

Darnell & ASSOCIATES

TRANSPORTATION PLANNING & TRAFFIC ENGINEERING

January 21, 2020

Neil Kadakia
Greens Global, Greens Real Estate
910 South El Camino Real, Suite A;
San Clemente, CA 92672

D&A No; 190107

Subject: Traffic Analysis for Greens Storage Valley Project located at 24835 Lizard Rocks Road in the Valley Center area of San Diego County. APN# 188-250-15

Dear: Mr. Kadakia,

In accordance with your authorization, Darnell & Associates, (D&A) has completed the Traffic Impact Analysis to determine the traffic study requirements for the project based on project trip generation and County requirements. Figure 1 is a vicinity map showing the location of the project. The site plan for the project is presented on Figure 2. Also shown on Figure 2 is the existing 88,253 square foot Lizard Rock Storage Facility.

Project Trip Generation

The first step in the analysis requires the preparation of project trip generation for the project. Table 1 presents the anticipated trip generation for the project. The trip generation used in this report uses the April 2002 SANDAG Brief Guide of Vehicular Trip Generation Rates for the San Diego Region. The project proposes the development of 48,087 square feet of mini storage facilities within three buildings on the project site as follows:

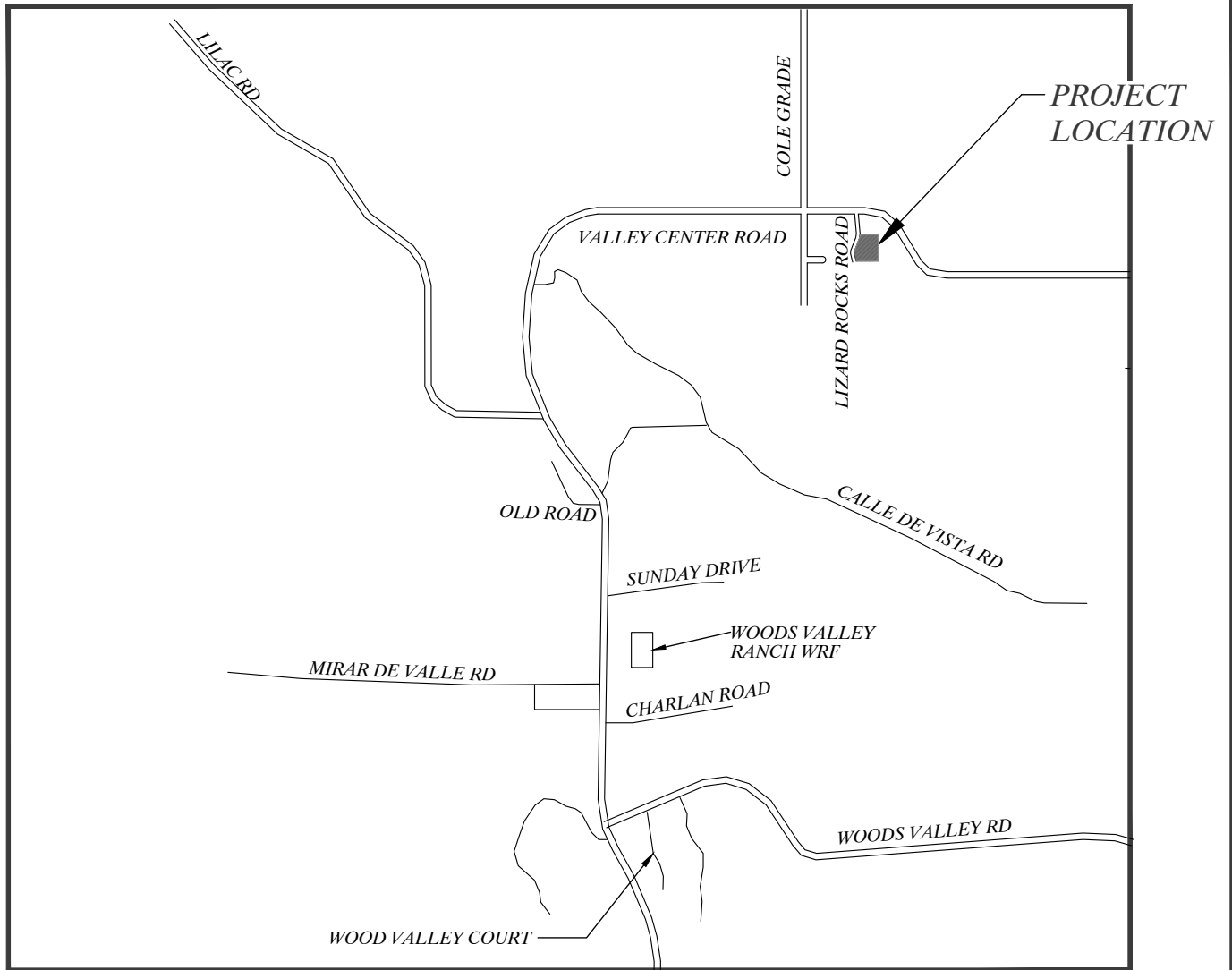
- Building #1 - 36,724 square feet
 - Building #2 - 5,055 square feet
 - Building #3 - 6,038 square feet
- Total: 48,087 square feet

Table 1 - Project Trip Generation Rates and Trip Generation								
TRIP GENERATION RATES								
Land Use	Daily ADT	AM PEAK			PM PEAK			
		Rate	In	Out	Rate	In	Out	
Industrial Mini Storage	2.0/KSF	6% of Daily	50%	50%	9% of Daily	50%	50%	
TRIP GENERATION CALCULATIONS								
Land Use	Density	ADT	AM PEAK			PM PEAK		
			In	Out	Total	In	Out	Total
Mini Storage	48.087/KSF	96	3	3	6	5	4	9
Total:		96	3	3	6	5	4	9
Notes: KSF = Thousand Square Foot, ADT = Average Daily Traffic,								

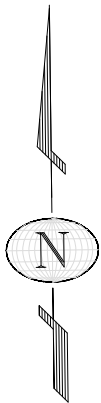
Review of Table 1 shows the project will generate 96 Daily, 6 AM peak hour trips (3 In/3 Out) and 9 PM peak hour trips (5 In/ 4 Out).

County of San Diego Traffic Study Requirements

The next step in the analysis is the comparison of project traffic to the County Guidelines. Section 2.1 of the County of San Diego Transportation and Traffic Report Format and Contents Requirements identifies criteria to determine the need to prepare and types of Traffic Impact Studies.



VICINITY MAP
NOT TO SCALE



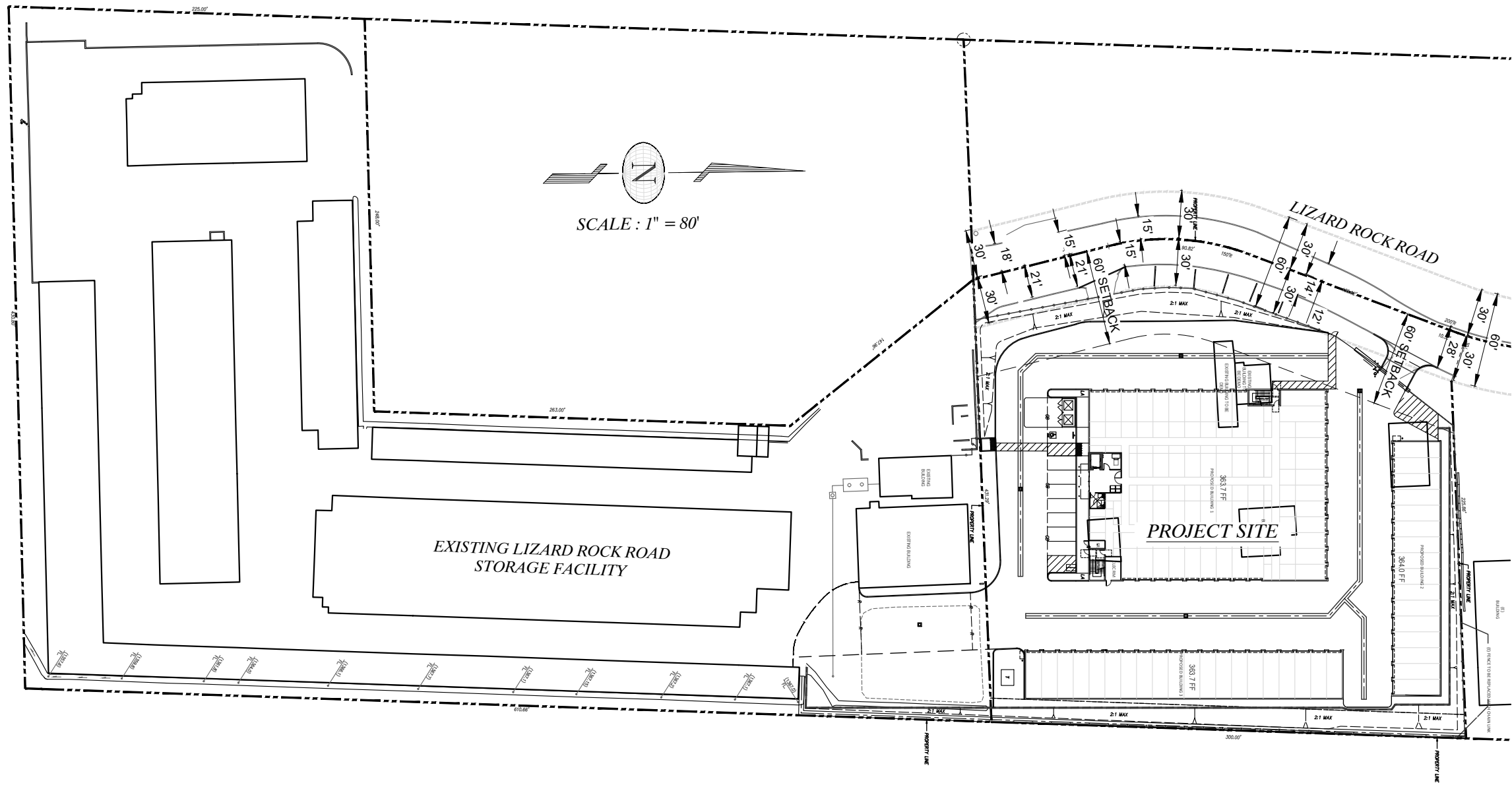
SCALE : NONE

Darnell & ASSOCIATES, INC.

4411 MERCURY STREET, SUITE 207A
SAN DIEGO, CA 92111
(619) 233-9373

DWG: 190107-Greens Storage VC-1A DATE: Dec. 20, 2019 BY: DaB

FIGURE 1
GREEN GLOBAL VALLEY CENTER
VICINITY MAP



PROJECT DESCRIPTION

MODIFICATION OF EXISTING SITE 'A' ON THE ADJACENT PROPERTY TO ENCOMPASS APN 188-250-15 AND EXPAND THE MINI-WAREHOUSE COMPLEX. A TWO LOT MERGER IS PROPOSED TO EXPAND THE EXISTING PROJECT.

PROJECT INFORMATION

PROJECT ADDRESS:	28435 LIZARD ROCKS ROAD, VALLEY CENTER, CA	
EXISTING SITE 'A' APN:	188-250-41	
EXISTING SITE 'B' APN:	188-250-15	
EXISTING SITE 'A' AREA:	172,497 S.F.	OR 3.96 ACRES
NEW SITE 'B' WITH R/W (GROSS):	87,335 S.F.	OR 2.00 ACRES
NEW SITE 'B' AREA (NET):	77,754 S.F.	OR 1.78 ACRES

GENERAL PLAN DESIGNATION: VALLEY CENTER
EXISTING AND PROPOSED ZONING: M52

F.A.R. AT (E) SITE 'A' IN 2005:	0.6	172,497 S.F. x 0.6 = 103,498.2 S.F.
		S.F. ALLOWED: 103,498 S.F.
		(E) S.F. BUILT: 88,253 S.F.
		S.F. NOT BUILT: 15,245 S.F.

F.A.R. MAX ALLOWED (NET):	0.5	SITE 'A': 172,497 S.F.
*PER COUNTY, MERGER OF TWO		SITE 'B' NET: 77,754 S.F.
SITES REQUIRES MOST RESTRICTIVE		TOTAL SITE AREA: 250,251 S.F.
F.A.R.		250,251 S.F. x 0.5 = 125,125.5

F.A.R. PROPOSED FOR LOT MERGE:	0.54	(E) 88,253 S.F. + (N) 48,087 S.F. =
*APPLY FOR A VARIANCE FOR ADDT'L		136,340 S.F./ 250,251 S.F.

BLDG SETBACKS REQUIRED:	
FROM STREET R.O.W.	60'
SIDE YARDS:	0'
REAR YARD:	15'

BLDG SETBACKS PROVIDED:	
FRONT:	66'-4"
SIDE YARD:	69'-11" AT SOUTH
SIDE YARD:	9'-11" AT NORTH
REAR:	15'

BUILDING AREA

EXISTING BUILDINGS TO REMAIN:	
BUILDING A	4,900 S.F.
BUILDING B	40,650 S.F.
BUILDING C	9,418 S.F.
BUILDING D	5,220 S.F.
BUILDING E	10,800 S.F.
BUILDING F	7,980 S.F.
BUILDING G	5,785 S.F.
BUILDING H	3,500 S.F.
SUBTOTAL:	(EXISTING) 88,253 S.F.

PROPOSED BUILDING 1:	36,724 S.F.
PROPOSED BUILDING 2 DRIVE-UP:	5,055 S.F.
PROPOSED BUILDING 3 DRIVE-UP:	6,308 S.F.

GRAND TOTAL FLOOR AREA:	(PROPOSED) 48,087 S.F.
	= 136,340 S.F.

Darnell & ASSOCIATES, INC.
4411 MERCURY STREET, SUITE
207A SAN DIEGO, CA 92111
(619) 233-9373

DWG: 190107-Greens Storage VC-1A DATE: Dec. 20, 2019 BY: DaB

FIGURE 2
GREEN GLOBAL VALLEY CENTER
SITE PLAN

Table 2 presents the County of San Diego criteria to determine the need and content of required Traffic Impact Studies for the project. Comparison of the project traffic shown on Table 1 Trip Generation to the Table 2 County Criteria to prepare a Traffic Impact Study (TIS) identifies the project generates 96 daily trips, 6 AM peak hour trips (3 In/3 Out) and 9 PM peak hour trips (5 In/ 4 Out). Based on the County Criteria the projects daily 96 daily trips, 6 AM peak hour trips and 9 PM peak hour trips do not require any additional traffic impact analysis to be provided.

Table 2 - County Criteria for the Need to Prepare a Traffic Impact Study (TIS)				
Project Generated Traffic *	Issue Specific TIS	Focused TIS	Full TIS Needed	Congestion Management Analysis Needed
Less than 200 Average Daily Trips OR Less than 20 Peak Hour Trips	No*	No*	No	No
200-500 Average Daily Trips OR 20-50 Peak Hour Trips	No	No	No	No
500 Average Daily Trips OR 50 Peak Hour Trips	No	Yes	No	No
1,000 Average Daily Trips OR 100 Peak Hour Trips	No	No	Yes	No
2,400 Average Daily Trips OR 200 Peak Hour Trips	No	No	Yes	No
<p>* Other situations could result in a request for an Issue Specific or Focused Traffic Impact Study. These include, but are not limited to, those issues addressed in this report.</p> <p>NOTE: Analysis of cumulative traffic impacts may require a Traffic Impact Study, even when the project generated traffic volumes alone do not.</p>				

Traffic Analysis Requirements

The development of the 48,087 square foot mini storage facility does not require any additional traffic analysis.

Project Frontage Improvements

The next step in our analysis, we prepared Figure 3 showing the project site, adjacent development and Lizard Rocks Road improvements. Lizard Rocks Road is identified as an Industrial Commercial roadway and has been improved to provide a minimum of 26 feet of pavement from Valley Center Road to the project's southerly boundary. A copy of the approved improvement plans by the County are presented in Appendix A.

Therefore, the existing Lizard Rocks Road improvements satisfy the County Standards, except for sidewalks and a temporary cul-de-sac. A temporary cul-de-sac and sidewalks are not needed at this time and a design exception has been prepared for submittal to the County for approval and is presented in Appendix C.



FIGURE 3
GREEN GLOBAL VALLEY CENTER
COMPOSITE AREA PLAN WITH PROJECT SITE

To further support the request to not require additional improvements to Lizard Rocks Road, Firesafe Planning Solutions submitted the attached Fire Protection Plan Letter Report dated December 12, 2019 to the Valley Center Fire Protection District Fire Marshall. The Letter Report was reviewed and approved by the Fire Marshall on December 18, 2019. A copy of the approved Fire Protection Plan Letter Report is presented in Appendix B. The Letter Report concludes the Fire Protection Plan Letter Report satisfies the Valley Center Fire Protection District requirements and additional improvements to Lizard Rocks Road are not required.

Summary

- The development of the proposed 48,087 square foot Industrial Storage project will generate 96 daily trips, 6 AM peak hour trips (3 In/3 Out) and 9 PM peak hour trips (5 In/ 4 Out). The traffic generated by the project does not require any additional traffic analysis to be prepared.
- The Valley Center Fire Protection District Fire Marshall has reviewed and approved the Fire Protection Plan Letter Report. The report supports the adequacy of the existing Lizard Rocks Road improvements.
- The attached design exception requests that additional improvements to Lizard Rocks Road frontage are not required and a temporary cu-de-sac turn around is also not needed.

Sincerely,

DARNELL & ASSOCIATES,



Billy E. Darnell, P.E.

