

GRADING NOTE

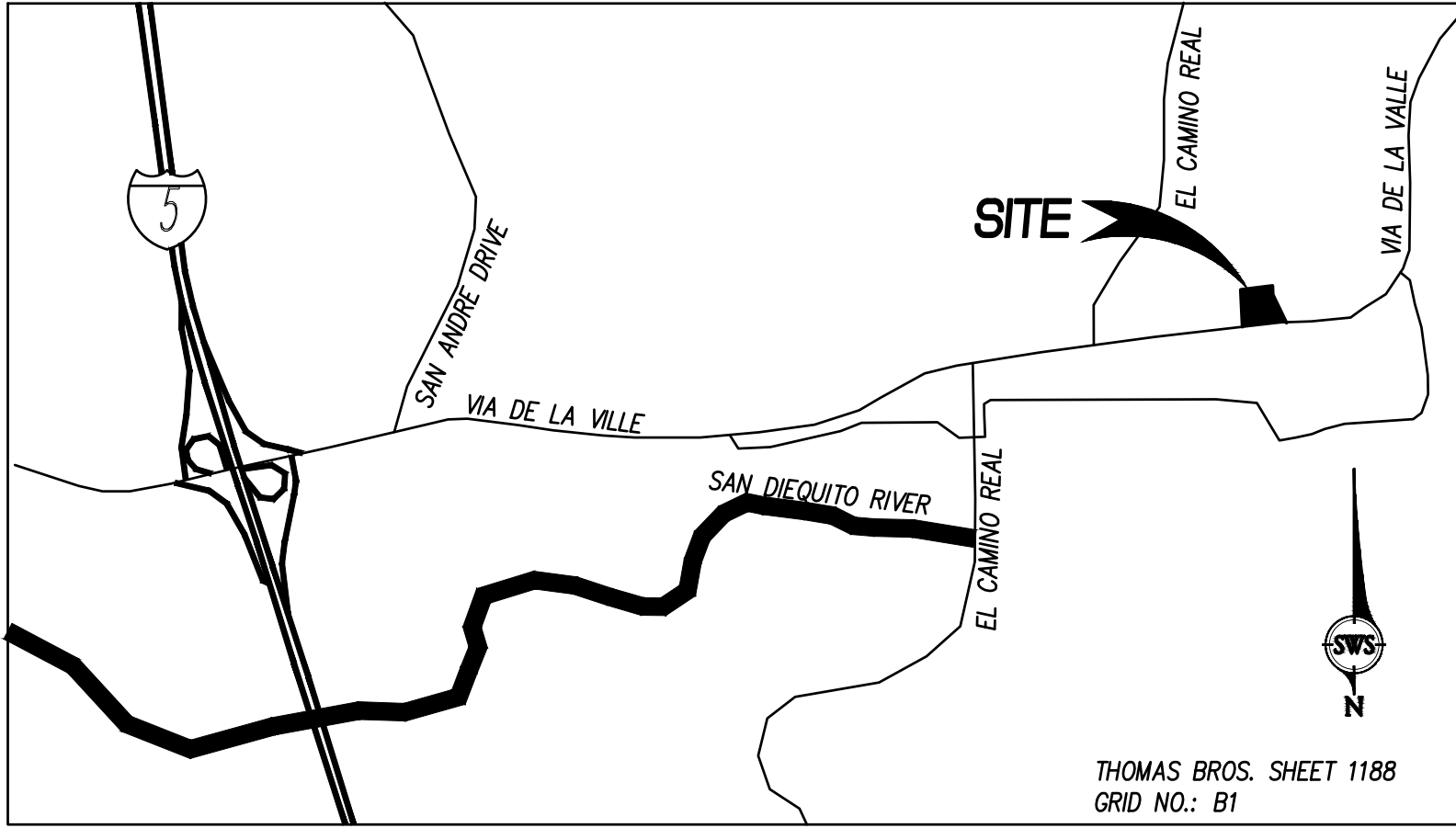
- ALL GRADING SHALL CONFORM OF THE REQUIREMENTS OF THE GRADING ORDINANCE SECTIONS 87.101 THROUGH 87.804 OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES.
- A REGISTERED CIVIL ENGINEER IS REQUIRED TO SUPERVISE INSTALLATION OF THE FILL KEYWAY AND ALL FILL BENCHING AND COMPACTION. A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL THAT IS OVER 12" IN DEPTH. DPLU FORM #73, MINOR GRADING CERTIFICATION, AND THREE (3) COPIES OF THE COMPACTION REPORT COMPLETED BY A SOILS ENGINEER SHALL BE SUBMITTED PRIOR TO ROUGH GRADE APPROVAL.
- ALL FILL MATERIAL SHALL BE COMPACTED TO AT LEAST 90% MAXIMUM DRY DENSITY.
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY.
- MAINTAIN 1% (MINIMUM) SLOPE AWAY FROM ALL BUILDINGS FOR AT LEAST 5'.
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS:
A. DS-8 LOT GRADING
B. DS-10 GRADING OF SLOPES
C. DS-11 REQUIRED SETBACKS
D. D-40 RIP RAP ENERGY DISSIPATOR
E. D-75 DRAINAGE DITCHES
- BERMS SHALL BE REQUIRED AT THE TOP OF ALL FILL SLOPES AND SWALES OR BROW DITCHES SHALL BE REQUIRED AT THE TOP OF ALL CUT SLOPES. ALL BERMS, SWALES, OR BROW DITCHES SHALL CONFORM TO THE DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS LISTED ABOVE.
- REGARDLESS OF WHICH BMP'S ARE IMPLEMENTED THE FACE OF ALL CUT AND FILL SLOPES IN EXCESS OF 3' VERTICAL HEIGHT SHALL BE PLANTED AND MAINTAINED WITH A GROUND COVER OR OTHER PLANTING TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED. ALL PLANTING MUST HAVE A PERMANENTLY INSTALLED IRRIGATION SYSTEM
- REQUIRED SLOPE RATIOS ARE AS FOLLOWS:
A. CUTS - 1.5:1 FOR MINOR SLOPES (UP TO 15' VERTICAL HEIGHT)
B. CUTS - 2:1 FOR MAJOR SLOPES (OVER 15' VERTICAL HEIGHT)
C. FILLS - 2:1 (MAXIMUM) FOR ALL FILL SLOPES
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE OWNER AND PERMITEE ARE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTIES. NO PERSON SHALL EXCAVATE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET OR SIDEWALK, OR THE FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY.
- THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES MAY IMPOSE CONDITIONS THAT ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. THE DIRECTOR MAY ALSO MODIFY OR ADD CONDITIONS TO ANY VALID GRADING PERMIT WHEN SUCH MODIFICATIONS OR ADDITIONS ARE REASONABLY NECESSARY TO PREVENT THE CREATION OF A NUISANCE OR HAZARD TO PERSONS OR TO PUBLIC OR PRIVATE PROPERTY. SUCH CONDITIONS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A. IMPROVEMENT OF EXISTING GRADING TO CONFORM WITH THE GRADING ORDINANCE, AND;
B. REQUIREMENTS FOR FENCING OF EXCAVATIONS OR FILLS THAT WOULD OTHERWISE BE HAZARDOUS, AND;
C. ADEQUATE DUST CONTROL MEASURES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT OR ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM MONDAY THROUGH SATURDAY. NO EARTH MOVING OR GRADING SHALL BE CONDUCTED ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE PROVIDED TO THE FOLLOWING AGENCIES BY CALLING 1-800-422-4133 FOR UTILITY CONTACT
A. SAN DIEGO GAS AND ELECTRIC
B. PHONE SERVICE
C. CABLE TV SERVICE
D. WATER UTILITY
E. SEWER UTILITY
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICE DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION IS OBTAINED, RIGHT TO ENTRY FORM COMPLETED AND VALID GRADING PERMIT ISSUED.
- THE ISSUANCE OF A GRADING PERMIT SHALL CONSTITUTE AN AUTHORIZATION TO PERFORM ONLY THAT WORK WHICH IS DESCRIBED OR SHOWN ON THE GRADING PERMIT APPLICATION AND APPROVED GRADING PLANS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ANY CONDITIONS IMPOSED BY THE DIRECTOR OF PLANNING AND LAND USE AND IN ACCORDANCE WITH THE GRADING ORDINANCE.

PRE-CONSTRUCTION NOTICES

THE SUBJECT PROPERTY CONTAINS HABITAT WHICH MAY BE USED FOR NESTING BY MIGRATORY BIRDS. ANY GRADING, BRUSHING, OR CLEARING CONDUCTED DURING THE MIGRATORY BIRD BREEDING SEASON, FEBRUARY - AUGUST 31, HAS THE POTENTIAL TO IMPACT NESTING OR BREEDING BIRDS IN VIOLATION OF THE MIGRATORY BIRD TREATY ACT. THE APPLICANT MAY SUBMIT EVIDENCE THAT NESTING OR BREEDING MIGRATORY BIRDS WILL NOT BE AFFECTED BY THE GRADING, BRUSHING, OR CLEARING. TO THESE AGENCIES: CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE, 3883 RUFFIN RD., SAN DIEGO, CA 92123 (858)467-4201, HTTP://WWW.DFG.CA.GOV/; AND UNITED STATES FISH AND WILDLIFE SERVICE, 2177 SALK AVENUE, SUITE 250, CARLSBAD, CALIFORNIA 92008, (760) 431-9440, HTTP://WWW.FWS.GOV

NOTICE: IN THE EVENT THAT ANY ACTIVITY, INCLUDING EARTHMOVING OR CONSTRUCTION, DISCOVERS THE PRESENCE OF UNDERGROUND STORAGE TANKS, SEPTIC TANKS, WELLS, SITE DEBRIS, AND/OR CONTAMINATED SOILS ON-SITE, THE CONTRACTOR AND/OR PROPERTY OWNER SHALL NOTIFY THE COUNTY OF SAN DIEGO PLANNING & DEVELOPMENT SERVICES DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL HEALTH AND QUALITY. THE PRESENCE OF CONTAMINATED SOILS WILL REQUIRE SOIL TESTING AND REMEDIATION IN ACCORDANCE WITH STANDARD COUNTY PROCEDURES. THIS PROCESS WILL BE DETERMINED ONCE THE COUNTY IS NOTIFIED OF THE PRESENCE OF CONTAMINATED SOILS.

