



PASSERELLE - SFD

FALLBROOK, CALIFORNIA

PDS2021-SPA-21-001; PDS2021-GPA-21-003; PDS2021-TM-5338R; PDS2021-STP-21-013

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FALLBROOK , CA

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Passerelle, LLC
San Diego ,Ca

NO.	DATE	DESCRIPTION
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DD SUBM. DATE:

BD SUBM. DATE:

PLOT DATE:

Project Number :

BCA No. 20026

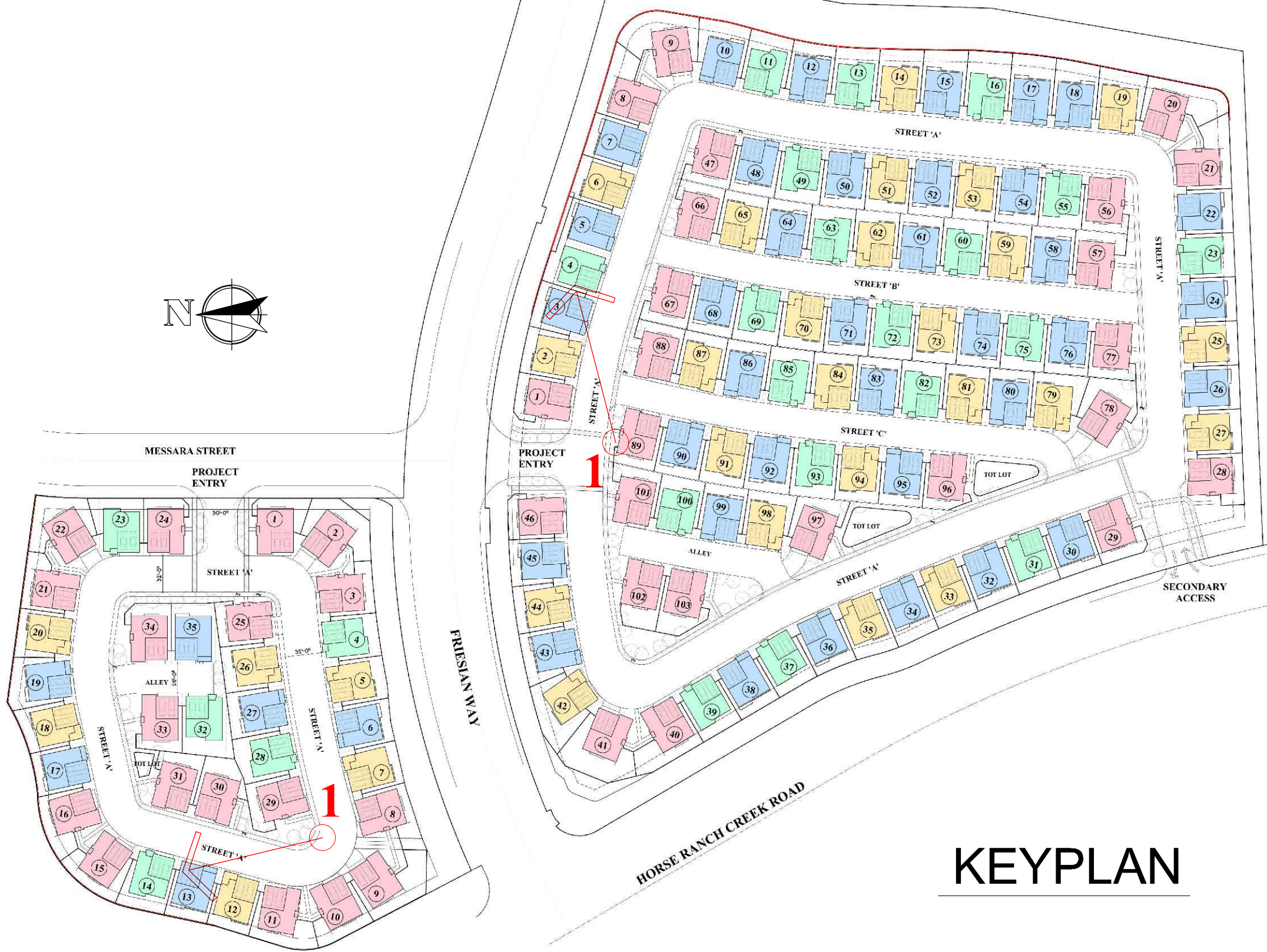
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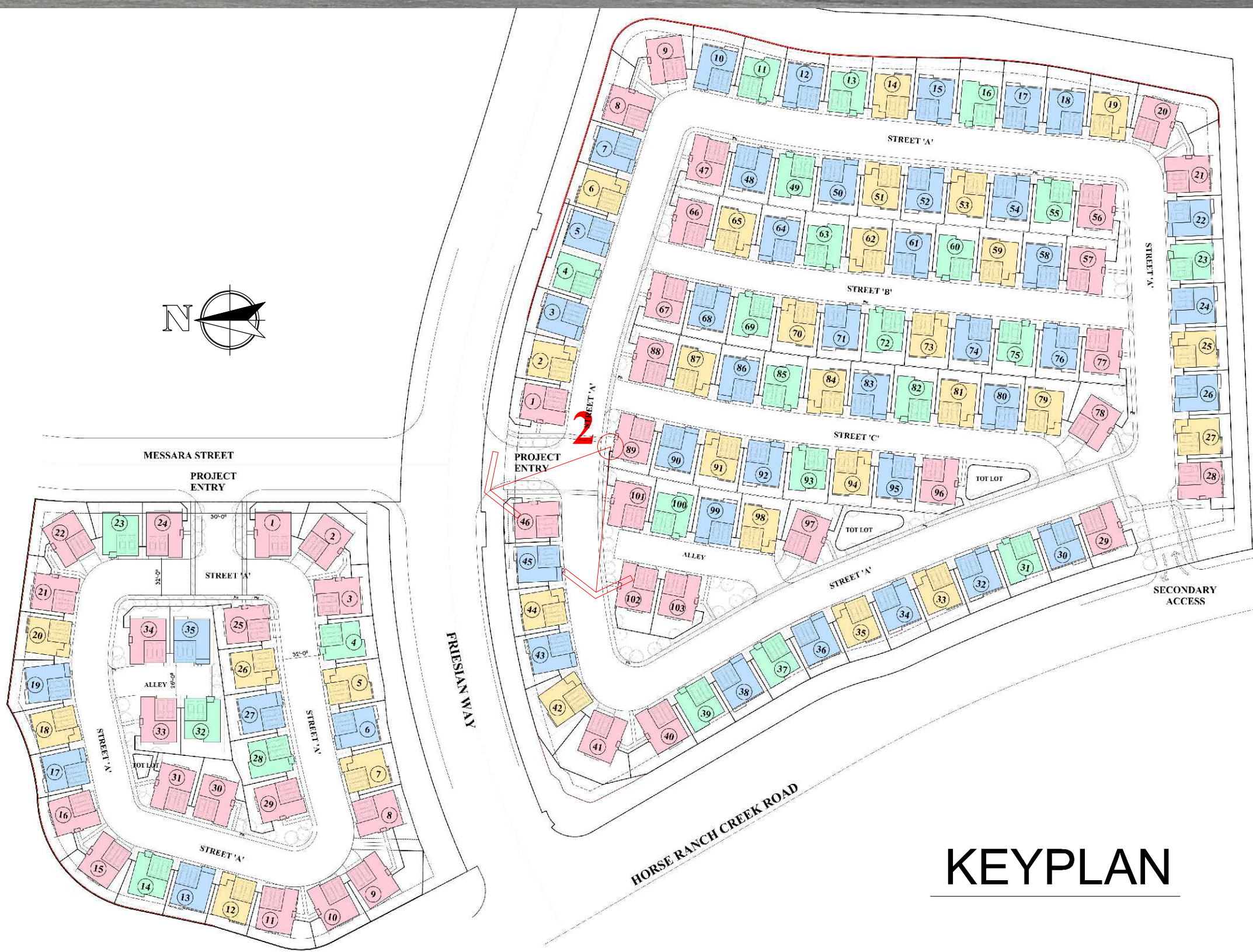
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CS-0

