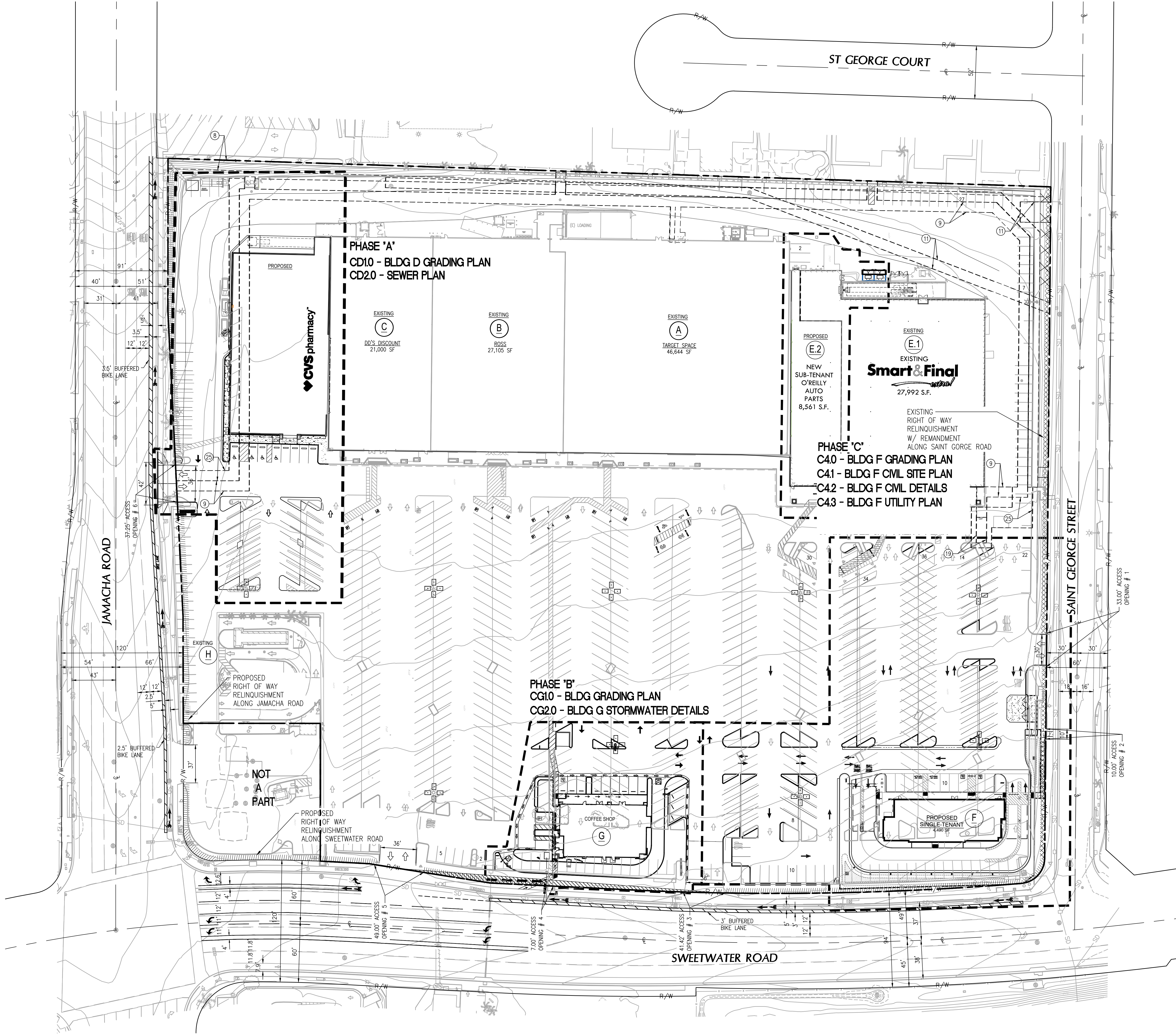
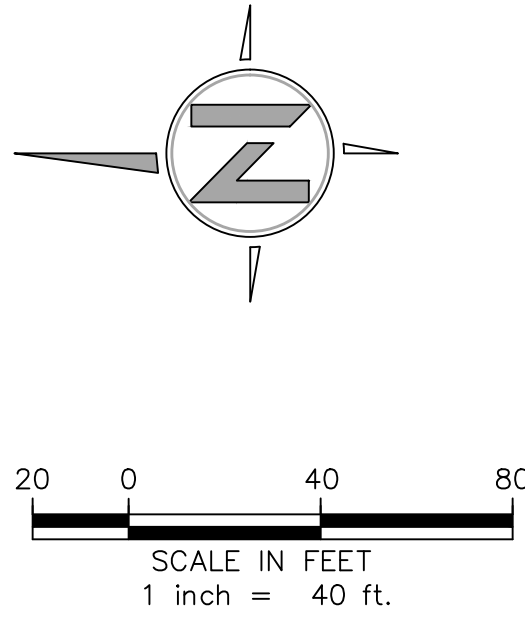




- LEGEND**
- INDICATES PROPOSED RIGHT OF WAY RELINQUISHMENT
- INDICATES EXIST RIGHT OF WAY RELINQUISHMENT WITH REMANDMENT

- EXISTING PLOTTBLE EASEMENTS**
- 8 SDGE EASEMENT REC. 4/22/1965, INST.# 71451 O.R.
- 9 HELIX IRRIGATION DISTRICT EASEMENT REC. 1/15/1973, INST.# 73-011862 O.R.
- 11 COUNTY OF SAN DIEGO SEWER EASEMENT PER MAP NO. 7556, REC. 2/21/1973.
- 19 HELIX WATER DISTRICT EASEMENT REC. 8/27/1984, INST.# 84-326028 O.R.
- 25 PRIVATE EASEMENT REC. 5/16/2016, INST.# 2016-0235754 O.R.

- EXISTING NON-PLOTTABLE EASEMENTS**
- 12 AN EASEMENT FOR UNDERGROUND CONDUITS, VAULTS, MANHOLES, HANDHOLES AND JUNCTION BOXES WITH WIRES AND CABLES PLACED THEREIN, AND NECESSARY ABOVEGROUND STRUCTURES, TOGETHER WITH THEIR NECESSARY FIXTURES AND APPURTENANCES, FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND FOR ALL OTHER PURPOSES CONNECTED THEREWITH, AND ALSO FOR PIPELINES FOR THE TRANSMISSION AND DISTRIBUTION OF GAS AND INCIDENTAL PURPOSES, RECORDED JUNE 26, 1973 AS INSTRUMENT NO. 73-175148 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION AFFECTS: PARCEL D
- 13 AN EASEMENT FOR ELECTRIC AND INCIDENTAL PURPOSES, RECORDED OCTOBER 1, 1974 AS INSTRUMENT NO. 74-263952 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION AFFECTS: AS DESCRIBED THEREIN THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- 20 AN EASEMENT TO ERECT, CONSTRUCT, CHANGE THE SIZE OF, IMPROVE, RECONSTRUCT, RELOCATE, REPAIR, MAINTAIN AND USE FACILITIES CONSISTING OF: 1. POLES, WIRES, CABLES AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, 2. UNDERGROUND FACILITIES AND APPURTENANCE FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, 3. PIPELINES AND APPURTENANCE FOR ANY AND ALL PURPOSES, 4. COMMUNICATION FACILITIES, OVERHEAD AND/OR UNDERGROUND AND APPURTENANCE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 18, 1984 AS INSTRUMENT NO. 84-393852 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION AFFECTS: AS DESCRIBED THEREIN THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- 23 AN EASEMENT FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING AND SHORING, BRACES, FOUNDATIONS OR WALL NECESSARY TO SUPPORT THE REMAINING IMPROVEMENTS AND INCIDENTAL PURPOSES, RECORDED MAY 14, 1999 AS INSTRUMENT NO. 1999-0329566 OF OFFICIAL RECORDS. IN FAVOR OF: PEOPLE OF THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, AS DISCLOSED BY FINAL ORDER OF CONDEMNATION AFFECTS: AS DESCRIBED THEREIN THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.



