

Lilac Hills Ranch SPECIFIC PLAN

West Lilac Rd. Residential Street Scene



Lilac Hills
Ranch

Town Center Retail



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A. Lilac Hills Ranch Community Design Concept

With the adoption of the General Plan Update by the Board of Supervisors in August 2011, the Lilac Hills Ranch specific plan will be one of the first large scale projects to be considered by the County under the revised General Plan's new Goals and policies. These newly adopted regulations replaced planning concepts first adopted as long ago as 1979. The General Plan Update includes ten basic principles upon which all of the Goals and Policies of the six adopted elements of the Update rest. These principles include the following:

1. Support a reasonable share of projected regional population growth.
2. Promote health and sustainability by locating new growth near existing and planned infrastructure, services, and jobs in a compact pattern of development.
3. Reinforce the vitality, local economy, and individual character of existing communities when planning new housing, employment, and recreational opportunities.
4. Promote environmental stewardship that protects the range of natural resources and habitats that uniquely define the County's character and ecological importance.
5. Ensure that development accounts for physical constraints and natural hazards of the land.
6. Provide and support a multi-modal transportation network that enhances connectivity and supports community development patterns and, when appropriate, plan for development which supports public transportation.
7. Maintain environmentally sustainable communities and reduce greenhouse gas emissions that contribute to climate change.
8. Preserve agriculture as an integral component of the region's economy, character, and open space network.
9. Minimize public costs of infrastructure and services and correlate their timing with new development.
10. Recognize community and stakeholder interests while striving for consensus.

In the process of designing, revising, and finally submitting the specific plan for review by the County, the applicants have taken into consideration how the project will advance each of these principles. The General Plan states that:

".. sustainability is a key theme of this General Plan and is inextricably related to a number of General Plan elements, as well as land use topics."

The land use plan for the Lilac Hills Ranch has been specifically designed to encourage pedestrian-oriented sustainable Community design. The specific plan

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utilizes the compact model of sustainable village development and includes a variety of small lot sizes, single family attached and mixed-use housing in a compact development footprint to reduce development impacts, reduce traffic trips both on-site and off-site and transfers the burden of many traditional public improvement costs to private development.

Future residents in Lilac Hills Ranch will benefit from the pedestrian orientation and priority that governs the layout of the streets and trails; the diversity in housing and services; a well preserved and maintained natural landscape; and the ongoing quality of life of the Community.

B. Street System Development Standards**1. Public Roads****a. Off-Site Circulation Plan**

Regional access to Lilac Hills Ranch is from West Lilac Road, a Mobility Element Road, which forms most of the northern boundary of the Community. The project includes a General Plan Amendment to the Mobility Element to change West Lilac Road's Mobility Element Classification from a 2.2C to a 2.2F Light Collector. Currently, this Classification change occurs at the intersection of West Lilac Road and ~~Covey Lane~~Running Creek Road and this project proposes to move this Classification transition point to the future westerly intersection of West Lilac Road and Main Street. The on-site frontage portion of West Lilac Road will be will be constructed as required by PDS based upon 2.2F road standards (**Figure 16 – Proposed Mobility Element Plan**). West Lilac Road, a public road is designed to comply with County Mobility Element standards (as submitted with noted exceptions) for public streets and with the Valley Center Community Right of Way Development Standards which provides standards for public road improvements. From the Community, West Lilac Road leads directly west to the Walter F. Maxwell Memorial Bridge over I-15 with access to the freeway both north and south and to State Route 76 heading west and east. Off-site roadway improvements are identified in the Traffic Impact Study.

b. Public Road System Improvements**~~West Lilac Road~~**

West Lilac Road is designated as part of the County maintained road system which for the segment fronting Lilac Hills Ranch currently exists largely without benefit of a dedicated public right of way. The Community will dedicate and construct a portion of West Lilac Road (as submitted with noted exceptions) which forms the northern boundary of the Community to Mobility Element standards as required by PDS and shown on the Implementing Tentative Map.

Lilac Hills Ranch proposes to dedicate and install a Community pathway along the entire on-site length of the south side of West Lilac Road. This pathway will be built as a Type D – Pathway (Typical) Existing Conditions within a 12-foot section of the road right of way including an 8-foot Decomposed Granite (DG) treadway and landscaping per the guidelines and standards set forth herein. A maximum 6-foot tall noise wall (this may be a combination of earthen berms and block walls) along the property line on the south side of the road, buffering residences from traffic noise, will be constructed.

Covey Lane: Located about half way down the eastern boundary of Lilac Hills Ranch is an on-site private road connecting to a public right-of-way/easement on the eastern end of Covey Lane just west of West Lilac Road. The off-site public portion of this road will be improved within an existing road easement Irrevocably Offered for Dedication to the County for a distance of approximately 600 feet to its connection with West Lilac Road. The road will be improved to interim County public road standards (28-foot paved width on a 40-foot graded section).

Mountain Ridge Road: In the event that the County of San Diego decides that Mountain Ridge Road shall be converted from a private easement road to a public road, it is anticipated that the new public road would be classified as a Rural Residential Collector with a 40-foot right-of-way. Under this scenario it is likely that improvements for the new public road would require some level of encroachment into a recorded open space easement. A Vacation of and Re-dedication of Open Space would be required to adjust the Vacation boundaries and mitigation under the standards then in force will be required.

2. Private Roads

a. Community Circulation Plan

The on-site circulation plan for Lilac Hills Ranch creates an efficient network of private roadways to accommodate the Community's traffic. The Project Internal Circulation plan is illustrated in **Figure 24 – Project Internal Circulation**, and typical street sections are provided as **Figures 25** through **51**. Within Lilac Hills Ranch, local residential streets define land uses and provide multiple access routes. Special standards are established by this Specific Plan to reflect the traditional character and rural theme of the Community. One of the more important aspects of the planning for Lilac Hills Ranch was to prioritize pedestrian activity. Pedestrian safety is essential to achieving this goal and that requires multiple approaches to traffic calming. The Community has implemented traffic calming features including: roadway design (such as roundabouts, one-way streets and slightly curved streets), road features (such as bulb-outs and on-street parking) and landscaping (such as landscaping areas for trees to be planted close to the curb) to cause automobile drivers to reduce their travel speeds without resorting to less effective measures (such as speed bumps or

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posted speed limits). The Lilac Hills Ranch EIR, General Plan Amendment Report and Traffic Study describe all of the circulation improvements and their benefits in detail.

The Community road system is designed to meet the requirements of the forecast future traffic volumes. Some of these design features will include streetlights and standard curbs and gutters where appropriate (such as the Town Center and Neighborhood Centers).

b. On-Site Private Road Improvements

The private road system completes the Community road system. The Community streets are private roads, built to: (a) meet the private road standards included in this specific plan on **Figures 25** through **52**; **and (b)** achieve the Community Goals; and (c) meet the minimum standards of the County Consolidated Fire Code and the DSFPD standards. The private roads will be implemented, owned, operated, and maintained with either dedicated fee title or easements to the future Community HOA. The entire road system in the Community is available to the general public for access from the public road network with the exception of the Senior Citizen Neighborhood which includes gates at both the northern and southern entrances. There are three categories of private streets; major, minor and cul-de-sacs, each with specific design standards.

- i. **Major Private Streets** include a 26 to 40 feet wide pavement within a 36 to 62 feet wide easement including up to a 6-foot wide landscaped parkway separating a 5-foot wide detached meandering sidewalk on each side of the road from the street. In some instances, this occurs on only one side of the road and the other side of the road has a dual use trail.
- ii. **Minor Private Streets** include a 32 to 36 feet wide pavement within a 42 to 58 feet wide easement including either a meandering 6-foot wide landscaped parkway or a 5-foot wide detached sidewalk separated from the street by up to a 5-foot wide meandering landscaped parkway. These types of streets are not expected to see average daily vehicular traffic exceeding 1,500 trips.
- iii. **Private Cul-de-sac or loop Streets** include a 32-foot pavement within a 42 to 54 feet wide easement including either a meandering 6-foot wide landscaped parkway or a 5-foot wide detached sidewalk separated from the street by up to a 5-foot wide meandering landscaped parkway. These types of streets are not expected to see average daily vehicular traffic exceeding 400 trips on the Cul-de-Sac streets, and 200 trips on Loop Streets.
- iv. **Roundabouts:** An additional traffic calming feature used in conjunction with the Couplet is the roundabout. This feature is used at selected traffic intersections to help manage the flow of traffic and enhance the pedestrian activity. For example, four roundabouts are proposed on Main Street in Phase 1: (one on each entry into the Community at the west and east side of Main

Street, one at the westerly intersection of Main Street and Street C, and one at the easterly intersection of Main Street and Street Z.) Roundabouts will be designed in accordance with appropriate County standards.

- v. **Main Street** is the primary entry into Lilac Hills Ranch and serves as the formal public road gateway, introducing the Town Center identity and character. Within Lilac Hills Ranch, Main Street consists of a western segment, a middle segment, and an eastern segment. The western and eastern segments are nearly identical in their typical section consisting of a 51 to 73 feet wide private street lot with two 13-foot travel lanes and two 5 foot wide bike lanes in either direction separated by a landscaped 5 to 10 feet wide median and landscaped parkways on both sides of the street. On street parking will be provided on one-side of the street as necessary. In addition a Private Ride Sharing facility will be allowed on the designated HOA lot in Phase 1, shown on Figure 130 – Interim Mail Pickup Station / HOA Ride Share Facility. This facility will provide convenient parking facilities for residents and the public who can use this facility for trips outside the Community including the public Park and Ride facility at the intersection of SR76 and I-15. The facility will also include secured parking for bicycles.

The middle segment within the Town Center splits the road into 2 one way roads often referred to as a couplet. The southern leg (east bound) has commercial/mixed-use development on both sides of the road as it enters the Town Center from the west and exits the Town Center on the east. The street section for the majority of the couplet consists of a 50-foot private street lot allowing for a 13-foot travel lane, 5-foot bike lane, and 8 feet for on-street parking on both sides (the road section narrows by 5-feet at the town square, along the square's parkway). Turn lanes can occur as needed to access uses on both sides of each couplet street.

The purpose of the couplet is to implement a pedestrian-prioritized dimension while carrying the same volume of traffic as provided by a conventional large capacity street system at lower vehicle speeds. A significant portion of the southern leg is planned for commercial/mixed-use buildings on both sides of the street. The Town Center design standards allow for the commercial-mixed-use buildings on both sides of the street and for this portion of the segment to front directly behind the curb so that the second story can extend over the sidewalk (see **Figures 75, and 77**). The effect is to create a pedestrian arcade, directly at the curb. This is a vintage design configuration found in many old towns across the country, integrating pedestrian movement through architectural facades that foster activities such as sidewalk dining, farmers markets and sidewalk art fairs. These planning features integrate the building and streets to establish a small town feel and reinforce the pedestrian dominance of the town center and identity of the Town Center as a pedestrian

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place. This is a classic traffic calming and Community enhancement strategy brought to the Town Center to help in place making.

The northern leg (west bound) of the couplet is aligned one block north providing a brief sense of an urban grid, with parks, and commercial-mixed uses on the south side of the street and with single family detached and attached uses on the north side of the street.

- vi. **Couplet Alternative:** The intent of the Specific Plan is to include the couplet as the road design for the segment shown for Main Street in the Town Center area of Phase 2. The couplet is a significantly more expensive road design because two roads are being built instead of one. This Specific Plan provides for this design feature but does not require its implementation due to economic uncertainties. The Specific Plan also provides the street section for this segment of Main Street without the couplet and based upon standard County public road design. The decision whether to go forward with the couplet design or to use a standard County road design will be resolved with the recordation of the Final Map for Phase 2.

The EIR includes this alternative design for Main Street in the event the couplet is not implemented with the Phase 2 Final Map. The design includes, in addition to the road design change for Main Street, the minor adjustments to the configuration of uses for the adjacent parcels, and other streets and intersections. The discussion in the EIR assesses any land use impacts in terms of numbers of dwelling units, amount of commercial and/or mixed-use gained or lost and revised **Table 3 – Land Use Summary by Phase** also included to show any adjustments in area or dwelling units. Implementation of the standard road design will not require a Specific Plan Amendment or a revised Master Tentative Map. The alignment of the alternative design for Main Street would be between the two couplets.

- vii. **Private Road Surfacing:** Permeable road pavers, meeting applicable private road and Consolidated Fire Code requirements may be allowed as a road surface on the private road system within the Lilac Hills Ranch Community. Permeable pavers have been a preferred design element for both commercial and residential developments due their enhanced durability, low maintenance requirements, aesthetic character and low environmental impact. Pavers have the ability to visually and audibly alert drivers to slow down as they are entering areas with increased pedestrians and bicycle riders such as town centers, schools and interior residential areas. This will greatly enhance the safety, quality of life and promote walkability of any neighborhood.

The permeable paver structural section offers significant capacity to store excess runoff volume within the void spaces of the base material. Pavers add another component to the storm water runoff treatment that further enhances the runoff water quality leaving the project site. In conjunction with the reduced

detention basins, bio-retention area and other BMP facilities, the paver will greatly contribute to the proposed project being hydrologically invisible.

c. Off-Site Private Road Improvements

Lilac Hills Ranch includes additional access to the County road system via four private road easements.

- i. **Lilac Hills Ranch Road:** This private easement connection is located immediately north of Covey Lane for a distance of approximately 500 feet. This 62-foot easement will be improved off-site on a parcel of land owned by the owners of Lilac Hills Ranch. The easement will be improved to 40-foot wide per County Private Road standards (Two 12-foot travel lanes with two 8-foot parking lanes).
- ii. **Street B;** This private easement connection is located approximately 1,500 feet to the south of Covey Lane along the eastern boundary within the central portion of the Senior Citizen Neighborhood of Lilac Hills Ranch. This private easement will provide access for the central portion of the Senior Citizen Neighborhood easterly to Rodriguez Road just south of the West Lilac Road and Covey Lane intersection. This 50-foot easement will be improved off-site for a distance of 310-feet to its connection with Rodriguez Road. The easement will be improved to provide for two 12-foot travel lanes to County Private Road standards. Rodriguez Road is also a 40-foot wide private easement road that may require surface improvements necessary to accommodate the access requirement for the Phase 4 gated access easement road.
- iii. **Mountain Ridge ~~Road~~ (Private):** This private easement connection is located at the southerly terminus of Lilac Hills Ranch Road as it exits the Senior Citizen Neighborhood of Lilac Hills Ranch. This private easement will provide access for the southern portion of the Senior Citizen Neighborhood to Circle R Drive, a County maintained public road with access to the west to Old Highway 395. This 40-foot easement will be improved off-site for a distance of 3,800 feet to its connection with Circle R Drive. The easement will be improved to provide for two 12-foot travel lanes to County Private Road standards.

iv. **Mountain Ridge Road (Public):** In the event that the County of San Diego decides that Mountain Ridge Road shall be converted from a private easement road to a public road, it is anticipated that the new public road would be classified as a Rural Residential Collector with a 40-foot right-of-way. Under this scenario it is likely that improvements for the new public road would require some level of encroachment into a recorded open space easement. A Vacation of and Re-dedication of Open Space would be required to adjust the Vacation boundaries and mitigation under the standards then in force will be required.

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iv.v. Rodriguez Road; This existing 40-foot wide private road easement bisects Phase 5 of Lilac Hills Ranch, approximately 1,300 feet northerly of the southern-most project boundary, and then heads offsite, northerly, for about 2,650 feet until it dead-ends into Covey Lane about 60' westerly of the intersection of Covey Lane and West Lilac Road. This existing paved private road will only provide emergency access for Phases 4 & 5 of Lilac Hills Ranch. Access to Rodriguez Road from Lilac Hills Ranch will be restricted by a fire apparatus access gate that will only be opened during emergencies. Rodriguez Road may require surface improvements necessary to accommodate the emergency access requirements for Phases 4 & 5.

d. Parking

Residential developments will provide off-street parking in the form of garages and on residential driveways. On-street parking will also be provided.

The Town Center will accommodate its parking needs through a combination of on-site parking spaces required for each dwelling unit, a shared parking permit (Administrative Permit) as required by County Ordinances for the Mixed-Use and Commercial services parking, and use of on-street parking.

e. Senior Transportation Service

With the build out of the Senior Neighborhood the HOA may, if financially feasible, operate a private transportation service such as a small van or flex shuttle within the Community capable of providing door-to-door delivery of resident seniors from their residences to the various senior facilities within the Senior Neighborhood. The service may be expanded to provide service between the Senior Neighborhood and the Town and Neighborhood Centers.

The school, public parks, private parks, private recreation site, and Water Reclamation Facility site provide on-site parking areas adequate to accommodate average daily needs for staff and visitors and this parking shall be shared with the adjoining uses when possible. The parking areas will all include perimeter and interior landscaping. Street parking when provided will be considered as part of the overall parking requirements for each permitted project. These facilities will provide additional shared parking opportunities for the surrounding uses.

3. Trail Network

Lilac Hills Ranch has an extensive trail network of ~~32~~over 16 miles that establishes the pedestrian priority of the community that will encourage residents and visitors to park their vehicles and explore the Community via the trails network, as encouraged by a number of General Plan policies. ~~All the trails will be~~ As described further below the Ranch Multi-Use trail would be located within a public easement dedicated to the ~~public~~County and ~~maintained by the Lilac Hills Ranch HOA except those~~the Multi-Purpose Pathway would be located within the ~~gated Senior Citizen Neighborhood and~~

~~within or between~~ West Lilac Road right-of-way. Both would allow public use. The Community and Feeder trails would be located within private ~~residential lots or homes~~ easements granted to the HOA. Community and Feeder trails located within Phases 4 and 5, which ~~will~~would only be available to the Gated Senior Citizen Neighborhood as described below.

The Multi-Use Trails (shown on the County Master Trails Plan), and Ranch Multi-Use Trails are public trails which will be maintained by the HOA. Also included are Community Trails and Feeder Trails which will be private trails, available to the public other than the Feeder Trails within the Senior Citizen Neighborhood.

~~The Senior Citizen Neighborhood is bounded by the Ranch Multi-Use Trail on the west, south and part of the east.~~ A staging area and trailhead is provided in Phase 2, co-located with the Recycling Facility (**Figures 60 and 61**) which provides a central location for access to the trail system. The staging area and trailhead will be open to the public. On-street parking is located throughout the Community and will accommodate visitors to the area who wish to access the trail network.

Crosswalk buttons shall be installed for equestrians at all signalized intersections that intersect with multi-use trails. Motorcycles and off-road vehicles shall be strictly prohibited on all Multi-Use, Community, and Feeder trails.

Public Trails on the County Master Trails Plan include two County Regional trails planned to cross the Lilac Hills Ranch Community. The first trail, located in Phase 1 roughly parallels ~~'Existing'~~ West Lilac Road in an east-west direction along the northern boundary of the Community and is classified as a Third Priority Pathway by the County. The second trail, also classified as a Third Priority Pathway is planned to cross from east to west along an existing ~~VCMWD~~SDCWA water easement in Phase 4, a portion of which ~~may~~will be constructed on-site. They are available for equestrian use as multi-use trails. Additional trails are provided by the Ranch Multi-Use Trail, Feeder Trail, and Community Trails as described further below:

a. Multi-Purpose Pathway (Type D – Pathway ~~(Typical) Existing Conditions~~)

A Multi-~~Purpose Public Use~~ pathway is ~~located as~~ shown on **Figure 21**. The Type D – ~~Pathway (Typical) Existing Conditions Multi-Purpose~~ Pathway is located on-site ~~within the pathway (south side)~~ of West Lilac Road and includes an 8-foot decomposed granite treadway, within a 12-foot to 15-foot landscaped pathway. As the trail enters the property from the west it is looped southerly on-site away from West Lilac Road for a short distance to better accommodate the trail design and to reduce environmental impacts before it connects up to the pathway segment within the West Lilac Road right-of-way. The segment within the loop is labeled as a Ranch Multi-Use Trail which also allows for equestrian uses. This connects to the Ranch Multi-Use Trail that extends to the southern edge of the Community including linkages to the County Multi-Purpose trail at the southeast and southwest of the Community in Phase 5.

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b. Ranch Multi-Use Trail

The Ranch Multi Use Trail type includes two different trail standards. The County Master trail segment which passes through the southern portion of the Community includes over the SDCWA easement will be classified as a public Ranch Multi Use trail, but will be built to the same Type D standard as the Type D trail along West Lilac Road (12-foot to 15-foot trail easement with an 8' graded/surfaced treadway and surfaced with decomposed granite or other suitable material).

The north-south Ranch Multi-Use Trail system located within the natural and/or improved open space is also located within a public trail easement. The Ranch Multi-Use Trail is used to connect to the County Master trail segments on the north and south of the Community and the Feeder Trails. This public trail easement will be 10 to 12 feet wide and the treadway will be a minimum 3-foot wide constructed with decomposed granite or other suitable material per the county Type C trail standards.

c. Community Trails

The Community Trails as shown on the Lilac Hills Ranch Trails Plan (Figure 20) provides provide access from one neighborhood to another, from the Town Center to the northern Neighborhood Center and connects connect to the County Regional Trails, Ranch Multi-Use Trails and Feeder Trails. Community private trail easements will be 5-12 feet wide with a minimum 3-foot decomposed granite treadway. These trails will be privately owned and maintained by the HOA and open to the public except the trails within Phases 4 and 5, which would not be available to the public.

d. Feeder Trails

~~These public and private~~ The Feeder Trails are multi-purpose trails are located within private neighborhoods, community open space, and dedicated open space within public private trail easements which parallel private streets in the Community. These trail easements will be between 5 to 12 feet wide and the treadway will be a minimum of 2 feet wide constructed with native materials from their immediate location, decomposed granite or other suitable material. These trail will be privately owned and maintained by the HOA and open to the public except the trails within Phases 4 and 5, which would not be available to the public.

e. Bike Lanes, Paths and Paths Parking

Bike travel is accommodated both on Main Street with 5-foot wide bike lanes in each direction (including through the Town Center) and on all of the Multi-Purpose and Multi-Use trails. These bike lanes and trails will provide another alternative to the automobile and further prioritize non-automotive transportation within the Community. In addition, these bike lanes and trails are designed to increase the safety of the bicyclist as they navigate the road and trail system in this part of the County.

All trail locations are graphically depicted on **Figure 20 – Trails Plan- & Biological Open Space Signage**. Trail cross sections are depicted on **Figure 21** and **22**. The

majority of trails dedicated to the public and maintained by the Lilac Hills Ranch HOA are in Phases 1 through 3. The private trail system is within the gated Senior Citizen Neighborhood in Phases 4 and 5. Bicycle parking facilities will be provided at various locations throughout the Community in accordance with the Zoning Ordinance.

4. Transportation Demand Management

To reduce vehicle generated trips to the extent feasible, the project applicant proposes implementation of a Transportation Demand Management (TDM) program that would be prepared prior to Final Map, to reduce vehicle trips in favor of alternative modes of transportation. The TDM program will facilitate increased opportunities for transit, bicycling, and pedestrian travel, and would include implementation of the following TDM measures during project design and development. Prior to the recordation of the last Final Map in the Town Center the Community HOA shall:

- a) Implement a ride-share program with transit vouchers or other options that may be determined by the HOA.
- b) Implement bicycle circulation improvements to improve internal bicycle circulation and encourage the usage of bicycles to include requiring provision of bicycle parking facilities including secured bicycle parking facilities in specific locations as specified in this Specific Plan.
- c) Promote Carpool/Vanpool programs which may include a Senior Transportation service.
- d) Promote available websites providing transportation options for residents and businesses.
- e) Create and distribute a “new resident” information packet addressing alternative modes of transportation.
- f) Promote programs to encourage workplace peak hour trip reduction, including staggered work hours, regional ride-matching services, and telecommuting.
- g) When transit routes are extended to the Community, participate in providing the necessary transit facilities, such as bus pads, shelters, signs, lighting, and trash receptacles.
- h) Coordinate with the NCTD as to the future siting of transit stops/stations within the project site.

As the project is built-out, the NCTD may adjust routes and services to meet the needs of the growing community. The project would allocate a site for public transportation within the Town Center. The applicants will continue to coordinate with NCTD and MTS regarding potential transit options for the project site.

5. Interim Private Transit Services

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Interim transit services providing transit service between the Community and the transit center would be provided by the HOA upon build-out of the community and would terminate when a transit linkage is proposed by the local transit district. This interim service will include the following features:

- a) Service for Community residents would be provided on demand.
- b) Rides would be subsidized on commercially available services such as taxis and/or shuttle vans.
- c) Pick-ups and drop-offs would be at a central location in the development.
- d) The HOA could set up accounts with the providers allowing residents to call a dispatcher to request service and obtain the discounted rate. The same or similar service could be called to return the rider to Lilac Hills Ranch.

Additional Options

The subsidized private or group shuttle trips could be supplemented by any of the options below to provide alternative ways to make connections to the regional transit system or to local destinations not served by that system:

- a) Provide subsidized transit passes to encourage use of public or private transit. The subsidized private or group shuttle rides would increase the convenience of the regional public transportation system and therefore encourage a higher level of utilization.
- b) Provide coordination/support of a Car Sharing system for those who want/need the improved convenience of driving to encourage Lilac Hills Ranch residents to drive themselves and other residents to their employment destination or a regional transit center.
- c) Provide coordination/support for ride sharing or shuttle services with volunteer drivers such as the designated drivers sponsored by the Independent Transportation Network (ITN) upon build-out of the community.

C. Zoning Regulations

1. Planning Areas – Description and Zone Boxes

The following section provides a description of land uses and zoning found in the Lilac Hills Ranch. Dimensions and standards noted are minimums. Minor variations may be permitted subject to PDS Director review or Final Map approval, providing the minimums specified herein are maintained as average minimums. County zoning nomenclature is used.

2. Town Center and Neighborhood Centers

The C34 Use Regulations are applied to the Town Center and to the two Neighborhood Centers. The C34 Use Regulation authorizes a wide variety of land uses necessary to create the mixed-use neighborhood centers. The C34 Use

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Regulations requires that, for this project, all development will at a minimum require the approval of a Site Plan. Development standards for the C34 Zone are found in the proposed zone boxes below and indicate that the maximum building height for commercial and mixed-use structures would be three stories and 35 feet. Exceptions to the 35-foot height limit would require approval of the County and be permitted only for architectural articulation associated with towers or other non-habitable projections pursuant to the process detailed in Section 4600 of the Zoning Ordinance.

Commercial, civic and mixed-use development will require Site Plan approval (pursuant to the "V" Setback Regulator, and the "B" and "D" Special Area Designator) as required to ensure that development will conform to the design guidelines for such development in accordance with Section III of this Specific Plan and **Figure 82 - Town Center & Neighborhood Center Development Standards Table**. All of these uses will be regulated by the C34 Use Regulations and Development Guidelines in Section III of the Specific Plan. Single Family Attached and mixed-use residential development will require Site Plan approval (pursuant to the "D" Special Area Designator) as required to ensure that development will conform to the design guidelines for such development in accordance with Section III of this Specific Plan, the Attached Development Standards Table and the Mixed-Use Development Standards Table in Section III - Development Standards and Regulations.

As described further in Section III-E. Architectural Design, and in Section V, detailing consistency with the San Diego General Plan, the Town Center is also consistent with the Valley Center Design Guidelines. County Use Regulations (zoning) for the Town Center is shown in Table 4.

**Table 6 - ~~Table 5~~ - Zone Box - Town Center/Neighborhood Centers/
General Commercial Residential**

Use Regulation		C 34
Animal Regulation		A
Develop ment Regulation s	Density	—
	Lot Size	1,000 square feet
	Building Type	P
	Maximum Floor Area	-
	Floor Area Ratio	-
	Height	H
	Lot Coverage	-
	Setback	V
Open Space		B <u>E</u>
Special Area Regulations		B and D

3. Single Family Detached Residential Areas

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Outside of the designated Town Center and the two Neighborhood Centers, all of the residential areas are for detached single-family only. The RU Use Regulations are applied to the areas designated principally for detached single family use. The maximum permitted building height for residential single-family structures will be 35 feet; homes would be 1 or 2-story. Permitted uses within the RU Use Regulation include those allowed by Section 2140 of the Zoning Ordinance which includes: single-family residential, institutional, and civic uses, and infrastructure. All of the civic-institutional uses shown on the Specific Plan map for areas regulated by the RU Use Regulations (Group Care, Group Residential, Senior Center, K-8 School site, the 'Institutional site, Parks, Private Recreational use site) are authorized in the RU Use Regulation, although some of the uses will require additional discretionary permits.

The single family residential neighborhoods are located throughout the project site, except for the Town and Neighborhood Centers. All single-family residential development would be regulated by the application of the "V" Setback and "D" Special Area Designator in the RU Use Regulation, which requires that a detailed Site Plan be submitted and approved ~~with each Tentative Map proposing~~ prior to the issuance of building permits for single family detached lots. The Specific Plan includes a **"Single Family Residential Development Standards"** table (**Figures 98 and 99**) which specifies the standards for the development of single family detached lots. The Ordinance adopting the RU Zone Box will also specify that the purpose of the Site Plan is to ensure that each lot is identified with a Lot Configuration number from the table, that each lot meets the minimum requirements in regards to, width and depth, and that each lot shown on the Site Plan meets the setback for each lot. Finally, the Site Plan will also indicate ~~with the letters A through F,~~ alphanumerically, which architectural style has been selected for the lot and demonstrate that it conforms to the palette of architectural styles (**"Single Family Lot Layout"** **Figures 100 through 119**) included in the Specific Plan.

~~Table 7-~~ Table 6 - Zone Box - Urban Residential

Use Regulation		RU
Animal Regulation		B
Development Regulations	Density	—
	Lot Size	2,800 square feet
	Building Type	F
	Maximum Floor Area	-
	Floor Area Ratio	-
	Height	G
	Lot Coverage	-
	Setback	V
Open Space		
Special Area Regulations		D

The zoning allows the Community's neighborhoods as they are subdivided and developed to meet changing market demands over time relative to lot size, neighborhood density and subdivision design all within the design parameters established in the following sections of the Specific Plan. Accessory Structures are permitted in accordance with the Zoning Ordinance, Section 6156 for permitted uses, and Section 4835 for setback regulations.

4. ~~Planning Areas~~ Regulations for the Allocation and Transfer of Residential Units between Planning Areas

The residential dwelling units authorized by the Specific Plan are distributed among the 22 planning areas which allow residential uses as shown on **Table 3 - Land Use Summary by Phase**. All residential development must be implemented by approved subdivision maps and/or Site Plans. Transfers of dwelling units may be authorized between any planning areas with dwelling units authorized on **Table 3** as a part of the Site Plan approval process so long as the overall maximum number of units approved by this Specific Plan (1,746) is not exceeded. Mixed-Use Residential or Single Family Attached cannot be transferred into any areas with the RU Use Regulation. Mixed-Use Residential or Single Family Attached can be transferred between the C34 areas. The Senior Citizen neighborhood is required to have a minimum of 468 single family detached homes. Transfers of residential units do not reduce the amount of commercial uses allowed by this plan.

Transfer Process – The first Site Plan application requesting to transfer dwelling units in the Lilac Hills Ranch shall add a modified version of **Table 3** from the Specific Plan text to include all of the residential areas within Phases 1 through 5 to the cover page of the Site Plan plot plan. An additional column shall be added on the right-hand side of the modified table to include all residential areas as shown below.

~~Table 8~~ Table 7 - Allocation and Transfer of Residential Units

Area	Land use	Acres	DU's	Du increase / decrease	Site plan Number
SF 1	Single Family	31. 82	476 175		
SF 2	Single Family	45.8 14.4	86 89		
SF 3	Single Family	15. 01	90 88		
		121.5	352		

The Site Plan number for the Planning Area receiving the density shall be entered on the appropriate line, and the new total number of units permitted for the Planning Area, and the new, increased total for the Phase shall be entered, and the new total for the Phase entered. The Planning Area where the units are being taken from shall likewise

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be modified with the decrease entered on the appropriate line along with the Site Plan number and the new reduced total for that phase entered for the appropriate Phase Table. The granting section of the Site Plan Form of Decision shall note the increase and which Planning Area was the source for the increase.

Each subsequent Site Plan requesting any transfer of units into a planning area, must follow the same procedure and provide an updated **Table 6** on the cover sheet of the Site Plan showing all previously approved residential Site Plans within Lilac Hills Ranch, the Site Plan number and the number of units authorized by the Site Plan.

D. ~~Site Design~~/Landscape Design Guidelines and Standards**1. Landscape Concept**

The existing environmental setting of Lilac Hills Ranch includes field agriculture and orchards, minor riparian corridors, and native oaks. This setting provides the inspiration for a California foothills landscape theme that proposes the conservation and integration of the existing environment with these open space resources. Grove and pasture-like plantings are planned along major streetscapes and adjoining slopes. Accent plantings of Oaks and Sycamores will occur at channel crossings and drainages. Traditional materials such as stone and wood, that complement the natural and rural landscape, will be used.

The Valley Center and Bonsall Design Guidelines include site design and landscape design standards (including suggested planting palettes) for developments subject to their review authority. For this specific plan that would include; the commercial, and mixed-use development applications in the areas subject to the C34 Use Regulations (Town Center and two Neighborhood Centers), and the civic and institutional uses (Group Care, Group Residential, Senior Center, K-8 School site, the 'Institutional site, Parks, and Private Recreational use site) permitted by this specific plan in the RU Use Regulation.

Along the three public parkways landscaping will consist of pedestrian scaled plantings with accent plantings of Olives, Sycamores, and Oaks. All median landscape planting shall conform to County regulations regarding "line of site" and "sight distance." The fencing and informal pedestrian trails will complement the streetscapes and reinforce the rural character intended for these corridors. A combination of walls and landscaped berms will be used for noise attenuation and visual screening of vehicular use and service areas. At the Community entries and public use areas the landscape will transition to a more village-like theme with accent plantings, decorative stone walls, vine arbors, and sensitively designed signs. Drought tolerant and native plant materials will be used where feasible. Low scale plantings will be used adjacent to driveway entrances and street corners to maintain visibility for safety. Common area landscapes and recreational areas will be linked by a network of trails serving both pedestrian and equestrian users.

Plant materials will be selected and located to prevent the rapid spread of brush fires in accordance with the Fire Protection Plan prepared by Firewise 2000 Inc. This plan consists of Fuel Management Zones designed to create defensible spaces around structures to prevent the spread of fire. Perimeter Fuel Management Zones are depicted on **Figure 142 – Fire Protection Plan**. A consistent landscape theme will thread throughout the Community, serving as a cohesive link for the various Community land-uses. A series of low scaled entry monuments, fencing, lighting and pedestrian paths, designed to reinforce the rural landscape theme, will provide further design continuity for the Community. These elements will be designed to reflect the Community enhancements while referencing the rural, agricultural themed setting.

The Specific Plan guidelines provide a framework to ensure consistency with the related portions of these documents by:

- a) Preserving visually dominant ridgelines, and scenic high quality open space resources; and,
- b) Incorporating "best practice" guidelines to site design, lighting, landscaping, and architecture.

This consistency will minimize visual impacts and improve visual compatibility with the surrounding area. Architecture is designed to vary massing, encourage shadow patterns, and relate in color to elements in the natural surroundings. The Community landscaping utilizes native and low water plant materials that are similar in color and texture to the surrounding natural hillsides, and manufactured slopes will contain masses of plant materials of varying heights to relate in texture and pattern with those visible on the steep natural slopes surrounding the Community.

Additionally, trees will be planted on slopes, along streets, and within HOA open space areas to visually buffer the Community from view. Native trees and shrubs such as Sycamores, Oaks, Madrone, Currant and Toyon as well as local Apricot, Lemon, Orange, Guava, and Avocado may be planted along parkways. Natural materials, rural styled fencing, and grove-like plantings of trees will be utilized throughout the Community to relate to and enhance the rural visual setting consistent with the applicable provisions of the Design Guidelines of this Specific Plan.

Figure 70 – The Master Landscape Concept Plan depicts the generalized locations of landscape zones and features described below.

Community landscaping shall comply with the applicable requirements of the Valley Center and Bonsall Design Guidelines, and the Design Guidelines of this Specific Plan for commercial and mixed-use planting areas. All proposed planting and improvements within the public right-of-way for streets within the Community are subject to approval by the County of San Diego's Department of Public Works.

2. General Landscaping ~~General~~Guidelines

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- a) All landscape and irrigation plans shall be prepared by a licensed California landscape architect, California Registered Architect or Civil Engineer and shall be submitted to the County of San Diego and to the Master Developer for review and approval prior to the start of construction. All submissions shall demonstrate compliance with these guidelines. Plans shall be in compliance with the County's Water Conservation Landscaping Ordinance, the Water Efficient Landscape Design Manual, the Design Guidelines of the Specific Plan, the County's Grading Ordinance, the Off Street Parking Design Manual and the VCMWD policy Article 190.7 regarding Conservation and Local Supply Use Requirements.
- b) Landscape design shall be used to define areas by creating focus at entries, screening unsightly areas, softening expanses of pavement and large buildings and providing transitions and separations between Lilac Hills Ranch and the surrounding community.
- c) Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity to accomplish its intended goals. Larger specimen trees should be used at entries and at key locations within the development.
- d) Landscaping shall be in conformance with the County's requirements for sight lines and access.
- e) Areas around buildings shall incorporate a mixture of trees, shrubs, vines, and groundcovers designed to complement the design theme of the Community.
- f) Fruit trees shall be properly maintained on a regular schedule maintenance program and will be maintained by the HOA along with the other trees on the planting palette.
- g) An encroachment permit will be applied for all irrigation and planting within public street right-of-ways.

~~3. Landform Grading Guidelines~~

~~The design plan for Lilac Hills Ranch strives to minimize grading and create visually pleasing landforms. The following are guidelines for grading and slope design.~~

- ~~h) Create elevation changes within the property that strive for a balance of cut and fill grading.~~
- ~~i) Use grade changes to optimize views and a sense of spaciousness.~~
- ~~j) Use grade changes between different land uses where separation and buffering is desired.~~
- ~~k) To the extent possible, avoid cut and fill over 30 feet.~~
- ~~l) Use landform grading techniques where appropriate, in slopes over 25 feet in height.~~

~~m) Use varied height trees, shrubs, and groundcovers to undulate the surface of slopes.~~

~~n) Use state-of-the-art erosion control, irrigation, and water management practices to protect slopes.~~

4.3. Road Landscaping Standards

a. West Lilac Road and Town Center Landscape Zone

Description: The parkways and adjoining slopes of West Lilac Road will reflect the agricultural history of the site and California Foothills landscape theme of the Community. Formal groves trees, with informal accent groupings of Oak and Sycamores, will form the primary landscapes of these roadways. Adjoining slopes will additionally be planted with native and drought tolerant species. Details such as rural themed rail fences vine arbors, low stone walls, and decomposed granite trails will be used to further reinforce the design theme along this corridor. As discussed above the Valley Center Design Guidelines includes landscape design standards including suggested planting pallets for developments subject to their review authority which includes both the West Lilac Road frontage and the Town Center Landscape zone. The plant selection list (see VC Guidelines Section 4-H) includes 'recommended' species, but also allows other species when they are drought tolerant and have low flame spread potential. The list below includes both plants on the Design Guideline list and others which meet these criteria.

Maintenance of the pathway landscaping for this on-site public road segment will require the formation of a County Landscape Maintenance District.

Acceptable Species:

Botanical Name Common Name Specifications

Primary Street Trees:

Olea europea 'Wilsoni' Fruitless Olive Tree 20'H x 20'W

Platanus racemosa California Sycamore 75'H x 40'W

Tabebuia impetiginosa Pink Trumpet Tree 35'H x 25'W

Slope and Erosion Control Trees:

Juglans californica California Black Walnut 25'H x 20'W

Metrosideros exelsus New Zealand Christmas Tree 30'H x 30'W

Cercis Occidentalis Western Redbud 20'H x 18'W

Parkway and Slope Shrubs and Groundcovers:

Gazania splendens Sunrise Yellow 6"H x 4"W

Rosmarinus officinalis prostrates 18"H x 3'W

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Vinca major Periwinkle 12"H x 2' W

Encelia Californica Lilac 5'H x 7'W

Heteromeles arbutifolia Toyon 7"H x 10'W Hydroseed Mix "A"

Raphiolepis spp India Hawthorn 4'H x 5'W

Salvia ssp Sage 3'H x 4'W

Fruit Trees:

Citrus spp.— Orange and Lemon Trees 20'-25' H x 20'W

Olea spp. – Olive Trees

Persea spp. – Avocado Tree 25'H x 20'W

Psidium spp. – Guava Tree 15'H x 10'W

~~Table 9~~ Table 8 - Hydroseed Mix "A"

Minimum % Pur/Germ		Lbs/acre	Species, common name
2	55	2	Diplacus puniceus, Red Monkey
40	60	4	Encelia californica, Bush Sunflower
N/A	2		Eschscholzia californica, California Poppy
N/A	2		Helianthemum mutabile, Sun Rose
40	60	4	Lotus scoparius, Deerweed
95	80	2	Lupinus bicolor, Lupine
95	85	2	Lupinus succulentus, Arroyo Lupine
N/A	1		<i>Phacelia parryi</i> , Parry's Phacella
70	50	4	Salvia apiana, White Sage
40	30	2	<i>Stipa pulchra</i> , Purple Needle Grass
N/A	2		<i>Vulpia myuros</i> , Zorro Fescue

b. Lilac Hills Ranch Road and Interior Slopes

Description: Lilac Hills Ranch Road is designed as a Community Promenade and features a landscaped parkway. This parkway contains a 5-foot meandering concrete Town Center Pathway. The parkway and adjoining slopes are designed to reflect the rural agricultural history of the site and California foothill design theme established for the Community. Formal grove rows of trees (including fruiting varieties and pasture, interrupted occasionally with informal accent tree groupings of Sycamores, Western Redbud and Oaks will compose the primary landscapes of this roadway. Adjoining slopes will be planted with native and drought tolerant species. Details such as rail fences, vine arbors, low stone walls, and decomposed granite trails will further reinforce the California foothill theme of this corridor. Interior slopes share similar characteristics with slopes adjacent to the Promenade parkway. These slopes serve as a transition between streets and adjoining neighborhoods and provide opportunities for screening, buffering, and visual softening of manufactured slopes and neighborhoods.

Acceptable Species:

Botanical Name Common Name Specifications

Primary Street Tree:

~~*Pistacia chinensis* Chinese Pistache 40'H x 35'W~~

Olea europea 'Wilsoni' Fruitless Olive Tree 20'H x 20'W

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Background and Accent Trees:

Arbutus unedo Strawberry Tree 25'H x 25'W

Chionanathus retusus Chinese Fringe Tree 20'H x 15'W

Parkway, Vines, and Groundcovers:

Gazania splendens Sunrise Yellow 6"H x 4" W,

Vinca major Periwinkle 12"H x 2' W,

Lantana spp Lantana 2'H x 3'W,

Eucelia californica Coast Sunflower 3'H x 4'W,

Rhapnirolepis spp Inida Hawthorn 4'H x 5'W,

Rosa californica California Wild Rose 10'W

Vitis spp. – Grapevines

Fruit Trees:

Citrus spp.– Orange and Lemon Trees 20'-25' H x 20'W

Olea spp. – Olive Trees

Percea spp. – Avocado Tree 25'H x 20'W

Psidium spp. – Guava Tree 15'H x 10'W

c. Naturalized Transitional Landscape Zone

Description: Significant areas of open space are adjacent to portions of the Community's perimeter, offering opportunities to create blended transitions between the developed, ornamental portions of the Community and the surrounding agriculture or natural open space. Primarily native and naturalizing drought tolerant plant species will be used in these areas with possible addition of groves of fruit trees.

Fuel modification/brush management may also occur within this zone

Acceptable Species:

Botanical Name Common Name Specifications

Primary Tree

Quercus agrifolia Coast Live Oak 60'H x 60'W

Accent Tree

Platanus racemosa California Sycamore 75'H x 40'W

Brush Management Zones 2 and 3: Slope/ Erosion Control Trees:

Cercis occidentalis Western Redbud 18'H x 12'W,

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Metrosideros exelsus New Zealand Christmas Tree 30'H x 30'W
Quercus agrifolia Coast Live 60'H x 60'W

Brush Management Zone 1: Shrubs, Groundcover and Vines:

Carex pansa California Meadow Sedge 4"H x 8"W
Ceanothus 'Centernial' Centernial Ceanothus 12"H x 60"W
Vitis spp. – Grapevines

Brush Management Zones 2 and 3: Shrubs and Groundcovers:

Carex buchananii Red Clump Grass 24"H x 24"W
Carex pansa California 4"H x 8"W

Fruit Trees:

Citrus spp.– Orange and Lemon Trees 20'-25' H x 20'W
Olea spp. – Olive Trees
Persea spp. – Avocado Tree 25'H x 20'W
Psidium spp. – Guava Tree 15'H x 10'W

~~Table 10~~ Table 9 - Hydroseed Mix "B"

Minimum % Pur/Germ		Lbs/acre	Species, common name
5	40	0.5	<i>Baccharis pil.ssp</i> consanguinea, Chaparral
2	55	2	<i>Diplacus puniceus</i> , Red Monkey Flower
40	60	1.5	<i>Encelia californica</i> , Bush Sunflower
35	75	3	<i>Eriophyllum confertiflorum</i> , Golden Yarrow
75	95	2	<i>Eschscholzia californica</i> , California Poppy
75	80	1.5	<i>Lasthenia californica</i> , Goldfields
95	70	2	<i>Lupinus hirsutissimus</i> , Stinging Lupine
95	85	2	<i>Lupinus succulentus</i> , Arroyo Lupine
50	50	2	<i>Orthocarpus purpurascens</i> , Owl's Clover
N/A			<i>Phacelia grandiflora</i> , Giant Phacelia
95	75	2	<i>Plantago insularis</i> , NCN
95	75	3	<i>Sisyrinchium bellum</i> , Blue Eyed Grass
60	30	1	<i>Stipa coronate</i> , Giant Stipa
40	30	3	<i>Stipa pulchra</i> , Purple Needle Grass

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~~5. Neighborhoods~~

4. Neighborhood Landscaping Standards

a. Single Family Residential Areas:

Street Trees:

Gleditsia Triacanthus Honey Locust 35'H x 25'W

b. Single Family Attached and Mixed-Use Areas:

Street Trees:

Arbutus Marina Madrone 25'H x 20'W

Accent Trees:

Tabebuia impetigionosa Pink Trumpet Tree 35'H x 25'W

Chionanthus retusus Chinese Fringe Tree 20'H x 15'W.

Fruit Trees:

Citrus spp. – Orange and Lemon Trees 20'-25' H x 20'W

Olea spp. – Olive Trees

Persea spp. – Avocado Tree 25'H x 20'W

Psidium spp. – Guava Tree 15'H x 10'W

Shrubs Vines and Groundcovers:

Coprosma kirkii Mirrow Plan 18"H x 3'W

Gazania splendens Sunrise Yellow 6'H x 4' W

Vinca major Periwinkle 12'H x 2'W

Ceanothus spp California Lilac 5'H x 7 'W

Lantana spp Lantana 2'H x 3'W

Mahonia spp Barberry 5'H x 6'W

Raphiolepis spp India Hawthorn 4'H x 5'W

Salvia spp Sage 3'H x 4'W

Vitis spp. – Grapevines

~~6.5.~~ Monumentation Landscaping Standards

a. Primary Lilac Hills Ranch Entry

The primary entry monuments are located on the west and east end of Main Street where it meets West Lilac Road. It provides a welcoming gateway to Lilac Hills Ranch and introduces the design theme (see **Figure 127 - Project Entry**

Monuments). The entry is located near groves, pasture, riparian habitat, and boulder-strewn hillsides. Elements from these landscapes will be incorporated into this shared entry. An informal grove of Sycamores will relate to the riparian landscape, foreground groves of Olives and vine arbors will reflect the areas agricultural past and stone walls will reflect the boulder speckled hillsides. Theme walls, signage, and accent plantings will reinforce the design theme.

b. Secondary Lilac Hills Ranch Entry

The secondary Community Entry is located at the south end of Lilac Hills Ranch Road (see **Figure 127**). This entry serves as a gateway unique to the Lilac Hills Ranch Community. While it will share elements common to the primary entry monument it is smaller in scale and more subtle in design.

c. Entry Monument Plant Material List

Primary and Accent Tree

Platanus racemosa California Sycamore 75' H x 40' W

Quercus agrifolia Coast Live Oak 60' H x 60' W

Lagerstroemia indica Crape Myrtle 25' H x 20' W

Tabebuia impetiginosa Purple Trumpet Tree 35' H x 40' W

Olea europaea Wilsoni Fruitless Olive Tree 20" H x 20' W

Shrubs, Vines and Groundcovers

Coprosma kirkii species 5' H x 5' W

Rhaphiolepis indica species 4' H x 4' W

Gazania splendens S. R. 6" H x 8" W

Hemerocalis hybrid Day Lily 4' H x 3" W

Vitis spp. – Grapevines

~~7. Pedestrian Design Concepts~~

6. Community Park Landscaping Standards

Lilac Hills Ranch is designed as a rural, pedestrian-prioritized Community whereby a central Town Center and Neighborhood centers are located within a half mile radius (10 minute walk) of the residential use areas. Primary streetscapes are designed at a pedestrian scale and orientation including tree-shaded walkways, on-street parking to increase pedestrian safety, pedestrian scaled lighting, (See **Figure 140**) and shortened or enhanced crosswalks. The street system design has been specifically designed to maximize the use of pedestrian and bicycle transportation within the Community as recommended by the recent Complete Streets Report by SANDAG. Streets are designed to narrow the field of vision of the automobile driver with landscaping and

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building placement to reduce vehicle speeds while providing maximum pedestrian visibility and safety. The Open Space, Parks, and Trails Plan, and associated cross sections show the locations and composition of the Lilac Hills Ranch trail network.

a. Parks

The Community's park system is designed to provide both active and passive recreational opportunities for Lilac Hills Ranch residents (see **Figure 17 – Park Plan**) and the public. ~~Public parks~~The public park and the private parks that receive park credit towards the obligations set forth in the Park Lands Dedication Ordinance will be designed in conformance with County Department of Parks and Recreation requirements. The following describes the Lilac Hills Ranch recreational facilities.

b. Public Parks

Lilac Hills Ranch will dedicate a public park (~~P10~~)P7 as located and configured on the Specific Plan map to the County and provide those amenities described herein in accordance with the County's Park Lands Dedication Ordinance. The major park site will be located adjacent to the future school and private recreation sites that will ensure its location near other Community oriented public facilities (**Figure 136**). The park site will include ball fields, multipurpose fields, tot lots, basketball courts, open play area and family picnic areas with barbeque pits, and other amenities. The facility will be both dedicated to the County and constructed as a 'turnkey' facility by the Lilac Hills Ranch developers and maintained by the HOA as a County public recreational facility.

c. Private Parks

A private park system with a minimum of ~~44~~10 private parks is included in the Specific Plan. ~~The Town Center Park located in the Town Center is a private park (P8) that serves as the focal point of the Town Center (I). This facility will be owned and maintained by an HOA and open to the public when Community events do not preclude its open public use. The other~~The private parks are located throughout the Community primarily to serve the Single Family neighborhoods and the Senior Citizen Neighborhood in Phases 4 and 5. As noted elsewhere in this specific plan the private parks in the Senior Citizen Neighborhood will not be available to the public since this neighborhood will be gated. **Figure 17 – Park Plan** shows the general areas planned for the public and private parks in the Community. The precise location of all the private parks will be established by the Implementing Tentative and Final Maps for each phase.

Concepts for these parks are illustrated in Section III. These parks will have a variety of uses which may include tot lots, open play areas, half-court basketball, sand volleyball, dog-runs/ bark-parks, picnic areas with barbeques, passive sitting areas and other uses and groves of trees for shade. These private park

dedications will count towards the developer's obligation under the County's Park Land Dedication Ordinance.

The Village Green is an HOA lot, and is not counted as a park in the above calculations. It is however envisioned as an integral component of the "Town Square" which will provide the Community a place to come together and hold social gatherings, recreational activities, fall and spring festivals etc. The facility will be owned, operated, and maintained privately. ~~These private park dedications will count towards the developer's obligation under the County's Park Land Dedication Ordinance.~~

d. Park Plant Material List

Primary and Accent Tree

Agonis flexuosa Peppermint Tree 35' H x 25" W

Arbutus menziesii Madrone 25' H x 20' W

Cercis occidentalis Western Redbud 20' H x 18' W

Chionanthus rutus Chinese Fringe Tree 20' H x 15' W

Juglans californica California Black Walnut 25' H x 20' W

Lagerstroemia indica Cape Myrtle 25' H x 20' W

~~*Pistacia chinensis* Chinese Pistache 40' H x 35" W~~

Platanus racemosa California Sycamore 75' H x 40' W

Quercus agrifolia Coast Live Oak 60' H x 60' W

Quercus douglasii Blue Oak 50' H x 50' W

Quercus engelmannii Mesa Oak 50' H x 50' W

Tristania conferta Brisbane Box 50' H x 35' W

Shrubs, Vines and Groundcover

Arctostaphylos densiflora Sonoma Manzanita 6' H x 8' W

Callistemon viminalis 'Little John' 3' H x 3' W

Ceanothus 'Concha' NCN 7' H x 10' W

Cotoneaster lactens Red Clustering 10' H x 12' W

Heteromeles arbutifolia Toyon 12' H x 18' W

Leptospermum scoparium 'Ruby' 6' H x 8' W

Mahonia aquifolium Oregon Grape 5' H x 4' W

Raphiolepis indica species India Hawthorn 5' H x 5' W

Ribes speciosum Fuschia Flowering Gooseberry 6' H x 8' W

Coprosma kirkii NCN 2' H x 5' W

Ceanothus griseus Horizontal Carmel Creeping 2' H x 10' W

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Cotoneaster horizontalis rock *Cotoneaster* 2' H x 12' W

Gazania species 12' H x 18" W

Myoporum parvifolium Prostrate *Myoporum* 2' H x 15' W

Vitis spp. – Grapevines

8. ~~Private Recreational Facility (PF)~~

~~This facility will be owned and operated by a private recreation provider, and the private recreational facility will provide active indoor and outdoor uses such as: swimming pool, gym, basketball courts, tennis courts, etc. A concept site plan and elevations are illustrated as:~~

9.7. Fence ConceptsGuidelines

A comprehensive system of walls and fences is planned for Lilac Hills Ranch. The walls and fences included in the specific plan meet the general design requirements found in Section 5-Architectural Character (E. Walls, Fences, and Accessory Structures) in the Valley Center Design Guidelines and include the materials encouraged by the Guidelines. These walls and fences are designed using traditional materials, such as stone and wood-rail fences that complement the natural landscape while reflecting the Community enhancements and California foothill themed landscape. Walls and fences will be minimized to enhance the pedestrian experience in the Community however they will be used throughout the Community to provide screening, sound attenuation, security and Community identity. They will be constructed of masonry with rustic pilasters (see **Figure 137** ~~— Fence & Wall Concepts~~). **Figure 137** includes the detailed Fence and Wall Plan for the Implementing TM (Phase 1). ~~The All Site Plan for each Implementing tentative map Plans~~ shall include a similarly detailed, comprehensive Fence and Wall Plan for the development.