1

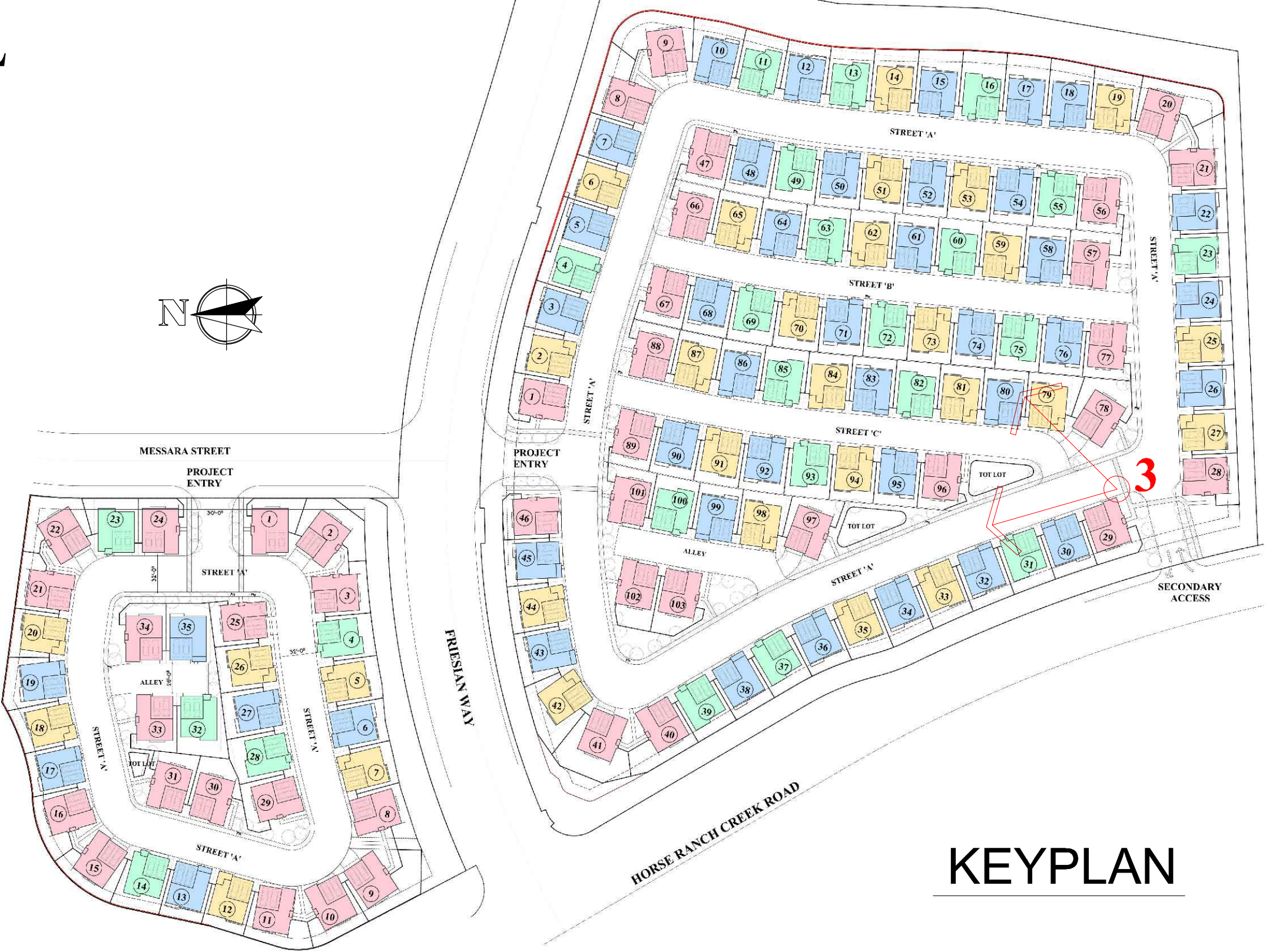


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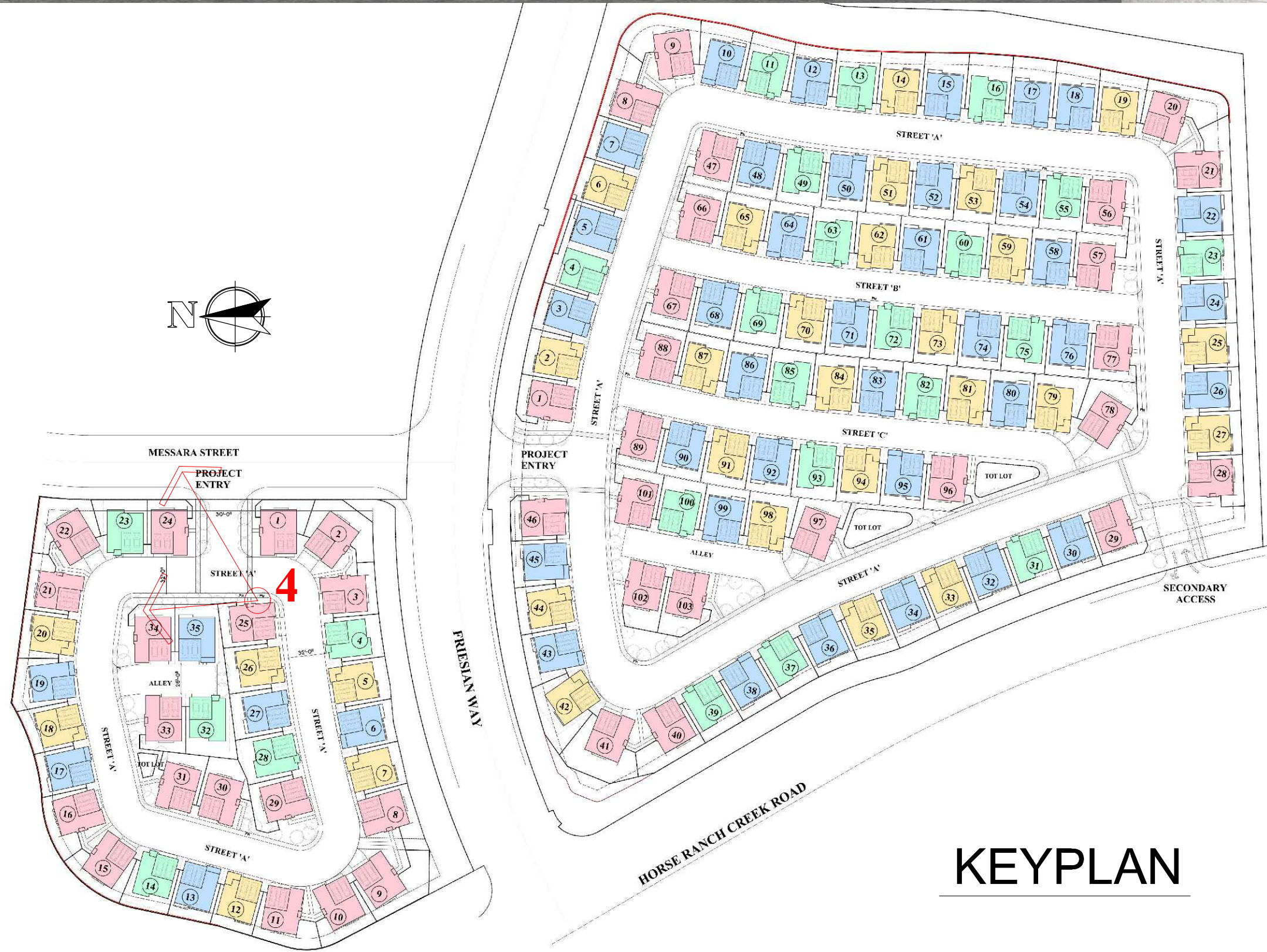
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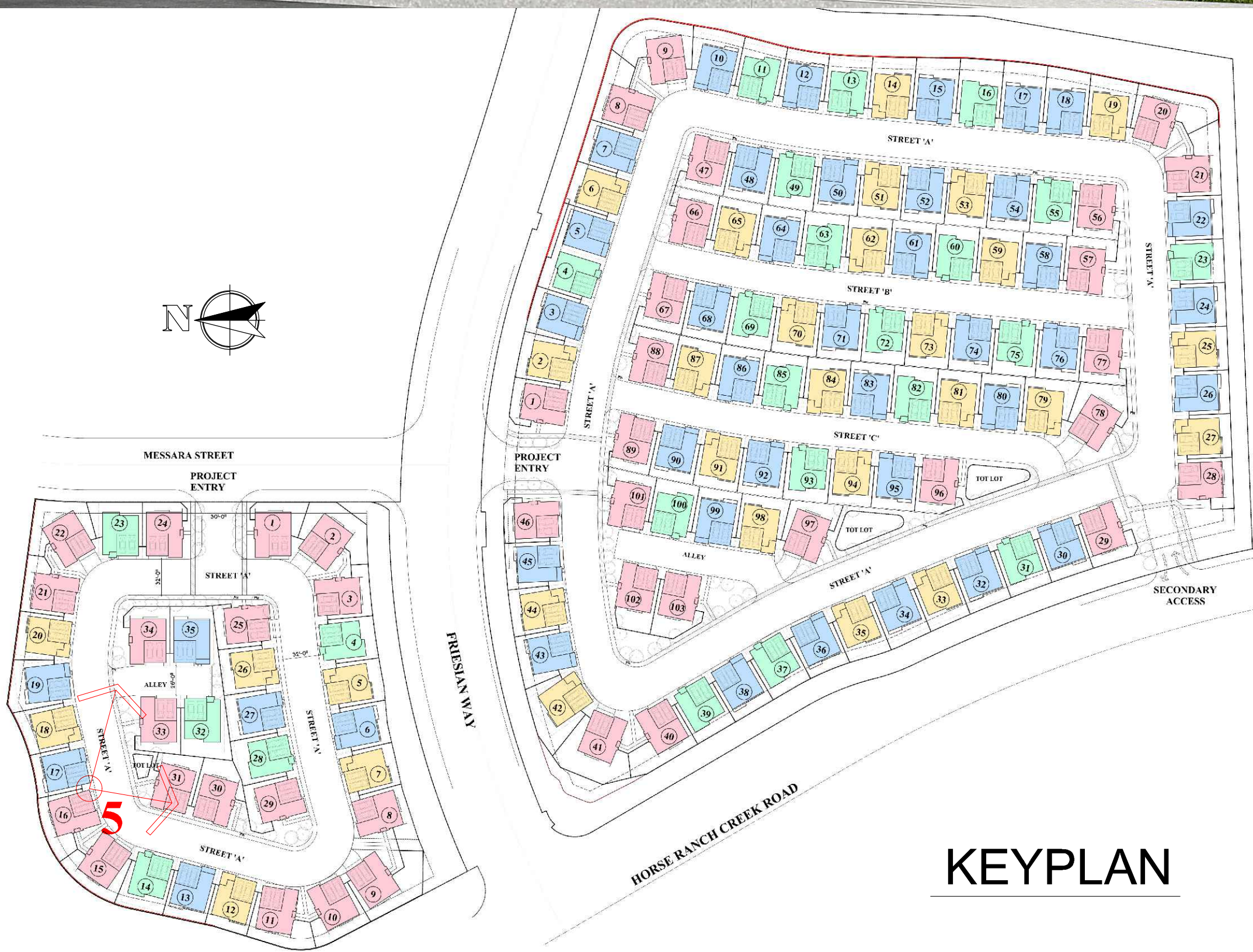
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SITE OVERVIEW @ SOUTH PARCEL

6



KEYPLAN



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Sheet Title :

IMAGERY

Sheet No. :

CS-7

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CHITECTURE PLANNING INTERIOR DESIGN
TORIC PRESERVATION LEED VALUE ENGINEERING

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Subject :

OWNER

DATE	DESCRIPTION
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Project Number :

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8



09.29.22

9



An aerial photograph of a residential development. The map shows several streets: 'STREET A' at the top, 'STREET B' on the left, 'STREET C' on the right, and 'STREET D' at the bottom. The lots are color-coded: pink for lots 1-10, green for lots 11-20, yellow for lots 21-30, and blue for lots 31-40. A red circle and arrow point to a specific lot in the bottom left corner. A red line connects this lot to a red circle containing the number '9' in the bottom left corner of the page.

