAPE BUFFER

ADJACENT PROPERTY

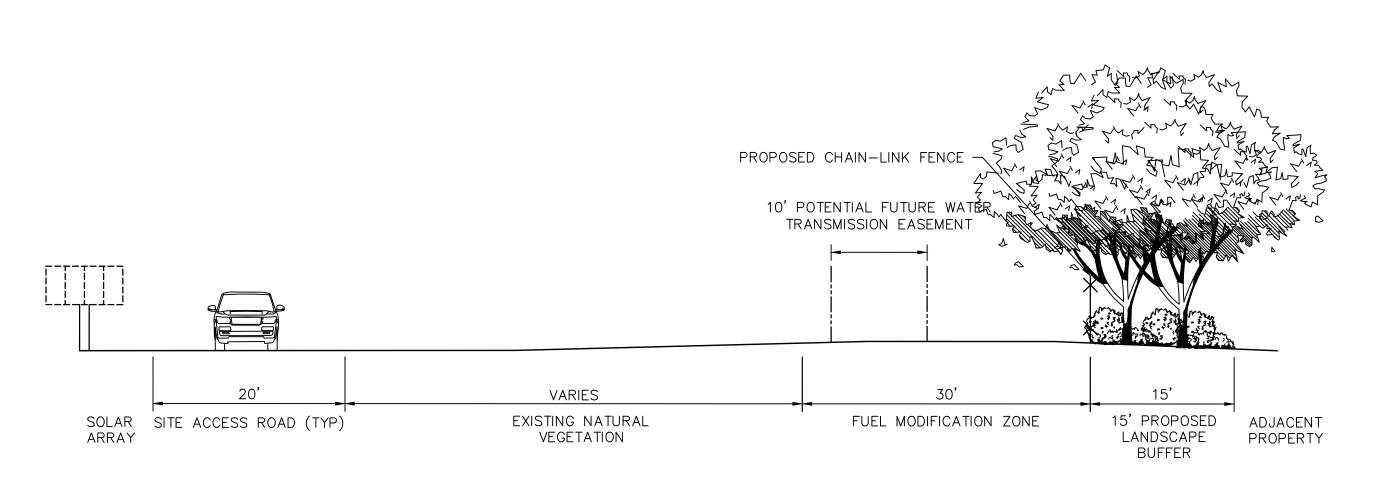
SECTION 1 - (AT PLANTING)