Biological Habitat Areas; All development which share property lines with the Biological Habitat Areas (**Figure 18**) are required to include fencing along the shared property line. At appropriate locations signs will be placed on the fencing stating that the area on the other side is a protected habitat area (see **Figure 19** ~~— Biological Open Space Signage & Trails and Parks~~).

All fencing located within five feet of a building will be constructed of non-combustible materials.

10.8. Lighting ConceptsGuidelines

Exterior lighting of the landscape and built structures will play a significant role in the character and mood of a community. In keeping with the vision of Lilac Hills Ranch, the lighting will be designed to be subdued and understated.

Lilac Hills Ranch lighting design concept focuses on the quality of light along specific corridors and areas. Light standards must have a distinctive character to relate to the

corridors they serve. Lighting along pedestrian corridors must be more human in scale, closer spaced, and lower than is typically found on an urban street. Light standards shall be manufactured of high-quality materials that are visually pleasing. The base, pole, and light fixture must be attractive and suitable to the design theme of each village and its specific function.

Community lighting will be designed to provide adequate illumination for safety, security, and architectural accents without over lighting. Light fixtures will direct light to use areas and avoid light intrusion into adjacent land use areas. Light shields will be used where necessary to avoid nuisance lighting, particularly in residential neighborhoods and adjacent to preserved natural open space. Lighting, including all landscape low voltage decorative lighting, shall comply with the County's light pollution code.

The lighting and illumination standards for Lilac Hills Ranch will be complementary to the architecture and land uses throughout the project area. The Project Site is approximately 3,700 feet beyond the Zone A boundary of the Palomar Observatory.

PDSA Photometric Study has been prepared for phase one and establishes three goals for all future photometric studies:

- a) Public safety will be the chief consideration in lighting system design.
- b) Lighting will be directed downward, shielded, and otherwise designed to reduce glare and spillover to adjacent properties while still achieving the level necessary for public safety.
- c) The type and design of fixtures will be compatible with the design theme and architecture embodied in the Lilac Hills Ranch Specific Plan.

The study concluded that for the street lighting single pole arm mounted fixtures are recommended with a type III distribution which, in general, throws light ahead and in front of the fixture head and to each side, with minimal back lighting. This is the recommended distribution for general street lighting. House-side shields are also available. Using 15'-0" mounting height allows fire trucks to safely pass beneath the fixtures in areas where they may encroach past the curb line.

Along the main entry road where a center median occurs, match double armed pole mounted fixtures are suggested, with a pole-to-pole spacing of 120'-0". With a single head pole-to-pole spacing of 80'-0" we achieve the following light level criteria:

- a) Average illumination 0.68 fc
- b) Maximum illumination 108 fc
- c) Minimum illumination 0.1 fc
- d) Average to minimum illumination 6.80 fc

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- e) Maximum to minimum illumination 18.00 fc
- f) Lighting concepts are provided as **Figure 141**

E. Architectural Design Standards and Guidelines

1. Town Center Commercial and Mixed-Use Design Guidelines

a. General

The Town Center may include housing types from medium density mixed-use dwelling units above retail and office space, single family-attached and live/work unit row homes. The Town Center will be pedestrian prioritized with private walkways and linkages to the trail system connecting the residential villages to the Town Center and other Community amenities such as public and private parks, an enhanced pedestrian zone with special street setbacks, and a clock tower.

The development within the Town Center which is wholly within the Valley Center Community Planning area will include single family attached, commercial development; mixed-use development; and civic uses. All of these uses will be regulated by the C34 Use Regulations, and development guidelines in Chapter III of the Specific Plan.

Development applications for the mixed-use commercial uses will also be subject to the application of the “B” and “D” Special Area Development Regulators which requires that commercial developments obtain an approved Site Plan from PDS prior to the approval of Building Permits in accordance with the process described in Section IV of this Specific Plan. Development projects which are subject to the Valley Center Community Design Guidelines will require an approval of a Site Plan which conforms to the building design and landscape design guidelines.

Development applications including the single family attached use will only be subject to the application of the “D” Special Area Development Regulator which requires that residential developments obtain an approved Site Plan from PDS prior to the approval of Building Permits in accordance with the process described in Section IV of this Specific Plan.

The expressed purpose of the “B” Special Area Development Regulator is to indicate that Site Plan review will occur so that the development proposal conforms to the applicable design standards in the Valley Center Design Guidelines.

b. Town Center Design Concept

The Town Center is composed of a variety of land uses that form the social, civic, and commercial focus for the Community. The land uses that form the Town Center core are residential, mixed-use, commercial, retail, and institutional.

The design objectives for creating the Town Center are:

- i. Create a sense of place with a highly identifiable character.
- ii. Encourage vertical and horizontal mixed-use.
- iii. Create a pedestrian friendly environment with activity, enclosure, and comfort in specific areas.
- iv. Maximize connections to the Town Center from secondary area residential development with pedestrian and bicycle routes.
- v. Balance parking and vehicle access needs of commercial uses with the pedestrian focus within the village.
- vi. Encourage an eclectic architectural style reminiscent of historically based California Town Centers.
- vii. Accommodate pedestrian oriented design concepts within the commercial core that are consistent with the Town Center character.

In order to achieve these objectives, a conceptual Town Center Plan (**Figure 72**), elevations (**Figure 88**), and architectural guidelines have been developed. The illustrations address the anticipated arrangement and connection of uses in the Town Center and conceptually depict an architectural proposal for the area. The unique character intended within the Town Center should follow the aesthetics, organizational techniques and pedestrian friendly typology found in historical California mixed-use villages built in the 1920's and 1930's. Materials that are consistent with the architecture are required. Materials that are indigenous to the area and those that simulate indigenous materials are encouraged. These indigenous materials will be widely used in Town Center entries and other features of Lilac Hills Ranch as one of its unique, identifying design theme elements.

Other critical elements of the Town Center, such as general character statements and identification of important design and site planning features, are detailed in the following qualitative descriptions to further guide Community design and development.

c. Architecture

- i. Building forms and facades should be broken up into short vertical sections that are representative of the historic nature of Southern California villages of the

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1920's and 1930's. The design of the buildings' facades should reflect the nature and use of their original intended design from when they were originally constructed. A variation of building heights, parapets, flat and pitched roofs, and building materials will provide greater visual diversity and authenticity to this Town Center.

- ii. Unique storefront design, signage, entry motifs, expansive sidewalks, and varied colors between the individual buildings are required. Components of a typical storefront should include: the entry door; display windows; transom windows; storefront columns; awnings; vertical support walls; decorative lintels; second and third floor windows that are spaced and proportioned to the facade with decorative trim, sills, and hoodmolds, and finally a decorative cornice on a parapet or a pitched roof.
- iii. East bound Main Street as it enters the Town Center is planned for two and three story Commercial/Mixed-Use buildings (limited to 35 feet in height) on both sides of the street up to the point where Main Street intersects with Lilac Hills Ranch Road. In order to establish a small town feel and reinforce the pedestrian dominance of the Town Center and identity of the Town Center as a pedestrian place, commercial/mixed-use buildings in Planning Areas C1, C2 and C3 are allowed to front directly behind the curb on Main Street so that the second story can extend over the sidewalk (see **Figures 75 to 77**). The second story can extend to the street for not more than half of the street length in total and not more than 100 feet per building with the sidewalk integrated into the first floor design and layout. The effect is to create a pedestrian arcade, directly at the curb. These planning features integrate the building and streets to establish a small town feel provide traffic calming reinforce the pedestrian dominance of the town center and identity of the Town Center as a pedestrian place.
- iv. The principle of hierarchy is to be employed wherever possible. The character of buildings within the Town Center is to be consistent with that of traditional villages and village planning. For the most part, the majority of the buildings are to read as background buildings with consistency of form, use of materials, and appropriate treatment of ornamental detailing. Community parks and developed open space (P8 and P9, expansive sidewalk areas and the Community Park) will be used to augment any Group open space requirements for the Mixed-use residential component within the Town Center area.

d. Site Planning and Building Orientation

- i. Wherever possible, parking should be of secondary priority within the Town Center. The paramount goal is the coherence of the Town Center as the heart and soul of the Community serving both commercial and cultural needs. Buildings aid in the reading and understanding of the Town Center as a viable urban village form.

- ii. Parking (except for on street parking), service, and utilitarian uses should be located internally to the sites or where they can be screened from public view.
- iii. Building entrances should be closely spaced to increase articulation and interest along the pedestrian edges as depicted in **Figures 79** through **81**. Design emphasis on the entries improves the street scene and helps distinguish individual shops in multi-tenant buildings.
- iv. Shaded areas and a sense of enclosure will encourage visitors to linger and enjoy the defined areas within the Town Center. Features such as canopies, arcades, and roof overhangs can achieve these objectives and also provide weather protection when necessary.

e. Pedestrian and Vehicular Access

- i. Vehicular access shall be secondary to pedestrian access.
- ii. Frequent opportunities to sit, relax, and observe should be provided with the inclusion of benches, steps, planters, and low walls within and adjacent to the pedestrian walk.
- iii. Pedestrian, bicycle and cart access routes should be maximized and identified with appropriate signage.
- iv. Vehicle access should be clearly subordinated to pedestrian access through street design that promotes traffic calming such as narrow travel lanes and parallel parking.
- v. Parking lots should be located behind buildings or building facades which front onto pedestrian-oriented streets.

f. Village Character (Landscape and/or Hardscape)

- i. The pedestrian areas should be well defined with a hard surface that is textured or accented to identify focal areas.
- ii. Grade separations should use structures rather than landscape banks to emphasize the character of the Town Center and to serve as seating areas.
- iii. Landscaping shall reinforce the character of the area.
- iv. Trees shall be incorporated into the pedestrian path, planted flush to ground level with overhead branches to create overhead canopies.
- v. Parking lots shall include interior tree planting for screening and heat relief per the requirements of the County Off-Street Parking Design Manual.
- vi. Large expanses of asphalt paving shall be avoided and their appearance softened by creating breaks in these areas and includes sections of permeable

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paving to intercept urban runoff and create visual relief. Landscaping shall be incorporated within these areas as well to provide visual relief and screening, where possible.

- vii. Parking bays should be oriented perpendicular to destination areas and parking areas, where feasible, should be broken up into smaller pieces to avoid massive parking lots except as required to meet the parking requirements for the for the larger commercial uses allowed in the Town Center.

g. Lighting, Signing and Street Furnishings

- i. Streets adjacent to the retail and mixed-use areas should be well lit to encourage evening use. Street lighting fixtures should relate to the pedestrian scale and architectural accent lighting is encouraged.
- ii. Illumination of walkway/trail connections should be provided through the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- iii. Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundary and enclosures. Lighting should be designed to minimize glare and intrusion into neighboring land uses.
- iv. A Comprehensive Sign Program shall be developed emulating historical California mixed-use villages and consistent with County guidelines, to ensure a unified design integrated with the Community architecture.
- v. Street furnishings shall be consistently designed and made of materials appropriate for public use. The design of street furnishings shall be consistent with the design character of the architecture and landscape.

2. Neighborhood Centers Commercial and Mixed-Use Design Guidelines

a. General:

The development within the Neighborhood Centers allows for single family attached; commercial development; mixed-use development; and civic uses. All of these uses will be regulated by the C34 Use Regulations including the requirements for Site Plans to establish setbacks per the “V” Setback Regulator and per the “B” and “D” Special Area Regulators, and development guidelines in Chapter III of the Specific Plan.

The purpose of the “V” Setback Regulator is to require a Site Plan so that specific setbacks can be established for a given development proposal pursuant to the setback standards included in this specific plan. The purpose of the “D” Special Area Development Regulator is to indicate that Site Plan review will occur so that mixed use/commercial development proposal conforms to the applicable design

standards and Guidelines of this Specific Plan. The purpose of the “B” Special Area Development Regulator is to indicate that Site Plan review will occur so that mixed-use/commercial development proposal conforms to the applicable design standards of the Valley Center Design Guidelines.

b. Neighborhood Center Design Concept

The primary feature of the Neighborhood Centers is to provide neighborhood commercial, retail and office uses within walking distance for residents in the adjacent residential communities. The site planning for the Neighborhood Centers is consistent and is compatible with the site planning established for the Town Center.

c. Site Planning

The Site Planning for the Neighborhood Centers will follow the same Architecture and Site Plan Guidelines included in the Town Center section above.

3. Single Family Attached Development Guidelines

Single family attached development in Lilac Hills Ranch is only allowed within the Town Center and the two Neighborhood Centers. This residential use includes structures that contain 3 to 8 attached residential dwelling units, each one located on an individual fee lot.

a. General

These guidelines address the design elements that contribute to the Lilac Hills Ranch planning concepts for pedestrian-oriented residential design. Guidelines are provided for architectural styles, facade elements, garage location and design, and landscape themes. Conceptual site plans and architecture for the Single Family attached residential areas of Lilac Hills Ranch are illustrated at the end of this Section.

As above the application of the “V” Setback Regulator requires a Site Plan so that specific setbacks can be established for a given development proposal pursuant to the setback standards included in this specific plan. The single family attached development will require Site Plan approval (pursuant to the “D” Special Area Designator) as required to ensure compliance with the Design Guidelines and developments standards included respectively in Section III of the Design Guidelines and the **Figure 82 – Town Center & Neighborhood Center Development Standards Table** (in Section III Development Standards and Regulations).

The guidelines below address the design elements that contribute to the Single Family Attached planning concepts: pedestrian-oriented design, facade elements, parking and garage location, and design and landscape themes. Building

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architectural styles are not mandated but should be complementary to the Lilac Hills Ranch design theme as depicted in the residential design guidelines. The pedestrian-oriented design concept is enhanced by locating the attached development in the Town Center within walking distance of the commercial and other Community facilities such as parks.

The single family attached development in the Phase 3 Neighborhood Center is located on the north side of North Main Street and includes the northern “half” of the Town Center. Having higher residential densities in the Town Center and in the Phase 3 Neighborhood Center promotes a safer environment by activating public spaces and providing eyes on the streets and public spaces. It is anticipated that residents of single family attached and mixed-use developments will take advantage of the available opportunities to walk to school, parks, and shopping areas. Pedestrian access and amenities are fundamental components of the Community. The siting, access, entries, and architecture of the attached and mixed-use development should complement the pedestrian orientation of the Community.

Multi-story attached developments are the primary focus of the guidelines in this section. Concept site plans and architecture for the single family attached neighborhoods of Lilac Hills Ranch are illustrated in **Figures 83** through **9287**.

b. Site Planning

The site planning and plotting of single family attached, mixed-use buildings will contribute to the pedestrian-oriented concept of Lilac Hills Ranch. Site planning which focuses on the pedestrian includes design that orients entries towards a court or green space and minimizes views to garages and parking areas. The guidelines stated below are provided for siting and building plotting of single family attached and mixed-use developments.

- i. Buildings should be oriented to create outdoor rooms, such as courtyards, connected by landscaped walkways.
- ii. Building orientation should consider indoor and outdoor privacy, noise, solar access, and overall aesthetic appearance.
- iii. Where grade differentials occur between the street and a development, the differential may be used to create separation between the public or private streets and private living space.
- iv. Interesting entries incorporating steps, porches, or landings may be integrated into the design.

c. Architecture

Single family attached and mixed-use development should be designed to promote variety and enhance the human-scaled pedestrian activity of the

Community. The following guidelines suggest methods for creating vital, interesting architecture:

- i. Developments should be unique, but share fundamental architectural characteristics consistent with the Lilac Hills design theme. Building elevations that are visible from public view areas (surrounding streets and public open spaces) shall be articulated with elements such as wall offsets, balconies, and windows, appropriate to the architectural style.
- ii. Varied building elements, roof pitches, and setbacks should be employed to avoid monotony, including some three-story elements.
- iii. Distinctive building elements shall be oriented towards the corners of prominent street intersections.
- iv. Street facing facades shall incorporate a range of scale-defining elements that relate larger building masses to the scale of the pedestrian. Elements may include trellises, columns, archways, doorways, porches or patios, and upper floor balconies and windows.
- v. Individual residential unit entries shall be oriented toward the streets or courtyards wherever possible.
- vi. Internal residential units shall be connected by courtyards or landscaped walkways wherever possible.
- vii. Utilitarian areas -- include parking, loading, mechanical equipment and trash enclosures -- shall be screened from public views to the best extent possible.
- viii. The color palate should reflect the context of the architectural style of the building theme.

d. Parking, Carport and Garage Design

Views of parking areas, carports, and garages should be minimized to create the pedestrian-oriented Villages. The following guidelines provide direction for location and design of single family attached and mixed-use parking facilities:

- i. Parking and vehicular access shall be located within or adjacent to each development and be visually separated from the pedestrian-oriented street frontage.
- ii. Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors.
- iii. Tandem garages shall be allowed.

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- iv. Carports and freestanding garages shall be architecturally treated and designed to match the architectural style of residential buildings.
- v. Six-foot wide parallel and diagonal parking spaces are permitted in the single family attached and mixed-use planning areas.
- vi. Up to 100 percent of the total required Guest Parking Spaces are allowed on the street adjacent to the residential property.

e. Landscape

Landscape in single family attached and mixed-use developments shall adhere to Guidelines and Standards set forth herein. The front and side yard landscaping shall be complementary to the streetscape and California Foothills design themed landscape. The interiors of single family attached and mixed-use communities shall provide for common and private outdoor spaces that are functional and aesthetically pleasing. Interior landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the Lilac Hills Ranch design theme. The following guidelines are for single family attached and mixed-use landscapes:

- i. The landscape is to be comprised of trees, shrubs, vines, and ground covers that are consistent with the overall Lilac Hills Ranch theme.
- ii. Tree plantings in the front yard areas shall be varied to provide interest in the landscape.
- iii. Side and rear yard areas shall be landscaped to soften the architecture and provide privacy for residential units.
- iv. Transformer and cable box locations are to be carefully planned and coordinated with the both the utility company and the landscape architect.
- v. Transformers and cable boxes should be located to be unobtrusive and screened from view with plantings where feasible.
- vi. Grouped mailboxes and mailbox structures are to be designed to complement the architectural style of the development for which they are intended. Only Postmaster approved boxes will be allowed.
- vii. Trash enclosures shall be designed to complement the architectural style of the development for which they are intended. Provision for trash and recycling shall be in conformance with the County Requirements.
- viii. HVAC equipment shall be screened from view from common use areas, where feasible, and shall comply with County noise standards.

- ix. Large expanses of asphalt paving shall be avoided and the appearance softened by creating breaks in these areas with sections of permeable paving to intercept urban runoff and create visual relief.

f. Lighting and Signing

- i. Architectural accent lighting is encouraged.
- ii. Illumination of walkway and trail connections should be provided through the use of low intensity fixtures for safety and comfort.
- iii. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- iv. Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path.
- v. Service area lighting should be contained within the service area boundary and enclosures.
- vi. Lighting should be designed to minimize glare and intrusion into neighboring land uses.
- vii. Community entry monuments should inform and direct but not dominate the visual character of the area.
- viii. Signs shall be consistent with the architectural style of the building and comply with applicable County Standards.

4. Single Family Detached Residential Design Guidelines

a. General

These guidelines address the design elements that contribute to the Lilac Hills Ranch planning concepts for pedestrian-oriented design. Guidelines are provided for architectural styles, facade elements, garage location and design, and landscape themes. Conceptual site plans and architecture for the single family residential areas of Lilac Hills Ranch are illustrated at the end of this Section.

The single family detached residential development will be regulated by the application of the RU Use Regulation which includes the “V” Setback Regulator and the “D” Special Area Development Regulator. These zoning regulations require that a Site Plan application shall be submitted and approved prior to the issuance of building permits for ~~each Tentative Map application which includes~~detached single family lots. The purpose of the Site Plan will be to (a) assure that the lot design ~~conforms~~, setbacks and architecture conform to the **Single Family Residential Development Standards (Figures 98 and 99)**

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included in this Specific Plan and (b) establish the specific architecture for the individual lots from the architectural models included in **Figures 100** through **119**.

b. Site Planning

Appropriate site planning and building plotting are fundamental to creating a pedestrian-oriented neighborhood. Variety is the key to creating a vibrant neighborhood and promoting individual residential identity. Site planning and building plotting in single-family residential neighborhoods should be based upon the following criteria:

- i. Single-family detached and single family attached residential lots and setbacks shall encourage variety in the design, orientation, and placement of homes, wherever practical.
- ii. Front yard building setbacks shall be varied, where possible, to avoid a monotonous pattern of houses.
- iii. Where slopes in side yards allow for varied side yard setbacks, provide more useful private open space in side yards, and avoid a monotonous pattern of houses.
- iv. Multiple housing plans shall be provided for compatibility with different lot configurations (interior and corner lots) and a variety of designs for entry and garage designs locations.
- v. The following permitted lot and footprint layouts may include but are not limited to:
 - a) Homes may be clustered around a paseo and park;
 - b) All lot configurations may be alley loaded;
 - a) Garages within the lots may be tandem garages;
 - b) Private drives for access to multiple lots;
 - c) Ancillary residential units attached or detached.
- vi. Side entry floor plans may be used on both interior and corner lots, provided that the entry is clearly defined and the front elevation includes front-facing windows, porches, or other pedestrian-oriented design features.
- vii. Housing plans used on corner lots shall provide for distinguishing architectural features of that style that wrap around the street- facing corner.
- viii. Production wall fencing shall be integrated into the design of corner lots to provide for reduced wall length and other enhancements to side yards.

- ix. Where the rear of a lot abuts a street, the design shall provide for a privacy wall and landscaping consistent with the Lilac Hills Ranch streetscape theme.
- x. Grade differentials within neighborhoods shall be used to add variety and enhance the availability of open space between residences.
- xi. Certain ~~Implementing Tentative~~ Final Maps will be required to plot the largest of the lots proposed on each such map along the Community boundary in situations where project single family development will be at the same grade as the adjacent existing homes that will remain in the Semi-Rural Regional Category. Consideration will be given to additional opportunities to reduce conflicts including providing a grade separation and planting buffers to allow vegetation to mature and screen the adjoining properties. For the areas shown on **Figure 137** a 50 foot wide agricultural buffer will be planted with two rows of an appropriate tree crop (e.g. citrus, or avocado). These agricultural buffer strips will be located on parcels owned and maintained by the Community HOA as part of the common open space. Should the adjacent agricultural uses be discontinued in the future and new residential uses located adjacent to Lilac Hills Ranch, the HOA would have the option of re-landscaping the 50-foot open space buffer area consistent with the design guidelines of the Specific Plan. In addition, these larger lots proposed by such tentative map will be oriented so that the widest lot boundary is facing the Community boundary and/or adjoining homes.

c. Architecture

The residential architectural styles include, but are not limited to: Spanish Colonial, Craftsman, French Country, California Bungalow, California Ranch, and California Monterey (see **Figures 100 to 119**). These styles are attractive, compatible with one another, and they can be easily integrated into the individual style and scale of each neighborhood. It is important to note that these styles are intended for modern adaptation, not recreation of historic homes. The architecture is expected to be somewhat simplified, yet still maintain the unique characteristics that exemplify the style.

Facade Elements

Residential building facades should be attractively designed with varied features for individual identity and neighborhood interest. Facade features should be pedestrian- oriented in that they provide a connection between the public street and sidewalk and the private residence. Facade treatments may include:

- i. Undulating building mass and roof planes.
- ii. Vertical and horizontal stepped massing.
- iii. Visually minimized garages.

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- iv. Entry features such as doors, windows, porches, patios, courtyards and trellises oriented towards the street and appropriate to the architectural style.
- v. Facades that are visible from public view areas (open spaces, streets, parks, etc.) shall be articulated to avoid monotony.

Garage/Driveway Design

The pedestrian-orientation of a neighborhood places emphasis on the home and front yard rather than the garage. However, lot configurations in the Lilac Hills Ranch single-family residential areas will necessitate most garages facing the streets. This section describes building massing and plotting techniques, as well as specific solutions for garage placement and facade design. Designers are encouraged to explore additional methods to meet the objective of minimizing the visual dominance of garages in neighborhoods. Basic guidelines for garage design are:

- i. Minimize the impact of garages facing the street by techniques such as varying garage door patterns and utilizing deep recessed doors, varying colors, splitting one large door into two single doors, and integrating door window and coach lights.
- ii. Vary the garage setbacks; the preferred design is for the garage wall to be set back further than the front wall of the home.
- iii. Provide variety through the use of alternative garage configurations such as split, swing-in/side loaded, and mid to deep recess garage, tandem garages, detached garages, detached garages in clusters.
- iv. Provide for a variety of driveway designs such as colored concrete, pavers, edge banding, and/or other surface enhancements to break up large expanses of concrete. All driveway surfaces shall be required to meet the County Consolidated Fire Code requirements for use by emergency vehicles.
- v. Concept site plans and architecture for the single-family neighborhoods of Lilac Hills Ranch are illustrated in Section III.

d. Pedestrian-Oriented Design

Pedestrian-oriented neighborhood design emphasizes a cohesiveness of the Community through aesthetically pleasing site planning and architecture. Essential elements include attractive architecture, inviting entries, and a minimization of utilitarian areas facing the street. The structure of a neighborhood must be understood to better promote its pedestrian-orientation.

The area between the street and residence contains a hierarchy of public to private spaces. The street, sidewalk, and parkway are perceived as public, common neighborhood use areas. Residential front yards provide a transition

space between the public spaces of the sidewalk and street, and the private spaces of the home. The residential entry is the final demarcation area between public and private spaces.

The design of residential neighborhoods can complement that orientation by borrowing elements from traditional neighborhoods, such as porches, and minimizing the influence of the automobile. The following sections describe three primary areas of design that will facilitate the creation of pedestrian-oriented neighborhoods: site planning and garage/driveway design.

5. Senior Citizen Neighborhood Design Guidelines

The Senior Citizen Neighborhood includes single family residential development, Neighborhood Center South and a Senior Center and Group Residential/Group Care Facility. Residents of this portion of the Community are required to be 55 years of age or older. All residential and commercial development in the Senior Citizen Neighborhood will use the same architectural styles, facade elements, garage location and design, landscape themes and guidelines used elsewhere in the Specific Plan. Hardscape and landscaping shall be designed in anticipation that the majority of the population will be seniors. Site plans should, where appropriate, minimize physical barriers and provide ramps, seating, hand rails and other amenities directed at ensuring a safe and walkable community.

a. Single Family Residential:

As elsewhere in the Community any single family residential development with the RU Use Regulations within the Senior Citizen Neighborhood will require that a Site Plan be submitted for all single family development ~~;~~ [prior to the issuance of building permits.](#) The purpose of the Site Plan will be to (a) assure that the proposed lots meet the, configuration and setbacks standards detailed in the **Single Family Residential Development Standards** tables (**Figures 98 and 99**) and (b) establish the specific architecture for the individual lots from the architectural models included in **Figures 120 through 124** included later in this section of the Specific Plan text.

b. Group Residential/Group Care (Assisted Living) and Senior Center Design Concept

The Group Residential Use type is a permitted use in the RU Use Regulation per Section 2142 of the Zoning Ordinance. The Group Care Use type and Senior Center are also permitted uses per Section 2145 (a) with the approval of a Major Use Permit. The individual living units in both the Group Care and Group Residential facilities will be allowed to include an individual kitchen. (Per the Zoning Ordinance at the time of construction these units may or may not be defined as dwelling units. Regardless, under either circumstance, these units will

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not cause a reduction or otherwise impact the approvals for the other 1,746 dwelling units approved by this Specific Plan.)

A proposal for a combined Group Residential and Group Care facility use will require the submittal and approval of a Major Use Permit. Applications for a Group Residential/Group Care (Assisted Living Facility) Use Permit will be reviewed to assure that the development proposal conforms to the applicable design standards of this Specific Plan (See **Figures 95–to 9897**).

The development of any of these types of uses within the Senior Citizen Neighborhood is allowed, and any applications for the appropriate County permits should be in conformance with the following guidelines.

c. Site Planning

The site planning and plotting of the group residential/group care buildings will contribute to the pedestrian-oriented concept of Lilac Hills Ranch. Site planning which focuses on the pedestrian includes design that orients entries towards a court or green space and minimizes views to garages and parking areas.

d. Architecture

Building forms and facades should be broken up into short vertical sections that are representative of the historic nature of Southern California villages of the 1920's and 1930's. A variation of building heights, parapets, flat and pitched roofs, and building material is desired.

e. Site Planning and Building Orientation

Building entrances will be closely spaced to increase articulation and interest along the pedestrian edges. Design emphasis on the entries improves the street scene. Setbacks, building height, building design, and exterior treatments will be established per the approved Major Use Permit.

f. Gated Access

- i. The Senior Citizen Neighborhood (Phases 4 and 5) can be accessed from off-site at three points: Covey Lane on the north, the access easement to Rodriguez Road on the east, and Mountain Ridge road on the south. Each of these access points will be controlled with automated gates which will limit public access (see **Figure 1-25**).
- ii. The gates and their controlling mechanisms will be state of the art, and must be approved for conformance with the existing standards and policies by the County prior to the recordation of the first Final Map in either Phase 4 or 5.
- iii. Some of the proposed gates cross roads classified as Fire Apparatus Access Roads (i.e. Covey Lane ~~@~~at Lilac Hills Ranch Road and the access road to

Rodriguez Road). The gate proposed to cross these roads must be approved by the Fire Authority Having Jurisdiction prior to construction.

- iv. Access to the control mechanisms will be limited to the developers, appropriate emergency services agencies and ultimately the residents of Phases 4 and 5.

g. Pedestrian and Vehicular Access

- i. Frequent opportunities to sit, relax, and observe should be provided with the inclusion of benches, steps, planters, and low walls within and adjacent to the pedestrian walk.
- ii. Pedestrian, bicycle and golf cart access routes should be maximized and identified with appropriate signage.
- iii. Vehicle access should be clearly subordinated to pedestrian access through street design that promotes traffic calming such as narrow travel lanes.
- iv. Parking lots should be located behind buildings or building facades which front onto pedestrian-oriented streets.

h. Landscape and/or Hardscape

- i. The pedestrian ground plane should be well defined with a hard surface that is comfortable for accessible path of travel
- ii. Landscaping shall provide the opportunity to enjoy the color, smell, and texture of the plant material.
- iii. Deciduous and evergreen trees shall be incorporated into the pedestrian path, planted flush to ground level with overhead branches to create overhead canopies for shade in the summer and sunlight in the winter.
- iv. Large expanses of asphalt paving shall be avoided and their appearance softened by creating breaks in these areas and includes sections of permeable paving to intercept urban runoff and create visual relief. Landscaping shall be used where reasonable incorporated within these areas as well to provide visual along with color, smell and texture relief and screening, where possible.
- v. Accessible parking and handicap parking will be designed appropriately. Parking bays should be oriented perpendicular to destination areas and parking areas, where feasible, should be broken up into smaller pieces to avoid massive parking lots.

i. Parking, Loading, Outdoor Storage Areas

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The requirements for onsite parking, loading and outdoor storage areas throughout Lilac Hills Ranch shall be in conformance with the following requirements.

All development within the ~~Town Center~~ commercially designated areas shall provide areas for trash storage. The following criteria apply:

- i. The number of containers shall be as required by the sanitary service operator for all uses on the site.
- ii. Trash areas shall be kept neat and clean.
- iii. The precise location of any trash area shall be approved as part of the site plan.

6. Institutional Guidelines

These guidelines address the design elements that contribute to the Lilac Hills Ranch planning concepts for pedestrian-prioritized design. Guidelines are provided for architectural styles, facade elements, and design, and landscape themes. Conceptual site plans and architecture for the potential institutional uses are illustrated at the end of this Section. Building architectural styles are not mandated but should be complementary to the Lilac Hills Ranch design theme as depicted in the design guidelines. The civic uses anticipated for this site per Section 2145-~~(a)~~ of the Zoning Ordinance will require approval of a Major Use Permit.

a. Site Planning

The guidelines stated below are provided for siting and building plotting of the land uses authorized by Section II B (7) of this Specific Plan.

- i. Buildings will be oriented to create outdoor spaces, such as courtyards, or patios.
- ii. Building orientation should consider indoor and outdoor privacy, noise, solar access, and overall aesthetic appearance.
- iii. Grade differentials between the street and a development will be used to create separation between the streets and private living space.

b. Site Planning and Building Orientation

Building entrances should be closely spaced to increase articulation and interest along the pedestrian edges as depicted in the adjacent illustration. Design emphasis on the entries improves the street scene. Setbacks, building height, building design, and exterior treatments will be established per the approved Major Use Permit.

c. Architecture

Development should be designed to promote variety and enhance the human-scaled pedestrian activity of the Community. The following guidelines suggest methods for creating vital, interesting architecture:

- i. Developments should be unique, but share fundamental architectural characteristics consistent with the Lilac Hills [Ranch](#) design theme.
- ii. Building elevations that are visible from public view areas (surrounding streets and public open spaces) shall be articulated with elements such as wall offsets, balconies, and windows, appropriate to the architectural style.
- iii. Varied building elements, roof pitches, and setbacks should be employed to avoid monotony, including some three-story elements.
- iv. Distinctive building elements shall be oriented towards the corners of prominent street intersections.
- v. Street facing facades shall incorporate a range of scale-defining elements that relate larger building masses to the scale of the pedestrian. Elements may include trellises, columns, archways, doorways, porches or patios, and upper floor balconies and windows.
- vi. Utilitarian areas -- include parking, loading, mechanical equipment and trash enclosures -- shall be screened so that they do not impact views from public roads to the maximum extent possible.
- vii. The color palate should reflect the context of the architectural style of the building theme.

d. Parking Design

Views of parking areas should be minimized to create the pedestrian Villages. The following guidelines provide direction for location and design of parking facilities:

- i. Parking and vehicular access shall be located to be visually separated from the pedestrian-oriented street frontage.
- ii. Site planning and architectural treatments, such as offsets, should be used to minimize the appearance of garage corridors.

e. Landscape

Landscape in the Institutional planning area shall adhere to Design Guidelines set forth below. The front and side yard landscaping shall be complementary to the streetscape and California Foothills design themed landscape. Interior

III. DEVELOPMENT STANDARDS AND REGULATIONS

landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the Lilac Hills Ranch design theme. The following guidelines are for the Institutional landscapes:

- i. The landscape is to be comprised of trees, shrubs, vines, and ground covers that are consistent with the overall Lilac Hills Ranch theme.
- ii. Tree plantings in the front yard areas shall be varied to provide interest in the landscape.
- iii. Side yard areas shall be landscaped to soften the architecture and provide privacy for residential units.
- iv. Transformer and cable box locations are to be carefully planned and coordinated with the both the utility company and the landscape architect.
- v. Transformers and cable boxes should be located to be unobtrusive and screened from view with plantings where feasible.
- vi. Trash enclosures shall be designed to complement the architectural style of the development for which they are intended. Provision for trash and recycling shall be in conformance with the County Requirements.
- vii. HVAC equipment shall be screened from view from common use areas, where feasible, and shall comply with County noise standards.
- viii. Large expanses of asphalt paving shall be avoided and the appearance softened by creating breaks in these with areas with sections of permeable paving to intercept urban runoff and create visual relief.

f. Lighting and Signing

- i. Architectural accent lighting is encouraged.
- ii. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- iii. Within building groups, architectural and accent lighting should be indirect and subtle.
- iv. Service area lighting should be contained within the service area boundary and enclosures.
- v. Lighting should be designed to minimize glare and intrusion into neighboring land uses.
- vi. Community entry monuments should inform and direct but not dominate the visual character of the area.

- vii. Signs shall be consistent with the architectural style of the building and comply with applicable County Standards.

F. Fire Protection Plan (FPP)

Structural and wildland fire protection is provided by the Deer Springs Fire Protection District (DSFPD) in association with the California Department of Forestry (CALFIRE). A Fire Protection Plan (FPP) has been prepared to describe the level of fire risk that would affect or be caused by the proposed project and the methods proposed to provide necessary services. The FPP also evaluates the consistency of the proposed project with applicable fire protection regulations and the requirements of the DSFPD regarding fire safety in the Wildland/Urban Interface area in which the project is located. The goal of the FPP is to minimize any potential loss of life, residential and commercial structures due to a wildland fire. In addition, a Capabilities Assessment of the DSFPD was conducted that provided additional fire service options and considerations. The following standards will minimize fire risk to the Lilac Hills Ranch Project:

1. Performance Standards

- a. ~~Establish a Fuel Management Zone (FMZ) as required for the management of flammable vegetation in accordance with the requirements set forth in the Fire Protection Plan ("FPP"). Each Implementing Tentative Map will include a Site Plan that~~Each Final Map will designate the location of required Fuel Management Zones as required by the analysis conducted based upon the procedure and protocol set forth in the FPP. Where the standard FMZ building setback zone is modified by the FPP for each Implementing Map, the alternative measures identified within that FPP will be used as permitted by the Fire Code and as set forth within the FPP for such Implementing Map. These alternative methods will be based on the fuel modeling, mitigation measures or mapping as permitted. The Fire Protection Plan is provided in **Figure 135141**.
- b. On all implementing Site Plans require all structures within the wildland-urban interface as defined in the County Building Code shall be built using ignition-resistive construction methods (Title 9, Division 2, Chapter 1 of the San Diego County Code of Regulatory Ordinances) and construction requirements shall meet all then-current County and State of California Building Code (Chapter 7A) requirements for construction in the wildland areas.
- c. On all implementing Site Plans require that fire-resistant building features described in the FPP shall be applied to all structure construction and will be implemented at the site plan or building permit stage. Such features will be applied to mitigate the ignitability of the residential structures and projections (exterior balconies, carports, decks, patio covers, unenclosed roofs, and floors).
- d. Maintenance and repair of proposed residences will be required to be made with the same ignition-resistant materials and construction features.

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- e. ~~An interior~~ On all implementing Site Plans require an open space fuel modification treatment plan as set forth in the FPP shall be used identifying areas requiring fire resistant landscaping and other measures to mitigate fuel risks around all planned structures.
- f. A Fuel Modification Zone Required in paragraph (a) above will be for the fuel modification and maintenance of common areas and will be under the control of a homeowners association or other common ownership, established in perpetuity for the benefit of the Community.
- g. All implementing subdivision maps shall be conditioned to require that all standard two-way roads used for fire access shall have an unobstructed improved width of not less than 24 feet, and will be maintained at all times. The standard for all one-way roads used for fire access shall require an unobstructed improved width of not less than 14 feet, and will be maintained at all times. Fire apparatus access roads will not be obstructed in any manner, including the parking of vehicles. Specific interior roadways will be designated 'fire access roadways' or 'fire lanes'. All standards for apparatus access roads will follow the California Fire Code.
- h. All implementing subdivision maps shall be conditioned to require that emergency vehicle turnarounds shall be provided on 'fire lanes' to meet the standards of the County Consolidated Fire Code.
- i. On all implementing Site Plans require that fire apparatus access roads shall be constructed as necessary to meet the standards of the County Consolidated Fire Code. All roads shall be provided with an approved driving surface to meet the standards of the County Consolidated Fire Code prior to building permit issuance, construction and/or bringing combustible building products onto each parcel.
- j. Adoption of the Evacuation Plan as shown on Figure 2.7-3 of the EIR.
- k. Implement a program known as "Ready, Set, Go" to heighten the public's awareness and preparedness in time of emergency as described in the Evacuation Plan.
- l. Implement an education component including the distribution of complete copies of the Fire Protection Plan and the Evacuation Plan to all residents.
- ~~j-m.~~ An automatic gate across a fire access roadway or driveway shall be equipped with an approved emergency key-operated switch overriding all command functions and opening the gate. In an emergency the Sheriff, the HOA and the ~~Deer Springs F.P.D.~~ DSFPD will be able to activate this override feature. A gate accessing more than four residences or residential lots shall be equipped with an approved emergency traffic control activating strobe light sensor or other device approved by the fire code official, which will activate the gate on the approach of emergency apparatus. Any gate or barrier across a fire access roadway shall be constructed to meet the standards of the County Consolidated Fire Code.

~~k.n.~~ The Lilac Hills Ranch HOA will be responsible for preparing and updating as necessary Emergency Evacuation Routes and Procedures for all of the property owners and residents within the Community. This publication shall be prepared in co-operation with the Sherriff and the ~~Deer Springs F.P.D.~~ DSFPD. As per the FPP all residents will have at minimum two legal alternative evacuation routes. However the publication shall show all potential evacuation routes so that the property owners and residents can exercise their own discretion in the event of an emergency.

G. Grading ~~Plan~~ Guidelines and Development Standards

1. Landform Grading Guidelines

The design plan for Lilac Hills Ranch strives to minimize grading and create visually pleasing landforms. The following are guidelines for grading and slope design.

- a. Create elevation changes within the property that strive for a balance of cut and fill grading.
- b. Use grade changes to optimize views and a sense of spaciousness.
- c. Use grade changes between different land uses where separation and buffering is desired.
- d. To the extent possible, avoid cut and fill over 30 feet.
- e. Use landform grading techniques where appropriate, in slopes over 25 feet in height.
- f. Use varied-height trees, shrubs, and groundcovers to undulate the surface of slopes.
- g. Use state-of-the-art erosion control, irrigation, and water management practices to protect slopes.

2. Grading Development/Construction Standards

- a. Grading Conformance: All grading activities shall be in compliance with the Specific Plan standards and shall implement any grading-related mitigation measures or Community design features established in the Environmental Impact Report.
- b. Contour Grading: All manufactured slopes in excess of 30 feet in height shall be contour graded where possible without impacting sensitive open space resources using techniques such as undulation, rounding of top and toe of slope, and varying gradients.
- c. Manufactured Slopes: Manufactured fill slopes shall be constructed at a gradient no steeper than 2:1. Manufactured cut slopes may be reduced to 1 ½: 1 in rocky situation and will require soil engineer approval.

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- d. **Balanced Site Work:** Grading activity for the entire Community shall be balanced on-site and will not require either import or export of material from outside of the Community.
- e. **Prehistoric Remains:** A qualified archeological grading monitor shall be on-site during grading activities in specific areas identified by the County. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist shall be consulted to ascertain their significance.
- f. **Dust Control:** Dust control during grading operations on-site shall be as required by the San Diego County Grading Ordinance and as detailed in the Mitigation and Monitoring Program of the Project EIR.

g. All active grading areas shall be watered three times per day.

h. All architectural coatings used during construction will be SDAPCD Rule 67 compliant.

i. Tier III, or higher, construction equipment will be used, with the exception of concrete/industrial saws, generator sets, welders, air compressors, or for construction equipment where Tier III, or higher, is not available.

j. The contractor shall use all available engineering controls such as blasting cabinets and local exhaust ventilation. The use of compressed air for cleaning surfaces shall be avoided. Water sprays, wet methods for cutting, chipping, sawing, grinding etc. shall be used, as feasible. The use of respirators approved for protection against silica shall be issued to construction workers during blasting and grading operations, where feasible.

k. All construction equipment shall be properly maintained and equipped with noise-reduction intake and exhaust mufflers and engine shrouds, in accordance with manufacturers' recommendations. Equipment engine shrouds shall be closed during equipment operation.

l. Whenever feasible, electrical power will be used to run air compressors and similar power tools.

m. Equipment staging areas should be located as far as feasible from occupied residences or schools.

n. For all construction activity on the project site, noise attenuation techniques should be employed as needed to ensure that noise remains below 75 dB(A) eight-hour Leq at the boundary line of an occupied residential use.

o. No more than one pile driver would be active on any single construction site or within 500 feet of another active pile driver.

H. Drainage Plan Development Standards

1. *County Development Standards:* Drainage and flood control facilities and improvements shall be provided in accordance with the San Diego County Department of Public Works Flood Control Division.

2. *County Maintenance:* All drainage and flood control facilities shall be either maintained by the County Department of Public Works Flood Control Division, or HOA, and shall be designed to provide adequate levels of safety, maintainability, and protection to existing and proposed improvements. Private drainage and flood control facilities shall be maintained by the HOA.
3. *Building Pads:* Grading for building sites and proposed streets shall provide positive drainage to prevent ponding of water. Necessary measures to prevent erosion and siltation shall be required both during construction and after completion of the Community.
4. *Modifications:* Drainage patterns within the site may be modified, but the modification shall be consistent with the Community drainage system plan approved by the County Department of Public Works.
5. *Runoff:* Lot runoff from impervious surfaces, such as roofs and pavement areas, shall be directed to natural or improved drainages. Dispersal into shallow sloping vegetated areas shall be encouraged.
6. All of the areas designated "DB" on the Specific Plan map are intended for use as hydromodification detention basins for the Community and are designed to hold stormwater runoff in accordance with local, state and federal requirements. In the event that these functions can be managed with alternative techniques approved by the appropriate local, state and federal authorities, these areas may be incorporated and used in accordance with the underlying zoning. Residential development shall not exceed the 1,746 units, and no amendment to the specific plan text or map will be required.

I. Water and Wastewater Development Standards

Valley Center Municipal Water District (VCMWD): All water and wastewater systems shall be designed per requirements of the VCMWD.

San Diego County Public Works Requirements: The infrastructure system shall be installed per the requirements of the County Department of Public Works.

Health Department Requirements: Water distribution and wastewater facilities shall be installed in accordance with the requirements and specifications of the County Department of Environmental Health and the State of California Department of Public Health.

The proposed means of foul air treatment shall be activated carbon towers.

J. Bio and Open Space Maintenance

1. Common Area Maintenance (HOA Open Space)

Common Areas within Lilac Hills Ranch will be maintained at a standard that is equal to the original construction; that is a high level consistent with standard landscape practices and building codes. Should the HOA decide to redesign landscaping,

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fencing, trails, monuments and other common features and/or install new features in the future, such installations and features shall be in accordance with the design standards contained in this Specific Plan. Specific maintenance standards are included below in Section 3.

Renovation and/or revision of site landscape shall require approved Landscape Plan through PDS. Plans shall also be in compliance with the Water Conservation in Landscape Ordinance, the Water Efficiency Landscape Design Manual, Grading Ordinance, where appropriate the Valley Center Design Guidelines and the specific plan Community Design Guidelines.

2. Agricultural Uses in Open Space

The Community will retain and promote agriculture uses in the project's common areas and open space system. Agricultural uses will be allowed in three areas pursuant to the descriptions below;

- a. **Dedicated Biological Open Space Easements:** There will be ~~103.6~~104.1 acres of sensitive biological/wetland habitat and existing agriculture preserved onsite. An additional ~~20.2~~8 acres of agriculture, outside of the biological open space, will also be conserved throughout the community. Agricultural uses, agricultural maintenance, and access to existing wells and water lines within the disturbed portion of biological/wetland habitat areas will be allowed. The identified agriculture areas will not be permitted to expand within the dedicated Biological open space areas.

Most of the agricultural uses located in the biological open space are in the wetland buffer areas. The adjacent wetlands are generally dependent upon the groves as they have mostly developed over the past several decades subsequent to creation of the groves.

- b. **Community Open Space Easement Areas:** The Lilac Hills Ranch Home Owners Association ("HOA") will own, manage and maintain open space areas, within the Community boundaries as follows: manufactured and landscaped slopes, recreational open space (parks, trails, etc.), on-site agriculture (including that in the Biological Open Space), and detention basins (see **Figure 19 - Open Space and Parks**). Within the manufactured open space system the project will, where feasible, retain existing agricultural operations.
- c. **Interim Agricultural Uses:** The project developers may allow new agricultural uses in certain areas including:
 - i. Selected project areas prior to their development for planned uses (e.g. interim agricultural uses); and
 - ii. Within planning areas slated for development, new agricultural uses will be an allowed use within implementing project non- biological open space areas.

~~g) **Community Agricultural Buffers:** For the areas shown on a 50-foot wide agricultural buffer will be planted with two rows of an appropriate tree crop (e.g. citrus, or avocado). These agricultural buffer strips will be located on parcels owned and maintained by the Community HOA.~~

iii. Lilac Hills Ranch will use commercially acceptable farming practices for on-site agriculture that are consistent with surrounding uses and County Ordinances.

d. **Community Gardens:** The HOA may authorize community gardens in each Phase as they deem appropriate on HOA owned lots. The HOA shall adopt and enforce maintenance and operations procedures as required.

3. Biological Habitat Maintenance Areas

The biologically sensitive areas identified in the project EIR which are to be conserved will be placed into open space easements as a condition of approval for the implementing subdivision maps. The process of establishing these easements requires that arrangements be made to ensure that the resources are managed by qualified and licensed professionals and that the easements include a provision for endowments that will assure their continued maintenance over time.

The County Biology Report Guidelines and Format identifies the following as acceptable Resource Managers:

Section 2.1 Resource Manager Qualifications and Responsible Parties

Proposed Resource Manager:

The resource manager shall be one of the following:

- a) Conservancy group Natural resources land manager
- b) Natural resources consultant
- c) County Department of Parks and Recreation
- d) County Department of Public Works
- e) Federal or State Wildlife Agency (U.S. Fish and Wildlife Service, California Department of Fish and Game)
- f) Federal Land Manager such as Bureau of Land Management
- g) City Land Managers, including but not limited to Department of Parks and Recreation, Watershed Management or Department of Public Works.

h) Home Owners Association

i) Community Service Organization

j) Non-profit or Tax-exempt Public Benefit Organization

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Maintenance Area Standards

1. The resource manager shall be approved by the Director of Planning and Development Services (PDS).
2. Management and maintenance of biological resources, natural and restored/enhanced, will be in accordance with the Lilac Hills Ranch Resource Management Plan.
3. The Lilac Hills Ranch trail system includes several trails through the Biological Habitat Maintenance Areas. These trails are on existing, graded dirt roads ways which have existed for many years. Because the trail system has been located on the existing dirt roads no mitigation for their use will be required.
4. The Lilac Hills Ranch HOA will be responsible for maintenance and management of the agricultural resources and trail located within the Biological Open Space areas subject to an approved Management Plan.
5. Each tentative map that includes any of the areas shown on the Biological Open Space area (see Figure 18 – Biological Open Space) will be conditioned to dedicate to the County of San Diego, or a mutually agreed upon entity and maintained by an appropriate private interest organization authorized by the County of San Diego as acceptable resource managers any and all areas shown as Biological Open Space on Figure 18.

K. EIR Performance Standards**1. Agricultural Performance Standards**

- a. Pursuant to the EIR Section 2.4, each tentative map and its implementing Site Plan located on the exterior boundary of the community will incorporate 50-foot-wide agricultural buffers planted with two rows of the appropriate tree crop (e.g., citrus, avocado) along the exterior Community boundary. These buffers will be located where residential uses in Lilac Hills Ranch abut existing, adjacent orchards and will be used to create a transition and buffer between the two uses. (Mitigation Measure M-AG-2)
- b. Pursuant to the EIR Section 2.4, each implementing Site Plan located on the exterior boundary of the community will be conditioned to include a 6-foot-high fence adjacent to offsite agricultural uses to prevent trespass and intrusion by people and domesticated pets. (Mitigation Measure M-AG-3)
- c. Pursuant to the EIR Section 2.4, a Limited Building Zone shall prohibit habitable structures as well as any structure (e.g., covered patios and picnic shade structures, a community building, etc.) which could accommodate congregating residents, visitors, or children. The prohibition includes (but is not limited to) ball fields, swimming pools, horseshoe pits, picnic areas, or any other uses that would attract or keep people near the project boundary or AA. This

mitigation shall be implemented at the park site (AG-2), the institutional and age-restricted areas (AG-3 and AG-4) and along the project boundaries where it is necessary to discourage new residents from being within close proximity to off-site agricultural uses (AG-5, AG-6; and AG-8 through AG-11). This LBZ would also serve to mitigate impacts AG-13, AG-14, and AG-15. (EIR Mitigation Measure M-AG-4)

d. Pursuant to the EIR Section 2.4, and the Specific Plan Figure 142, the project shall include a 100-foot fuel modification zone/limited building zone between on-going agricultural uses and residential development, for each phase of development. The fuel modification zone/limited building zone shall comply with all State Law and County Agricultural, Weights and Measures Regulations. (EIR Mitigation Measure M-AG-5)

e. As identified in EIR Section 2.4, the project developers or HOA as appropriate is required by the San Diego County Agricultural Enterprises and Consumer Information Ordinance to provide disclosure statements in all sales documentation for all proposed residential units, if agricultural use is still in existence at the time new homes are constructed. The statement would notify potential owners that the adjacent property could potentially be used for agricultural operations such as fruit and flower production and that there could be associated issues such as odors, noise, and vectors. The notice would also notify future residents that these agricultural uses within the vicinity of the project maintain certain rights to practice agriculture in accordance with normal and accepted practices.

f. The lighting and illumination standards for Lilac Hills Ranch will be complementary to the architecture and land uses throughout the project area. Community lighting will be designed to provide adequate illumination for safety, security, and architectural accents without over lighting. Light fixtures will direct light to use areas and avoid light intrusion into adjacent agricultural and other land use areas. Light shields will be used where necessary to avoid nuisance lighting, particularly in residential neighborhoods and adjacent to preserved natural open space. Lighting, including all landscape low voltage decorative lighting, shall comply with the County's light pollution code.