PRELIMINARY GRADING AND UTILITY PLANS FOR:
CHABAD - RANCHO SANTA FE



VICINITY MAP

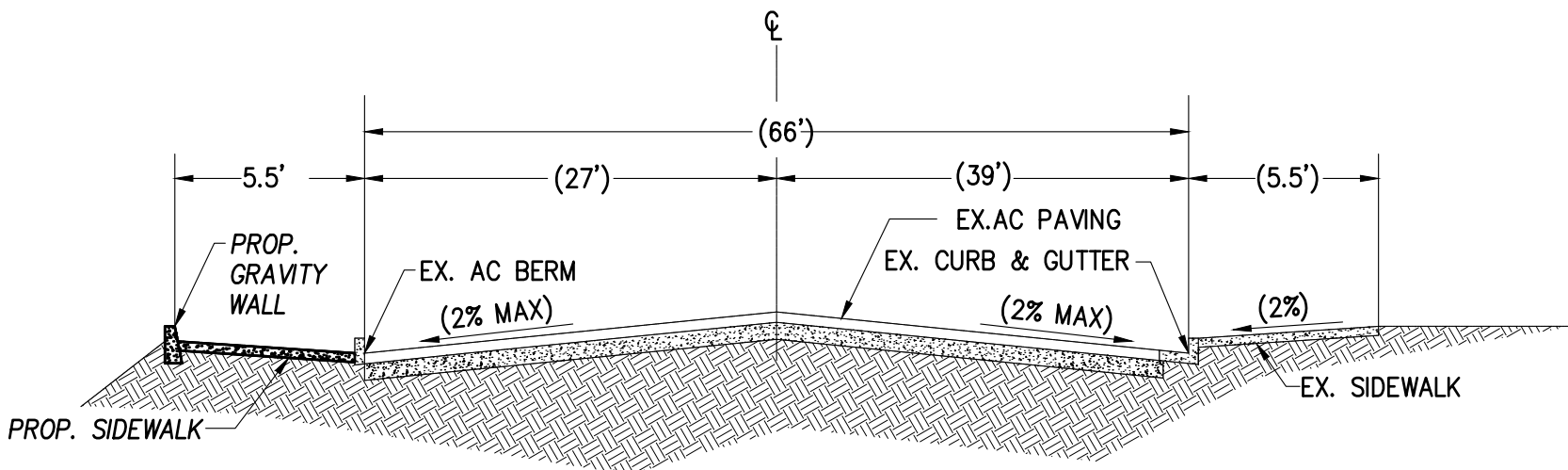
NOT TO SCALE

SHEET INDEX

SHEET DESCRIPTION	SHEET	DC
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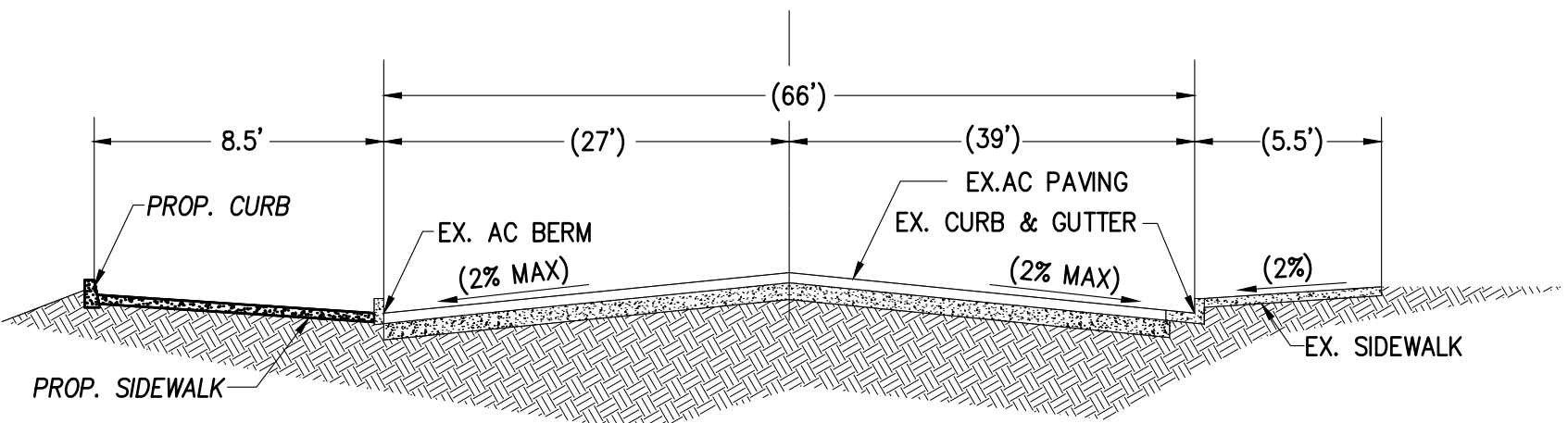
GRADING QUANTITIES

GRADED AREA	1.95 [ACRES]	MAX. CUT DEPTH	10 [FT]
CUT QUANTITIES	2,688 [CYD]	MAX CUT SLOPE RATIO (2:1MAX)	2:1
FILL QUANTITIES	3,225 [CYD]	MAX. FILL DEPTH	10 [FT]
IMPORT	537 [CYD]	MAX FILL SLOPE RATIO (2:1MAX)	2:1



VIA DE LA VALLE - STREET SECTION A-A

NOT TO SCALE



VIA DE LA VALLE - STREET SECTION B-B

NOT TO SCALE

OWNER/APPLICANT

CHABAD OF RANCHO SANTA FE
RABBI LEVI RASKIN
14906 VIA DE LA VALLE
RANCHO SANTA FE, CA 92014
PH. 858-756-7571 / CHABADRSF@GMAIL.COM

REFERENCE DRAWINGS

REFERENCE DRAWING DESCRIPTION 20996-3-D

SITE ADDRESS

14906 VIA DE LA VALLE, RANCHO SANTA FE, CA 92014

TOPOGRAPHY SOURCE

310 VIA VERA CRUZ, #205 SAN MARCOS, CA. 92078
RANCHO COASTAL ENGINEERING & SURVEYING
DECEMBER 16, 2020

BENCHMARK

C.R.T.N. STATION, "CLB0", HAVING A PUBLISHED NAD 83, EPOCH 2017.50, ELEVATION OF 183.39'

ASSESSORS PARCEL NUMBER

APN: 302-110-29-00, 302-110-30-00

EXISTING LEGAL DESCRIPTION

THAT PORTION OF LOT 4 IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF TOGETHER WITH THAT PORTION OF MAGGIE BRANSON TRACT AS SHOWN ON PARTITION MAP O RANCHO SAN DIEGUITO, FILED IN BOOK OF PATENTS VOLUME 1, PAGE 277 OF OFFICIAL RECORDS

LEGEND

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPERTY LINE/R		R
RIGHT OF WAY/R/W		R/W
CENTER LINE		
EXISTING EASEMENT		
CURB (PVT)	SDG-150	
CURB & GUTTER (PVT)	SDG-151	
GRADE BRAKE		
PROPOSED BUILDING		
4" PCC SIDEWALK (PRIVATE)		
AC PAVEMENT (PRIVATE)		
LANDSCAPE AREA		
6" FIRE WATER SERVICE (PVC) (PVT)	SDW-118	FS
FIRE HYDRANT (PVT)	SDW-104	
DAYLIGHT LIMIT		
PROPOSED MINOR CONTOUR		
PROPOSED MAJOR CONTOUR		
STORM DRAIN IMPROVEMENTS		
GROUTED RIP-RAP		
PRECAST CONCRETE CATCH BASIN (PVT - SIZE PER PLAN)		
STORM DRAIN PIPE (PVT)		SD

EXISTING IMPROVEMENTS

ITEM	SYMBOL
EXISTING CENTERLINE	
EXISTING ROW	
SEWER MANHOLE	
WATER METER	
STORM DRAIN PIPE (PVT)	
WATER LINE (PVT)	(W)
SEWER LINE (PVT)	(S)
GAS LINE (PVT)	(G)
CURB (PVT)	
6" CURB & GUTTER	
IRON FENCE	X-X-X
CURB RAMP (PVT)	
SEWER MANHOLE	
UTILITY	
WATER VALVE	
STREET LIGHT	
FIRE HYDRANT	
STREET SIGN	
MINOR CONTOUR	
MAJOR CONTOUR	

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SWS ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
MICHAEL D. SCHWEITZER
No. 59658
Exp. 12-31-2025
CIVIL
STATE OF CALIFORNIA

DATE: 07/07/2025, 3:50:06 PM, BY: MICHAEL D. SCHWEITZER
FILE: C:\Projects\2025\14906 Via De La Valle\14906_Via De La Valle.dwg
PLOT: 14906_Via De La Valle.dwg, 07/07/2025

CHABAD - RANCHO SANTA FE

14906 Via De La Valle
Del Mar, CA 92014

Date	Revision
09/08/23	MAJOR USE PERMIT
05/20/25	MAJOR USE PERMIT

Project #: 21-257

Scale: AS SHOWN

Drafted by: DN

Checked by: MDS

Date Issued: 09/22/25

Sheet Title:
TITLE SHEET

Sheet Number:

G01

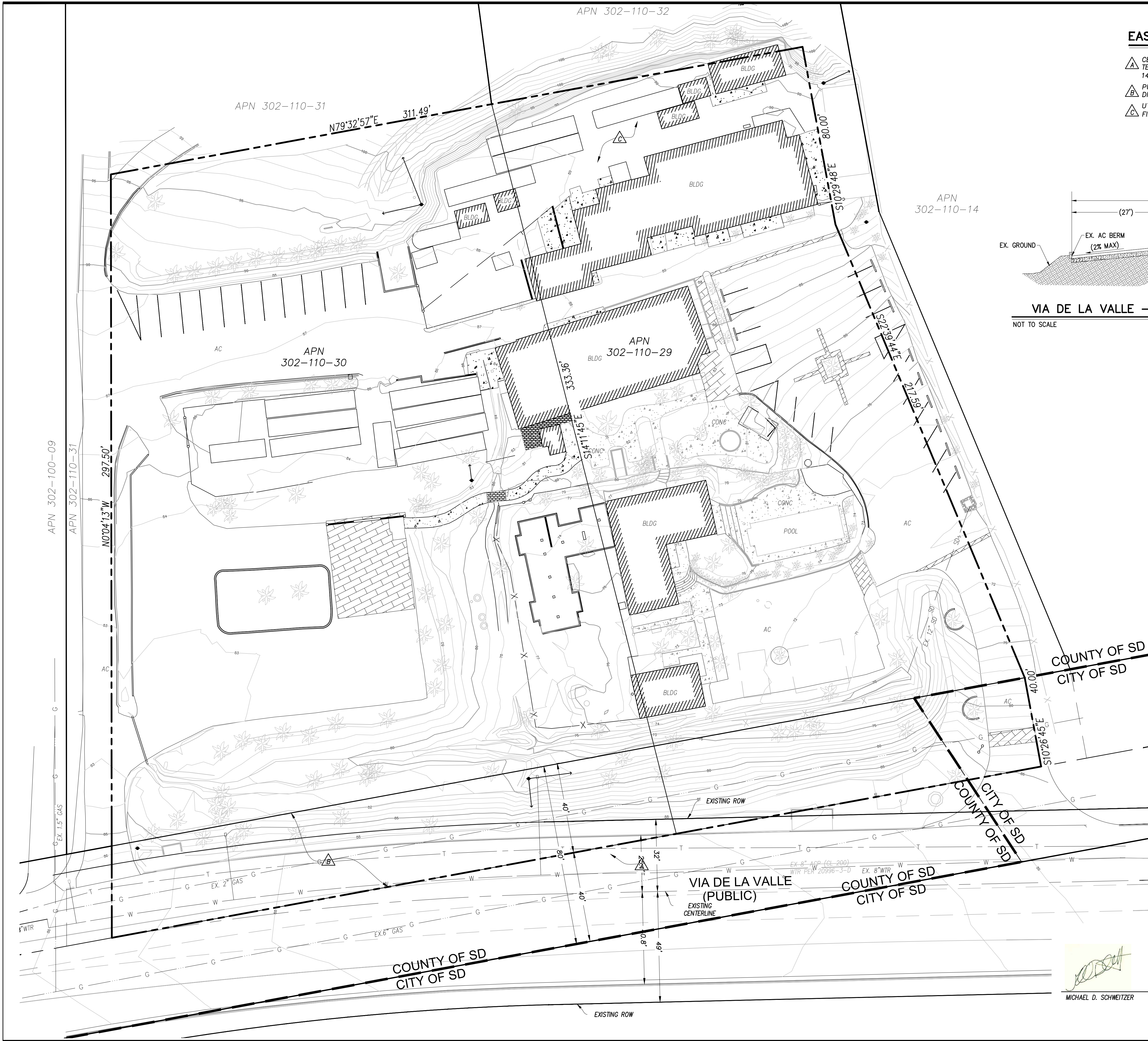


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MICHAEL D. SCHWEITZER R.C.E. NO. 59658 EXP: 12-31-2025