RCE: 22338



1/21/2020
(Date)

BED/jam

190107 - Greens Storage Valley Center Project - 12/19

Appendix A

➤ Existing Lizard Rocks Road Improvement Plans

GENERAL NOTES

1. A PERMIT SHALL BE OBTAINED FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY WORK WITHIN THE STREET RIGHT-OF-WAY.
2. THE STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARDS AND AS APPROVED BY THE MATERIALS LABORATORY.
3. APPROVAL OF THESE IMPROVEMENT PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
4. ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO CONSTRUCTION OF BERM, CURB, CROSS GUTTER AND PAVING.
5. THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER WHICH IS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
6. LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
7. THE CONTRACTOR SHALL NOTIFY THE SAN DIEGO GAS AND ELECTRIC COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES.
NOTICE: ALL ELECTRICAL AND GAS SERVICES WITHIN THIS PROJECT ARE "UNDERGROUND INSTALLATIONS." FOR LOCATIONS OF ELECTRICAL CABLES AND GAS PIPING AND APPURTENANCES CONTACT THE SAN DIEGO GAS AND ELECTRIC COMPANY.
TELEPHONE: 619-293-0585
8. THE CONTRACTOR SHALL NOTIFY AMERICAN TELEPHONE AND TELEGRAPH PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES.
NOTICE: ALL TELEPHONE SERVICES WITHIN THIS PROJECT BOUNDARY ARE "UNDERGROUND INSTALLATIONS." FOR LOCATION OF CABLES AND APPURTENANCES CONTACT AMERICAN TELEPHONE AND TELEGRAPH.
TELEPHONE: 1-800-422-4133
9. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT THE UTILITY AGENCIES, ADVISE THEM OF THE PROPOSED IMPROVEMENTS AND BEAR THE COST OF RELOCATIONS, IF NEEDED.
10. ALL TELEVISION SERVICES WITHIN THIS PROJECT ARE "UNDERGROUND INSTALLATIONS." FOR LOCATION OF CABLES AND APPURTENANCES CONTACT ADAPHA CABLE COMMUNICATIONS, TELEPHONE: 760-728-5002
11. POWER SOURCES AND RUNS SERVING STREET LIGHTS SHALL BE SHOWN ON THE "AS-BUILT" IMPROVEMENT DRAWINGS. ALL SOURCES SHALL BE LOCATED WITHIN THE DEDICATED RIGHT-OF-WAY, OR WITHIN EASEMENTS DEDICATED TO THE COUNTY OF SAN DIEGO.
12. NO PAVING SHALL BE DONE UNTIL EXISTING POWER POLES ARE RELOCATED OUTSIDE THE AREAS TO BE PAVED.
13. PRIVATE ROAD IMPROVEMENTS SHOWN HEREON ARE FOR INFORMATION ONLY. COUNTY OFFICIALS SIGNATURE HEREON DOES NOT CONSTITUTE APPROVAL OR RESPONSIBILITY OF ANY KIND FOR THE DESIGN OR CONSTRUCTION OF THESE PRIVATE IMPROVEMENTS.
14. ALL CUT AND FILL SLOPES OVER THREE (3) FEET CREATED BY GRADING FOR STREETS AND DRIVEWAYS SHALL BE HYDROSEED WITH SAN DIEGO COUNTY APPROVED HYDROSEED MIXTURE. HYDROSEED SLOPES SHALL BE IRRIGATED BY WATER TRUCK UNTIL THE MIXTURE GERMINATES AND GROWTH IS ESTABLISHED.
15. ALL INTERSECTING ROADS AND DRIVEWAYS SHALL BE GRADED AND/OR RECONSTRUCTED, AS REQUIRED TO MATCH NEW IMPROVEMENTS AND PROVIDE SMOOTH TRANSITION
16. ALL TREES WITHIN THE RIGHT-OF-WAY SHALL BE REMOVED.

GENERAL NOTES (CONTINUED)

17. ALL SIGNS TO BE ALUMINUM WITH 3M HIGH INTENSITY TYPE REFLECTIVE FACE OR EQUIVALENT.
18. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY STRIPING, PAVEMENT MARKERS OR LEGENDS OBLITERATED BY THE CONSTRUCTION OF THIS PROJECT.
19. ALL NEW STRIPING AND SANDBLASTING OF REDUNDANT STRIPING SHALL BE DONE BY THE CONTRACTOR.
20. ALL CUT AND FILL SLOPES THREE FEET (3') CREATED BY GRADING FOR STREETS AND DRIVEWAYS SHALL BE HYDROSEED WITH A SAN DIEGO COUNTY APPROVED HYDROSEED MIXTURE. HYDROSEED SLOPES SHALL BE IRRIGATED BY A WATER TRUCK UNTIL THE MIXTURE GERMINATES AND GROWTH IS ESTABLISHED.
21. ASPHALT CONCRETE SURFACING MATERIAL SHALL BE HAND-RAKED AND COMPACTED TO FORM SMOOTH TAPERED CONNECTIONS ALONG ALL EDGES INCLUDING THOSE EDGES ADJACENT TO SOIL. THE EDGES OF ASPHALT CONCRETE SHALL BE HAND-RAKED AT 45 DEGREES OR FLATTER, SO AS TO PROVIDE A SMOOTH TRANSITION NEXT TO THE EXISTING SOIL, INCLUDING THOSE AREAS SCHEDULED FOR SHOULDER BACKING. THE ABOVE SHALL BE DONE TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
22. CONTRACTOR SHALL APPLY FOR A TRAFFIC CONTROL PERMIT TWO WEEKS PRIOR TO COMMENCEMENT OF WORK. NO WORK SHALL COMMENCE UNTIL ISSUANCE OF SAID PERMIT. FOR INFORMATION CALL (858) 874-4025. THE TRAFFIC CONTROL PERMIT SHALL REQUIRE SPECIFICATIONS FOR THE INFORMATIONAL SIGNS.

BMP STENCIL PLACEMENT NOTES

- A) ALL STORM DRAIN INLETS AND CATCH BASINS WITHIN THE PROJECT SHALL HAVE A STENCIL OR TILE PLACED WITH PROHIBITIVE LANGUAGE, SUCH AS "NO DUMPING - I LIVE IN THE PACIFIC OCEAN" AND/OR GRAPHICAL ICONS TO DISCOURAGE ILLEGAL DUMPING.
 - B) SIGNS AND PROHIBITIVE LANGUAGE AND/OR GRAPHICAL ICONS, WHICH PROHIBIT ILLEGAL DUMPING, MUST BE POSTED AT PUBLIC ACCESS POINTS ALONG CHANNELS AND CREEKS WITHIN THE PROJECT AREA.
 - C) LEGIBILITY OF STENCILS, TILES AND SIGNS MUST BE MAINTAINED AND THE TILES MUST BE PLACED FLUSH WITH THE TOP OF CONCRETE TO REDUCE TRIPPING BY PEDESTRIANS.
- NOTICE: THE ISSUANCE OF THIS PERMIT/ APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/ APPROVAL TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS OR POLICIES INCLUDING BUT NOT LIMITED TO THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

EXISTING UTILITY FACILITY NOTE

THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

SAN DIEGO GAS & ELECTRIC: TELEPHONE NO. 619-232-4252, EXT. 1658
A.T. & T. TELEPHONE NO. 619-298-0595
CATV: ADELPHIA CABLE COMMUNICATIONS, TELEPHONE: 760-728-5002
WATER: VALLEY CENTER MUNICIPAL WATER DISTRICT, TELEPHONE NO. 760-735-4500
DUG ALERT: TELEPHONE NO. 1-800-422-4133

DIG ALERT NOTICE

2 DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT 1-800-422-4133 TO MARK OUT EXISTING UNDERGROUND FACILITIES WITHIN THE WORK AREA.

STORMWATER TREATMENT BMP TABLE

DESCRIPTION	TYPE	SHEET NO.	MAINTENANCE CATEGORY	REVISIONS
BIORETENTION SWALE		2A+3A	FOUR	

BMP'S APPROVED AS PART OF THE STORMWATER MANAGEMENT PLAN DATED 7/25/12. ON FILE WITH DPW. ANY CHANGES TO THE ABOVE BMP'S WILL REQUIRE SWMP REVISION AND PLAN CHANGE APPROVAL

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

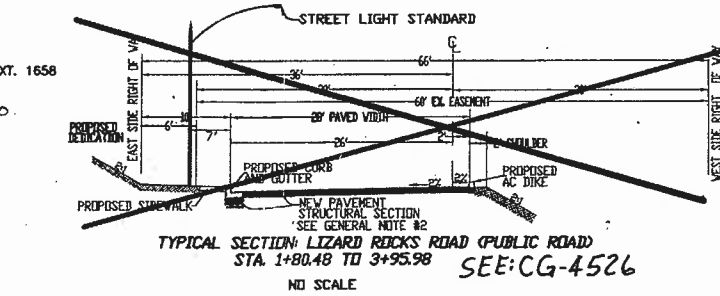
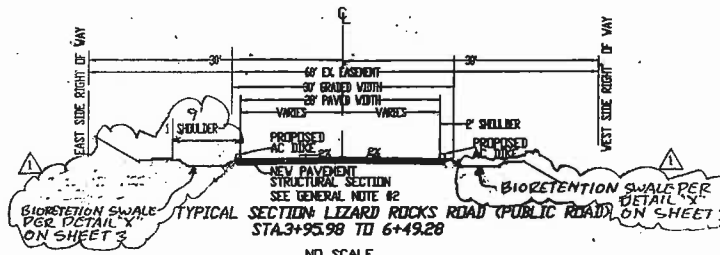
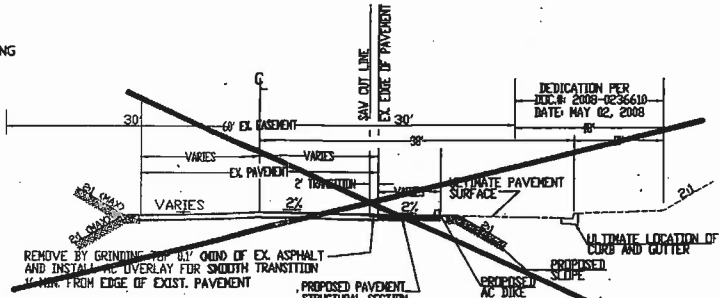
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

BY: GARY LIPSKA DATE: 5/14/13
RCE NO: 23080 EXPIRES: 12/31/13

RECORD PLAN

NAME: GARY LIPSKA
R.C.E. 23080 EXPIRES 12/31/13
DATE: 10/14/13

TYPICAL SECTION VALLEY CENTER ROAD (PUBLIC ROAD)



WORK TO BE DONE

IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT SAN DIEGO COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS FOR IMPROVEMENT OF SUB-DIVISION STREETS AND STANDARD REFERENCE DRAWINGS.

LEGEND

DESCRIPTION	DWG. NO.	SYMBOL
AC PAVEMENT - AS APPROVED BY MATERIALS LABORATORY		
CONCRETE CURB	S.D.R.S.D. NO. 6-1 (G)	
CONCRETE CURB AND GUTTER	S.D.R.S.D. 6-2 (TYPE G)	
CONCRETE SIDEWALK	S.D.R.S.D. 6-7, 6-8, 6-10	
PEDESTRIAN RAMP	S.D.R.S.D. 6-27 (TYPE A), 6-32	
CONCRETE DRIVEWAY	S.D.R.S.D. 6-14B	
6" DICES-ASPHALT CONCRETE	S.D.R.S.D. 6-5 (TYPE A)	
STORM DRAIN PIPE (SIZE AS SHOWN)		
SIDEWALK UNDERDRAIN	S.D.R.S.D. D-25	
STREET LIGHT (250 WATTS, HP-3)	S.D.R.S.D. E-1, E-2	
CONCRETE BROW DITCH PER S.D.R.S.D. D-75 (TYPE D)	S.D.R.S.D. D-75 (TYPE D)	
GRASS LINED SWALE	DETAIL "X" ON SHEET 3	
WATER SERVICE CONNECTION	V.C.M.W.D. DWG. W-2	
FIRE HYDRANT	V.C.M.W.D. DWG. W-8	
STREET SURVEY MONUMENT	S.D.R.S.D. W-10	
STREET SIGNS		
DOUBLE STREET NAME SIGNS		
CUT SLOPE (2:1 MAX)		
FILL SLOPE (2:1 MAX)		
CUT/FILL DAYLIGHT LINE		

AC OVERLAY FOR SMOOTH TRANSITION

REMOVE TOP 1" OF EX. ASPHALT AND INSTALL AC OVERLAY FOR SMOOTH TRANSITION

CONCRETE PAVEMENT

BIORETENTION SWALE

CATCH BASIN, TYPE "F"

CATCH BASIN, TYPE "G"

INFILTRATION BASIN

DETAIL "X", SHEET 3

S.D.R.S.D. D-7

S.D.R.S.D. D-8

DETAIL "Y", SHEET 3

INDEX OF SHEETS

- 1 - TITLE SHEET
- 2 - LIZARD ROCKS ROAD PLAN AND PROFILE
- 3 - VALLEY CENTER ROAD PLAN AND DETAILS (SEE CG 4526)
- 4 - EROSION CONTROL PLAN
- 5 - EROSION CONTROL NOTES
- 6 - LIZARD ROCKS ROAD SIGNING AND STRIPING (SEE CG 4526)
- 7 - VALLEY CENTER ROAD SIGNING AND STRIPING (SEE CG 4526)
- 8 - WATER FEATURES IMPROVEMENT PLAN
- 9 - DMA AND TREATMENT CONTROL PLAN
- 10 - WATER PLAN
- 11 - WATER PLAN

OWNER/PERMITEE

PERMITEE: CML-CA LIZARD ROCK LLC PHONE: 949-389-1470
ADDRESS: 700 NORTHWEST 107TH AVE, MIAMI, FL 33172
BY: M. JAVEL DATE: 5/18/12 APN: 188-250-41
MIKE FARLEY

OWNER'S/PERMITEE'S CERTIFICATE

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.
IT IS FURTHER AGREED THAT THE PERMITEE (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PUBLIC WORKS DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING COUNTY RIGHT-OF-WAY WITHIN 60 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED.

OWNER/PERMITEE: PERMITEE: LIZARD ROCK LLC SEE ABOVE PHONE NO: 760-748-8080
ADDRESS: 27605 COBB LANE, VALLEY CENTER, CA 92082
BY: JOE BULLINGER, PRESIDENT OF MSR MANAGEMENT INC., MANAGER DATE: 5-3-12 APN: 188-250-41

PERMITS

AEIS NO. 03-08-028
SITE PLAN REVIEW NO. S-03-026
GRADING PLAN L-14840
NOTICE OF INTENT R 376353626

BENCH MARK

DESCRIPTION: MONUMENT NO. 1031 PER R.O.S. 14889
2" IRON PIPE W/ BRASS DISC MARKED "GPS KEY1"
LOCATION: COLE GRADE ROAD, 68' W. OF VALLEY CENTER ROAD INTERSECTION
RECORD FROM: NGVD 29
ELEVATION: 1349.30 DATUM: M.S.L.

PRIVATE CONTRACT

SHEET 1 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS
IMPROVEMENT PLAN FOR: LIZARD ROCKS ROAD
PARCEL 3, PARCEL MAP NO. 7078
CALIFORNIA COORDINATE INDEX 386-1761

APPROVED FOR: JOE BULLINGER CIVIL ENGINEER
DESIGNED BY: JOE BULLINGER CIVIL ENGINEER
CHECKED BY: JOE BULLINGER CIVIL ENGINEER
DATE: 5/18/12 IMPROVEMENT PLAN NO. CG 4646

VCMWD APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE
1	UPDATE SHEETS 10 AND 11	<u>WJL</u>	<u>4-2-12</u>

VALLEY CENTER FIRE PROTECTION DISTRICT

APPROVED BY: WJL DATE: 3-23-09
DATE: 3-23-09

COUNTY APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE
1	NEW OWNER, REPLACE SHEET 2+3, REVISE SHEETS 4-6, ADD BMP FROM SHEETS 9, 10+11; REVISE SHEET COUNT UPDATE LICENSE DATE DELETE SHEETS 7+8, 10+11, ADD SHEET 11A	<u>WJL</u>	<u>8/2/12</u>
2	REVISE SHEET 7, RECORD PLAN K9B	<u>K9B</u>	<u>11/6/12</u>

VALLEY CENTER MUNICIPAL WATER DISTRICT

VALID FOR 1 YEAR FROM THE DATE OF SIGNATURE

GENERAL MANAGER: A.G. HILL DATE: 3/12/09
DIRECTOR OF OPERATIONS FACILITIES: Valley Center DATE: 3-12-09
DISTRICT ENGINEER: Valley Center DATE: 3-12-09

ENGINEER OF WORK

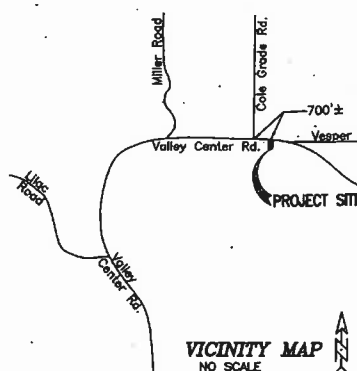
NAME: AQUATERRA ENGINEERING INC.
PHONE NO: 760-439-2802 FAX: 760-430-2866
ADDRESS: 1843 CAMPELINO PLACE
OCEANSIDE, CA 92054

LEGAL DESCRIPTION

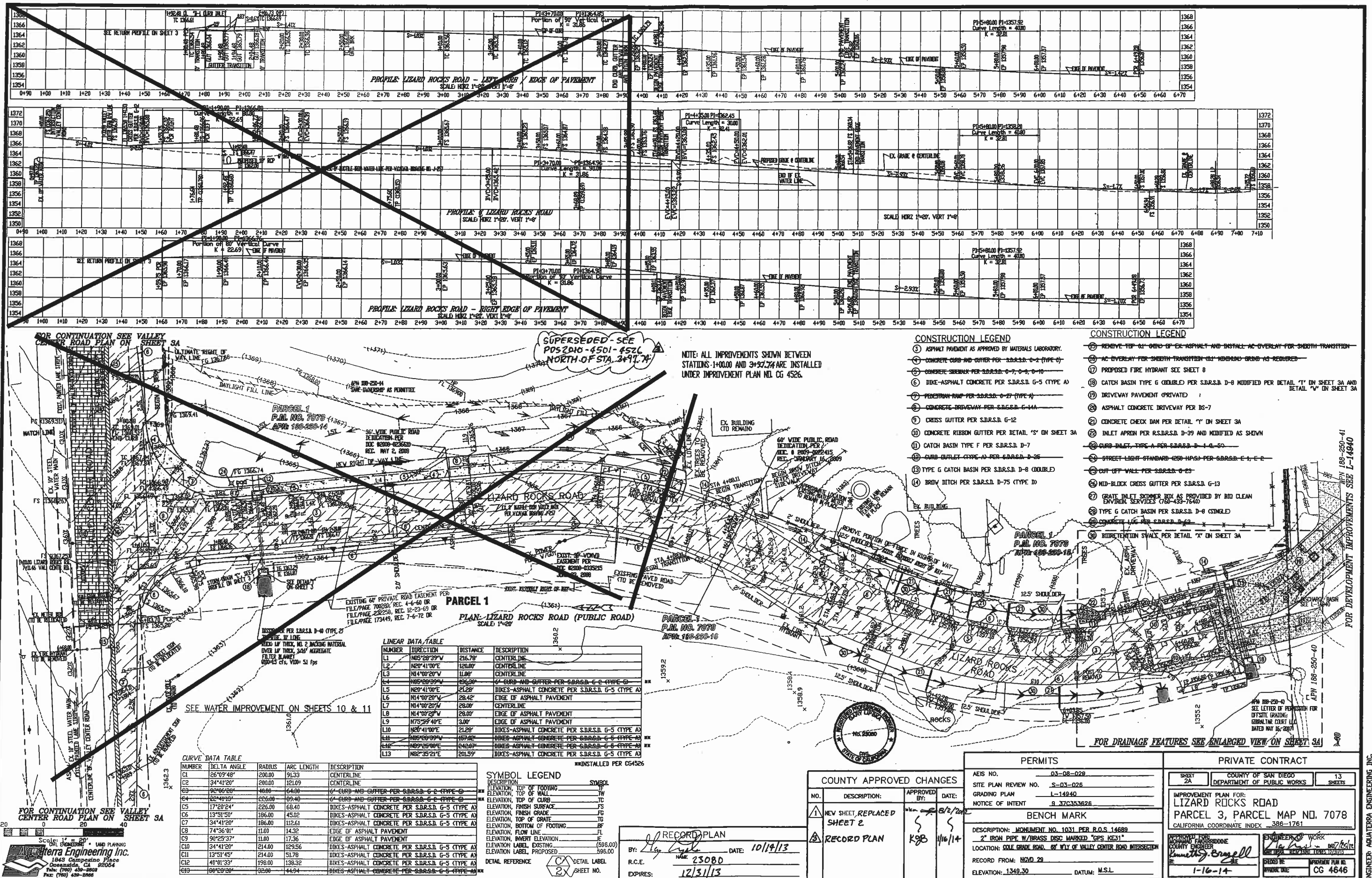
PARCEL 3, PARCEL MAP NO. 7078
ASSESSORS PARCEL NO. 188-250-41