2. Biological Performance Standards

a. All landscape plans shall include only native and low-fuel plant species. [per EIR Section 2.5]

b. All grading or clearing permits shall limit vegetation clearing as follows: (a) the period of the year outside of the nesting season, roughly defined as mid-February to mid-September. Vegetation clearing activities could occur within potential nesting habitat during the breeding season with written concurrence from the Director of Planning and Development Services (PDS), the U.S. Fish and Wildlife Service, and the California Department of Fish and Wildlife

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- (CDFW) that nesting birds would be avoided; or (b) If vegetation removal is proposed to take place during the nesting season, a biologist shall be present during vegetation clearing operations to search for and flag active nests so that they can be avoided.
- c. Prior to the approval of any grading or clearing permits during the nesting/breeding season for raptors (roughly from mid-February through mid-July), a "directed" survey shall be conducted to locate active raptor nests, if any. If active raptor nests are present, no grading or removal of habitat will take place within 500 feet of any active nesting sites. The project proponent may seek approval from the Director of PDS if nesting activities cease prior to July 15.
- d. Subdivision Improvement plans shall require culverts under road sections to be sized from 18 to 54 inches in diameter as appropriate to allow for adequate local wildlife movement. [per EIR Section 2.5]
- e. All Grading Plans shall require that a qualified biologist be present during grading operations in order to:
- i. Design and supervise the placement of orange construction fencing or equivalent along the boundary of the development area as shown on the approved grading and improvement plans.
 - ii. Monitor vegetation clearing and earthwork to ensure construction activities remain within the project footprint.
 - iii. Precisely identify and mark open space and other sensitive areas using geographic information system (GIS) coordinates with at least 6 inches of accuracy to assure that grading does not result in any un-permitted impacts beyond the designated buffer areas, nor result in any intrusion into any open space areas. [per EIR Section 2.5]

3. Hazards Related Performance Standards

- a. Prior to issuance of grading permit, the impacted soils in the locations referenced within EIR subchapter 2.7 shall be excavated and disposed of at an approved location. Confirmation samples shall be collected to verify removals. The appropriate documentation of the soil removal and subsequent testing shall be verified by the County before a building permit will be issued. [per EIR Section 2.7]
- b. Prior to demolition of on-site structures, a Hazardous Materials Assessment shall be performed to determine the presence or absence of asbestos-containing materials (ACMs)/lead-based paint (LBP) located in the buildings to be demolished. Suspect materials that would be disturbed by the demolition activities would be sampled and analyzed for asbestos content, or assumed to be asbestos containing. All lead containing materials scheduled for demolition must comply with applicable regulations for demolition methods and dust

suppression. Lead containing materials shall be managed in accordance with applicable regulations. [per EIR Section 2.7]

c. The Major Use Permit for the Wastewater Reclamation Facility (WRF) shall be conditioned to require that screened material shall be removed from the facility two to three times per week. The screening process would take place indoors, with screened material disposed of in a commercial dumpster that would be housed indoors until transported off site. Routine removal of material would minimize fly attraction/propagation. [per EIR Section 2.7]

d. Subdivision Improvement Plans shall be conditioned so that the storm water system and BMPs shall be designed to ensure that (1) vectors are excluded from enclosed sources of standing water; (2) any standing water is discharged within 72 hours; or (3) standing water is made less suitable for mosquito breeding. Details of all requirements pursuant to the County are included in the Vector Management Plan. [per EIR Section 2.7]

4. Noise Performance Standards

e. All Site Plans that include emergency generators within 500 feet of a property line will be conditioned to require that the generators be located within enclosures, behind barriers, or oriented within the site to eliminate the line of site between the generators and sensitive receptors. Noise testing will be conducted to verify that the generator noise levels comply with County standards, Section 36.404, at the nearest property line prior to operation. [per EIR Section 2.9]

K.L. Community Sign Standards

1. Residential Planning Areas

Individual sign programs for residential planning areas shall be submitted as a part of the Development Plan Review process. Community Facility sign standards will apply to the following conditions:

- a. Community Entry
- b. Secondary Entries
- c. Neighborhood Entries
- d. School Entry
- e. Park Entry
- f. Trail System Information
- g. Real Estate Directories

A sign system utilizing a consistent script and architecturally compatible materials will be developed. Three basic categories of Community Facility signs will be developed:

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- h. Entry Monument(s)
- i. Facility Identification
- j. Entry Markers

The community entry monument occurs at the Community entry points at both connection points of Main Street and West lilac Road. (See **Figure 12**[7](#))

Facility identifiers will occur through the use of wall-mounted signs located near the pedestrian entry or doorway. Script type and style will match that of the entry monument.

Entry markers are simply columns of wood or concrete, which identify the entry in situations where wall mounted script, might not be visible. Wooden markers will be used for trail system information. Concrete or masonry markers will be used elsewhere.

Care should be given to ensure sight line visibility for traffic at intersections and driveways.

2. Town Center and Neighborhood Centers

Signage and graphics within the town and both neighborhood centers shall be regulated by the following guidelines:

- a. External building signage shall be limited to the configuration of building facade signs, hanging signs or wall signs.
- b. Building facade signs shall be no more than two feet (2') in height and shall be in proportion to the building facade.
- c. Building facade signs shall be considered a cohesive design element within a building's elevation and in conjunction with window and door placement.
- d. A hanging sign shall be permitted to be a maximum of eight square feet in size and shall have a minimum clearance of eight feet (8') from the finished grade of the sidewalk to the bottom of the hanging sign.
- e. A wall sign shall be permitted to be a maximum of fifteen square feet in size within a maximum height of four feet (4') from finished grade at the base if free standing. Signage must be proportioned to the wall area upon which it is applied. Locations of wall signs must be approved on a site plan.
- f. The combined area of a business's identification signs shall not exceed one square foot (1SF) for each linear foot (LF) of the business's building frontage.
- g. Externally lighted signs are permitted if the light source is decorative and constitutes an architectural feature of the building facade. It must also be focused away from adjacent properties or streets.

- h. Internally lighted signs are permitted if the sign is constructed of individual letters and/or symbols that are individually lighted from within.
- i. Neon signage shall be permitted when less than three square feet (3SF) in total area and when they are located within the building.
- j. Signage and lettering shall be dimensional. Signs painted onto a building or wall surface are prohibited.
- k. Exterior building signage may only advertise the business transacted, goods sold or produced, or the service rendered on the premises where the sign is located. Safety or warning signage required by law is excluded.
- l. Storefront windows and doors shall be limited to a maximum of two square feet (2SF) of coverage with stickers, credit card decals, hours of operation, etc.
- m. Temporary sale or promotional signs shall be limited to fifteen square feet (15SF) or total area and shall only be permitted for up to a maximum of 45 days per year.
- n. Temporary signage shall only be attached to the inside of a storefront.
- o. Handwritten and/or typed signs are prohibited.
- p. Moving and/or flashing signs are prohibited.
- q. External posters and promotional signs are prohibited.
- r. Signage or lettering is prohibited on awnings or canopies.

L.M. General Use and Performance Standards

1. Community Wide Standards

- a. Land uses shall be as shown on the Lilac Hills Ranch Specific Plan Land Use Map (Figure 14) and as detailed in this Specific Plan text. These include residential, commercial, mixed-use, civic, and institutional. Streets, utilities, infrastructure, and trails are also permitted.
- b. Development of a total of 1,746 dwelling units consisting of single family detached, single family attached and mixed-use dwelling units within the Specific Plan area.

~~5. The Biological Open Space area (see — **Biological Open Space**) will be dedicated to the County of San Diego, and maintained by an appropriate private interest organization authorized by the County of San Diego as acceptable resource managers.~~

~~6. Community elements such as entries and parkway landscaping shall be maintained by a Homeowner's Association (HOA). Such maintenance is to be of high quality in accordance with established horticultural practices. Landscaping~~

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~~shall be maintained to allow trees and shrubs to achieve maturity and shall not be topped within the development.~~

- ~~7. Automatic irrigation systems shall be routinely inspected and maintained in operating condition at all times. Landscape maintenance specifications shall address: a) watering; b) fertilization; c) trimming, mowing and pruning; d) herbicide/pesticide programming; e) weeding/debris cleanup; and f) normal building maintenance.~~

2. Community HOA

- a. A Lilac Hills Ranch Homeowner's Association (HOA) will be established and charged with the unqualified right to assess individual lot owners for reasonable maintenance and management costs, which will be established and continuously maintained. The HOA will be responsible for private roads, signage, common area landscaping agricultural operations on HOA property and irrigation, Community entries and gates, private parks, HOA facilities, open space maintenance, and other responsibilities, as deemed necessary.
- b. Community elements such as entries and parkway landscaping shall be maintained by a Homeowner's Association (HOA). Such maintenance is to be of high quality in accordance with established horticultural practices. Landscaping shall be maintained to allow trees and shrubs to achieve maturity and shall not be topped within the development.
- c. Automatic irrigation systems shall be routinely inspected and maintained in operating condition at all times by the HOA. Landscape maintenance specifications shall address: a) watering; b) fertilization, c) trimming, mowing and pruning; d) herbicide/pesticide programming; e) weeding/debris cleanup; and f) normal building maintenance.
- ~~b.d.~~ All streets within the Community are private within private road easements. Landscaping within parkways will be maintained by private homeowners or the HOA. Individual neighborhoods in Lilac Hills Ranch may adopt Conditions, Covenants, and Restrictions (CCR's). Landscape maintenance standards may be established for each Community for front yards, side yards adjacent to streets and rear yard areas adjacent to open spaces. Each homeowner will be responsible for maintaining his and/or her property in accordance with any established CCR's. The County of San Diego is not held responsible for enforcing private CCR's.
- e. The HOA shall annually designate a specific member to be the main point of contact with the Deer Springs Fire Protection District for purposes of keeping the HOA informed of potential fire related issues, including discussions with the district regarding the performance and operation of gates within the Community
- f. Prior to Final Map an HOA Operations and Maintenance Manual will be prepared and adopted by the HOA. The manual will provide guidelines and standards for the common open space management activities.

- g. As a condition of the conveyance of the biological open space properties to third party open space managers (TPOSM). The TPOSM will provide to the HOA an appropriate document which details the standards and scheduling for the open space operations and maintenance practices. Included with the documentation will be contact information so that the HOA and TPOSM can effectively coordinate any ongoing issues and concerns.
- h. The onsite stormwater system will be owned and managed by the HOA. Prior to Final Map a Stormwater Management and Operations Manual, approved by the RWQCB, will be prepared and adopted by the HOA. The manual will provide guidelines and standards for the operations and management activities for the storm drain system. Included with the documentation will be contact information so that the HOA and the County Department of Public Works can effectively coordinate issues and concerns regarding the operation of the system.

3. Circulation Systems

- a. Permeable road pavers, meeting applicable private road and Consolidated Fire Code requirements may be allowed as a road surface on the private road system within the Lilac Hills Ranch Community.
 - b. The pathway within the road right of way for West Lilac Road along the Communities northern boundary will be maintained by a Landscape Maintenance District.
- ~~8. Any noise attenuation measures and any light attenuation measures identified in the Lilac Hills Ranch Specific Plan shall be incorporated into the development through the Tentative Map, Site Plans, Major Use Permits and building plans.~~
- ~~9. All development applications will prepare a photometric analysis for lighting as required by the County CEQA process.~~
- ~~10. High efficiency lighting shall be installed.~~
- ~~11. All appropriate utilities within Lilac Hills Ranch shall be placed underground. All utility connections and apparatus shall be coordinated with the site's architectural elements so as not to be exposed except where required by the utility provider.~~
- ~~12. All homes and commercial buildings will include water saving shower heads, toilets, and faucets to ensure that water is conserved internally. Installation of outdoor landscaping and irrigation systems and piping will be subject to the requirements of the VGMWD.~~
- c. Bicycle parking spaces shall be provided in accordance with the Zoning Ordinance on all Site Plans for uses that require bicycle parking. In addition the Site Plans for the civic uses allowed outside of the town and neighborhood centers (School, Private Recreation, Senior Center, etc.) shall also include bike parking in accordance with the Zoning Section. The Private Community Ride

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Share facility (Figure 130) at the western entrance to the Community shall also provide secured bicycle parking.

4. Building Use Standards

- a. Site Plans shall be conditioned to require all buildings to include the infrastructure necessary to accommodate the future use of solar panels and/or systems, including wiring for roof mounted solar systems and an electrical vehicle charging connection in the garage.
- ~~e.~~b. Site Plans for Mixed-use projects will shall be requiredconditioned to includerequire that recycling bins are included in their trash enclosures. Residents will be notified that recycling is required when they move in.
- c. In order to reduce the use of potable water, Site Plans for detached Single family homes will be conditioned to require that rainwater harvesting systems for the irrigation of private yards be designed to support drought tolerant vegetation only, unless recycled and/or groundwater are available for such irrigation. State of the art irrigation controllers will be required that match water use to plant type and weather conditions.
- d. Site Plans for developments proposing homes and commercial buildings will be conditioned to require water saving shower heads, toilets, and faucets to ensure that water is conserved internally. Installation of outdoor landscaping and irrigation systems and piping will be subject to the requirements of the VCMWD.
- e. Site Plans for developments proposing single family homes will be conditioned to require that each unit is equipped with Energy Star or equivalent high-efficiency appliances (washers, dish washers, fans and refrigerators).
- f. Site Plans proposing residential development will be conditioned to require that where the projects include fireplaces, including single-family residential, mixed-use residential and senior community residential, only natural gas or equivalent non-wood burning fireplaces shall be installed.

5. CEQA Implementation Standards

- a. Site plans proposing the transfer of dwelling units between phases of development may be required to prepare a traffic analysis if required by CEQA.
- b. All implementing discretionary and other permits as appropriate are required to include the relevant mitigation requirements included in the Certified EIR for this project.
- c. Any Noise attenuation measures and any light attenuation measures identified in subsequent CEQA analysis of discretionary projects shall incorporate the standards of the Lilac Hills Ranch Specific Plan into the development through appropriate conditions of approval and building plans.
- d. All subsequent development applications will prepare a photometric analysis for lighting as required by the County CEQA process.

6. Utility Standards

a. All implementing subdivision maps and Site Plans shall be conditioned to underground utilities, pursuant to the County Subdivision Ordinance, within Lilac Hills Ranch. All utility connections and apparatus shall be coordinated with the site's architectural elements so as not to be exposed except where required by the utility provider.

b. Site Plans shall be conditioned to require the installation of high efficiency lighting

~~d.c.~~ In addition to the standard curb side trash collection separate collection of recyclables and green waste, a recycling buy back facility will be provided onsite to further encourage area residents to recycle, reducing waste that eventually reaches County landfills, if feasible.

~~e.d.~~ All development shall implement recycling and composting services through a waste management plan in order to achieve the equivalent of a 20 percent reduction in baseline waste disposal calculated from municipal rates per CalRecycle. All individual developers shall have waste management plans prepared for future individual projects. The plans shall follow County Draft Guidelines and shall also include educational materials as part of the content. The plans shall address operational and construction phases of each proposed development.

~~13. All buildings will use appliances that reduce the use of potable water. Irrigation in common areas is addressed below. Irrigation of private yards for single family homes will be designed to support drought tolerant vegetation only unless recycled and groundwater are available for outdoor irrigation. State of the art irrigation controllers will be required that match water use to plant type and weather conditions.~~

~~14. All residential units shall have Energy Star or equivalent high-efficiency appliances (washers, dish washers, fans and refrigerators) installed when constructed.~~

~~15. All accessory uses permitted under Section 6156 of the County of San Diego are allowed.~~

~~16. All residential projects intending to install fireplaces, including single family residential, mixed-use residential, and senior community residential, shall install only natural gas or equivalent non-wood burning fireplaces~~

Zoning Ordinance, subject to the restrictions and limitations specified therein and setback requirements found at Section 4835 shall be permitted except as listed below:

- i. No silos, tank houses, coops, or water vending by machines shall be permitted except as possible architectural features.
- ii. No retail sales of stable gear or of wind turbine systems shall be permitted.

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- iii. No roadside sales of agricultural products or horticultural sales shall be permitted except with respect to weekly street markets within the Town Center or as otherwise permitted by the County.
- iv. No farm employee housing shall be permitted.
- v. No poultry management or wild animal keeping shall be permitted.
- vi. No offices shall be permitted outside the office/professional and Town Center districts, except as temporary real estate offices and home offices, and except those which comply with the requirements for a "Home Occupation" as defined within Section 6156 of the County Zoning Ordinance.

vii. All accessory uses permitted under Section 6156 of the County of San Diego are allowed.

7. Planning Area Standards

a. Town Center

- i. Community-serving commercial uses in Lilac Hills Ranch are concentrated in the Town Center core area which functions as the social, commercial and activity center for the Community. Standards found in this section apply to all land and buildings within the Town Center. Where specific standards are silent on an issue, the PDS is authorized to define a standard consistent with the goals of the Lilac Hills Ranch Specific Plan or that is in conformance with the County of San Diego Zoning Ordinance and the goals of this Specific Plan. The following use and performance standards apply to the Lilac Hills Ranch Town Center:

ii. The Village Green (Planning Area C4) contributes to a main town square or 'commons' that is intended to be a focal point or "heart" of the Community. The Village Green will be owned by the Community HOA. At build out the Village Green will include an Information Center, the HOA offices and a food and beverage establishment referred to as the "Tavern on the Green" in three separate structures which will occupy approximately 0.7-acres or one-third of the total area. The balance of the Village Green (1.3-acres) will be appropriately landscaped. Figure 134 shows the Concept Plan for the Village Green.

iii. The Village Green will be open to the public and is expected to host many "Special Events" for the Community residents. Any permit that will be processed for this area will specify that "Special Events" will be allowed and the County's normal special events permitting process will be followed for events held on private property. The "Special Events" may include the typical public holidays, events coordinated by the Home Owners Association or developer, and other events with the granting of required permit(s), if any.

~~ii~~.iv. Allowable uses within the Town Center include single-family attached residential; commercial and residential mixed-use; neighborhood-serving commercial to include a ~~grocery~~general store; specialty retail shops and services; restaurants, bars, cafes; ~~information center~~; a Farmer's Market; hotels; fractional ownership of timeshare; resort; restaurants; offices; public uses, religious institutional; post office, schools and library; quasi- public uses such as a day care facility; transit node; ~~and~~ utilities necessary to serve the Specific Plan area and other uses as authorized by the C34 Use Regulation.

~~iii~~.v. A Country Inn is a permitted use within the Town Center upon the approval of a Major Use Permit. The Country inn may include as many as 50 transient habitation units in a structure, or individual "casitas" as generally depicted on Figure 73 and 74 and with the approval of a Major Use Permit. The Country inn will be designed to comply with the Commercial Design and Landscape Design Guidelines included in Section III E Architectural Design Standards and Guidelines.

~~iv~~.vi. A clock tower is also an allowed use in the Town Center. The tower may be used to support radio, cellular, and wireless antennas subject to the approval of any required permits. This tower pursuant to Section 4622 (g) may be as tall as sixty feet so long as it is constructed of non-combustible materials, and will require the submittal and approval of a Minor Use Permit per Section 2341 of the Zoning Ordinance.

~~v~~.vii. Development standards are defined in the zoning boxes contained in Section III.A.6 of this Specific Plan. Setbacks will be established during Site Plan review.

~~vi~~.viii. Walls, fencing, and lighting shall comply with standards stated in above.

b. Neighborhood Centers

Neighborhood-serving commercial uses in Lilac Hills Ranch are also located in the Neighborhood Centers located in the central and southern portions of the Community which function as secondary commercial and activity centers to provide services within a half-mile walking distance from every home. Standards found in this section apply to all land and buildings within the Neighborhood Centers. Where specific standards are silent on an issue, the ~~PDS~~County of San Diego is authorized to define a standard consistent with the goals of the Lilac Hills Ranch Specific Plan or that is in conformance with the County of San Diego Zoning Ordinance and the goals of this Specific Plan. The following use and performance standards apply to the Lilac Hills Ranch Neighborhood Centers:

- i. Allowable uses within the Neighborhood Centers include single-family attached residential, neighborhood-serving commercial; schools; retail shops and services; restaurants and cafes; private recreation facilities; public uses;

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religious and institutional uses; quasi-public uses such as a day care facility; transit node; post office and library; ~~and~~ utilities necessary to serve the Specific Plan area and other uses as authorized by the C34 Use Regulations.

- ii. Development standards are defined in the zoning boxes contained in Section III of this Specific Plan. Setbacks may be established during Site Plan review.
- iii. Neighborhood Center South is not precluded from receiving a residential density allocation at some point in the future as part of a density transfer authorized by the specific plan.
- iv. Walls, fencing, and lighting shall comply with standards stated above.

3.8. Single Family Residential Areas

The standards found in this section apply to all land and buildings within the Single Family Areas with the RU Use Regulations. Where specific standards are silent on an issue, the PDS Director is authorized to define a standard consistent with the goals of the Lilac Hills Ranch Specific Plan or that is in conformance with the County of San Diego Zoning Ordinance and the goals of this Specific Plan. The following use and performance standards apply to residential uses in Lilac Hills Ranch:

- a. Development standards for SF residential areas are defined in the RU zoning box found in Section III of this Specific Plan. Dimensions and standards are minimums for setbacks and maximums for heights. Minor variations may be permitted subject to PDS Director review and approval or through tract map approval, providing the minimums specified herein are maintained as average minimums.
- b. Certain architectural projections (such as a fireplace) may extend up to two feet into yards subject to the following limitations: the projection shall not be placed on foundations and shall have a shelf height of not less than 18 inches above finished floor. The projection's total or combined length shall be no longer than the length of the adjacent fireplace; if not associated with a fireplace, the projection shall be limited to a maximum of five feet in length, and these projections shall be limited to a maximum of one per yard per dwelling.
- c. Landscaping of all lots shall be in accordance with the requirements set forth in the Landscape Design Guidelines section of this Specific Plan.
- d. A fuel modification zone shall be incorporated into residential lots, as required by the Deer Springs Fire Protection District standards as set forth in the approved Fire Protection Plans.
- e. Walls, fencing, and lighting shall comply with standards stated above.
- f. Minimum setbacks for single family residential land uses shall be in accordance with the **Single Family Development Standards** table - **Figures 98 and 99** and established during Site Plan review.

g. No wood-burning fireplaces would be installed, and all fireplaces would be natural gas. No fireplaces at all would be allowed in the 200-person group care facility.

h. All new residential units will have smart meters installed.

4.9. Attached and Mixed-Use Areas

The standards found in this section apply to all land and buildings within the attached and mixed-use residential areas. Where specific standards are silent on an issue, the PDS Director is authorized to define a standard consistent with the definition of the Village Core/Mixed-Use land use designation in the land use element goals of the Lilac Hills Ranch Specific Plan or that is in conformance with the County of San Diego Zoning Ordinance and the goals of this Specific Plan. The following use and performance standards apply to attached and mixed-use residential areas in Lilac Hills Ranch:

- a. Development standards are defined in the zoning boxes contained in Section III of this Specific Plan, and by the **Single Family Residential Development Standards** table (**Figures 98 and 99**). Dimensions and standards are minimums for setbacks and maximums for heights. Minor variations may be permitted subject to PDS Director review and approval or tract map approval, providing the minimums specified herein are maintained as average minimums.
- b. Certain architectural projections (such as a fireplace) may extend up to 2 feet into yards subject to the following limitations: the projection shall not be placed on foundations and shall have a shelf height of not less than 18 inches above finished floor. The projection's total or combined length shall be no longer than the length of the adjacent fireplace; if not associated with a fireplace, the projections shall be limited to a maximum of 5 feet in length, and these projections shall be limited to a maximum of one per yard per dwelling.
- c. Landscaping of all single family attached and mixed-use premises shall be in accordance with the requirements set forth in the Landscape Design Guidelines section of this Specific Plan.
- d. Walls, fencing, and lighting shall comply with standards stated above.
- e. Site Plans for these use types shall meet the applicable usable open space requirements of the Valley Center Design Guidelines.

5.10. School Site

The 12-acre K-8 school site within Phase 3 has been designed and is proposed for public or private school use to serve the educational needs of the residents of the Community and surrounding areas. The two local school districts will have an opportunity to acquire the site based on their independent assessment of their facility needs. It is also possible that a private school may desire to acquire the site for a

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“charter” or other type of private school. If over time neither a public or private entity is able to obtain the site it may be considered for an alternative use as follows. Students residing in the project would attend either Bonsall or Valley Center-Pauma schools, depending upon the district in which they were living. Interdistrict transfers could also be sought.

The school site will be reserved for acquisition in accordance with state law which requires that the site be available for two years after the site subdivision improvements for the lot have been accepted. The site may be acquired by either district and developed with a traditional public school or a charter school. The school site is designated VR-2.9 and is zoned RU. Should the site not be acquired within the prescribed time period, it may be developed in accordance with the provisions of the land use designation, zoning and the Specific Plan. Should the School site be developed with residential uses, the density (and resultant lots) would only be transferred from other areas within the project which are zoned with the RU use regulation. The total number of units for the project cannot exceed 1,746 under the provisions of the current Specific Plan. If either school district proposes and acquires an alternative site within the project the residential units shown on the Specific Plan map may be transferred per the standards established in Section III-C-4 of this specific plan.

11. Water Reclamation Facility (WRF)

The Water Reclamation Facility site, included within Major Use Permit (P12-005) will be reserved for use by the Valley Center Municipal Water District until such time as the district either accepts the completed facility, or accepts the construction of an alternative facility for the disposal of the project's effluent. In the event that the VCMWD decides that the site is not required for the intended purpose, it could be developed in accordance with the provisions of the land use designation, zoning and the Specific Plan. Should the 2.4-acre site be developed for residential uses, the density (and resultant lots) would only be transferred from other areas within the project which are zoned with the RU use regulation. The total number of units allowed cannot exceed 1,746 under the provisions of the current Specific Plan.

The area within the Use Permit identified for ‘wet weather’ storage (8.1-acres) is designed to hold the treated effluent in accordance with local, state and federal requirements. In the event that the wet weather storage is not needed it may be alternatively used as above.

12. Recycling Facility (RF)

A site for a Recycling Collection Facility will be provided and operated by a private recycling provider as feasible. Section 6970-b of the Ordinance includes 16 performance standards which detail the specific operational activities allowed with the approval of a Site Plan. The facility will be available featuring temporary roll-off bins or storage containers where recyclables, certain domestic hazardous waste generated within the Community (with the exception of pesticides, leftover paint, solvents, and

automotive fluid), and/ or green waste generated from project residents may be consolidated for efficient off-site processing. If economically viable, a buy-back center may be opened at this location for residents to redeem CRV containers.

13. Community Purpose Facility (CPF)

This facility will be owned and operated by a private recreation provider, and the community purpose facility will provide active indoor and outdoor uses such as: swimming pool, gym, basketball courts, tennis courts, etc. A concept site plan and elevations are illustrated as **Figure 78**~~The school site is both planned (VR2.9) and zoned for (RU) residential uses. If the school is not developed, the site may be developed with residential uses per the VR 2.9 and RU Use Regulations. The maximum number of dwelling units approved for the Specific Plan (1,746) will remain unchanged unless a General Plan Amendment is processed and approved by the Board of Supervisors.~~

. As shown the facility includes 40,000 square feet of enclosed recreational facilities, plus on-site parking.

If the DSFPD decides to locate a permanent fire station within Lilac Hills Ranch, the station may be co-located on this site with the Private Recreation Facility. In the event this takes place the recreational facility will be reduced to 35,000 square feet and the fire station structure will be approximately 4,500 in size.

6.14. Parks

Public and private parks are located throughout the Lilac Hills Ranch development. Standards found in this section apply to all land and buildings within the public and private parks. Where specific standards are silent on an issue, the PDS Director is authorized to define a standard consistent with the goals of the Lilac Hills Ranch Specific Plan and/or in conformance with the County of San Diego Zoning Ordinance and the goals of this Specific Plan. The following use and performance standards apply to the ~~public~~ parks within the Lilac Hills Ranch Community:

~~h) Allowable uses within the private recreational areas in Lilac Hills Ranch include dedicated dog parks, picnic, play structures and equipment; sports courts and fields; multi-purpose trails; maintenance and restroom buildings; parking lots; and other uses as permitted by the County of San Diego Zoning Ordinance.~~

a) Use and Performance Standards for all Parks

i. All public and private parks shall contain the minimum net area as specified in the PLDO Credit Table. Net area will be determined based on PLDO definition for active recreational use.

b) Use and Performance Standards for the Public Park

i. The public park (~~P10~~P7) shall be developed in conformance with park development standards determined by the County Department of Parks and

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Recreation and in accordance with the Park Lands Dedication Ordinance (PLDO).

- ii. The sports fields at the public park (P-7) may include pole mounted lighting subject to the condition that the field lights shall be turned off prior to 10:00 PM nightly.
- iii. A Park Site Plan shall be approved by the Department of Parks and Recreation for the public parks. Each Park Site Plan shall be reviewed and approved by the Department of Parks and Recreation and shall comply with all design requirements. As necessary, any mitigation associated with the construction of the park site shall be included in the Park Site Plans. Park Site Plans shall be approved by the Department of Parks and Recreation prior to review and approval of grading and building permits through PDS.
- iv. All public parks shall remain accessible to the public when the park is open. Any private road that connects a public road to the public park (P-7 or Interim Park) shall allow public access. Gates shall not be installed on any road within Phases 1, 2 or 3 that provides access to a public park. Easements necessary to provide access to all public parks and easements for utilities necessary to serve all public parks shall be granted to the County to the satisfaction of the Director of Parks and Recreation prior to the County accepting title and/or maintenance responsibilities for the public park.
- v. The County Department of Parks and Recreation may allow a Tentative Map that includes the Interim Park to be processed. The Tentative Map shall include a condition the County shall have accepted the 13.5-acre public park (P-7) before any grading permits are issued or approval of improvements are granted for the Interim Park and prior to the recordation of a Final Map that includes the Interim Park.
- vi. A Final Map that includes the Interim Park cannot be recorded until the County has accepted the 13.5-acre public park (P-7) within Phase 3.

c) Use and Performance Standards for the Private Parks

- i. Allowable uses within the private recreational areas in Lilac Hills Ranch include dedicated dog parks, picnic, play structures and equipment; sports courts and fields; multi-purpose trails; maintenance and restroom buildings; parking lots; and other uses as permitted by the County of San Diego Zoning Ordinance.
- ii. An open space easement or other instrument approved by the County for restricting the use of private parks for park and recreational purposes shall be recorded as part of the Final Map approval for the phase in which they are located. The grading, improvements and land landscaping for the private parks shall be completed and accepted by the Director of Parks and Recreation prior to the issuance of occupancy permits for the first building permit to exceed fifty percent of the total number of units for that Phase.

- ~~i) The sports fields at the public park is allowed to include pole mounted lighting with the condition that the field lights are turned off prior to 10:00 PM.~~
- ~~j) All public and private parks shall contain the minimum net area as specified in the PLDO Credit Table. Net area will be determined based on PLDO definition for active recreational use.~~
- ~~k) A Park Site Plan shall be approved for all public and private parks.~~

iii. All Park Site Plans shall be reviewed and approved by the Department of Parks and Recreation and shall comply with all design requirements.

~~iv. The~~ All private parks shall be shall be implemented by an approved Park Site Plan.

d) Private Parks within Phase 1:

- i. Prior to Final Map, the applicant shall enter into an improvement agreement with DPR and provide performance and payment securities for the construction of the private parks in each sub-phase.
- ii. The developer shall complete construction of all the private parks located in a particular construction sub-phase (shown on **Figure 15(b)** as 1A, 1B, and 1C) prior to issuance of 50% of the building permits located in that sub-phase (1A, 1B and 1C) or within 2 years from 1st building permit issuance in that sub-phase, whichever comes first.

Private Parks Phasing: The Park Plan (**Figure 17**) included with this Specific Plan shows the anticipated location and configuration of the proposed parks system, both public and private. As the development of the community proceeds, the specific location, size, configuration and design of the parks may be modified subject to the review and approval of the Department of Parks and Recreation during the Tentative Map process.

Interim Passive Park (**Figure 137**): Per an agreement with County Parks an IOD for a 3.2-acre (1.5 acre net) Interim Passive Park may be required with the recordation Final Map in Phase 1. This interim park (3.2-acres) will be located in Phase 3, adjacent to Phase 1 at the northeast corner of the Community. With the recordation of the first Final Map in Phase 2 an IOD for an additional 8-acres (6.5 acres net) will be required if no Final Map in Phase 3 is recorded within seven years of the IOD. If a Final Map has been recorded within Phase 3 then the IOD for the Community Public Park (P-7) shall be recorded with the condition that the park will be constructed within 1.5 years of the recordation of the Final Map. With the recordation of this IOD the County will release all IODs for the Interim Passive Park.

7.15. Open Space and Trails

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Lilac Hills Ranch provides preserved biological open space, and undeveloped common areas which encompasses fuel management zones and maintained manufactured slopes. In addition, a highly developed public trail system is provided throughout the Community. Standards found in this section apply to all open space land and trails within the Community. Where specific standards are silent on an issue, the PDS Director is authorized to define guidelines supportive of sustainable trail design and construction. The following use and performance standards apply to open space and trails:

- f. Biological Open Space consists of natural and re-vegetated open space and biological open space that may be offered for dedication to the County Open Space Preserve system. Allowable uses in the Lilac Hills Ranch Biological Open Space areas include restoration of degraded and/or disturbed native plant habitats; public utilities and access to utilities; emergency or special needs fuel modification as determined by the Deer Springs Fire Protection District in accordance with the requirements of the approved Fire Protection Plan; agriculture land uses in the RPO wetland buffer which pre-date the approval of the Specific Plan and regional trails as shown and described in the Specific Plan text.
- g. Prohibited uses in Biological Open Space areas include streets and associated grading; (except as shown on the Specific Plan or as required to comply with Federal, or State permits); grading and fuel modification landscaping for the Lilac Hills Ranch Specific Plan development area (with the exception of grading associated with trail construction and maintenance); ornamental, non-native landscaping; developed recreational facilities such as picnic and play areas (with the exception of trails) and residential lot accessory uses and landscaping.
- h. Common area open space includes manufactured slopes for the construction of streets, residential lots and other uses allowed within the Community; erosion control and fuel modification zones and landscaping; Community entry features, including monument signs, lighting, ornamental landscaping, site furnishings and similar elements; utilities and access to utilities necessary to serve the Lilac Hills Ranch Specific Plan area; recreational uses such as picnic and play areas, tot lots, nature observation and seating areas; and both existing and new agriculture land uses in the manufactured, or other open space areas, including community gardens, local and regional trails.
- ~~i. Agricultural uses~~The HOA will be ~~allowed so long as they can be managed appropriately without creating a nuisance to adjoining~~responsible for the maintenance of such properties including the required maintenance of all fuel management zones on HOA property.
- ~~i.i. All agricultural operations~~ within the Community ~~are limited to properties owned and maintained by the HOA. The HOA is responsible to ensure that all agricultural operations conform to applicable County regulations and ordinances~~

to include limiting use of spray products on fruit trees to those approved for organic operations

~~j.k.~~ Lilac Hills Ranch will use commercially acceptable farming practices for on-site agriculture that are consistent with surrounding uses and County Ordinances.

~~k.l.~~ Manufactured slopes shall be planted for erosion control, fuel modification, Community identity, and aesthetics in conformance with the plant palettes and standards contained in this Specific Plan.

~~l.m.~~ Native oaks shall be preserved or moved to open spaces to the maximum extent feasible.

~~m.n.~~ Trails that are part of the County Regional Trail System (~~Community Multi-purpose Trail and~~ Regional Trails ~~Links~~) ~~and the Ranch Multi-Use Trail~~Linkages) shall be developed in accordance with the County's Trail Standards. The County Regional Trail System trails shall accommodate equestrians, bicyclists, and pedestrians and shall be dedicated to the County of San Diego. ~~The Ranch Multi-Purpose Trail shall accommodate equestrians, bicyclists, and pedestrians and shall be maintained by the HOA.~~

~~n.o.~~ The Lilac Hills Ranch Community trail system shall be designed to accommodate bicyclists and pedestrians on all trails. Equestrian use of this trail system will be limited to the trails on the County Master Trail System and the Ranch Multi-Use Trail that connects the two trails on the County Master Trail System.

~~o.p.~~ ~~Multi-Purpose~~The private trails shall be constructed per the ~~County of San Diego Design and Construction Guidelines and the Valley Center Community Road designation~~ trail standards ~~and as~~ described within this Specific Plan.

~~p.q.~~ Trails shall avoid fragile root areas of trees and shrubs, where feasible. Regional trails crossing roads shall be within ten degrees of a right angle. Traffic signs denoting all trail crossings shall be located along roadways to promote safety. Buttons at equestrian crossings shall be installed at signalized intersections. Motorcycles and off-road vehicles shall be strictly prohibited on both the regional and Community/neighborhood trails.

N. Green Building Performance Standards

The following performance standards, combined with other standards contained within Section III of the Specific Plan are included to demonstrate how the Community is designed to meet the criterion in Land Use Policy LU-1.2.

1. Sustainable Site Design

a. Household and Green-waste Recycling

The Implementing Site Plan shown in Phase 2 shall include a site for a Recycling Facility for the recycling of containers and compost to conserve energy and raw materials.

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b. Farmers Market

Prior to the recordation of the last Final Map within the Town Center, the HOA shall be required to obtain the appropriate County permit for a regularly scheduled Farmer's Market.

c. Community Gardens

Each Implementing Site Plan containing single-family attached or mixed use within the Town Center or Neighborhood Center(s), shall include a site for a community garden to be owned and maintained by an HOA.

d. Environmental Stewardship

The HOA shall have an ongoing obligation to coordinate with the third party owner/manager of the biological open space to ensure effective communication of issues of mutual importance and concern.

The HOA shall also have an ongoing obligation to manage and operate the agricultural uses allowed by the Specific Plan within the biological open space areas in coordination with the RMP manager.

e. Innovative Landscaping

The landscape plan for implementing Site Plans shall contain landscape buffers planted with orchard trees to simultaneously grow food for the community while beautifying the trail and open space network.

f. Erosion and Stormwater Management

Require each Implementing Map to be accompanied with Erosion Control, Stormwater and Drainage Best Management Practices, as incorporated within the Specific Plan, the accompanying Project plans such as the Stormwater Management Plan, the Water Conservation Plan and other appropriate County regulations.

2. Integrated Transportation Planning

a. Traffic Demand Management Plan

Performance Standards for Transportation Demand Management are found in Section III-B.4 of this Specific Plan. This plan fully implements requirements for the reduction of offsite trips and to reduce vehicle trips in favor of alternative modes of transportation.

b. Integrated Trail System

The Community integrated Trail System includes over 16-miles of public access multi-use trails including connections to two planned County regional trails. The Trail System provides complete access to all the neighborhoods within the Community and to the County Master Trail System.

c. Complete Streets

The Specific Plan includes a detailed section on street design (See Section III-B) which include a variety of widths and configurations all designed pursuant to the standards established for the Complete Streets approach to safe and accessible street design.

d. Transit

The Specific Plan includes a detailed section including the description of the integrated Transit system required by the Specific Plan (See Section III-B.4 & 5). This system provides for internal transit opportunities and a site for a private ride-share, shown on **Figure 130**. The Specific Plan also includes an interim private-sponsored transit program to connect the community with the existing public transit stop located at the intersection of I-15 and SR-76.

3. Sustainable Building

a. Dual wiring for solar and electric car charging:

Each implementing Site Plan shall be conditioned to require that buildings shown on the Site Plan will be designed to include dual wiring for solar electric, and electrical car charging.

b. Plumbing for Solar Water Heating:

Each implementing Site Plan shall be conditioned to require that buildings shown on the Site Plan will be designed to include plumbing for solar water heating.

c. Recycled Water Systems

Each implementing Site Plan shall be conditioned to require that common area landscaping shown on the Site Plan will be designed to allow plumbing for recycled water systems.

d. Rain-water Harvesting

Each implementing Site Plan shall be conditioned to require that buildings shown on the Site Plan will be designed to include plumbing for rainwater harvesting systems.

e. Heat Island Reduction

The Landscape Plan for each Park Site Plan, or Park Major Use Permit shall include on the Landscape Plan an average of 77 trees per acre from the specimen list shown in Section III-D.6 (Community Park Landscaping Standards) of this Specific Plan.

III. DEVELOPMENT STANDARDS AND REGULATIONS

The Landscape Plan for the internal private road Improvement Plans associated with each Final Map shall include on the Landscape Plan an average of 30 trees (on center) along both sides of the road, (and in the median where a median is provided) from the specimen list shown in Section III-D.3 (Road Landscaping Standards) of this Specific Plan. Tree planting locations shall take into account public safety concerns in regards to sight distance.

The Landscape Plan for each development Site Plan shall include on the Landscape Plan an average of 298 trees per acre from the specimen list shown in Section III-D.4 (Neighborhood Landscaping Standards) of this Specific Plan from the specimen list shown in Section III-D.6 (Community Park Landscaping Standards) of this Specific Plan.

f. Energy Conservation

In order to meet State of California standards for energy efficiency and indoor air quality, all buildings shown on Implementing Site Plans shall be required to exceed 2008 Title 24 standards by 30%.

M.O. Wireless Facilities

Wireless facilities are allowed only in the three areas of the Community with the C34 Use Regulation. All proposed wireless facilities will be required to obtain the permits and go through the review process required in Section 6980 of the Zoning Ordinance.

N.P. General Plan Amendment

In order for the Lilac Hills Ranch Specific Plan to be implemented a General Plan Amendment must first be approved. The Lilac Hills Ranch General Plan Amendment includes a proposal to amend the County of San Diego's General Plan by: 1) Amending the Regional Land Use Map to change the Regional Category from Semi-Rural to Village Category; 2) Amending the Valley Center and Bonsall Community Plan maps to change the Land Use designations to VR 2.9 and Village Core and amending the texts to insert descriptions of the Specific Plan; and 3) Amending the Mobility Element road classification and Table M-4 for West Lilac Road to relocate the location where the classification of West Lilac Road transitions from 2.2C to 2.2F from east of the project to the west side of the Community.

The General Plan Amendment proposes for the 608-acre project to replace the Semi-Rural category on the Regional Land Use Map with the Village Regional Category (**Figure 8 – Proposed Regional Land Use Categories**). The Project is proposing a planned Community that meets the requirements of the Community Development Model. It contains a central core in which the highest intensities of development are to be located. This Village-core would contain the densest neighborhoods and a broad range of commercial and civic uses that are supported by a network of local roads, containing bicycle lanes and walkways that link the Project's proposed parks, schools, and public areas. Typically future growth is directed to areas where existing or planned infrastructure

and services can support growth. The Lilac Hills Ranch Community is located within the boundaries of the Valley Center Municipal Water District and the Deer Springs Fire Protection District.

1. Community Plan Designations

The General Plan Amendment proposes for the 608-acre project to replace the existing Semi-Rural 4 and the Semi-Rural 10 land use designations (**Figure 7 - Existing Regional Land Use Categories**) which allow a gross density of one unit per 4 and 10 acres respectively to the Village Residential (VR 2.9), and the Village Core/Mixed-Used (C-5) designations.

The majority of the property will be designated with the VR 2.9 designation which allows a maximum of 2.9 dwelling units per acre over the ~~532~~580.2 acres with this designation. The proposed Specific Plan includes a Town Center in the north central portion of the project which will be designated with the Village Core/Mixed-Use designation which as the name suggests allows a mix of commercial, residential and mixed-use development within the ~~302~~27.8 acres within the Town Center. Two smaller Neighborhood Centers (8 and 0.4 acres) south of the Town Center will also be designated with the C-5 designation (**Figure 10 - Proposed Community Plan Land Use Designations**).

All of the approximately 78 acres in the northwest corner of the property located in the Bonsall Community Plan will be designated with the Village Residential (VR 2.9) land use designation.

~~E.Q.~~E.Q. Existing Structures to Remain

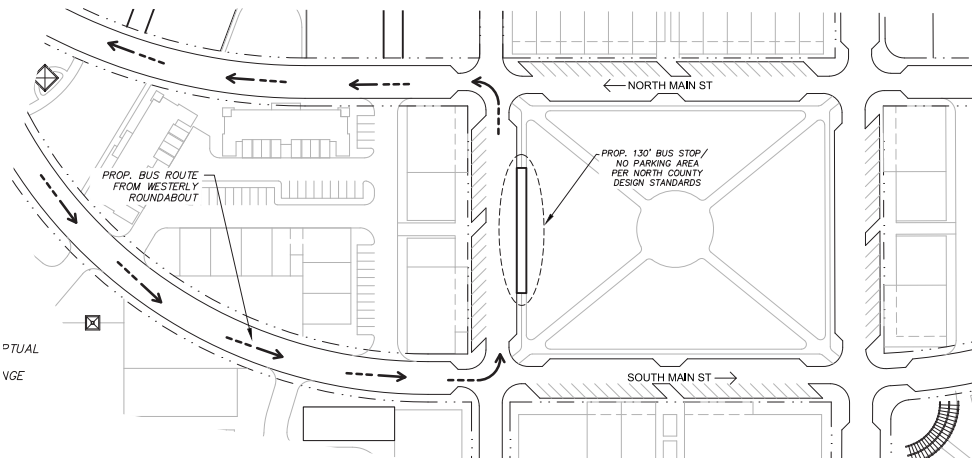
Within the Community there are ~~sixteen~~16 existing parcels all with existing residential structures, some including ancillary structures located in Phases 1, 2, 3, 4, and 5. These dwelling units (and structures) pre-exist the approval of the Community and are not included in the tables describing the distribution of the 1,746 dwelling units planned and authorized pursuant to this Specific Plan. Implementing Tentative Maps may recognize the existing structure by locating it on a new, reconfigured lot. As such the reconfigured lot will not be included as part of the residential unit count for the phase or for the project at large. Each Implementing Tentative Map will identify which of the existing structures shall remain after completion of such phase of the Project. Upon Project completion, many of the existing homes will be on the Property together with the new homes provided for in this Specific Plan.

Subdivision Process: The existing structures are located on Assessor Parcels (APN 128-280-10, 27, 37 and 42; 128-290-07; 127-072-38; 128-290-07, 09, 69, 74; 128-440-02, 05, 06, 14 and 22; and 129-300-09). A note will be placed on the subdivision maps allowing them to remain following the recordation of the implementing subdivision maps. In each case the Final Map will create a legal lot, which will require a Certificate of Compliance

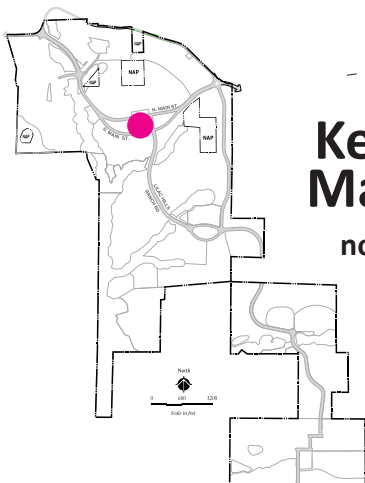
III. DEVELOPMENT STANDARDS AND REGULATIONS

[prior to sale.](#) meeting the appropriate zoning requirements for minimum lot size setbacks etc.

Design Review for New Structures: When in the future the existing structures on these lots are removed, all new structures, except for the existing structures on APN 128-280-42 including the barn, will be required to meet the minimum standards on the **Single Family Development Standard Table** and the architectural facades in this specific plan.



CONCEPTUAL TOWN CENTER
TRANSIT STOP
no scale

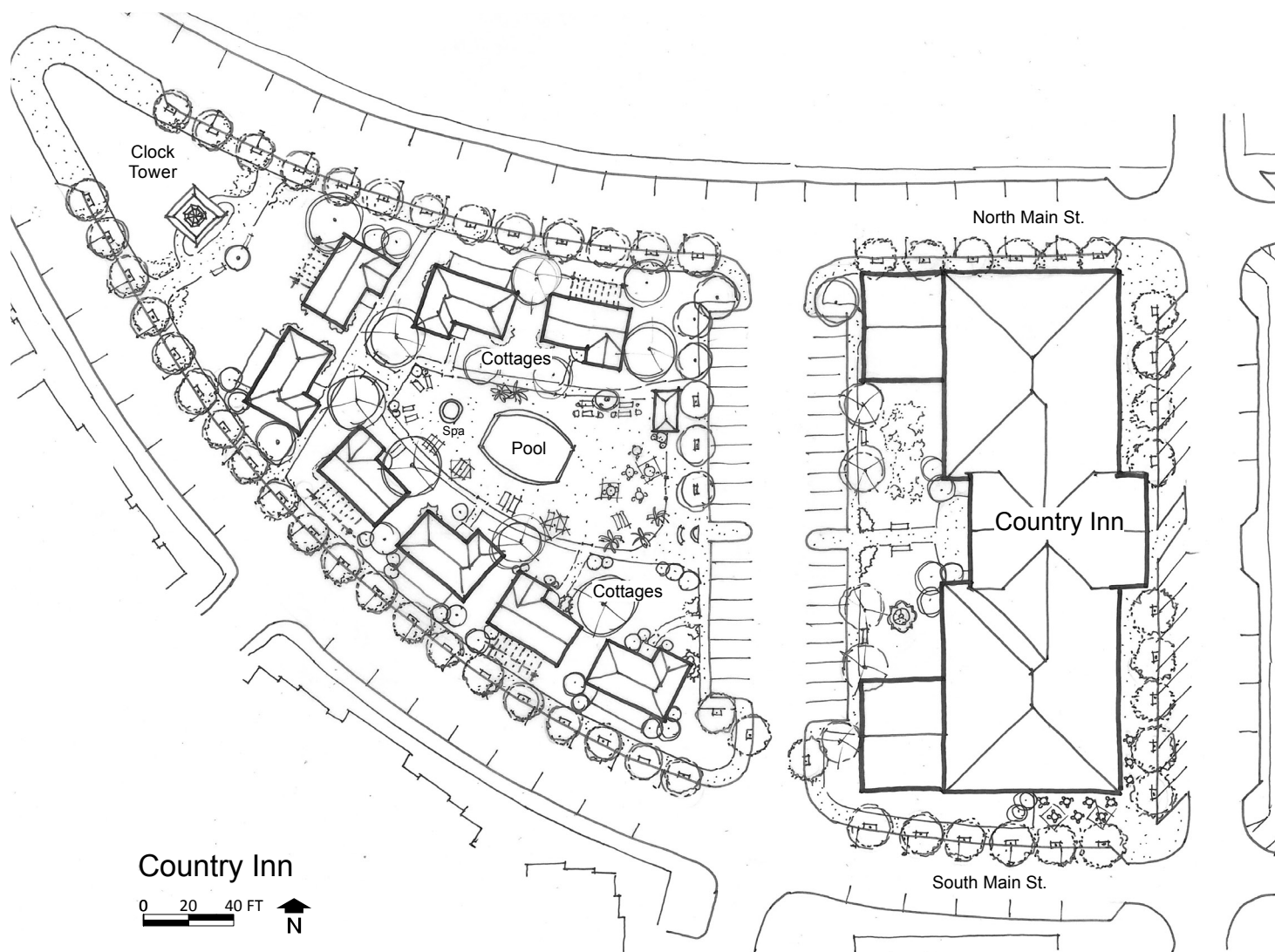


Key
Map
no scale

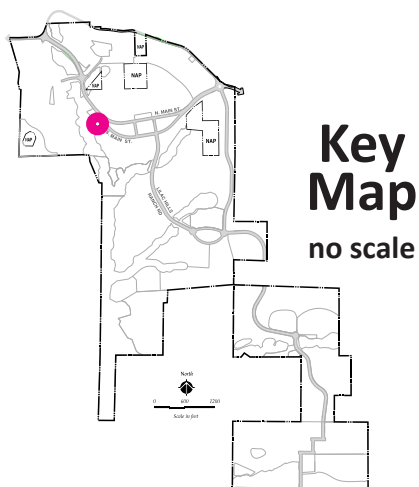
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Town Center Concept Plan / Conceptual Transit Stop

LILAC HILLS RANCH SPECIFIC PLAN

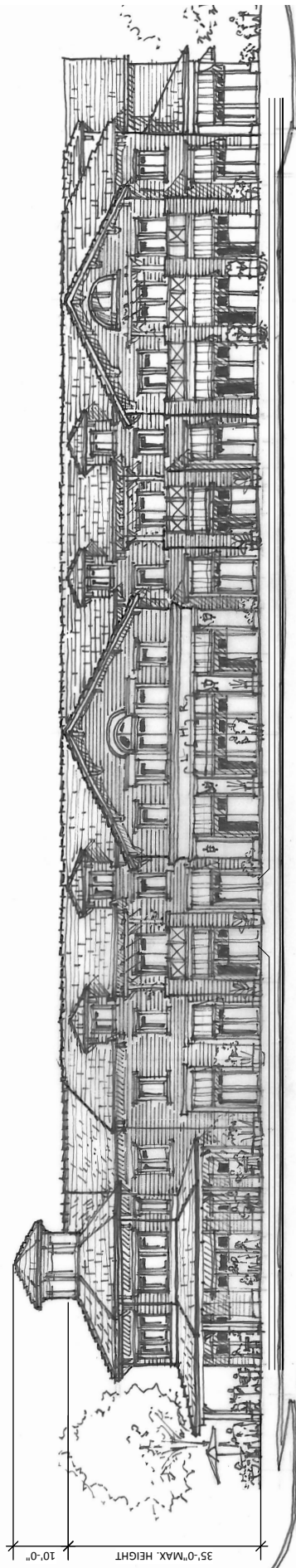


This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.