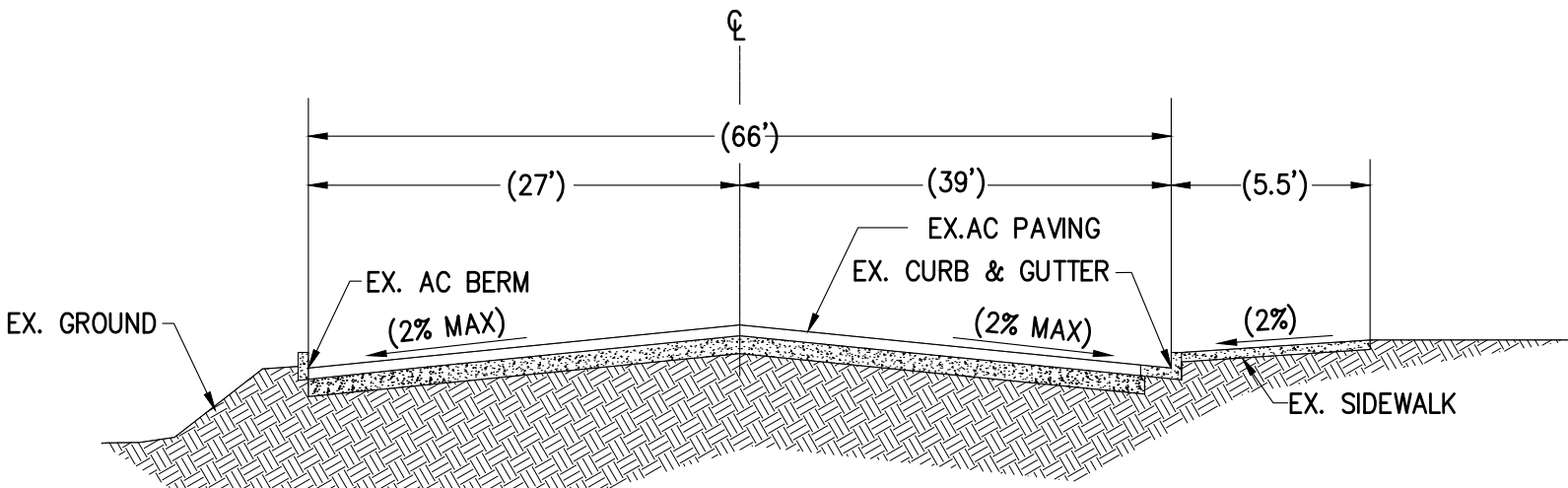
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MUP23-013



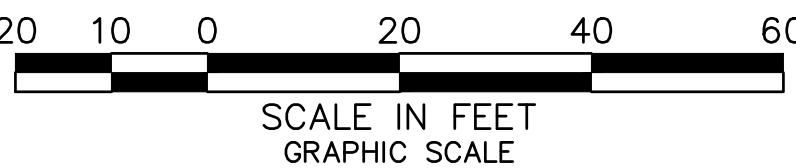
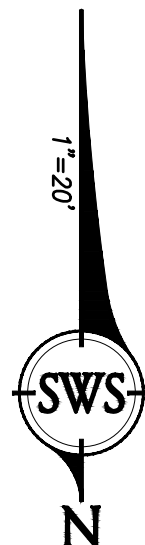
EASEMENT NOTES

- A. CENTERLINE OF UTILITY EASEMENT GRANTED TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY MARCH 27, 1928 IN BOOK 1423, PAGE 473 OF DEEDS (WIDTH NOT DISCLOSED OF RECORD).
- B. PUBLIC ROAD EASEMENT GRANTED TO THE COUNTY OF SAN DIEGO NOVEMBER 12, 1930 IN BOOK 1790, PAGE 193 OF DEEDS.
- C. UTILITY EASEMENT GRANTED TO SDG&E FEBRUARY 9, 1962 AT FILE/PAGE NO. 24045 OF OFFICIAL RECORDS.



VIA DE LA VALLE - EXISTING STREET SECTION

NOT TO SCALE



[Signature]

MICHAEL D. SCHWEITZER R.C.E. NO. 59658 EXP. 12-31-2025

DATE:

CHABAD - RANCHO SANTA FE

14906 Via De La Valle
Del Mar, CA 92014

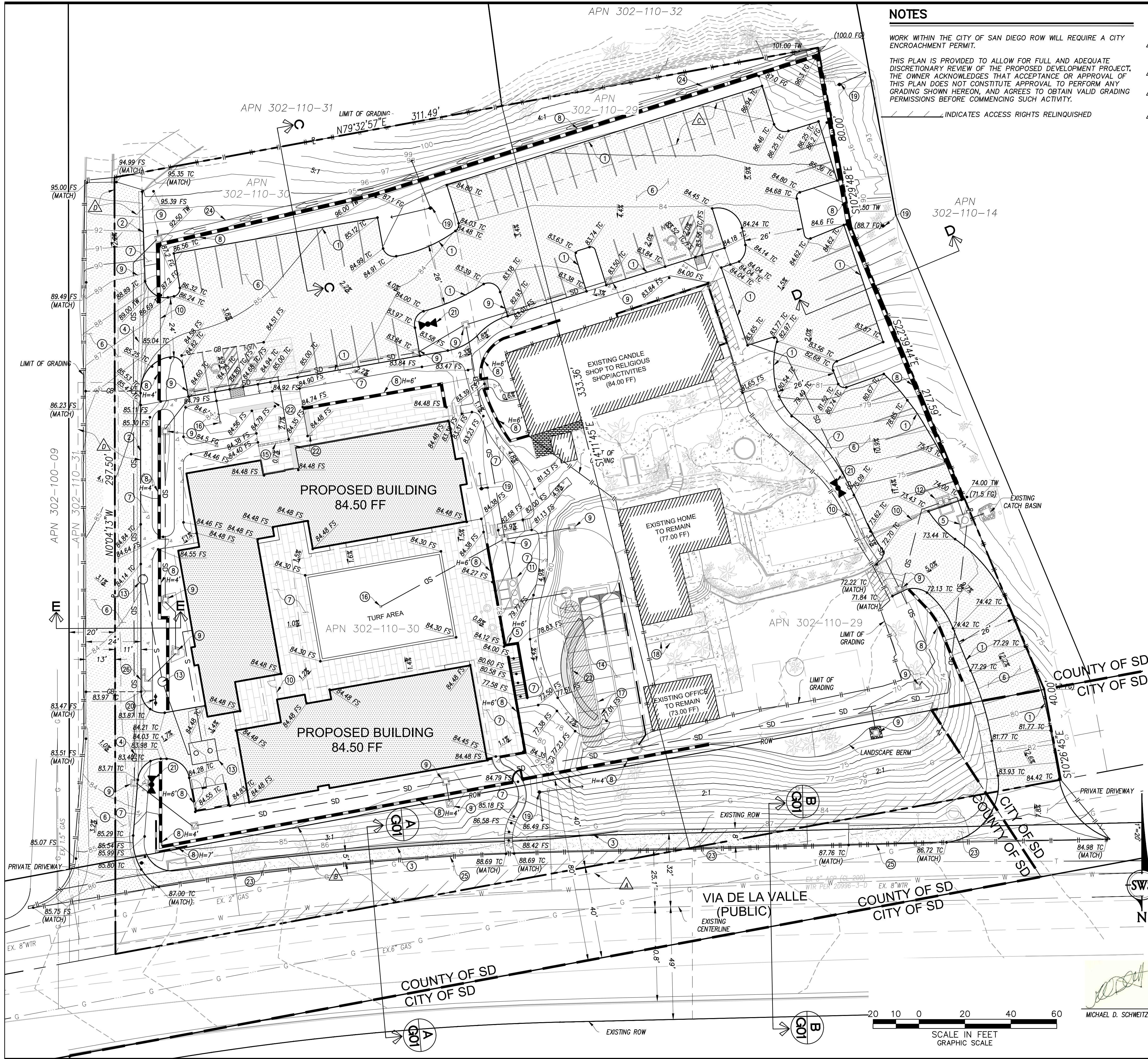
Date	Revision
09/08/23	MAJOR USE PERMIT
05/20/25	MAJOR USE PERMIT

Project #:	21-257
Scale:	AS SHOWN
Drafted by:	DN
Checked by:	MDS
Date Issued:	09/22/25

Sheet Title:
EXISTING CONDITION PLAN

Sheet Number:

C01



NOTES

WORK WITHIN THE CITY OF SAN DIEGO ROW WILL REQUIRE A CITY ENCROACHMENT PERMIT.

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF THE PROPOSED DEVELOPMENT PROJECT. THE OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSIONS BEFORE COMMENCING SUCH ACTIVITY.