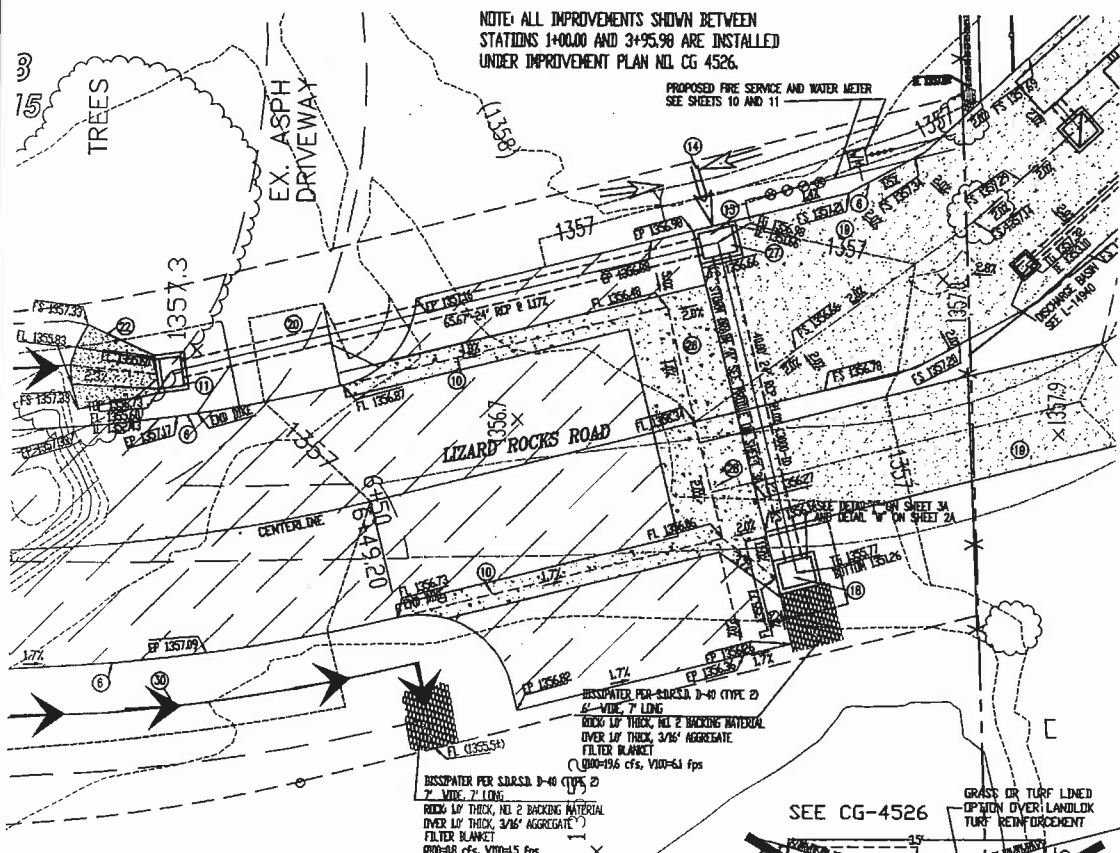
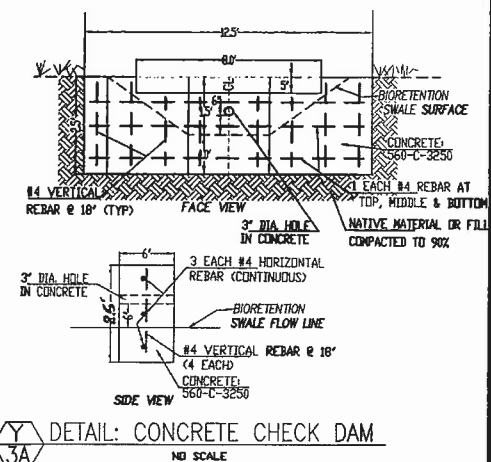
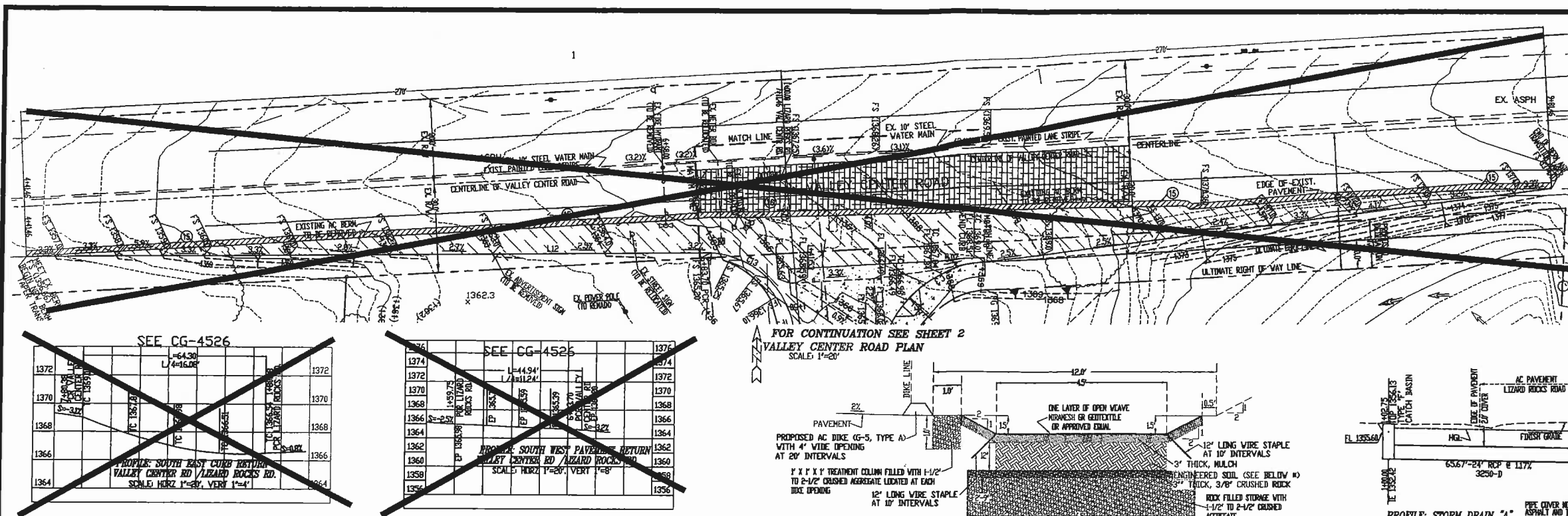
VICINITY MAP

NO SCALE

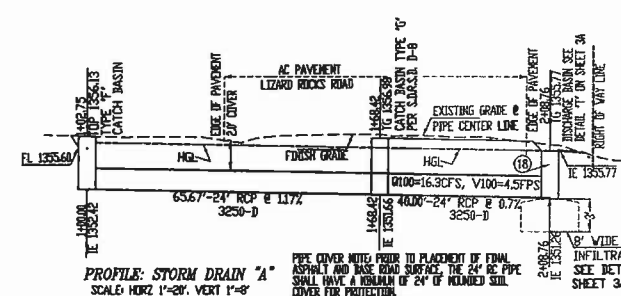
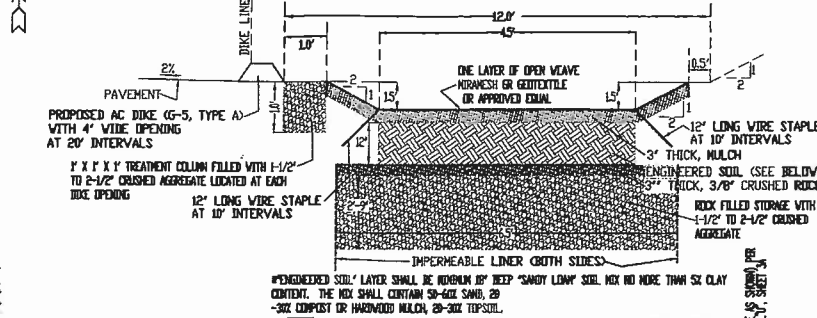


ENGINEER: AQUATERRA ENGINEERING INC. TELEPHONE: 760-439-2802

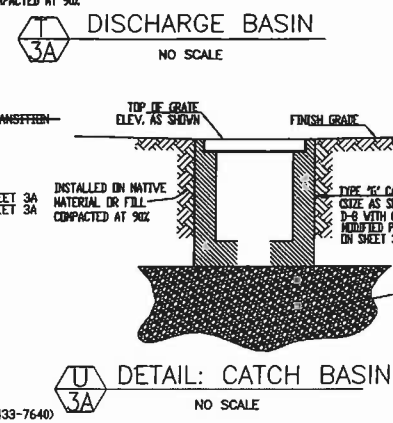




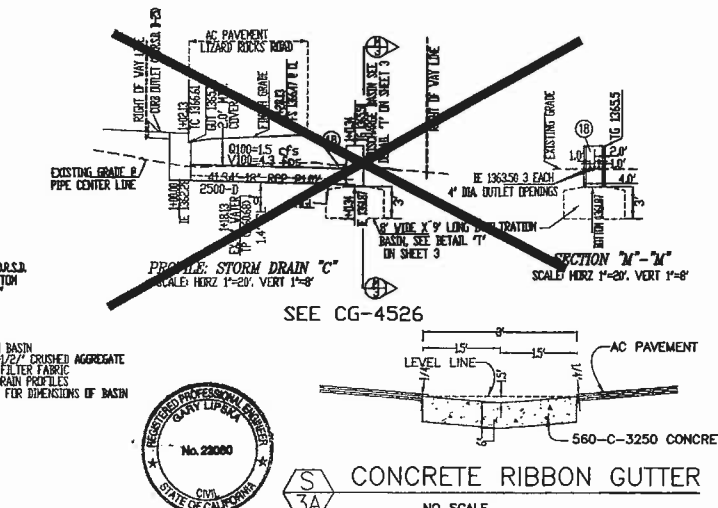
FOR CONTINUATION SEE SHEET 2
VALLEY CENTER ROAD PLAN
SCALE: 1"=20'



- CONSTRUCTION LEGEND
- ASPHALT PAVEMENT AS APPROVED BY MATERIALS LABORATORY.
 - CONCRETE CURB AND GUTTER PER S.D.R.S.D. D-2 (TYPE D)
 - CONCRETE DRIVEWAY PER S.D.R.S.D. D-7, D-8, D-10
 - DIKE-ASPHALT CONCRETE PER S.D.R.S.D. G-5 (TYPE A)
 - PERFORATED PIPE PER S.D.R.S.D. D-27 (TYPE A)
 - CONCRETE DRIVEWAY PER S.D.R.S.D. G-14A
 - CROSS GUTTER PER S.D.R.S.D. G-12
 - CONCRETE RIBBON GUTTER PER DETAIL "S" ON SHEET 3A
 - CATCH BASIN TYPE F PER S.D.R.S.D. D-7
 - CURB OUTLET (TYPE A) PER S.D.R.S.D. D-25
 - TYPE G CATCH BASIN PER S.D.R.S.D. D-8 (DOUBLE)
 - BROW DITCH PER S.D.R.S.D. D-75 (TYPE D)
 - REMOVE TOP 6" GRIND OF EX. ASPHALT AND INSTALL AS OVERLAY FOR SMOOTH TRANSITION
 - AC OVERLAY FOR SMOOTH TRANSITION ON HIGHWAY GRIND AS REQUIRED
 - PROPOSED FIRE HYDRANT SEE SHEET 8
 - CATCH BASIN TYPE G (DOUBLE) PER S.D.R.S.D. D-8 MODIFIED PER DETAIL "T" ON SHEET 3A AND DETAIL "V" ON SHEET 3A
 - DRIVEWAY PAVEMENT (PRIVATE)
 - ASPHALT CONCRETE DRIVEWAY PER DS-7
 - CONCRETE CHECK DAM PER DETAIL "Y" ON SHEET 3A
 - INLET APRON PER S.D.R.S.D. D-39 AND MODIFIED AS SHOWN
 - CURB INLET, TYPE A PER S.D.R.S.D. D-14, D-50
 - CUT-OFF WALL PER S.D.R.S.D. G-29
 - MID-BLOCK CROSS GUTTER PER S.D.R.S.D. G-13
 - GRATE INLET SKIMMER BOX AS PROVIDED BY BID CLEAN ENVIRON. SERVICES (760-433-7640)
 - TYPE G CATCH BASIN PER S.D.R.S.D. D-8 (SINGLE)
 - CONCRETE LUG PER S.D.R.S.D. D-62
 - BIORETENTION SWALE PER DETAIL "X" ON SHEET 3A



PLAN VIEW: BOTTOM OF MODIFIED TYPE "G" CATCH BASIN
NO SCALE



COUNTY APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE
1	NEW SHEET (Delete Work Completed under CG 4526)	KGB	8/12/2006
2	RECORD PLAN	KGB	1/16/14

PERMITS	
AEIS NO.	03-08-028
SITE PLAN REVIEW NO.	S-03-028
GRADING PLAN	L-14840
NOTICE OF INTENT	9-376353626
BENCH MARK	
DESCRIPTION	MONUMENT NO. 1031 PER R.O.S. 14889
LOCATION	COLE GRADE ROAD, 80' WLY OF VALLEY CENTER ROAD INTERSECTION
RECORD FROM	NGVD 29
ELEVATION	1349.30
DATUM	M.S.L.

PRIVATE CONTRACT	
SHEET	13
COUNTY OF SAN DIEGO	DEPARTMENT OF PUBLIC WORKS
IMPROVEMENT PLAN FOR: LIZARD ROCKS ROAD	
PARCEL 3, PARCEL MAP NO. 7078	
CALIFORNIA COORDINATE INDEX 386-1781	
APPROVED BY	ENGINEER OF WORK
MOHAMMAD FARHROODI	CONTRACT NO. 77516
COUNTY ENGINEER	DATE 1-16-14
1-16-14	APPROVED BY
CG 4646	CG 4646

Scale: 1"=20'

ENLARGED VIEW
SCALE: 1"=10'

CHL ENGINEERING • LAND PLANNING
Terra Engineering Inc.
1043 Campeon Place
Oceanside, CA 92054
Tel: (760) 438-8806
Fax: (760) 438-8808

DETAIL: INFILTRATION TRENCH / GRASS LINED SWALE
NO SCALE

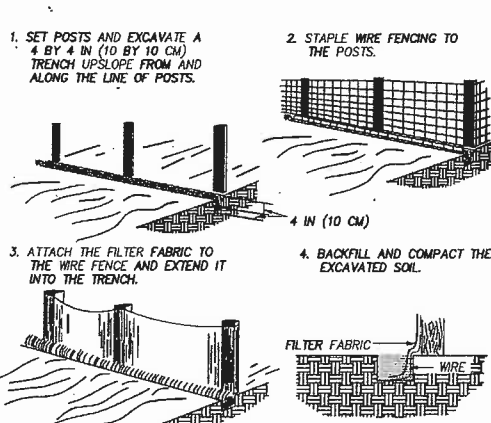
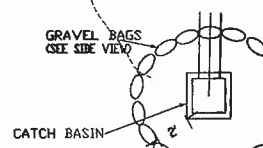
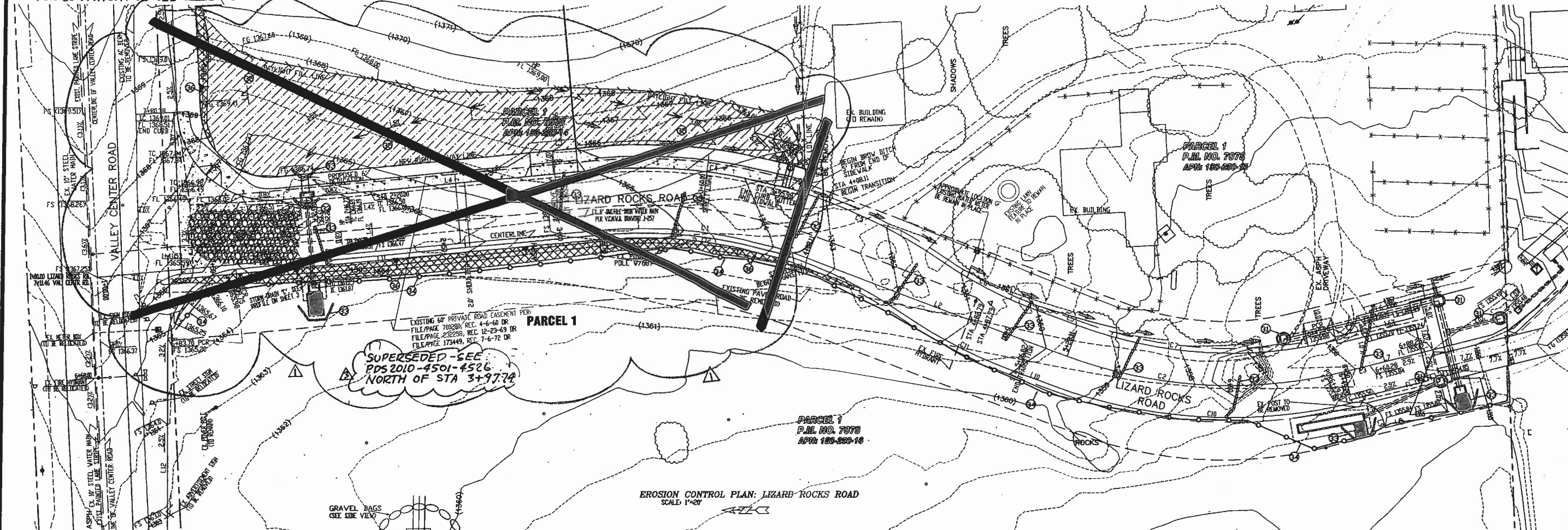
NOTE: PLACE 3 ANCHORS PER SQUARE YARD OF MATERIAL

2) FOR GRASS OR TURF OPTION, INSTALL LANDLOCK TRN 450 TURF REINFORCEMENT MAT.