SHOPPING CENTER - SPRING VALLEY

S.E.C. JAMACHA RD. & SWEETWATER RD.
SPRING VALLEY, CA



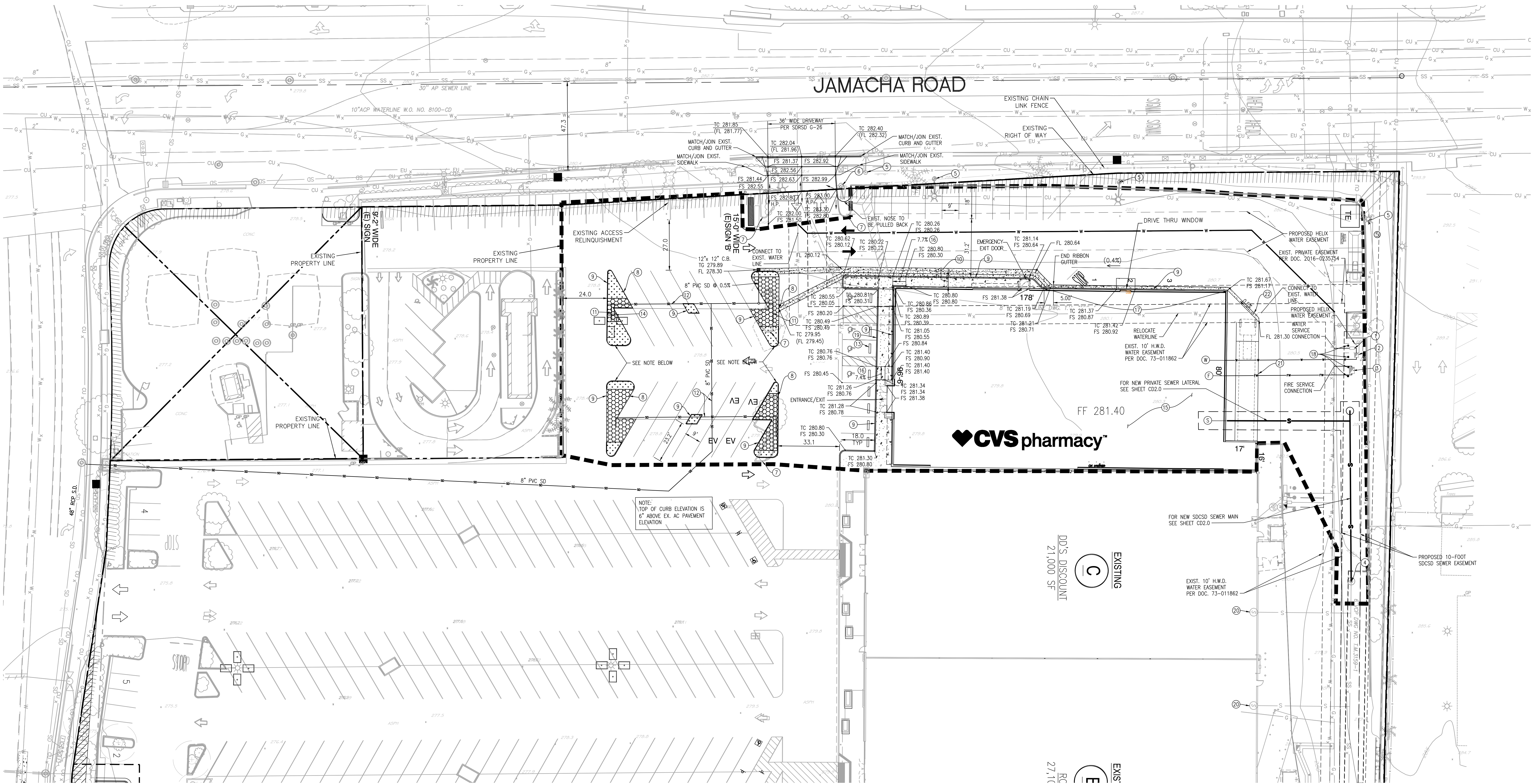
BWE
CIVIL-STRUCTURAL-SURVEY-PLANNING
9449 BALBOA AVE. STE 270
SAN DIEGO, CA 92123 619 299 5550



PREPARED BY:
ZAAP, INC.
2900 FOURTH AVENUE #204
SAN DIEGO, CA 92103
619-233-6450 (PHONE)
619-233-6449 (FAX)
WWW.ZAAP.BIZ

PROJECT ADDRESS:
935 SWEETWATER ROAD
Spring Valley, CA 91977
PROJECT NO. 16390

DATE: 09/26/2019			
REVISION #:	DATE:	REVISION #:	DATE:
1		2	
3		4	
5		7	
6		8	
PROJECT NAME:		C.O.	
SHOPPING CENTER - SPRING VALLEY			
SHEET TITLE:			
KEY MAP/SITE PLAN			



BASIS OF BEARINGS

THE BASIS OF BEARINGS AND COORDINATS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE 6, NAD83, (1992.35 EPOCH) BASED UPON THE GRID BEARING BETWEEN GPS STATIONS 3206 AND 3205, AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON NOVEMBER 1, 2018. BOTH STATIONS HAVING A COORDINATE VALUE OF FIRST ORDER ACCURACY OR BETTER PER RECORD OF SURVEY 14492.

I.E. GPS STATION 3206 TO 3205: N 03°09'44" W

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE FOUND BRASS PLUG ON TOP OF CONCRETE CURB AT THE NORTHEAST CURB RETURN OF JAMACHA ROAD AND DAREY STREET, PER CITY OF SAN DIEGO VERTICAL CONTROL, DATED AUGUST 1989.

BM ELEVATION: 365.467, NGVD 29

TOPOGRAPHY

EXISTING AERIAL TOPOGRAPHY WAS PREPARED BY RICK ENGINEERING COMPANY, DATED SEPTEMBER 24, 2019. CONTOURS SHOWN ON PLANS ARE AT 1-FT INTERVALS.

LEGAL DESCRIPTION

BEGIN OF PORTION OF PARCEL 2 OF MAP NO. 7119 IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY APRIL 6, 1978.

SHOPPING CENTER - SPRING VALLEY

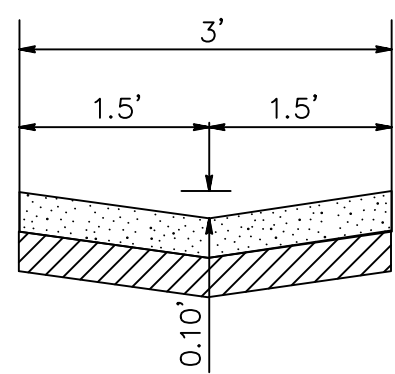
S.E.C. JAMACHA RD. & SWEETWATER RD.
SPRING VALLEY, CA

PRELIMINARY GRADING PLAN NOTE

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSIONS BEFORE COMMENCING SUCH ACTIVITY.

GRADING VOLUMES

CUT VOLUME: 20 CY
FILL VOLUME: 20 CY
IMPORT/EXPORT: 0 CY



TYPICAL RIBBON GUTTER DETAIL

NO SCALE

GRADING KEYNOTES

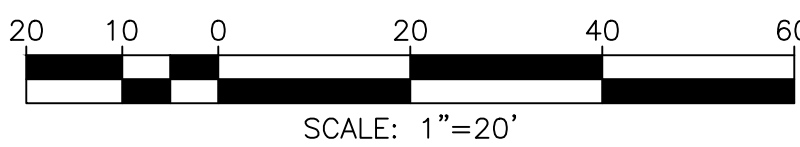
- 1) WATER SERVICE METER
- 2) WATER SERVICE BACKFLOW
- 3) FIRE SERVICE BACKFLOW
- 4) CONNECT SEWER LATERAL TO EXISTING SEWER MAIN
- 5) EXIST. LIGHT TO REMAIN AND PROTECT IN PLACE
- 6) EXIST. POWER POLE TO REMAIN AND PROTECT IN PLACE
- 7) EXIST. CURB TO BE REMOVED
- 8) 6" PCC CURB WITH CURB CUTS PER DETAIL THIS SHEET
- 9) 6" PCC CURB
- 10) RIBBON GUTTER PER DETAIL THIS SHEET
- 11) 6" PERFORATED PIPE IN BASIN
- 12) STORM DRAIN
- 13) WHEEL STOP (TYP)
- 14) EXIST. LIGHT TO BE REMOVED
- 15) EXIST. BUILDING TO BE REMOVED
- 16) CURB RAMP
- 17) DEEPENED FOOTING AS REQUIRED
- 18) BOLLARD
- 19) 0" CURB
- 20) NEW PARKING LOT LIGHT
- 21) ROLLED CURB AND GUTTER
- 22) PROPOSED CONCRETE SWALE

LEGEND

PROJECT BOUNDARY	---
RIGHT OF WAY	---
EASEMENT	---
PROPOSED STORM DRAIN	---
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED BIOFILTRATION BASIN AREA	---
PROPOSED PLANTING AREA	---
PROPOSED CONCRETE PAVEMENT	---

NOTICE: IN THE EVENT THAT ANY ACTIVITY, INCLUDING EARTHMOVING OR CONSTRUCTION, DISCOVERS THE PRESENCE OF CONTAMINATED SOILS ON-SITE, THE CONTRACTOR AND/OR PROPERTY OWNER SHALL NOTIFY THE COUNTY OF SAN DIEGO PLANNING & DEVELOPMENT SERVICES DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL HEALTH. THE PRESENCE OF CONTAMINATED SOILS WILL REQUIRE SOIL TESTING AND REMEDIATION IN ACCORDANCE WITH STANDARD COUNTY PROCEDURES. THIS PROCESS WILL BE DETERMINED ONCE THE COUNTY IS NOTIFIED OF THE PRESENCE OF CONTAMINATED SOILS.