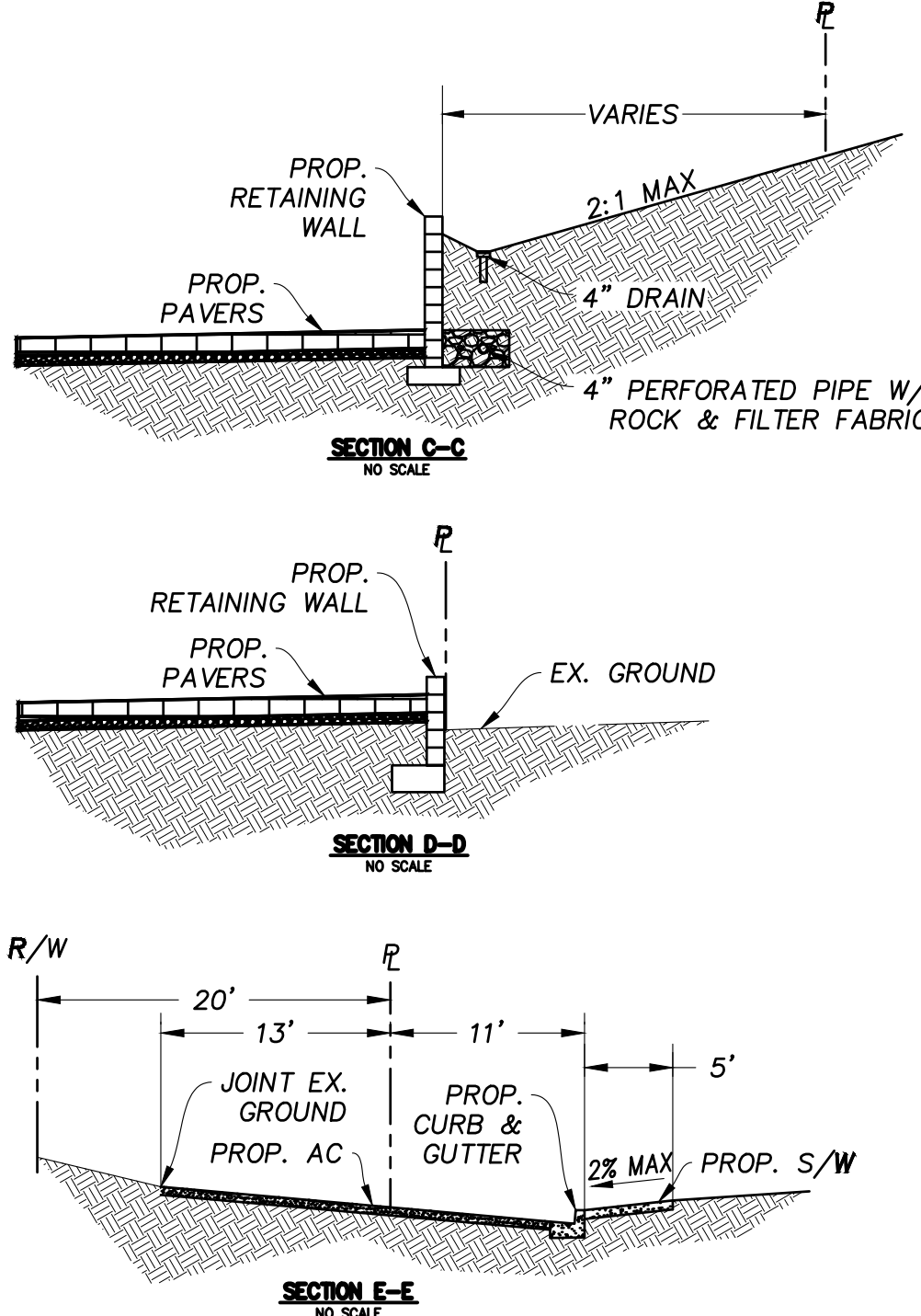
INDICATES ACCESS RIGHTS RELINQUISHED

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- △ UTILITY EASEMENT GRANTED TO SDG&E FEBRUARY 9, 1962 AT FILE/PAGE NO. 24045 OF OFFICIAL RECORDS.
- △ EASEMENT AGREEMENT FOR INGRESS, EGRESS AND UTILITY PURPOSES PER DOC. _____

CONSTRUCTION NOTES:

- 1 CONSTRUCT 6" CURB
- 2 CONSTRUCT 6" CURB AND GUTTER
- 3 CONSTRUCT GRAVITY WALL PER SDRSD STD. C-09
- 4 CONSTRUCT RIBBON GUTTER PER DETAIL 3 SHT. C04
- 5 STORM DRAIN CLEANOUT TYPE A PER SDRSD STB D-09
- 6 ASPHALT CONCRETE PER LANDSCAPE PLANS
- 7 CONSTRUCT WALKWAY (FINISH PER LANDSCAPE PLANS)
- 8 PROPOSED WALL PER ARCHITECTURAL PLAN
- 9 PROPOSED 24"x24" PRECAST CATCH BASIN, DETAIL 2 SHT. C04
- 10 FENCE OR GATE PER ARCHITECTURAL PLAN
- 11 BIOCLEAN MODULAR WETLAND SYSTEM 8'x12', DETAIL 1 SHT. C04
- 12 BIOCLEAN MODULAR WETLAND SYSTEM 6'x8', DETAIL 4 SHT. C04
- 13 SEPTIC TANK & VERTICAL SEPTIC SEEPAGE PITS PER DEH PERMIT
- 14 ADS STORMTECH UNDERGROUND STORAGE, DETAIL 5 SHT. C03
- 15 PROPOSED DRAIN TRENCH
- 16 12" NDS INLET GRATE
- 17 EXISTING ABOVE GROUND STORAGE TANK TO BE DEMOLISHED
- 18 EXISTING SEPTIC TANK AND SEEPAGE PITS TO REMAIN
- 19 EXISTING POWER POLE TO REMAIN, TO BE UNDERGROUNDED IN FUTURE PHASE
- 20 FDC AND PIV PER UNDERGROUND FIRE PLANS
- 21 PROPOSED FIRE HYDRANT PER UNDERGROUND FIRE PLANS
- 22 CONCRETE BENCH PER LANDSCAPE PLAN
- 23 4" DECOMPOSED GRANITE OVER 4" AGGREGATE WALKWAY
- 24 PROPOSED DRAINAGE BROW DITCH PER SDRSD STD D-75
- 25 EXISTING AC BERM TO REMAIN
- 26 CURB INLET TYPE A PER SDRSD STD D-01



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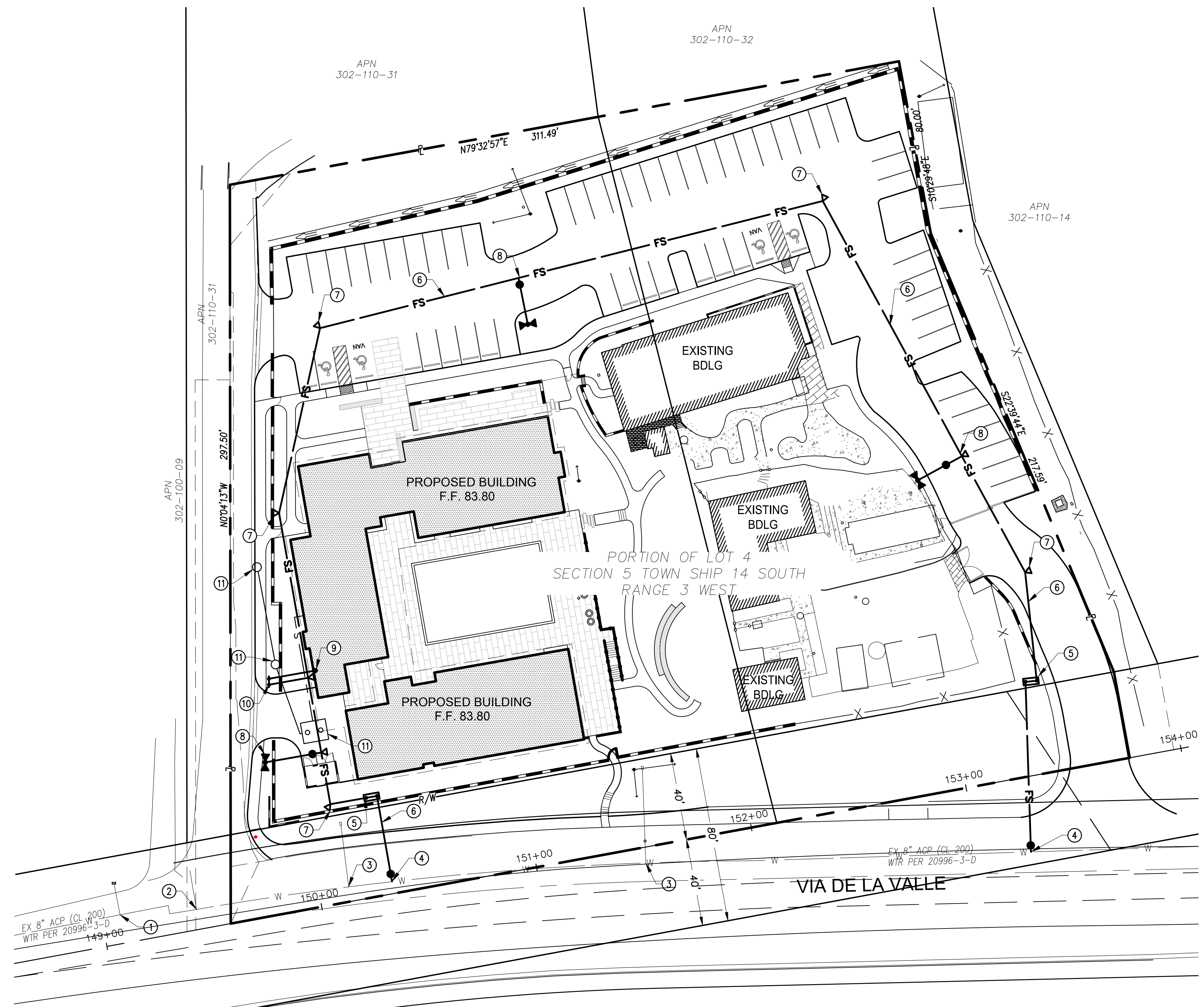
CHABAD - RANCHO SANTA FE
14906 Via De La Valle
Del Mar, CA 92014

Table with 2 columns: Date, Revision. Rows include 09/08/23 MAJOR USE PERMIT and 05/20/25 MAJOR USE PERMIT.

Project #: 21-257
Scale: AS SHOWN
Drafted by: DN
Checked by: MDS
Date Issued: 09/22/25

Sheet Title:
GRADING PLAN
Sheet Number:

C02

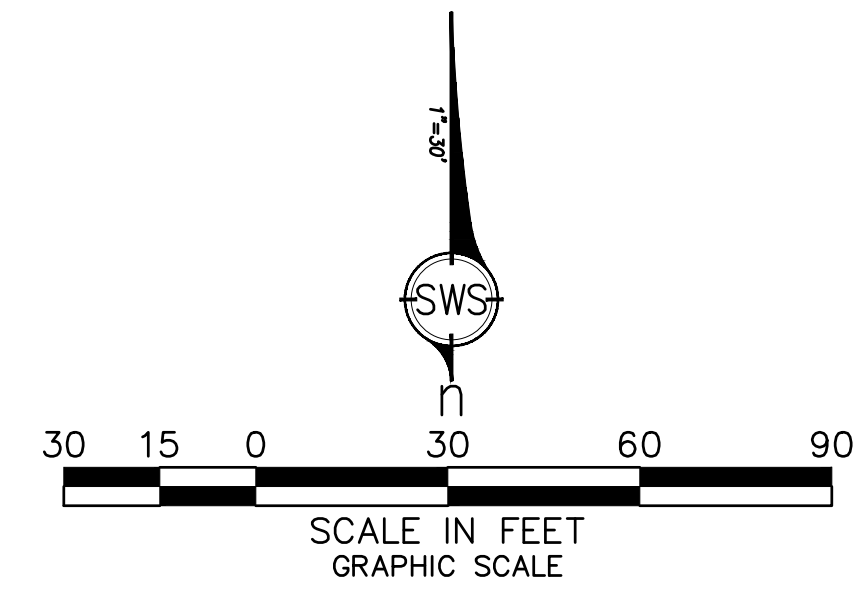


CONSTRUCTION NOTES

- EX FIRE PER 20996-3-D TO REMAIN
- EX 1" WTR LATERAL PER 20996-3-D TO REMAIN
- REMOVE 1" WTR SERVICE & REPLACE W/ 2" SERVICE LATERAL
- CONNECT TO EXISTING 8" WATER LINE
- 8" DCDA W/ FDC
- PROPOSED 8" PRIVATE FIRE LINE
- THRUST BLOCK PER C.O.S.D. SDW-151
- PROPOSED 6" FIRE HYDRANT LATERAL PER C.O.S.D. SDW-104
- 8" FIRE LINE P.O.C. SEE PLANS BY OTHER FOR CONTINUATION
- FDC AND PIV
- VERTICAL SEPTIC SEEPAGE PIT PER DEH PERMIT