NEW SHEET
PLOT DATE: 7/25/12

ENGINEER: AQUATERRA ENGINEERING INC.
TELEPHONE: 760-439-2802

FOR CONTINUATION SEE SHEET 5



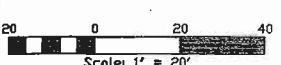
SYMBOL LEGEND

DESCRIPTION	SYMBOL
ELEVATION, TOP OF FOOTING	IF
ELEVATION, TOP OF WALL	3W
ELEVATION, TOP OF CURB	TC
ELEVATION, FINISH SURFACE	FS
ELEVATION, FINISH GRADE	FG
ELEVATION, TOP OF GRADE	TG
ELEVATION, BOTTOM OF FOOTING	BF
ELEVATION, FLOW LINE	FL
ELEVATION, INVERT ELEVATION	IE
ELEVATION LABEL, EXISTING	(596.00)
ELEVATION LABEL, PROPOSED	596.00

DETAIL REFERENCE

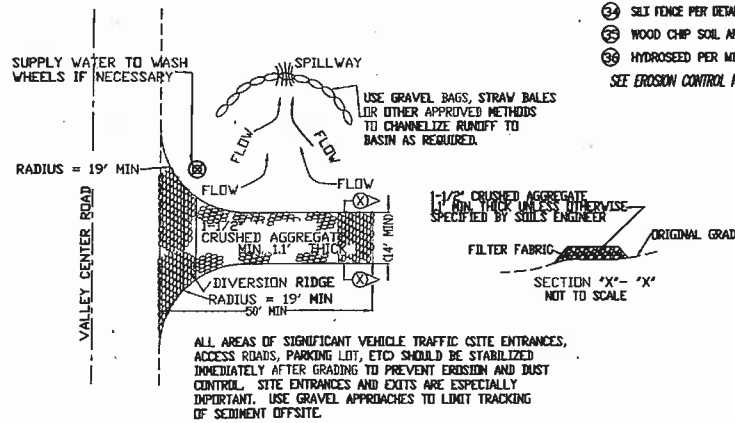
 DETAIL LABEL

 SHEET NO.



terra Engineering Inc.
 1849 Camposino Place
 Oceanside, CA 92054
 Tel: (760) 439-2802
 Fax: (760) 439-2806

EROSION CONTROL PLAN: LIZARD ROCKS ROAD
 SCALE: 1"=20'



STABILIZED CONSTRUCTION ENTRANCE DETAIL
 NOT TO SCALE

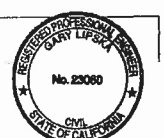
CONSTRUCTION LEGEND

- ① CATCH BASIN BERM PER DETAIL "S" ON SHEET 4
 - ② STABILIZED CONSTRUCTION ENTRANCE PER DETAIL "P" ON SHEET 4
 - ③ GRAVEL BAG CHEVRON PER DETAIL "N" ON SHEET 4
 - ④ SILT FENCE PER DETAIL "R" ON SHEET 4
 - ⑤ WOOD CHIP SOIL APPLICATION PER CALTRANS STORMWATER HANDBOOK DETAIL "SS-B"
 - ⑥ HYDROSEED PER MIX PER CALTRANS STORMWATER HANDBOOK DETAIL "SS-4" AND MIX SHOWN ON THIS SHEET
- SEE EROSION CONTROL NOTES ON SHEET 5

"SS-4" HYDROSEED MIX

SLOPES SHALL BE PROTECTED BY A NON-IRRIGATED HYDROSEED MIX AS FOLLOWS:

LB/AC	SPECIES	MIN.	PURITY/GERMINATION
2.0	ALYSSUM/CARPET OF SNOW	98/80	
1.0	DIORRHOTHEA SHINATA/AURANTACE	85/75	
2.0	ESCHOSCHOLZIA CALIFORNICA	85/75	
0.5	ESCHOSCHOLZIA CAESPITOSA	98/65	
2.5	GAZANIA SPLENDENS	90/60	
1.0	LOTUS CORNICULATUS	95/85	
2.0	LUPINUS BICOLOR	98/80	
1.0	MEMPHILIA MENZIESII	98/85	
1.0	PHACELIA CAMPANULARIA	98/75	
1.0	LIANATHUS GRANDIFLORUS	98/85	
3.0	PLANTAGO SEMPERVIRENS	98/75	
0.5	DIANTHUS BARBATUS	98/80	
1.5	LIANATHUS PEREZII	65/5	
1.0	CHRYSANTHEMUM PALUDOSUM	95/75	



COUNTY APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE
1	DELETE PORTION OF PLAN SHT. REVISE SHT. COUNT UPDATE LICENSE DATE	KGB	8/2/14
2	RECORD PLAN	KGB	11/6/14

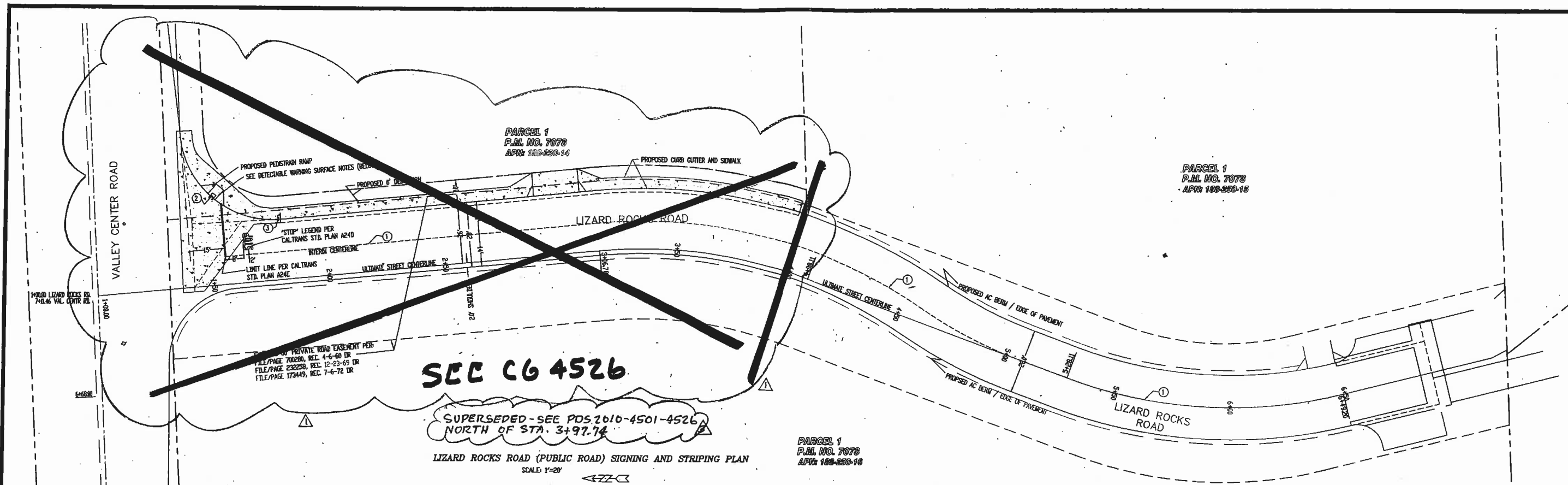
RECORD PLAN
 BY:
 DATE: 10/14/13
 R.C.E. 23080
 EXPIRES: 12/31/13

PERMITS	
AEIS NO.	03-08-029
SITE PLAN REVIEW NO.	S-03-026
GRADING PLAN	1-14840
NOTICE OF INTENT	2.37C.3536.26
BENCH MARK	
DESCRIPTION	MONUMENT NO. 1031 PER R.O.S. 14689
LOCATION	2" IRON PIPE W/BRASS DISC MARKED "GPS K531"
RECORD FROM	NGVD 29
ELEVATION	1349.30
DATUM	M.S.L.

PRIVATE CONTRACT	
SHEET	4
COUNTY OF SAN DIEGO	DEPARTMENT OF PUBLIC WORKS
EROSION CONTROL PLAN FOR: LIZARD ROCKS ROAD	
PARCEL 3, PARCEL MAP NO. 7078	
CALIFORNIA COORDINATE INDEX 386-1761	
APPROVED FOR	ENGINEER OF WORK
MOHAMMAD FARROKHODI	7/16/14
COUNTY ENGINEER	CC 4646

PLOT DATE: 2/04/09

ENGINEER: AQUATERRA ENGINEERING INC.
 TELEPHONE: 760-439-2802



SEE CG 4526

**SUPERSEDED - SEE PDS 2610-4501-4526
NORTH OF STA. 3+97.74**

LIZARD ROCKS ROAD (PUBLIC ROAD) SIGNING AND STRIPING PLAN
SCALE: 1"=20'

**PARCEL 1
P.L. NO. 7078
APR 188-250-14**

**PARCEL 1
P.L. NO. 7078
APR 188-250-14**

SYMBOL LEGEND

DESCRIPTION	SYMBOL
ELEVATION, TOP OF FOOTING	TF
ELEVATION, TOP OF WALL	TW
ELEVATION, TOP OF CURB	TC
ELEVATION, FINISH SURFACE	FS
ELEVATION, FINISH GRADE	FG
ELEVATION, TOP OF GRATE	TG
ELEVATION, BOTTOM OF FOOTING	BF
ELEVATION, FLOW LINE	FL
ELEVATION, INVERT ELEVATION	IE
ELEVATION LABEL, EXISTING	JE
ELEVATION LABEL, PROPOSED	PE

DETAIL REFERENCE: CA DETAIL LABEL 2X SHEET NO.

Scale: 1" = 20'

CA Engineering Inc.
1843 Campesino Place
Oceanside, CA 92054
Tel: (760) 439-2888
Fax: (760) 439-2888

STRIPING NOTES:

- TRAFFIC STRIPES, PAVEMENT MARKINGS, AND PAVEMENT MARKERS
- PAINTING OF TRAFFIC STRIPES (TRAFFIC LINES) AND PAVEMENT MARKINGS SHALL CONFORM TO SECTION 84-1, "GENERAL," AND 84-3, "PAINTED TRAFFIC STRIPES AND PAVEMENT MARKINGS," OF THE CAL TRANS STANDARD SPECIFICATIONS AND THE FOLLOWING:
 - CONTROL OF THE ALIGNMENT AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO APPROVAL BY THE ENGINEER. ALL NEW STRIPING AND REMOVAL OF REDUNDANT STRIPING SHALL BE DONE BY CONTRACTOR. STRIPING SHALL BE REMOVED BY SANDBLASTING / GRINDING AND THEN SAND SEALED PER THE ENGINEER, CONTRACTOR TO PROVIDE AND INSTALL PAVEMENT MARKERS.
 - SECTION 84-3.02, "MATERIALS," OF THE STANDARD SPECIFICATIONS IS AMENDED TO READ:
 - PAINT FOR TRAFFIC STRIPING SHALL BE LEAD FREE AND CONFORM TO THE LATEST STATE SPECIFICATIONS FOR RAPID DRY WATER BORNE, WHITE & YELLOW PAINT.
 - GLASS BEADS SHALL CONFORM TO STATE SPECIFICATIONS NO. 800-004 (TYPE II).
 - COPIES OF STATE SPECIFICATIONS FOR TRAFFIC PAINT AND GLASS BEADS WERE OBTAINED FROM THE TRANSPORTATION LABORATORY, P.O. BOX 19128, SACRAMENTO, CALIFORNIA, 95812, TEL. (916) 227-7000.
 - PAVEMENT MARKER SHALL CONFORM TO SECTION 85, "PAVEMENT MARKERS," OF THE STANDARD SPECIFICATIONS, AND THE FOLLOWING PROVISIONS:
 - PAVEMENT MARKER HEIGHT SHALL BE 0.70-INCH NOMINAL "LOW PROFILE" TYPE MARKERS WILL NOT BE ACCEPTABLE.

DETECTABLE WARNING SURFACE:

CURB RAMPS SHALL BE FITTED WITH A DETECTABLE WARNING SURFACE IN CONFORMANCE WITH THE SAN DIEGO REGIONAL STANDARD DRAWINGS G-27 THROUGH G-32 AND THESE SPECIAL PROVISIONS.

DETECTABLE WARNING SURFACE SHALL HAVE TWO FEET BY FOUR FEET (2' X 4') CAST IN PLACE PREFABRICATED DETECTABLE WARNING SURFACE COMPOSED OF VITRIFIED POLYMER INCLUDING ALUMINUM OXIDE, SOUND AMPLIFYING AND SHALL BE "ARMOR-TILE CAST-IN-PLACE TACTILE PANELS" OR APPROVED EQUAL.

THE CONTRACTOR SHALL SUBMIT PRODUCT INFORMATION, INSTALLATION INSTRUCTIONS AND TWO (2) TILE SAMPLES, NOMINAL SIZE 6" X 6" EACH. DETECTABLE WARNING SURFACE SHALL BE DARK GREY CONTRASTING IN COLOR FROM THE HIGHER CONCRETE CURB RAMP. THE CONTRAST SHOULD BE AT LEAST 70% THE CONTRAST IN PERCENT IS DETERMINED BY:

CONTRAST = $(C1 - R2) / R2 \times 100$ WHERE $C1$ = LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA $R2$ = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA

NOTE THAT IN ANY APPLICATION BOTH WHITE AND BLACK ARE NEVER ABSOLUTE; THUS $R2$ NEVER EQUALS 100 AND $R2$ IS ALWAYS GREATER THAN ZERO.

DETECTABLE WARNING SURFACE SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO ORDERING.

A CERTIFICATE OF COMPLIANCE SHALL BE FURNISHED AS SPECIFIED IN SECTION 6-1.07, "CERTIFICATES OF COMPLIANCE," OF THE STANDARD SPECIFICATIONS OF DETECTABLE WARNING SURFACE. SAID CERTIFICATE SHALL CERTIFY THAT THE DETECTABLE WARNING SURFACE CONFORMS TO THE AMERICAN WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADA) AND REQUIREMENTS. CERTIFICATE OF COMPLIANCE SHALL INCLUDE A FIVE (5) YEAR WRITTEN MANUFACTURER'S WARRANTY.

SIGN NOTES:

1) ALL SIGNS SHALL BE ALUMINUM WITH ASTM D4956-04 TYPE 1 ENGINEER GRADED RETROREFLECTIVE SHEETING EXCEPT FOR THE FOLLOWING WHICH SHALL HAVE TYPE IV HIGH INTENSITY PRISMATIC RETROREFLECTIVE SHEETING

MUTCD CODE	CA TYPE	SIGN DESCRIPTION
W-1	W1	STOP
W-2	W2	YIELD
W-3	W3	REVERSE CURVE
W-4	W4	REVERSE TURN
W-5	W5	TURN
W-6	W6	CONVEXITY TURN / ADVISORY SPEED
W-7	W7	CONVEXITY CURVE / ADVISORY SPEED
W-8	W8	CURVE
W-9	W9	ADVISORY SPEED PLaque
W-10	W10	LANE ENDS (STRIPE)
W-11	W11	WINDING ROAD (STRIPE)
W-12	W12	STOP AHEAD (STRIPE)
W-13	W13	YIELD AHEAD (STRIPE)
W-14	W14	ONE-DIRECTION LARGE ARROW
W-15	W15	TWO-DIRECTION LARGE ARROW
W-16	W16	ONE-DIRECTION LARGE ARROW
W-17	W17	ONE-DIRECTION LARGE ARROW
W-18	W18	ONE-DIRECTION LARGE ARROW

OTHER SIGN FILM GRADES MAY BE CALLED OUT FOR SPECIFIC SIGNS AS NECESSARY IN THE PLAN FOR SPECIAL CASES.

2) UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLAN, ALL SIGNS SHALL BE MOUNTED SO THAT THE BOTTOM OF THE SIGN IS 7' ABOVE THE SURROUNDING GROUND SURFACE.

3) SIGN POSTS SHALL BE 4' X 4' TREATED WOOD OR STEEL POSTS PER SECTION 56-2, "ROADSIDE SIGNS" OF THE MOST CURRENT CALTRANS STANDARD SPECIFICATIONS. SIGN POSTS SHALL BE PLACED SO THAT THEY COMPLY WITH ADA (FACILITY ACCESSIBILITY) REQUIREMENTS AND DO NOT ALLOW THE TRAFFIC SIGNS TO HAVE OVER THE ROADWAY. SIGN POSTS SHALL BE PLACED IN COMPACTED NATIVE SOIL. IF SIGN POSTS ARE TO BE INSTALLED IN CONCRETE SIDEWALKS, THEN A 1' X 1' SQUARE, 4-INCH DEEP JOINT OR SAWCUT SHALL BE PLACED AROUND THE SIGN POST. SIGNS SHALL BE MOUNTED ON SIGN POSTS USING SIGN PANEL FASTENING HARDWARE PER SECTION 56-2, "ROAD SIGNS" OF THE MOST CURRENT CALTRANS STANDARD SPECIFICATIONS AND AS SPECIFIED BY THE SIGN FILM MANUFACTURER.

4) THE ENGINEER SHALL APPROVE ALL SIGN INSTALLATION LOCATIONS PRIOR TO THE CONTRACTOR INSTALLING THE SIGNS.

5) ALL TRAFFIC SIGNS SHALL BE READILY VISIBLE TO ALL MOTORISTS DRIVING AT THE PREVAILING SPEED. IF THE VISIBILITY OF THE TRAFFIC SIGN IS BLOCKED, THE CONTRACTOR WITH THE ENGINEER'S APPROVAL SHALL EITHER RELOCATE THE SIGN OR REMOVE THE OBSTACLES (SUCH AS VEGETATION, ROCKS, PRIVATE SIGNS, AND MINOR EMBANKMENTS THROUGH MINOR GRADING) THAT BLOCK THE VISIBILITY OF THE SIGN.

RECORD PLAN

BY: *[Signature]* DATE: 10/19/13

R.C.E. 23080

EXPIRES: 12/31/13

COUNTY APPROVED CHANGES

NO.	DESCRIPTION:	APPROVED BY:	DATE:
1	DELETE PORTION OF PLAN SHEET, REVISE SHEET COUNT	<i>[Signature]</i>	8/2/2012
2	UPDATE LICENSE DATE	<i>[Signature]</i>	1/16/14
3	RECORD PLAN	<i>[Signature]</i>	

CONSTRUCTION LEGEND

- CENTERLINE PAVEMENT STRIPING PER CALTRANS DRAWING A20A, DETAIL 1
- DETECTABLE WARNING SURFACE
- STOP SIGN PER MUTCD CODE R1-1
- TYPE H-4 MARKER



PERMITS

AEIS NO. 03-08-029

SITE PLAN REVIEW NO. S-03-026

GRADING PLAN L-14240

NOTICE OF INTENT 9 376353626

BENCH MARK

DESCRIPTION: MONUMENT NO. 1031 PER R.O.S. 14689

2" IRON PIPE W/BRASS DISC MARKED "GPS KE31"

LOCATION: GOLF GRADE ROAD, 68' WLY OF VALLEY CENTER ROAD INTERSECTION

RECORD FROM: NGVD 29

ELEVATION: 1349.30 DATUM: M.S.L.