PRELIMINARY
NOT FOR CONSTRUCTION



BWE
CIVIL-STRUCTURAL-SURVEY-PLANNING
9409 BALBOA AVE., STE 270
SAN DIEGO, CA 92123 619.299.5550

ZAAP
ZIEBARTH ASSOCIATES
ARCHITECTURE + PLANNING

PREPARED BY:
ZAAP, INC.
2800 FOURTH AVENUE #204
SAN DIEGO, CA 92103
619-233-6450 (PHONE)
619-233-6449 (FAX)
WWW.ZAAP-BIZ

PROJECT ADDRESS:
935 SWEETWATER ROAD
Spring Valley, CA 91977
PROJECT NO.: 16350

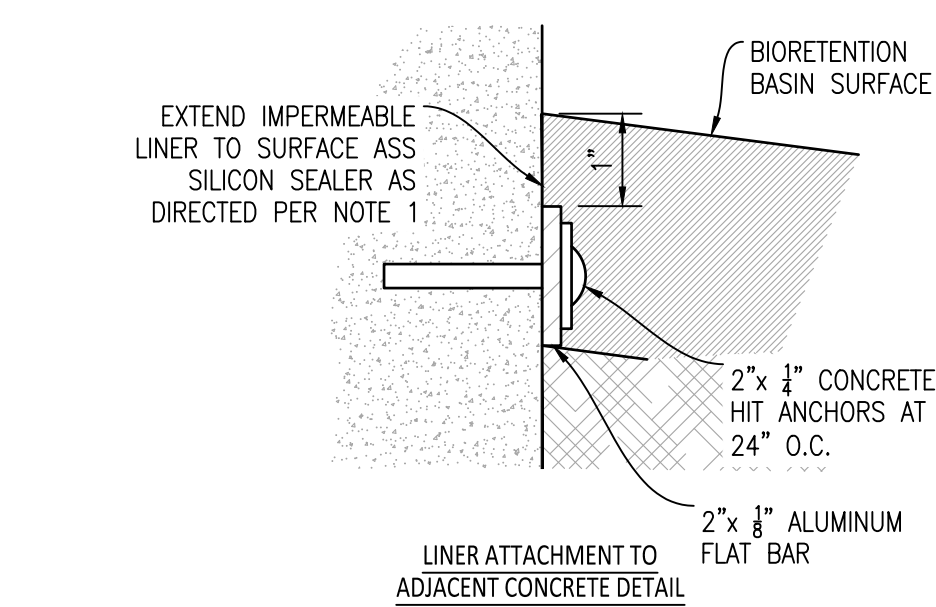
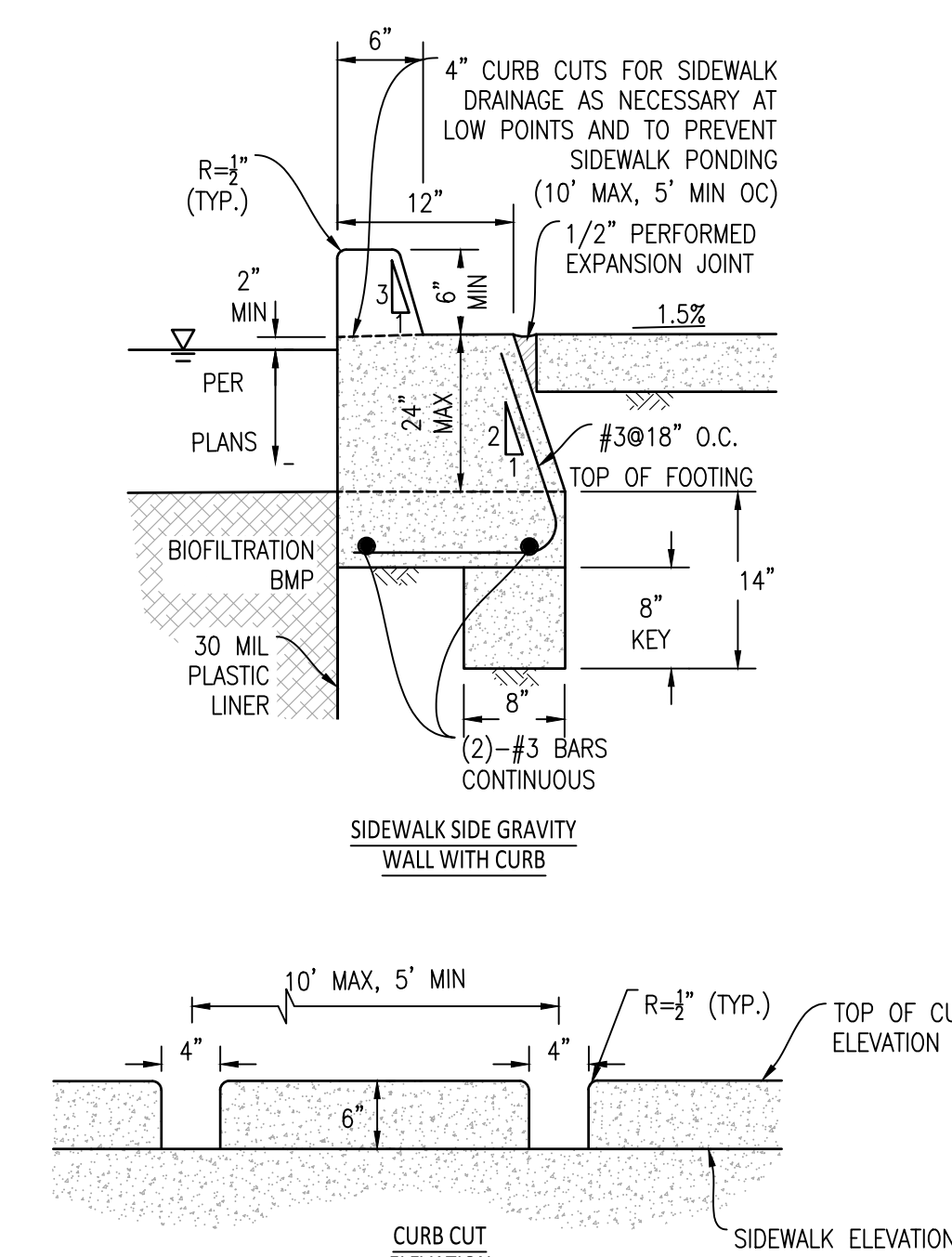
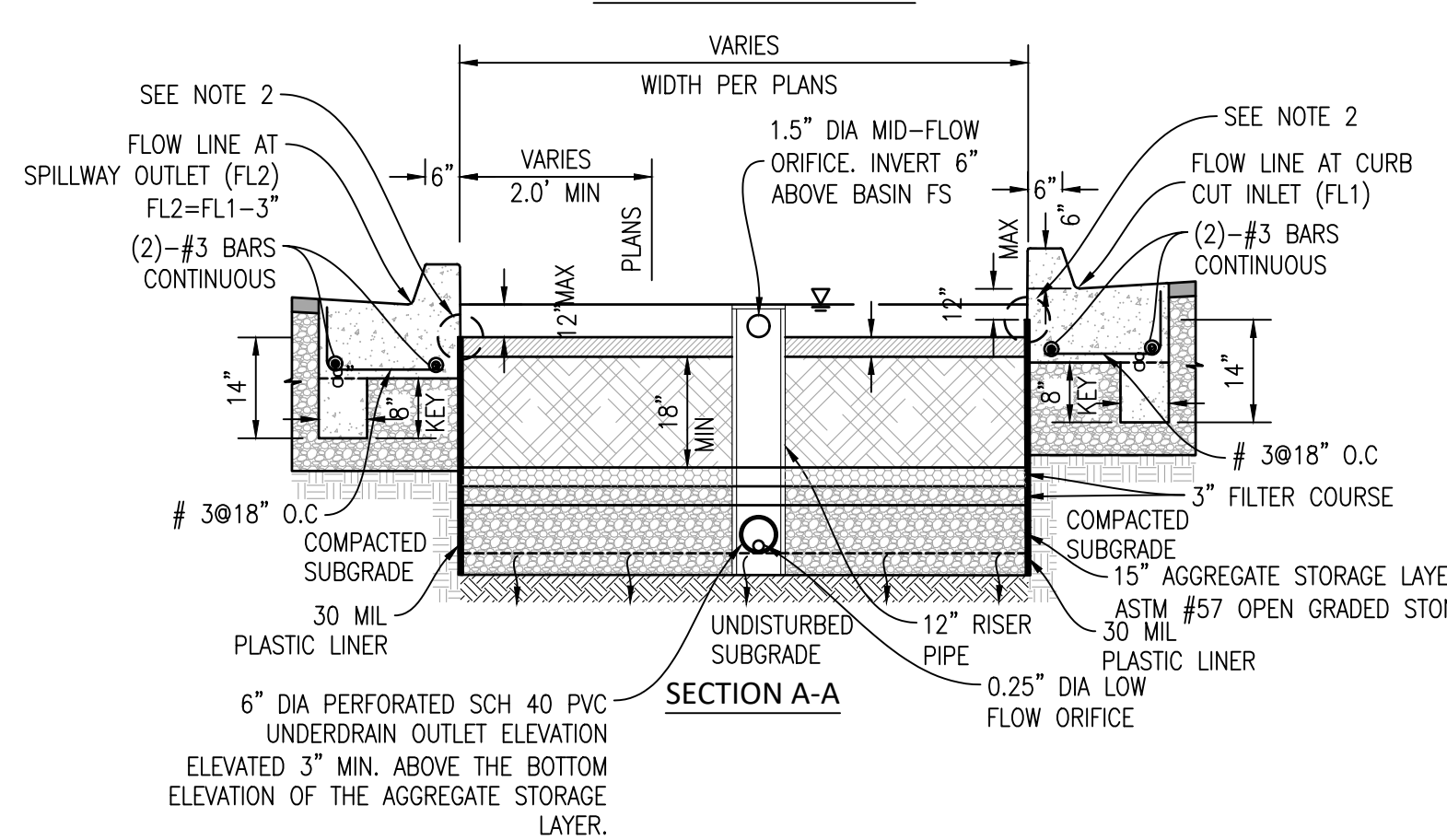
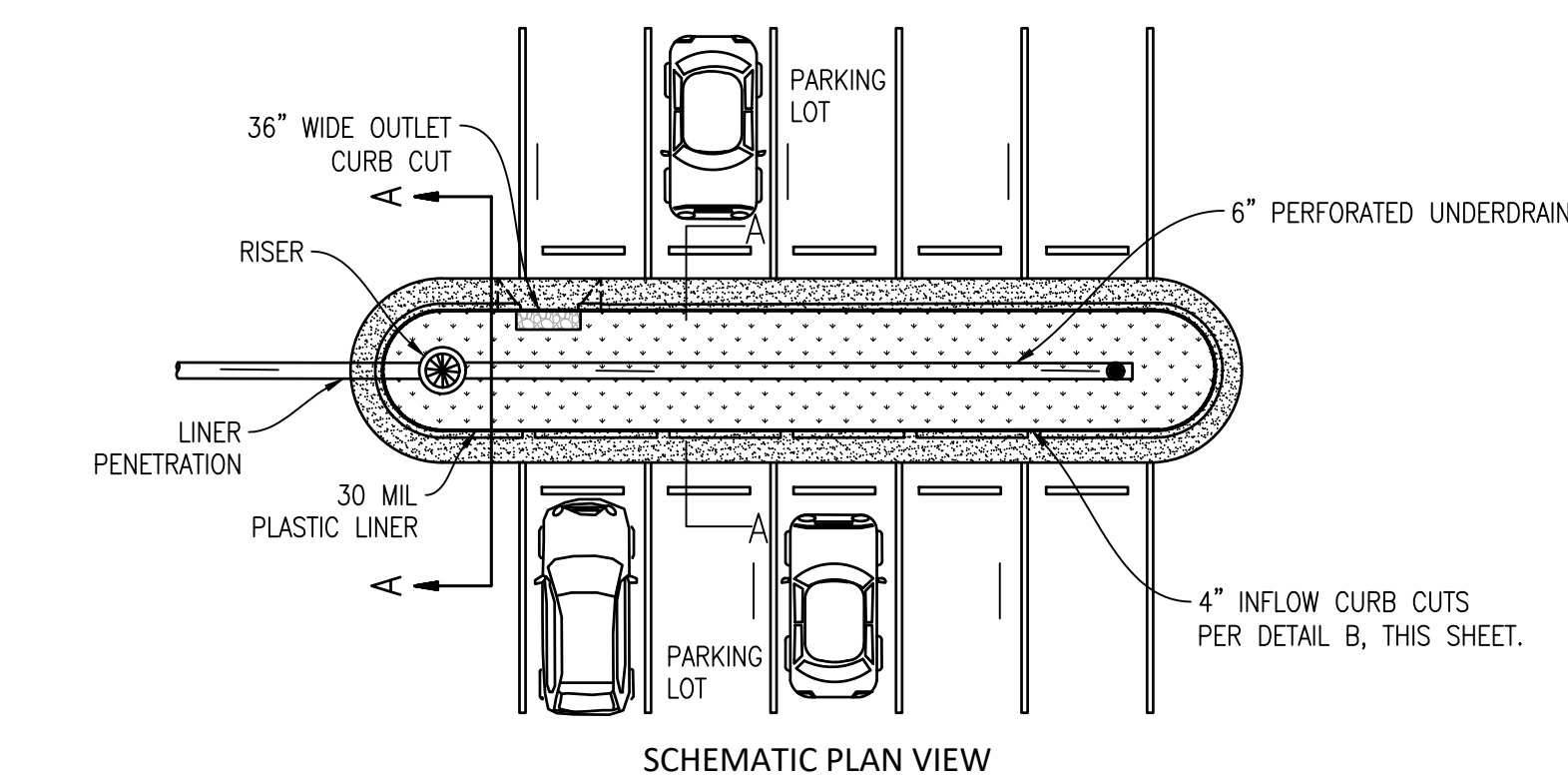
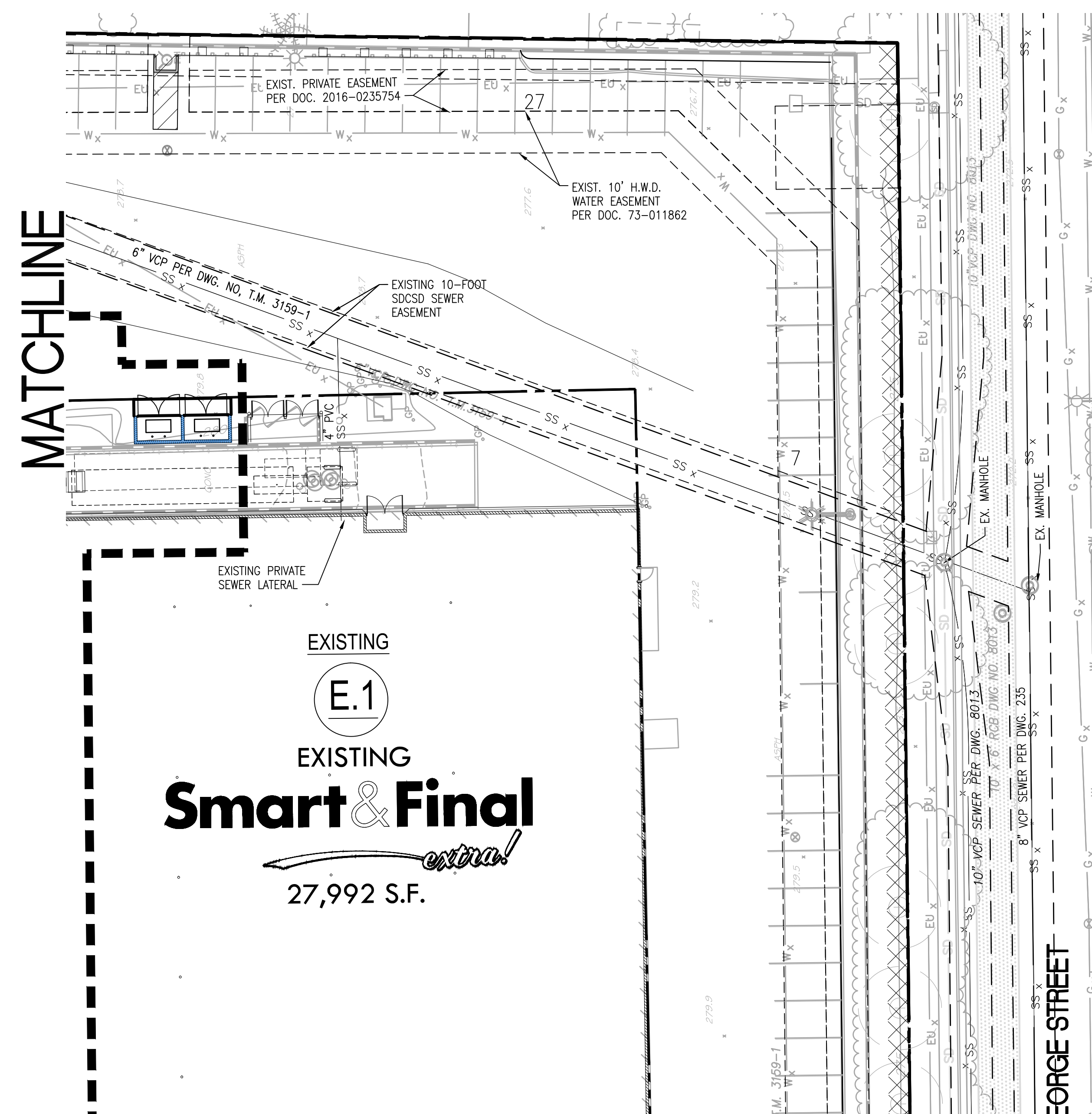
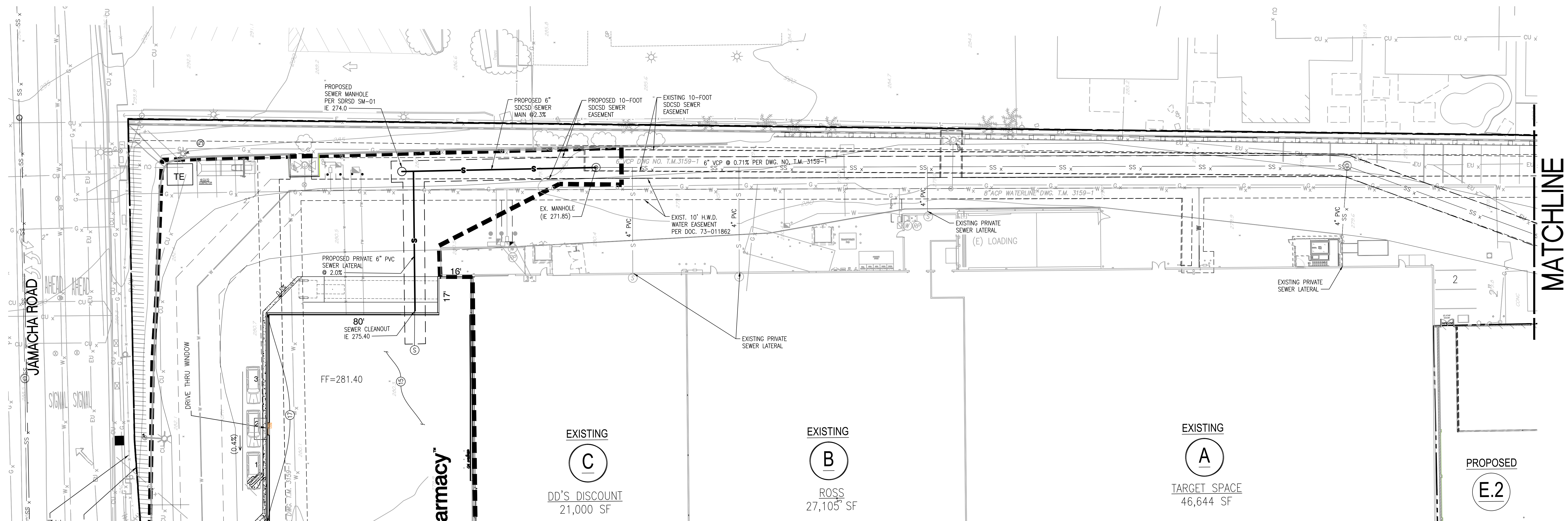
DATE:		09/26/2019	
REVISION #:	DATE:	REVISION #:	DATE:
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PROJECT NAME:
SHOPPING CENTER -
SPRING VALLEY