LEGEND

- PRIVATE FIRE IMPROVEMENTS
- FIRE LINE (PVI)
- FIRE HYDRANT
- 8" DCDA
- GATE VALVE
- BUILDING P.O.C.
- FDC/PIV



[Signature]

MICHAEL D. SCHWEITZER R.C.E. NO. 59658 EXP: 12-31-2025

DATE: _____



CHABAD - RANCHO SANTA FE

14906 Via De La Valle
Del Mar, CA 92014

Date	Revision
09/08/23	MAJOR USE PERMIT
05/20/25	MAJOR USE PERMIT

Project #:	21-257
Scale:	AS SHOWN
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Date Issued:	09/22/25

Sheet Title:
UTILITY PLAN

Sheet Number:
C03

CHABAD - RANCHO SANTA FE
14906 Via De La Valle
Del Mar, CA 92014

Date	Revision
09/08/23	MAJOR USE PERMIT
05/20/25	MAJOR USE PERMIT

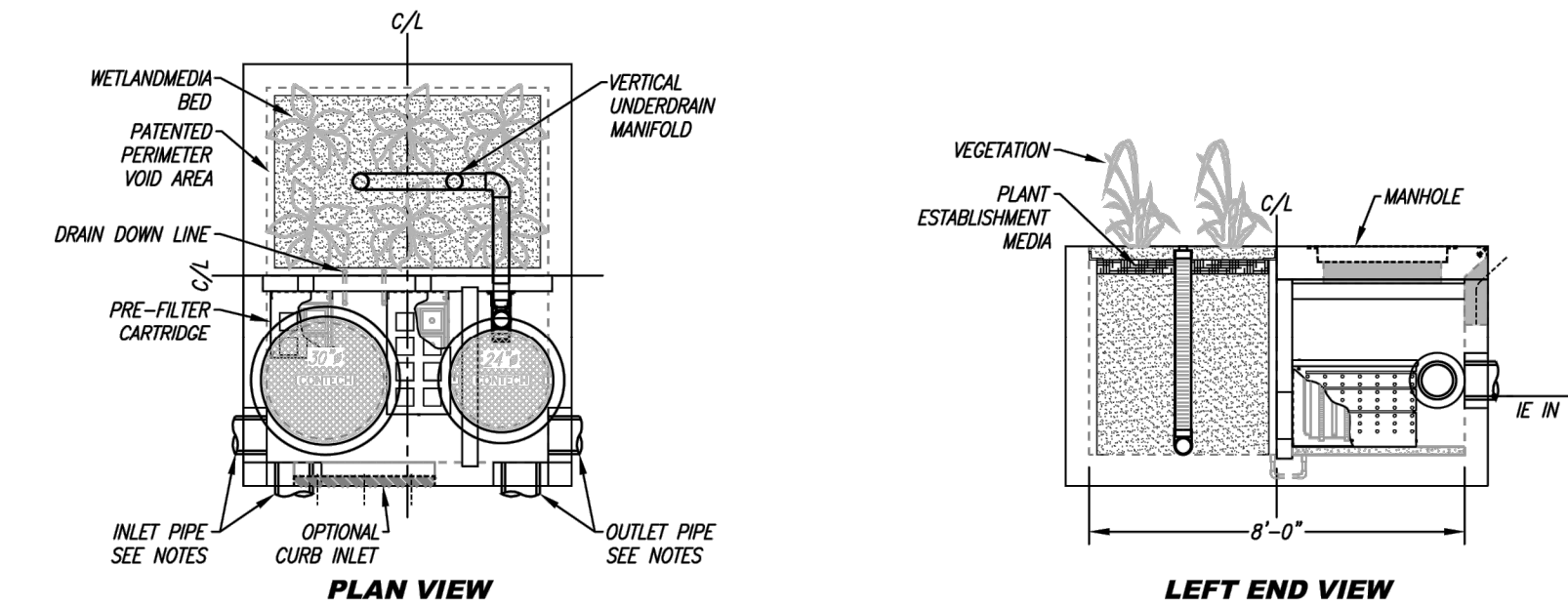
Project #:	21-257
Scale:	AS SHOWN
Drafted by:	DN
Checked by:	MDS
Date Issued:	09/22/25

Sheet Title:
DETAILS

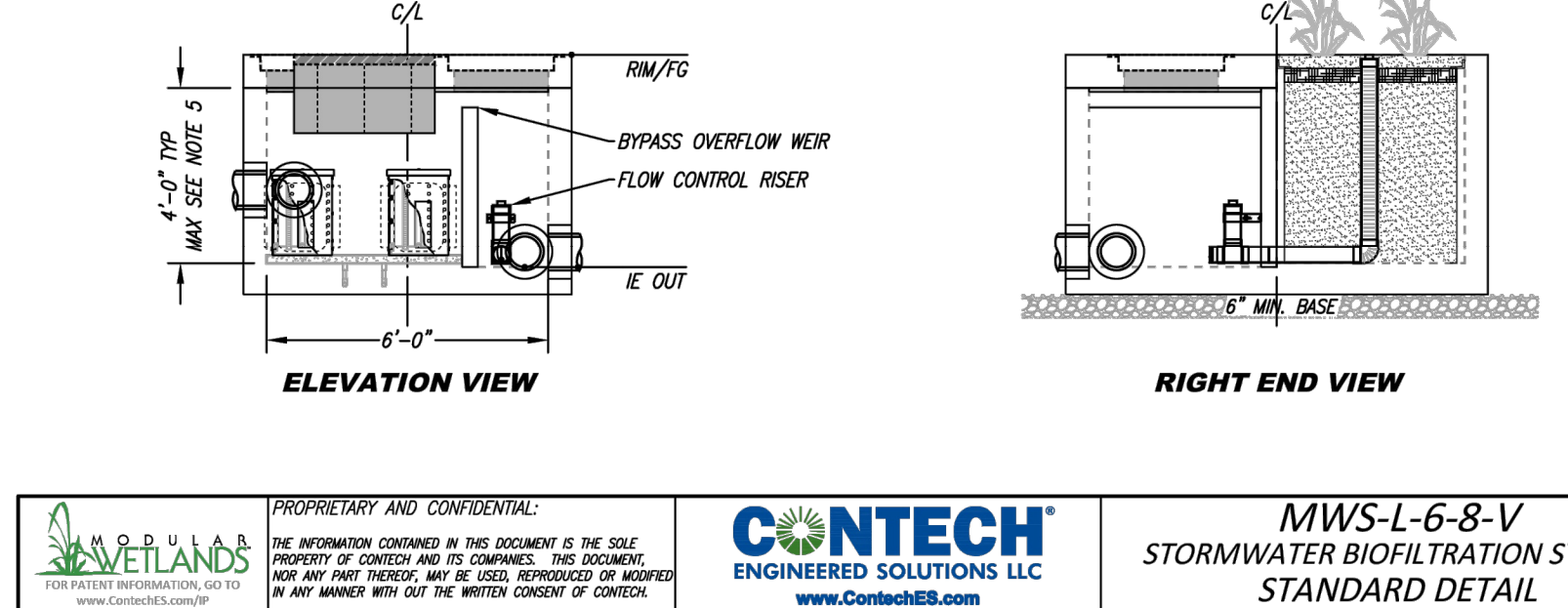
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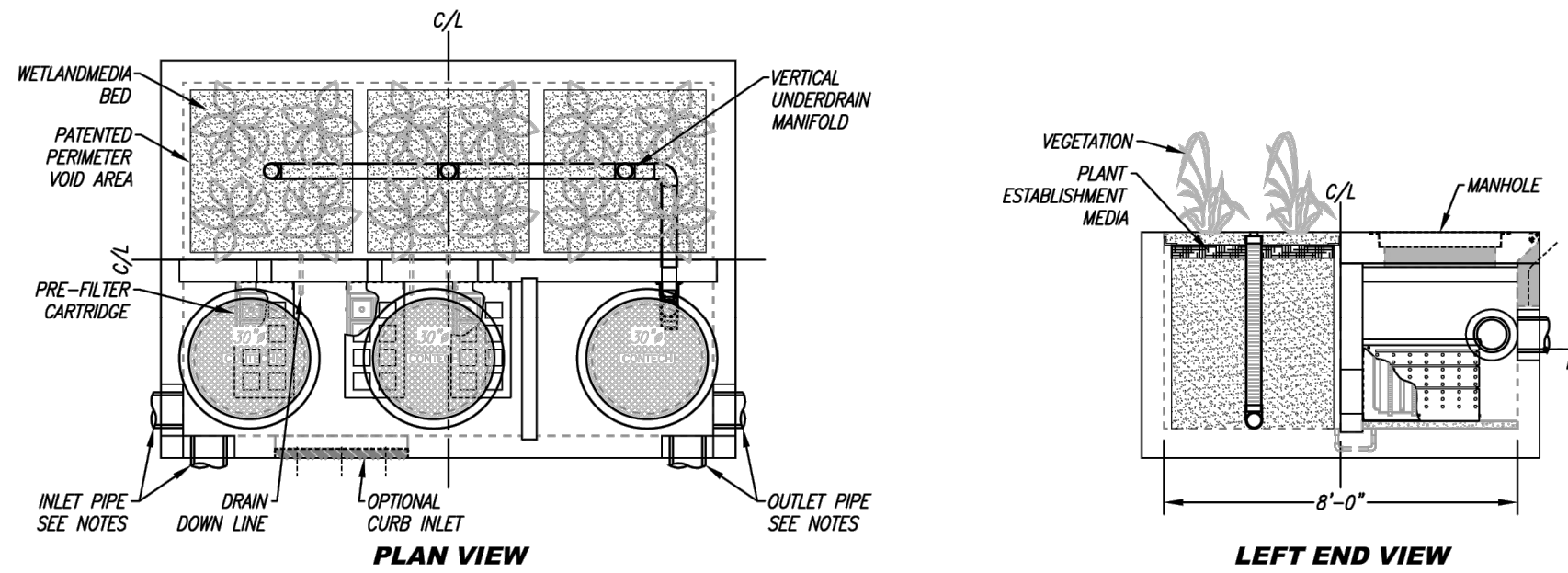
SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME		Chabad Rancho Santa Fe	
PROJECT LOCATION		14906 Via De La, Rancho Santa Fe, CA	
STRUCTURE ID		IMP-2	
TREATMENT REQUIRED			
TREATMENT FLOW (CFS)		0.167	
PRETREATMENT LOADING RATE (GPM/SF)		2.1 GPM/SF	
WETLAND MEDIA LOADING RATE (GPM/SF)		1.0	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		(CFS)	
PIPE DATA		I.E.	MATERIAL
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION		PRETREATMENT	BIOFILTRATION
SURFACE LOAD		DISCHARGE	
PEDESTRIAN			
NOTES:			
* PRELIMINARY ONLY - NOT FOR CONSTRUCTION			