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An aerial photograph of a residential development. The map shows several clusters of lots, each color-coded: pink, blue, green, and yellow. The lots are arranged in a grid-like pattern within these clusters. A large red number '10' is superimposed on the map, pointing to a specific lot in the central cluster. The surrounding area includes roads, parking lots, and some undeveloped land.

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11



CS-12

NORTH PARCEL

AC	2.7
UNITS	35
DU/AC	12.9

SOUTH PARCEL

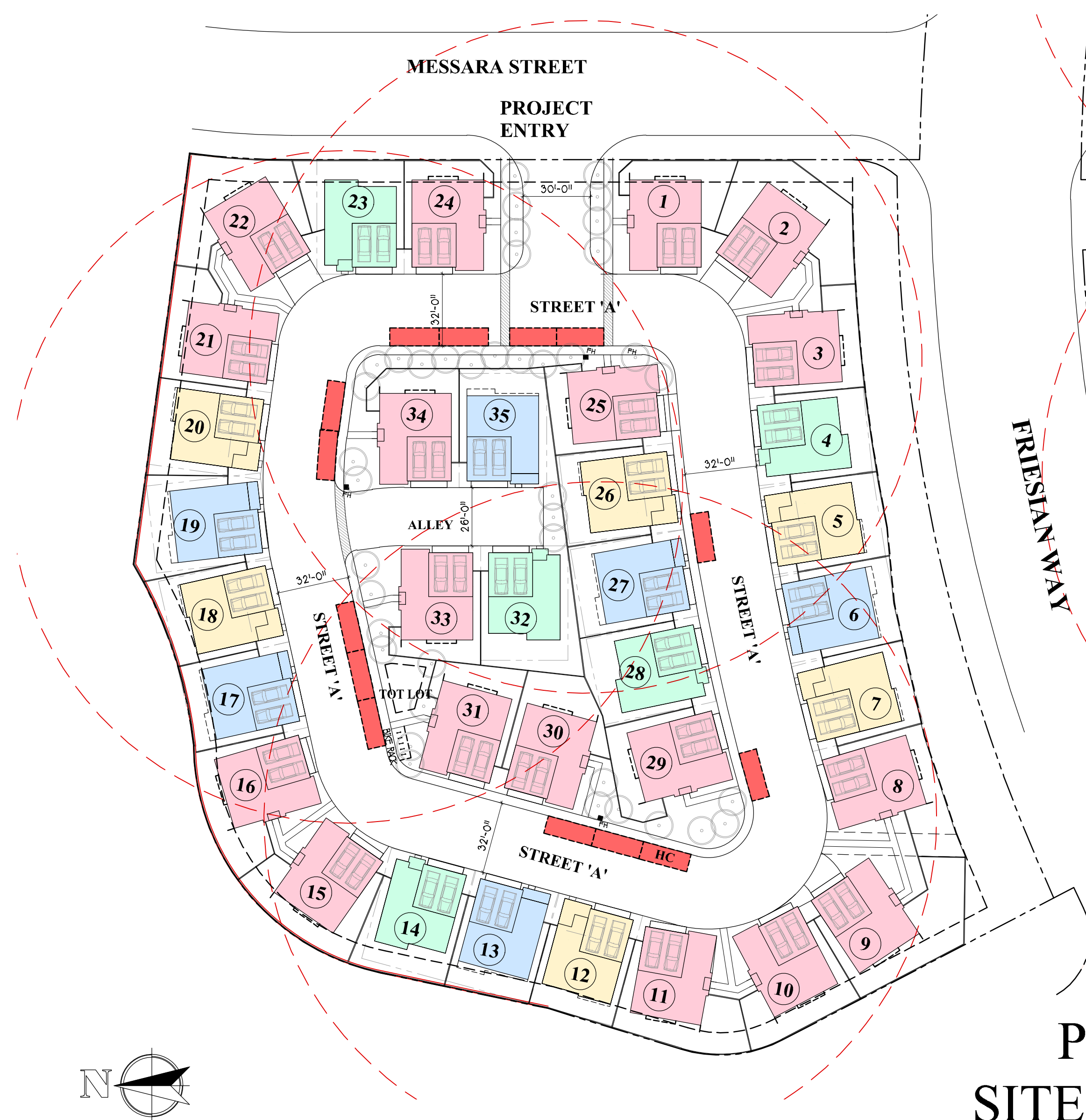
AC	8.9
UNITS	103
DU/AC	11.5

Parking Summary

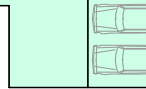
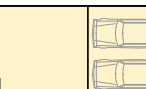


Unit	
Required	2 per unit
Provided	2 in garage
Guest	
Required	.2/unit or 7
Provided	.34/unit or 12
EV Device	one in each garage
Bike Sto	in garage
Bike Rack	located at Tot Lot
HC Parking	one space

Parking Summary

Unit	
Required	2 per unit
Provided	2 in garage
Guest	
Required	.2/unit or 20.6
Provided	.35/unit or 37
EV Device	one in each garage
Bike Sto	in garage
Bike Rack	located at Tot Lot
HC Parking	one space



LEGEND

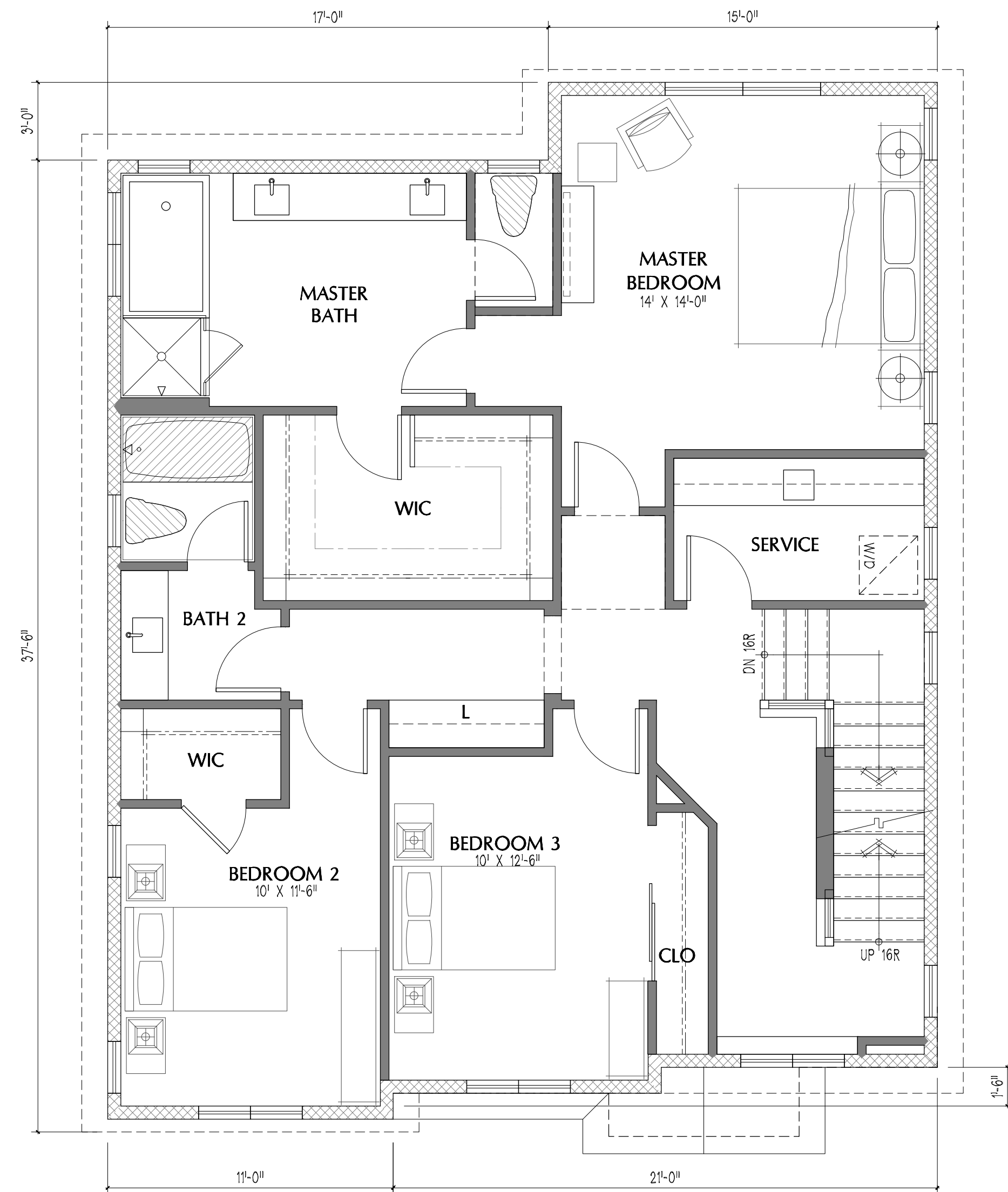
	PLAN 1	24 UNITS
	PLAN 2	30 units
	PLAN 3	42 units
	PLAN 4	42 units
TOTAL		138 units