Country Inn Concept Plan

LILAC HILLS RANCH SPECIFIC PLAN

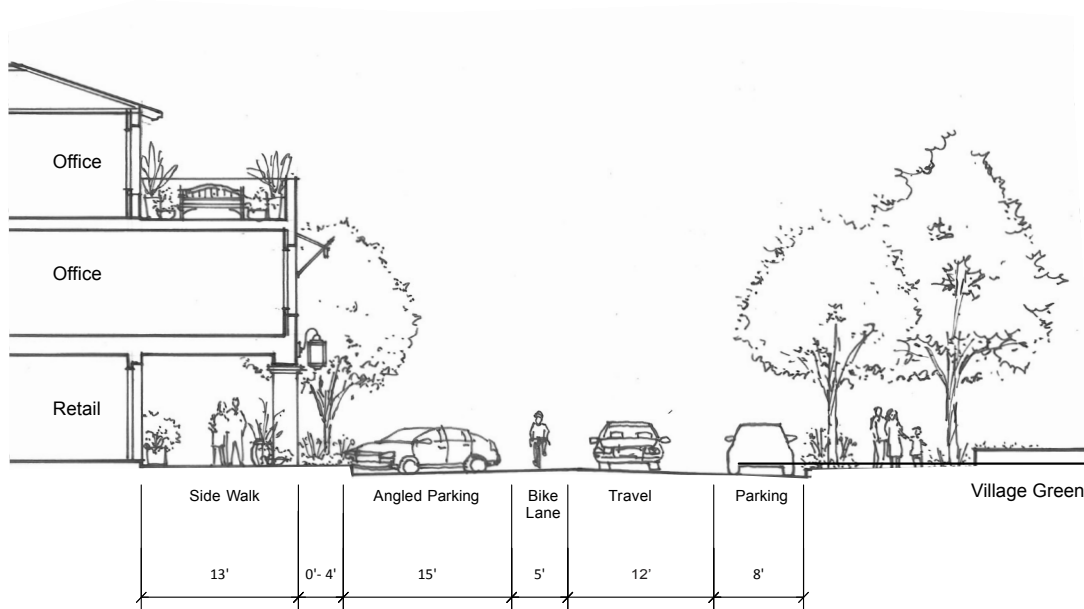


Country Inn Elevation

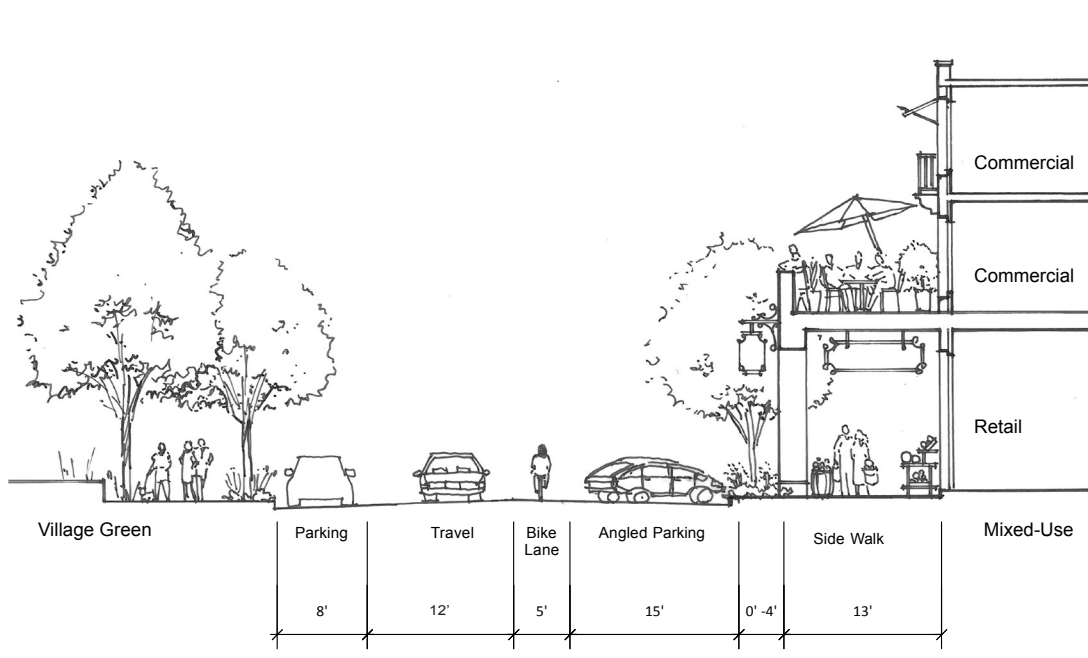
LILAC HILLS RANCH SPECIFIC PLAN

FIGURE 74

DRAFT



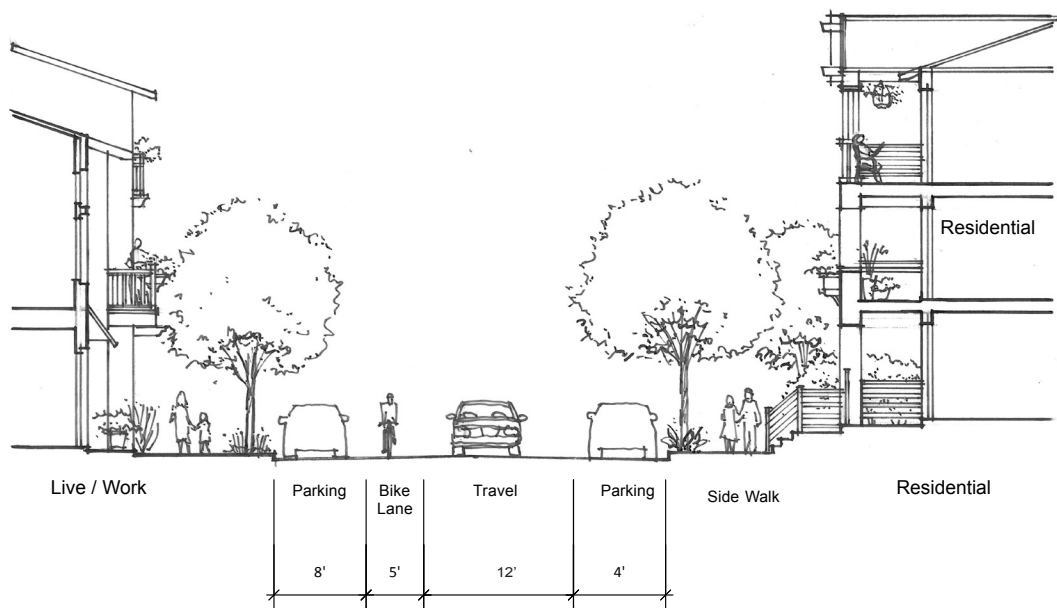
North Main Street
no scale



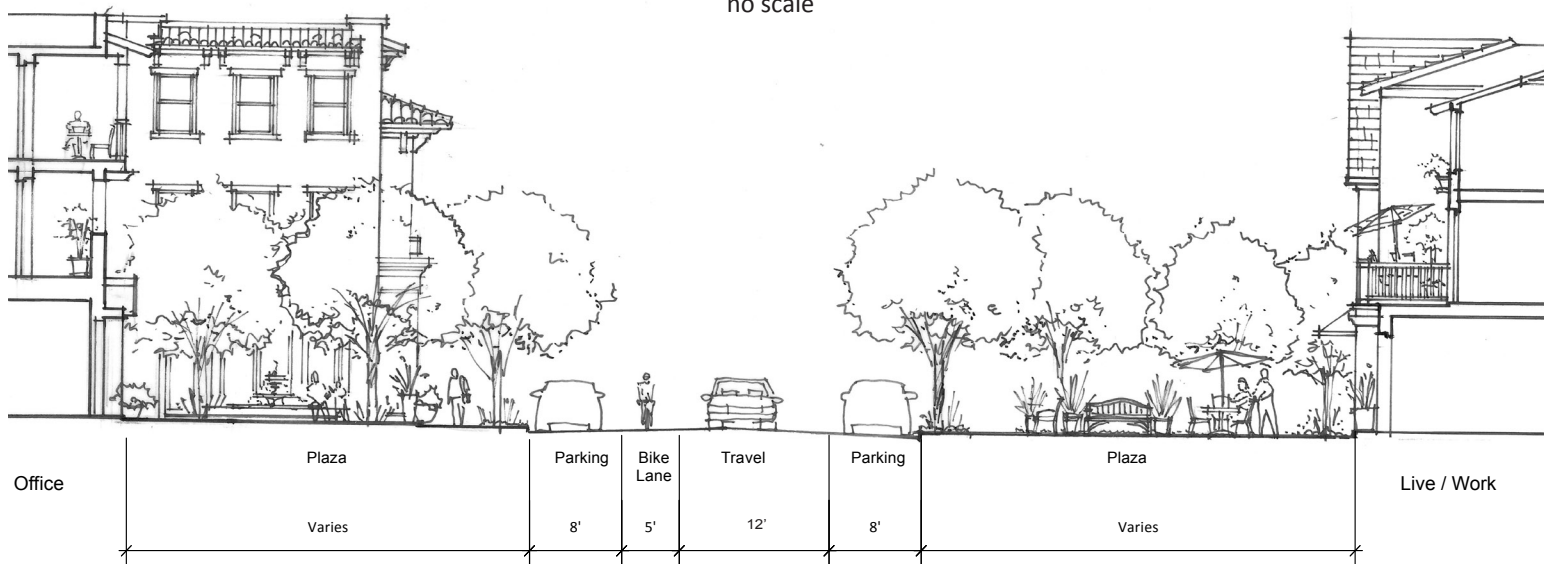
South Main Street
no scale

Town Center Sections

LILAC HILLS RANCH SPECIFIC PLAN



South Main Street
East of Lilac Hills Ranch Rd.
 no scale



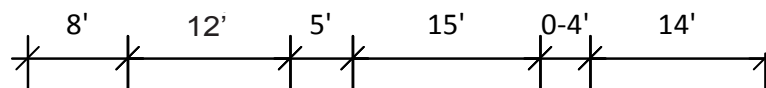
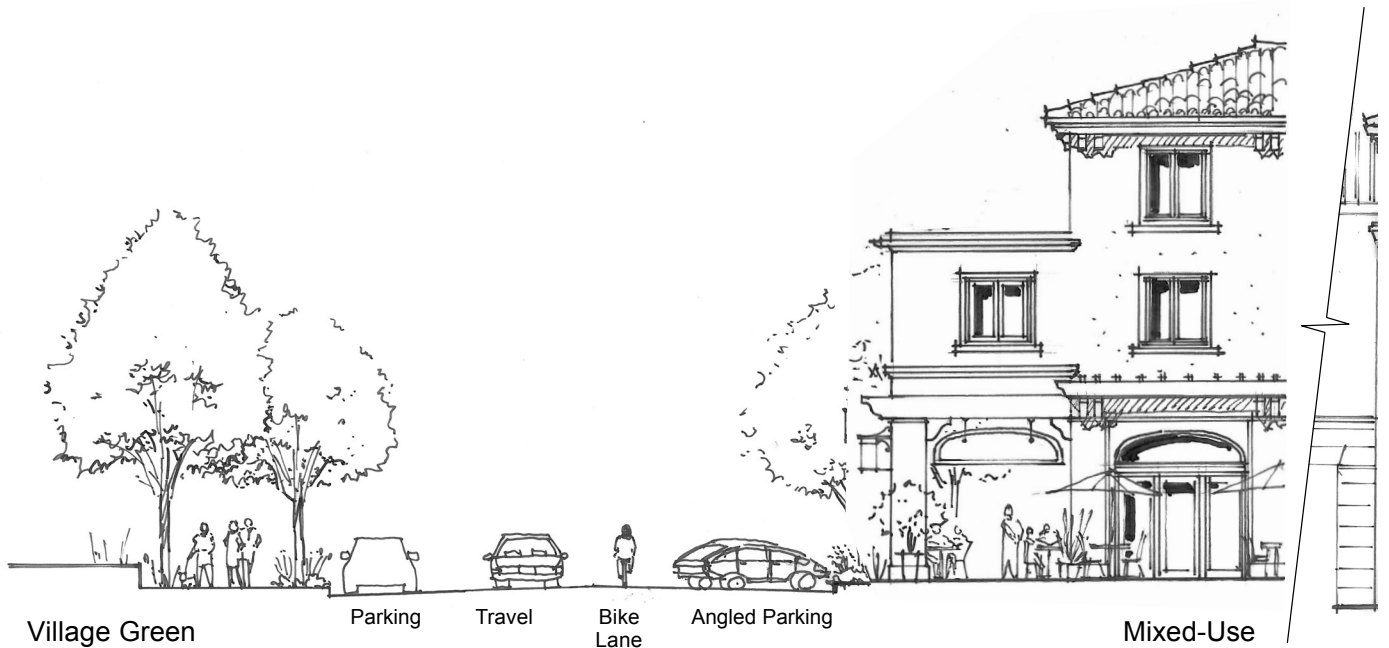
South Main Street
West of Market Street
 no scale

Town Center Sections

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 76



South Main Street

Promenade Section - Town Center Retail

no scale

Town Center Sections

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 77

for an on-site
DSFPD Fire Station
(see page 289)

GYMNASIUM

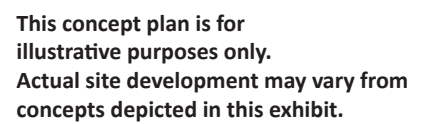
POOL

RECREATION
CENTER
44,000 SF

Recreation Center

0 20 40 FT

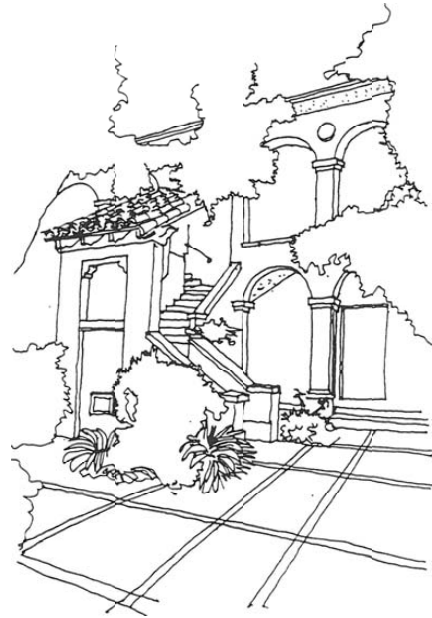
N



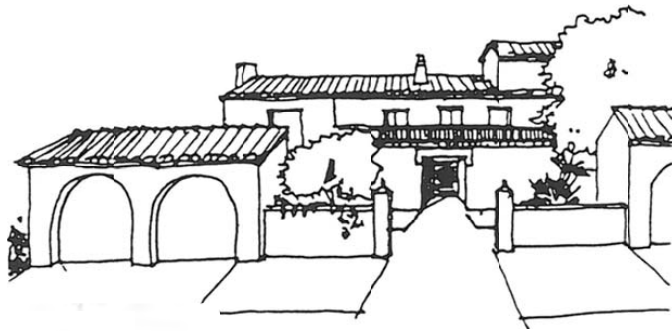
LILAC HILLS RANCH SPECIFIC PLAN



View of Cluster Courtyard from above



Enhanced exterior staircase and Loggia



SF Attached Garage
and entry court



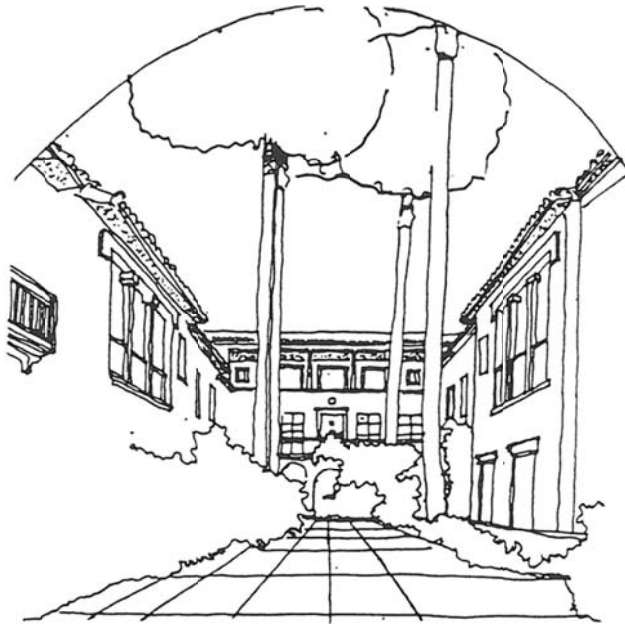
Garages integrated into building
mass with pedestrian paseo.



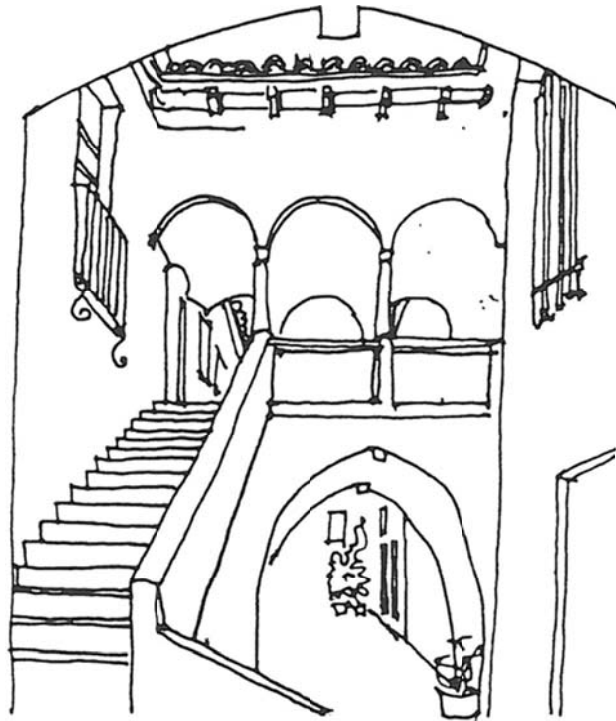
Town Center courtyard with fountain

Single Family Attached Design Vignettes

LILAC HILLS RANCH SPECIFIC PLAN



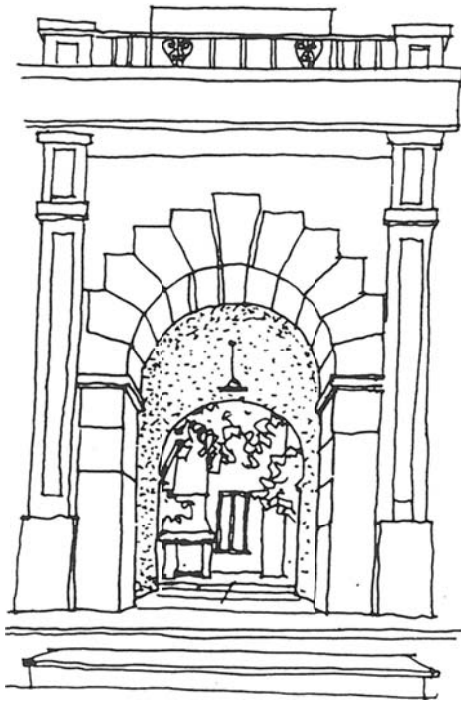
Courtyard framed with single family / attached buildings



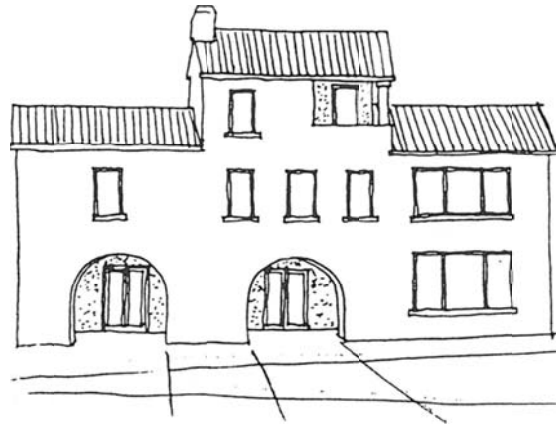
Exterior entry to units on the second floor

Single Family Attached Design Vignettes

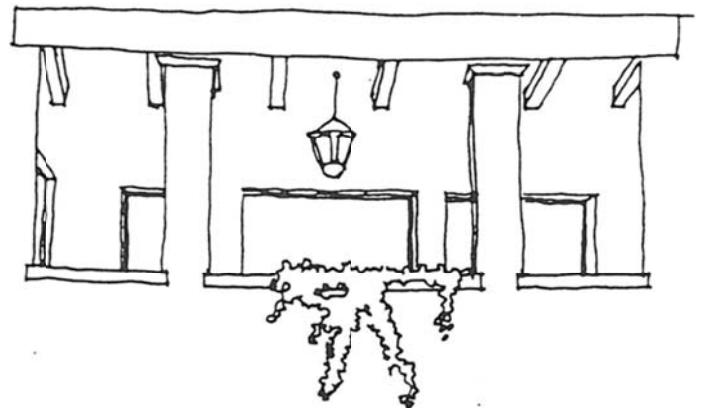
LILAC HILLS RANCH SPECIFIC PLAN



Main entry in building with a courtyard



Two and Three story massing with a corner deck



Exterior living area on an upper floor



Enhanced entry sequence with landscaping, steps and walls.

Single Family Attached/Mixed-Use Design Vignettes

LILAC HILLS RANCH SPECIFIC PLAN

Town Center & Neighborhood Center Development Standards

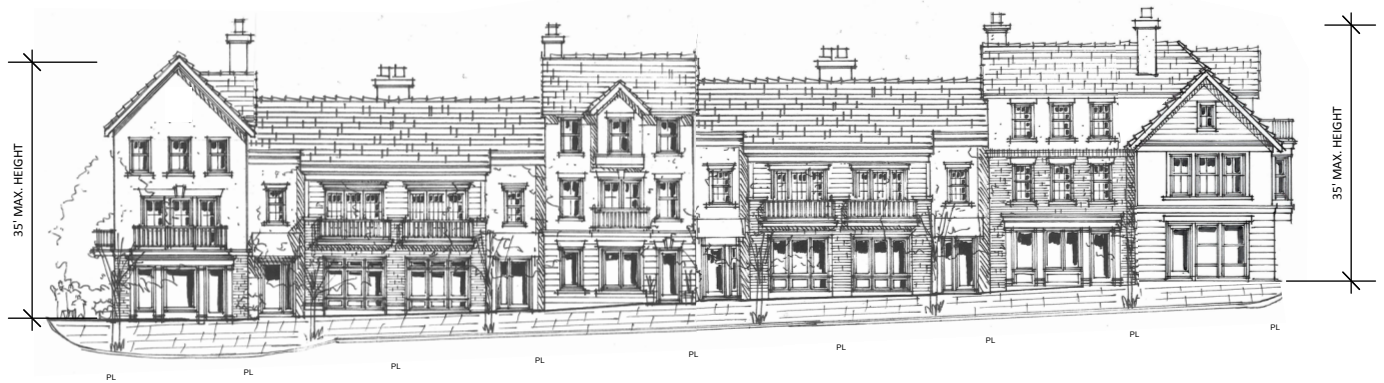
	SINGLE FAMILY ATTACHED				MIXED-USE/ COMMERCIAL		
Lot Category	<u>1</u> Live Work Townhome, Tandem Parking	<u>2</u> Townhome, Attached Tuck-Under Garage	<u>3</u> Luxury Townhome	<u>4</u> Four-Plex	<u>5</u> Commercial/ Mixed-Use <u>6</u>	<u>6</u> Residential Mixed-Use (Vertical) <u>8</u>	<u>7</u> Residential Mixed-Use (Horizontal) <u>7</u>
GENERAL							
Minimum Lot Size (Sq.Ft.)	1000	1,365	2,100	3,375	1,000	1,000	2,000
Minimum Lot Width	16	21	21	45	N/A	N/A	N/A
SETBACKS <u>1,5</u>							
Front							
Unit	0	0	0	5	0	0	0
Porch	0	0	0	0	0	0	0
Garage	0	0	0	3	0	0	0
Side							
Interior <u>2</u>	0	0	0	0	0	0	0
Exterior	5	5	10	5	0	0	0
Porch	0	0	0	3	0	0	0
Rear							
Unit	0	0	0	0	0	0	0
Garage	0	0	0	0	0	0	0
Accessory Structure <u>4</u>							

Note: Dimensions are in feet, and Size and Floor Area are in square feet

1. To interior private streets, parking, walks or building parcel property lines.
2. Use easements or zero lot line allowed.
3. Allows lot lines for interior units of a multi-plex building.
4. Carports, trellis or patio structures.
5. Ancillary units are allowed and must comply with building setbacks for main unit.
6. Includes Office over Retail, Office over Office, Retail over Retail
7. Includes Residential Condos or Apartments located to adjacent Commercial Buildings
8. Includes Residential over Retail or Office

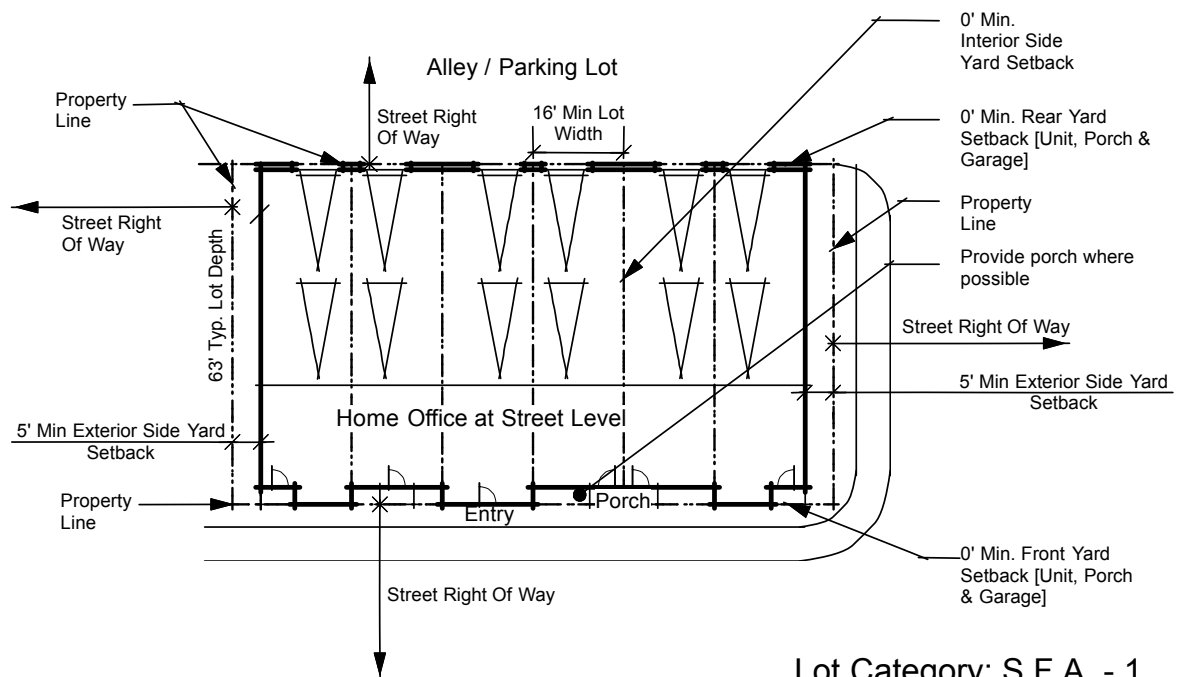
Town Center & Neighborhood Center Development Standards Table

LILAC HILLS RANCH SPECIFIC PLAN



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Plan View no scale

Lot Category: S.F.A. - 1
Live Work Townhome,
Tandem Parking
(1,000 SF Lots)

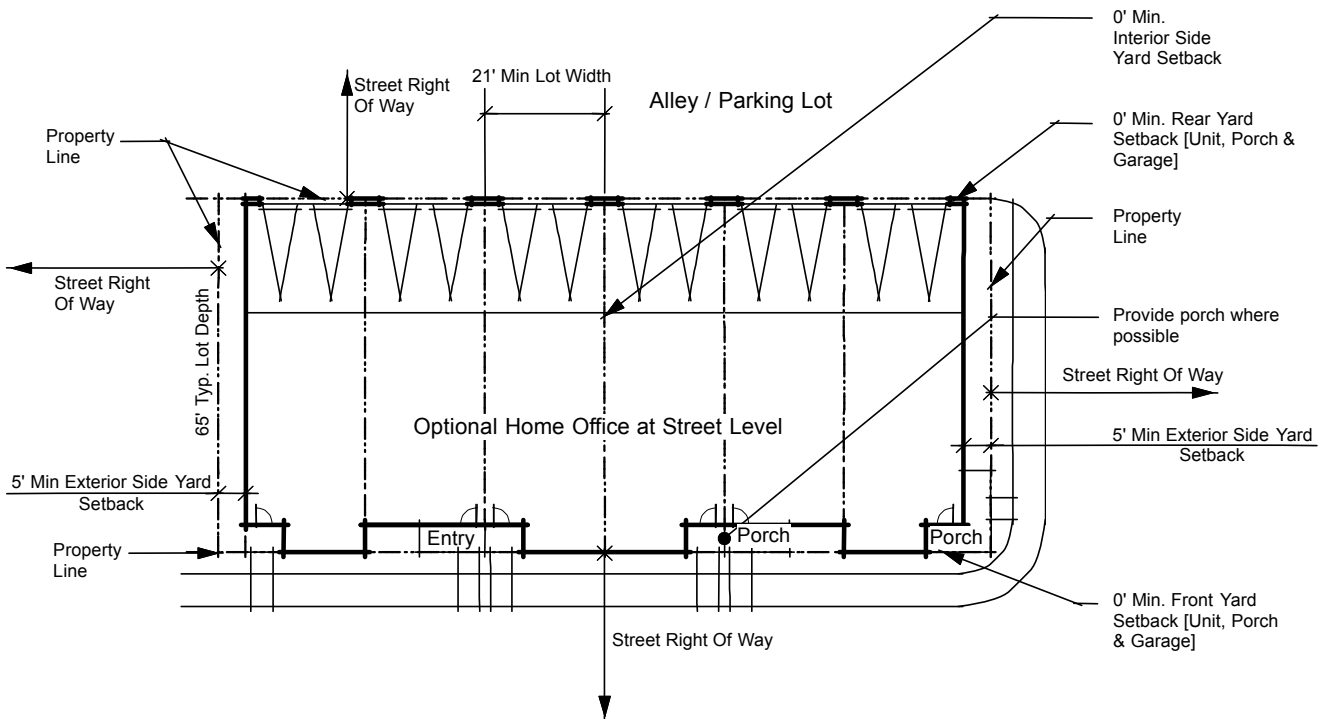
Single Family (S.F.A.-1) Attached Layout

LILAC HILLS RANCH SPECIFIC PLAN



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Plan View no scale

Lot Category: S.F.A. - 2
 Townhome, Attached
 Tucked-Under Garage
 (1,365 SF Lots)

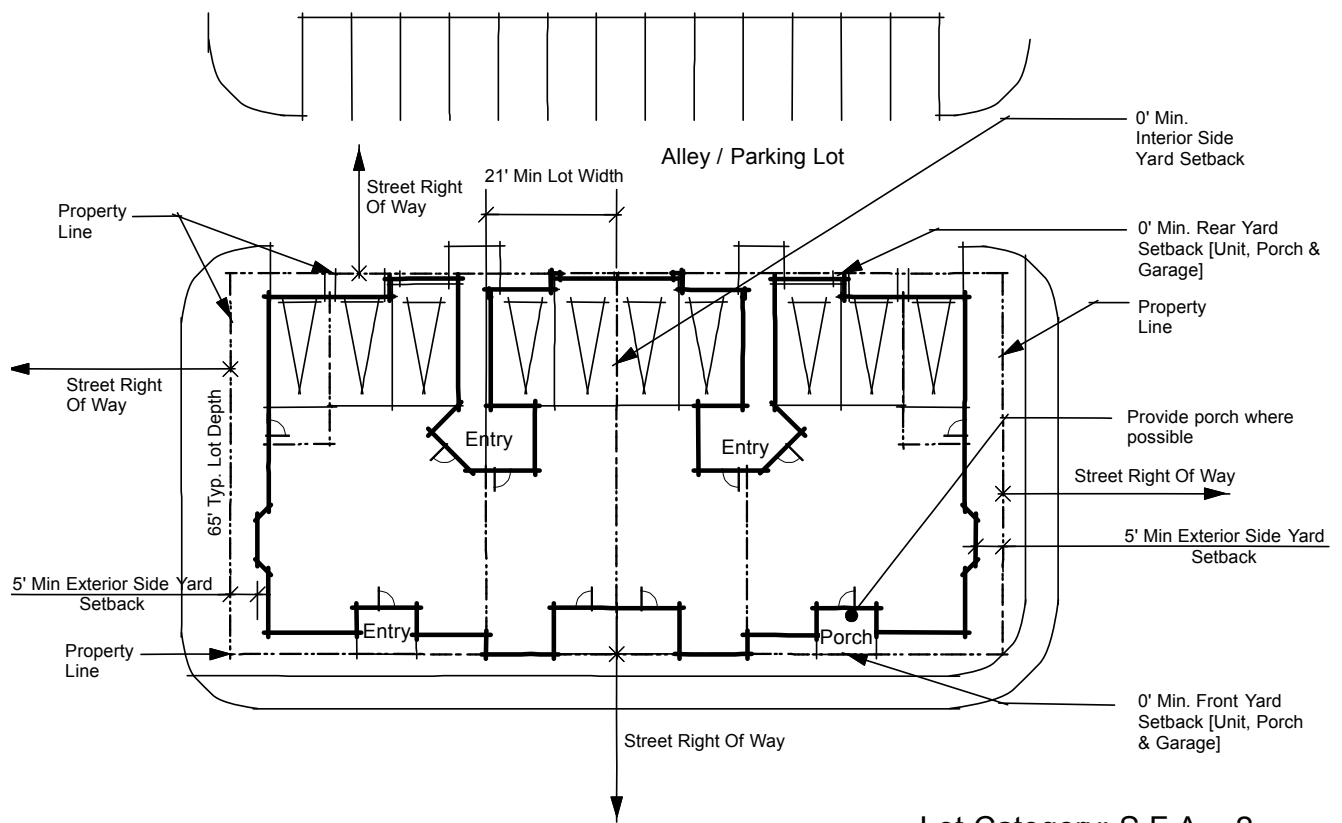
Single Family (S.F.A.-2) Attached Layout

LILAC HILLS RANCH SPECIFIC PLAN



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale

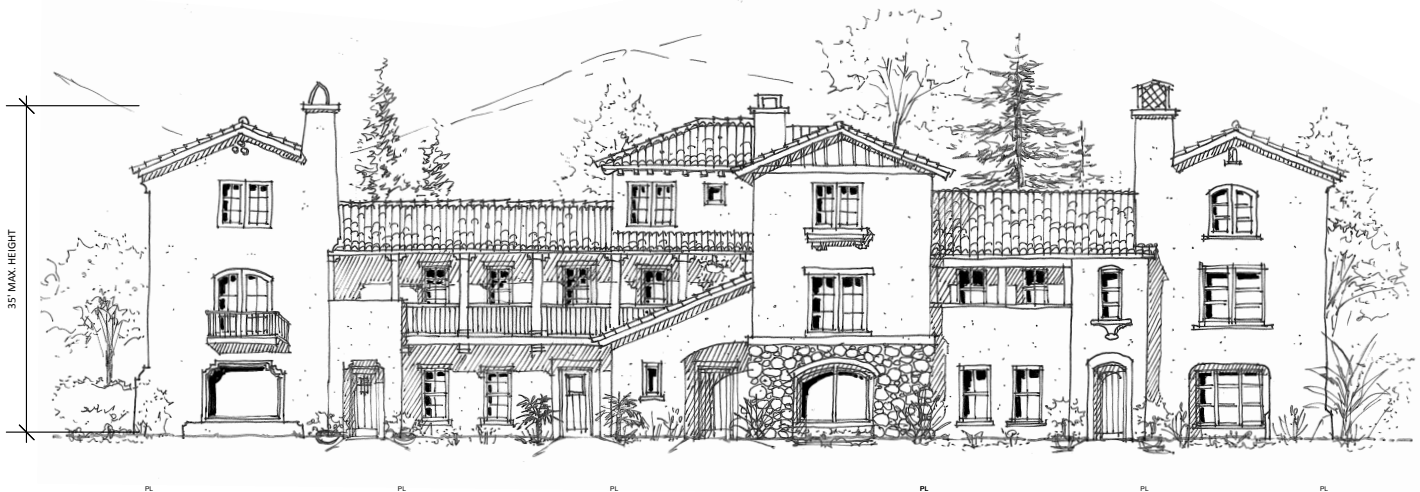


Plan View no scale

Lot Category: S.F.A. - 2
 Townhome, Attached
 Tucked-Under Garage
 (1,365 SF Lots)

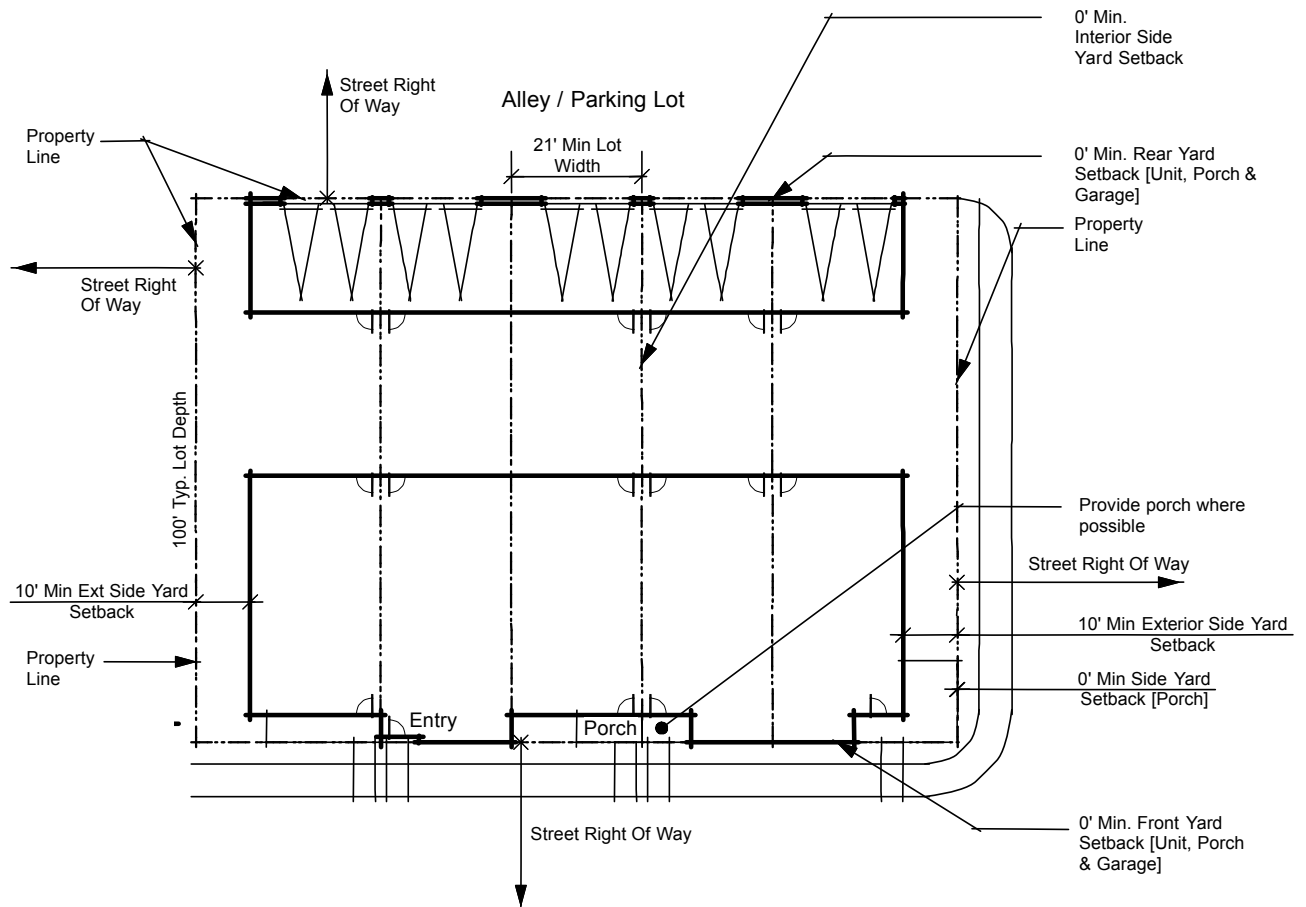
Single Family (S.F.A.-2) Attached Layout

LILAC HILLS RANCH SPECIFIC PLAN



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Plan View no scale

Lot Category: S.F.A. - 3

Luxury Townhome
(2,100 SF Lots)

Single Family (S.F.A.-3) Attached Layout

LILAC HILLS RANCH SPECIFIC PLAN

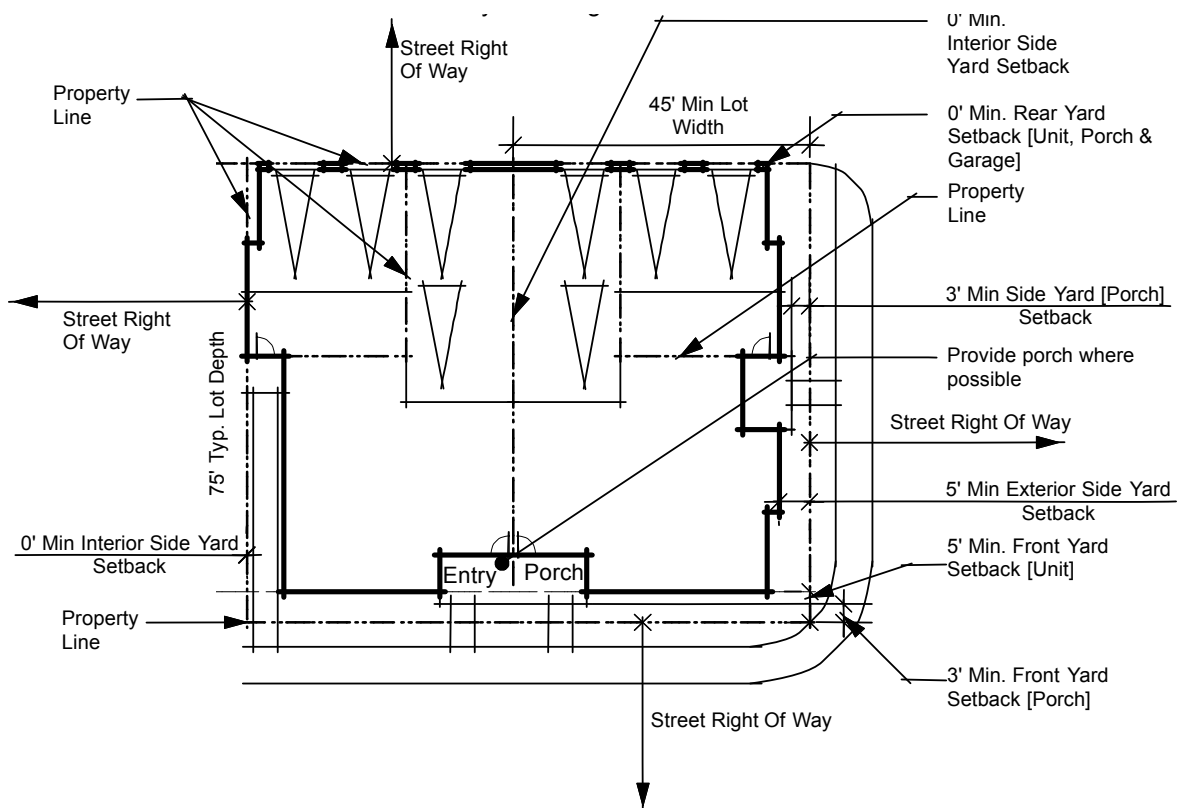
DRAFT

FIGURE 86



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Lot Category: S.F.A. - 4

Four Plex
(3,375 SF Lots)

Plan View no scale

Single Family (S.F.A.-4) Attached Layout

LILAC HILLS RANCH SPECIFIC PLAN

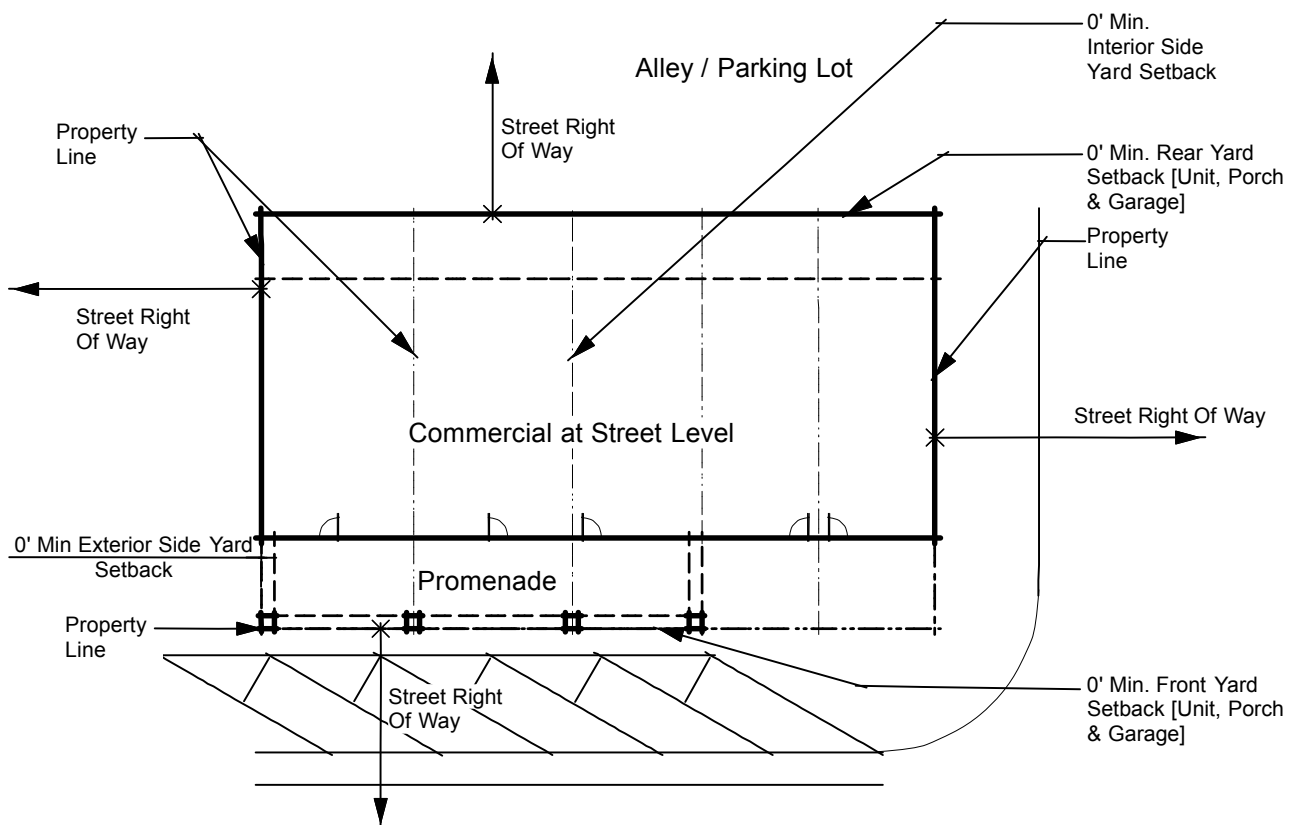
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FIGURE 87



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale

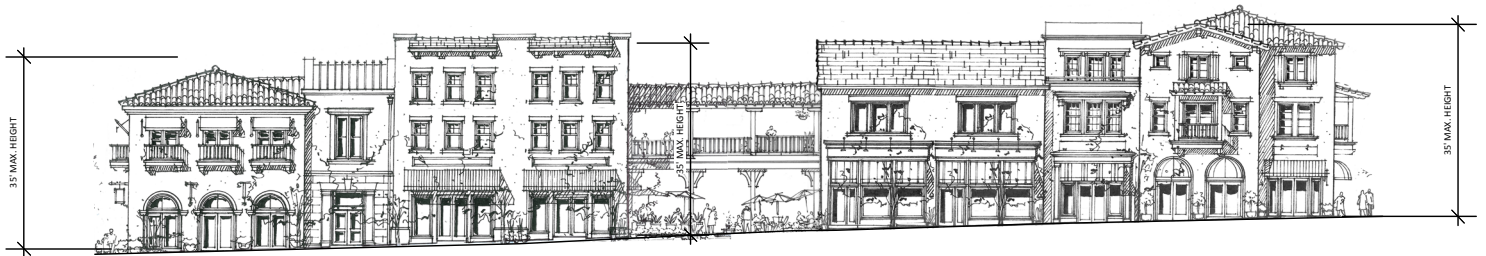


Plan View no scale

Lot Category: M.U. - 5
Commercial Mixed-Use
 (1,000 SF Lots)

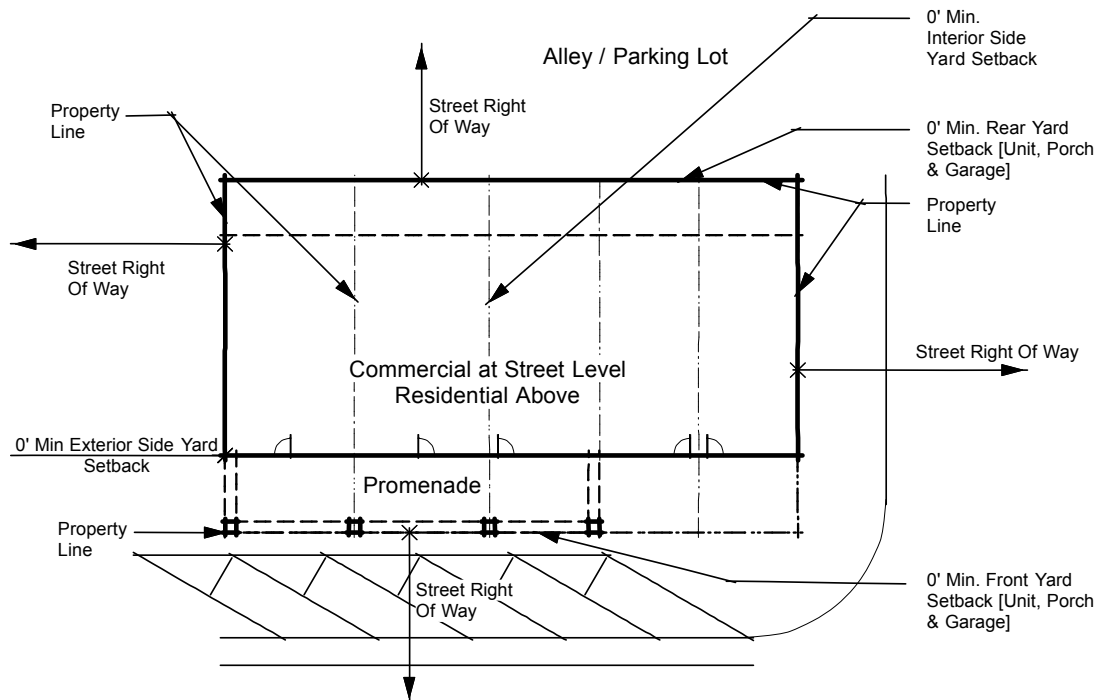
Commercial Mixed-Use (M.U.-5) Layout

LILAC HILLS RANCH SPECIFIC PLAN



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Plan View no scale

Lot Category: M.U. - 6
Residential Mixed-Use
Vertical
(1,000 SF Lots)