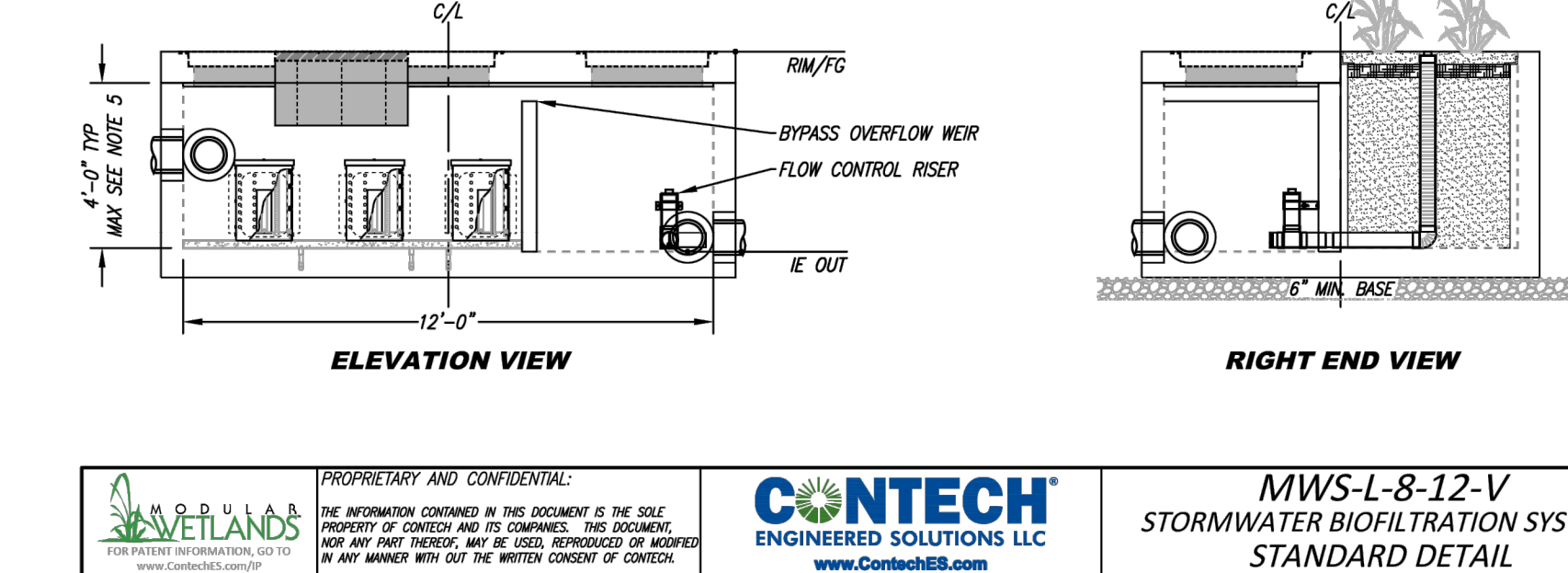
- INSTALLATION NOTES
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
 - UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
 - CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.
 - VERTICAL HEIGHT VARIES BASED ON SITE SPECIFIC REQUIREMENTS.



SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME		Chabad Rancho Santa Fe	
PROJECT LOCATION		14906 Via De La, Rancho Santa Fe, CA	
STRUCTURE ID		IMP-1.1	
TREATMENT REQUIRED			
TREATMENT FLOW (CFS)		0.348	
PRETREATMENT LOADING RATE (GPM/SF)		2.1 GPM/SF	
WETLAND MEDIA LOADING RATE (GPM/SF)		1.0	
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE		(CFS)	
PIPE DATA		I.E.	MATERIAL
INLET PIPE 1			DIAMETER
INLET PIPE 2			
OUTLET PIPE			
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD		PEDESTRIAN	
NOTES:			
* PRELIMINARY ONLY - NOT FOR CONSTRUCTION			



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 - CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.
 - VERTICAL HEIGHT VARIES BASED ON SITE SPECIFIC REQUIREMENTS.

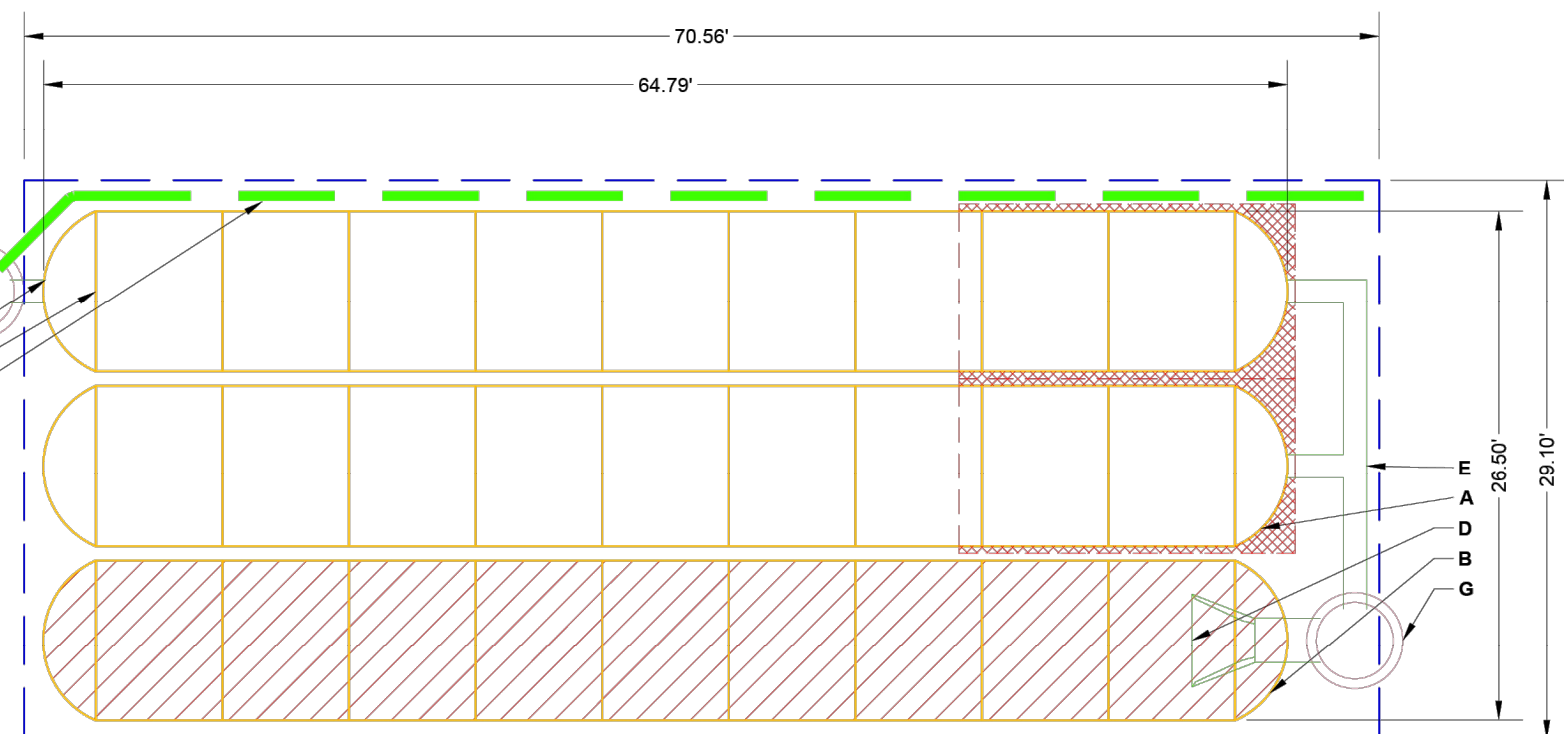


(PRIVATE)

MODULAR WETLAND SYSTEM DETAIL

4

PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS:		PART TYPE		ITEM ON LAYOUT	DESCRIPTION		INVERT	MAX FLOW
27	STORMTECH MC7200 END CAPS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	12.75			A	12" TOP PARTIAL CUT END CAP, PART#: MC7200IEP12T / TYP OF ALL 12" TOP CONNECTIONS		35.69'	
6	STORMTECH MC7200 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	8.25			B	24" BOTTOM PARTIAL CUT END CAP, PART#: MC7200IEPP24B / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		2.26'	
12	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	7.75			C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC7200IEPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS		1.55'	
8	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	7.75			D	INSTALL FLAMP ON 24" ACCESS PIPE / PART#: MCFCLAMP			
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	7.75			E	12" x 12" TOP MANIFOLD, ADS N-12		35.69'	
	INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE	6.75			F	12" BOTTOM CONNECTION		1.55'	
8536	(PERIMETER STONE INCLUDED)	TOP OF MC7200 CHAMBER:	5.75			G	CONCRETE STRUCTURE			5.0 CFS IN
	(COVER STONE INCLUDED)	12" x 12" TOP MANIFOLD INVERT:	3.75			H	OC'S (DESIGN BY ENGINEER / PROVIDED BY OTHERS)			2.0 CFS OUT
2053	SYSTEM AREA (SF)	24" ISOLATOR ROW PLUS INVERT:	0.88							
199.3	SYSTEM PERIMETER (IN)	12" BOTTOM CONNECTION INVERT:	0.75							
		BOTTOM OF MC7200 CHAMBER:	0.00							
		UNDERDRAIN INVERT:	0.00							
		BOTTOM OF STONE:	0.00							



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 17.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

- NOTES
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
 - NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

(PRIVATE)