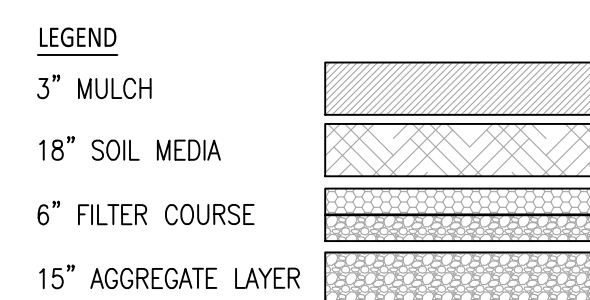
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SHEET TITLE:

PRELIMINARY GRADING PLAN

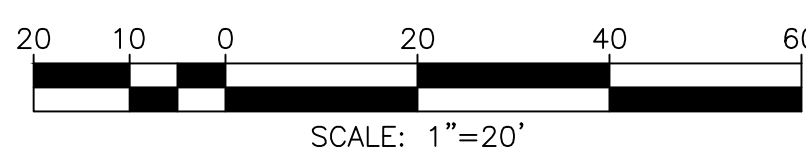
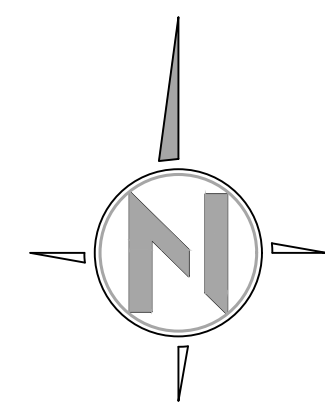


- NOTES**
1. ON CLEAN CONCRETE SURFACE, ADHERE LINER TO CONCRETE WITH SILICONE SEALANT OR EQUIVALENT PER MANUFACTURER RECOMMENDATIONS TO TOP OF LINER.
 2. SECURE LINER TO CONCRETE WITH 2" ALUMINUM OR STAINLESS STEEL FLAT BAR AS DIRECTED PER PLAN.
 3. AS AN ALTERNATE, HIF ANCHORS CAN BE SUBSTITUTED WITH STAINLESS STEEL ANCHORS AT 24" O.C. OR POWDER ACTUATED FASTENERS AT 12" O.C.
 4. TRIM EXCESS LINER TO BE FLUSH WITH SURFACE ELEVATION.
 5. CONTRACTOR MEANS AND METHODS SHOULD AVOID/ MINIMIZE WRINKLES TO THE LINER.



NOTE

1. THE PARKING LAYOUT IN THE PLAN VIEW OF THIS DETAIL IS NOT REPRESENTATIVE OF SPECIFIC SITE CONDITIONS. PLEASE SEE PLAN SHEETS FOR THE PARKING LAYOUTS AT EACH BMP.
2. LINER ATTACHMENT TO ADJACENT CONCRETE PER DETAIL C THIS SHEET.
3. THE 6" FILTER COURSE LAYER SHALL INCLUDE 3" WASHED ASTM 33 SAND OVERLYING 3" ASTM NO 8 STONE.