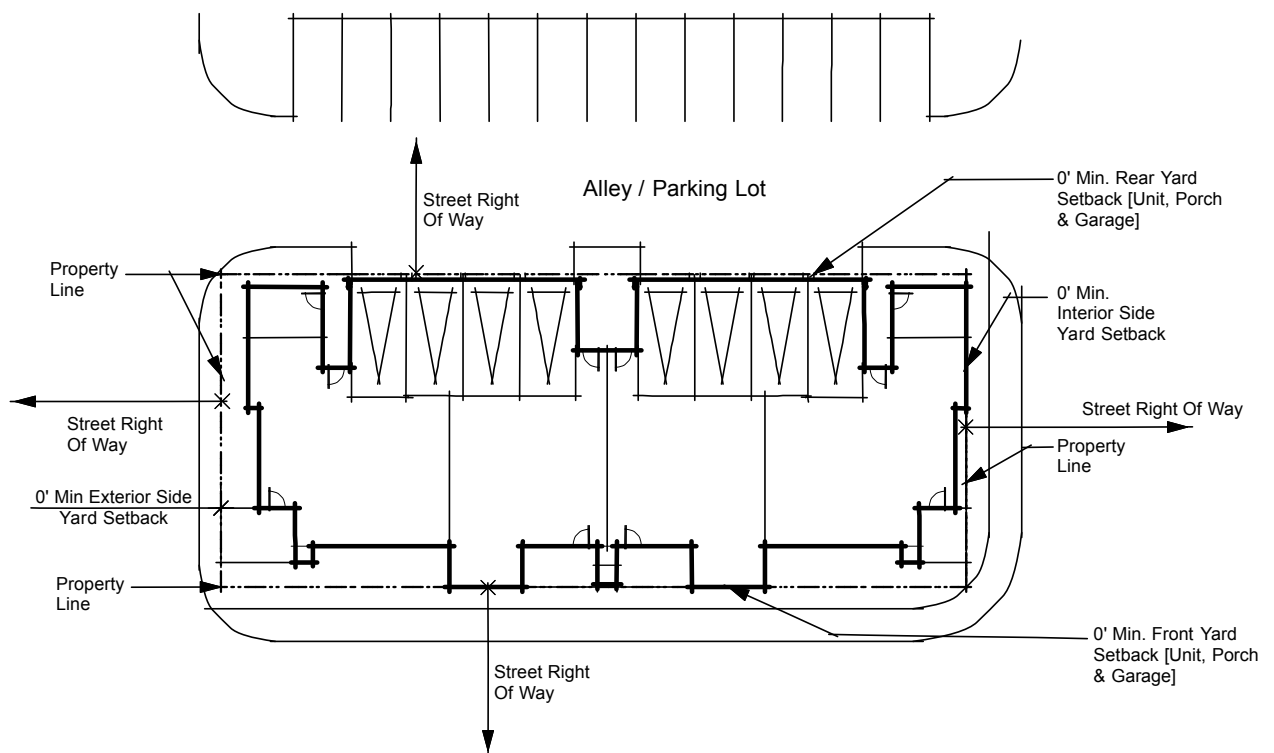
Residential Mixed-Use (M.U.-6) Layout

LILAC HILLS RANCH SPECIFIC PLAN



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Plan View no scale

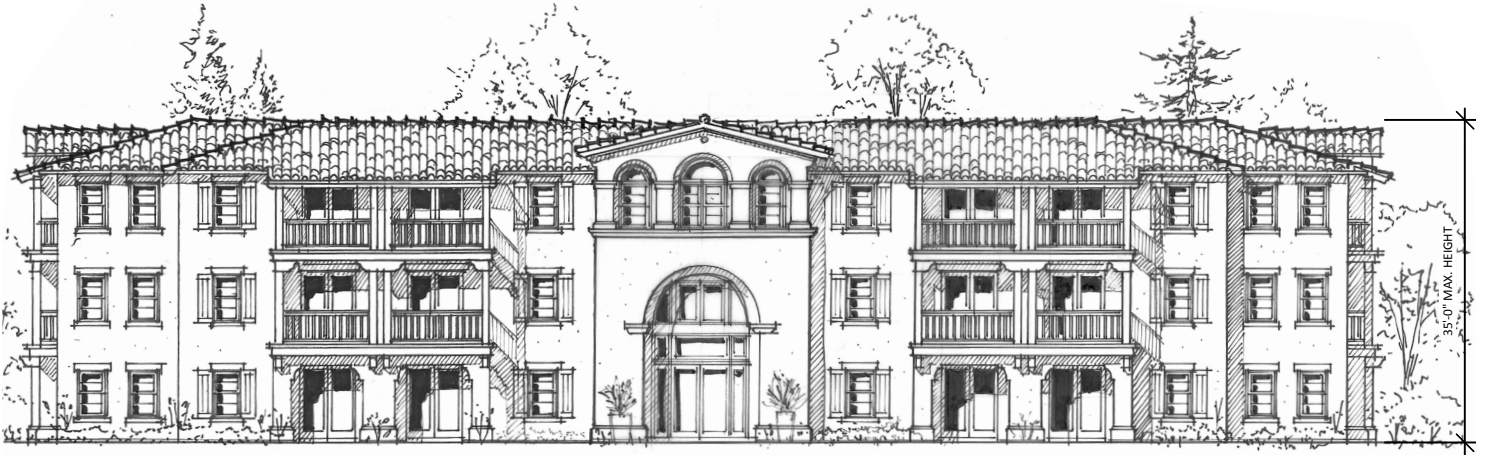
Lot Category: M.U. - 7
Residential Mixed-Use
Horizontal
(2,000 SF Lots)

Residential Mixed-Use (M.U.-7) Layout

LILAC HILLS RANCH SPECIFIC PLAN

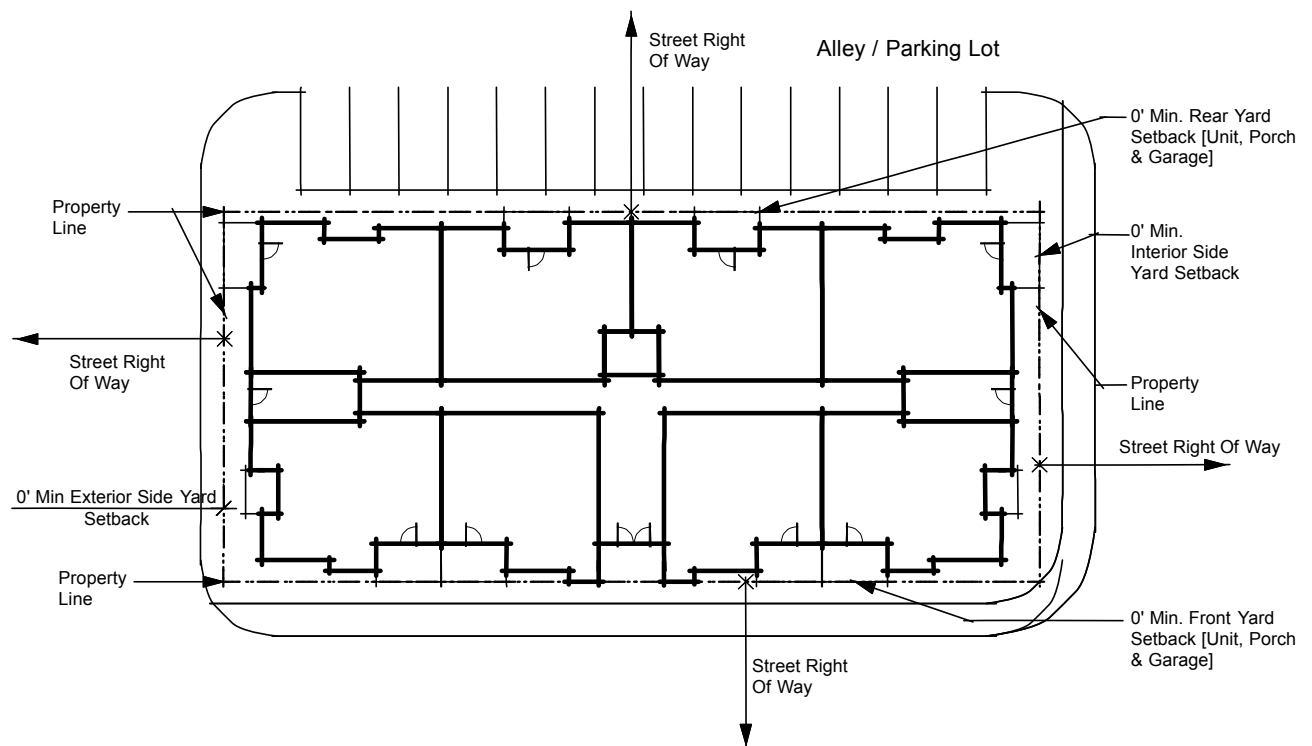
DRAFT

FIGURE 90



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale



Plan View no scale

Lot Category: M.U. - 7
Residential Mixed-Use
Horizontal
(2,000 SF Lots)

Residential Mixed-Use (M.U.-7) Layout

LILAC HILLS RANCH SPECIFIC PLAN

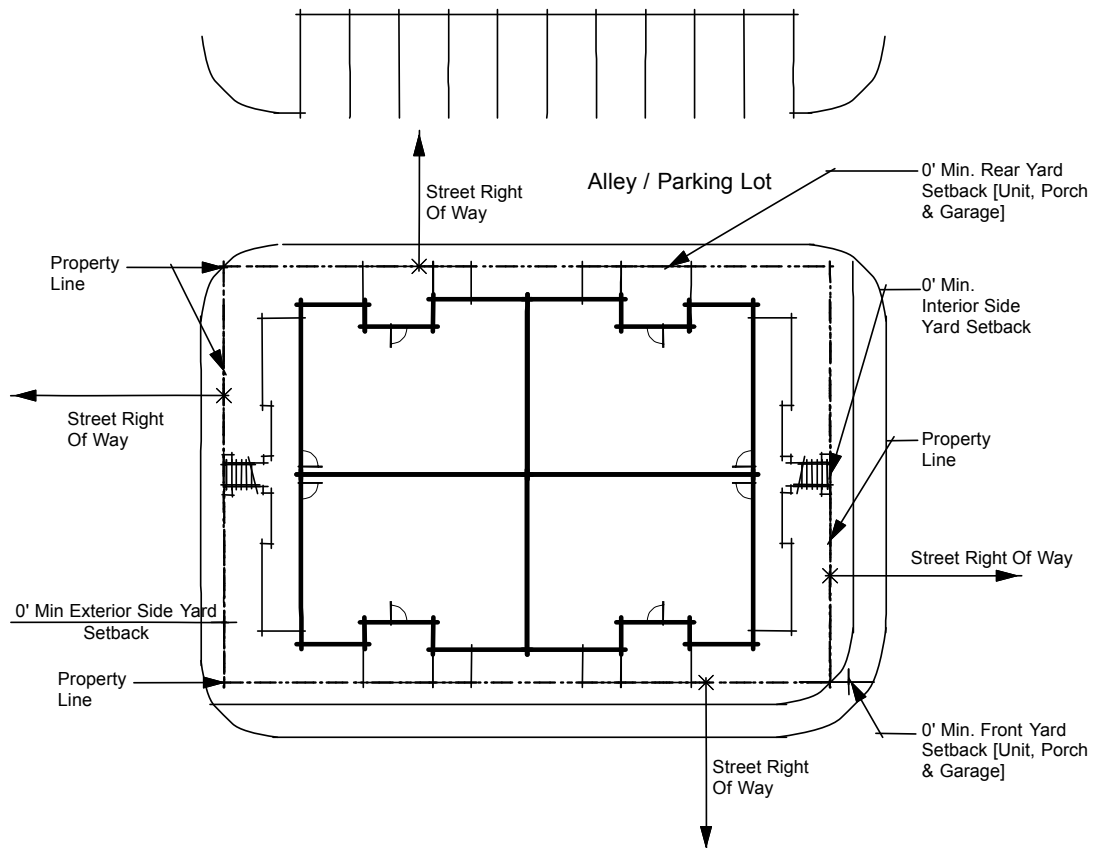
DRAFT

FIGURE 91



Note: Elevations are representative of stylistic themes and subject to change during design review.

Elevation no scale

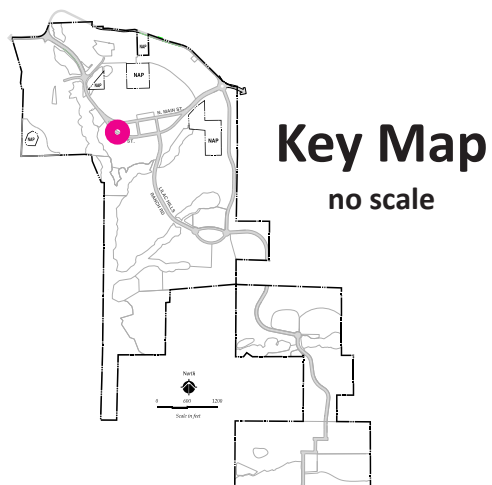
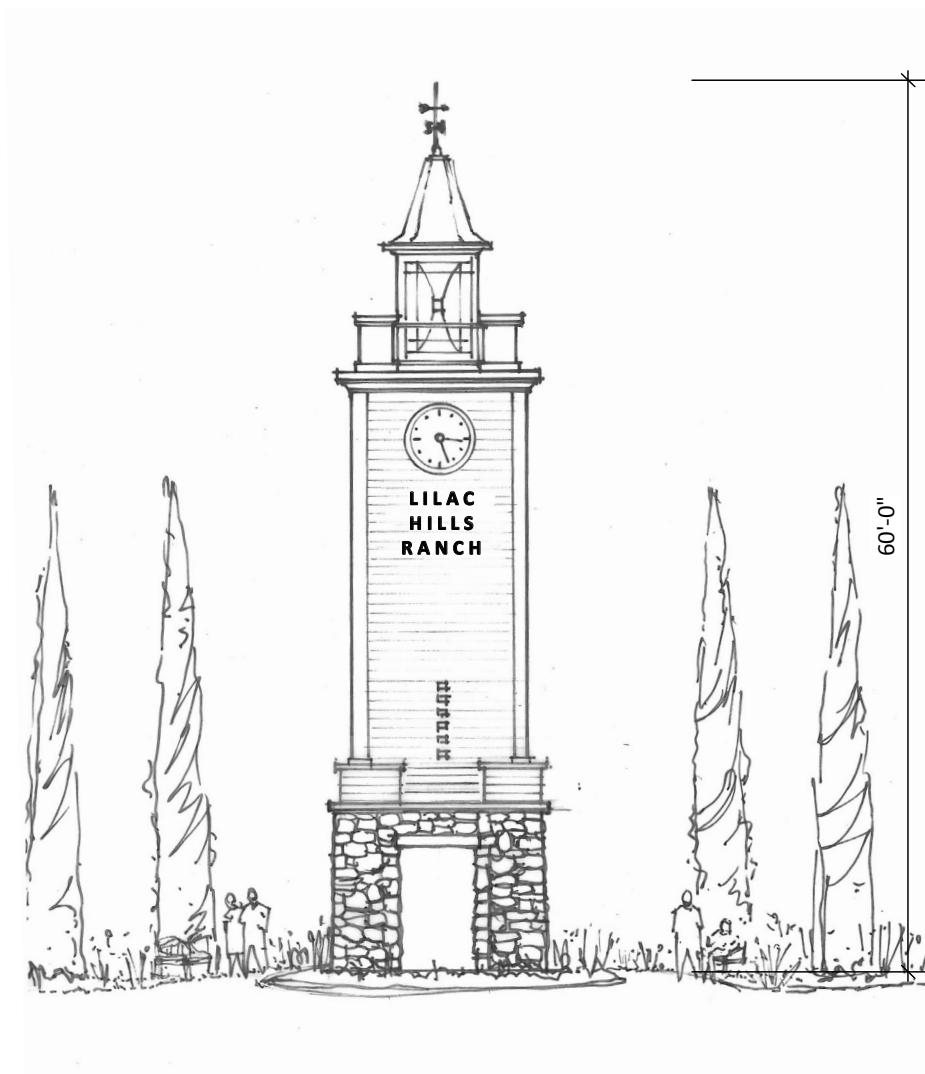


Lot Category: M.U. - 7
 Residential Mixed-Use
 Horizontal
 (2,000 SF Lots)

Plan View no scale

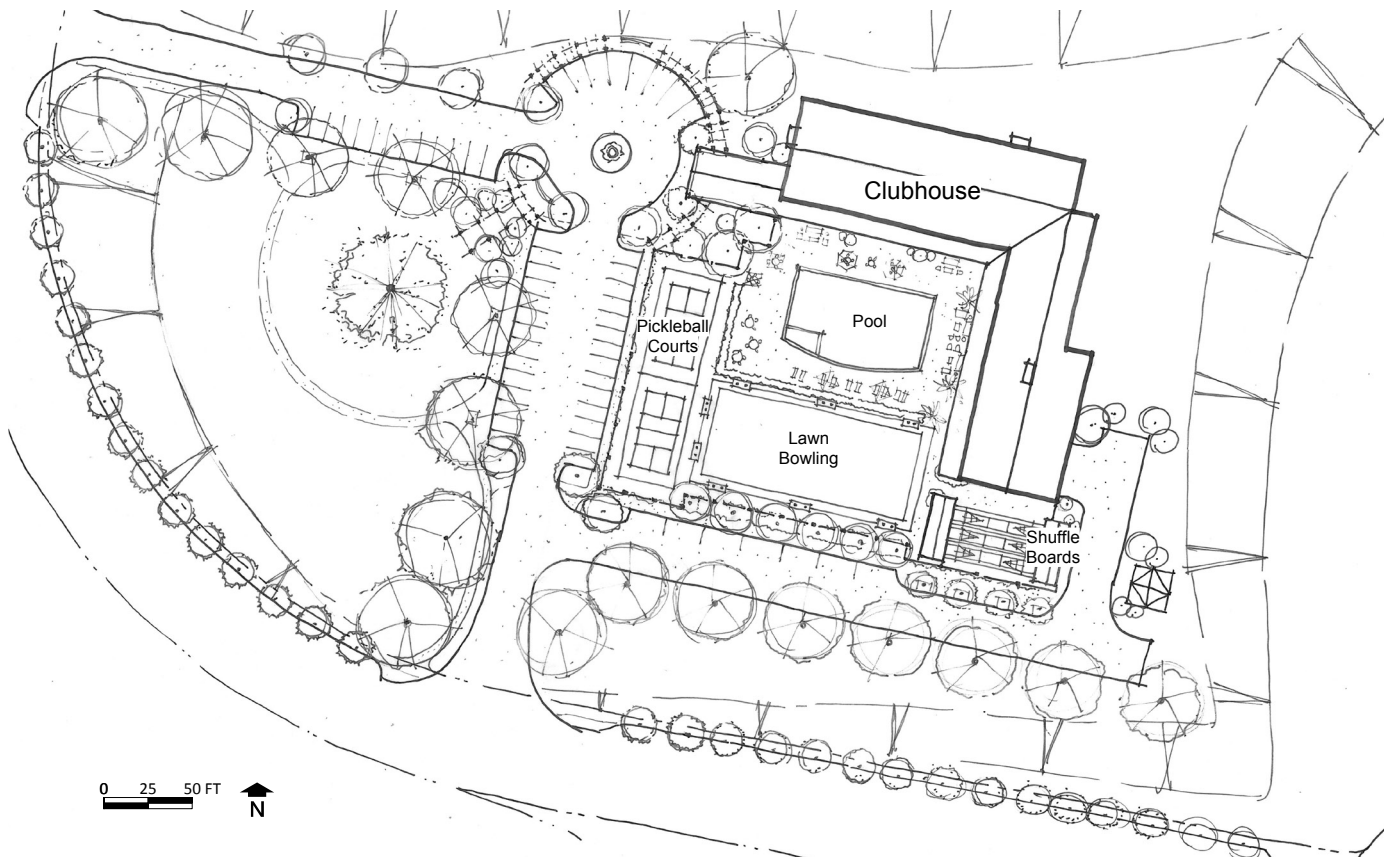
Residential Mixed-Use (M.U.-7) Layout

LILAC HILLS RANCH SPECIFIC PLAN



Community Clock Tower

LILAC HILLS RANCH SPECIFIC PLAN

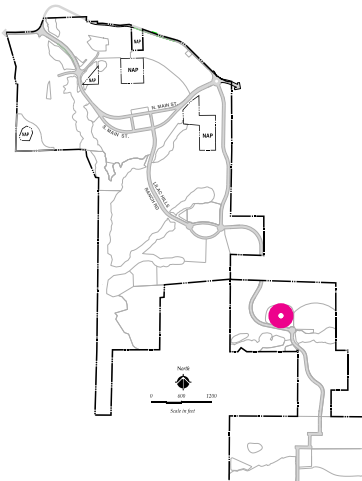


Senior Center

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

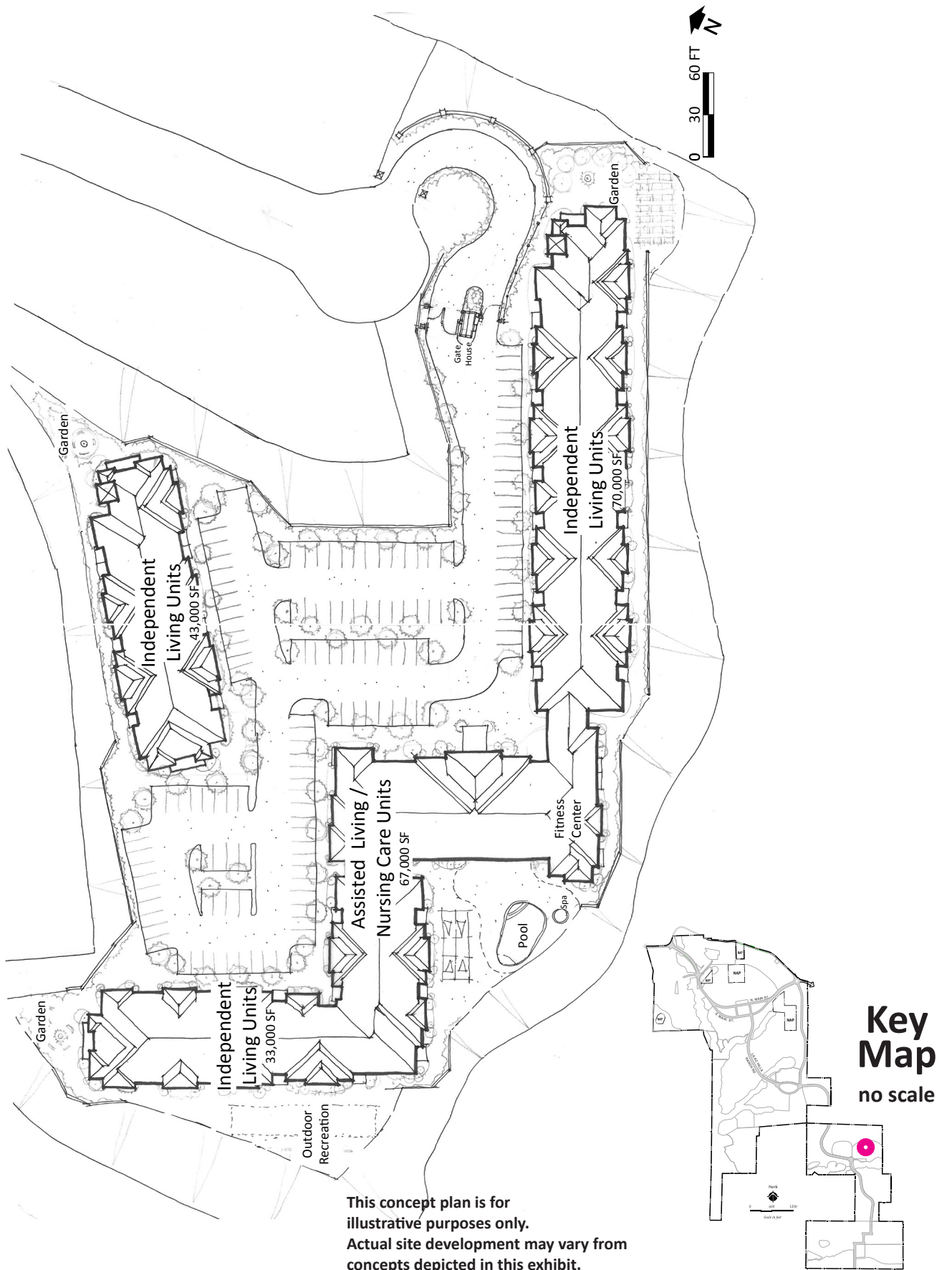
Key Map

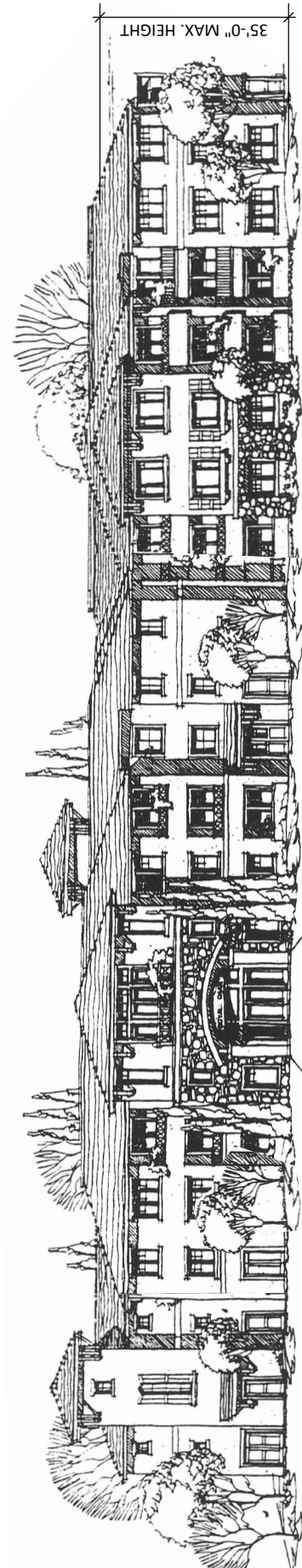
no scale



Park (P-11) / Senior Center (plan & rendering)

LILAC HILLS RANCH SPECIFIC PLAN





Group Residential/Group Care Facility Elevation

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 96



Senior Center - Craftsman

Conceptual Senior Center Elevation

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 97

Single Family Residential Development Standards

Lot Category	1 Estate	2 Large Lot (perimeter)	3 Large Lot Front or Side Garage	4 Front Garage	5 Front or Side Garage	6 Front, Side or Rear Garage	7 Six-Pack Shared Court	8 Front or Side Garage	9 Rear Garage
GENERAL									
Min. Lot Size (SF)	10,000	8,500	8,000	7,500	6,000	5,000	4,950	4,500	4,500
Min. Lot Width	100	100	80	100	60	50	55	45	45
Min. Cul de sac/knuckle frontage	40	40	35	40	33	30	na	25	na
SETBACKS									
Front									
Unit	15	10	12	10	10	10	10	15	3
Porch	10	10	7	6	5	5	5	2	1
Garage	20	12	15	12	15	15	7	4	na
Swing -In Garage	10	10	10	8	10	10	5	7	na
Side									
Interior or End	10	5' min- 10'total	5	5' min- 10'total	3	3	3	3	3
Corner on Street Side	15	15	10	10	10	10	7	10	10
Rear									
Unit	30	20	15	10	15	15	10	15	10
Garage (attached or detached)	5	5	5	0	0	0	0	4	2
Accessory (to any property line) ³	5	5	5	2	2	2	0	2	2

Note: Dimensions are in feet, and Size and Floor Area are in square feet

1. To interior streets (back of sidewalks or curb if no walk) or interior property lines.
2. Back-up space is defined as 24' clear either as hard surface or hard surface and low planting area (6" or less).
3. Pools, cabanas, trellis, patio or other non-occupied structures.
4. Ancillary units are allowed and must comply with building setbacks for main unit.
5. Garages can be clustered.
6. If the Limited Building Zone (LBZ) extends into a lot, the building setbacks will be increased as depicted on the Implementing Tentative Map Site Plan and as required by the Fire Protection Plan.
7. Architectural projections as defined by the UBC are allowed within setbacks.
8. Use of easements or zero lot lines allowed. Duplex units to have 0' on attached side and 5' on open side.

Single Family Residential Development Standards

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 98

Single Family Residential Development Standards

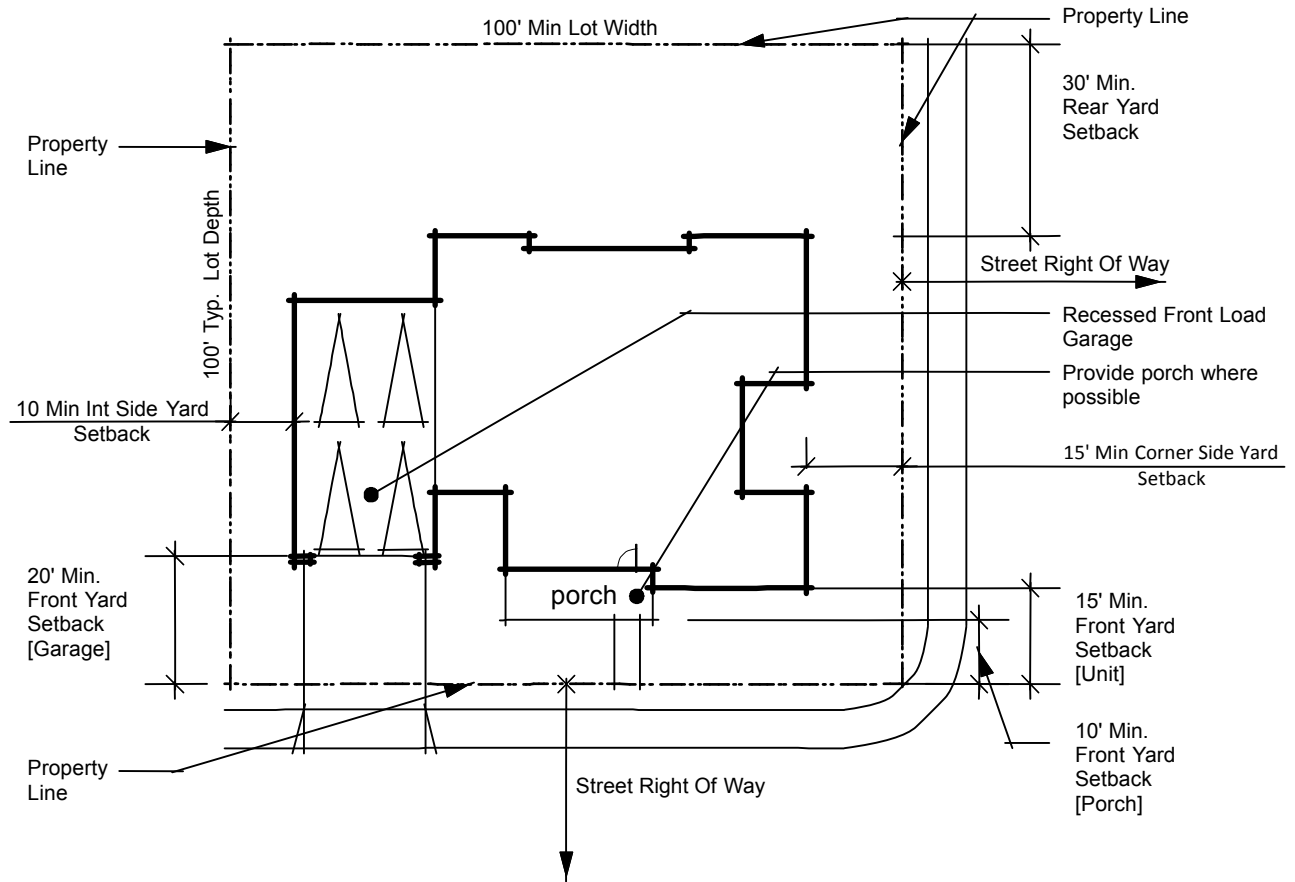
Lot Category	10 Front or Side Garage	11 Rear Garage	12 Front Garage	13 Hillside Paseo	14 Rear Garage	15 Green Court Cluster	16 Paseo Court Cluster	17 Double Detached
GENERAL								
Min. Lot Size (SF)	4,000	4,000	3,500	3,500	3,200	3,200	2,800	2,800
Min. Lot Width	40	40	40	40	40	40	40	32
Min. Cul de sac/knuckle frontage	20	na	na	na	na	na	na	na
SETBACKS								
Front								
Unit	7	3	3	5	5	10	5	10
Porch	5	1	1	4	1	1	1	5
Garage	10	na	5	na	na	na	5	10
Swing -In Garage	5	na	3	na	na	na	na	5
Side								
Interior or End	3	3	0	0	0	0	0	4
Corner or Street Side	10	10	5	5	5	5	5	10
Rear								
Unit	10	10	10	10	10	4	10	10
Garage (attached or detached)	2	2	2	2	2	0	2	0
Accessory (to any property line) 3	2	0	0	0	0	0	0	2

Note: Dimensions are in feet, and Size and Floor Area are in square feet

1. To interior streets (back of sidewalks or curb if no walk) or interior property lines.
2. Back-up space is defined as 24' clear either as hard surface or hard surface and low planting area (6" or less).
3. Pools, cabanas, trellis, patio or other non-occupied structures.
4. Ancillary units are allowed and must comply with building setbacks for main unit.
5. Garages can be clustered.
6. If the Limited Building Zone (LBZ) extends into a lot, the building setbacks will be increased as depicted on the Implementing Tentative Map Site Plan and as required by the Fire Protection Plan.
7. Architectural projections as defined by the UBC are allowed within setbacks.
8. Use of easements or zero lot lines allowed. Duplex units to have 0' on attached side and 5' on open side.

Single Family Residential Development Standards

LILAC HILLS RANCH SPECIFIC PLAN



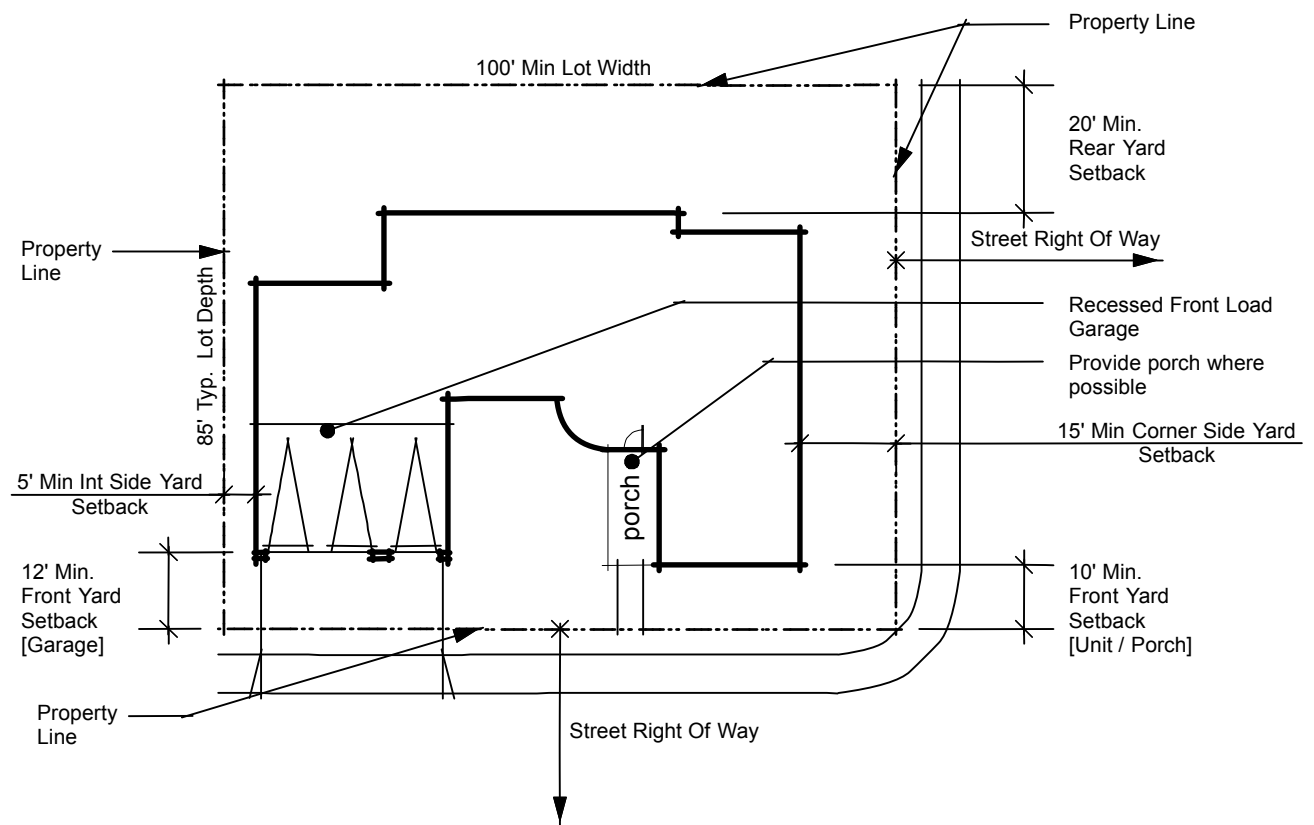
Lot Category: S.F. - 1
Estate Home
 (10,000 SF Lots)

Single Family (S.F.-1) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

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FIGURE 100



Lot Category: S.F. - 2

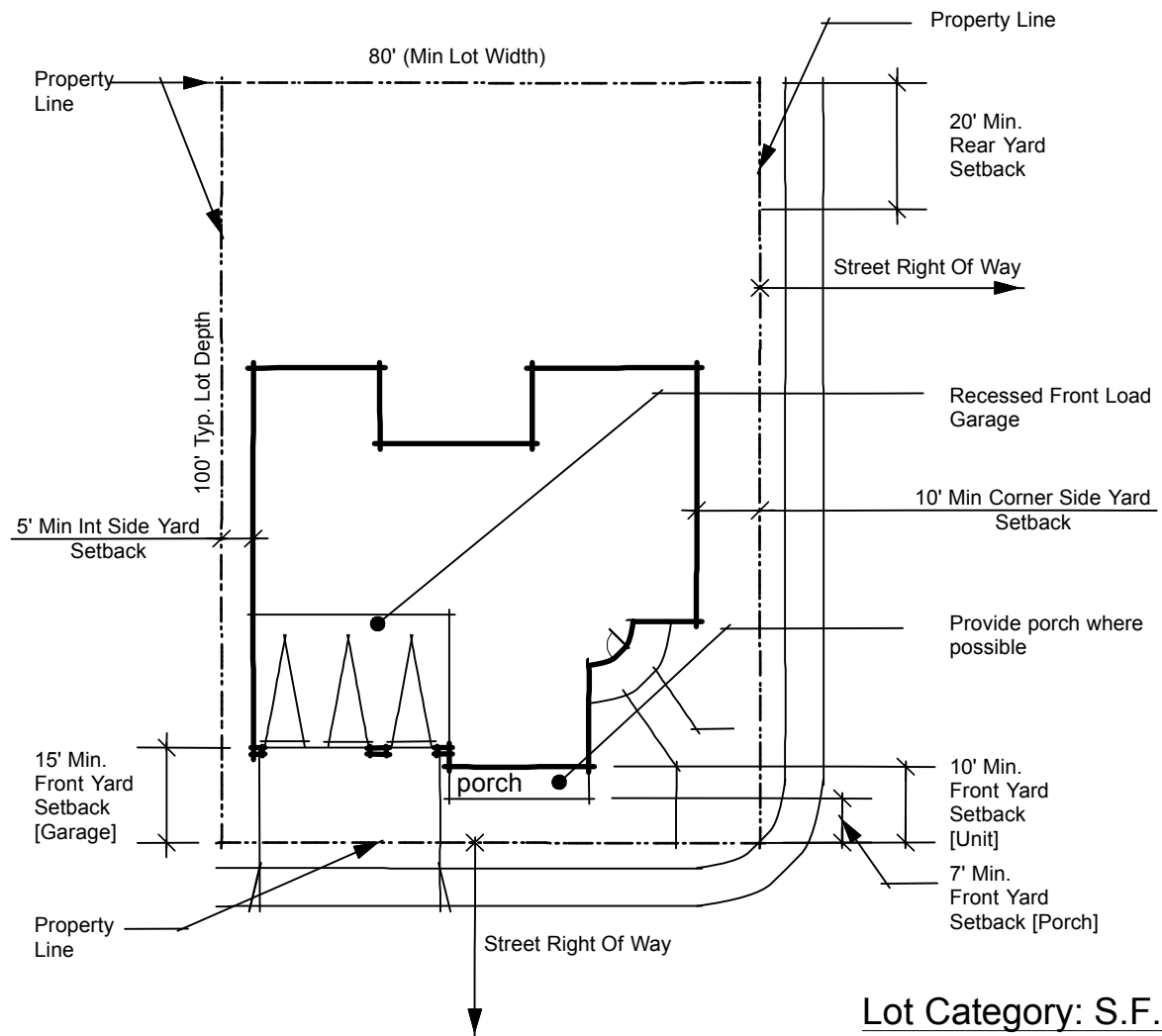
Large Lot
(Perimeter)
(8,500 SF Lots)

Single Family (S.F.-2) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

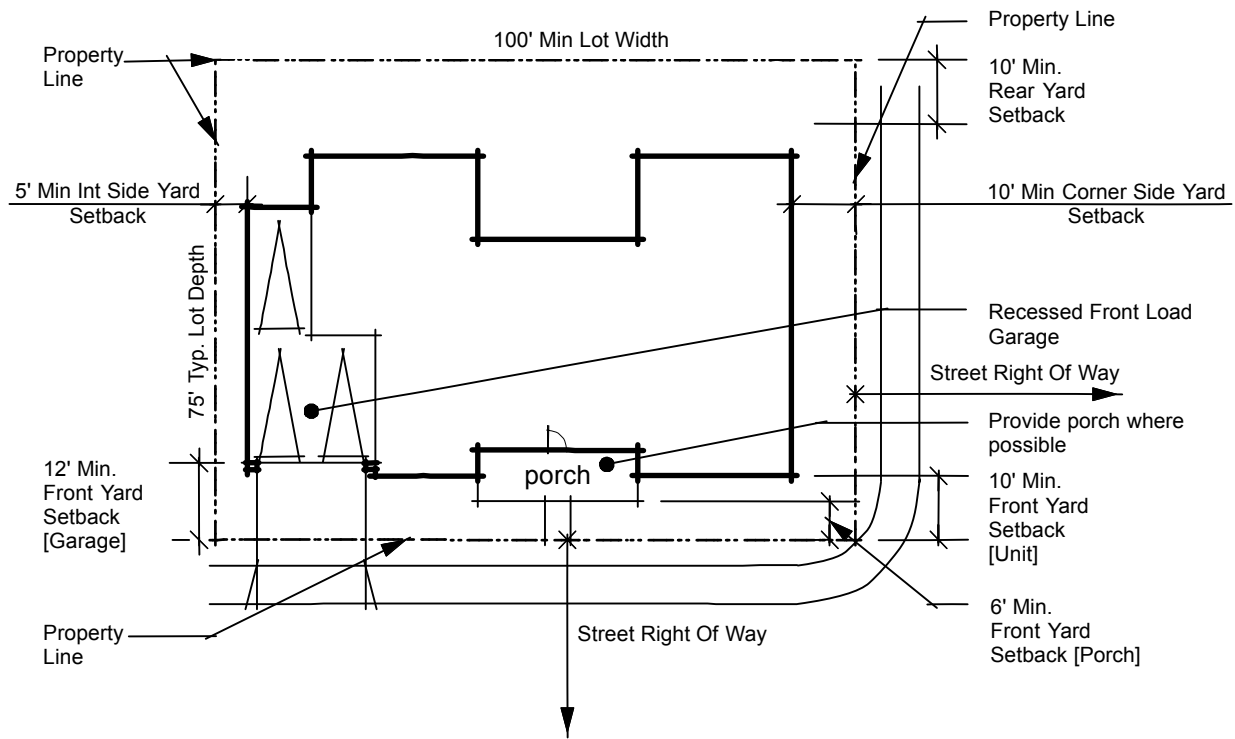
FIGURE 101



Lot Category: S.F. - 3
Single Family Detached
Large Lot
Front or Side Garage
(8,000 SF Lots)

Single Family (S.F.-3) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN



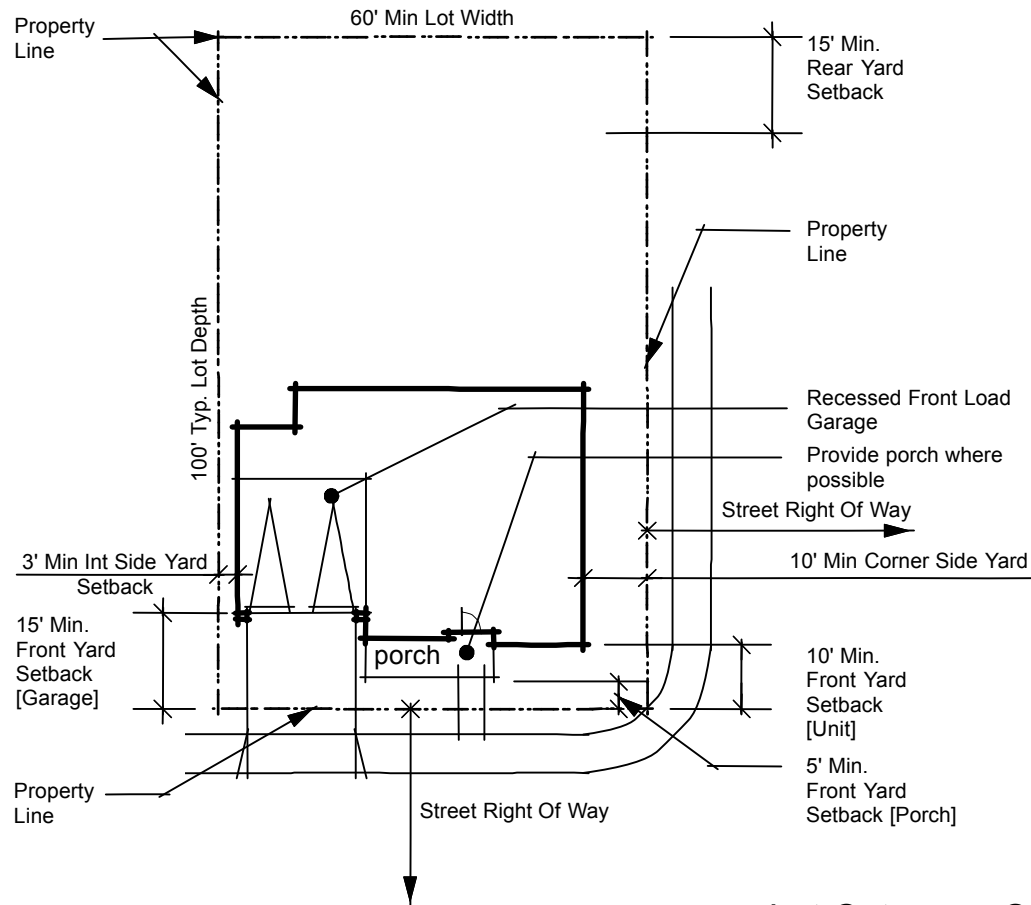
Lot Category: S.F. - 4
Front or Side Garage
(7,500 SF Lots)

Single Family (S.F.-4) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 103



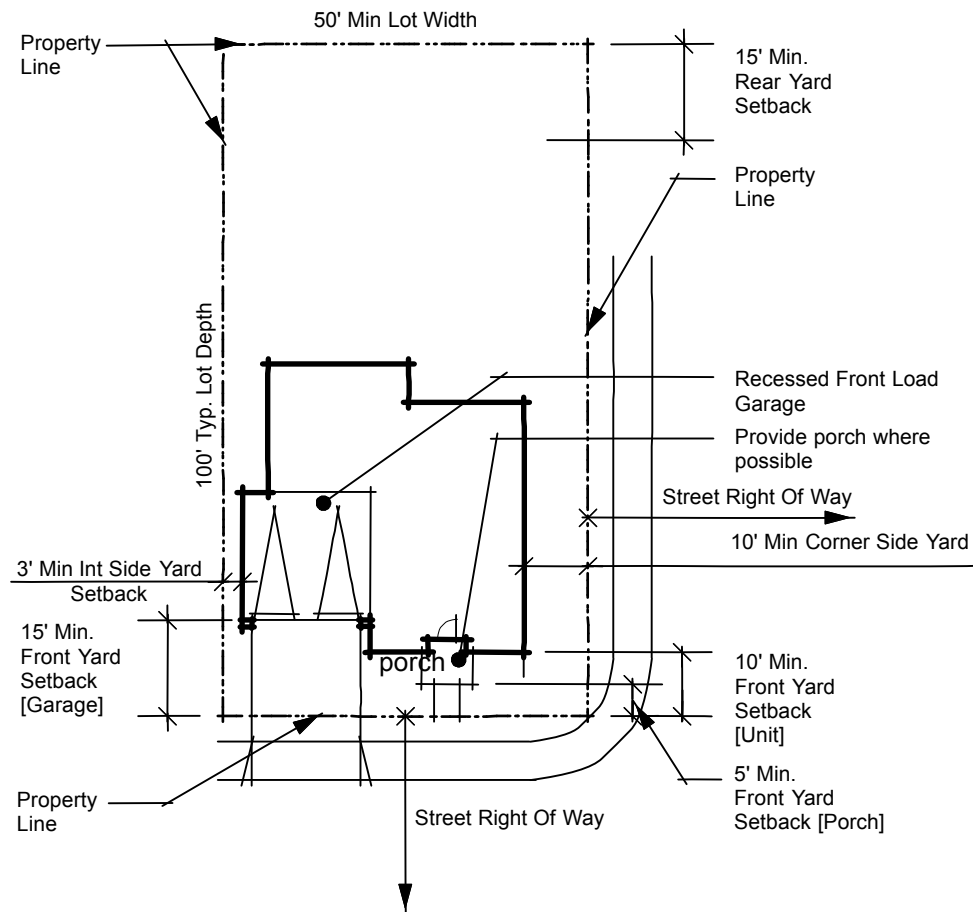
Lot Category: S.F. - 5
Front or Side Garage
 (6,000 SF Lots)

Single Family (S.F.-5) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

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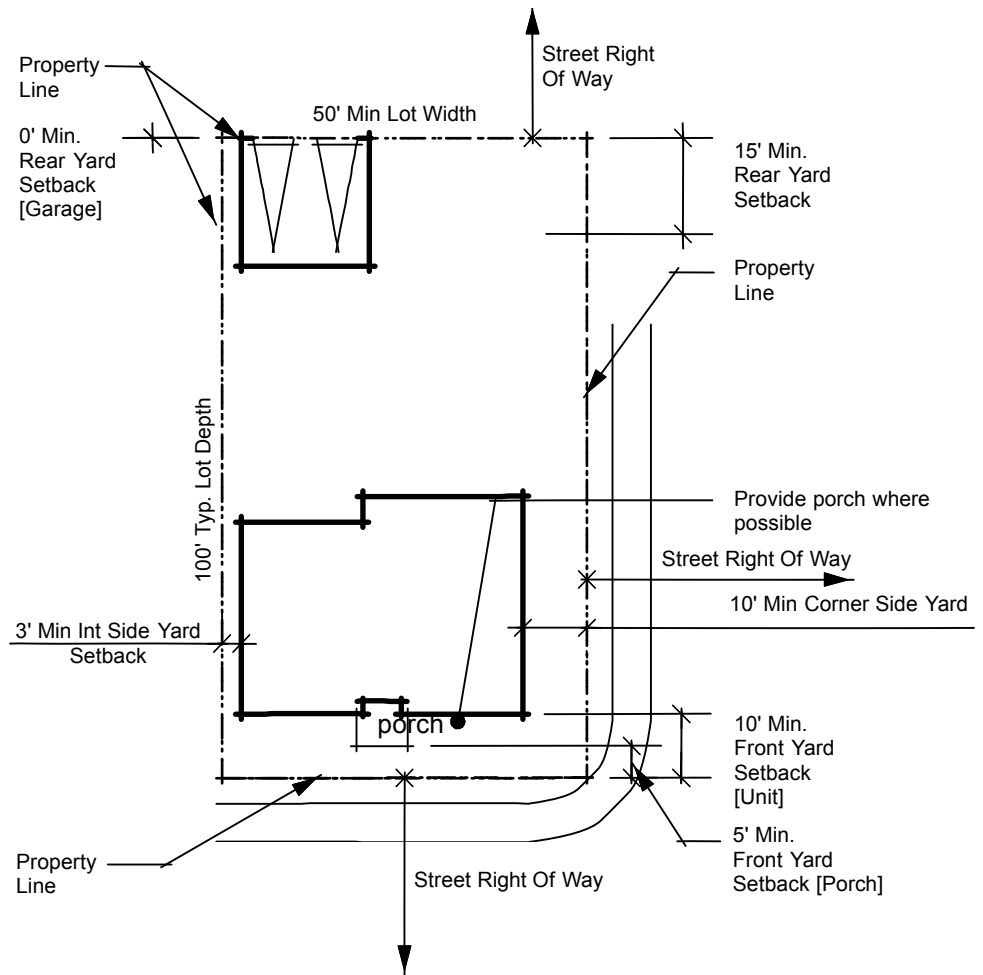
FIGURE 104



Lot Category: S.F. - 6
Front or Side Garage
(5,000 SF Lots)