<u>TOTAL</u>	
AC	11.6
UNITS	138
DU/AC	11.8

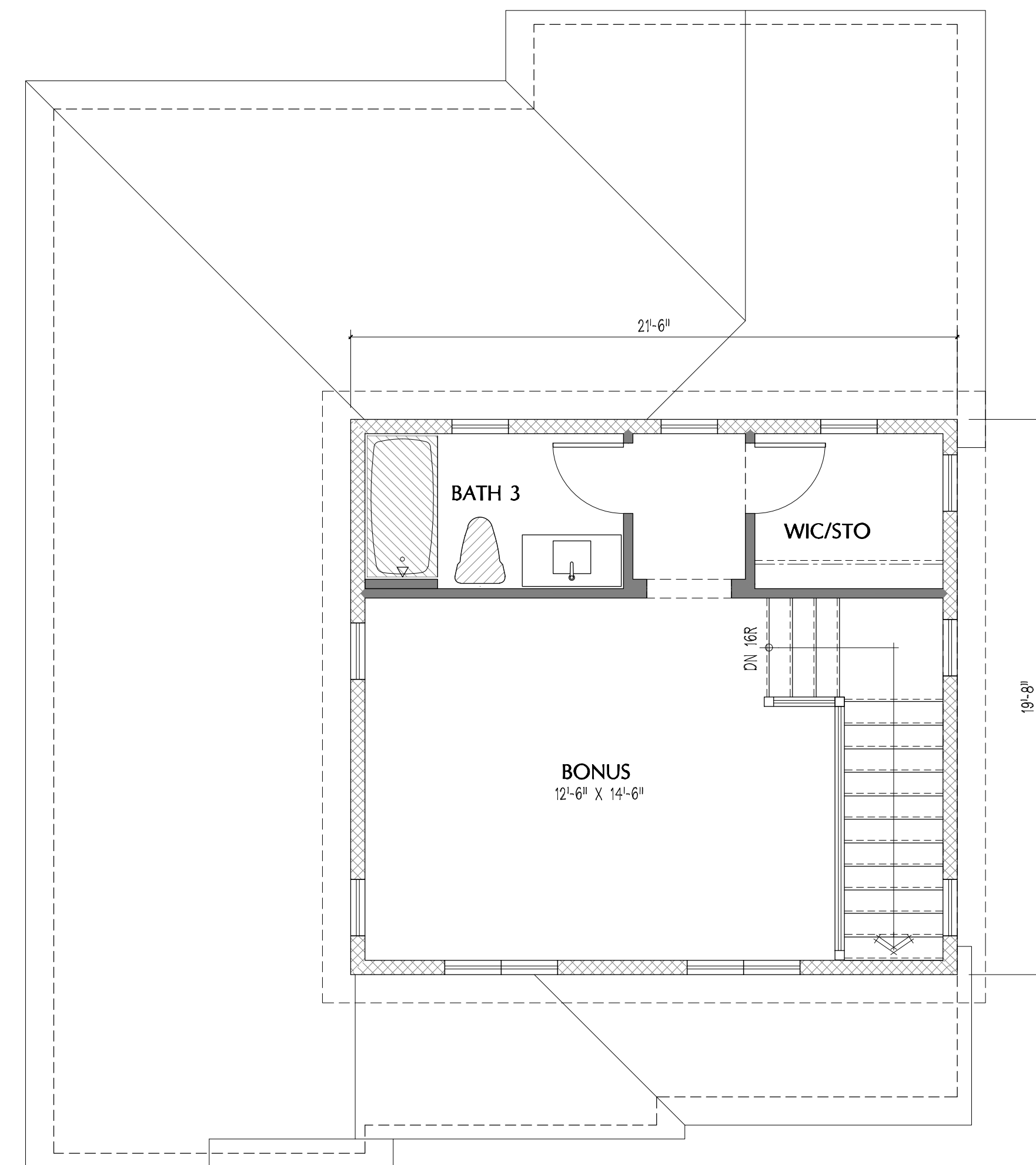
PARKING EXHIBIT SITE DEVELOPMENT PLAN

SCALE: 1" = 40'-0"

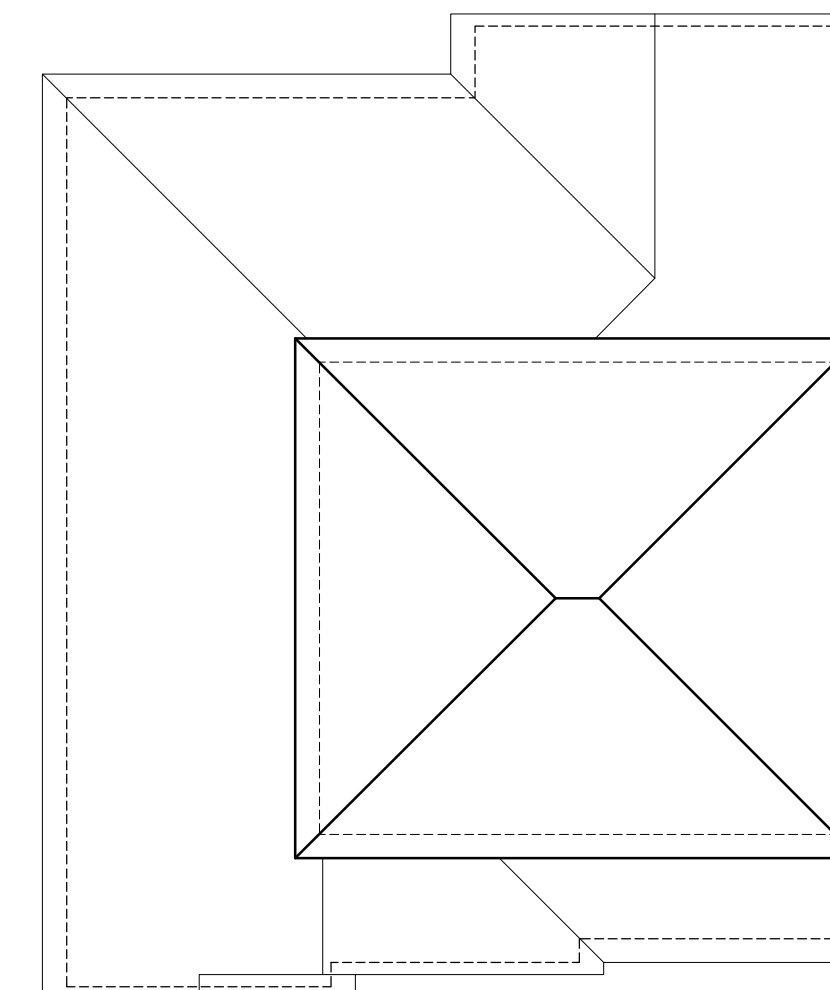
SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



SCALE: 1/8'-0"

FIRST FLOOR	783 SF
SECOND FLR	1136 SF
THIRD FLR	359 SF
TOTAL	2278 SF

1	Roof	Low Profile 'S' Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Tile
6	Front Door	Rustic Pattern - arch
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
10	Stucco Accent	Shaped Corbels
11	WI accent	at second floor window
12	Shutter Accent	Rustic Pattern
13	Exterior Light	Traditional Style
14	Color Accent	Light to Medium earth tones

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

1	Roof	Flat Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Vertical & Horizontal trim
6	Front Door	Rustic Pattern - low arch
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
11	Stone Accent	at front elevation only
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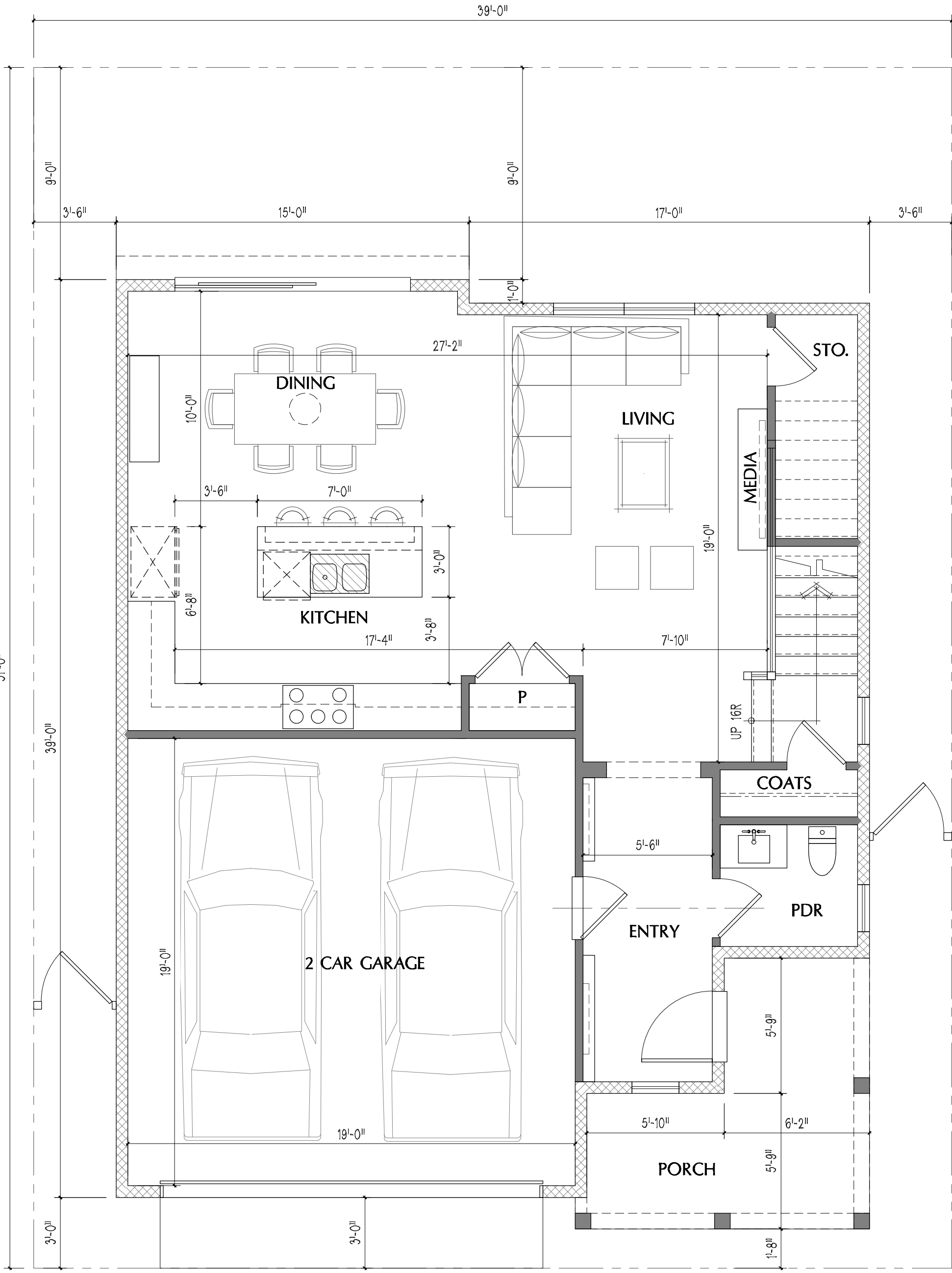