SHOPPING CENTER - SPRING VALLEY

S.E.C. JAMACHA RD. & SWEETWATER RD.
SPRING VALLEY, CA

PRELIMINARY
NOT FOR CONSTRUCTION



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9449 BALBOA AVE, STE 270
SAN DIEGO, CA 92123 619.299.5550



ZAAP
ZIEBARTH ASSOCIATES
ARCHITECTURE + PLANNING

PREPARED BY:
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2900 FOURTH AVENUE #204
SAN DIEGO, CA 92103
619-233-6450 (PHONE)
619-233-6449 (FAX)
WWW.ZAAP.BIZ

PROJECT ADDRESS:
935 SWEETWATER ROAD
Spring Valley, CA 91977
PROJECT NO.: 16350

DATE: 09/26/2019	
REVISION #:	DATE:
1	2
2	3
3	4
4	5
PROJECT NAME: SHOPPING CENTER - SPRING VALLEY	
SHEET TITLE:	
SEWER PLAN/DETAILS	

PROPOSED LEGEND	SYMBOL
PROPERTY LINE/RIGHT OF WAY	---
BUILDING	---
SEWER PIPE	---
WATER PIPE	---
WATER SERVICE	---
FIRE WATER SERVICE	---
STORM DRAIN	---
SAWCUT LINE	---
LIMITS OF WORK	---
SLOTTED TRENCH DRAIN	---
DIRECTION OF FLOW	---
STORM DRAIN INLET	---
OVERLAY AC PAVEMENT	---
CONCRETE PAVEMENT (CONC.)	---
LANDSCAPING	---
BIOFILTRATION BMP	---
AC PAVEMENT (AC)	---

EXISTING LEGEND	SYMBOL
PROPERTY LINE/RIGHT OF WAY LINE	---
EXISTING CENTER LINE	---
EXISTING CONTOUR	---
EXISTING SPOT ELEVATION	---
UTILITY POLE	---
LIGHT POST	---
STREET LIGHT ON POWER POLE	---
ELECTRIC VAULT	---
ELECTRIC PULL BOX	---
ELECTRIC LINE	---
OVERHEAD ELECTRIC/TELEPHONE AND CABLE LINES	---
GAS ASSEMBLY	---
GAS LINE	---
STORM DRAIN MANHOLE	---
STORM DRAIN AREA DRAIN	---
DROP INLET	---
CURB INLET	---
STORM DRAIN LINE	---
WATER METER	---
WATER VALVE	---
FIRE HYDRANT	---
FIRE DEPT. CONNECTION	---
BACK FLOW PREVENTER	---
IRRIGATION CONTROL VALVE	---
WATER LINE	---
SEWER MANHOLE	---
SEWER CLEAN OUT	---
SEWER LINE	---
SIGN	---
CONCRETE	---

CONSTRUCTION KEYNOTES
1) SEWER POC 5' OUTSIDE OF BUILDING. CONTINUATION PER PLAN
2) WATER POC 5' OUTSIDE OF BUILDING. CONTINUATION PER PLAN
3) FIRE WATER SERVICE POC 5' OUTSIDE OF BUILDING. CONTINUATION PER PLAN
4) 3" CONCRETE SWALE. SEE DETAIL ON SHEET CG2.0
5) 6" PCC CURB
6) CONCRETE SIDEWALK
7) CURB RAMP
8) CONCRETE WHEEL STOP
9) CURB OPENING
10) PCC PAVING PER SOILS REPORT
11) AC PAVING PER SOILS REPORT
12) LANDSCAPE AREA PER L.S. PLANS
13) DURASLOT SURFACE DRAIN. SEE DETAIL ON SHEET CG2.0
14) AC PAVING OVERLAY
15) CURB AND GUTTER
16) BIOFILTRATION BMP
17) EXISTING STORM DRAIN STRUCTURE TO REMAIN. REMOVE WING. PLUG CURB INLET OPENING AND RIM.
18) STRIPE ACCESSIBLE PARKING STALL
19) 24" X 24" CATCH BASIN
20) STRIPE EV STALL PER ARCH PLANS
21) TRUNCATED DOWNS
22) 12"x12" CATCH BASIN
23) SUBDRAIN STORM DRAIN PIPE
24) 5' CONCRETE SWALE. SEE DETAIL ON SHEET CG2.0
25) GRAVITY WALL WITH CURB
26) GREASE TRAP INTERCEPTOR
27) PROPOSED SEWER CLEANOUT
28) PROPOSED PRIVATE SEWER LATERAL

EARTHWORK CALCULATIONS
CUT VOLUME = 90 CYD
FILL VOLUME = 230 CYD
NET FILL = 140 CYD

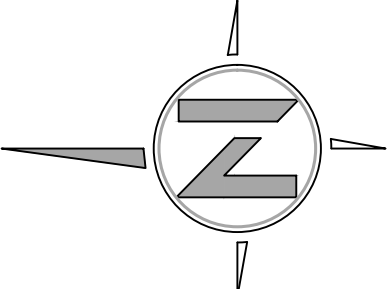
PRELIMINARY GRADING PLAN
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BASIS OF BEARING
THE BASIS OF BEARING FOR THIS WORK IS THE NAD83 CALIFORNIA COORDINATE SYSTEM, ZONE 6, GRID BEARING BETWEEN STATIONS 1209 AND 1208 PER RECORD OF SURVEY 11492.

BENCHMARK
FOUND 24" BRASS DISC STAMPED "125-K 19.61 1998" IN TOP OF CURB ON THE SOUTH SIDE OF JAMACHA ROAD PER CALTRANS CONTROL MONUMENT DATA. ELEVATION = 280.164 FEET NGVD29 DATUM.

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5	0	10	20
SCALE IN FEET 1 inch = 10 ft.			



SHOPPING CENTER - SPRING VALLEY

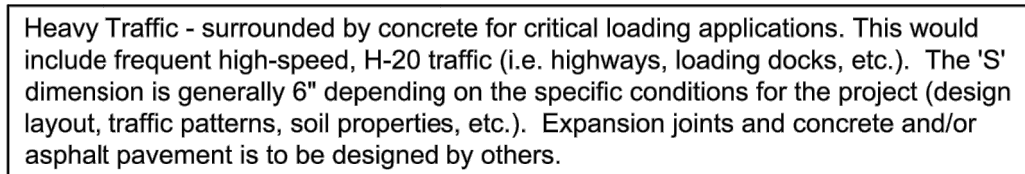
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SPRING VALLEY, CA



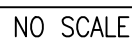
BWE
CIVIL-STRUCTURAL-SURVEY-PLANNING
9449 BALBOA AVE. STE 270
SAN DIEGO, CA 92123 619 299 5550



PREPARED BY: ZAAP, INC. 2900 FOURTH AVENUE #204 SAN DIEGO, CA 92103 619-233-8430 (PHONE) 619-233-8440 (FAX) WWW.ZAAP.BIZ	PROJECT ADDRESS: 935 SWEETWATER ROAD Spring Valley, CA 91977 PROJECT NO. 16390	DATE: 09/26/2019 REVISION # DATE REVISION # DATE 1 10/1/2019 2 10/1/2019 3 10/1/2019 4 10/1/2019 5 10/1/2019 6 10/1/2019 7 10/1/2019 8 10/1/2019 9 10/1/2019 10 10/1/2019 11 10/1/2019 12 10/1/2019 13 10/1/2019 14 10/1/2019 15 10/1/2019 16 10/1/2019 17 10/1/2019 18 10/1/2019 19 10/1/2019 20 10/1/2019 21 10/1/2019 22 10/1/2019 23 10/1/2019 24 10/1/2019 25 10/1/2019 26 10/1/2019 27 10/1/2019 28 10/1/2019 29 10/1/2019 30 10/1/2019 31 10/1/2019 32 10/1/2019 33 10/1/2019 34 10/1/2019 35 10/1/2019 36 10/1/2019 37 10/1/2019 38 10/1/2019 39 10/1/2019 40 10/1/2019 41 10/1/2019 42 10/1/2019 43 10/1/2019 44 10/1/2019 45 10/1/2019 46 10/1/2019 47 10/1/2019 48 10/1/2019 49 10/1/2019 50 10/1/2019 51 10/1/2019 52 10/1/2019 53 10/1/2019 54 10/1/2019 55 10/1/2019 56 10/1/2019 57 10/1/2019 58 10/1/2019 59 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1. BIOTENTION SOIL MEDIA (BSM) SHALL BE LIGHTLY COMPACTED AND PLACED IN LOOSE LIFTS APPROXIMATELY 12 INCHES TO ENSURE SUFFICIENT SETTLEMENT WITHOUT EXCESSIVE COMPACTION. COMPACTION WITHIN EACH LIFT SHALL BE ADEQUATE TO PREVENT SETTLING OF THE BSM.
2. CONTRACTOR SHALL HIRE A LICENSED LAND SURVEYOR TO STAKE THE SUBGRADE OF THE ROCK STORAGE LAYER, BIOTENTION PONDING SURFACE, AND TOP SLOPE OF BIOTENTION BASIN. MINIMUM SURFACE AREAS SHALL BE AS FOLLOWS:
3. CONTRACTOR IS REQUIRED TO NOTIFY OWNER OF RECORD (EOR) DURING CONSTRUCTION FOR INSPECTION OF THE SUBGRADE AND INSTALLATION OF THE LINER, ROCK STORAGE, SUBDRAINAGE, SOIL MEDIA AND OVERFLOW STRUCTURE PRIOR TO ANY EROSION CONTROL MEASURES.
4. REMOVE ALL WEEDS AND REPLACING AS NEEDED FOR PROPER INSPECTION.
5. PROVIDE AN AS-BUILT SURVEY PREPARED BY A LICENSED AND SEALED SURVEYOR WITH THE BIOTENTION BASIN.
6. CONTRACTOR SHALL PROVIDE CONTRACTOR SUBMITTALS FOR ALL RETENTION MATERIALS FOR THE EOR'S REVIEW. THESE SUBMITTALS SHALL INCLUDE BUT NOT BE LIMITED TO: SOIL MIX, MULCH, FILTER LAYER, AGGREGATE BASE, IMPERMEABLE LINER AND OVERFLOW STRUCTURE.