STORMTEK UNDERGROUND STORAGE DETAIL

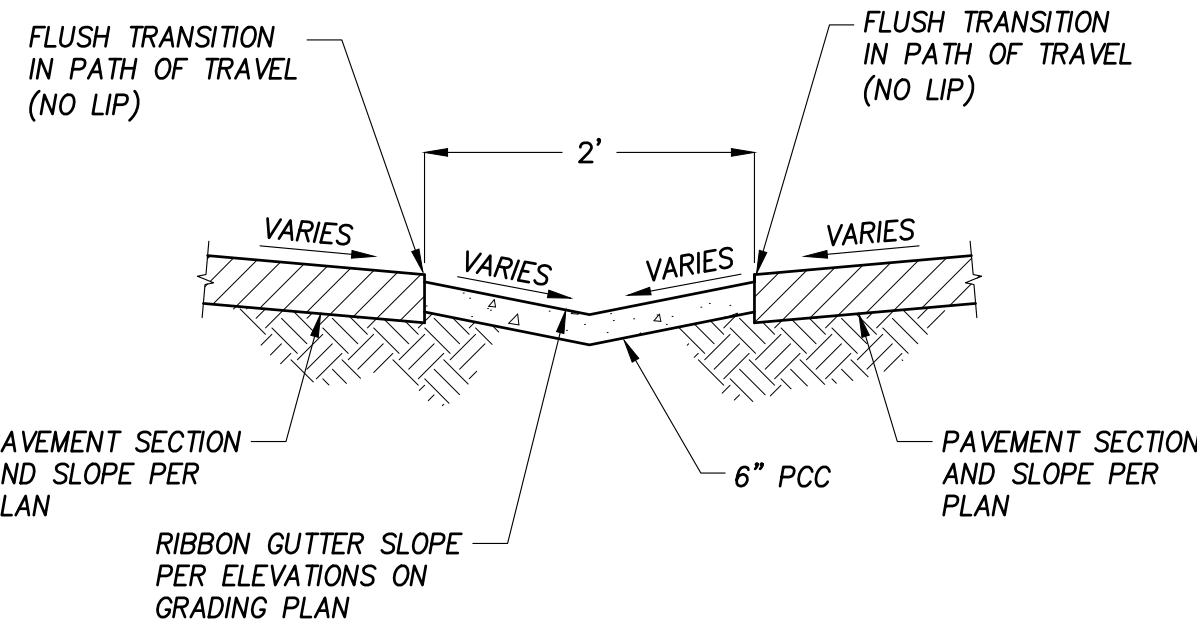
NOT TO SCALE

5

MODULAR WETLAND SYSTEM DETAIL

NOT TO SCALE

1



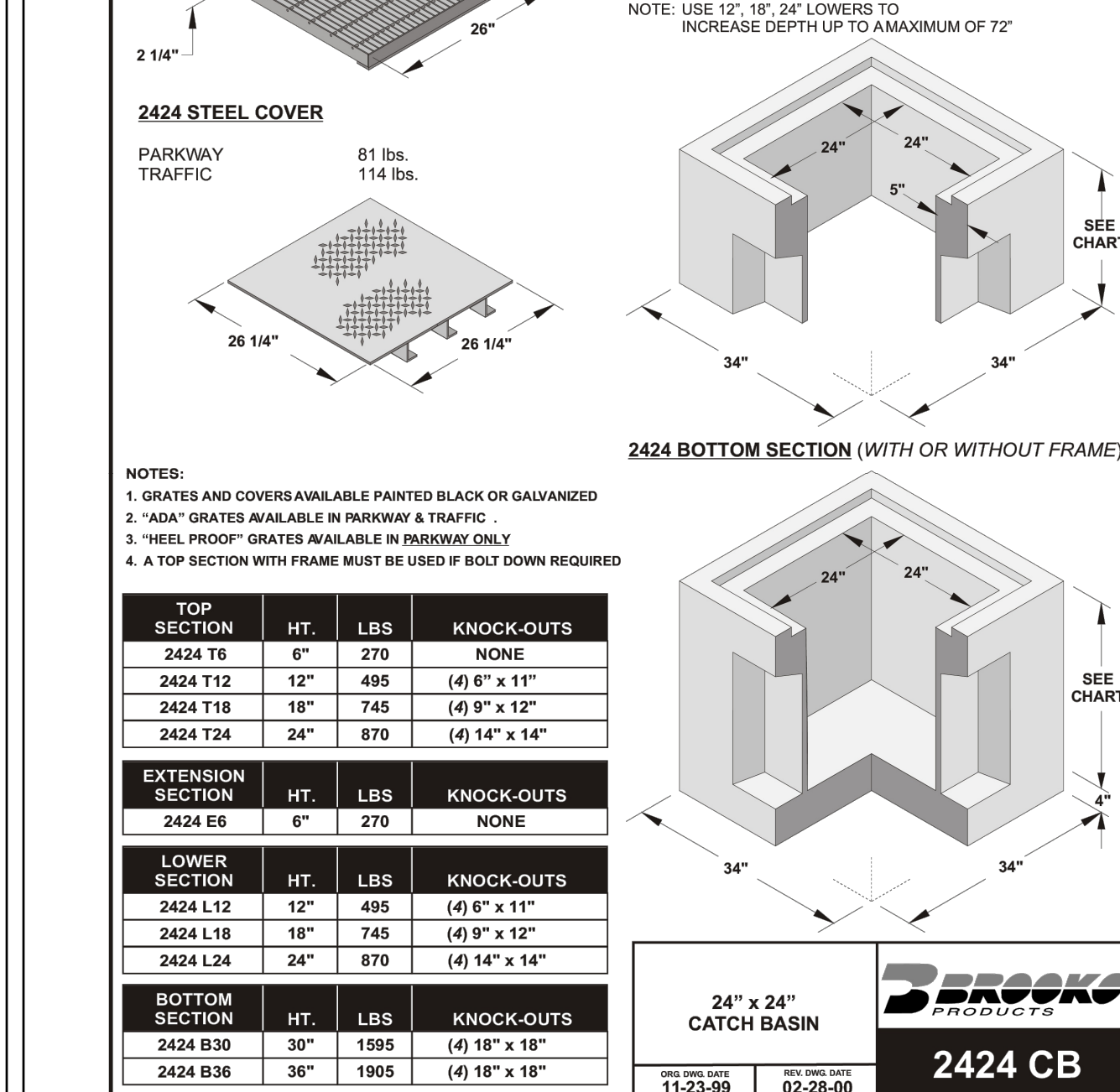
- NOTES:
- CONCRETE SHALL BE 520-C-2500

(PRIVATE)

RIBBON GUTTER

NOT TO SCALE

3



- NOTES:
- GRATES AND COVERS AVAILABLE PAINTED BLACK OR GALVANIZED
 - "ADA" GRATES AVAILABLE IN PARKWAY & TRAFFIC
 - "HEEL PROOF" GRATES AVAILABLE IN PARKWAY ONLY
 - A TOP SECTION WITH FRAME MUST BE USED IF BOLT DOWN REQUIRED

TOP SECTION	HT.	LBS	KNOCK-OUTS
2424 T0	6"	270	NONE
2424 T12	12"	495	(4) 6" x 11"
2424 T18	18"	745	(4) 9" x 12"
2424 T24	24"	870	(4) 14" x 14"
EXTENSION SECTION	HT.	LBS	KNOCK-OUTS
2424 E6	6"	270	NONE
LOWER SECTION	HT.	LBS	KNOCK-OUTS
2424 L12	12"	495	(4) 6" x 11"
2424 L18	18"	745	(4) 9" x 12"
2424 L24	24"	870	(4) 14" x 14"
BOTTOM SECTION	HT.	LBS	KNOCK-OUTS
2424 B30	30"	1595	(4) 18" x 18"
2424 B36	36"	1905	(4) 18" x 18"

24" x 24" CATCH BASIN	2424 CB
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(PRIVATE)

24" x 24" CATCH BASIN AND GRATE

NOT TO SCALE

2

MICHAEL D. SCHWEITZER

R.C.E. NO. 59658 EXP: 12-31-2025

DATE:



EASEMENT NOTES

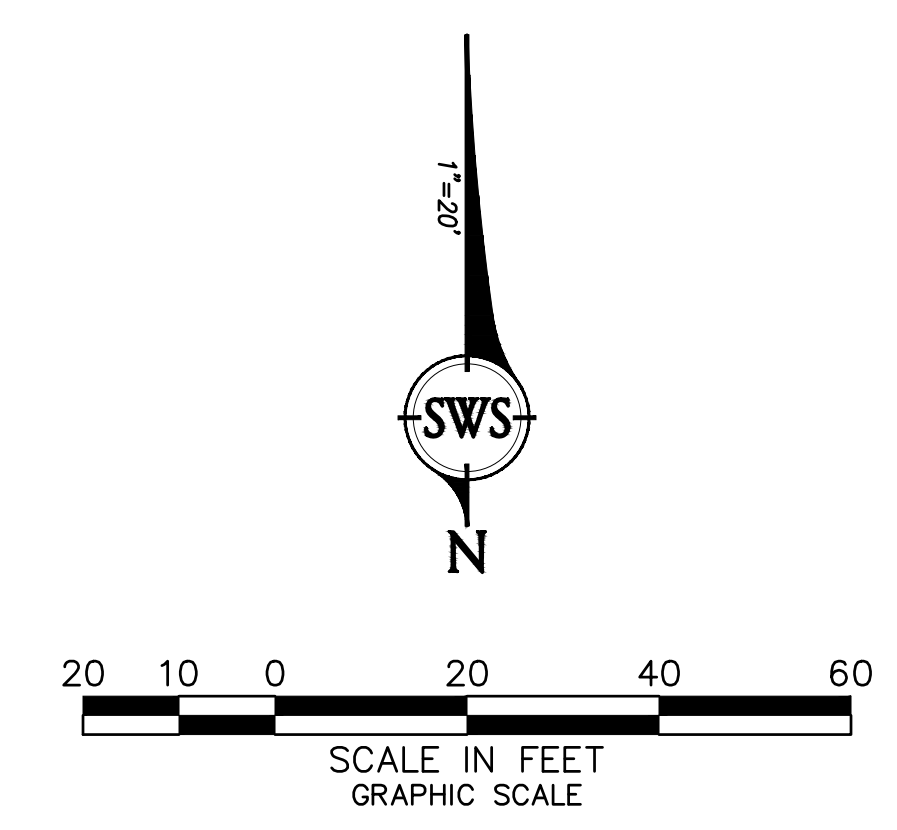
- CENTERLINE OF UTILITY EASEMENT GRANTED TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY MARCH 27, 1928 IN BOOK 1423, PAGE 473 OF DEEDS (WIDTH NOT DISCLOSED OF RECORD).
- PUBLIC ROAD EASEMENT GRANTED TO THE COUNTY OF SAN DIEGO NOVEMBER 12, 1930 IN BOOK 1790, PAGE 193 OF DEEDS.
- UTILITY EASEMENT GRANTED TO SDG&E FEBRUARY 9, 1962 AT FILE/PAGE NO. 24045 OF OFFICIAL RECORDS.

GENERAL NOTE:

EXISTING PLANNIMETRIC FEATURES TO BE DEMOLISHED FOR PROPOSED

NOTES

PLANNING AND LAND USE TO PLANNING AND DEVELOPMENT SERVICES



MICHAEL D. SCHWEITZER

R.C.E. NO. 59658 EXP: 12-31-2025

DATE:

SWS ENGINEERING, INC.
Civil Engineering • Land Planning • Surveying
1035 LAKE SAN MIGUEL DRIVE, SUITE 200
SAN MIGUEL, CA 92078
TEL: (760) 441-1111
SAN DIEGO • NASHVILLE • PHOENIX • ORLANDO