NOT TO SCALE



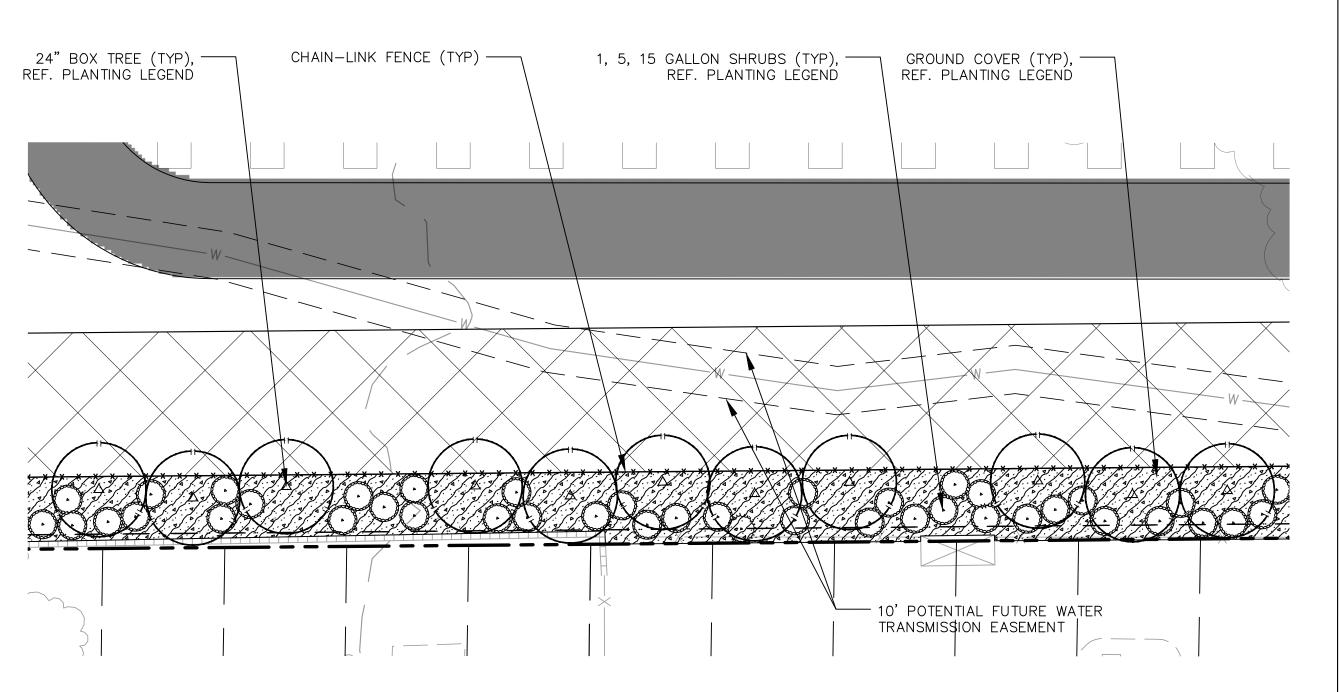
SECTION 2 - (APPROXIMATELY 5 YEARS FROM PLANTING)

NOT TO SCALE



SECTION 3 - (APPROXIMATELY 10 YEARS FROM PLANTING)

NOT TO SCALE



ENLARGEMENT B

SCALE: 1" = 20'
*LANDSCAPE BUFFER WILL BE IRRIGATED
*REFER TO SHEET 400 FOR PLANT SCHEDULE, LEGEND, AND NOTES

NORTH

GRAPHIC SCALE IN FEET

O 10 20 40

1" = 20'
WHEN PLOTTED ON
24" X 36" SHEET



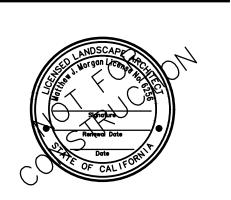
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SITE INFORMATION

JVR ENERGY PARK

PROJECT MANAGER PATRICK BROWN 949.398.3915

PROJECT LANDSCAPE ARCHITECT
MATTHEW MORGAN
619.272.7192

<i>)</i>	1220F	DAIE
	PRELIMINARY	11/1/2018

OJECT NUMBER	KHA -194083001
AWN BY	<u>CF</u>

DRAWN BY C
REVIEWED BY C
MA

CLIENT SIGNATURE

MAJOR USE PERMIT CONCEPTUAL LANDSCAPE ENLARGEMENT C

AND SECTIONS
DRAWING 403
SHEET SIZE: ARCH D - 24" x 36"

PROPOSED CHAIN—LINK FENCE

20'
VARIES

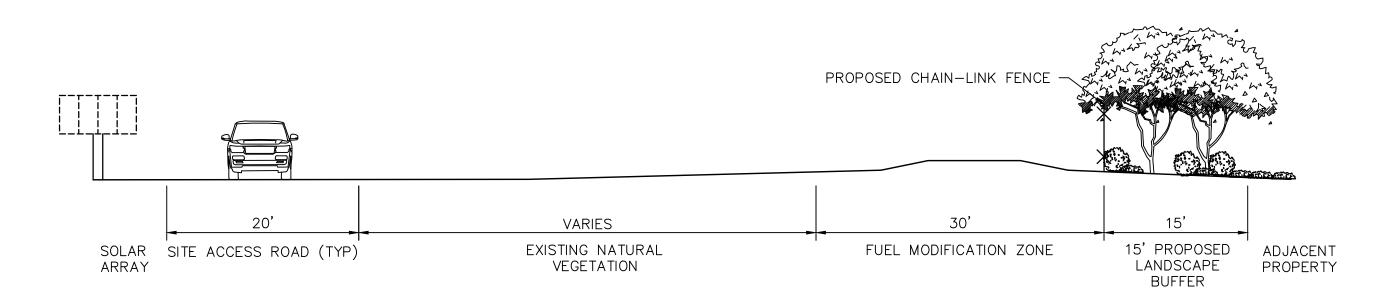
SOLAR SITE ACCESS ROAD (TYP)
EXISTING NATURAL VEGETATION