PRIVATE CONTRACT

SHEET 6

COUNTY OF SAN DIEGO

DEPARTMENT OF PUBLIC WORKS

SIGNING AND STRIPING PLAN FOR:

LIZARD ROCKS ROAD

PARCEL 3, PARCEL MAP NO. 7078

CALIFORNIA COORDINATE INDEX 386-1781

APPROVED FOR: *[Signature]*

COUNTY ENGINEER

ENGINEER OF WORK: *[Signature]*

CONTRACT NO. 714

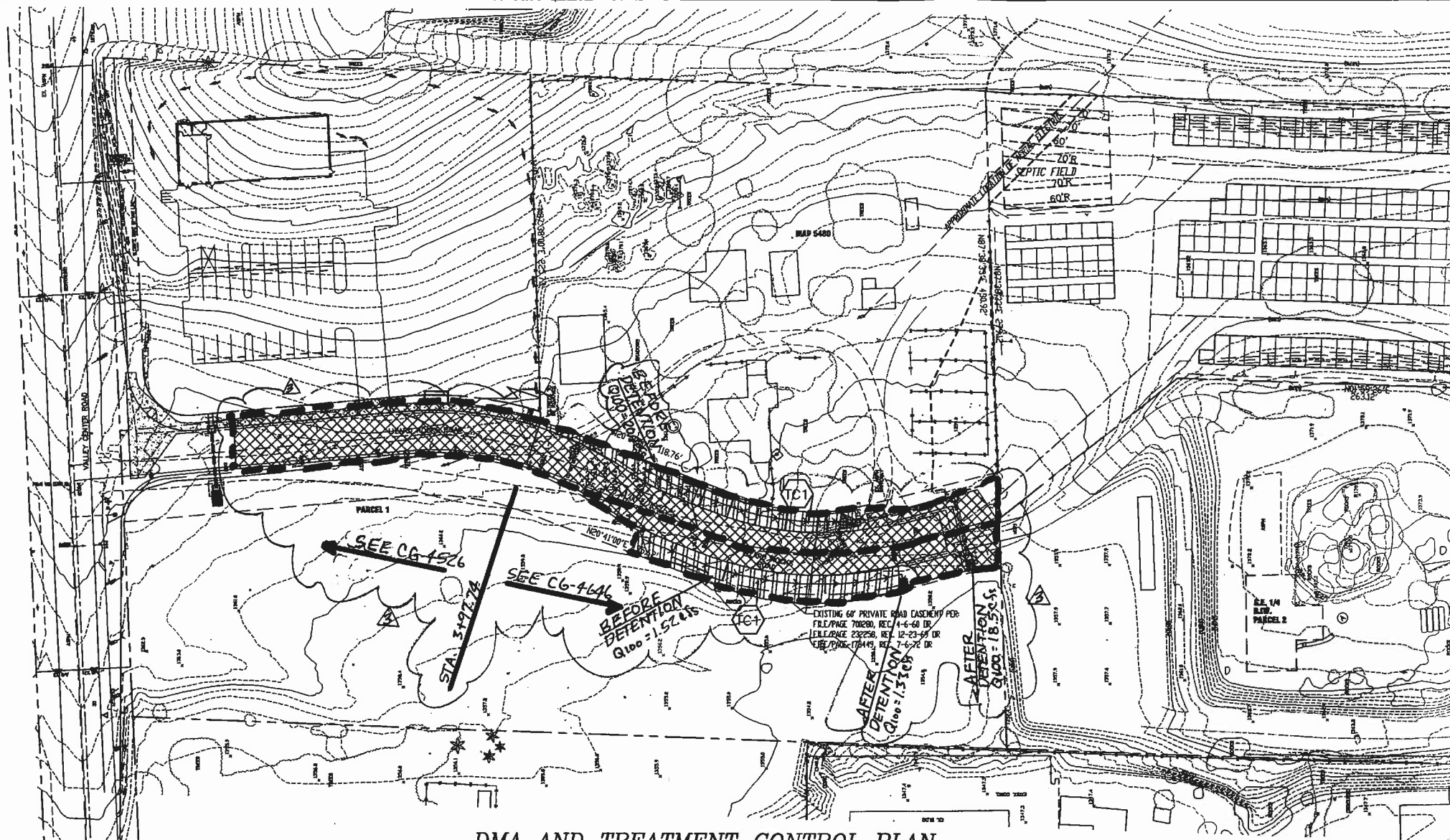
PROJECT NO. 1349.30

DATE: 10/19/13

CG 4646

PLOT DATE: 2/04/09

ENGINEER: AQUATERRA ENGINEERING INC.
TELEPHONE: 760-439-2802



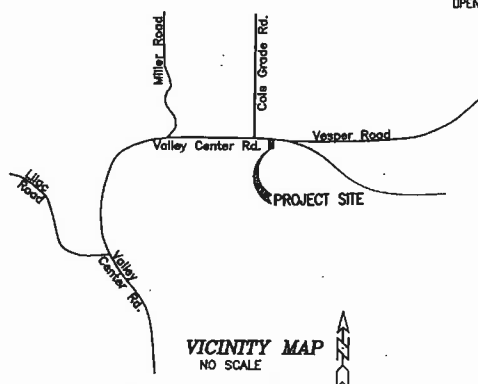
DMA AND TREATMENT CONTROL PLAN
SCALE: 1" = 40'

SYMBOL LEGEND

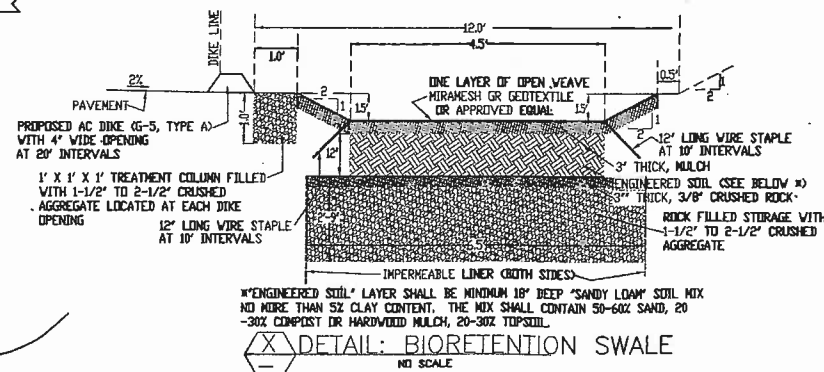
DESCRIPTION	SYMBOL
ELEVATION, TOP OF FOOTING	TF
ELEVATION, TOP OF WALL	TW
ELEVATION, TOP OF CURB	TC
ELEVATION, FINISH SURFACE	FS
ELEVATION, FINISH GRADE	FG
ELEVATION, TOP OF GRATE	TG
ELEVATION, BOTTOM OF FOOTING	BF
ELEVATION, FLOW LINE	FL
ELEVATION, INVERT ELEVATION	IE
ELEVATION LABEL, EXISTING	598.00
ELEVATION LABEL, PROPOSED	598.00

DETAIL REFERENCE
 DETAIL LABEL
 SHEET NO.

ONE ENGINEERING & LAND PLANNING
terra Engineering Inc.
 1843 Camperino Place
 Oceanside, CA 92054
 Tel: (760) 439-2886
 Fax: (760) 439-2886



VICINITY MAP
NO SCALE



DETAIL: BIORETENTION SWALE
NO SCALE

SURFACE LEGEND

PAVEMENT

UNPAVED SHOULDER



■ IDENTIFICATION NUMBER PER "BMP SIZING CALCULATOR"

IMP TABLE BASIN Q1

DMA NAME	DMA AREA (SF)	SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X FACTOR (SF)	DMP TYPE	BIORETENTION SWALE	DMP NAME
Q1A 08930M	11761	PAVEMENT	1.0	11761			TC1
Q1B 08937M	1742	SHOULDER	0.1	174			
					DMP SIZING	MINIMUM AREA (SF)	ACTUAL AREA (SF)
						0.04	477
							571
					TOTAL	11935	

■ IDENTIFICATION NUMBER PER "BMP SIZING CALCULATOR"

IMP TABLE BASIN Q2

DMA NAME	DMA AREA (SF)	SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X FACTOR (SF)	DMP TYPE	BIORETENTION SWALE	DMP NAME
Q2A 08929M	7841	PAVEMENT	1.0	7841			
Q2B 08930M	2178	SHOULDER	0.1	218			
					DMP SIZING	MINIMUM AREA (SF)	ACTUAL AREA (SF)
						0.04	322
							783
					TOTAL	8059	

■ IDENTIFICATION NUMBER PER "BMP SIZING CALCULATOR"

(SWMP NOTES)

TREATMENT CONTROL BMPS

TC1 - BIORETENTION SWALE PER DETAIL "X" ON THIS SHEET. (BMP-1)

■ IDENTIFICATION NUMBER PER "BMP SIZING CALCULATOR"



COUNTY APPROVED CHANGES

NO.	DESCRIPTION:	APPROVED BY:	DATE:
1	NEW SHEET		8/12/2011
2	ADD DRAINAGE BASIN DATA, RECORD PLAN	K9B	1/16/14

RECORD PLAN
 BY: *[Signature]* DATE: 10/14/13
 R.C.E. 23080
 EXPIRES: 12/31/13

PERMITS	
AEIS NO.	03-08-029
SITE PLAN REVIEW NO.	S-03-026
GRADING PLAN	L-14840
NOTICE OF INTENT	9-370353626
BENCH MARK	
DESCRIPTION: MONUMENT NO. 1031 PER R.O.S. 14869	
2" IRON PIPE W/BRASS DISC MARKED "GPS KE31"	
LOCATION: SOLE GRAVE ROAD, 60' WLY OF VALLEY CENTER ROAD INTERSECTION	
RECORD FROM: NGVD 29	
ELEVATION: 1349.30 DATUM: M.S.L.	

PRIVATE CONTRACT		
SHEET 9	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	13 SHEETS
DMA AND TREATMENT CONTROL PLAN FOR: LIZARD ROCKS ROAD		
PARCEL 3, PARCEL MAP NO. 7078		
CALIFORNIA COORDINATE INDEX 386-1761		
APPROVED FOR: COUNTY ENGINEER	ENGINEER OF WORK: <i>[Signature]</i> DATE: 7/25/14	
DRAWN BY: <i>[Signature]</i>	CHECKED BY: <i>[Signature]</i>	PROJECT PLAN NO. CG 4646

NEW SHEET

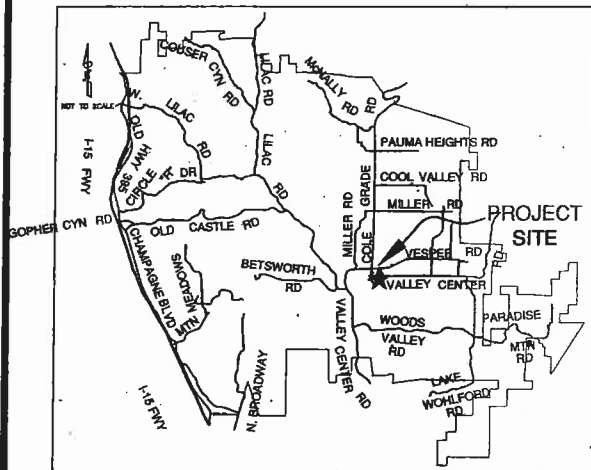
plot date: 7-25-12

BOARD OF DIRECTORS

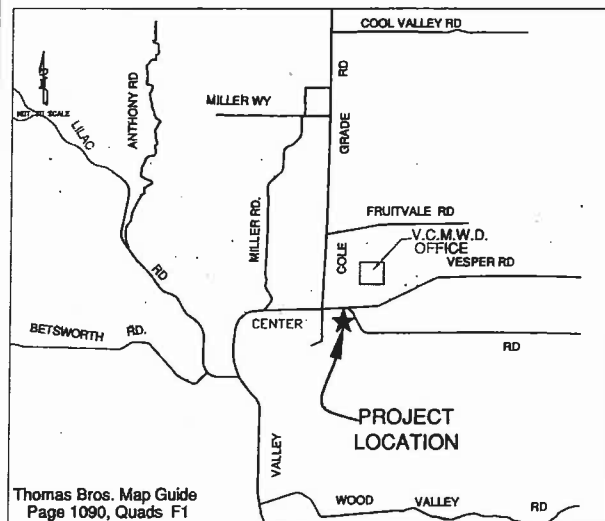
GARY A. BROOMELL PRESIDENT
ROBERT A. POLITO VICE PRESIDENT
MERLE J. ALESHIRE, Ph.D. DIRECTOR
CHARLES W. STONE, JR. DIRECTOR
RANDY D. HASKELL DIRECTOR

STAFF

GARY T. ARANT GENERAL MANAGER
WALLY T. GRABBE DISTRICT ENGINEER
WILLIAM J. JEFFREY DIRECTOR OF FINANCE
A. GREG HOYLE DIRECTOR OF OPERATIONS/FACILITIES



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

CALL BEFORE YOU DIG!!
1-800-277-2600

DIGALERT

Call at least two days before you dig

GENERAL NOTES

1. A PRE-JOB CONFERENCE SHALL BE HELD BEFORE THE START OF CONSTRUCTION. CONTRACTOR ATTENDANCE IS MANDATORY.
2. CONTRACTOR SHALL NOTIFY THE VCMWD ENGINEERING DEPARTMENT IN WRITING ONE WEEK PRIOR TO THE START OF CONSTRUCTION AND VERBALLY 24 HOURS IN ADVANCE OF BEGINNING WORK TO ARRANGE FOR INSPECTION OF THE PROJECT.
3. WORK DONE WITHOUT DISTRICT INSPECTION SHALL BE SUBJECT TO REMOVAL.
4. THE TELEPHONE NUMBER OF THE VALLEY CENTER MUNICIPAL WATER DISTRICT IS (760) 735-4500.
5. APPROVAL OF PLANS BY THE VALLEY CENTER MUNICIPAL WATER DISTRICT DOES NOT CONSTITUTE RESPONSIBILITY FOR ACCURACY OF INFORMATION NOR LOCATIONS OF OTHER EXISTING UTILITIES.
6. CONTRACTOR SHALL UNCOVER ALL PRIVATE AND EXISTING DISTRICT FACILITIES AFFECTED BY CONSTRUCTION OF THIS PROJECT TO VERIFY DEPTHS, GRADES, SIZES, LOCATIONS, ETC., PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES FOUND IN THE FIELD WITH THE INFORMATION PROVIDED ON THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE DISTRICT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
7. ANY CHANGES TO THE DESIGN OR THESE DRAWINGS SHALL BE APPROVED BY THE DISTRICT ENGINEER, IN WRITING, PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. ANY "BREAK-OUT" OR MODIFICATIONS TO EXISTING INSTALLATIONS SHALL BE MADE IN THE PRESENCE OF THE DISTRICT ENGINEER OR HIS REPRESENTATIVE.
9. CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING VCMWD ABOVE AND BELOW GROUND FACILITIES AFFECTED BY CONSTRUCTION OF THIS PROJECT.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR CONSTRUCTION OF THE WORK, INCLUDING A PERMIT FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY EXCAVATION WITHIN EXISTING COUNTY RIGHTS-OF-WAY.
11. CONTRACTOR IS TO OBSERVE ALL SAFETY AND TRAFFIC CONTROL REGULATIONS AS REQUIRED BY CAL/OSHA, COUNTY OF SAN DIEGO AND THE AMERICAN PUBLIC WORKS ASSOCIATION.
12. PRIOR TO INSTALLING ANY DISTRICT PIPELINE IN A FILL AREA, A SOILS REPORT SHALL BE SUBMITTED TO THE DISTRICT ENGINEER CERTIFYING THAT ALL EARTH FILLS WERE COMPACTED TO A MINIMUM 90% RELATIVE DENSITY TOP TO BOTTOM.
13. PRIOR TO START OF CONSTRUCTION, THE OWNER WILL PROVIDE SEWER AND WATER LATERAL TABLES TO THE DISTRICT FOR APPROVAL.
14. THE FINAL LOCATION AND ELEVATION OF SEWER AND WATER LATERALS SHALL BE SHOWN ON ORIGINAL PLANS PRIOR TO ACCEPTANCE OF WORK.
15. THE CONTRACTOR SHALL PROVIDE A PERFORMANCE BOND OR OTHER ACCEPTABLE FORM OF SECURITY FOR NOT LESS THAN 25% OF THE CONSTRUCTION CONTRACT AMOUNT TO WARRANTY ALL WORK AGAINST DEFECTIVE WORKMANSHIP AND/OR MATERIALS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK BY THE DISTRICT. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY OR ALL SUCH DEFECTIVE WORK, TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN SO DOING AT NO COST OR EXPENSE WHATSOEVER TO THE DISTRICT.