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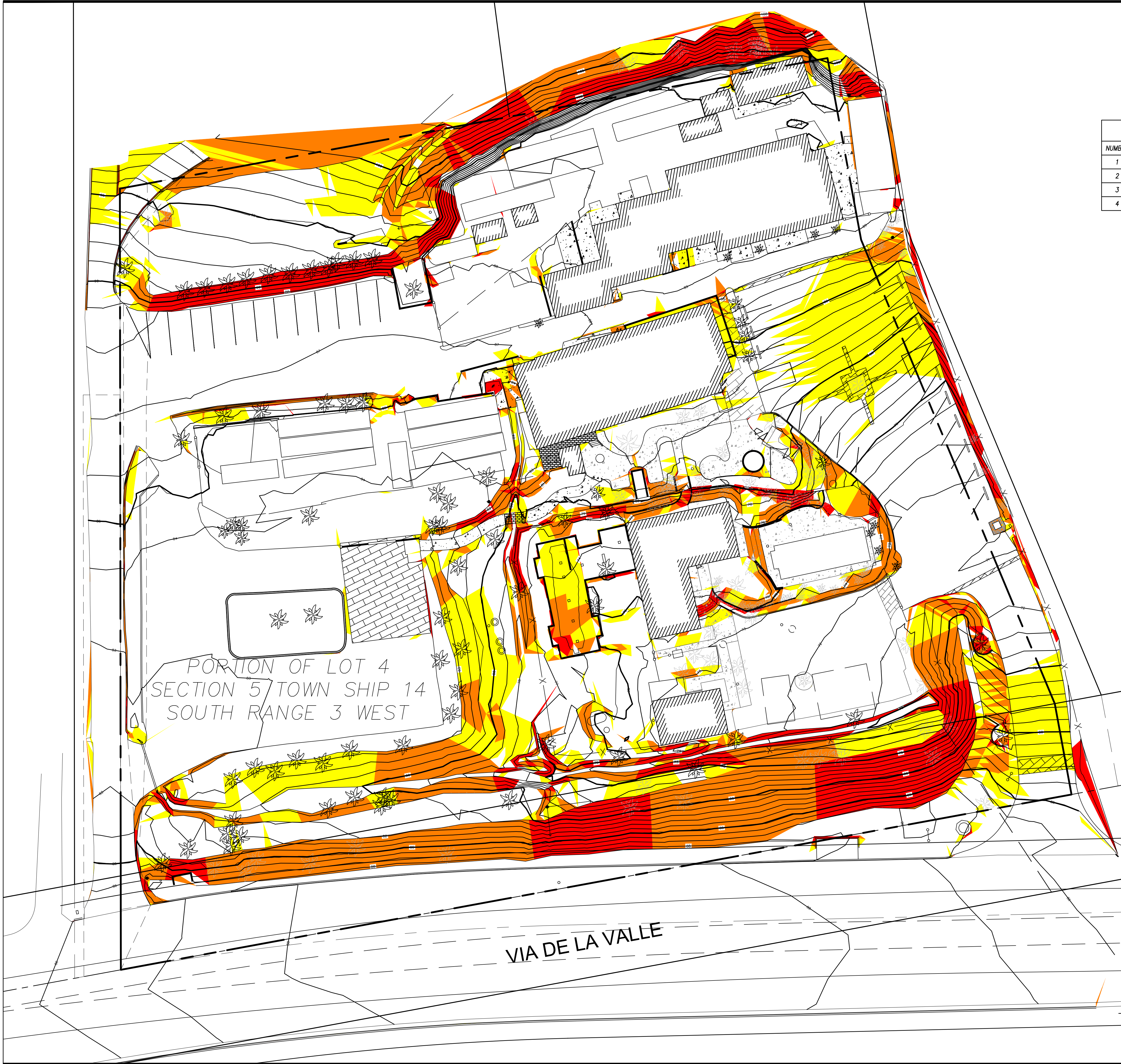
CHABAD - RANCHO SANTA FE
14906 Via De La Valle
Del Mar, CA 92014

Date	Revision
09/08/23	MAJOR USE PERMIT
05/20/25	MAJOR USE PERMIT

Project #:	21-257
Scale:	AS SHOWN
Drafted by:	DN
Checked by:	MDS
Date Issued:	09/22/25

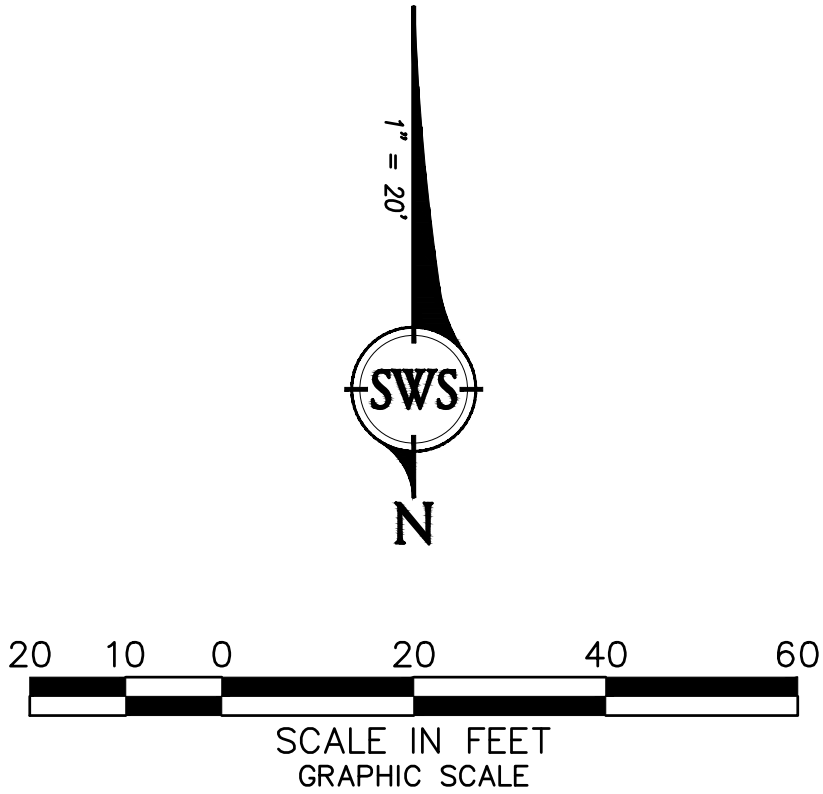
Sheet Title:
EASEMENT EXHIBIT

Sheet Number:
C05



SLOPES TABLE					
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA	LOT PERCENTAGE	COLOR
1	0.02%	15.00%	2.49	73.9%	
2	15.00%	25.00%	0.34	10.0%	Yellow
3	25.00%	50.00%	0.33	9.8%	Orange
4	50.00%	100.00%	0.21	6.2%	Red

ENCROACHMENT/OPEN SPACE MAP NOTE:
THIS SITE DOES NOT CONTAIN STEEP SLOPE LANDS DEFINED AS HAVING SLOPE WITH A NATURAL GRADIENT OF 25% OR GREATER AND A MINIMUM RISE OF 50 FEET



[Signature]

MICHAEL D. SCHWEITZER R.C.E. NO. 59658 EXP: 12-31-2025 DATE:



CHABAD - RANCHO SANTA FE

14906 Via De La Valle
Del Mar, CA 92014

Date	Revision
09/08/23	MAJOR USE PERMIT
05/20/25	MAJOR USE PERMIT

Project #:	21-257
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Date Issued:	09/22/25

Sheet Title:
SLOPE ANALYSIS

Sheet Number:

C06



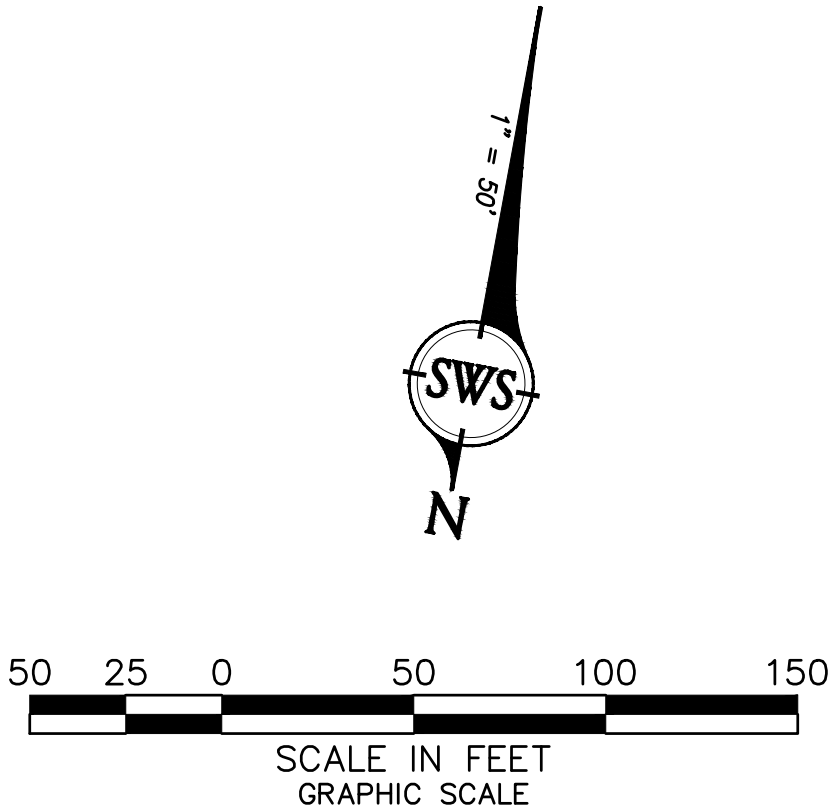
ROAD INFORMATION
VIA DE LA VALLE ~ 2.1B COMMUNITY COLLECTOR W/ CONTINUOUS TURN LANE
MEASURED PREVAILING SPEED = 45 MPH

WESTERLY DRIVEWAY:
MINIMUM STOPPING SIGHT DISTANCE PER COUNTY PUBLIC ROAD STANDARD = 425 FEET

EASTERLY DRIVEWAY:
MINIMUM STOPPING SIGHT DISTANCE PER SAN DIEGO CITY/AASHTO = 360 FEET

NOTE:
TRIMMING/REMOVAL OF VEGETATION MAY BE NECESSARY TO OBTAIN LINE OF SIGHT.

DRIVEWAY SIGHT DISTANCE MEASURED FROM A POINT ON THE DRIVEWAY 10 FEET FROM THE EDGE OF THE VIA DE LA VALLE PAVEMENT TO A POINT 2 FEET RIGHT OF THE CENTERLINE WITH 3.5 FEET DRIVER HEIGHT ON DRIVEWAY AND 4.25 FEET OBJECT HEIGHT ON ROADWAY.



THERE IS 450 FEET OF UNOBSTRUCTED INTERSECTIONAL SIGHT DISTANCE IN BOTH DIRECTIONS ALONG VIA DE LA VALLE (SC 1525 / S-6) FROM THE ACCESS ROADS SERVING THE PROJECT, IN ACCORDANCE WITH THE METHODOLOGY DESCRIBED IN TABLE 5 OF THE MARCH 2012 COUNTY OF SAN DIEGO PUBLIC ROAD STANDARDS. THESE SIGHT DISTANCES EXCEED THE REQUIRED INTERSECTIONAL SIGHT DISTANCE OF 450 FEET BASED ON A SPEED OF 45 MPH, WHICH I HAVE VERIFIED TO BE THE HIGHER OF THE PREVAILING SPEED OR THE MINIMUM DESIGN SPEED FOR THE ROAD CLASSIFICATION. I HAVE EXERCISED RESPONSIBLE CHARGE FOR THE CERTIFICATION AS DEFINED IN SECTION 6703 OF THE PROFESSIONAL ENGINEERS ACT OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE.

SAID LINES OF SIGHT FALL WITHIN THE EXISTING RIGHT-OF-WAY AND A CLEAR SPACE EASEMENT IS NOT REQUIRED

[Signature]

MICHAEL D. SCHWEITZER R.C.E. NO. 59658 EXP: 12-31-2025 DATE:

CHABAD - RANCHO SANTA FE

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Sheet Title:
SIGHT DISTANCE EXHIBIT

Sheet Number:

C07