FUEL MODIFICATION ZONE
LANDSCAPE BUFFER

ADJACENT PROPERTY
BUFFER

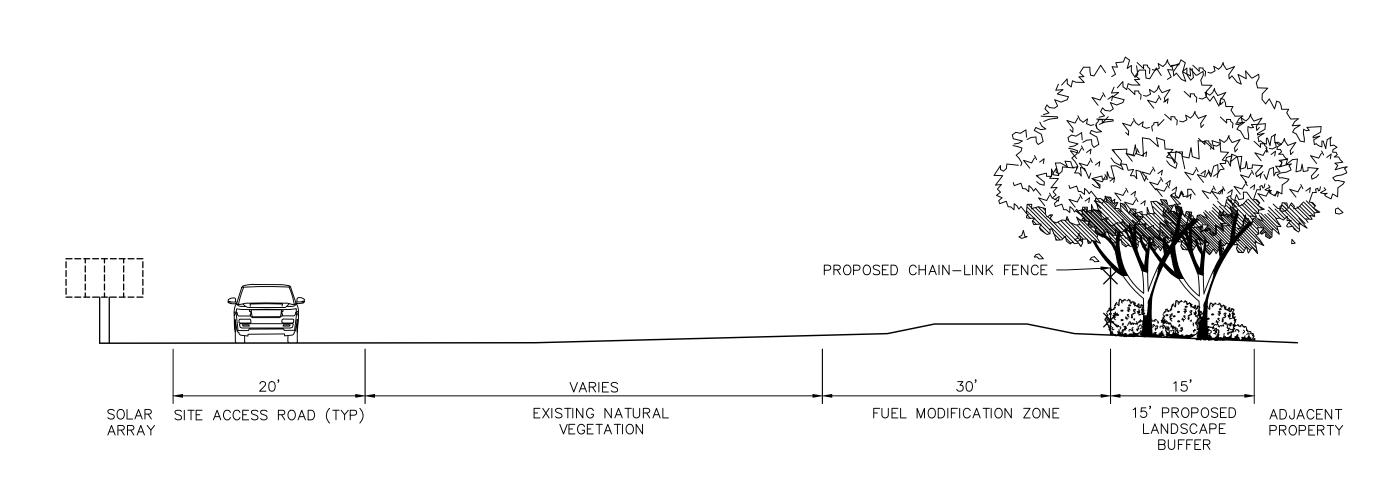
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NOT TO SCALE