RIGHT SIDE ELEVATION



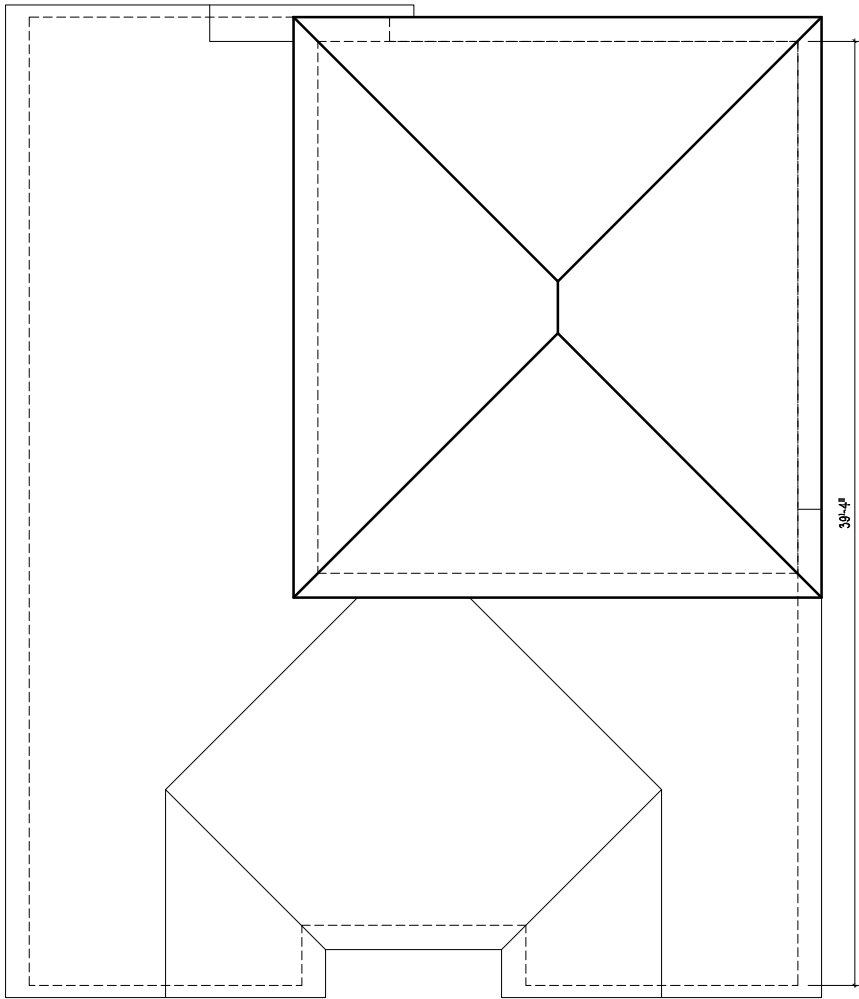
REAR ELEVATION

SCALE: 1/4"=1'-0"



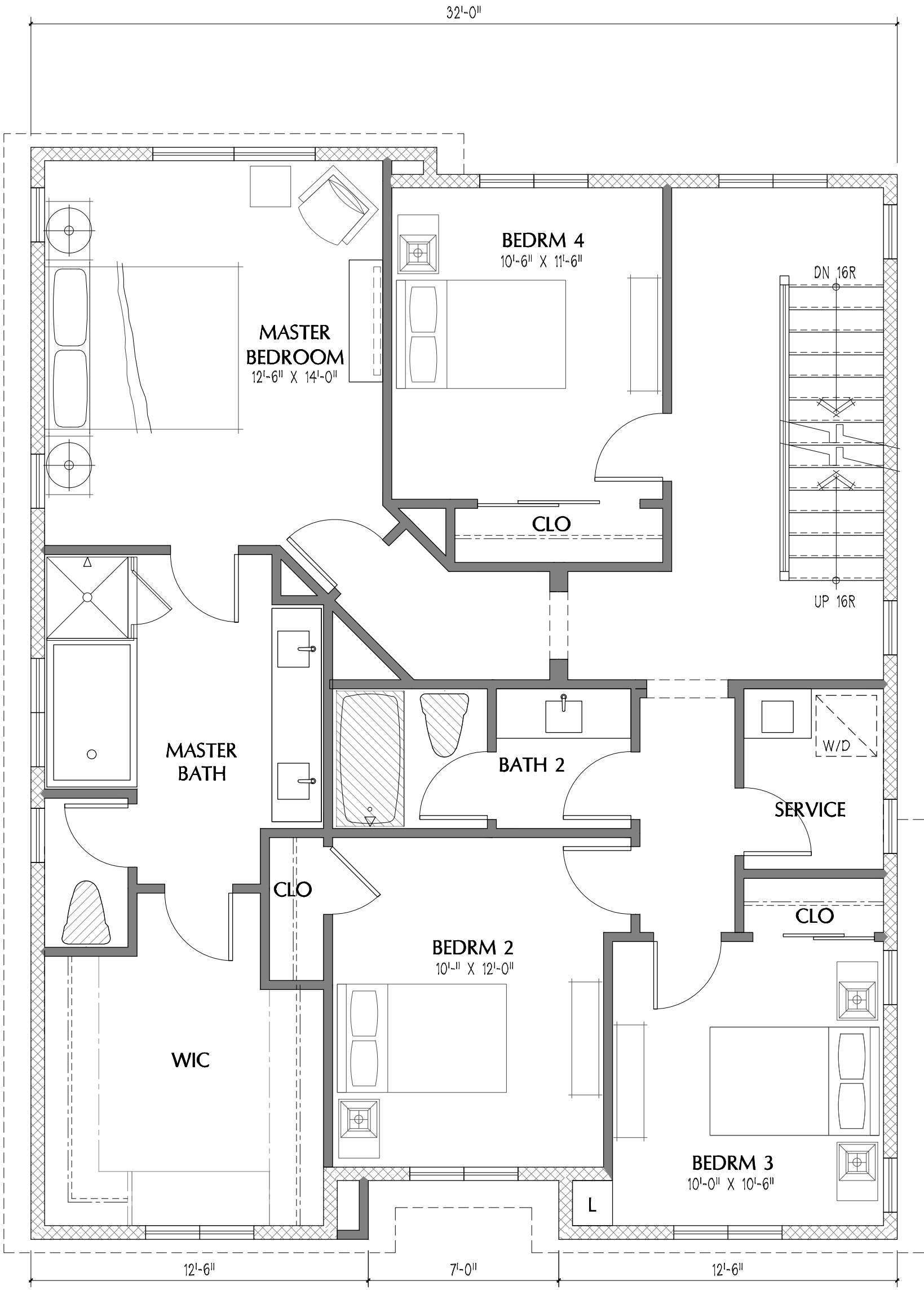
PLAN 2 - 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



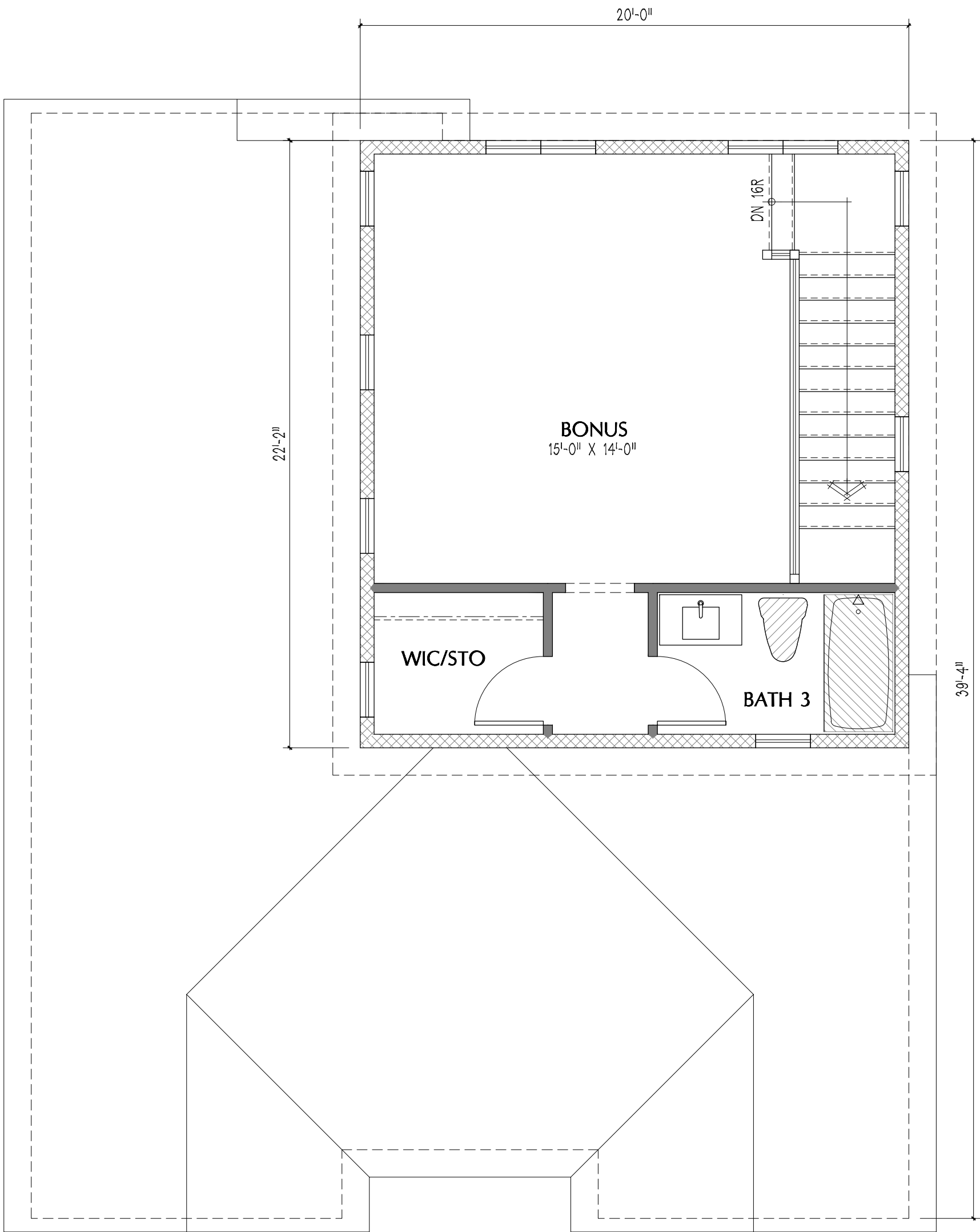
PLAN 2 - ROOF PLAN

SCALE: 1/8'-0"