NO SCALE

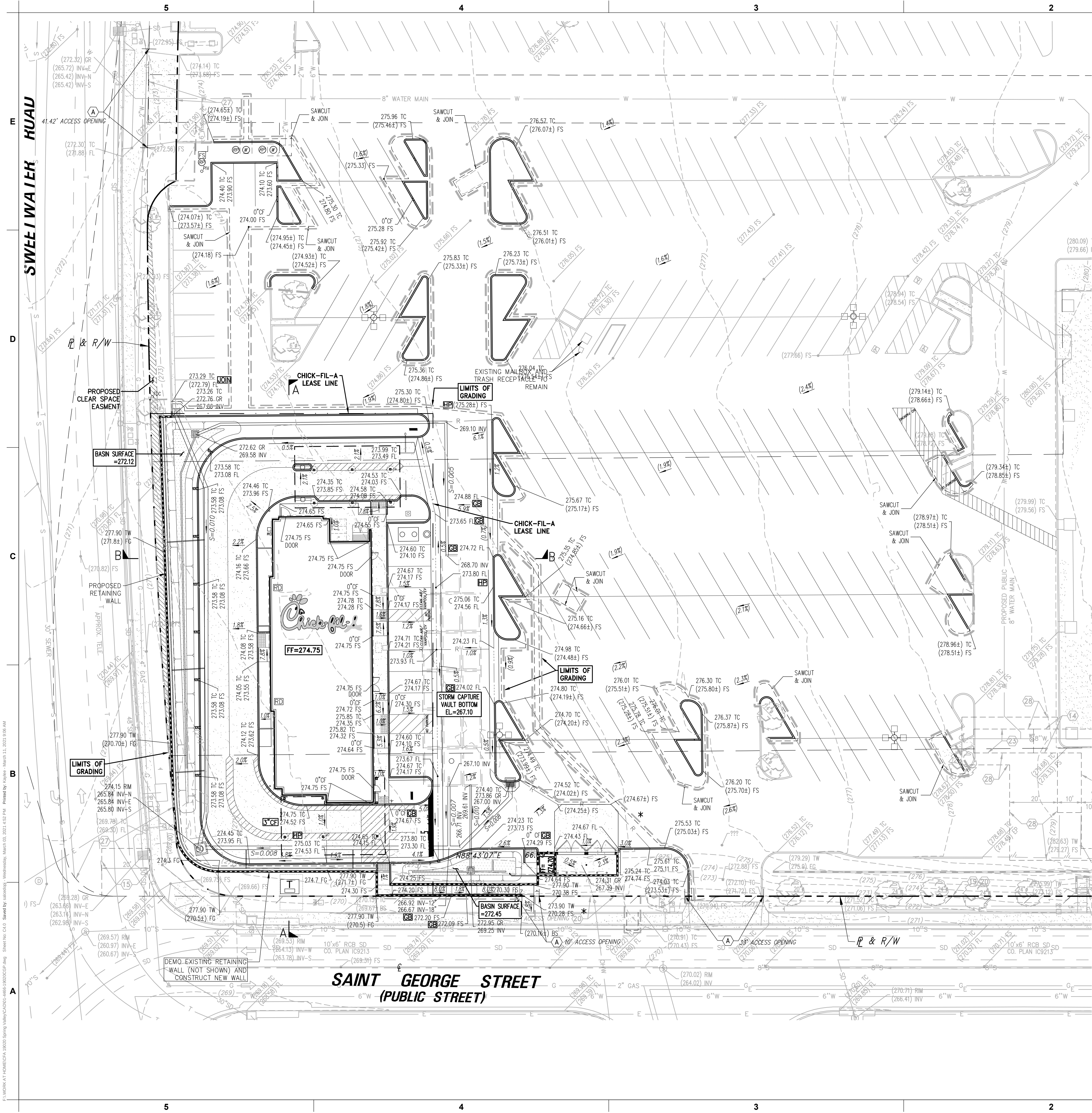
SHOPPING CENTER - SPRING VALLEY

S.E.C. JAMACHA RD. & SWEETWATER RD.
SPRING VALLEY, CA

BWE
CIVIL STRUCTURAL SURVEY PLANNING
9449 BALBOA AVE, STE 270
SAN DIEGO, CA 92123, 299.5550

ZA
ZIEBARTH ASSOCIATES
ARCHITECTURE + PLANNING

PREPARED BY: ZAAP, INC. 2900 FOURTH AVENUE #204 SAN DIEGO, CA 92103 619-233-6450 (PHONE) 619-233-6440 (FAX) WWW.ZAAP.BIZ		PROJECT ADDRESS: 935 SWEETWATER ROAD Spring Valley, CA 91977 PROJECT NO. 16590	
DATE: 09/26/2019		PROJECT NAME: SHOPPING CENTER - SPRING VALLEY	
REVISION # DATE		SHEET TITLE:	
1		PRELIMINARY GRADING PLAN	
2		C4.0	



LEGEND

AB = AGGREGATE BASE
AC = ASPHALT CONCRETE
BLK = CONCRETE BLOCK
BS = BACK OF SIDEWALK
CB = CATCH BASIN
CF = CURB FACE
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CO = CLEANOUT
DCV = DETECTOR CHECK VALVE
DS = ROOF DOWNSPOUT
EG = EDGE OF GUTTER
EP = EDGE OF PAVEMENT
FD = FOUND
FDC = FIRE DEPT. CONNECTION
FF = FINISHED FLOOR
FG = FINISHED GRADE
FH = FIRE HYDRANT
FL = FLOW LINE
FS = FINISHED SURFACE
GB = GRADE BREAK
GM = GAS METER
GR = TOP OF GRATE
GV = GAS VALVE
HP = HIGH POINT
HT = HEIGHT
IC = IRRIGATION CONTROL VALVE
IP = IRON PIPE
LS = LIGHT STANDARD
L&T = LEAD & TAG
MH = MANHOLE
NG = NATURAL GROUND
N&T = NAIL & TAG
CHW = OVERHEAD WIRE
PB = PULL BOX
PCC = CONCRETE
PIV = POST INDICATOR VALVE
PL = PROPERTY LINE
RD = ROOF DRAIN
RWH = REDWOOD HEADER
SCB = SIGNAL CONTROL BOX
SMH = SEWER MANHOLE
SPK = SPIKE
SW = SIDEWALK
TC = TOP OF CURB
TE = TRASH ENCLOSURE
TP = TELEPHONE POLE
TRAN = TRANSITION
TRANS = TRANSFORMER

TRW = TOP OF RETAINING WALL
TW = TOP OF WALL
UC = UNDERGROUND
UP = UTILITY POLE
VAR = VARIABLE
W = WASHER
WOF = WOOD FENCE
WM = WATER METER
WV = WATER VALVE
N. = NORTH
S. = SOUTH
E. = EAST
W. = WEST
N/LY = NORTHERLY
S/LY = SOUTHERLY
E/LY = EASTERLY
W/LY = WESTERLY
N/O = NORTH OF
S/O = SOUTH OF
E/O = EAST OF
W/O = WEST OF
P. = PROPERTY LINE
C. = CENTERLINE
R/W = RIGHT OF WAY
Δ = DELTA
R = RADIUS
L = LENGTH
T = TANGENT
M = MEASURED DATA
C = CALCULATED DATA
(RAD) = RADIAL BEARING
PRO = PROPORTIONATE MEASUREMENT
(210.00' R) = RECORD DATA
(210.00' M) = MEASURED DATA
(210.00' PRO) = PROPORTIONATE DATA
(210.00' C) = CALCULATED DATA
(427.00' TO) = EXISTING ELEVATION
427.00' TC = DESIGN ELEVATION
CATV = CABLE TV LINE
E = ELECTRICAL LINE
G = GAS LINE
GB = GRADE BREAK LINE
R = ROOF LINE
S = SEWER LINE
SD = STORM DRAIN LINE
T = TELEPHONE LINE
W = WATER LINE