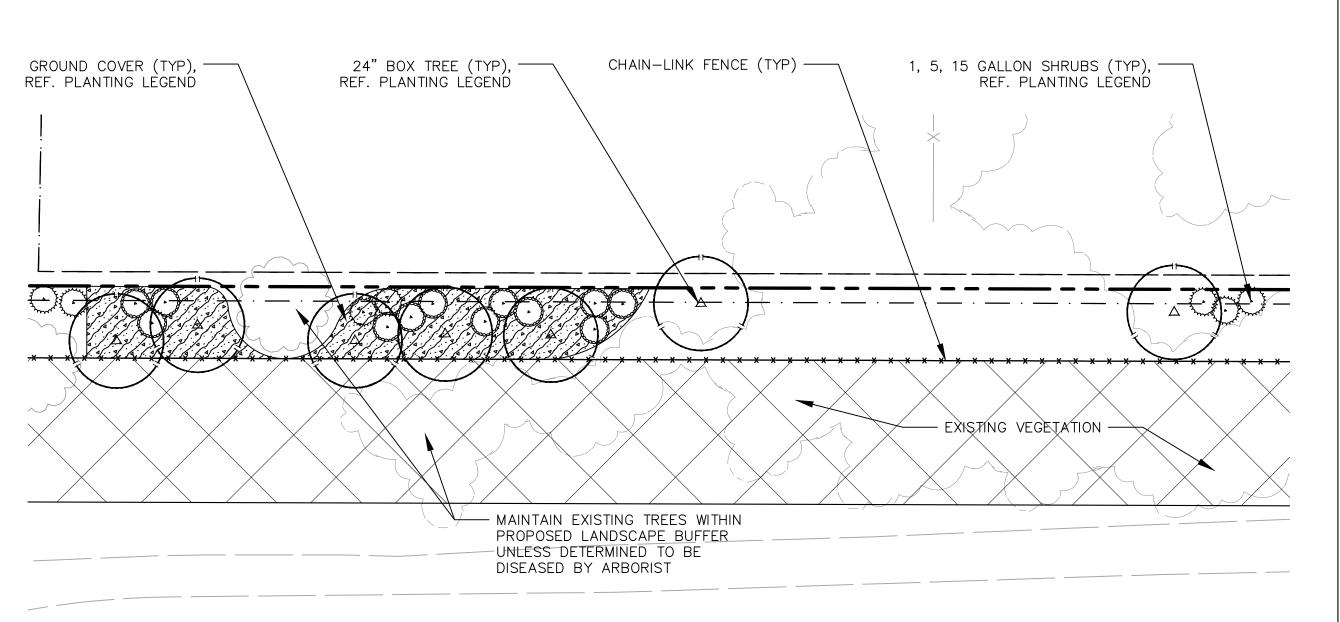
SECTION 2 - (APPROXIMATELY 5 YEARS FROM PLANTING)

NOT TO SCALE



SECTION 3 - (APPROXIMATELY 10 YEARS FROM PLANTING)