Single Family (S.F.-6) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

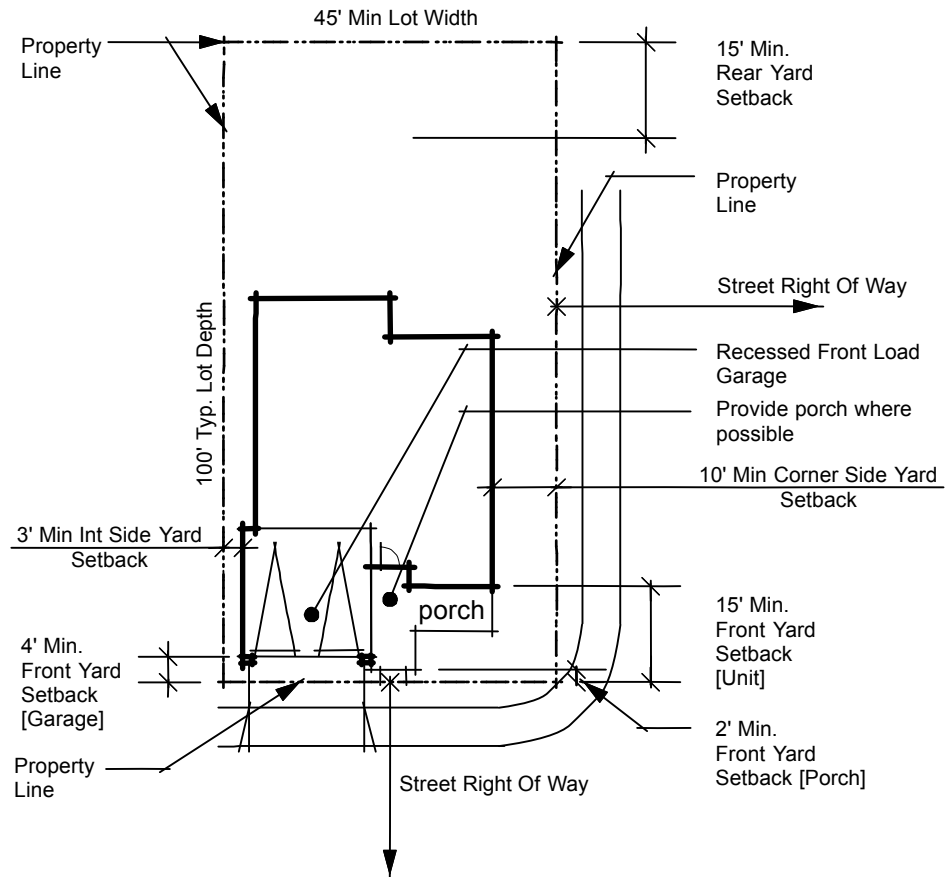


Lot Category: S.F. - 6

Rear Garage
(5,000 SF Lots)

Jingle Family (S.F.-6) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN



Lot Category: S.F. - 8

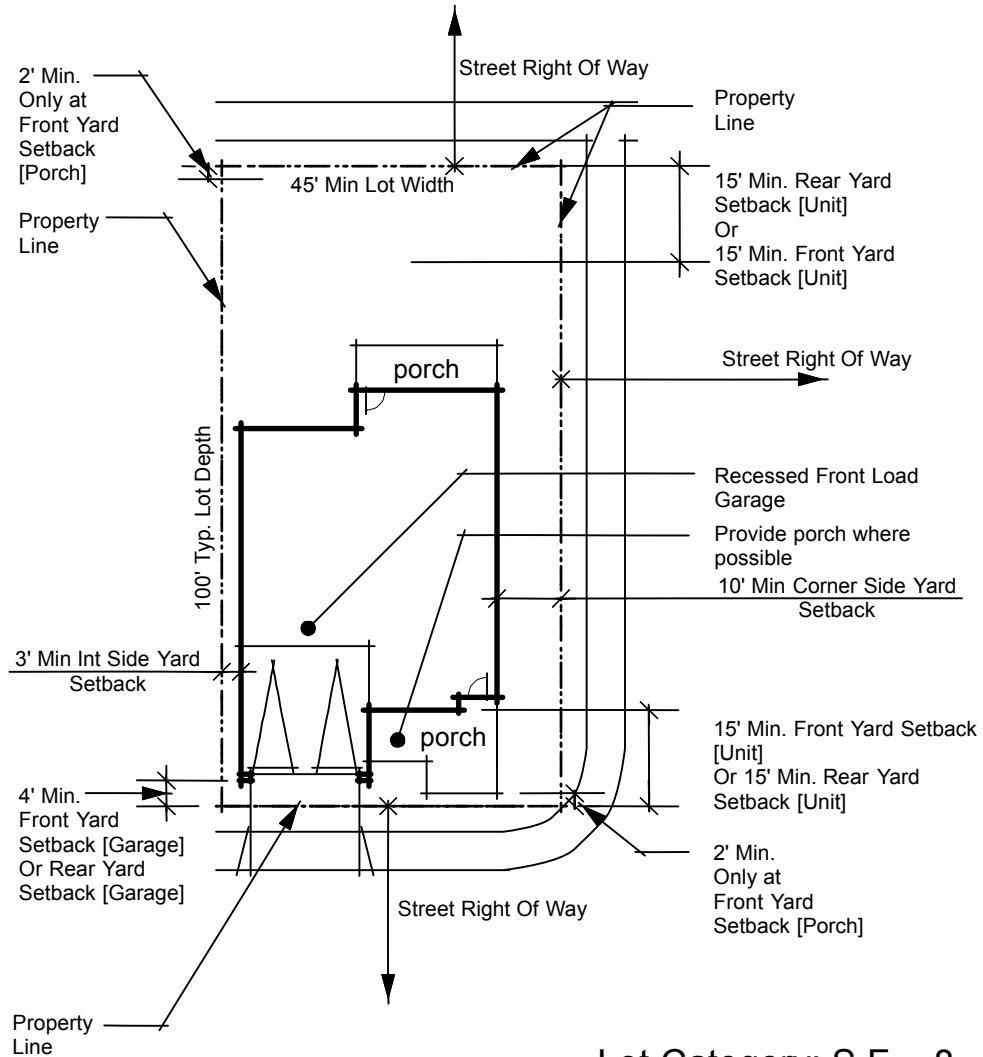
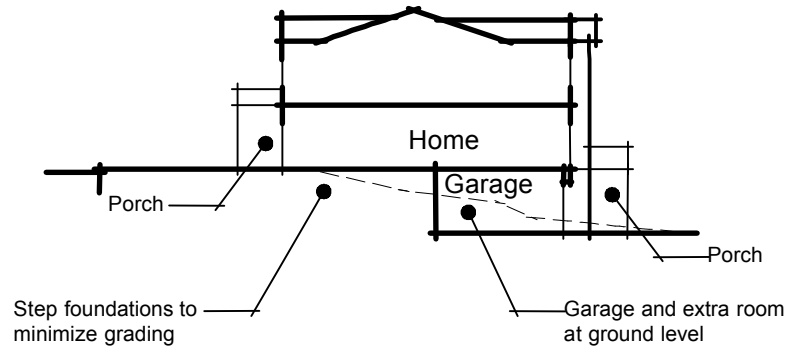
Front or Side Garage
(4,500 SF Lots)

Single Family (S.F.-8) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 108



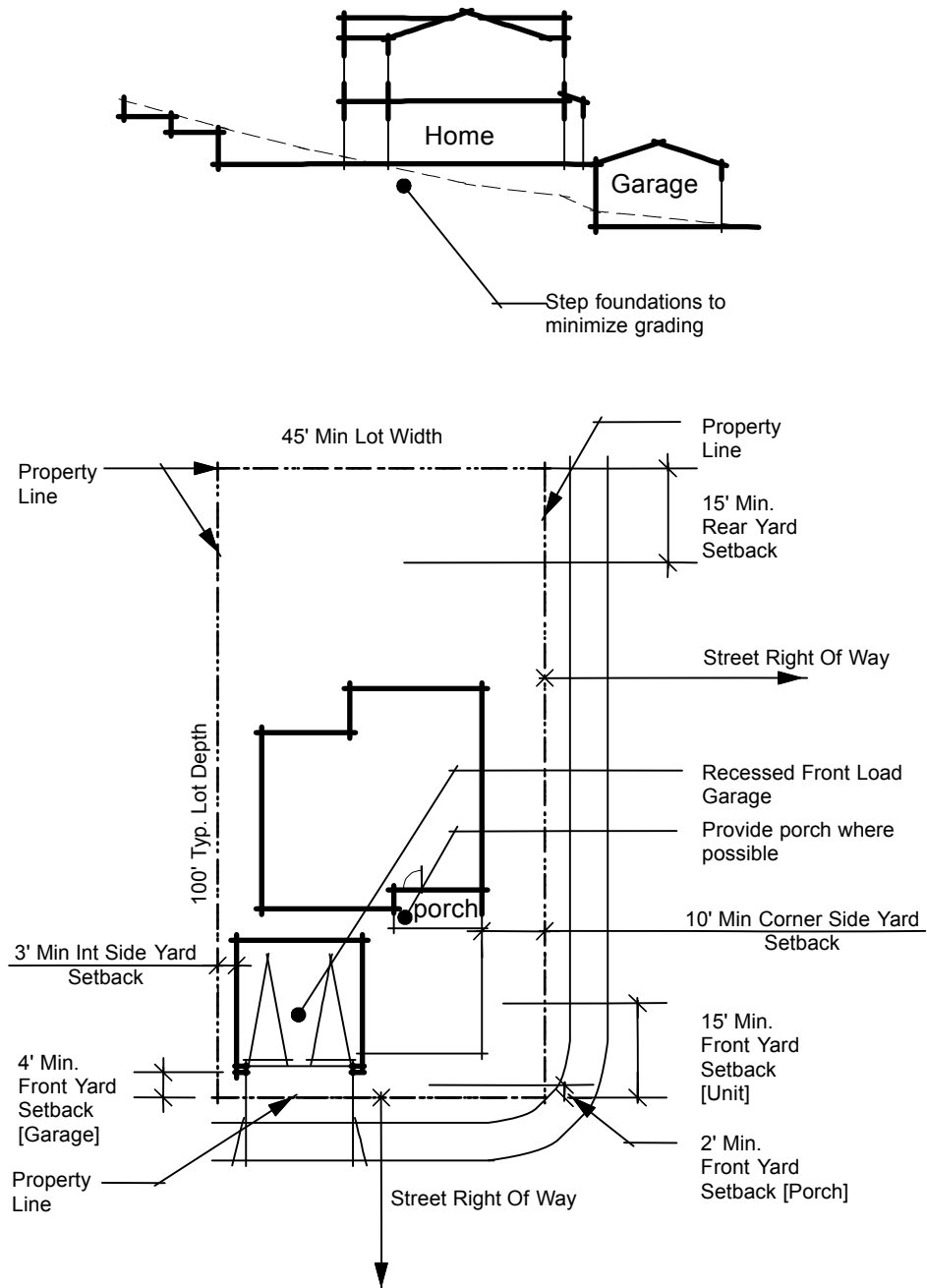
Lot Category: S.F. - 8

Steep Slope

Tuck-Under Front or Side Garage
(4,500 SF Lots)

Single Family (S.F.-8) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN



Lot Category: S.F. - 8

Steep Slope

Detached Front or Side

Garage

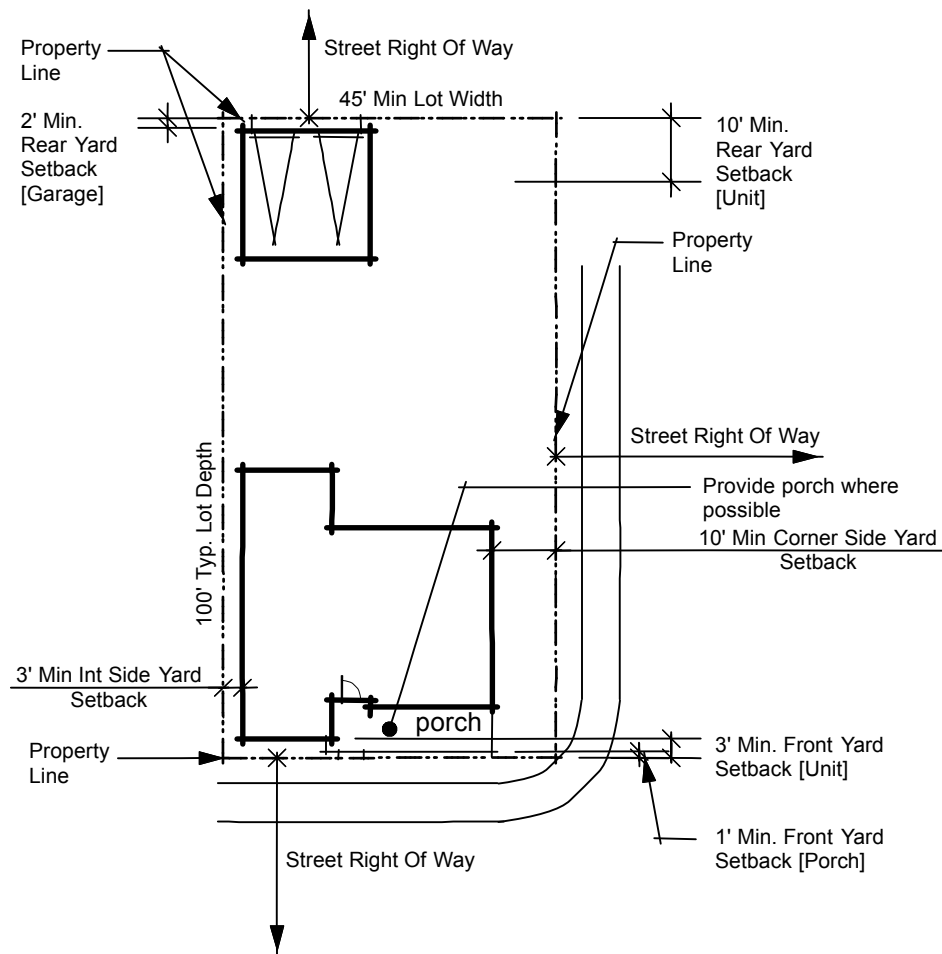
(4,500 SF Lots)

Single Family (S.F.-8) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 110



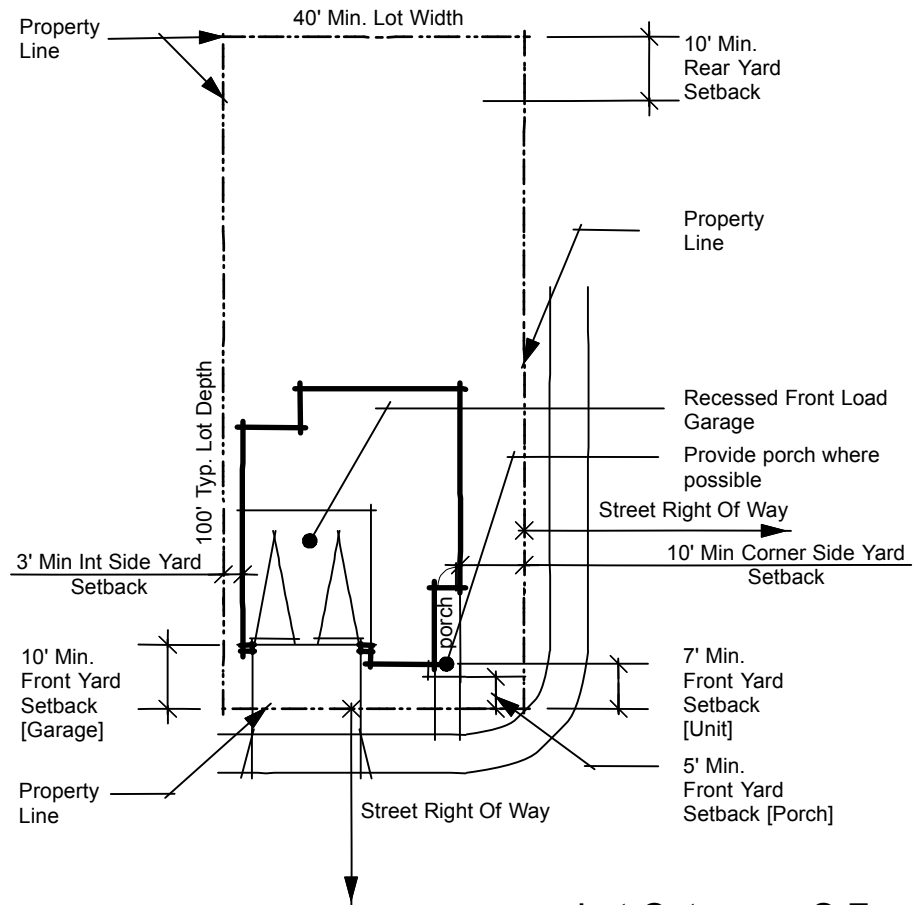
Lot Category: S.F. - 9
Rear Garage
 (4,500 SF Lots)

Single Family (S.F.-9) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 111



Lot Category: S.F. - 10

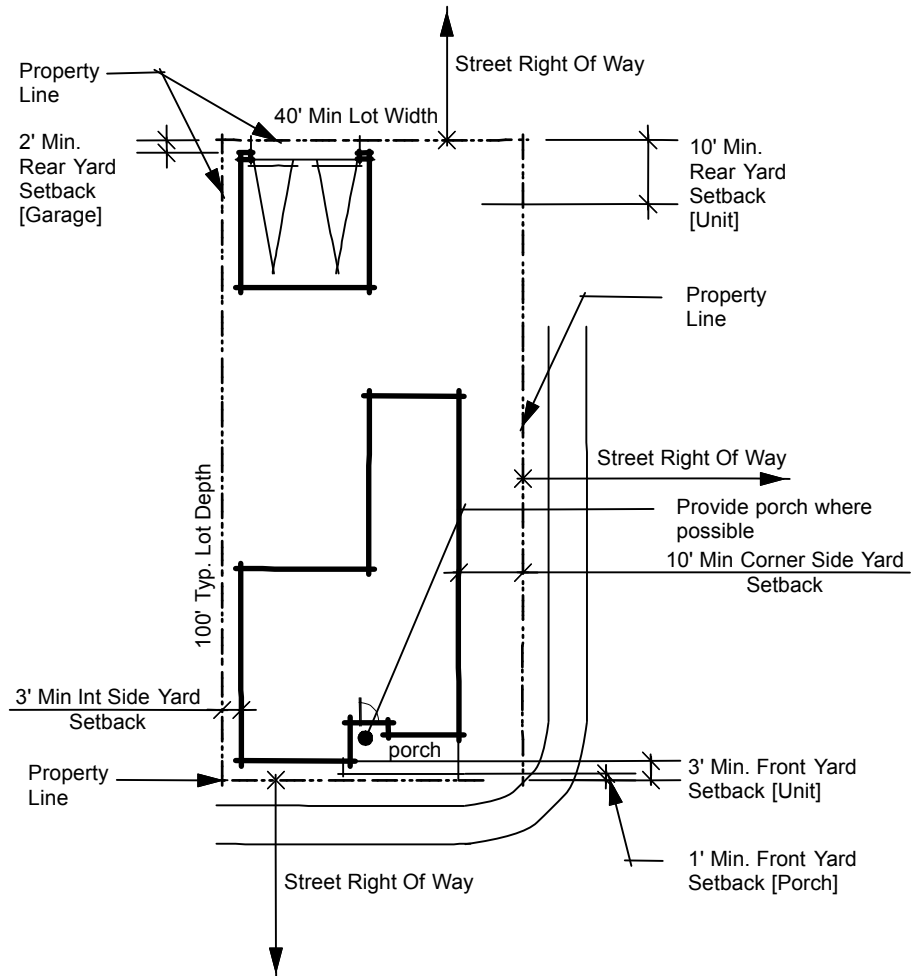
Front or Side Garage
(4,000 SF Lots)

Single Family (S.F.-10) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 112



Lot Category: S.F. - 11

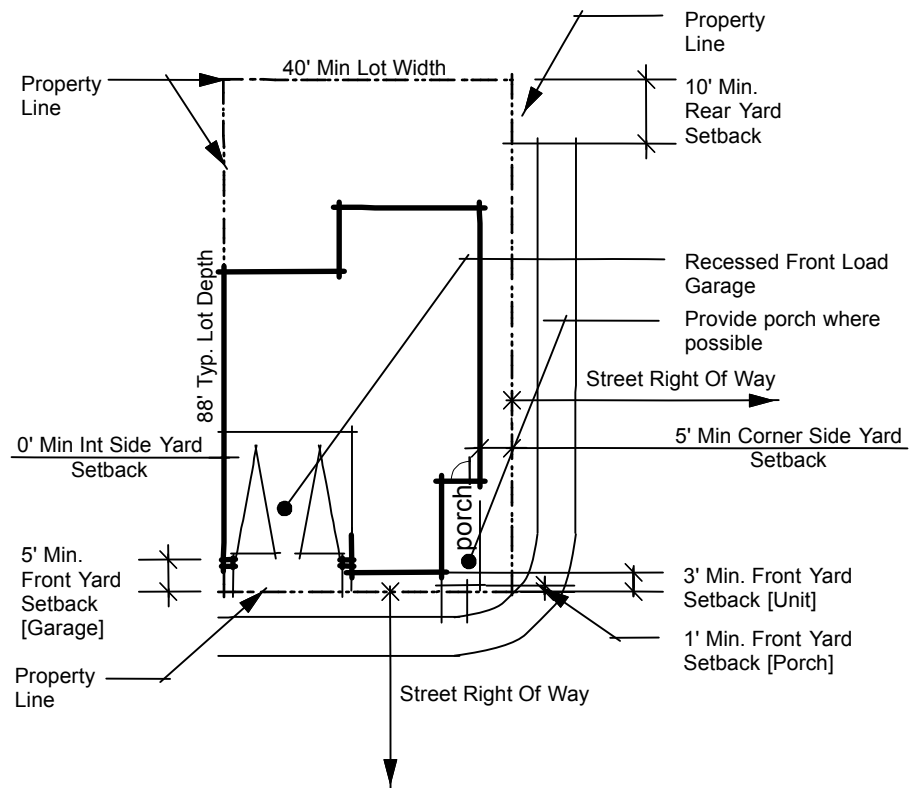
Rear Garage
(4,000 SF Lots)

Single Family (S.F.-11) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 113

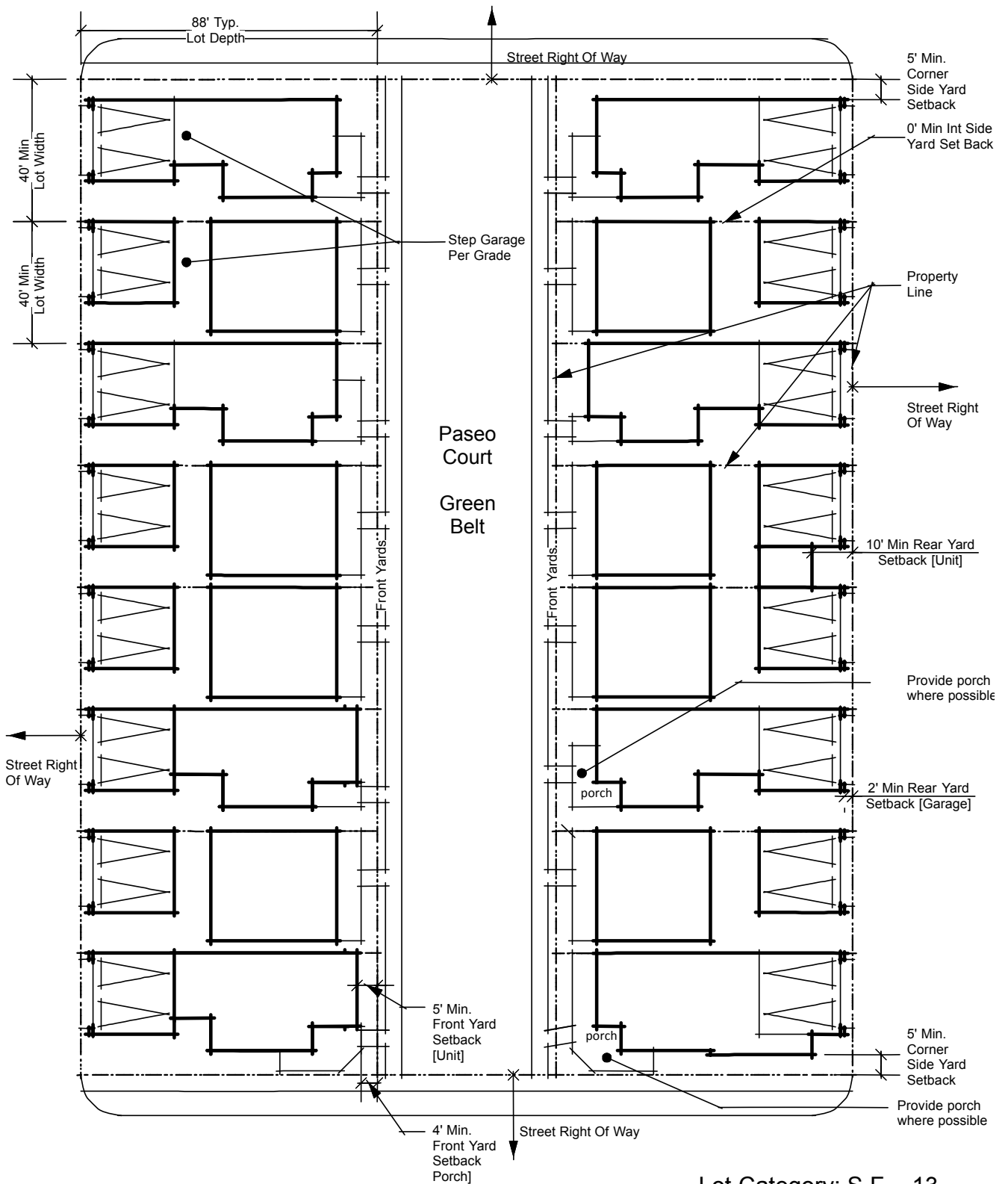


Lot Category: S.F. - 12

Front Garage
(3,500 SF Lots)

Single Family (S.F.-12) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN



Lot Category: S.F. - 13

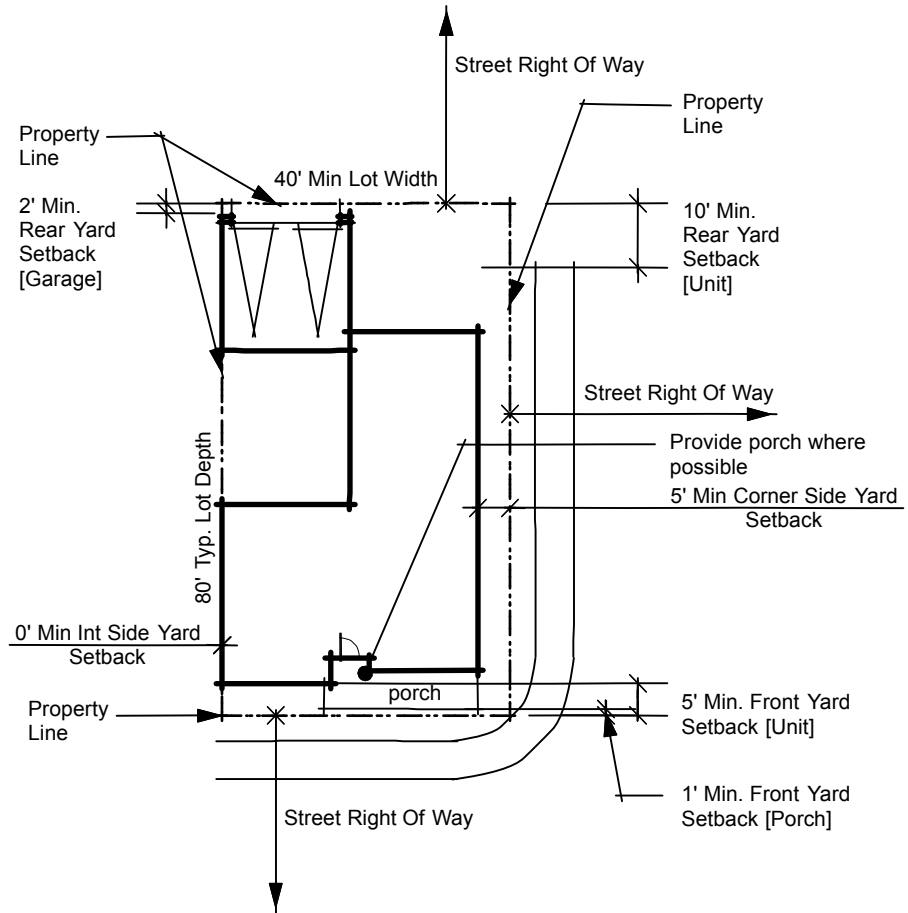
Hillside Paseo
(3,500 SF Lots)

Single Family (S.F.-13) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 115



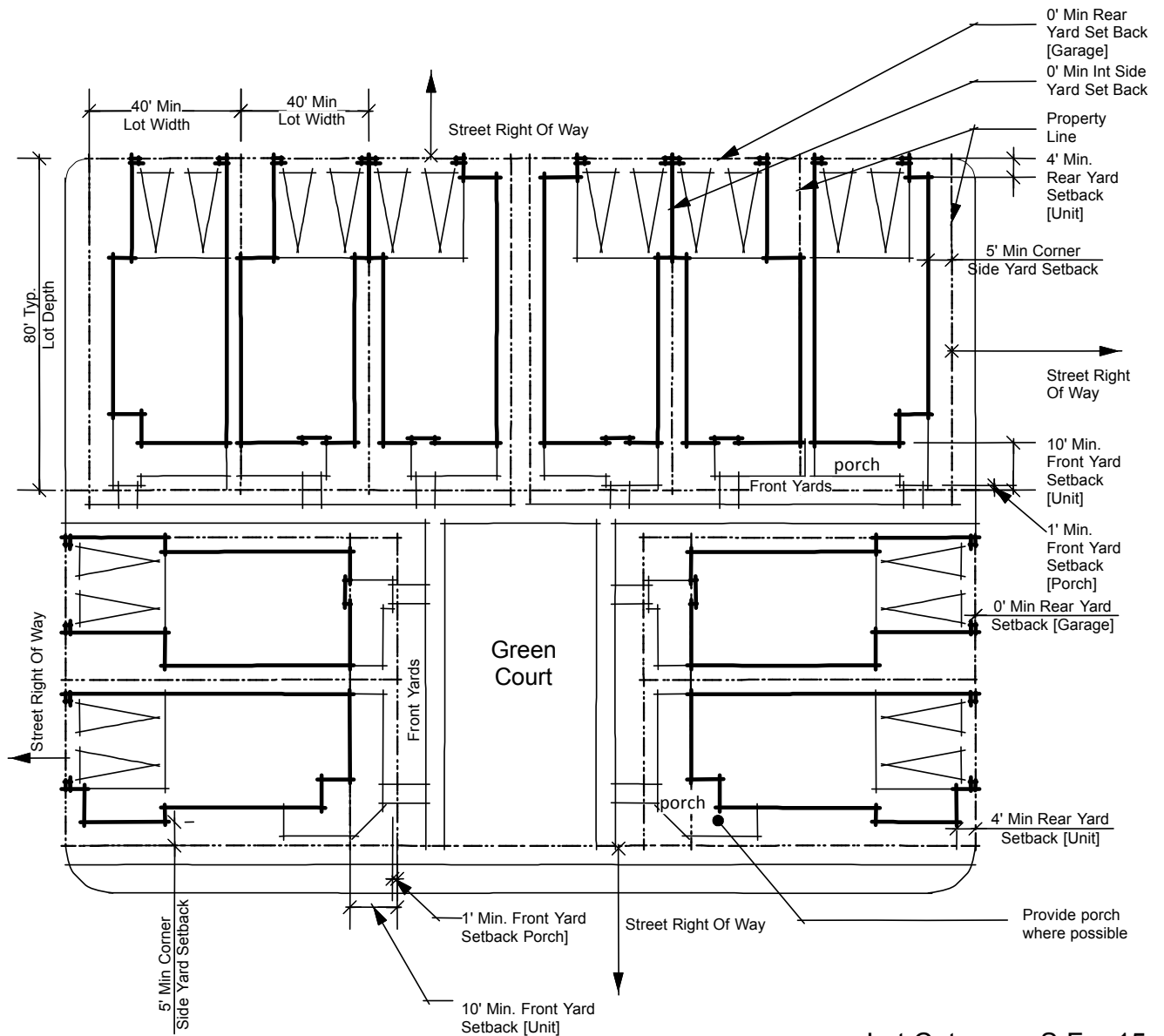
Lot Category: S.F. - 14
 Rear Garage
 (3,200 SF Lots)

Single Family (S.F.-14) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 116



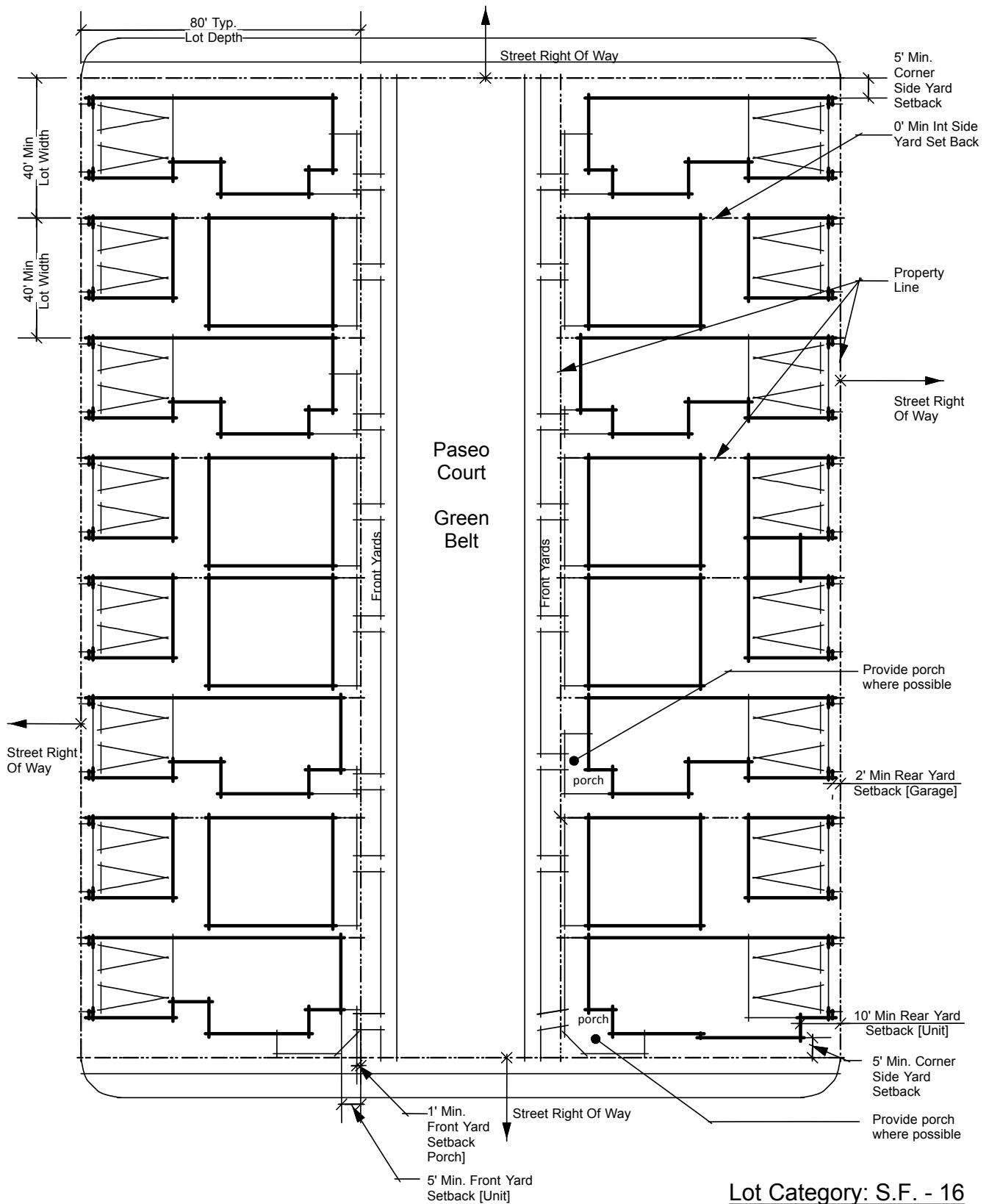
Lot Category: S.F. - 15
Green Court Cluster
 (3,200 SF Lots)

Single Family (S.F.-15) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 117



Lot Category: S.F. - 16

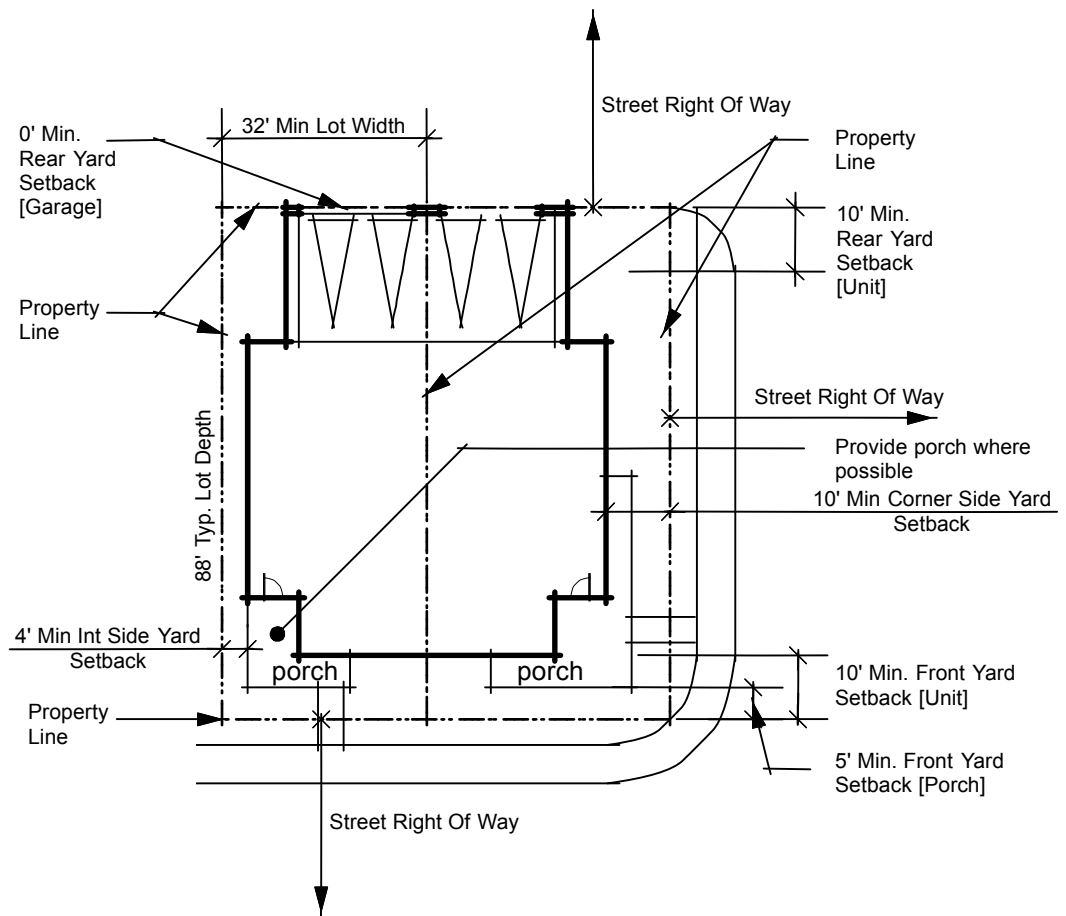
Paseo Court Cluster
(2,800 SF Lots)

Single Family (S.F.-16) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 118



Lot Category: S.F. - 17

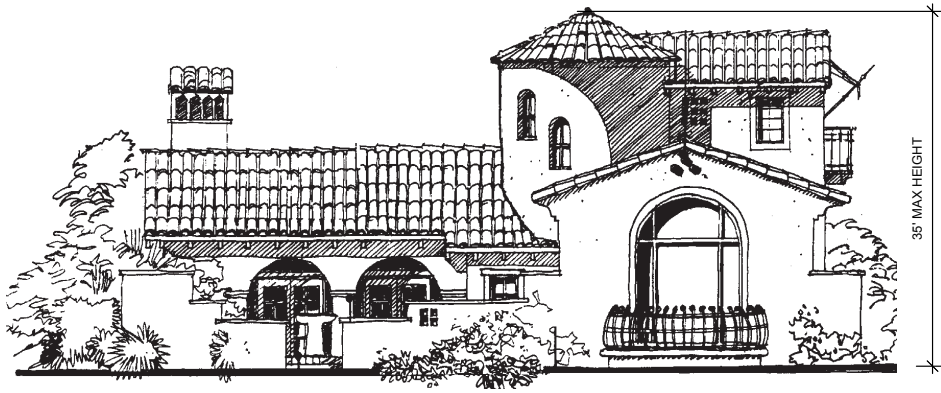
Double Detached
(2,800 SF Lots)

Single Family (S.F.-17) Lot Layout

LILAC HILLS RANCH SPECIFIC PLAN

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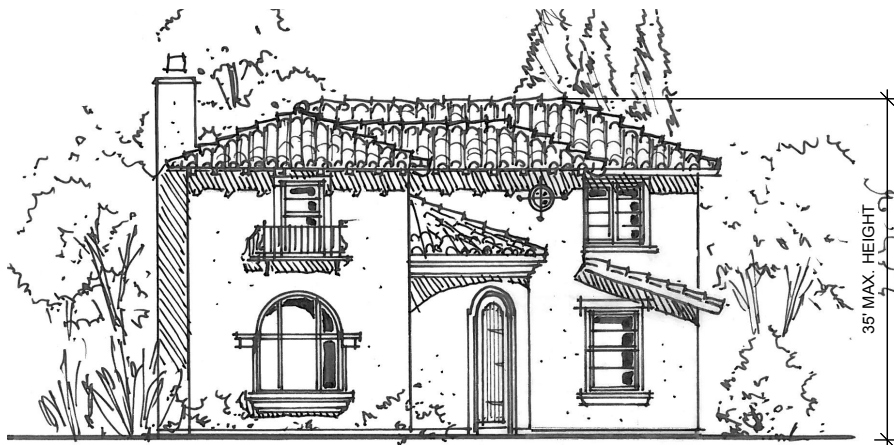
FIGURE 119



A. Spanish Colonial
(Side or Rear Garage)
no scale



A. Spanish Colonial
(Side or Rear Garage)
no scale



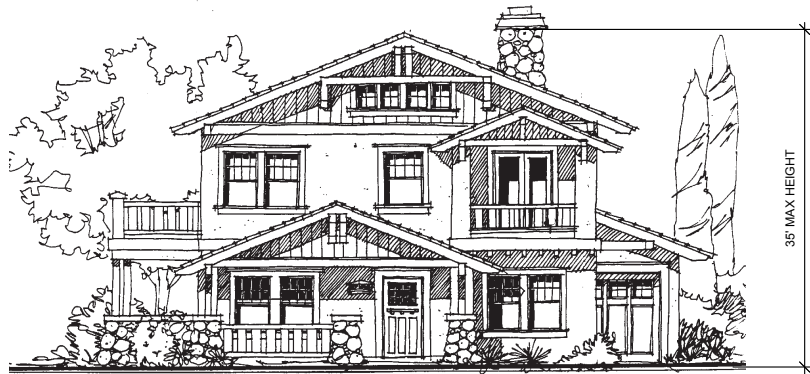
A. Spanish Colonial
(Side or Rear Garage)
no scale

Note: Elevations representative of stylistic themes
and can be applied to any lot category.

Single Family Conceptual Elevations

LILAC HILLS RANCH SPECIFIC PLAN

FIGURE 120



B. Craftsman Style
(Front or Side Garage)
no scale



B. Craftsman Style
(Front Garage)
no scale



C. French Country
(Side or Rear Garage)
no scale

Note: Elevations representative of stylistic themes
and can be applied to any lot category.

Single Family Conceptual Elevations

LILAC HILLS RANCH SPECIFIC PLAN

FIGURE 121



C. French Country
(Front Garage)
no scale



C. French Country
(Front or Side Garage)
no scale



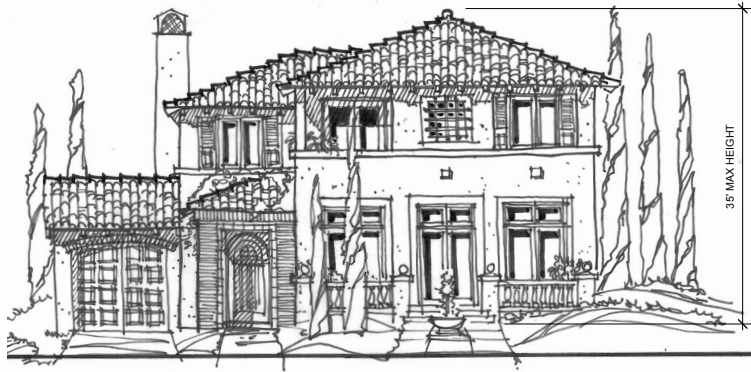
D. California Bungalow
(Front or Side Garage)
no scale

Note: Elevations representative of stylistic themes
and can be applied to any lot category.

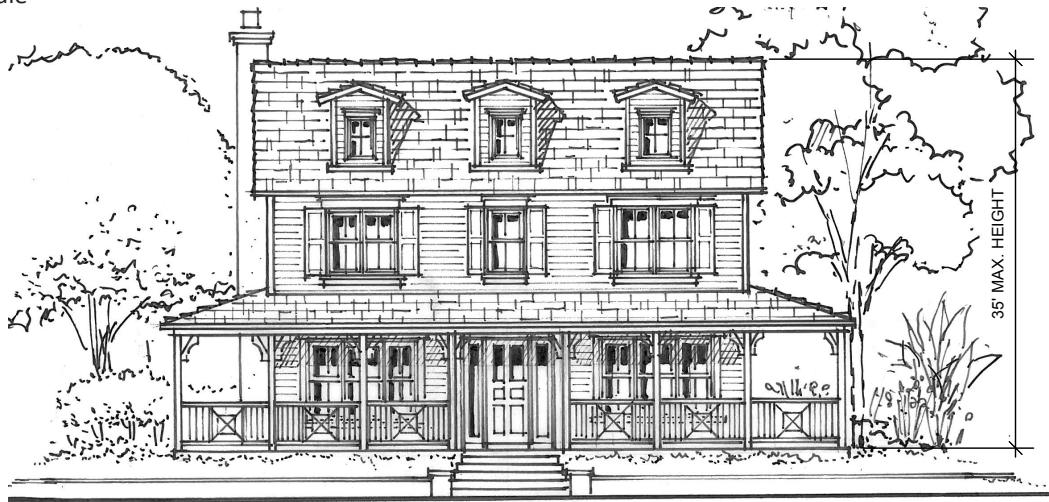
Single Family Conceptual Elevations

LILAC HILLS RANCH SPECIFIC PLAN

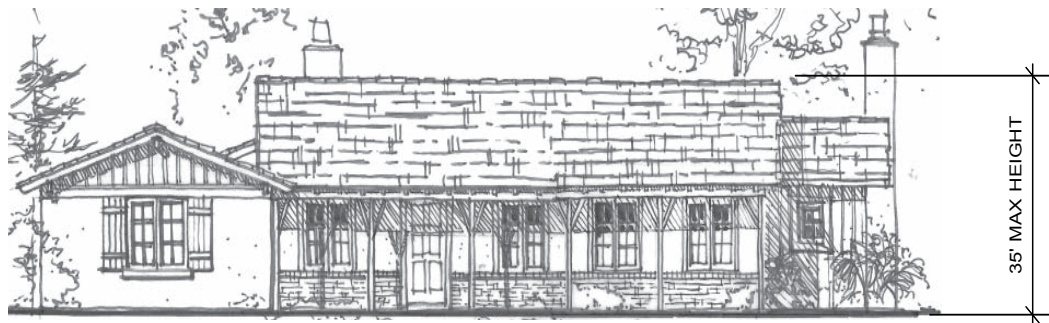
FIGURE 122



E. Tuscany Revival
(Front or Side Garage)
no scale



F. Farmhouse
(Side or Rear Garage)
no scale



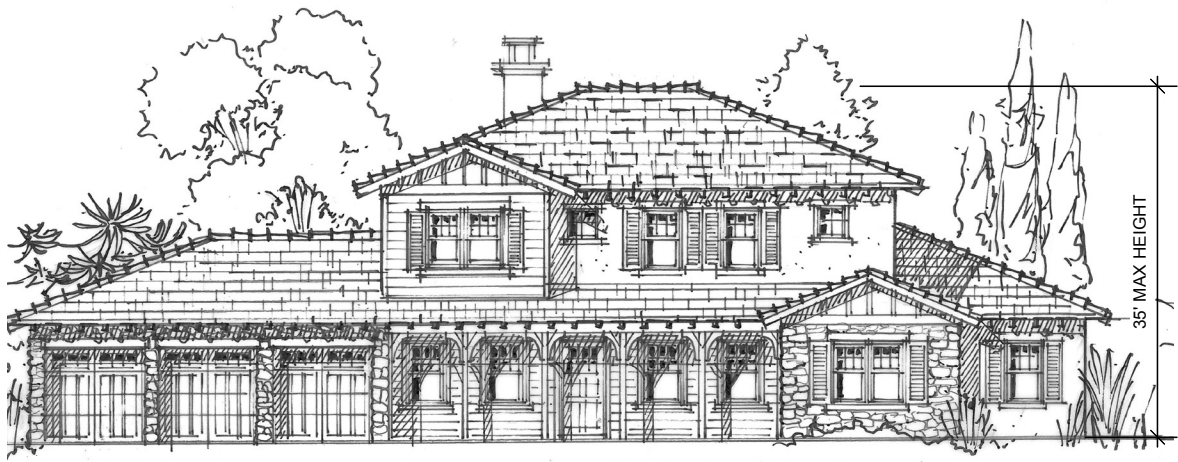
G. California Ranch
(Front or Side Garage)
no scale

Note: Elevations representative of stylistic themes
and can be applied to any lot category.

Single Family Conceptual Elevations

LILAC HILLS RANCH SPECIFIC PLAN

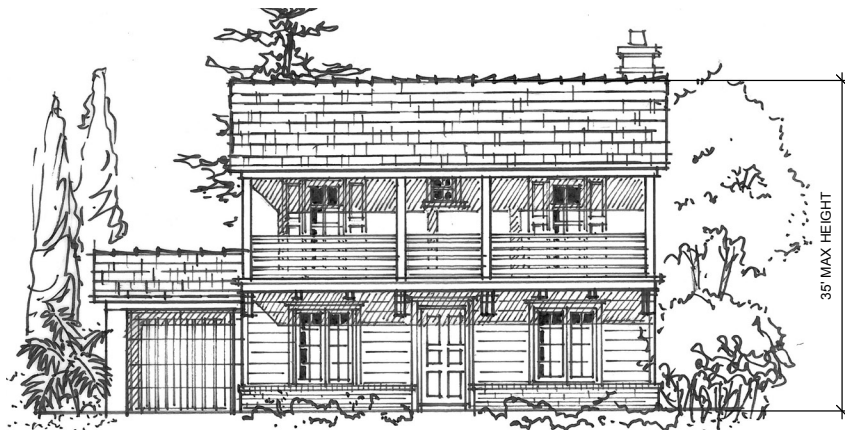
FIGURE 123



G. California Ranch
(Front Garage)
no scale



H. California Monterey
(Side or Rear Garage)
no scale



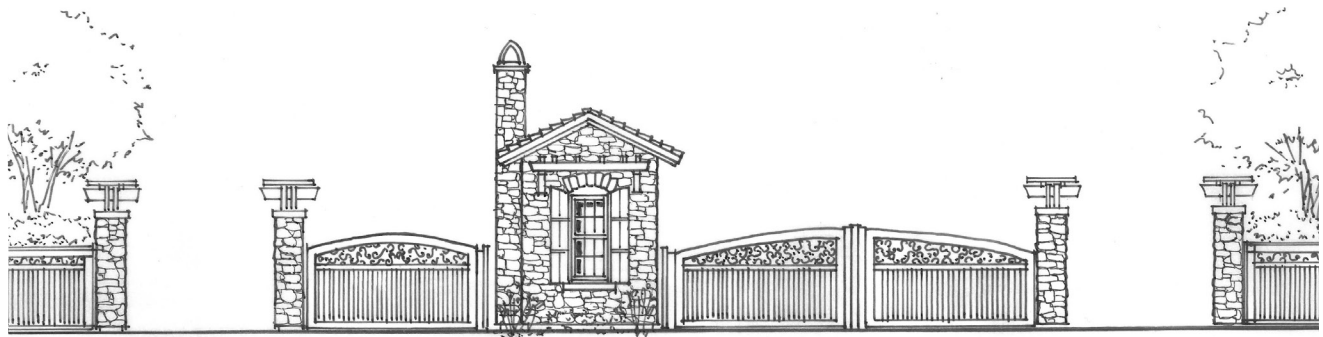
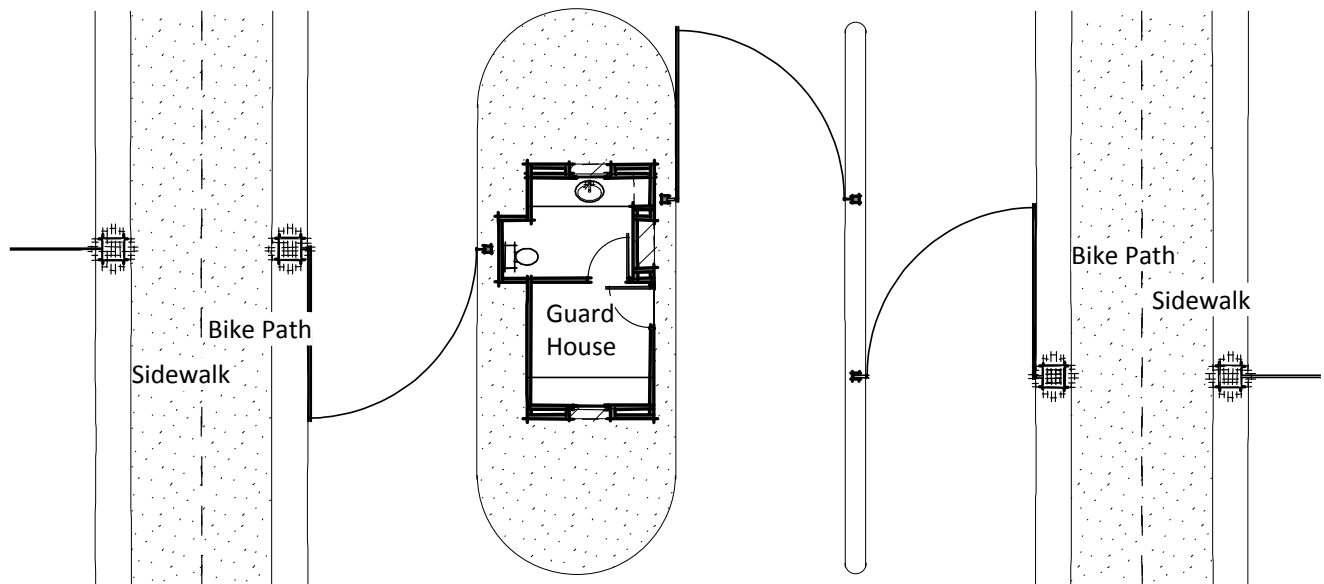
H. California Monterey
(Front or Side Garage)
no scale

Note: Elevations representative of stylistic themes
and can be applied to any lot category.