WATER NOTES

- UNLESS OTHERWISE SHOWN ON THE PLANS, THE FOLLOWING NOTES ARE REQUIRED FOR ALL WATER SYSTEM DESIGN PLANS:
1. ALL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH THESE DRAWINGS AND THE "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PIPELINES AND APPURTENANCES" OF THE VALLEY CENTER MUNICIPAL WATER DISTRICT DATED SEPTEMBER 10, 2001 OR LATEST AMENDMENT. THE DRAWINGS SHALL HAVE PRECEDENCE OVER THE STANDARD SPECIFICATIONS.
 2. CONNECTIONS TO EXISTING DISTRICT FACILITIES WILL BE MADE IN ACCORDANCE WITH VCMWD'S STANDARD SPECIFICATIONS, SECTION 1-34 SHUTDOWN PERIODS, AND SECTION 3-16 CONNECTIONS TO EXISTING WATER LINES, WHICH DETAIL THE NOTICE PERIODS, REQUIRED CONDITIONS, AND RESPONSIBILITIES OF THE CONTRACTOR.
 3. UNLESS SHOWN DEEPER, ALL PIPELINES 14" AND SMALLER SHALL BE INSTALLED WITH A MINIMUM COVER OF 36" FOR PAVED ROADWAYS OR 42" FOR UNPAVED ROADWAYS AND EASEMENTS. PIPELINES 16" AND LARGER SHALL BE INSTALLED WITH A MINIMUM COVER OF 48" FOR PAVED ROADWAYS OR 54" FOR UNPAVED ROADWAYS AND EASEMENTS.
 4. ALL PIPELINES SHALL BE INSTALLED 1' MINIMUM INTO UNDISTURBED SOIL UNLESS DUCTILE IRON PIPE WITH RESTRAINED JOINTS IS USED.
 5. FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH VCMWD STD. DWG. V-9 AND SHALL INCLUDE THE INSTALLATION OF A 4' X 4' X 3.5' CONCRETE PAD POURED AROUND 6" BREAKAWAY SPOOL.
 6. CONTRACTOR MAY BE REQUIRED TO INSTALL 2" SERVICE SADDLE WITH 2" CORPORATION STOP TO TOP OF 8" WATER MAIN TO SERVE AS MANUAL AIR RELEASE DURING PIPELINE TESTING. UPON COMPLETION OF ALL PIPELINE TESTING, CONTRACTOR WILL REMOVE 2" CORP. STOP AND INSTALL 2" THREADED BRASS PLUG INTO SERVICE SADDLE.
 7. CONTRACTOR MAY BE REQUIRED TO INSTALL 2" SERVICE SADDLE WITH 2" CORPORATION STOP TO SIDE OF 8" WATER MAIN TO SERVE AS BLOW-OFF VALVE DURING PIPELINE TESTING. UPON COMPLETION OF ALL PIPELINE TESTING, CONTRACTOR WILL REMOVE 2" CORP. STOP AND INSTALL 2" THREADED BRASS PLUG INTO SERVICE SADDLE.
 8. WATER SERVICE LATERALS SHALL NOT BE INSTALLED WITHIN DRIVEWAY OR SIDEWALK AREAS.
 9. CONTRACTOR SHALL, AT NO COST TO THE DISTRICT, EXTEND OR RELOCATE EXISTING WATER MAIN APPURTENANCES, RELOCATE EXISTING WATER SERVICE LATERALS AND METERS RECONNECT, EXTEND/SHORTEN ALL CUSTOMER'S PRIVATE LINES AFFECTED BY THE ROAD IMPROVEMENTS INCLUDED IN THESE PLANS, WHEN NECESSARY, AT DEVELOPER'S COST. THE DEVELOPER WILL BE RESPONSIBLE FOR THE COST TO UPGRADE ALL RELOCATED WATER METERS TO CURRENT BACKFLOW STANDARDS.
 10. ALL ABOVE GROUND APPURTENANCES (FH, AV, BO, ETC) AND PRV VALVES AND FITTINGS, WHICH ARE BEING ABANDONED AS A PART OF THIS PROJECT, SHALL BE REMOVED AND DELIVERED TO THE VCMWD YARD.
 11. ALL VALVE WELL FRAME ASSEMBLIES AND COVERS ARE TO BE SOUTH BAY FOUNDRY NO. 1208H WITH "VCMWD WATER" MARKED ON LID, OR APPROVED EQUAL.
 12. PLACE LOCATING TAPE 1'-0" ABOVE THE PIPE ALONG WITH LOCATING WIRE ATTACHED TO THE PIPE.
 13. BACKFILL MATERIAL WITHIN THE PIPE ZONE SHALL BE SAND WITH A MINIMUM S.E. OF 30 AND COMPACTED TO 90%.

SAFETY REQUIREMENTS

THE CONTRACTOR SHALL PROVIDE FOR THE PROTECTION OF ALL PERSONS AND PROPERTY AS HEREIN SPECIFIED IN ACCORDANCE WITH CAL/OSHA & OSHA TO WHICH THE CONTRACTOR IS REQUIRED BY LAW TO CONFORM. IN THE EVENT THE CONTRACTOR FAILS TO OBSERVE ANY OF THE SAFETY PROVISIONS OF THESE STANDARDS, DIRECTOR OF OPERATIONS/FACILITIES, THE DISTRICT ENGINEER, DISTRICT SAFETY OFFICER OR DISTRICT AUTHORIZED REPRESENTATIVE SHALL ORDER THE WORK STOPPED IN THE AFFECTED AREAS FOR NONCOMPLIANCE OF SAID SAFETY ORDERS UNTIL CORRECTED. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY AND FIRST AID PROCEDURES OF THEIR EMPLOYEES ON THE JOB SITE. CONTRACTOR MUST NOTIFY THE DISTRICT PROJECT MANAGER OR PROJECT INSPECTOR IF AN EMPLOYEE IS INJURED ON THE JOB SITE. NOTIFICATION IS NOT REQUIRED FOR ERGONOMY INJURIES.

THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE WORK AND PREVENT ACCIDENTS DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT NIGHT LIGHTS, BARRICADES, GUARDS, TEMPORARY SIDEWALKS, TEMPORARY BRIDGES, DANGER SIGNALS, WATCHMEN, AND NECESSARY APPLIANCES AND SAFEGUARDS TO PROPERLY SAFEGUARD LIFE AND PROPERTY. CONTRACTOR SHALL ALSO PROTECT ALL EXCAVATIONS, EQUIPMENT, AND MATERIALS WITH BARRICADES AND DANGER SIGNALS SO THAT THE PUBLIC WILL NOT BE ENDANGERED.

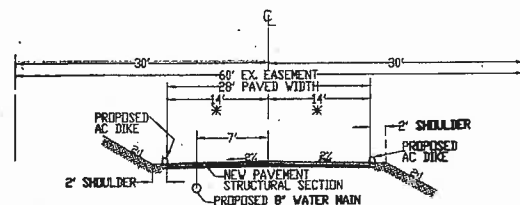
PERSONAL PROTECTIVE EQUIPMENT

HARD HATS SHALL BE WORN AT ALL CONSTRUCTION SITES OR AS REQUIRED BY CAL/OSHA AND OSHA. FOOT WEAR WITH APPROPRIATE FLOOT PROTECTION SHALL BE WORN WHILE WORKING AT OR INSPECTING ANY WORK SITE OR DISTRICT FACILITY WITHIN VALLEY CENTER WATER DISTRICT. EYE PROTECTION, HEARING PROTECTION AND HAND PROTECTION MUST BE WORN WHENEVER THE WORK CONDITIONS DICTATE THEIR USE WHILE WORKING WITHIN A VALLEY CENTER WATER DISTRICT JOB SITE OR DISTRICT FACILITY. ELECTRICAL PERSONAL PROTECTIVE EQUIPMENT SHALL BE WORN IN ACCORDANCE WITH CAL/OSHA & OSHA REGULATIONS.

AUTHORIZED VISITORS SHALL COMPLY WITH THE ABOVE PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS.

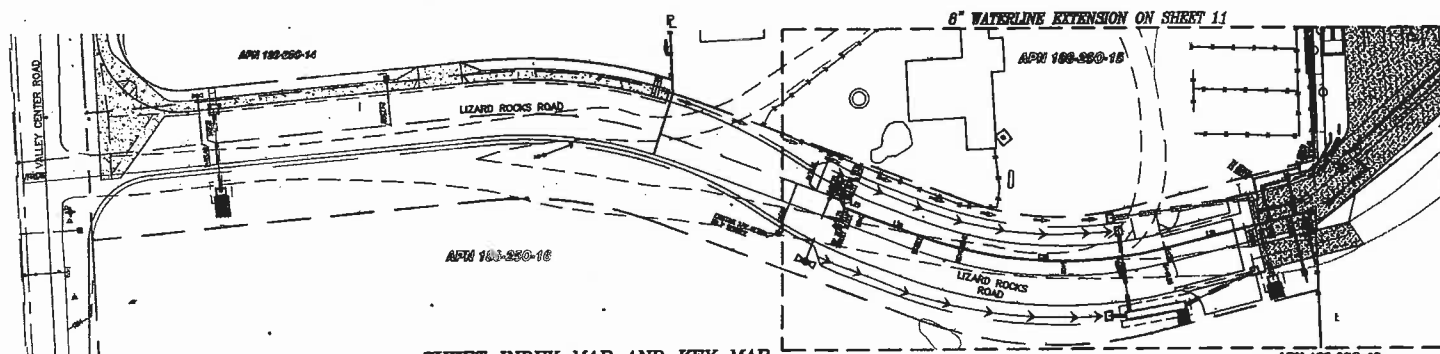
QUANTITIES

DESCRIPTION	AMOUNT
8" WATER PIPE (CIP)	229 L.F.
2" BLOW OFF ASSEMBLY	1 EACH
THRUST BLOCK	5 EACH
FIRE SERVICE INSTALLATION	1 EACH
BACK FLOW PREVENTION ASSEMBLY	2 EACH
1" WATER SERVICE	2 EACH



TYPICAL SECTION LIZARD ROCKS ROAD
NO SCALE

NOTE: * 6' MINIMUM GRADED AREA REQUIRED FOR V.C.M.W.D. APPURTENANCES



SHEET INDEX MAP AND KEY MAP
SCALE: 1"= 80'

VCMWD APPROVED CHANGES

NO.	DESCRIPTION:	APPROVED BY:	DATE:
1	ASBUILT	WJH	6-10-13

VALLEY CENTER MUNICIPAL WATER DISTRICT
VALID FOR 1 YEAR FROM THE DATE OF SIGNATURE
Wally Grabbe WALLY GRABBE
DISTRICT ENGINEER DATE: 10/14/13
RECORD PLAN
BY: H. G. DATE: 10/14/13
R.C.E. 23080
EXPIRES: 12/31/13

COUNTY APPROVED CHANGES

NO.	DESCRIPTION:	APPROVED BY:	DATE:
1	NEW SHEET	WJH	8/2/13
2	RECORD PLAN	KJB	1/16/14

PERMITS

AEIS NO.	03-08-029
SITE PLAN REVIEW NO.	S-03-026
GRADING PLAN	L-14840
NOTICE OF INTENT	D-37C353626

BENCH MARK

DESCRIPTION: MONUMENT NO. 1031 PER R.O.S. 14889
2" IRON PIPE W/ BRASS DISC MARKED "GPS NE31"
LOCATION: COLE GRADE ROAD, 60' W/ VALLEY CENTER ROAD INTERSECTION
RECORD FROM: NGVD 29
ELEVATION: 1349.30 DATUM: M.S.L.

PRIVATE CONTRACT

SHEET 10	COUNTY OF SAN DIEGO	13 SHEETS
DEPARTMENT OF PUBLIC WORKS		
WATER PLAN PLAN FOR: LIZARD ROCKS ROAD PARCEL 3, PARCEL MAP NO. 7078 CALIFORNIA COORDINATE INDEX 386-1781		

APPROVED FOR THE COUNTY ENGINEER	ENGINEER OF WORK WJH
REVISIONS	MODIFIED R.M. NO. CG 4646

NEW SHEET

PLOT DATE: 4/09/12

ENGINEER: AQUATERRA ENGINEERING INC.
TELEPHONE: 760-439-2802

Appendix B

- Fire Protection Plan Letter Report dated December 12, 2019



December 12, 2019

Valley Center Fire Protection District
28234 Lilac Road
Valley Center, CA 92082
ATTN: Community Risk Reduction

FIRE MARSHAL

Valley Center Fire Protection District
28234 Lilac Road
Valley Center, California 92082
(760) 751-7600

APPROVED

Date 12/18/2019

By [Signature]

Fire Marshal

SUBJECT: FIRE PROTECTION PLAN – LETTER REPORT

28435 Lizard Rocks Road, Valley Center, CA 92082

This Fire Protection Plan (FPP) – Letter Report is submitted pursuant to the County Fire Code and County Consolidated Fire Code, to address the adverse environmental effects that a proposed project may have from wildland fire and to provide mitigation of those impacts to ensure that the project does not expose people or structures to a significant risk of loss, injury or death involving wildland fires.

PROJECT DESCRIPTION

Assessor's Parcel Numbers 188-250-15, 1.78 acres
Zoning - M52

This project is for the Green Storage Valley Center Expansion. The project site will consist of two 1 story buildings and one 2 story building totaling a total of 48,087 SF of self-storage. A merger of two lots is also proposed as part of this proposed project. The project is located at 28435 Lizard Rocks Road in the Valley Center Community Planning area, within unincorporated San Diego County. The site is subject to the General Plan Regional Category Village, Land Use Designation Limited Impact Industrial. Zoning for the site is M52 (Limited Industrial). The project site is subject to Special Area B which requires a Site Plan and the recommendation of the Valley Center Design Review Board. The project proposes to be served by the Valley Center Municipal Water District and Valley Center Fire Protection District. The APN of the Merger Parcel to the south is 188-250-41-00.

ENVIRONMENTAL SETTING

1. Location: The project site is located east of Lizard Rocks Road, South of County Route S6, north of existing storage operation at the terminus of Lizard Rock Road and west of County Route S6 where it turns to the south at Vesper Road. The location is provided in Appendix A of this report. The zoning map is provided in Appendix B.

302 N. El Camino Real, Suite 202 San Clemente CA 92672

Phone (949)240-5911

2. Topography: The project site is located within a valley, which is surrounded on all sides by mountains and hills. The project site is in the bottom of this valley. The project site is essentially flat with an overall slope of approximately 4%. The project site will have slopes to existing topography at the north end and on the east side. The slope of the general area is provided in Appendix C. The current (native slope) on each side of the project site is provided below. The north end (Northwest to Northeast corners) has the greatest difference in elevation and west side, the least. Due to the lack of significant slope, aspect is not a factor in the fuel loading and curing (fuel moisture) on or near this site.

	North	East	Diagonal	South	West
Upper Elevation	1,386	1,386	1,386	1,373	1,368
Lower Elevation	<u>1,368</u>	<u>1,373</u>	<u>1,362</u>	<u>1,362</u>	<u>1,362</u>
Difference	18	13	24	11	6
Length	<u>223</u>	<u>293</u>	<u>391</u>	<u>251</u>	<u>300</u>
Slope	8.07%	4.44%	6.14%	4.38%	2.00%

3. Geology: No other geological issues exist with the project site.
4. Flammable Vegetation: All of the existing vegetation will be removed from the project site. The project site will adhere to the requirements for Fire Severity Zones for plant palette in the landscape areas as it is currently within the SRA (State Responsibility Area) which is shown in Attachment D. The project is within a Very High Fire Severity Zone as shown in Attachments E and F. It is important to note that the interface to the east is shown as a high fire zone rather than a very high.

According to the Landfire Database, the areas around the project site are mostly grasses and some smaller shrubs (Appendix G). The fuel categories are GR1, GR2 and GS2. A



grid of SH7 is shown to the north of the project site on the northeast corner. This is actually eucalyptus trees and not chaparral fuels as shown in the photo to the left (taken from the NE corner of the project site)

5. Climate: The project site is within the Transitional Climate Zone in the middle of the Transition Zone (Attachment H). The Transition Zone is a marine-to-desert transition climate which is farther inland. The Transition Zone features a combination of warmer thermal belts and cold-air basins and hilltops, with occasional marine influence. The climate can vary from heavy fog to dry Santa Ana winds.

PROJECT EXPOSURE TO WILDLAND FIRES

1. Water Supply: This project is located within the Valley Center Municipal Water District. The new structures for the project site will Type II-B. The largest of the three new structures will be 36,724 sq. ft. In accordance with Appendix B of the Adopted Fire Code, this will require 1,000 gpm capacity. This is required for a duration of two hours. The existing storage operation has a structure which is 40,650 sq. ft. that requires a base fire flow of 1,063 gpm, which would indicate that the water needed is already available within the current water delivery system. The overall fire flow required for project site is 1,250 gpm with a fire hydrant spacing requirement of 450'.

The existing storage operations has two public fire hydrants on Lizards Rocks Road and three private fire hydrants onsite (shown in Attachment I). The project site will add two additional private hydrants and a Wharf hydrant (4" at DDC) as shown in Attachment J)

2. Fire Access Roads

Location: Fire Department Access Roadway are provided as shown in Attachment K of this report/letter. The primary roadways are positioned so that all portions of every new structure are within 150' of the exterior of the structures per the adopted fire code. The fire access roadway is provided as a loop road, so a turnaround is not required but a turnaround has been provided (Attachment L).

Width: The project site will construct fire access roadways with a width of 24' wide. The distance between the structures in the area of the fire access roadways will be a minimum of 40' which will allow for the loading and unloading of the storage units without compromising the fire lane.

Vertical Clearance: All fire department access roadways shall have a minimum vertical clearance of 13 feet 6 inches. As designed, the proposed project site fire access roadways will be clear to the sky.

Grade: The maximum street grade (existing street) is less than 2% and, for the fire access roadway onsite, grades will run between 1% and 2%.

Surface: Fire Department Access Roadways will conform to the standards specified in the County of San Diego Parking Design Manual. Fire apparatus access road shall be designed and maintained to support the imposed loads of fire apparatus (not less than 75,000 lbs. unless authorized by the FAHJ) and shall be provided with an approved paved surface so as to provide all-weather driving capabilities.

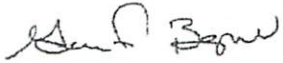
3. **Setback from Property Lines:** Setbacks are provided per the county approved planning standards. Three sides of the project site are developed with roads and/or buildings. The front of the project site (west) has a 60' setback to the roadway centerline. The north and south setbacks are set to zero as the south will be merged with the existing storage operation and the north interfaces with the existing retail center. The remaining side (east) is provided with a 15' setback. No portion of the project site are not within 100 feet of a riparian area, forest, or other native/habitat area. The parcel to the east is undeveloped but maintained under the county defensible space requirement to provide 30' of vegetation management on the interface to the proposed project site. In addition, the proposed project site will have not openings in the structure on this interface which is made of concrete block.
4. **Building Construction:** All structures shall comply with the ignition-resistive construction requirements Chapter 7A of the adopted Building Code, Section R337 of the adopted Residential Code and Chapter 49 of the adopted Consolidated County Fire Code
5. **Fire Protection Systems:** All structures shall be protected with automatic fire sprinklers per adopted Building Code and/or County Consolidated Fire Code requirements. The new installed fire protection features (except the wharf hydrant) will be capable of engine support through the existing FDC on the existing DDC on the private water system. The wharf hydrant will be on the supply side of the DDC to provide a water source within 50 feet of the FDC.
6. **Defensible Space:** The project site has only on interface to undeveloped land (west). This area is current maintained in accordance with the County of San Diego Defensible Space Ordinance. As stated, the project site will have no opening in the side of the structure that interfaces the wildland and the walls will be masonry (block) with a metal roof. This combination of building construction, lack of fuels in the interface and overall lack of continuous wildland fuels in the upwind area, produce a defensible space which is more than adequate to protect the project site in the event of a wildfire in the adjacent properties.
7. **Vegetation Management:** Prescribed Defensible Space will be maintained by the property owners at least annually or more often as needed. Plants used in the Defensible Space will be from an approved fire-resistant planting materials list that is maintained by County of San Diego, Department of Planning and Land Use.
8. **Fire Behavior Computer Modeling:** Based on preliminary evaluation by the County Fire Marshal, Computer Fire Behavior Modeling is not required for this FPP – Letter Report (Note: Contact the Fire Authority Having Jurisdiction [FAHJ] to confirm).

Fire Protection and Emergency Medical services are provided by the Valley Center Fire Protection District with wildland support from CalFire. The project site is located 1.56 miles from Valley Center Fire Station #1, 2.98 miles from Valley Center Fire Station #2 and 1.06 miles from Valley Center CalFire facility (Attachment M)

Firesafe Planning Solutions recommends approval of this Fire Protection Plan – Letter Form as an accurate and acceptable assessment of the hazard and risk factors for the Greens Storage Expansion in Valley Center as they relate to wildland fire protection and site development design.