NOT TO SCALE



ENLARGEMENT C

SCALE: 1" = 20'
*LANDSCAPE BUFFER WILL BE IRRIGATED
*REFER TO SHEET 400 FOR PLANT SCHEDULE, LEGEND, AND NOTES

NORTH

GRAPHIC SCALE IN FEET

0 10 20 40

1" = 20'
WHEN PLOTTED ON
24" X 36" SHEET

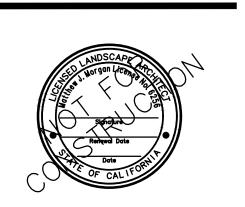


BayWa r.e. **Solar Projects LLC**

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PATRICK BROWN 949.398.3915

PROJECT LANDSCAPE ARCHITECT MATTHEW MORGAN 619.272.7192

> ISSUE PRELIMINARY 11/1/2018

PROJECT NUMBER KHA -194083001

REVIEWED BY

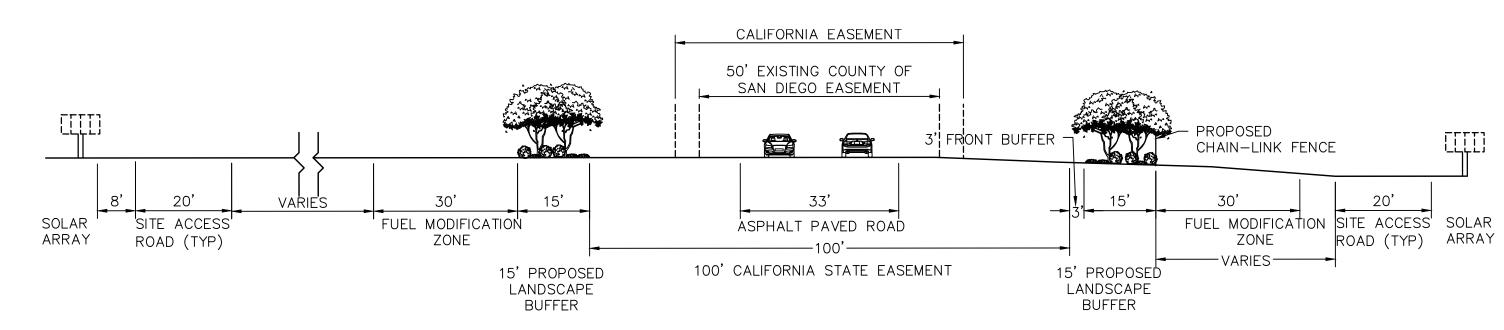
CLIENT SIGNATURE

LANDSCAPE ENLARGEMENT D AND SECTIONS NUMBER 404

CALIFORNIA EASEMENT ┌ 3' FRONT BUFFER 50' EXISTING COUNTY OF SAN DIEGO EASEMENT - PROPOSED CHAIN—LINK FENCE 33' FUEL MODIFICATION SITE ACCESS SOLAR FUEL MODIFICATION 'SITE ACCESS' ASPHALT PAVED ROAD ROAD (TYP) ARRAY ROAD (TYP) ZONE ZONE -VARIES ---15' PROPOSED LANDSCAPE BUFFER 100' CALIFORNIA STATE EASEMENT 15' PROPOSED LANDSCAPE BUFFER