Single Family Conceptual Elevations

LILAC HILLS RANCH SPECIFIC PLAN

FIGURE 124

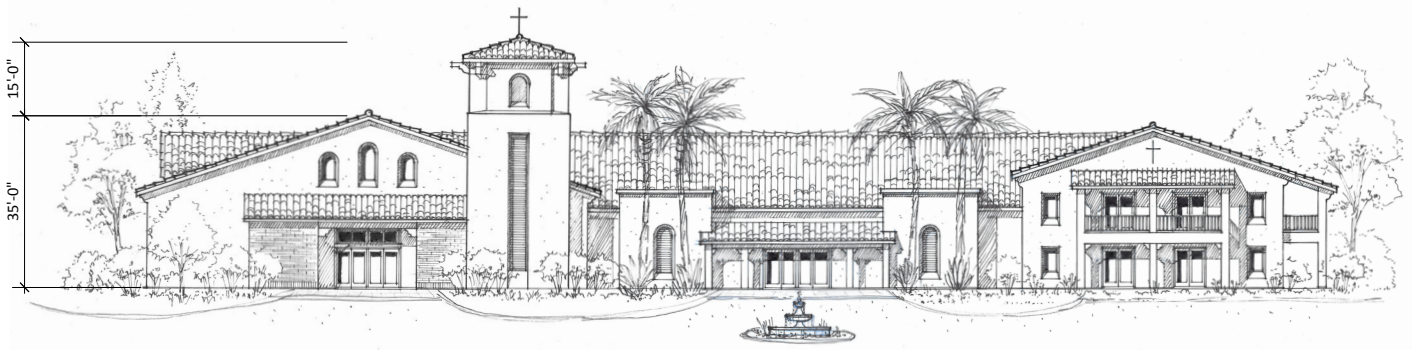


Senior Neighborhood Gated Entry Guard House Concept

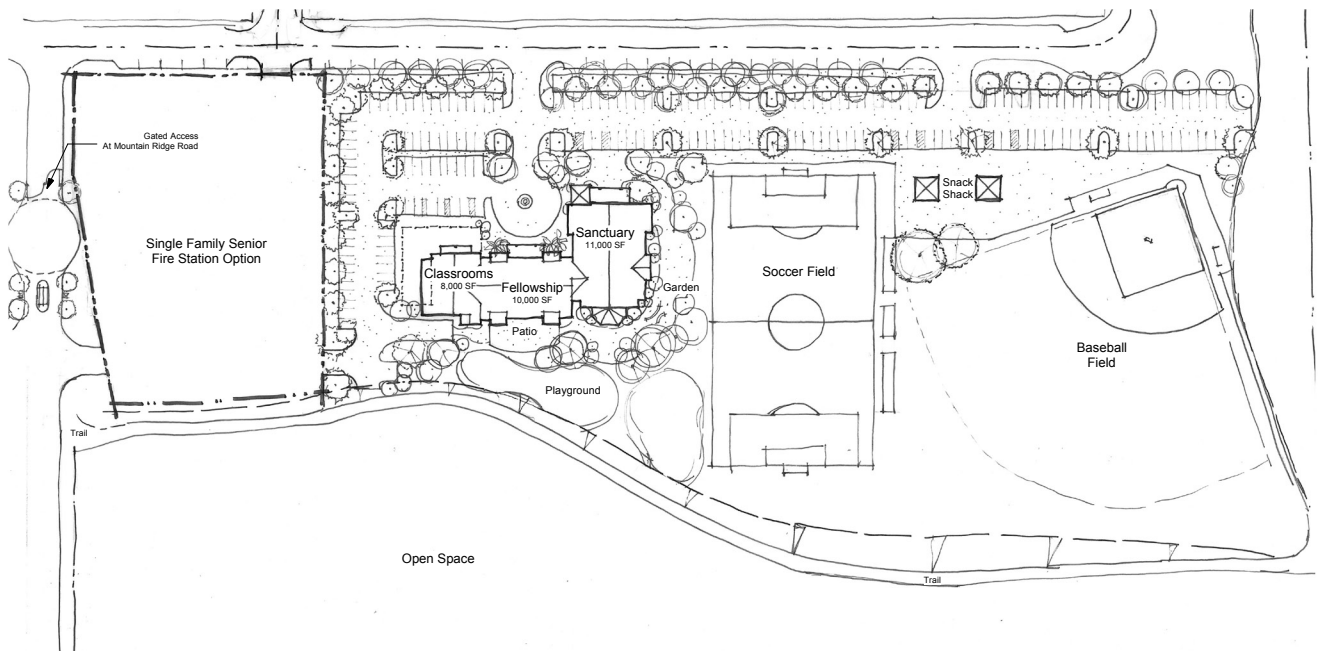
LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 125

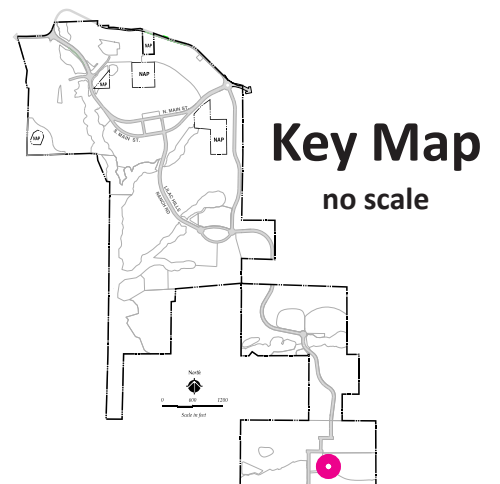


Elevation
no scale



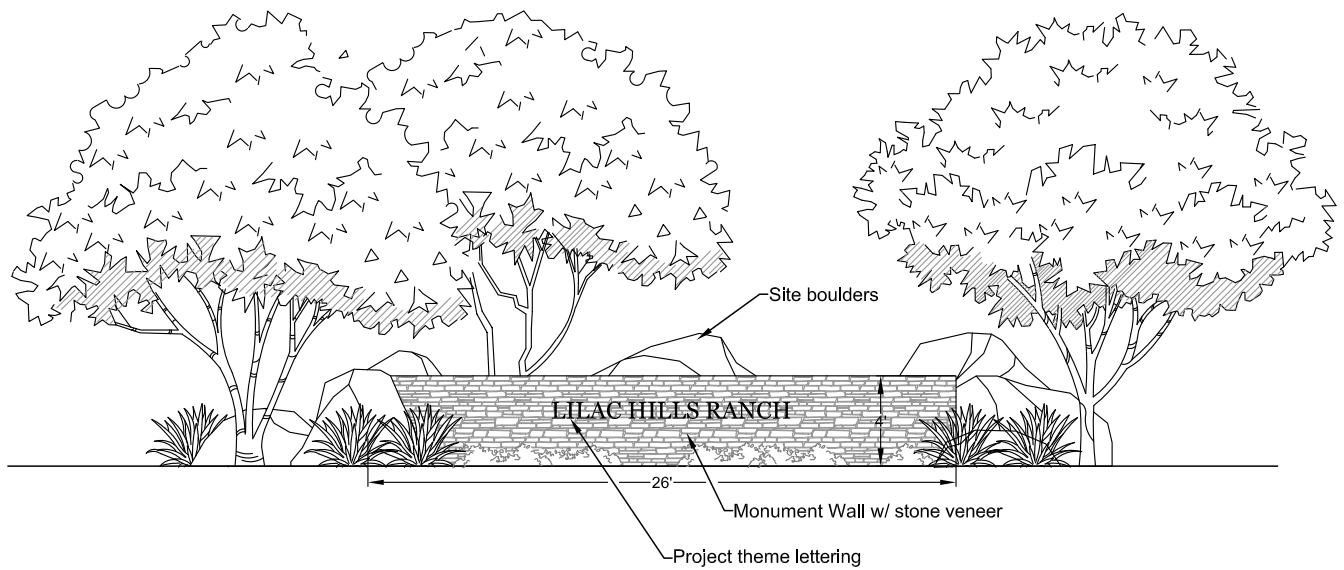
Plan View
no scale

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.



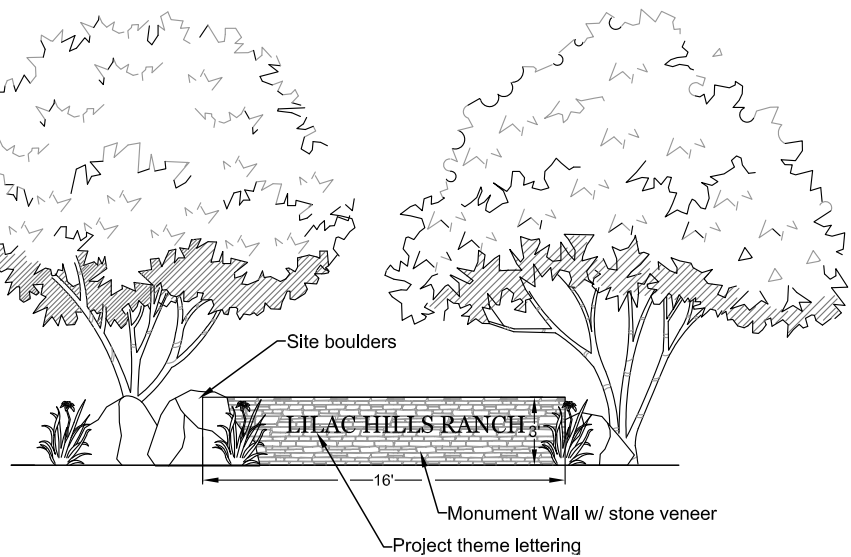
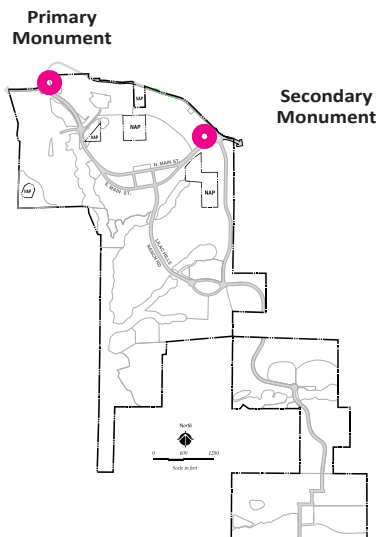
Institutional Site Concept Plan & Elevation

LILAC HILLS RANCH SPECIFIC PLAN



Primary Project Entry
no scale

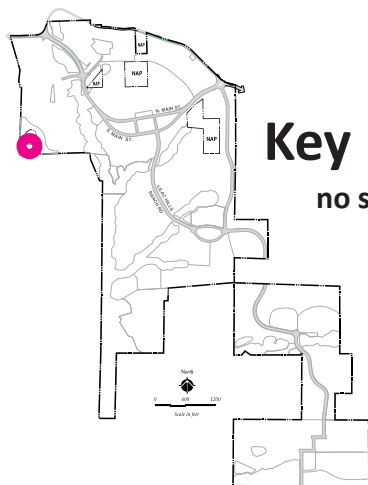
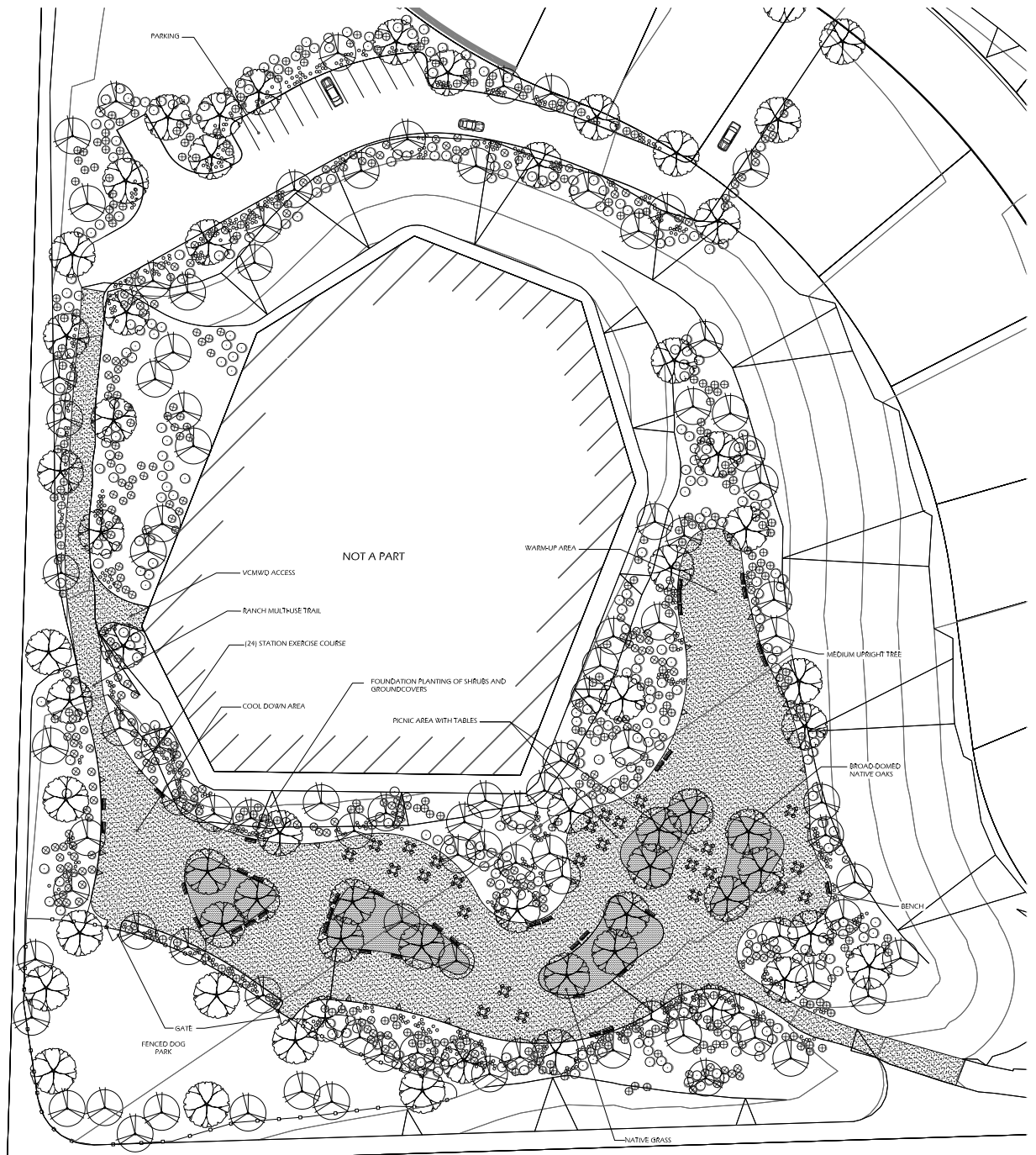
Key Map
no scale



Secondary Project Entry
no scale

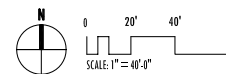
Project Entry Monuments

LILAC HILLS RANCH SPECIFIC PLAN



Key Map

no scale



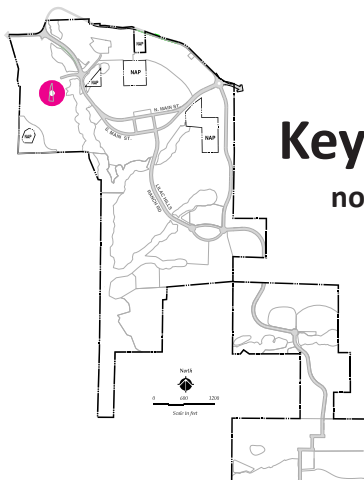
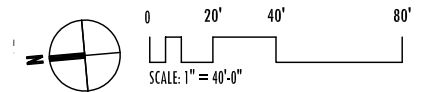
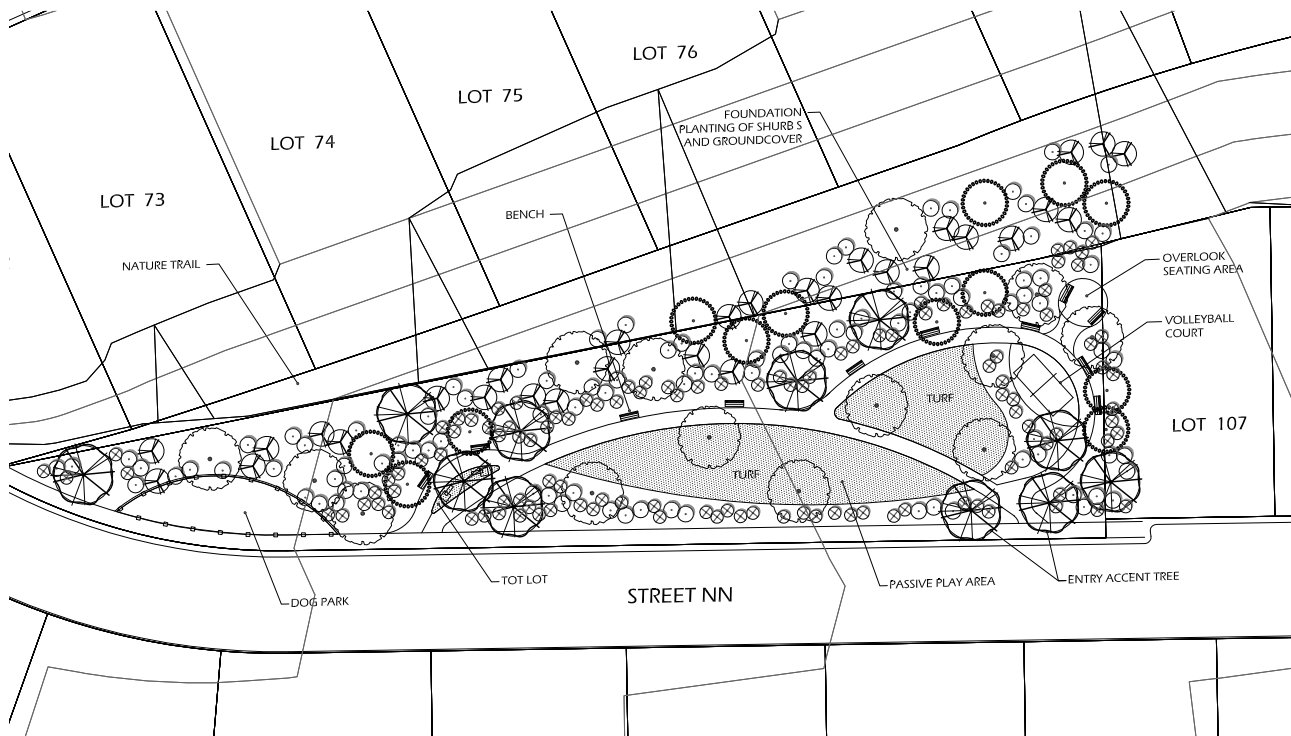
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Fitness Center Park Concept (P-1)

LILAC HILLS RANCH SPECIFIC PLAN

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FIGURE 128



Key Map
no scale

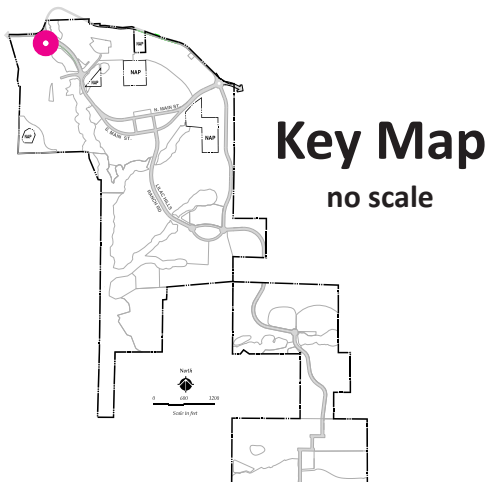
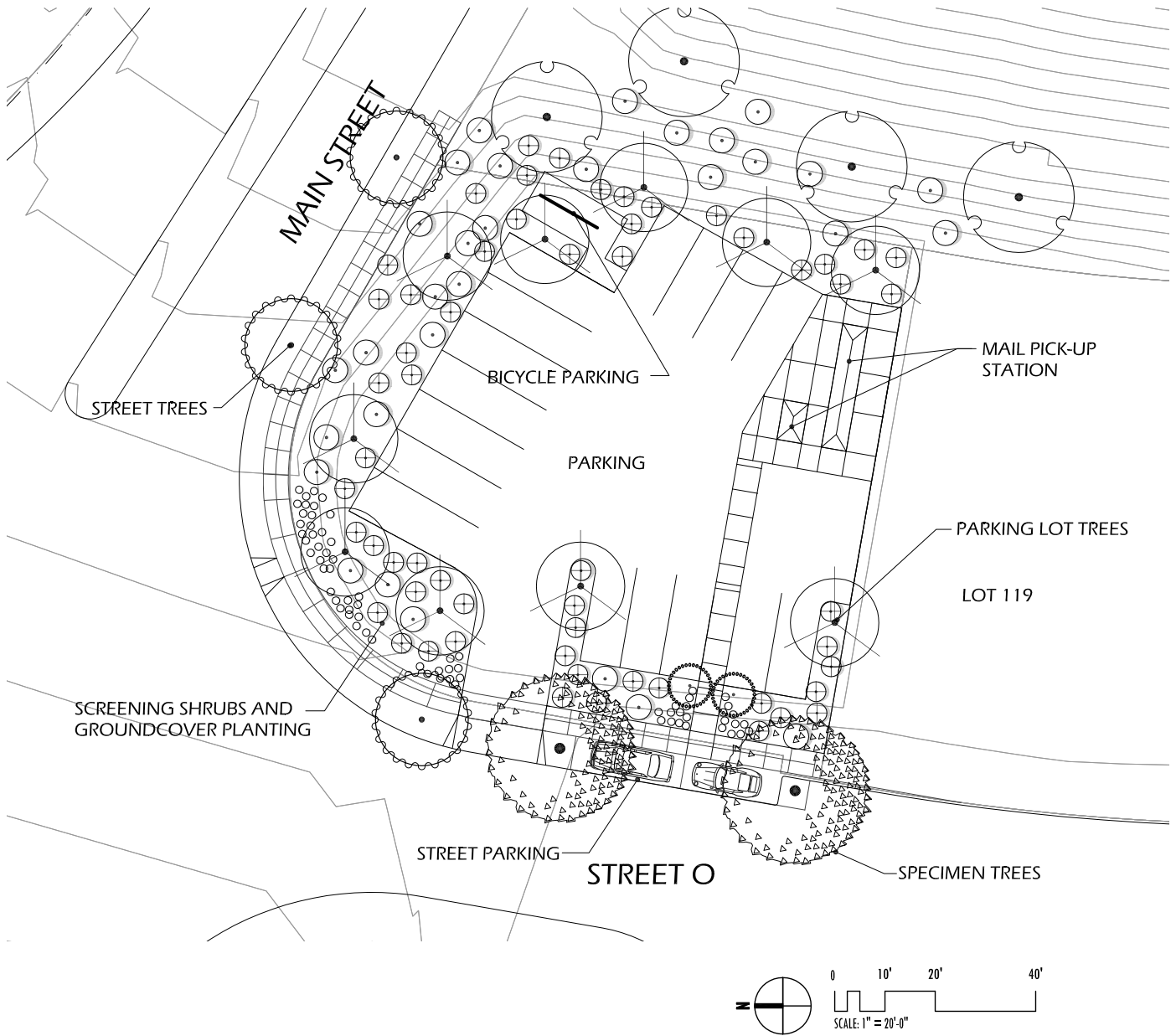
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Sport Park (P-2) Concept

LILAC HILLS RANCH SPECIFIC PLAN

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FIGURE 129



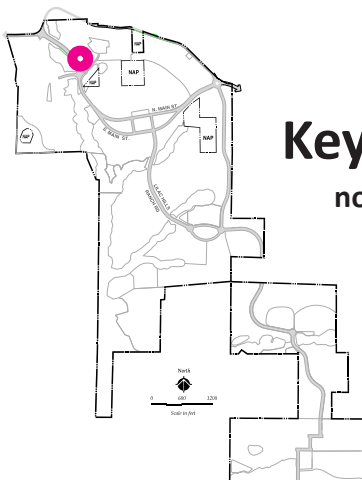
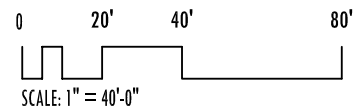
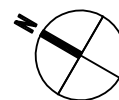
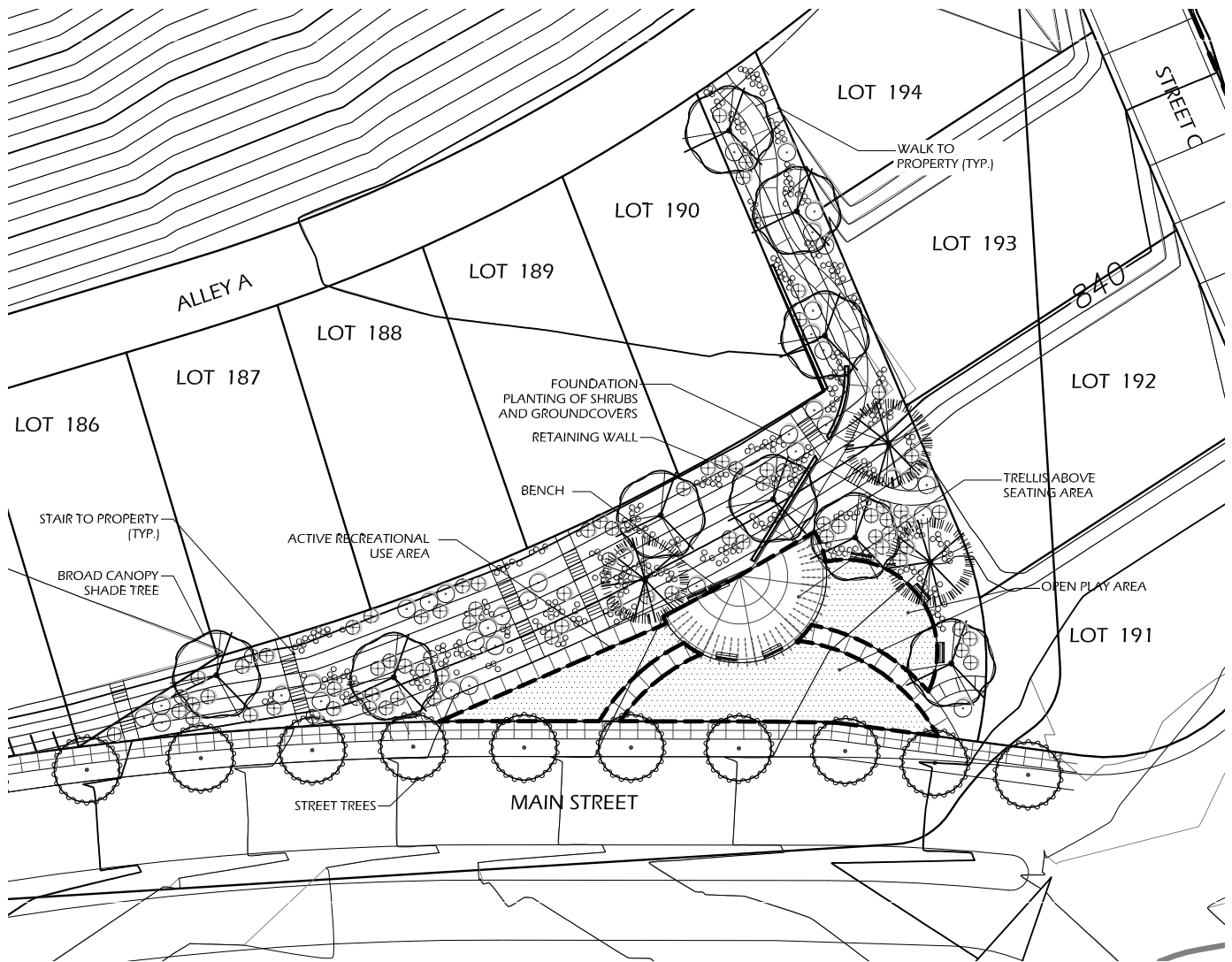
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Mail Pick-up Station (HOA) Concept

LILAC HILLS RANCH SPECIFIC PLAN

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FIGURE 130



Key Map
no scale

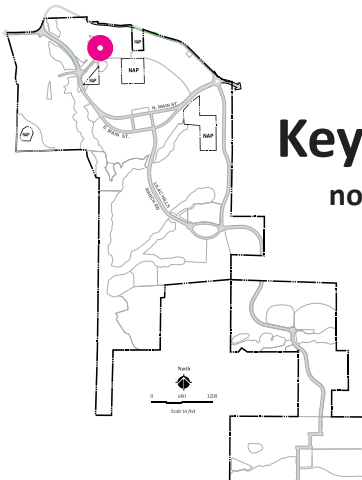
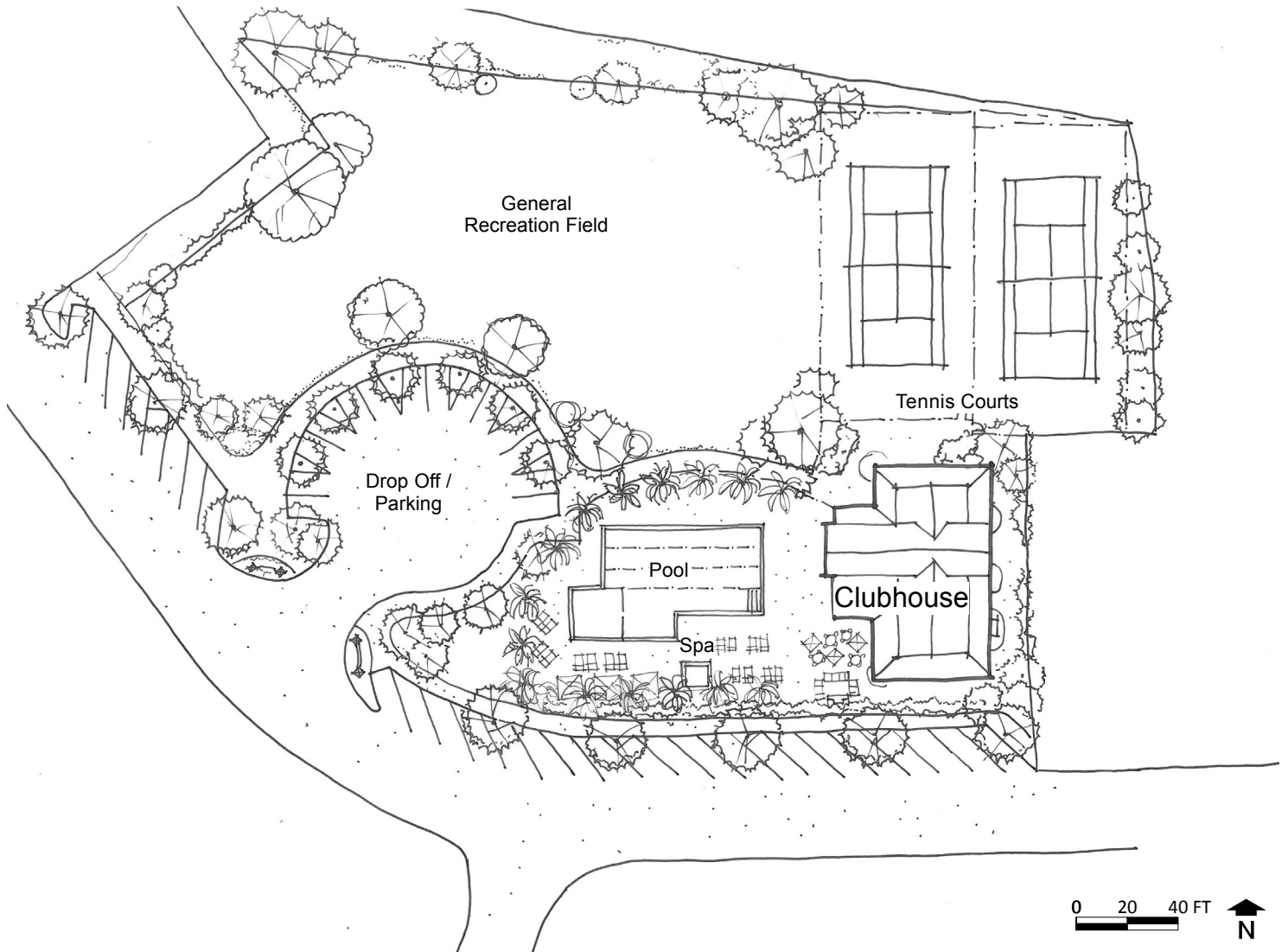
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit

Garden Park (P-3) Concept

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 131



Key Map
no scale

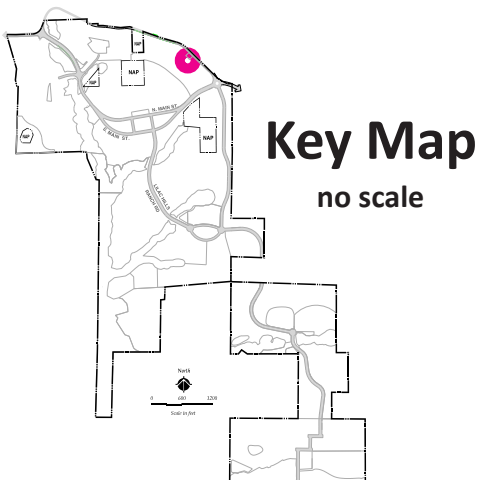
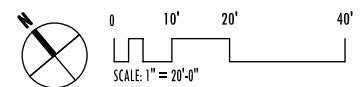
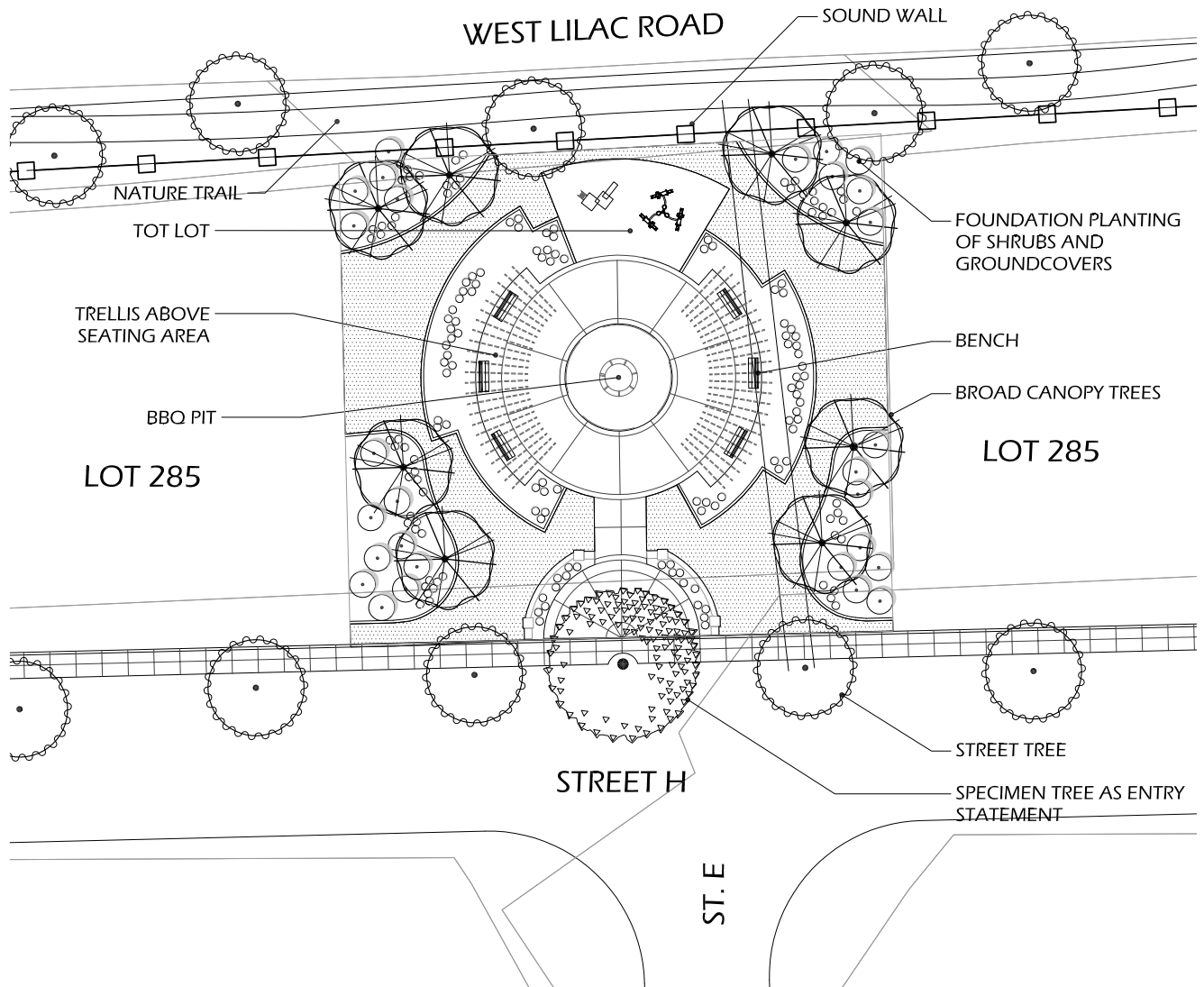
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Recreation Center (P-4) Concept

LILAC HILLS RANCH SPECIFIC PLAN

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FIGURE 132



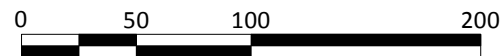
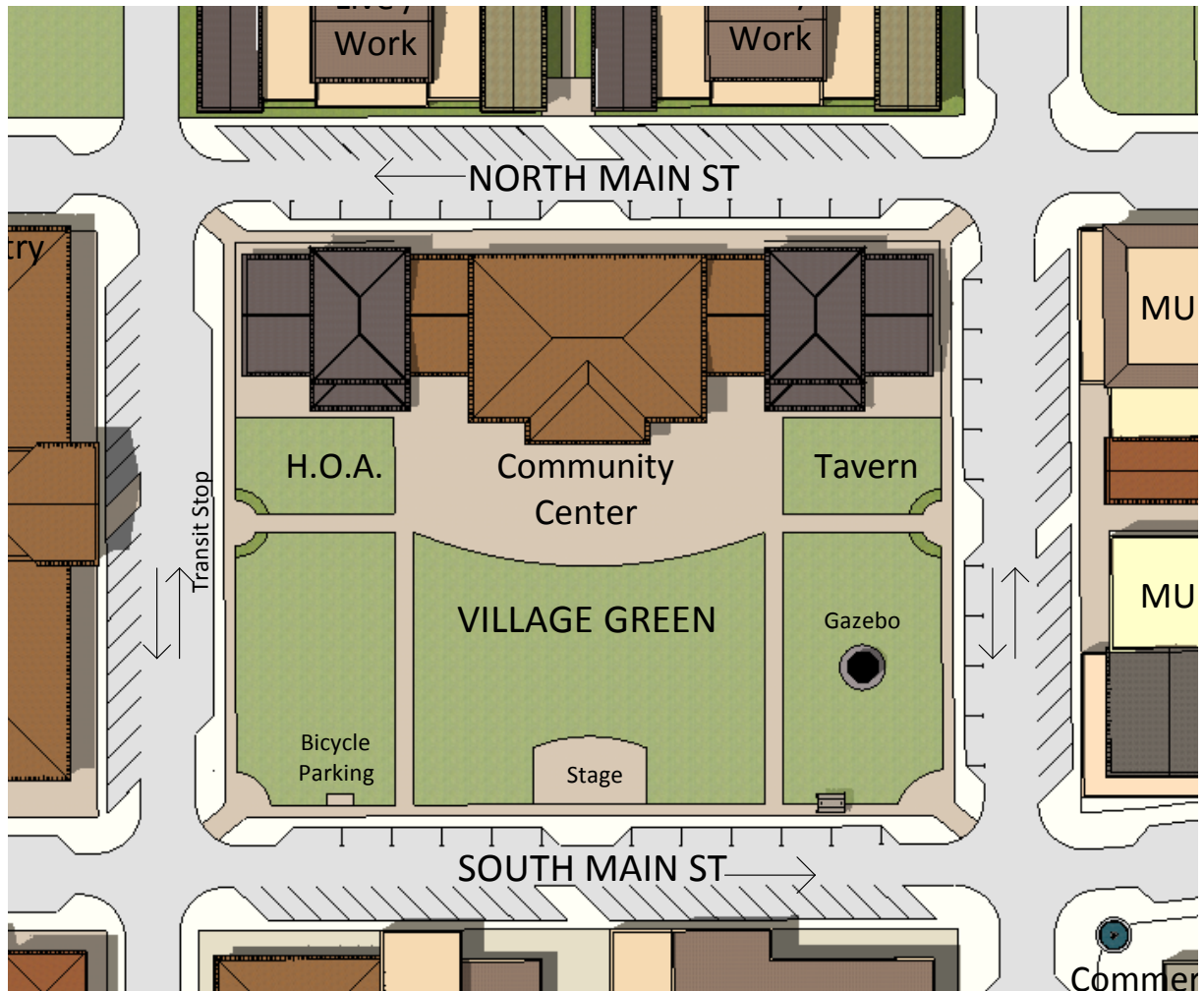
This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Neighborhood Park (P-5) Concept

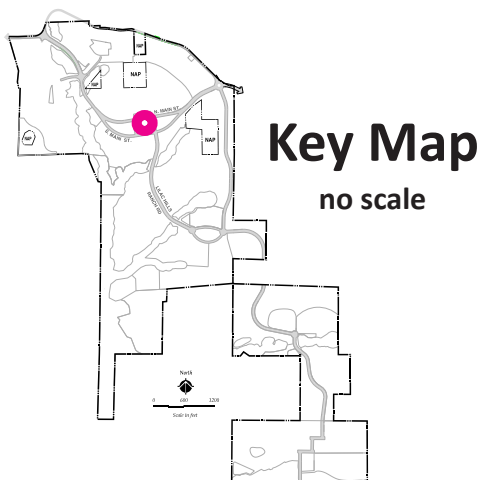
LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 133



This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

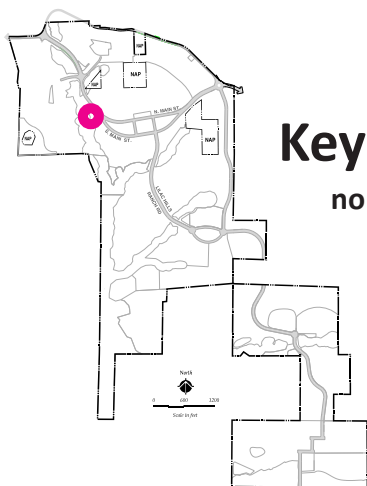
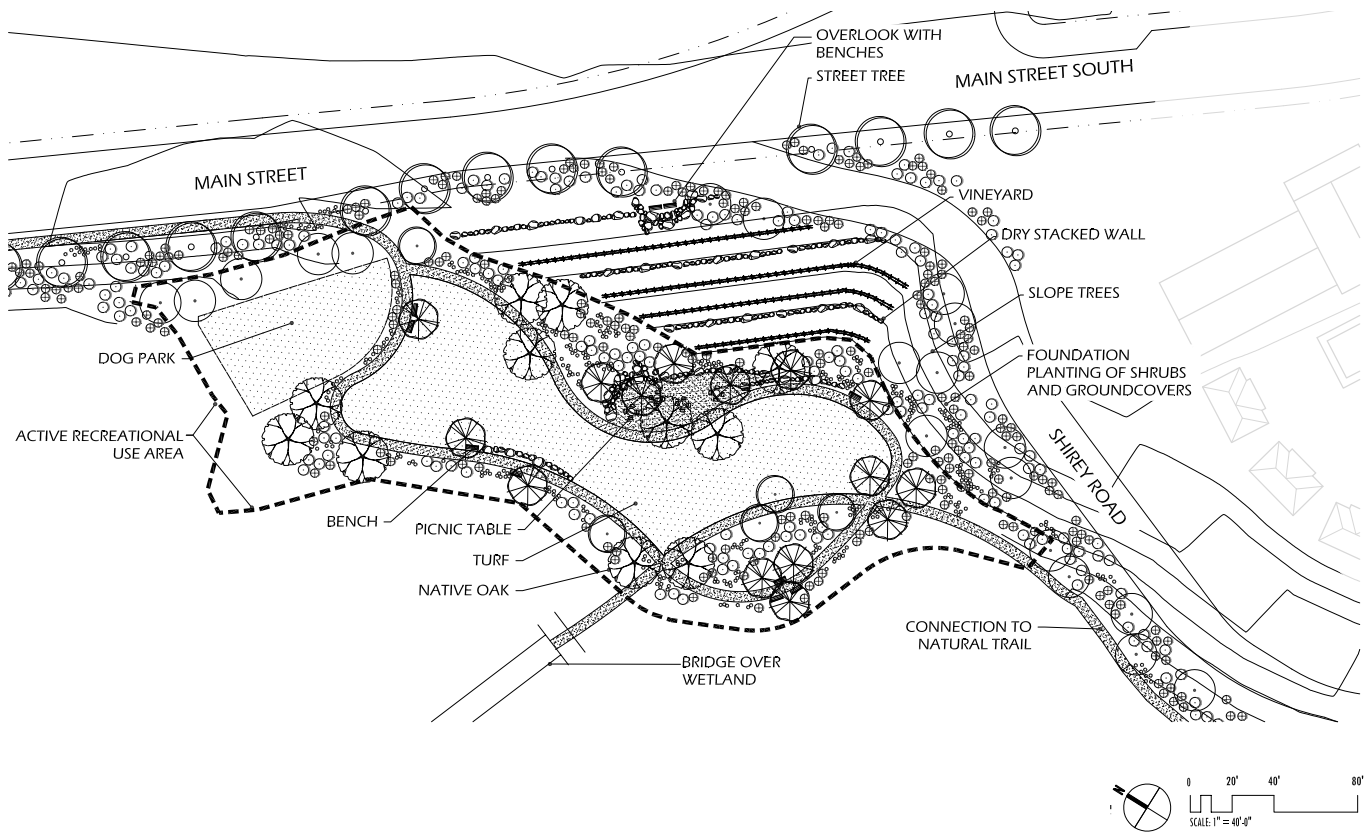


Town Center (C-4) Concept

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 134

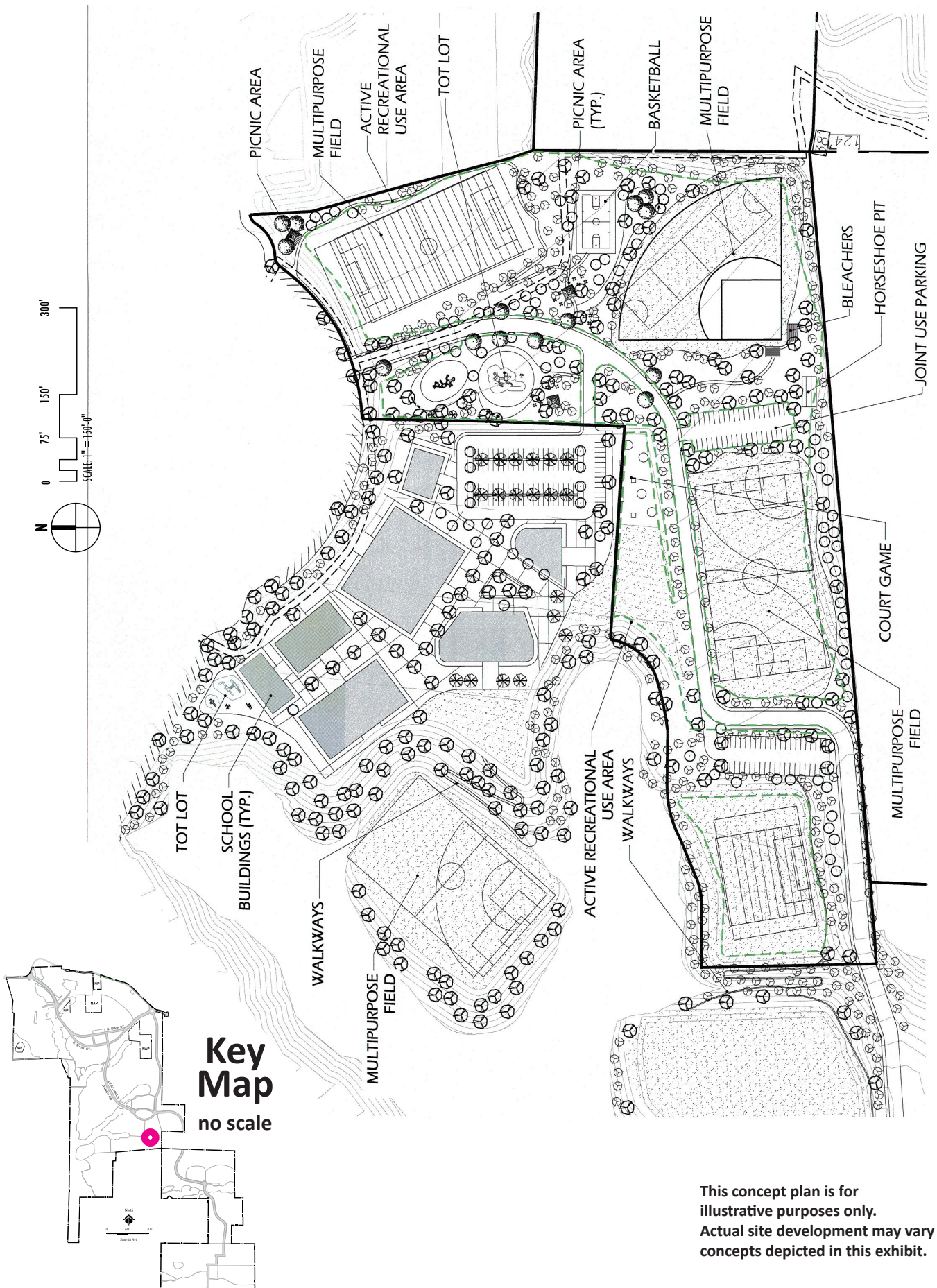


Key Map
no scale

This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit.