PLAN 2 - 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



PLAN 2 - 3RD FLOOR PLAN

SCALE: 1/4"=1'-0"

FLOOR AREA :

FIRST FLOOR	754 SF
SECOND FLR	1215 SF
THIRD FLR	374 SF
TOTAL	2343 SF

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San Diego ,Ca

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PLAN 2
-1ST FLOOR
-2ND FLOOR
-3RD FLOOR
ROOF PLAN

Sheet No. :

DD-2.0

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SCALE: 1/4"=1'-0"

1	Roof	Low Profile 'S' Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Tile
6	Front Door	Rustic Pattern - arch
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
10	Stucco Accent	Shaped Corbels
11	WI accent	at second floor window
12	Shutter Accent	Rustic Pattern
13	Exterior Light	Traditional Style
14	Color Accent	Light to Medium earth tones



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12	Siding Accent	at front elevation only
13	Shutter Accent	Box Pattern
14	Exterior Light	Traditional Style
15	Color Accent	Light to Medium earth tones



This is a detailed architectural elevation drawing of a two-story house. The house features a gabled roof with a decorative tile pattern. The front facade includes five windows: four on the second floor and one on the first floor. The second-floor windows are arranged in two pairs, while the first-floor window is centered. A central entrance is located on the first floor, featuring a small porch with a decorative pediment and a small window above the door. To the right of the main house, there is a side entrance with a small porch and a decorative pediment. The drawing is a line art illustration with some color shading on the roof and doors.

PLAN 2 - WRAP ELEV. (SPANISH)

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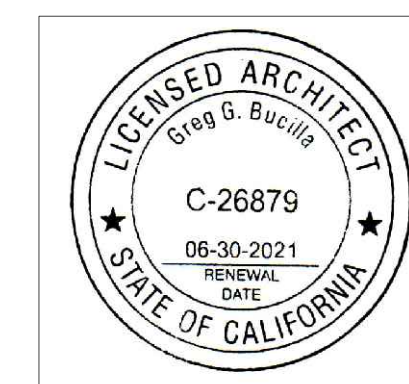
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PLAN 2

SPANISH WRAP ELEVATIONS

Sheet No. :

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BATH 3

WIC/STO

BONUS
16'-0" X 13'-0"

DN 1BR

Dimensions: 17'-6", 6'-6", 26'-2", 1'-0", 19'-8", 16'-6", 8'-0", 2'-6", 1'-0", 2'-4", 10'-6", 14'-2", 8'-0"

<u>FLOOR AREA :</u>	
FIRST FLOOR	788 SF
SECOND FLR	1163 SF
THIRD FLR	455 SF
<hr/> TOTAL	<hr/> 2406 SF

SCALE: 1/4"=1'-0"

- 1 Roof
- 2 Stucco
- 3 Rafter Tails
- 4 Gable Rake
- 5 Gable Accent
- 6 Front Door
- 7 Garage Door
- 8 Window
- 9 Window Trim
- 10 Stucco Accent
- 11 WI accent
- 12 Shutter Accent
- 13 Exterior Light
- 14 Color Accent

Low Profile 'S' Tile
16/20 Sand Finish
2x8 exposed
2x8 exposed
Tile
Rustic Pattern - arch
Panel Pattern
Vinyl with accent mullions
Trim top and bottom
Shaped Corbels
at second floor window
Rustic Pattern
Traditional Style
Light to Medium earth tones



SCALE: 1/4"=1'-0"

- | | | |
|----|----------------|-----------------------------|
| 1 | Roof | Flat Tile |
| 2 | Stucco | 16/20 Sand Finish |
| 3 | Rafter Tails | 2x8 exposed |
| 4 | Gable Rake | 2x8 exposed |
| 5 | Gable Accent | Vertical & Horizontal trim |
| 6 | Front Door | Rustic Pattern - low arch |
| 7 | Garage Door | Panel Pattern |
| 8 | Window | Vinyl with accent mullions |
| 9 | Window Trim | Trim top and bottom |
| 11 | Stone Accent | at front elevation only |
| 12 | Siding Accent | at front elevation only |
| 13 | Shutter Accent | Box Pattern |
| 14 | Exterior Light | Traditional Style |
| 15 | Color Accent | Light to Medium earth tones |

- 1 Roof
- 2 Stucco
- 3 Rafter Tails
- 4 Gable Rake
- 5 Gable Accent
- 6 Front Door
- 7 Garage Door
- 8 Window
- 9 Window Trim
- 11 Stone Accent
- 12 Siding Accent
- 13 Shutter Accent
- 14 Exterior Light
- 15 Color Accent

Flat Tile
16/20 Sand Finish
2x8 exposed
2x8 exposed
Vertical & Horizontal trim
Rustic Pattern - Flat
Panel Pattern
Vinyl with accent mullions
Trim top and bottom
at front elevation only
at front elevation only
Box Pattern
Traditional Style
Light to Medium earth tones



SCALE: 1/4"=1'-0"

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Low Profile 'S' Tile
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2x8 exposed
2x8 exposed
Tile
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Panel Pattern
Vinyl with accent mullions
Trim top and bottom
Shaped Corbels
at second floor window
Rustic Pattern
Traditional Style
Light to Medium earth tones



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- | | | |
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| 9 | Window Trim | Trim top and bottom |
| 11 | Stone Accent | at front elevation only |
| 12 | Siding Accent | at front elevation only |
| 13 | Shutter Accent | Box Pattern |
| 14 | Exterior Light | Traditional Style |
| 15 | Color Accent | Light to Medium earth tones |

Flat Tile
16/20 Sand Finish
2x8 exposed
2x8 exposed
Vertical & Horizontal trim
Rustic Pattern - Flat
Panel Pattern
Vinyl with accent mullions
Trim top and bottom
at front elevation only
at front elevation only
Box Pattern
Traditional Style
Light to Medium earth tones

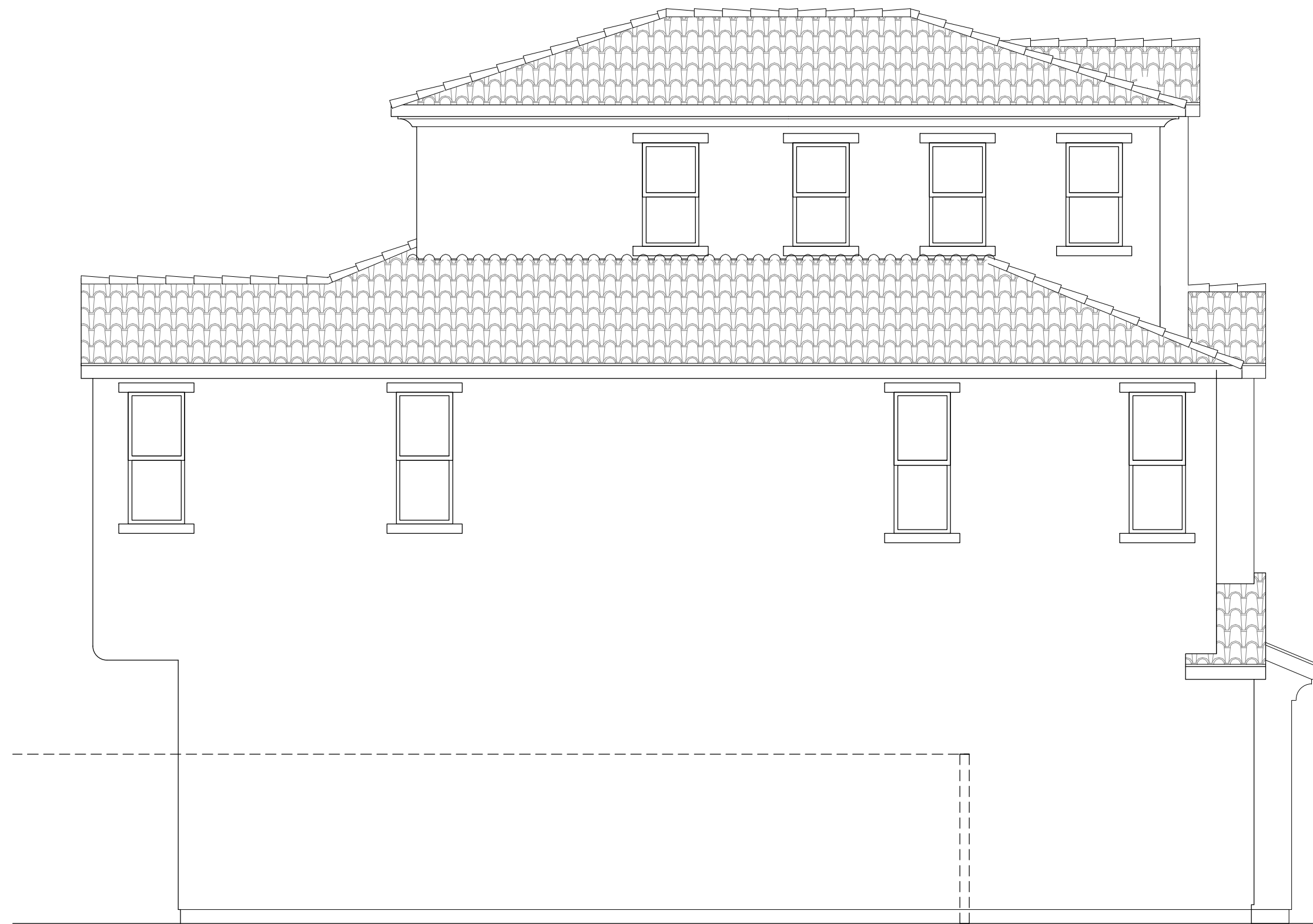


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- | | | |
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| 8 | Window | Vinyl with accent mullions |
| 9 | Window Trim | Trim top and bottom |
| 11 | Stone Accent | at front elevation only |
| 12 | Siding Accent | at front elevation only |
| 13 | Shutter Accent | Box Pattern |
| 14 | Exterior Light | Traditional Style |
| 15 | Color Accent | Light to Medium earth tones |