SYMBOLS

FIRE HYDRANT
STREET LIGHT
TRAFFIC SIGNAL
TRAFFIC SIGNAL ARM & POLE
LIGHT STANDARD
UTILITY POLE
GUY WIRE & ANCHOR
WATER METER
GAS METER
WATER VALVE
GAS VALVE
PULL BOX
GRATE INLET
SIGN
VENT
SEWER MANHOLE
STORM DRAIN MANHOLE
TELEPHONE MANHOLE
MANHOLE
SEWER CLEANOUT
MONITORING WELL
HANDICAP PARKING STALL
LANDSCAPED AREA
PROTECT IN PLACE
REMOVE AND DISPOSE OFFSITE
RELOCATE
PIOTABLE EASEMENT ITEM
No. PER TITLE REPORT
427.0 EXIST. CONTOUR
427.0 DESIGN CONTOUR

THIS PLAN IS:
PRELIMINARY
(NOT FOR CONSTRUCTION)

NOTICE TO CONTRACTOR
THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.
IMPORTANT NOTICE
Section 4216 of the Government Code requires a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number call Underground Service Alert CALL 811 Two working days before you dig.

PRELIMINARY GRADING PLAN NOTE:

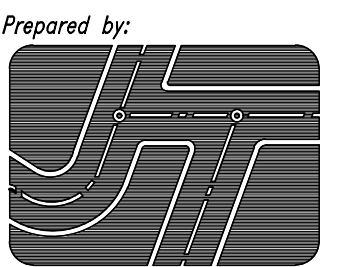
THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSIONS BEFORE COMMENCING SUCH ACTIVITY.

* EASEMENT NOTE:

THE EXISTING ACCESS RELINQUISHMENT EASEMENT SHALL BE REMOVED UPON THE RECORDATION OF THE NEW ACCESS EASEMENT AT THE PROPOSED DRIVEWAY ALONG SAINT GEORGE ST. AS SHOWN ON THIS PLAN.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



Joseph C. Truxaw & Associates, Inc.
Civil Engineers and Land Surveyors
1915 W. ORANGEWOOD AVE.
SUITE 101
ORANGE, CA 92668
(714) 935-0265
(714) 935-0106 (FAX)



CHICK-FIL-A
HWY 125 & JAMACHA RD, FSU
931 Sweetwater Rd., Spring Valley, CA 91977

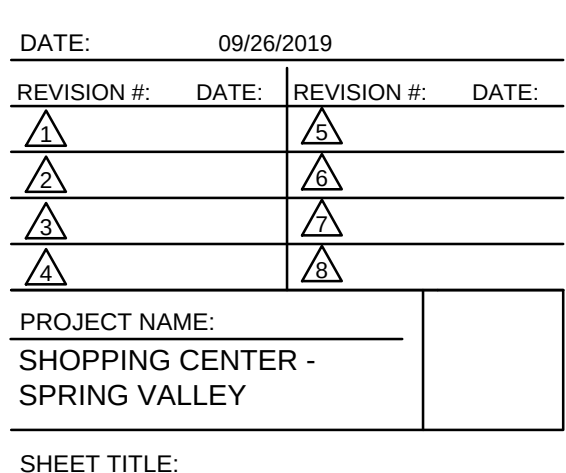
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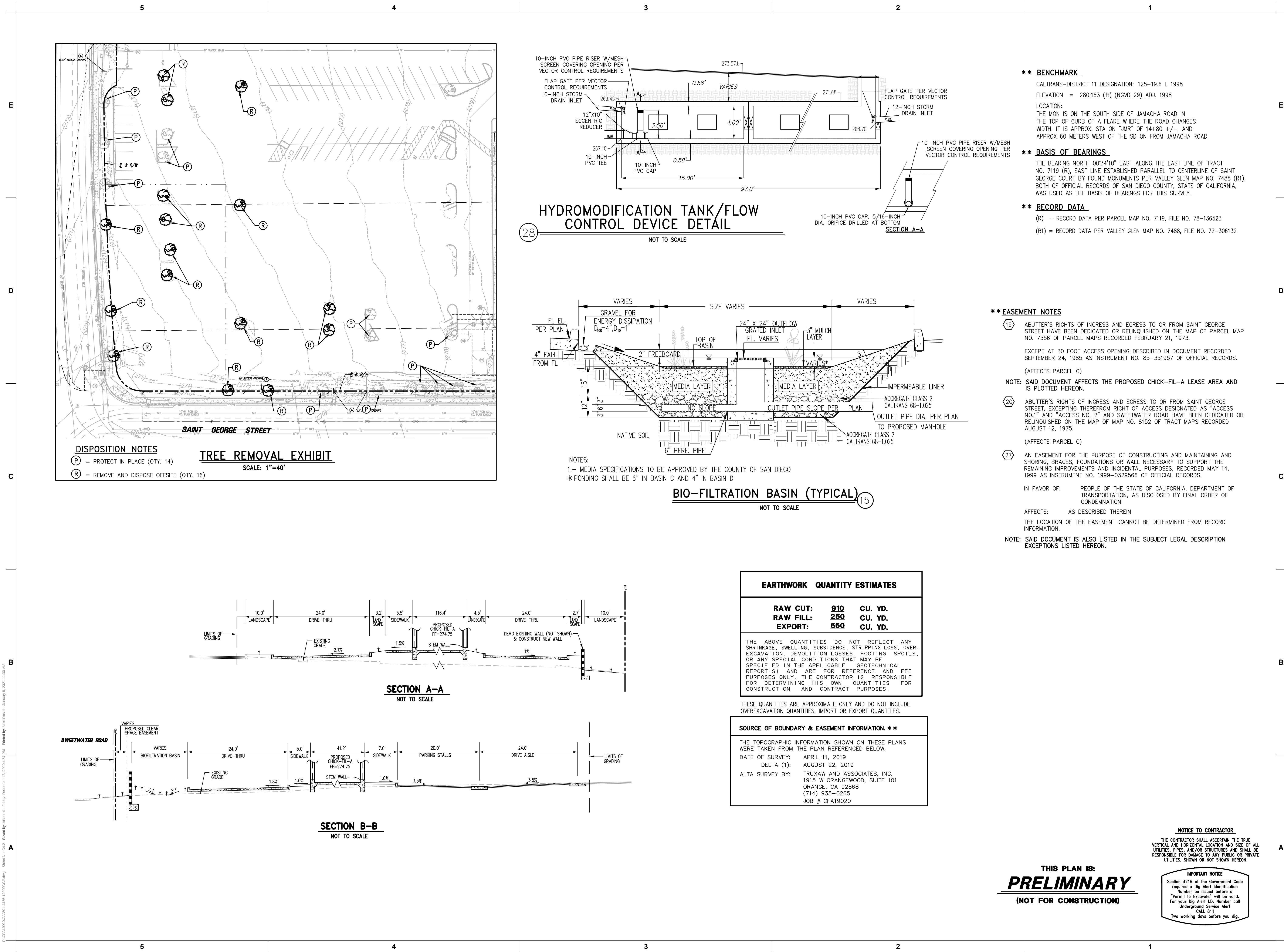
REVISION SCHEDULE
NO. DATE DESCRIPTION

ENGINEERS PROJECT # CFA19020
PRINTED FOR CONSTRUCTION
DATE 03-10-21
DRAWN BY PJS

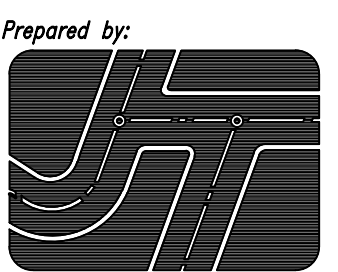
SHEET
PRELIMINARY GRADING
PLAN

SHEET NUMBER
C4.0





Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



JOSEPH C. TRUXAW
& ASSOCIATES, INC.

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Land Surveyors
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CHICK-FIL-A
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931 Sweetwater Rd., Spring Valley, CA 91977

FSR# 04466

REVISION SCHEDULE
NO. DATE DESCRIPTION

ENGINEERS PROJECT # CFA19020
PRINTED FOR CONSTRUCTION
DATE 01-08-21
DRAWN BY PJS

SHEET
PRELIMINARY
CONSTRUCTION NOTES

SHEET NUMBER

C4.2