Respectfully;

Concurrence;



Gene F. Begnell
Fire Protection Analyst



David Oatis
Principal, Firesafe Planning Solutions



Property Owner (Signature)

12/17/14

Date

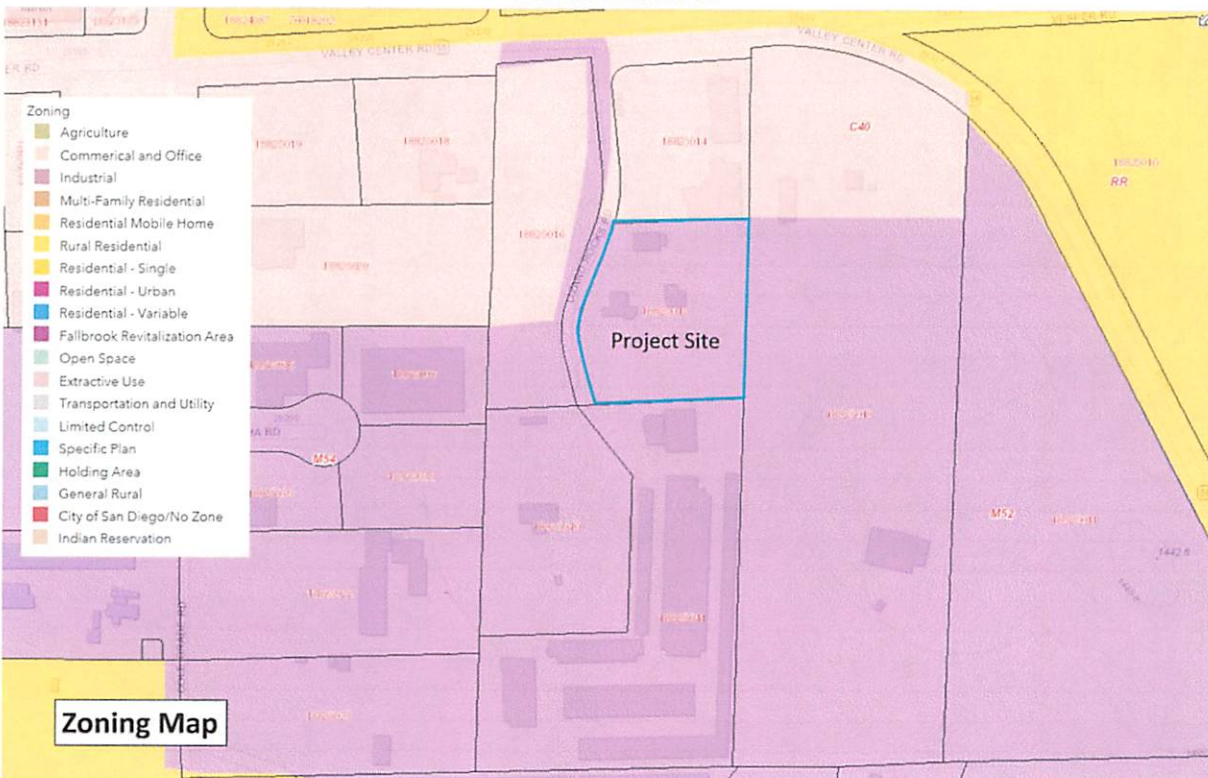


Printed Name

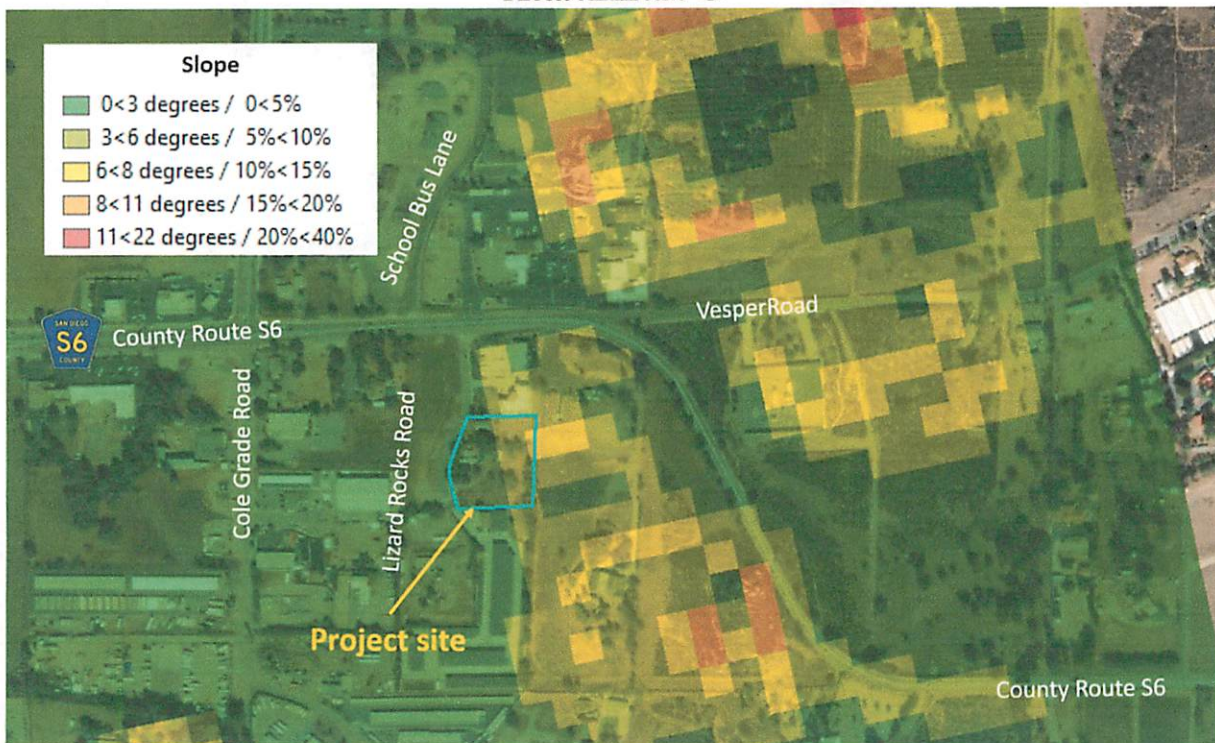
Attachment A



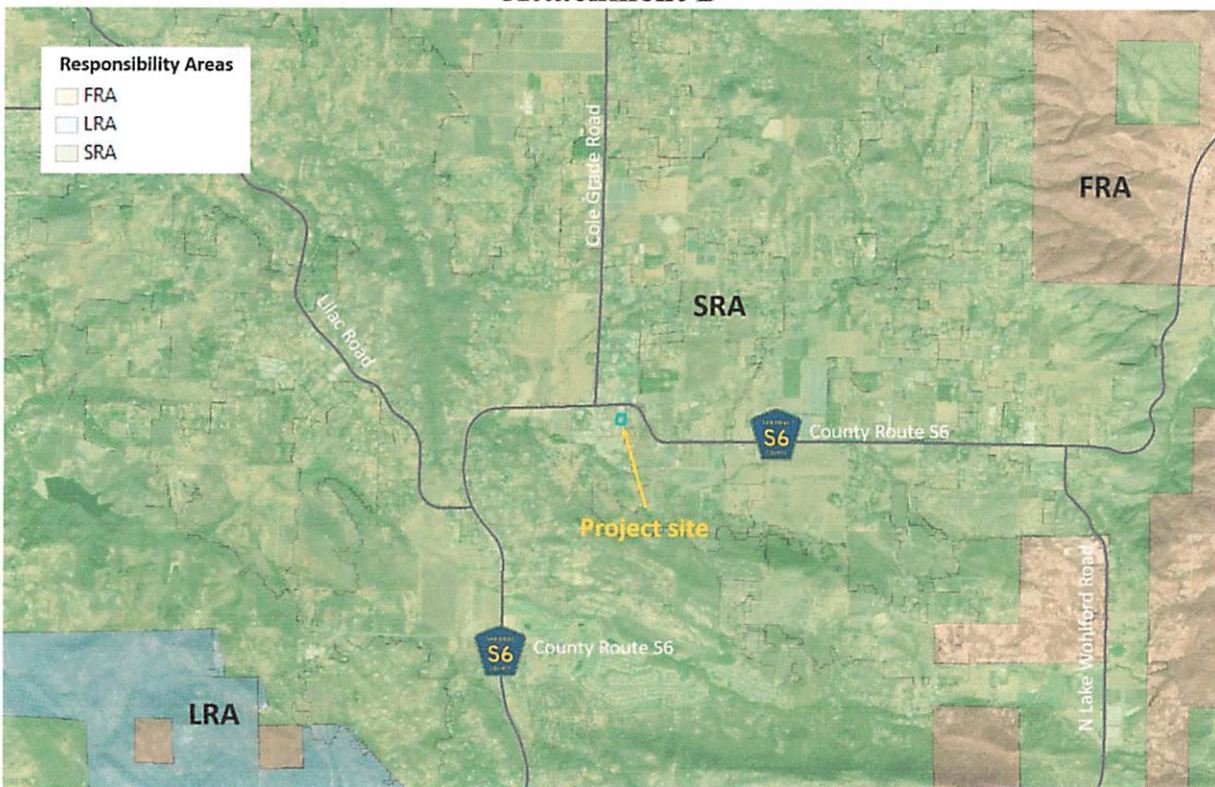
Attachment B



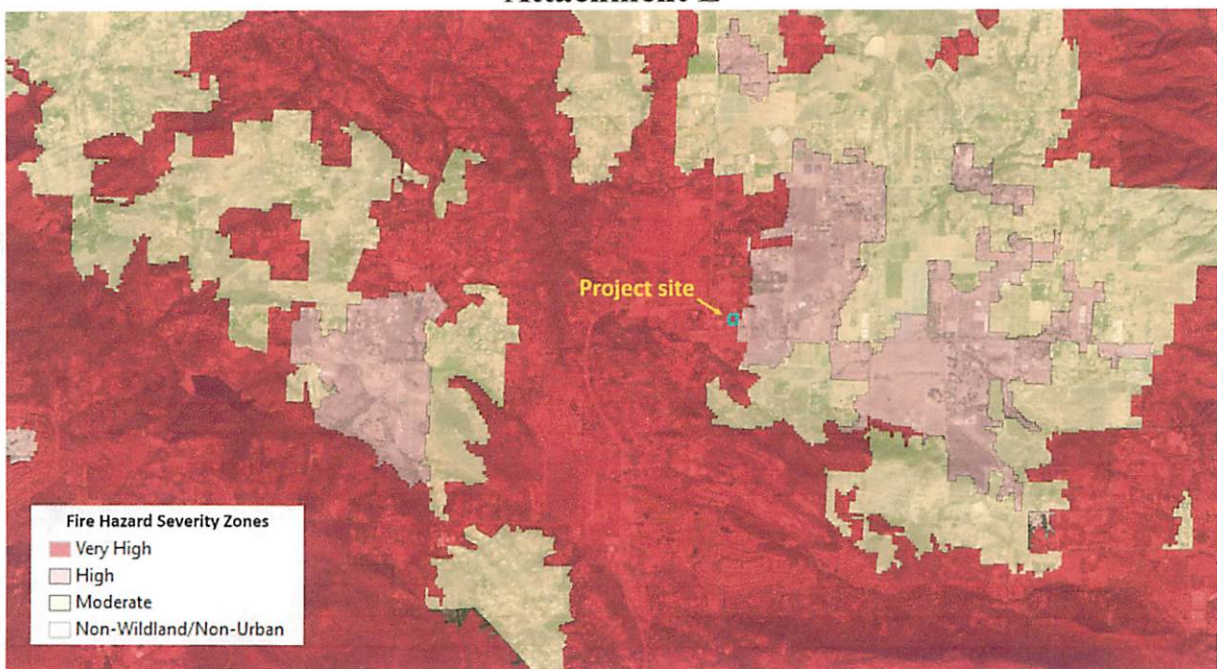
Attachment C



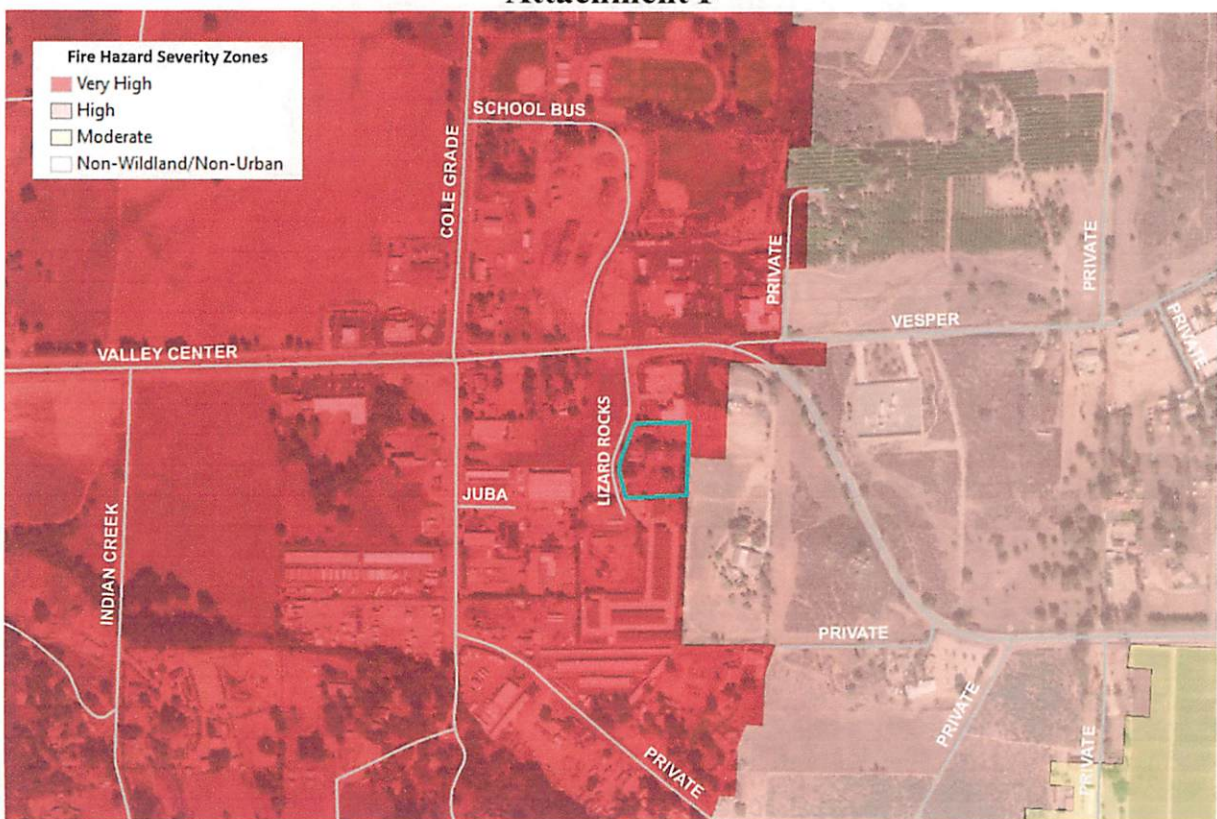
Attachment D



Attachment E



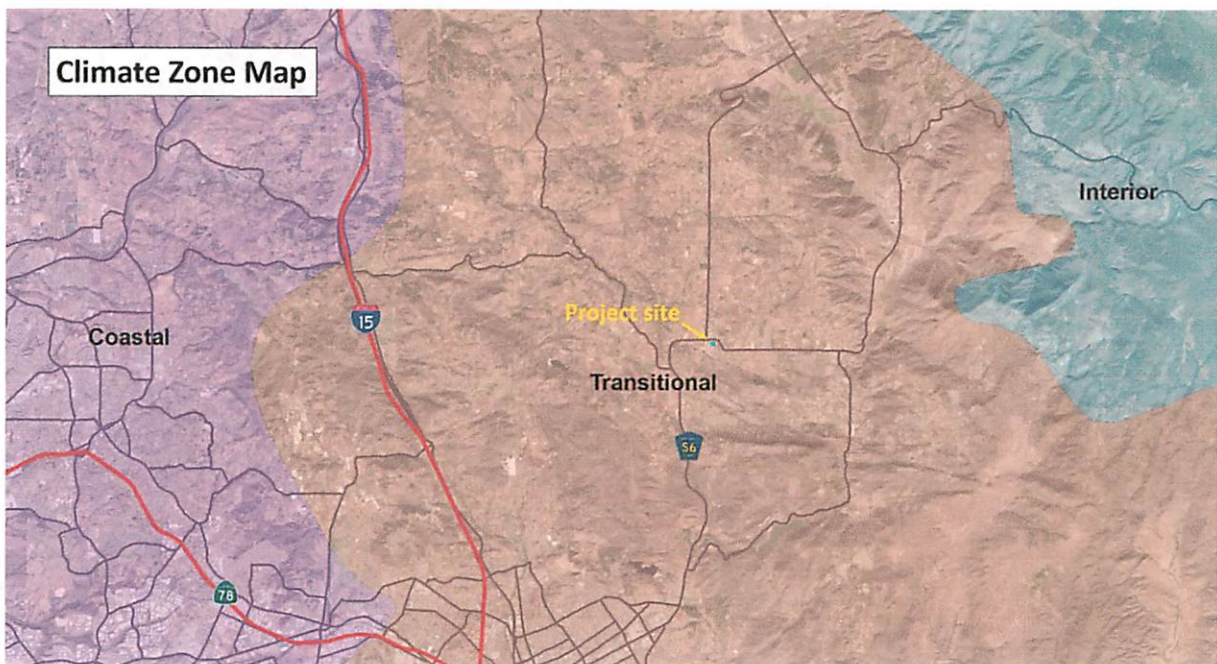
Attachment F



Attachment G



Attachment H

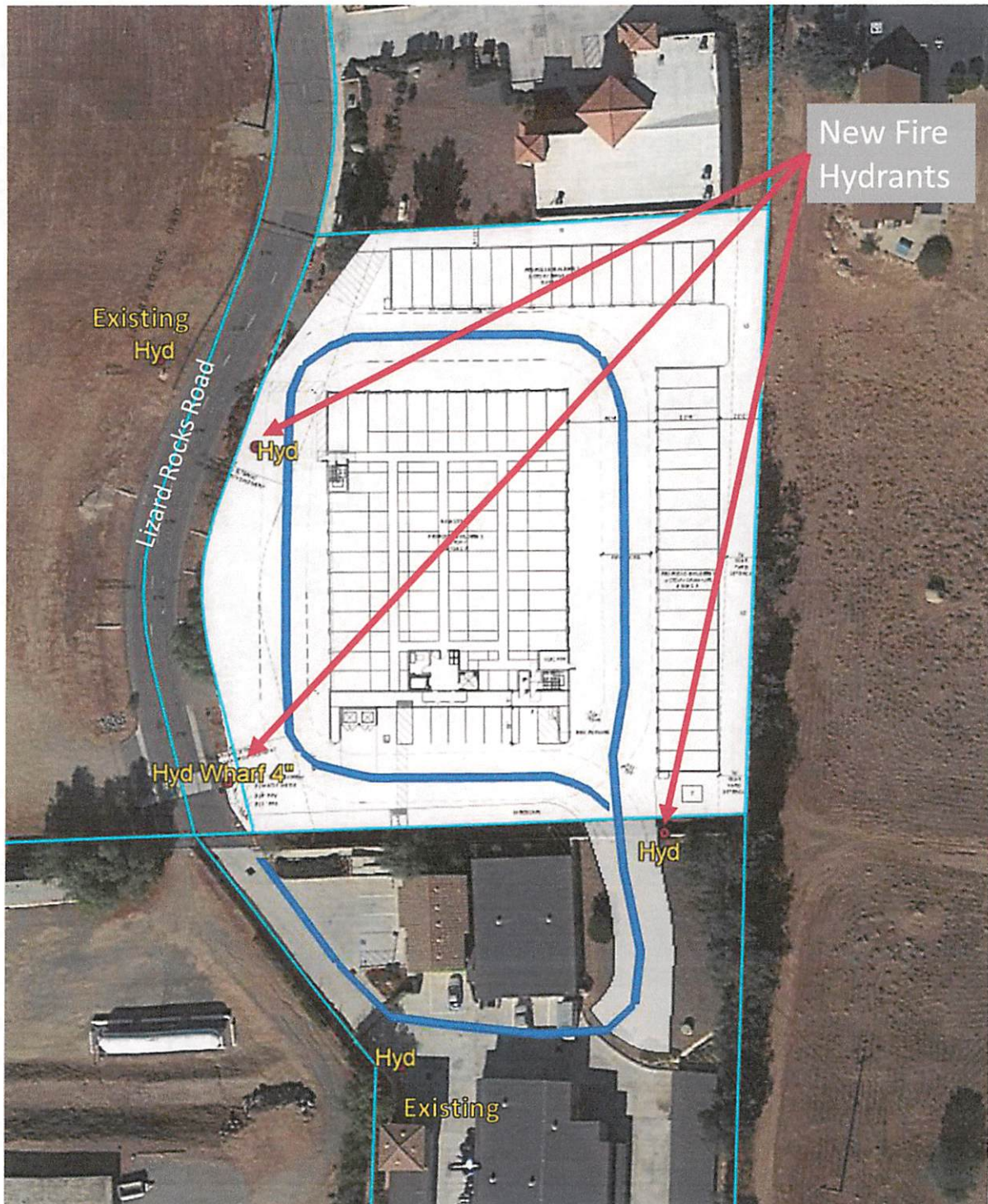


Attachment I



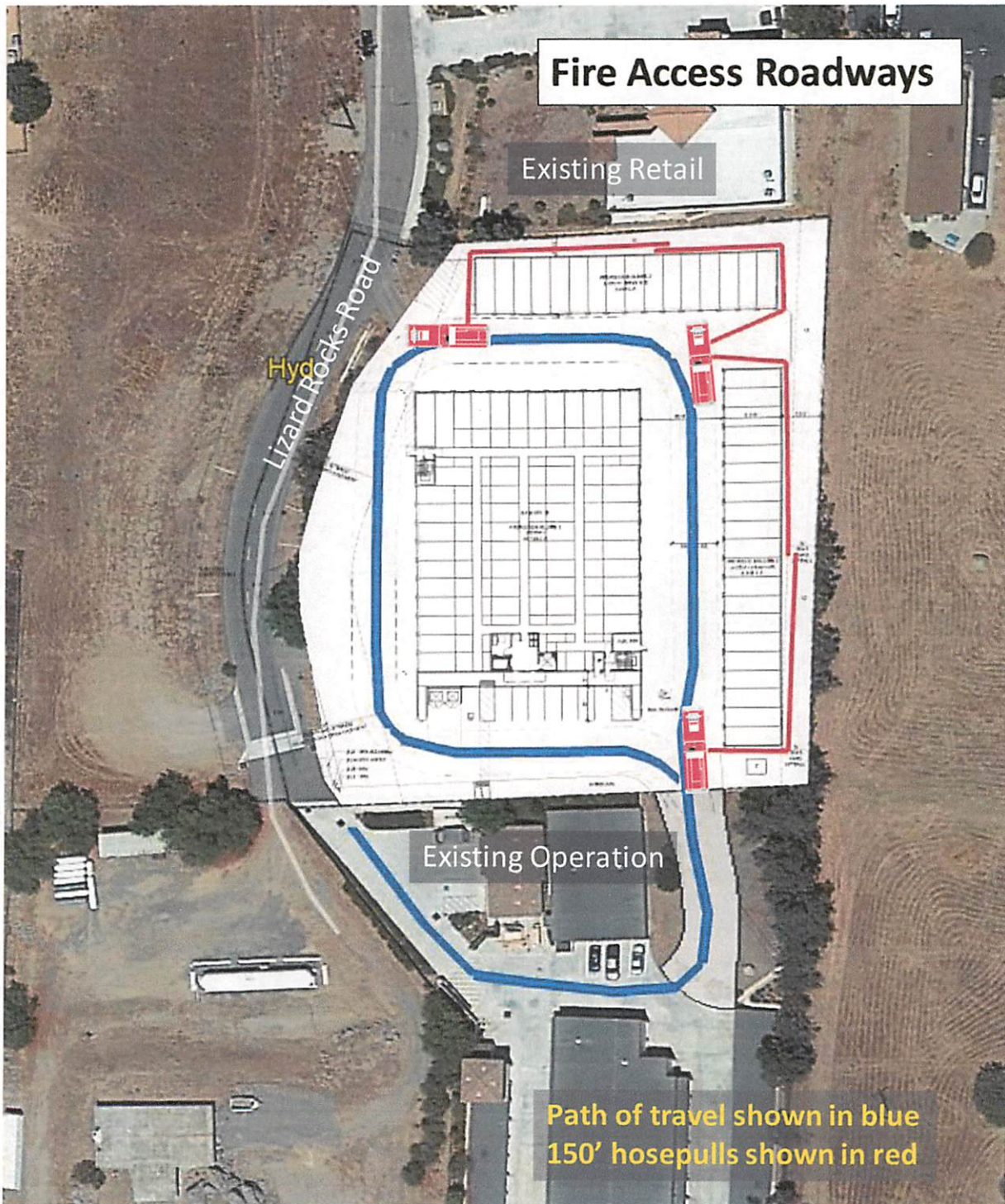
Existing Fire Hydrant Locations

Attachment J

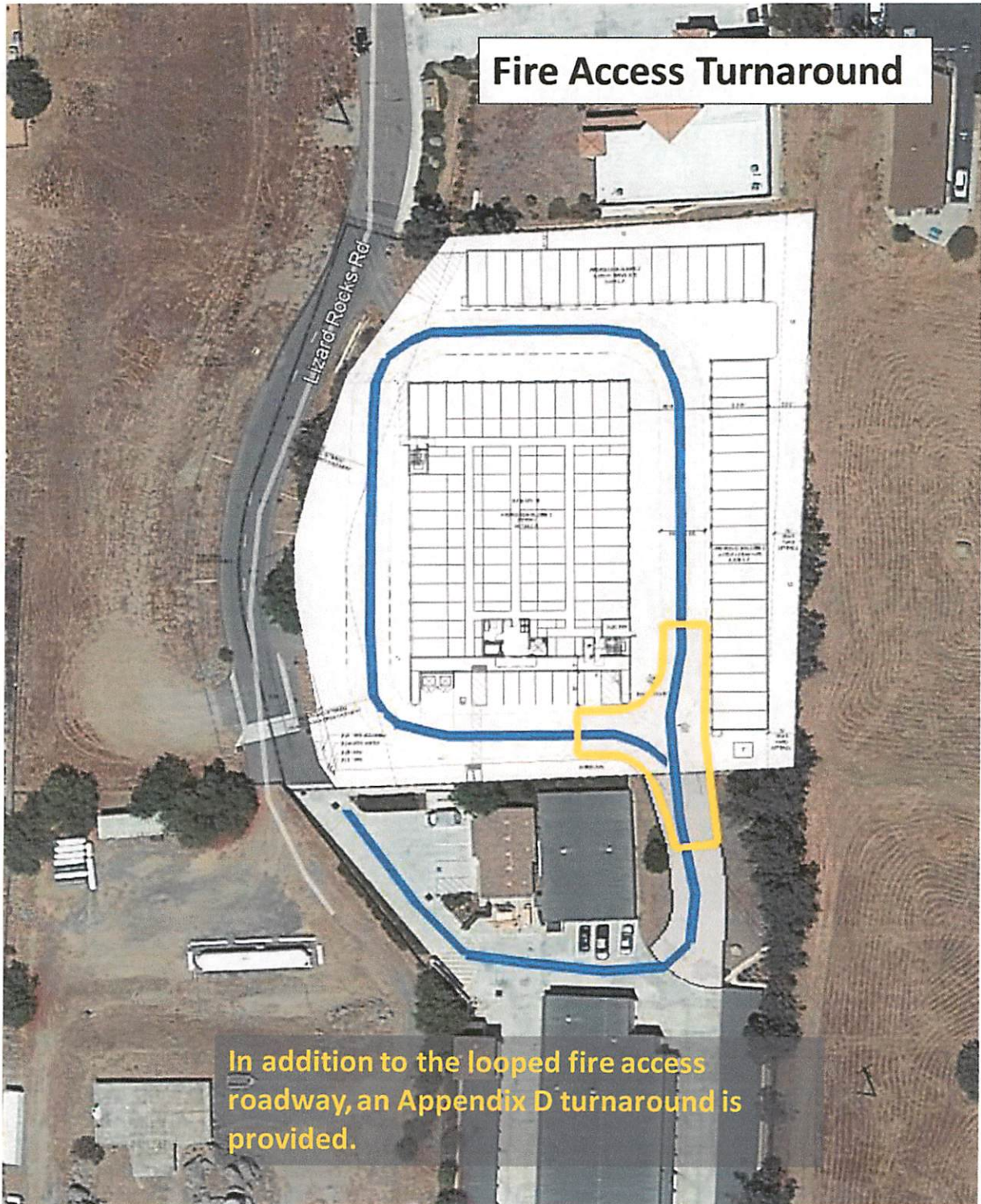


Proposed Fire Hydrant Locations

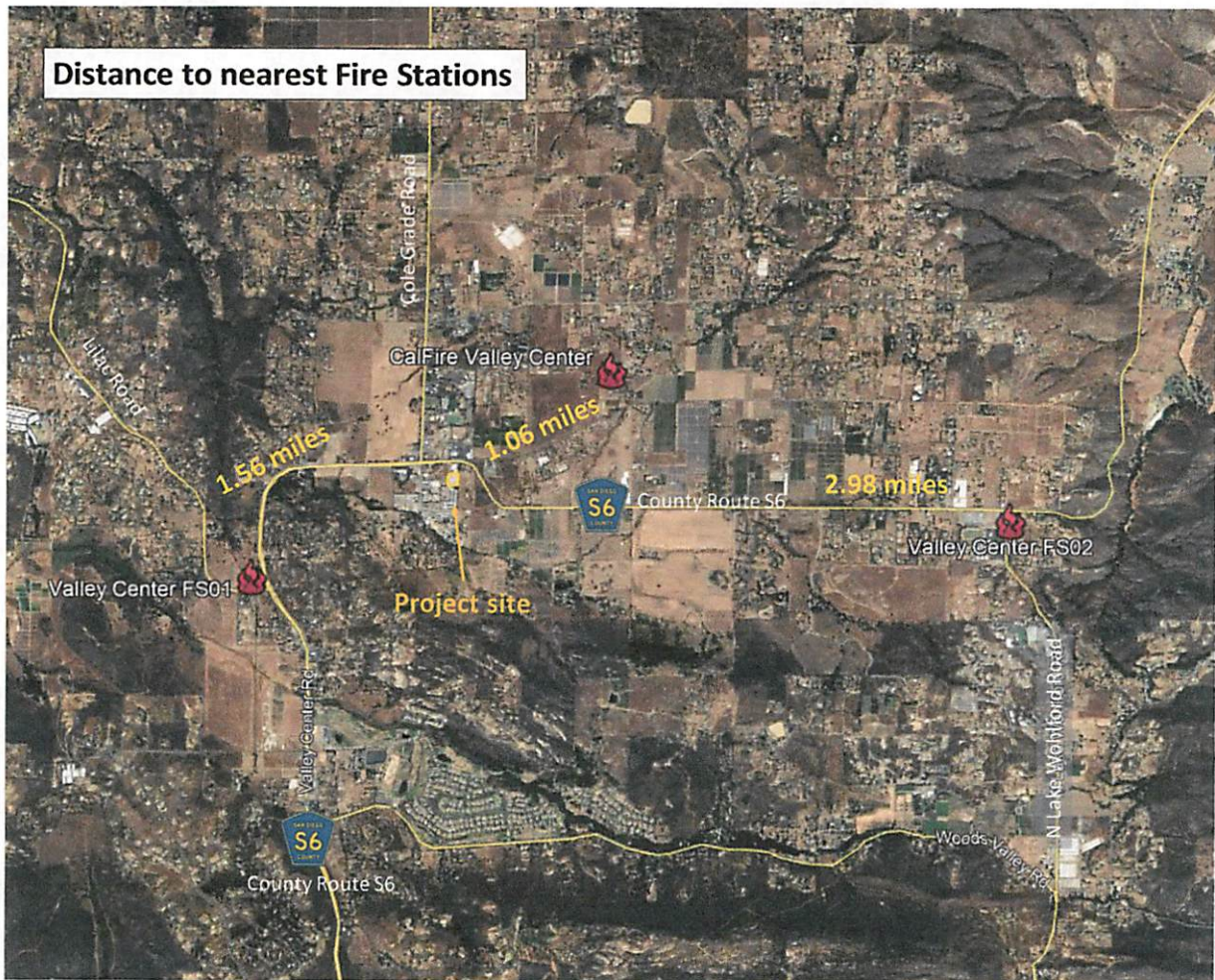
Attachment K



Attachment L



Attachment M



Appendix C

- Design Exception for Lizard Rocks Road Improvements

DEPARTMENT OF PUBLIC WORKS

Request for an Exception to a Road Standard and/or Modification to Project Conditions

Project Number: _____ Date of Request: January 21, 2020

Project Location: 28835 Lizard Rocks Road, Valley Center, California

Thos. Bros. Map/Grid: Page 1090-F1 APN: 188-250-15

Requestor Name: Bill E. Darnell, Telephone: 619-233-9373
Darnell & Associates

Address: 4411 Mercury Street #207A, San Diego CA, 92111

Requested Exception/Modification (attach engineering sketches showing existing layout, details and notes):

Figure 1 presents the project site plan and the existing improvements to Lizard Rocks Road adjacent to the project's frontage. The applicant requests that additional improvements to Lizard Rocks Road along the projects provisions to provide a temporary cul-de-sac is not be required. The proposed project has combined with the adjacent self-storage facility to provide access, circulation and satisfies the Valley Center Fire Protection District Fire Marshall to not require additional improvements. The project will generate 96 daily, 6 AM peak hour trips and 9 PM peak hour trips to Lizard Rocks Road. The existing Lizard Rocks Road improvements will adequately accommodate the project trips.

Reason for requested Exception/Modification (provide attachment if additional space is required):

The existing improvements on Lizard Rocks Road adequately accommodates existing and the proposed project traffic. Vehicle traffic generated by the project is adequately accommodated by the existing improvements. Further the mini-storage operations do not generate pedestrians and therefore do not create the need to add pedestrian facilities along the project frontage and/or the additional roadway widening to comply with the County of San Diego Public Road Standards.

List alternatives that could mitigate the requested Exception/Modification (attach engineering sketches showing proposed layouts, details and notes):

Alternatives that could mitigate the requested design exception have not been identified.

Describe the hardship(s) to the property owner(s) and/or neighbor(s) if the request is not approved (see not 3. on reverse):

The required rewidening of Lizard Rocks Road would require additional design costs and time constraints to process and obtain approval of the plans.

Provide Design and Cost Estimate for meeting the Condition (see note 3. on reverse):

The design costs and cost of construction to meet the County of San Diego Public Roads Standards is estimated to be _____. A copy of the costs are attached.

See reverse for important information.

This form is to be used for the following:

- A. Request exception to a Road Standard and/or modify DPW Conditions included in the Preliminary **Approval** prior to the issuance of the Final Approval.
- B. Request exception to a Road Standard and/or modify DPW Conditions included in the Final Approval document(s) prior to the recordation of the map, which may also require an amendment of conditions.

Note: Request for exceptions/modifications to conditions of a recorded map, in most cases, requires a map modification, which is a separate process.

This request may be initiated by the owner or by the project engineer, land surveyor, the local fire prevention district or the local planning group acting on behalf of the owner.

The following guidelines apply to this request:

- 1. Incomplete and unclear requests, or requests that are not supported by appropriate documents will be returned as incomplete applications. Requests must be specific and clear.
- 2. This request must be completed and submitted with supporting attachments. Attachments may consist of documents from the relevant County departments, regulatory agencies, fire prevention districts, water and utility districts, planning groups. Photos, plan and profile sketches, diagrams, engineering studies, certifications, cost estimates, and other pertinent information may also be included.
- 3. Provide detailed cost estimates for work included in this request. Single figure summary and “bottom line” cost estimates will not be accepted. Please note that financial hardship cannot be the sole basis of an exception request.

Example 1: A request to reduce an intersectional sight distance condition must, as a minimum, be supported by a detailed plan of the intersection showing the right-of-way easements, the available/required line(s) of sight and the existing obstructions to the line(s) of sight, a certification by a registered engineer of the prevailing speed along the major road, certification as to the minimum acceptable sight distance and the availability of such distance, as well as a detailed cost estimate for compliance with the initial condition.

Example 2: A request to reduce road width improvement standard must, as a minimum, cite the reasons necessitating the request, a letter from the local Fire Prevention District stipulating the acceptable changes to the road(s), plan and profile sketches of the road showing centerline stationing, nature, size and location of utilities that are impacted, and a detailed cost estimate for compliance with the initial improvement condition(s).

- 4. The applicant will be contacted if additional information or clarification is required. Your request may be forwarded to the local planning group for input. The DPW Project Team responsible for the project area will evaluate the request and make a recommendation to the Director through the Deputy Director. The Director’s decision, which is final, will be conveyed to the applicant in writing, with copies to all parties and agencies concerned.
- 5. Requests take an average of ten (10) working days to process. They may take longer if submitted without the proper supporting documents or if there is insufficient balance in the project account.
- 6. Mail or submit your completed request(s) to the Department of Public Works (DPW), 5201 Ruffin Road (MS-0336), Suite D, San Diego, CA, 92123.
- 7. Staff time to process this request will be charged against the project account. The applicant will be contacted for additional funds if the account balance is insufficient to cover the estimated charges for processing the request.