Flat Tile
16/20 Sand Finish
2x8 exposed
2x8 exposed
Vertical & Horizontal trim
Rustic Pattern - Flat
Panel Pattern
Vinyl with accent mullions
Trim top and bottom
at front elevation only
at front elevation only
Box Pattern
Traditional Style
Light to Medium earth tones



The diagram illustrates the decomposition of the tensor product of two representations of the Lie algebra $\mathfrak{so}(2, 1)$. The top row shows the decomposition of the tensor product of two representations, labeled 8^- and 8^+ , into a direct sum of representations 9^+ , 9^- , and 8^0 . The bottom row shows the decomposition of the tensor product of two representations, labeled 8^- and 8^+ , into a direct sum of representations 9^+ , 9^- , and 8^0 . The diagram uses horizontal lines to represent the representations and arrows to indicate the decomposition.

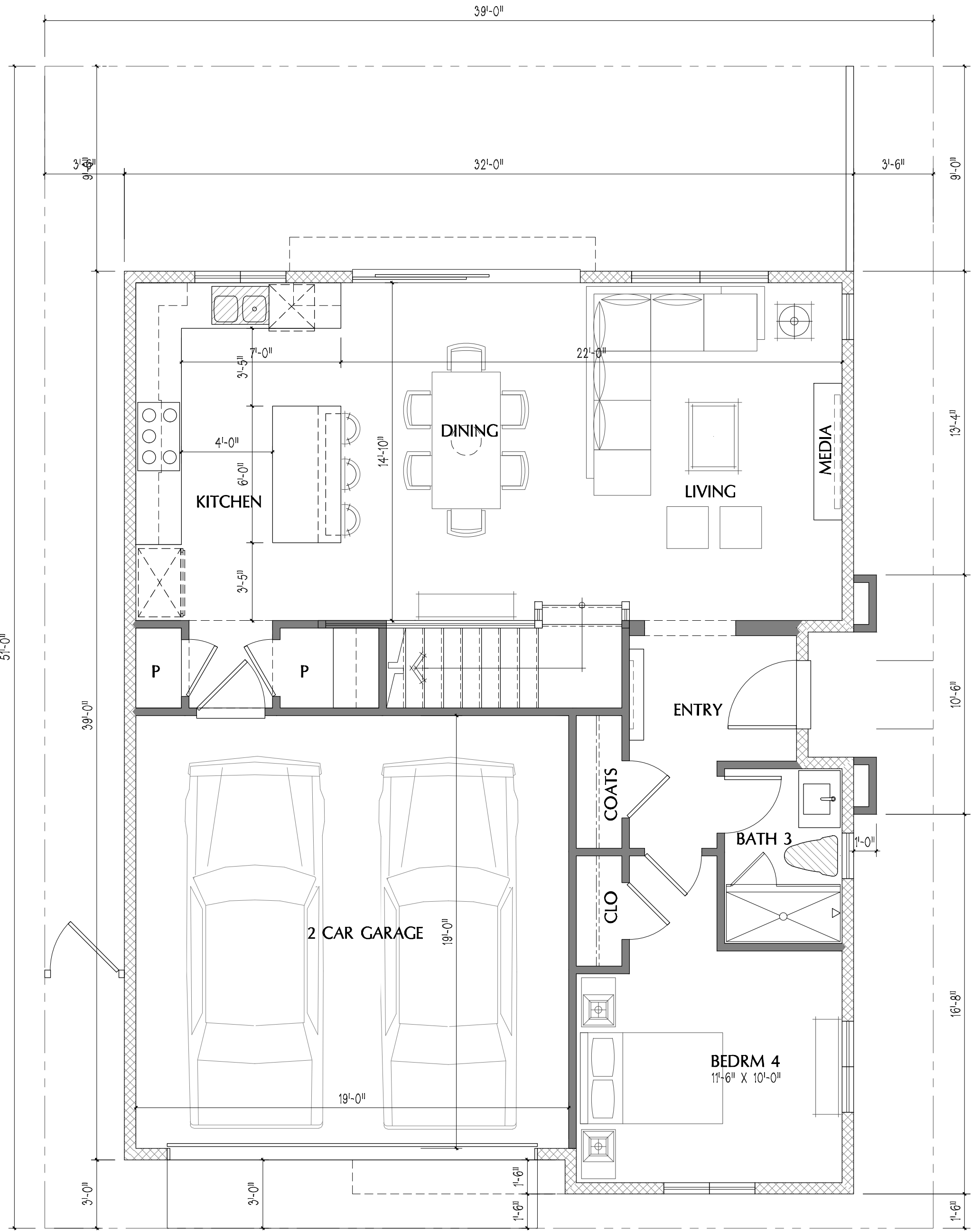


An architectural elevation drawing of a two-story building. The building features a tiled roof with a gabled section on the left and a lower-pitched section on the right. The facade is composed of several vertical elements: a central section with three windows on the upper floor and three on the lower floor, and a side section with two windows on the upper floor and two on the lower floor. A staircase is depicted on the left side, leading from the ground level to the upper floor. The drawing uses solid lines for the building's structure and dashed lines for the staircase and roof transitions. The overall style is a clean, black-and-white line drawing.

This architectural elevation drawing depicts a two-story residential building. The structure features a gabled roof with a decorative tile pattern. The second story includes three windows: a single window on the left and two double windows in the center. The first story is characterized by a central double door, flanked by two double windows. A small balcony with a decorative bracket is positioned above the right-hand first-floor window. A small circular vent is located in the center of the roofline above the balcony. The drawing is presented in a clean, line-art style with no shading.

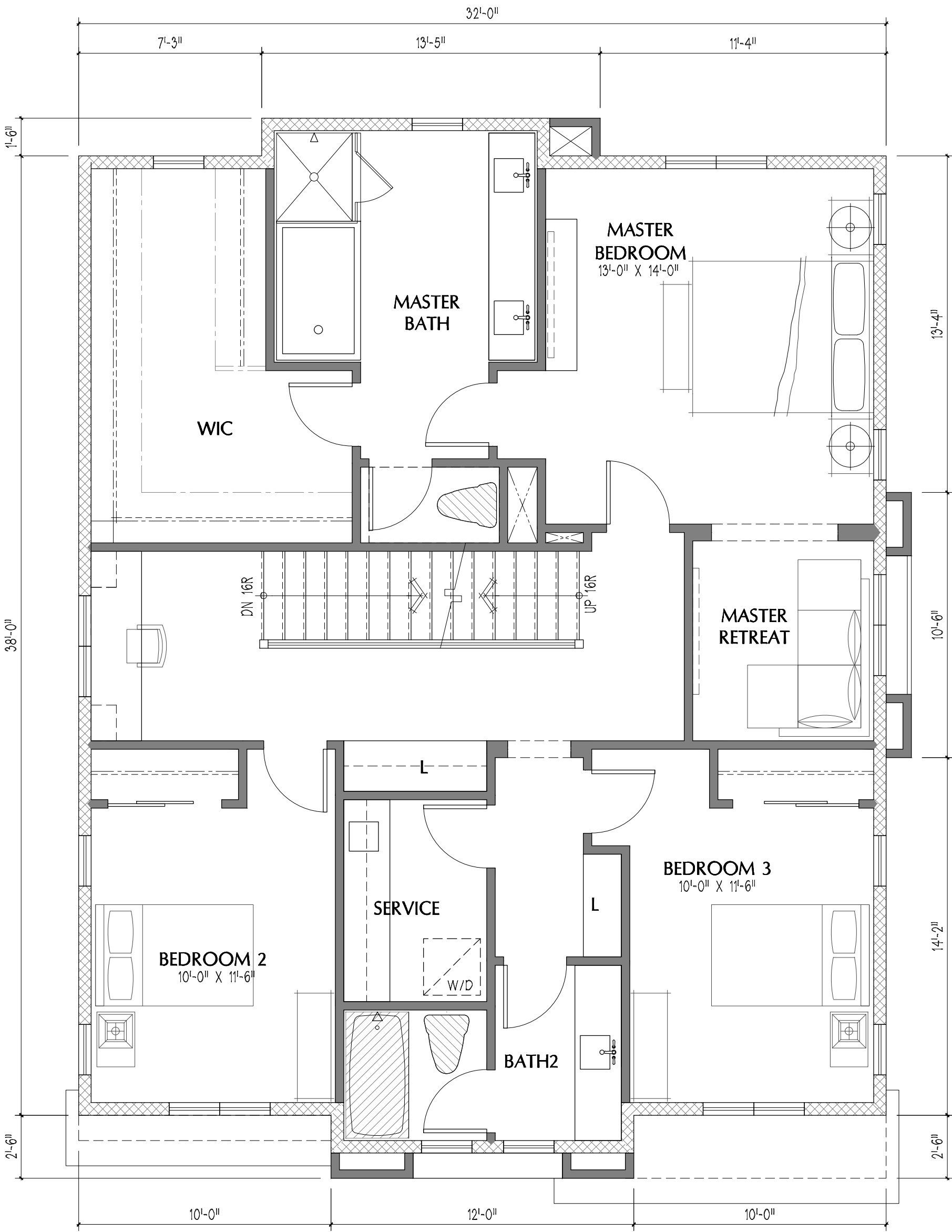
SCALE: 1/4"=1'-0"