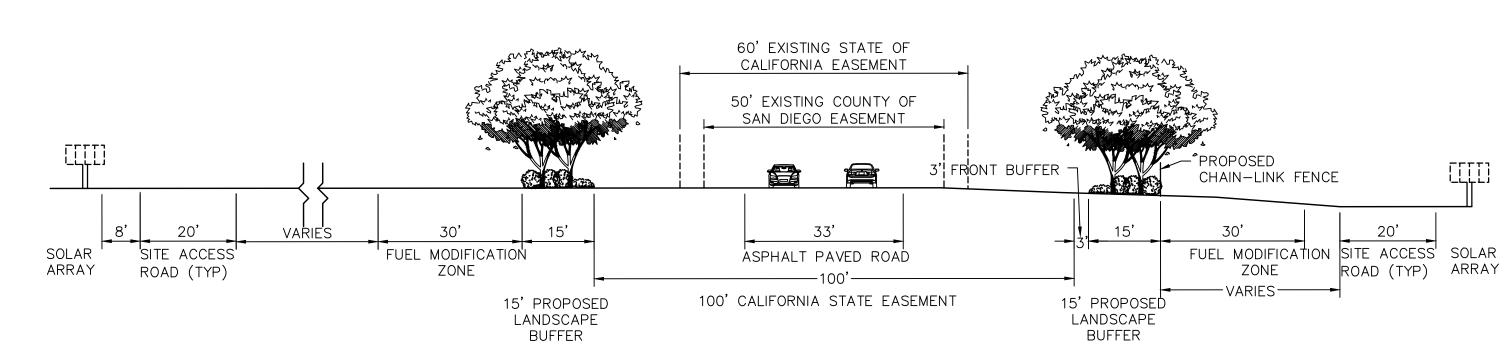
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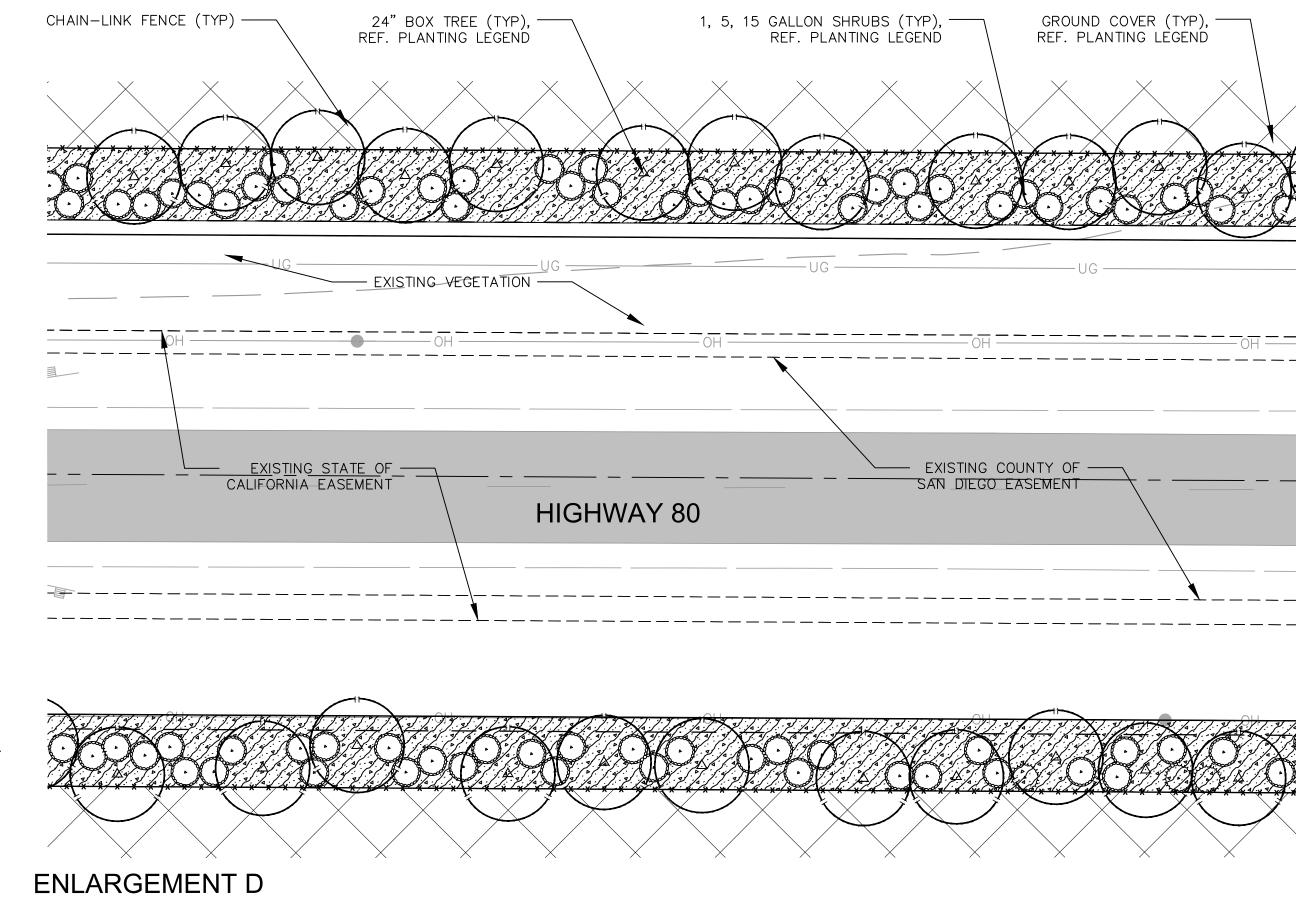
SECTION 2 - (APPROXIMATELY 5 YEARS FROM PLANTING)

NOT TO SCALE



SECTION 3 - (APPROXIMATELY 10 YEARS FROM PLANTING)

NOT TO SCALE



*LANDSCAPE BUFFER WILL BE IRRIGATED *REFER TO SHEET 400 FOR PLANT SCHEDULE, LEGEND, AND NOTES

1" = 20' WHEN PLOTTED ON 24" X 36" SHEET