09.29.22



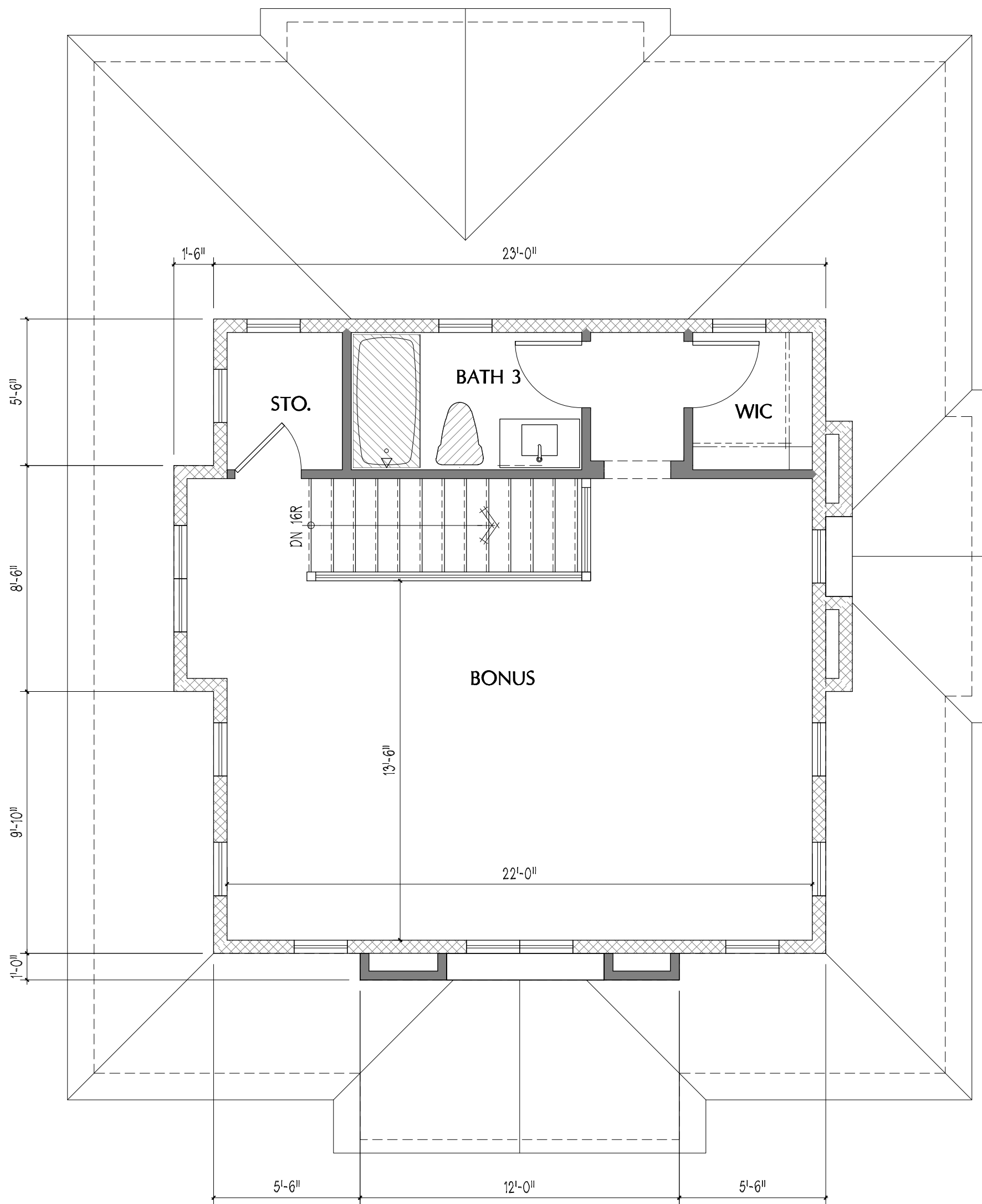
PLAN 4 - 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



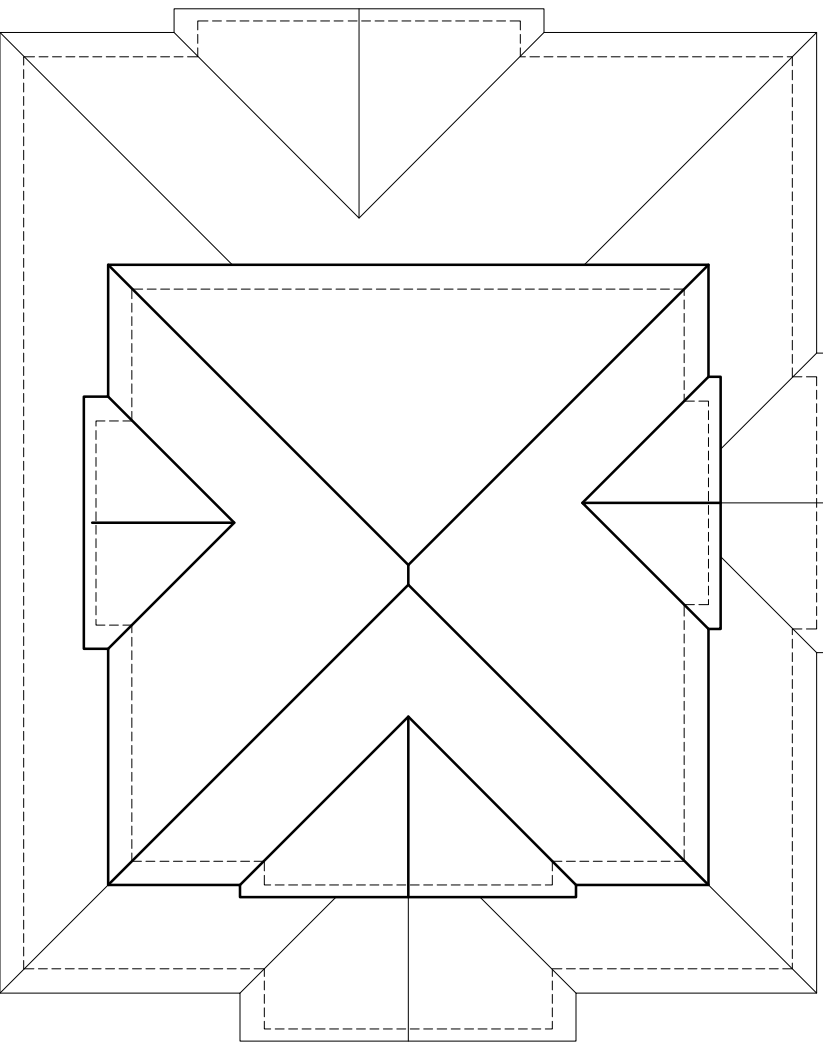
PLAN 4 - 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



PLAN 4 - 3RD FLOOR PLAN

SCALE: 1/4"=1'-0"



PLAN 4 - ROOF PLAN

SCALE: 1/8'-0"

FLOOR AREA :

FIRST FLOOR	869 SF
SECOND FLR	1207 SF
THIRD FLR	525 SF
TOTAL	2601 SF

ARCHITECT:

BUCILLA
GROUP
ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

1601 Dove Street, Suite 187, Newport Beach, Ca 92660
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FALLBROOK , CA

OWNER

Passerelle, LLC
San Diego ,Ca

NO. DATE DESCRIPTION

PERMIT NO:
DD SUBM. DATE:
BD SUBM. DATE:
PLOT DATE:

Project Number :

BCA No. 20026

Sheet Title :

PLAN 4
-1ST FLOOR
-2ND FLOOR
ROOF PLAN

Sheet No. :

DD-4.0

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DO NOT SCALE THE DRAWINGS

SCALE: 1/4"=1'-0"

1	Roof	Low Profile 'S' Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Tile
6	Front Door	Rustic Pattern - arch
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
10	Stucco Accent	Shaped Corbels
11	WI accent	at second floor window
12	Shutter Accent	Rustic Pattern
13	Exterior Light	Traditional Style
14	Color Accent	Light to Medium earth tones



SCALE: 1/4"=1'-0"

1	Roof	Flat Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Vertical & Horizontal trim
6	Front Door	Rustic Pattern - low arch
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
11	Stone Accent	at front elevation only
12	Siding Accent	at front elevation only
13	Shutter Accent	Box Pattern
14	Exterior Light	Traditional Style
15	Color Accent	Light to Medium earth tones



SCALE: 1/4"=1'-0"

1	Roof	Flat Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Vertical & Horizontal trim
6	Front Door	Rustic Pattern - Flat
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
11	Stone Accent	at front elevation only
12	Siding Accent	at front elevation only
13	Shutter Accent	Box Pattern
14	Exterior Light	Traditional Style
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1	Roof	Flat Tile
2	Stucco	16/20 Sand Finish
3	Rafter Tails	2x8 exposed
4	Gable Rake	2x8 exposed
5	Gable Accent	Vertical & Horizontal trim
6	Front Door	Rustic Pattern - low arch
7	Garage Door	Panel Pattern
8	Window	Vinyl with accent mullions
9	Window Trim	Trim top and bottom
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12	Siding Accent	at front elevation only
13	Shutter Accent	Box Pattern
14	Exterior Light	Traditional Style
15	Color Accent	Light to Medium earth tones

09.29.22



This architectural elevation drawing depicts a two-story residential building. The structure features a gabled roof with a decorative tile pattern. The upper story has three tall, narrow, double-hung windows. The lower story includes a large double door at the center, flanked by two square, double-hung windows. A small balcony with a decorative railing is positioned above the central door. To the left of the door is a small, dark, lantern-style light fixture. The entire drawing is rendered in black lines on a white background.

PLAN 4 - WRAP ELEV. (SPANISH)

ARCHITECT:

BUCILLA
GROUP
ARCHITECTURE

CHITECTURE PLANNING INTERIOR DESIGN
TORIC PRESERVATION LEED VALUE ENGINEERING

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FALLBROOK, CA

OWNER

Masserelle, LLC
San Diego, Ca

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Project Number :

3GA No. 20026

Sheet Title :

SPANISH WRAP ELEVATIONS

Sheet No. :

DD-4.2

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