Vineyard Park (P-6) Concept

LILAC HILLS RANCH SPECIFIC PLAN



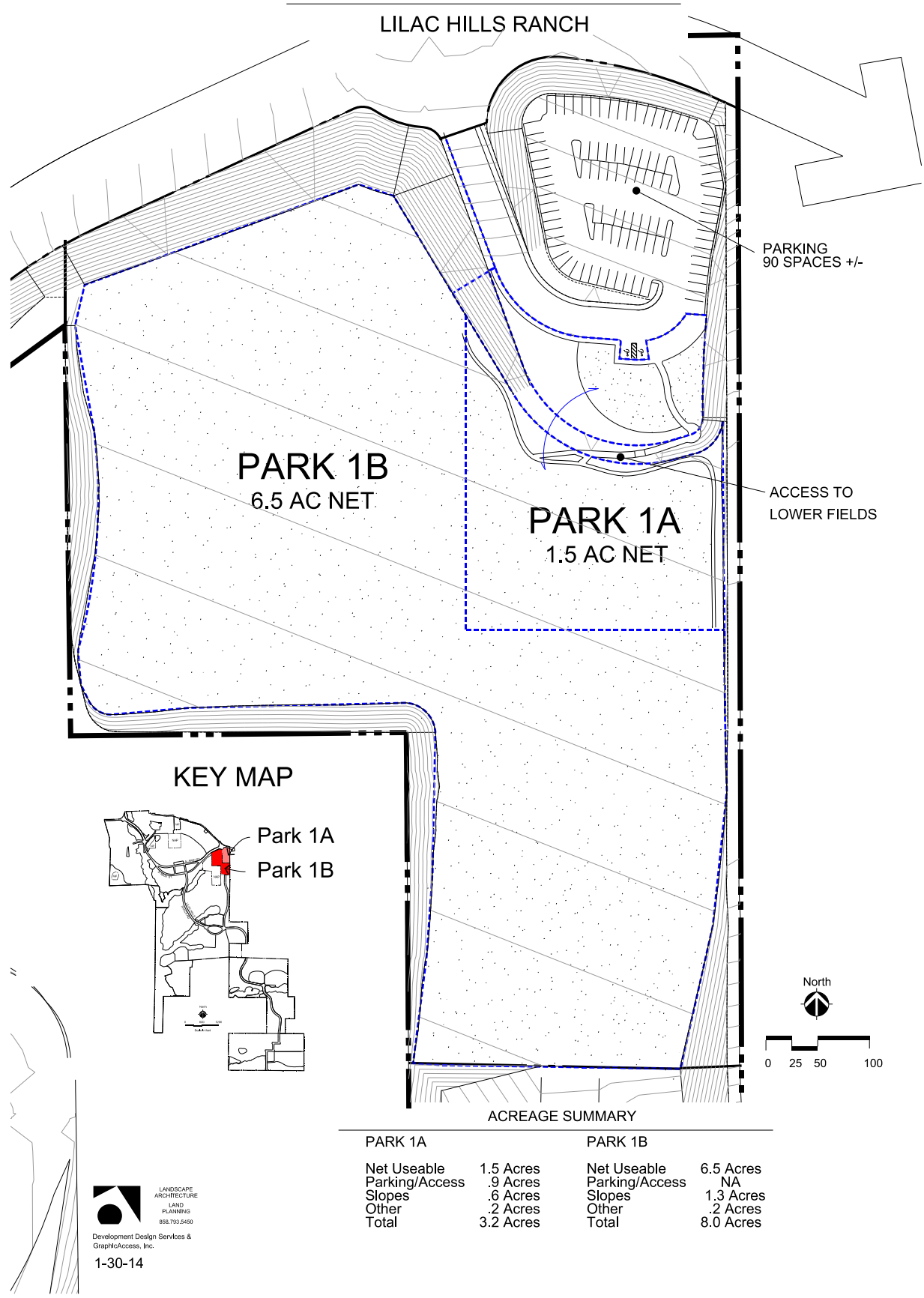
Community Joint Use Public Park (P-7) Concept

LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 136

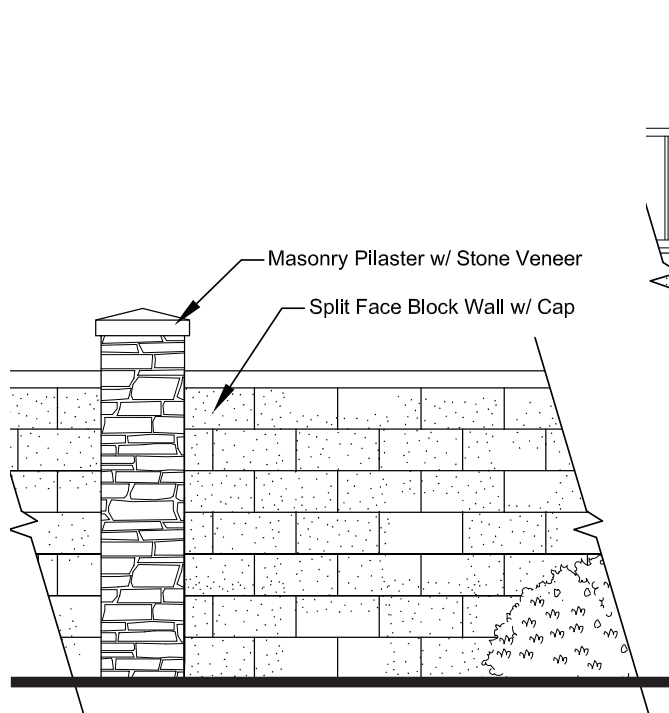
INTERIM PARK CONCEPT



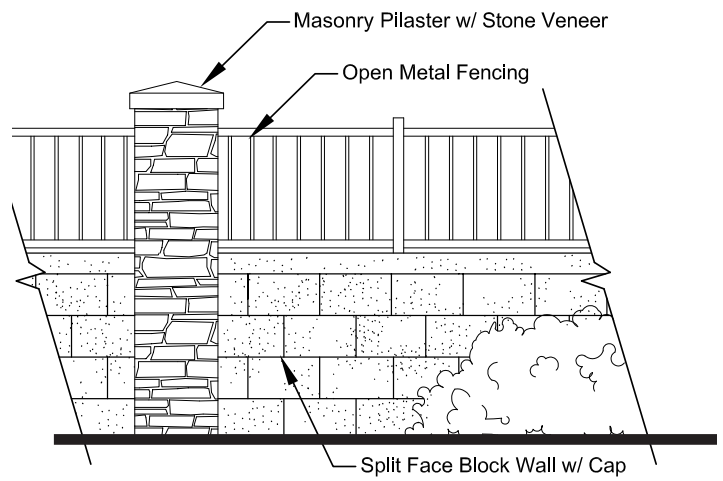
Interim Park Concept

LILAC HILLS RANCH SPECIFIC PLAN

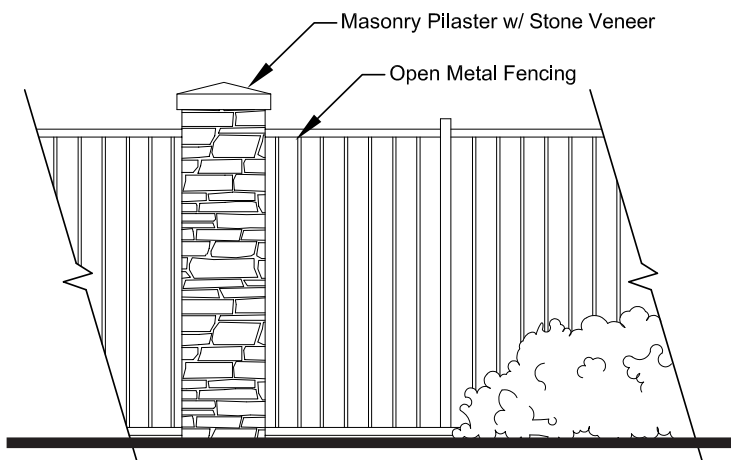
FIGURE 137



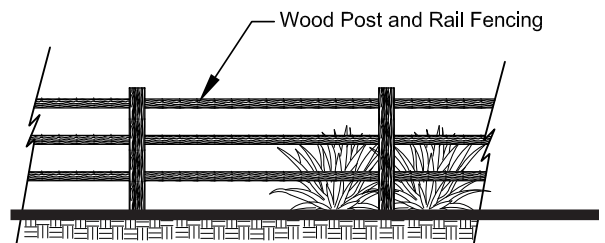
Masonry Project Theme Wall
no scale



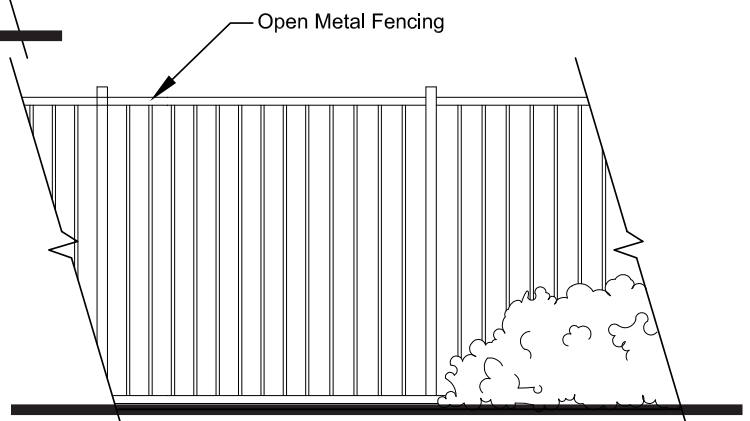
Masonry Wall w/ Open Metal Fencing Above
no scale



Open View Fence
no scale



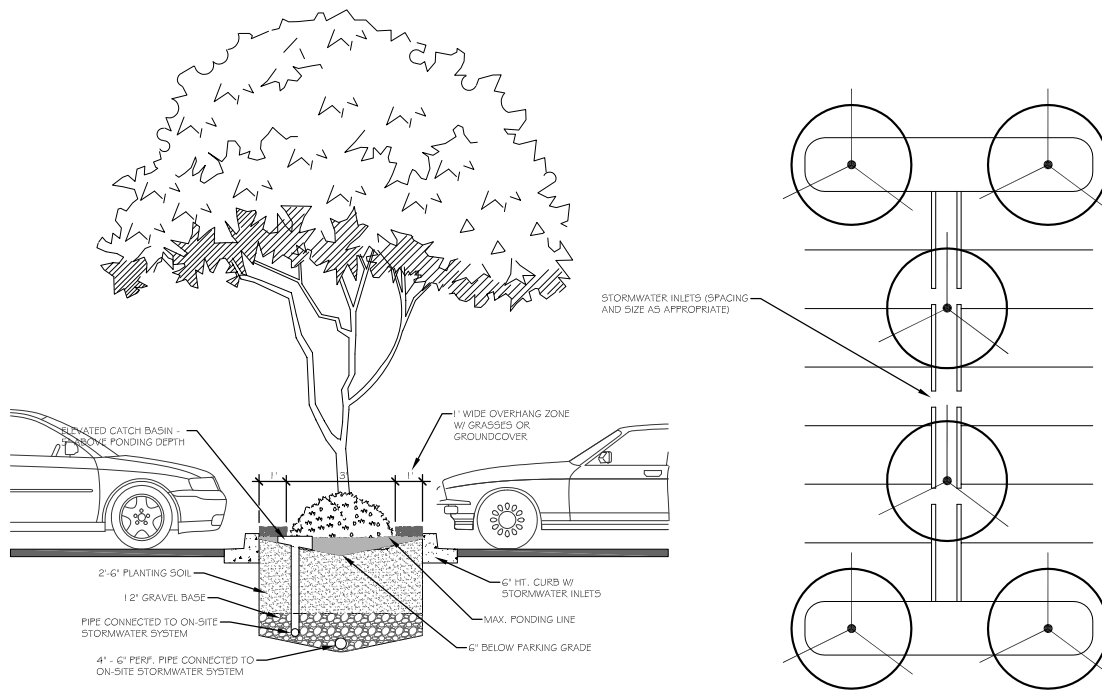
Wood Post & Rail Fencing
no scale



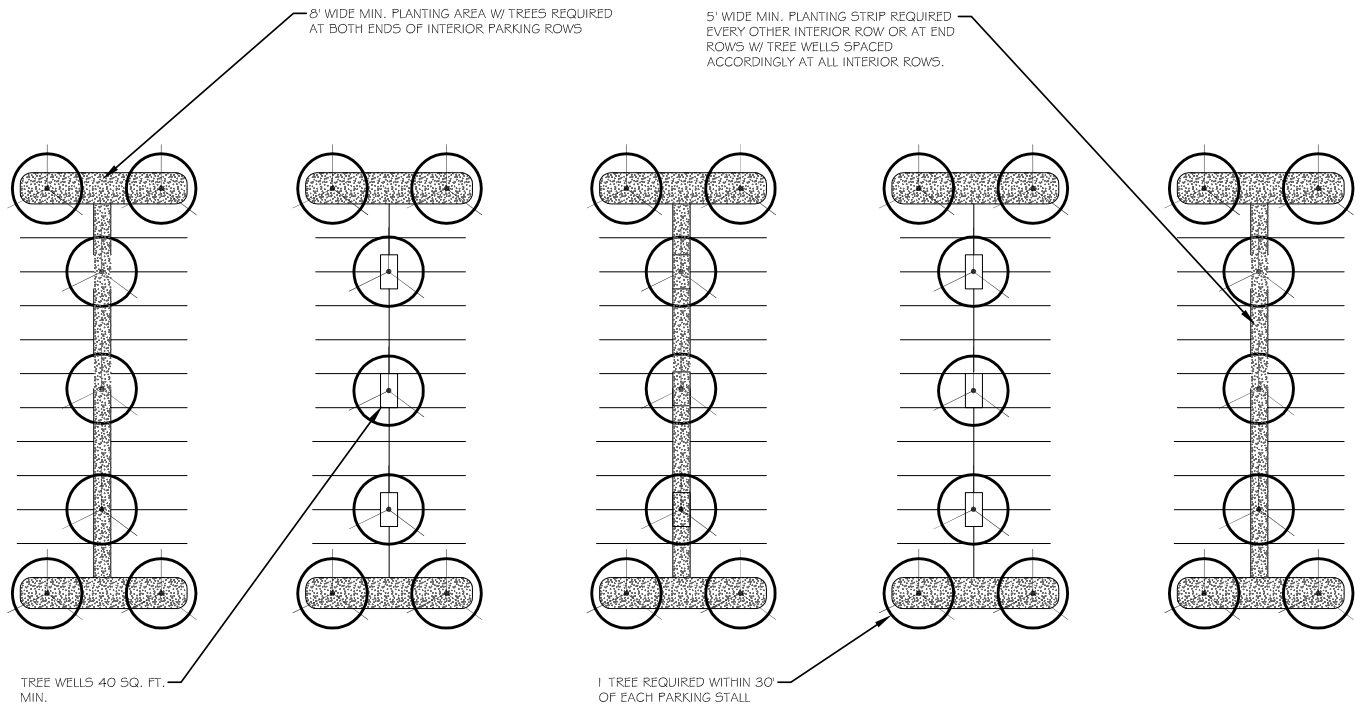
Open View Fencing
no scale

Fence & Wall Concepts

LILAC HILLS RANCH SPECIFIC PLAN



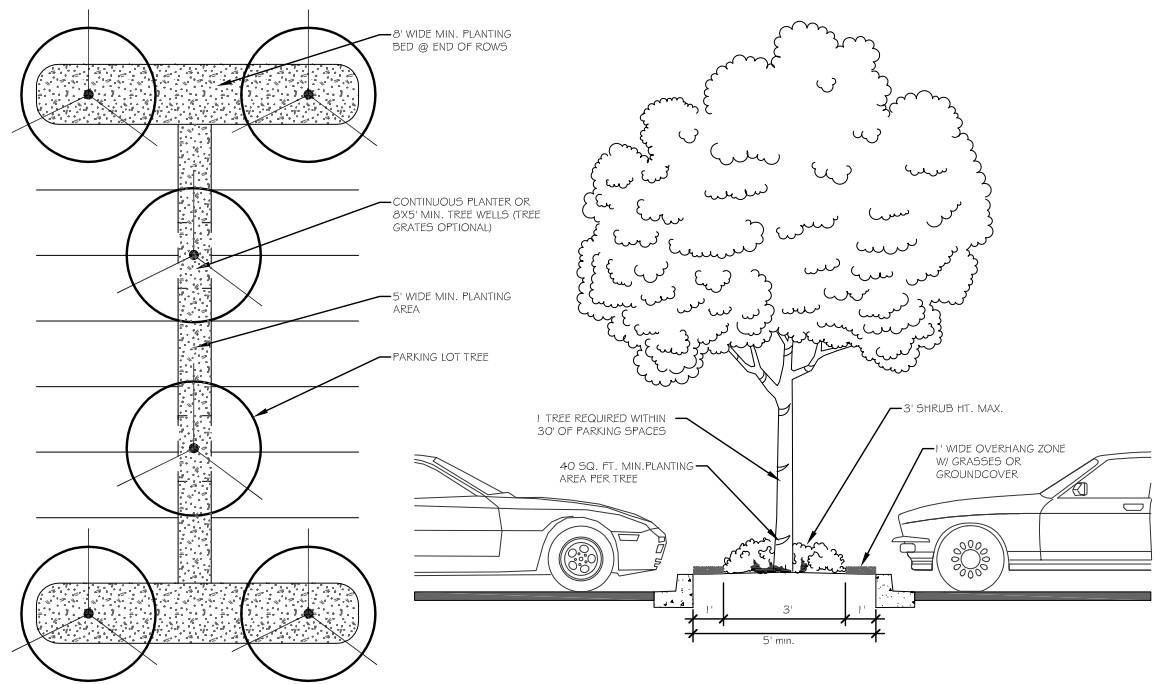
Parking Area Bioretention
no scale



**Large Commercial Parking Area
Landscaping (100,000 s.f. and greater)**
no scale

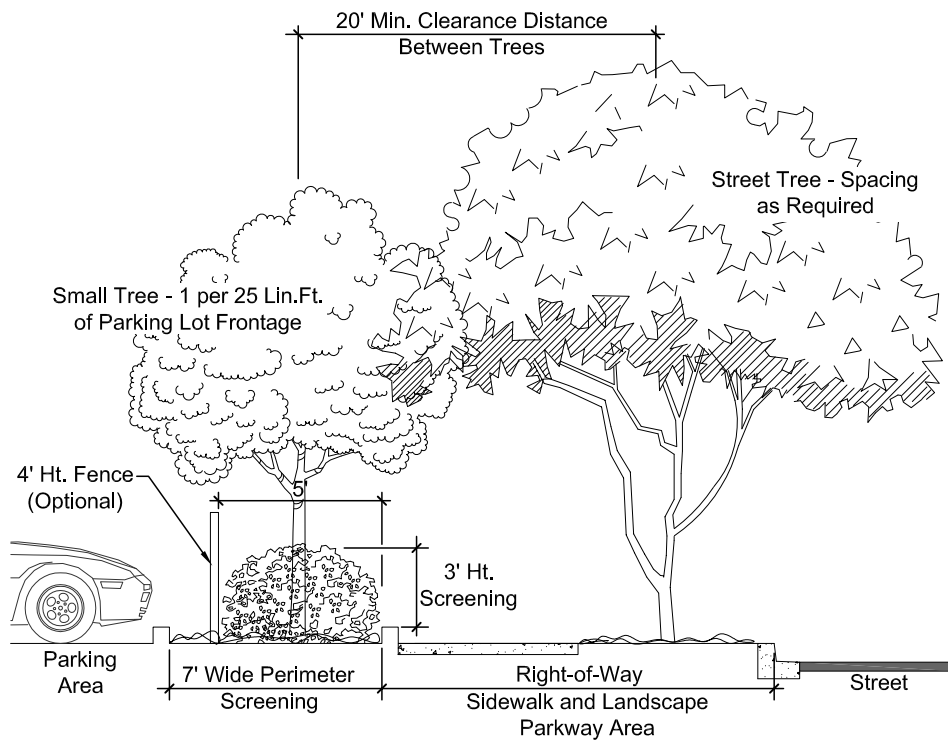
Parking Area Landscaping

LILAC HILLS RANCH SPECIFIC PLAN



Parking Area Landscaping

no scale

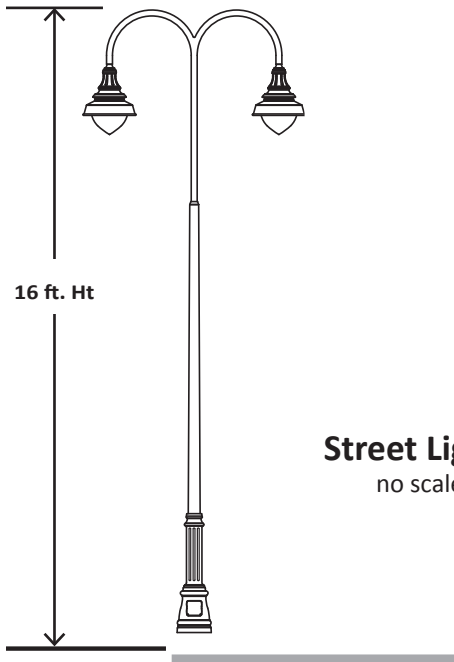


Parking Area Perimeter Screening

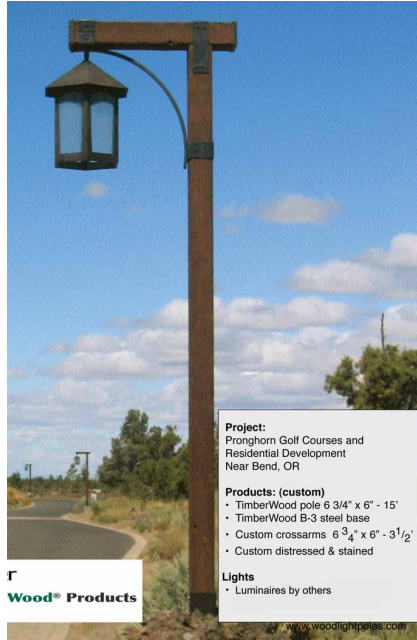
no scale

Parking Area Landscaping

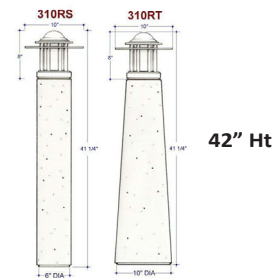
LILAC HILLS RANCH SPECIFIC PLAN



Street Lights
no scale



Walkway Lighting



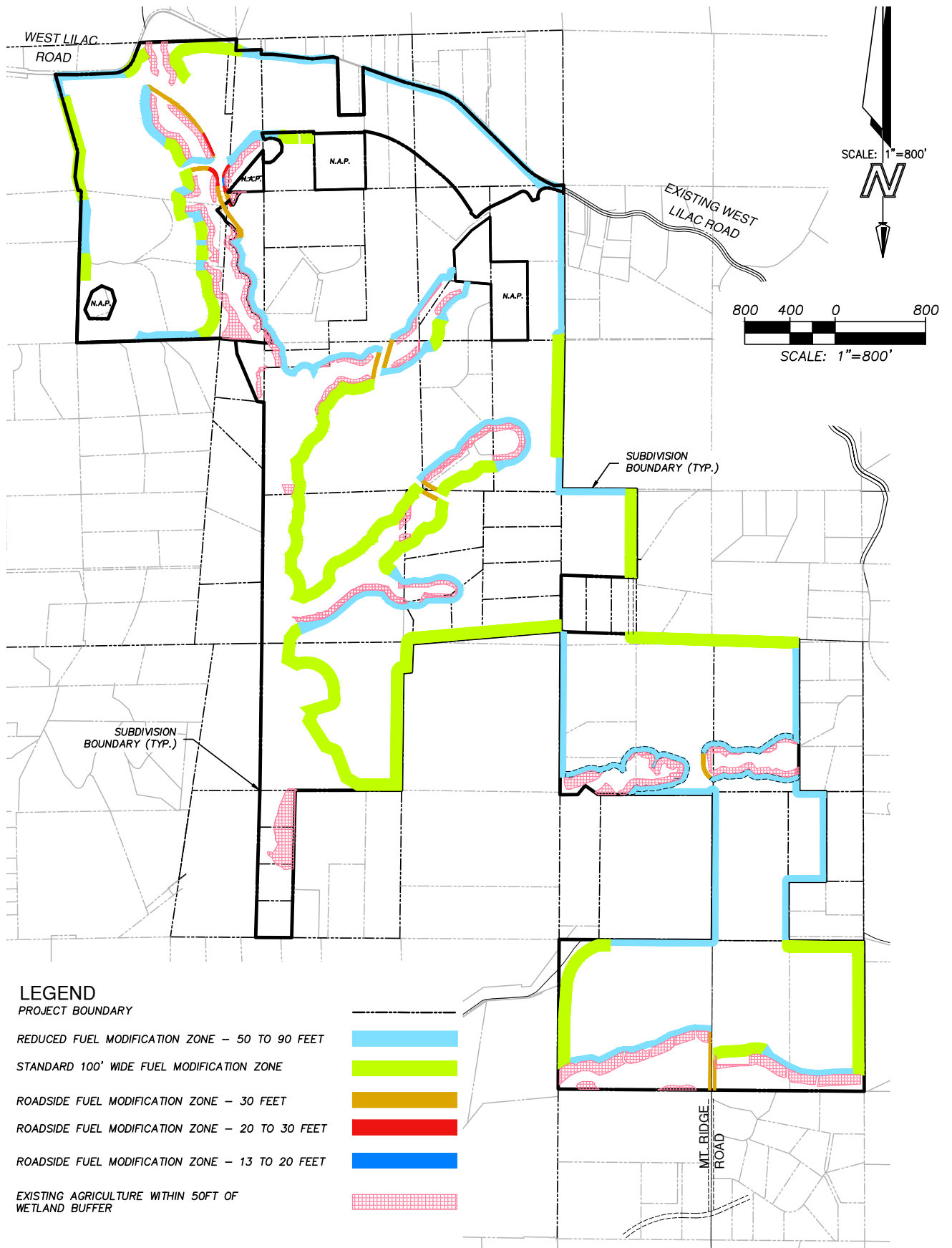
Bollards

Pedestrian Scaled Lighting
no scale

Lighting Concepts

LILAC HILLS RANCH SPECIFIC PLAN

FIGURE 141

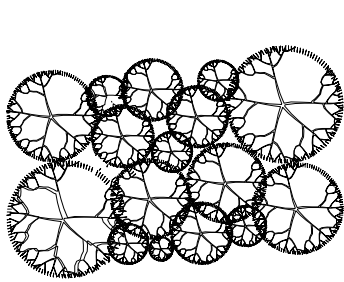


Fire Protection Plan

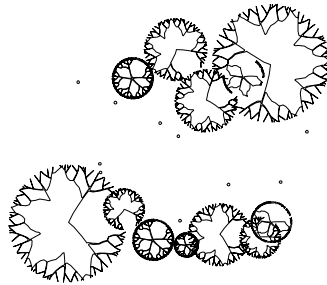
LILAC HILLS RANCH SPECIFIC PLAN

DRAFT

FIGURE 142

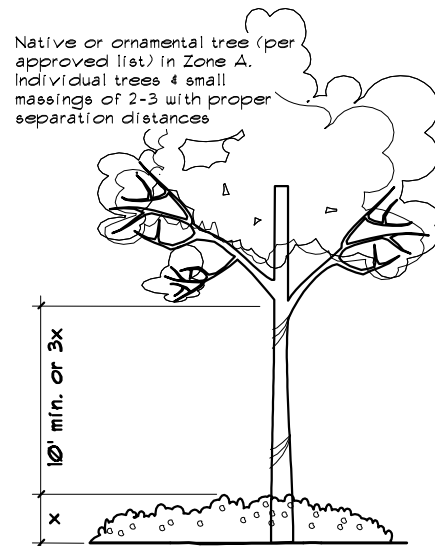


100% Canopy Coverage: solid foliage mass with no spaces between plants

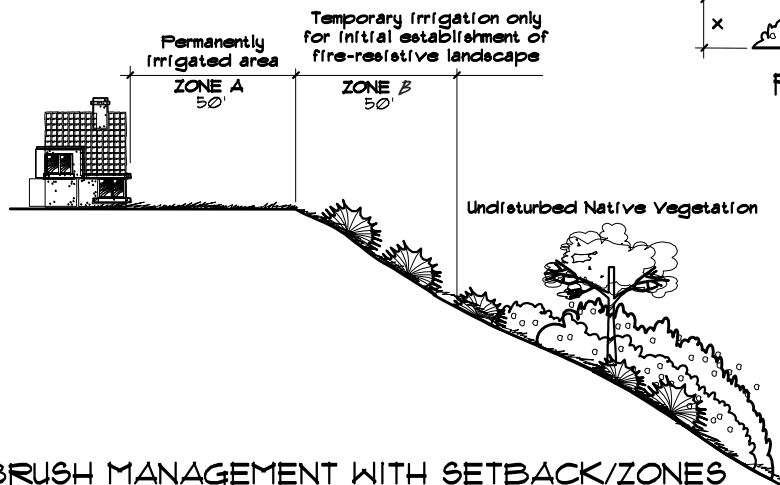


Reduced to 50% by combination of clearing and thinning canopy coverage, including removal of undesirable species.

PRUNING AND THINNING



PRUNING AND THINNING



BRUSH MANAGEMENT WITH SETBACK/ZONES

MAINTENANCE

Year-round maintenance will be done yearlong and include the following:

- Prune and thin trees around structures to a min. of 20' canopy separation.
- Branches overhanging roofs will be removed.
- Trash and combustible debris will be cleared from gutters, roofs, and around structures.
- Irrigation systems will be maintained in full working condition.

Fuel Management Setback Zones

LILAC HILLS RANCH SPECIFIC PLAN

Lilac Hills Ranch SPECIFIC PLAN

Lilac Hills Ranch Town Square



Community Trail



IV. IMPLEMENTATION

- A. Community Phasing*
- B. Subsequent Government Actions*
- C. Amending the Specific Plan*
- D. Maintenance Responsibilities*
- E. Public Facilities Finance Plan (PFFP)*

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IV. Implementation

A. Community Phasing

1. Community Phasing Plan Description

Construction is anticipated to occur over an eight to twelve year period in response to market demands and in accordance with a logical and orderly expansion of roadways, public utilities, and infrastructure. The five phases of the project are shown in Figure 15a. Phasing is implemented through the recording of the Final Maps. Due to changing market conditions, the actual construction of dwelling units in Lilac Hills Ranch is non-sequential. For example, Phase 3 may be constructed after Phase 1, followed by Phase 2, etc. As long as infrastructure necessary to serve the planned development is in place, and the San Diego County Department of Public Works approves the proposed infrastructure phasing (see **Figure 15(a) - Phasing Plan and 15(b) – Conceptual Sub-Phasing Plan**), sub-areas may develop in any order.

The project when constructed will include ~~neighborhood-serving~~ specialty retail and commercial development within one-half mile (10-minute walk) or less for all residential dwelling units and will therefore accomplish the goal of providing a “walkable community.” County and national standards do not require that the commercial units be established and available for the first or any other particular phase of development as the commercial uses need to first have the market base in order to move forward.

The Proposed Community would require grading and improvements, including fuel modification zones, to approximately 504 acres of the site. Grading has been designed to minimize impacts to areas that meet the County RPO steep slope criteria with 99.7% of all grading outside of the RPO steep slope area. Both cuts and fills are proposed within each grading area. Fill material would be transferred between the areas as required. Roadways would be constructed as traffic demand requires. Depths of cuts have been minimized to reduce the possible need for blasting.

The maximum (worst case) assumed grading/construction conditions would entail 50 acres under grading at the same time. The total anticipated disturbance area on site would be 504 acres. Less than 50 acres of the site would be disturbed on any given day under this worse-case scenario. Required roadway improvements would be constructed in phases, as needed to ensure that improvements are in place at the time of need. The draft Traffic Impact Study outlines when the roadway improvements would occur in relation to Community phasing.

2. Community Phasing Standards and Conditions

The following standards ~~relate to the~~ shall become conditions of each Tentative Map or Tentative Parcel Map approved within Lilac Hills Ranch ~~phasing program~~:

IV. IMPLEMENTATION

- a. Prior to recordation of an implementing final subdivision map, improvement plans and/or landscape plans shall be submitted to the County Department of Planning and Development Services for approval. The improvement plans or landscape plans shall include: 1) final grading plan, 2) street improvement plans; 3) fence treatment plans; 4) special treatment or buffer area treatment plans, and 5) irrigation plans prepared by a certified landscape architect;
- b. Each Final Map within Phases 1, 2 and 3 shall show all private road easements and indicate that they are open to the public to the satisfaction of PDS.
- ~~b.c.~~ Prior to recordation of any implementing final subdivision map, a Park Site Plan for that phase shall be submitted to and approved by the Director of the County Department of Parks and Recreation. Park Site Plan shall include full plans and specifications.
- ~~e.d.~~ Concurrent with the recordation of the Final Map for phase 3 of development, the developer shall enter into an agreement with the County Department of Parks and Recreation to construct and convey a turn-key public park P-~~40~~7 concurrent with the construction of Phase 3. This agreement shall be accompanied by security sufficient to cover, but not exceed, the cost of all improvements per the approved Park Site Plan and in the form and amount specified by the Director of Department of Parks and Recreation to ensure the applicant's performance of the terms of the agreement.
- ~~d.e.~~ The first Final Map recorded for each Specific Plan phase shall include all Open Space planning areas within the Phase in a dedicated open space easement.
- ~~e.f.~~ Each Planning Area shall include development of adjacent landscaped areas and applicable infrastructure.
- ~~f.g.~~ Construction of the development identified herein, including recordation of final subdivision maps, may be staged progressively, provided adequate vehicular access, public facilities, and infrastructure are constructed to adequately service the dwelling units, or as needed for public health and safety.

3. Public Park Phasing Standards

- a) Pursuant to the Park Lands Dedication Ordinance (PLDO), Lilac Hills Ranch shall provide land for private and public parks to serve future residents of the development. In combination with the private parks within each phase of development, a 13.5 acre net public park (P-7) would be constructed within Phase 3 and will provide the park acreage that meets the PLDO requirements for the entire development as outlined in Table 4. Net area will be determined by the Department of Parks and Recreation pursuant to the definition of active recreational use in the PLDO.
- b) To ensure that the project complies with PLDO in the event that Phase 3 is not developed, the first Tentative Map of development shall include a condition requiring the construction of or an agreement to construct an interim park (Figure 137). If the developer elects to defer construction of the interim park, the timing of

the development of the interim park shall be as specified below in this section of the Specific Plan. The interim park shall be constructed by the developer and shall be dedicated to the County upon completion as if it were a permanent public park.

- c) Ownership of the interim park will revert to the developer in accordance with a condition subsequent (power of termination) when the 13.5 acre net public park (P-7) has been constructed by the developer and dedicated to and accepted by the County.

3.1 Conditions of approval for the first Tentative Map within Phase 1

The conditions of approval for the first Tentative Map in Phase 1 of the Lilac Hills Ranch Specific Plan area shall include the following conditions:

a) Prior to Approval of the First Grading Plan:

- i. A Park Site Plan (see definition in Specific Plan, Section III. (M)(14)) including detailed plans and specifications for a 1.5 acre net interim park shall be submitted to the Department of Parks and Recreation for review and approval. The Park Site Plan shall conform to the concept park exhibit in the Lilac Hills Ranch Specific Plan, park design and construction standards as specified by the Department of Parks and Recreation, and the PLDO.

b) Prior to Final Map Recordation

- Grant an Irrevocable Offer of Dedication (IOD) to the County of San Diego for the interim park. The IOD shall be recorded by separate document because the site is not located within Phase 1. The IOD will include a condition subsequent (power of termination) whereby title will revert to the grantor (applicant) once the 13.5 acre net public park (P-7) has been constructed by the developer and dedicated to and accepted by the Department of Parks and Recreation.
- Improve the 1.5 acre net interim park or execute a secured agreement with the County to improve the 1.5 acre net interim park if no other Final Map has been recorded for Phases 2, 3, 4, or 5 within 5 years of the recordation of the first Final Map. Park improvements shall include all roads, utilities, and associated mitigation necessary to complete the construction and allow public use of the park.
 - The secured agreement shall comply with the requirements for improvement security as specified in the Subdivision Map Act at Government Code section 66499 et seq. and the County Subdivision Ordinance at County Code section 81.407 et seq.
 - The applicant shall obtain the Department of Parks and Recreation's written approval of a construction timeline prior to starting construction. The construction timeline shall not exceed 1.5 years.

IV. IMPLEMENTATION

- Applicant or HOA shall enter into an agreement with the County to operate and maintain the interim park for the time between the completion of permanent park in Phase 3.

3.2 Conditions of approval if the second phase of development is Phase 2, 4 or 5.

If the second phase to be developed in the Lilac Hills Ranch Specific Plan Area is Phase 2, 4 or 5, the conditions of approval for the first Tentative Map (or Tentative Parcel Map) in that phase shall include the following conditions:

a) Prior to approval of first Grading Plan:

- i. A Park Site Plan including detailed plans and specifications for the 8 acre net interim park shall be submitted to the Department of Parks and Recreation for review and approval. The 8 acre net interim park shall be developed in conformance with the concept park exhibits within the Lilac Hills Ranch Specific Plan, standards determined by the County Department of Parks and Recreation, and the County Park Lands Dedication Ordinance (PLDO).

b) Prior to Final Map Recordation

- i. Grant an Irrevocable Offer of Dedication (IOD) for the interim park. The IOD for the interim park shall be recorded by separate document because the park is not located within Phases 2, 4, or 5. The IOD will include a condition subsequent (power of termination) whereby title will revert to the grantor (applicant) once the 13.5 acre net public park (P-7) has been constructed by the applicant and dedicated to and accepted by the Department of Parks and Recreation.
- ii. Improve or agree to improve the 8 acre net interim park, if the 13.5 acre net public park (P-7) has not been constructed within 7 years of the recordation of the first Final Map. Improvements shall include all necessary roads, utilities, and associated mitigation to complete the construction and allow public use of the park.

The agreement shall include the following conditions:

- If the construction of the 13.5 acre net public park (P-7) within Phase 3 has not been completed within 7 years of the recordation of the first Final Map, the applicant shall begin constructing the 8 acre net interim park within 6 months after the 7 year deadline.
 - The applicant must receive DPR approval of the construction timeline prior to commencing construction. The construction timeline may not exceed 1.5 years.
 - If the applicant does not begin constructing the park by the six-month deadline specified above, the County may accept the IOD, pursue any performance bond security and use the security (performance bond security, cash deposit, etc.) to construct the 8 acre net interim park.
- iii. Provide security for the construction of the 8 acre net interim park. Security shall be based on:

- Requirements for improvement security as specified in the Subdivision Map Act at Government Code section 66499 et seq. and the County Subdivision Ordinance at County Code section 81.407 et seq.
- Interim funding to cover operations and maintenance costs for the period of time between the completion of park construction and the generation of special tax revenue.
- Applicant or HOA shall enter into an agreement with the County to operate and maintain the interim park for the time between the completion of permanent park in Phase 3.

If the second phase to be developed in the Lilac Hills Ranch Specific Plan Area is Phase 2, 4 or 5 and if the 13.5 acre net public park (P-7) has been constructed and has been accepted by the Department of Parks and Recreation prior to the recordation of the first Final Map or Parcel Map in the second phase, the conditions listed in section 3.2 above would not apply.

If the second phase to be developed is Phase 3, then the conditions listed in Section 3.3 below would apply.

3.3 Conditions of approval for the third phase of development (regardless of phase number)

The conditions of approval for the first Tentative Map or Tentative Parcel Map in the third phase to be developed (regardless of phase number) in the Lilac Hills Ranch Specific Plan Area shall include the following conditions:

a) Prior to Grading Plan Approval

- i. A Park Site Plan including detailed plans and specifications for the 13.5 acre net interim park shall be submitted to the Department of Parks and Recreation for review and approval. The 13.5 acre net interim park shall be developed in conformance with the concept park exhibits within the Lilac Hills Ranch Specific Plan, standards determined by the County Department of Parks and Recreation, and the County Park Lands Dedication Ordinance (PLDO).

b) Prior to Final Map Recordation

- ii. Improve the 13.5 acre net public park (P-7) or enter into a secured agreement with the County to improve the public park. The secured agreement shall specify that the public park be constructed and accepted by the Department of Parks and Recreation prior to any occupancy permits within the third phase of development. Improvements shall include all necessary roads, utilities, and associated mitigation to complete the construction and allow public use of the park.
- iii. Provide security for the construction of the 13.5 acre net public park (P-7). Security shall be based on the cost to construct the park facilities and all necessary roads, utilities, and associated mitigation. Security shall be based on:

IV. IMPLEMENTATION

- Requirements for improvement security as specified in the Subdivision Map Act at Government Code section 66499 et seq. and the County Subdivision Ordinance at County Code section 81.407 et seq.
- Interim funding to cover operations and maintenance costs for the period of time between the completion of park construction and the generation of special tax revenue, if applicable.
- Applicant or HOA shall enter into an agreement with the County to operate and maintain the interim park for the time between the completion of permanent park in Phase 3.

3.4 Conditions of approval for each Tentative Map and Tentative Parcel Map that includes one or more private parks

The conditions of approval for each Tentative Map (or Tentative Parcel Map) within the Lilac Hills Ranch Specific Plan Area that includes one or more private parks shall include the following conditions:

a) Prior to approval of the first Grading Plan

i. For each private park in the Tentative Map/Tentative Parcel Map, submit a Site Plan to the Department of PDS for its review and approval in accordance with the Zoning Ordinance. Each Site Plan shall be developed in conformance with the concept park exhibits within the Lilac Hills Ranch Specific Plan, standards determined by the County Department of Parks and Recreation, and the County PLDO. All Site Plan approvals shall include the following in the condition of approval:

- No occupancy permit shall be issued for any building that exceeds 50% of the total number of units in that Phase until all grading, improvements and landscaping for the private parks within the Tentative Map/Tentative Parcel Map have been completed and accepted by the Department of Parks and Recreation.

b) Prior to Each Final Map Recordation

i. Dedicate an easement to the County that (a) restricts the use of the private parks for park and recreational purposes; (b) specifies that the parks are open to the public as identified within the Specific Plan; (c) specifies that the parks shall be maintained by the Home Owners' Association; and (d) includes a defense and indemnity provision in favor of the County that is satisfactory to the County. The easement shall be submitted to the Department of Parks and Recreation for review and approval before recordation. The easement may be recorded before or with the Final Map for the phase or unit in which the private park is located.

ii. Provide written evidence to the satisfaction of Director of Parks and Recreation that adequate maintenance will be provided for the private parks within the phase. An example of satisfactory written evidence is documentation of the formation of a

Home Owners' Association which has adequate authority and budget to maintain the park facilities.

B. Subsequent Government Actions

1. County of San Diego

Subsequent actions by the County include, but are not limited to, final maps, site plans, major and/or minor use permits, and grading and building permits. All implementing discretionary and other permits as appropriate are required to include the mitigation requirements included in the Certified EIR for this project.

a. Site Plans

All ~~of the~~ areas proposed for subdivision which include single family residential development (detached or attached) will require ~~that a Site Plan application~~, per the "V" Setback Regulator and "D" Special Area designator, ~~shall to~~ be submitted and approved ~~for each Tentative Map application prior to the issuance of building permits.~~

The "V" Setback requires a Site Plan to establish the setbacks for all lots within a given development application. Each Site Plan shall show the setbacks conforming to the minimum standards shown in the appropriate Development Standards table in Section III. The residential Site Plan requirement for Plans required to implement the "V" setback and the ~~Site Plan requirement for the "B," or "D"~~ development regulators ~~may shall~~ be combined into one application.

~~Uses~~ Uses subject to the Valley Center Design Guidelines (including mixed-use development) within the Town Center and within the Neighborhood Centers will be further regulated by the application of the "B" Special Area Development Regulator which requires that development applications shall also include a Site Plan which shall be reviewed by the Valley Center Design Review Board prior to a decision on such Site Plan being made by the Department of Planning and Development Services. The review process by the VCDRB is to determine whether the Site Plan conforms to the standards for the particular use under the Valley Center Design Guidelines. Their review and recommendation is forwarded to the PDS for consideration. The review and decision process by PDS shall be based on determining whether such Site Plan is in substantial compliance with the standards and guidelines of this Specific Plan and the VC Design Guidelines.

~~There are no private parks proposed in the area with the C34 Use Regulation.~~

The following Civic Uses allowed by the Specific Plan will require approval of Site Plans: The private parks (P1 through P-11), the recycling facility (RF) in Phase 2 which is co-located with the trailhead (although not required, those details are included on the Site Plan) and the Village Green (C5).

IV. IMPLEMENTATION

b. Minor Use Permits

The Community clock tower in the Town Center will require a Minor Use Permit per Section 2344-a. The conceptual design of the tower is shown in **Figure 93 - Community Clock Tower**, and the structure is allowed to be a maximum of 60 feet in height. The tower may include radio and cellular facilities with the approval of the necessary regulatory permits.

c. Major Use Permits

- i. The on-site WRF located in Phase 3 if constructed will require a Major Use Permit from the County of San Diego;
- ii. The site designated ~~PR~~ CPF on the Specific Plan map will allow a ~~private recreational~~ community purpose facility that will be a major impact services Use Type and will require a Major Use Permit per Section 2345-a.
- iii. The Group Residential/Group Care facility in Phase 4 includes both a Group Residential use (which does not require a discretionary permit) and a Group Care facility which requires a Major Use permit. Both uses are co-located on the same property and in the same facility and both will be included with the Major Use Permit application;
- iv. The Senior Community Center located in a private park in Phase 4 will be a major impact services Use Type and will require a Major Use Permit per Section 2345-a.; and,
- v. The Institutional Use site in Phase 5 will also require a Major Use Permit. There are several land uses that can be accommodated on this site, all of which are limited to the kinds of uses detailed in Section 1348 of the Zoning Ordinance (Civic Assembly) and all are permitted with the approval of a Major use permit.

2. Other Regulatory Actions

Other actions by regulatory and trustee agencies include:

- a. 4(d) Habitat Loss Permit issued by the County of San Diego the U. S. Fish and Wildlife Service and the California Department of Fish and Game;
- b. Section 404 Permit by the U.S. Army Corps of Engineers;
- c. 1603 Streambed Alteration Agreement is required from the California Department of Fish and Game for any channel modifications;
- d. National Pollution Discharge Elimination System (NPDES) General Permit for Stormwater Discharges is required from the State Water Resources Control Board. In addition, an NPDES Municipal Storm Water Permit Compliance must be issued from the County of San Diego and the California Regional Water Quality Control Board. This same Board must also issue a General Waste Discharge Permit for

Groundwater Extraction Waste Discharges and a Waste Discharge Permit for the WRF;

- e. Water Treatment Device Certification from the California Department of Health Services for the WRF;
- f. Operating Permit for the emergency generators for the pump stations by the Air Quality Management Board and the WRF;
- g. Section 401 Water Quality Certification or a waiver thereof from the Regional Water Quality Control Board pursuant to the federal Clean Water Act; and,
- h. Encroachment permits maybe required from Caltrans.

3. State of California

Lilac Hills Ranch includes a Senior Citizen Neighborhood as a major component of the Specific Plan. The Senior Citizen Neighborhood (Phases 4 and 5) includes ~~475~~173.9 acres and 468 dwelling units. The Senior Citizen Neighborhood will be exclusively reserved for senior citizens over the age of 55 per Civil Code Section 51.3 (b-1).

To comply with concerns regarding civil rights discrimination in housing the State of California enacted Section 51.3 of the Civil Code to provide an exclusion for senior residential housing development which has a minimum of 35 dwelling units. The Lilac Hills Ranch Community clearly meets the standard and is therefore required under Section 51.3 (b-4) to file for and obtain a Public Report pursuant to as a senior citizen housing development under Section 11010.05 of the Business and Professions Code.

C. Amending the Specific Plan

This specific plan can be amended pursuant to a valid permit application being submitted and processed to final hearing before the Board of Supervisors pursuant to the process published by the County of San Diego; and minor modifications that substantially conform to the provisions of the specific plan may be approved by the PDS Director provided the overall character of the Community is maintained. Minor modifications include changes such as; the addition of public or private parks, relocation of parks within the same planning area, reconfiguration of parks so long as the total park area does not decrease, minor reconfigurations of the individual planning areas to accommodate unforeseen circumstances providing the gross area of any planning area is not changed by more than fifteen percent and minor adjustments in the location of private road segments so long as they still fulfill their assigned traffic function as described in the Traffic Impact Analysis. Amendments to the boundaries between the residential and commercial areas will require amendments to the General Plan maps, rezones and amendments to the Specific Plan.

D. Maintenance Responsibilities

Maintenance responsibilities for Lilac Hills Ranch shall be as follows:

IV. IMPLEMENTATION

1. The public park site (P-~~40~~7) shall be owned by the County of San Diego Parks and Recreation ~~or the local parks and recreation district, subject to change pending further discussions with the Department. Maintenance responsibilities. The Major Use Permit for the public park will be determined by DPR or local parks and recreation district (depending on ownership) and may (P-10) shall include contracting to an on-going condition that (a) the HOA has the maintenance responsibility for the park in perpetuity, and (b) that the park will be maintained to county park standards.~~
2. Maintenance of the two County Master Trails System trails on-site shall be the responsibility of the ~~County Parks and Recreation Department, a County Service Agency or another appropriately designated public agency or responsible private group~~ Lilac Hills Ranch HOA.
3. Maintenance of the Lilac Hills Ranch Public Trails System on-site shall be the responsibility of the Lilac Hills Ranch HOA.
4. Maintenance of the Lilac Hills Ranch private parks system shall be the responsibility of the Lilac Hills Ranch HOA.
- ~~4.5.~~ Maintenance of the dedicated biological open space shall be the responsibility of an appropriate entity recognized to protect the public interest and having the ability to maintain and enforce protection of open space, as described in the Resource Management Plan.
- ~~5.6.~~ Maintenance of landscaping for any brush management areas within individual lots will be the responsibility of the homeowner or HOA.
- ~~6.7.~~ Private streets, landscaped parkways, entry monuments and gates, and common area slopes, shall be maintained by property owners in the Community through the HOA or assessment mechanism such as a Landscape Maintenance District.
- ~~7.8.~~ The WRF is anticipated to be owned and operated by the VCMWD.
- ~~8.9.~~ The private road system within the Community boundaries shall be maintained ~~by the property owners in the Community through the HOA or assessment mechanism such as an LMD; a Landscape Maintenance District (LMD).~~
- ~~9.10.~~ The landscaping within the pathway for the on-site portion of the West Lilac Road shall be maintained by ~~a Landscape Maintenance District (LMD); an LMD.~~
- ~~10.11.~~ The Recycling Facility (RF) will be owned by the HOA which will be responsible for the site's maintenance.
12. All agricultural operations within the Community are limited to properties owned and maintained by the HOA. The HOA is responsible to ensure that all agricultural operations conform to applicable County regulations and ordinances to include limiting use of spray products on fruit trees to those approved for organic operations.

E. Public Facilities Finance Plan (PFFP)

Development of Lilac Hills Ranch requires the provision of adequate public facilities and services. The following summary identifies on and offsite services required to be available at

the time of need as well as a description of financing options for their implementation. Required Facilities [may include the following:](#)

1. Circulation Improvements

Public road improvements and mitigation measures for traffic impacts are identified in the *Traffic Impact Analysis for the Lilac Hills Ranch Community*. Community improvements [may](#) include the following:

a. West Lilac Road;

Additional off-site and on-site public road improvements are to be identified in the [traffic study.](#)

[b. Mountain Ridge Road:](#)

[Additional off-site public road improvements are to be identified in the traffic study.](#)

[c. Circle R Drive and Hwy 395 Intersection:](#)

[Additional off-site public road improvements are to be identified in the traffic study.](#)

[d. West Lilac Road and Hwy 395 Intersection:](#)

[Additional off-site public road improvements are to be identified in the traffic study.](#)

[e. Gopher Canyon and East Vista Way Intersection:](#)

[Additional off-site public road improvements are to be identified in the traffic study.](#)

[f. I-15 Northbound and Southbound Interchange Signals:](#)

[Additional off-site public road improvements are to be identified in the traffic study.](#)

2. Drainage Facilities and Storm Water Management Improvements

The Lilac Hills Ranch *Preliminary Drainage Study and the Lilac Hills Ranch Storm Water Management Plan (SWMP)* identifies required facilities to control drainage and protect water quality. Improvements include detention basins as described in the Drainage Study and Best Management Practices as described in the SWMP. [All drainage facilities within the Community will be owned and maintained by the HOA.](#)

3. Water Facilities

The *Water Service for the Lilac Hills Ranch Community in the Valley Center Municipal Water District* describes the required water facility improvements including off-site extensions of water mains. New water service within the development consists of a 12-inch backbone water line extending from north to south through the Community. This new 12-inch water main will connect to the existing 12-inch water line in West Lilac Road as well as connecting to the existing 18-inch water line running east-west through the south portion of the Community. Extending from the 12-inch backbone water main will be 8-inch lines in the residential neighborhoods and appropriately sized lines to serve the schools and park area. Pressure regulators are provided to maintain appropriate pressure in lower elevations of the site.

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Offsite water facilities are not anticipated because the existing network of potable water distribution piping in the vicinity of the Community is capable of providing adequate flow and pressure to the site. In addition, existing potable water storage within the water service zone is sufficient to accommodate the storage needs of the Community. The Community shall make improvements to existing storage facilities as required by the VCMWD.

4. Water Reclamation Facility

Wastewater collection, conveyance, treatment, and disposal will be achieved based on plans reviewed and approved by the Valley Center Municipal Water District (VCMWD). The Wastewater Management Alternatives Report for the Lilac Hills Ranch Community identifies four alternatives for the treatment of the project's wastewater. The VCMWD preferred alternative is that the on-site generated wastewater for the initial phases be treated at the VCMWD Lower Moosa Canyon Water Reclamation Facility. Effluent generated by the project (as well as the 16 existing home sites and six not-a-part parcels) would be pumped into a force main and would be routed south, off-site to the existing VCMWD Lower Moosa Canyon Water Reclamation Facility. A Water Reclamation Facility may also be constructed on-site to treat wastewater generated by the project. An MUP is being processed concurrent with this EIR for the on-site treatment facility. The on-site Water Reclamation Facility could be either of the following: 1) on-site Water Reclamation Facility with solid treatment or 2) on-site Water Reclamation Facility without solid treatment (scalping plant). The ultimate treatment of wastewater for future phases of the project would be under the discretion of the VCMWD.

Wastewater will be collected in gravity sewers; gravity flow will be maintained to the extent possible. Due to the Community topography, up to four wastewater lift stations may be necessary to pump wastewater to the main gravity flow collection system. The backbone gravity wastewater system will convey wastewater to the designated wastewater treatment plant for treatment. Disposal of treated wastewater will be by recycling the treated effluent for irrigation of landscaping within the community or as otherwise approved by the VCMWD.

Under all scenarios, a recycled water booster pump station will be incorporated into the treatment facility site plan. This pump station could deliver recycled water to the irrigation system within the community or service area of the VCMWD. Some of the alternatives include offsite infrastructure improvements and new facilities.

5. Fire, Paramedic and Law Enforcement Services and Facilities

The Project is located within the Deer Springs Fire Protection District ~~will provide fire and paramedic services. There are three Deer Springs Fire Protection District~~ Three (3) fire stations are located in the ~~DSFPD District~~; Station 11 (District Headquarters) at 8709 Circle R Drive, Escondido, CA 92026; Station 12 at 1321 Deer Springs Road, San Marcos, CA 92069; and Station 13 at 10308 Meadow Glen Way East Escondido, CA 92026.

The "closest" fire station to the project site is CAL FIRE's Miller Station (Station 15) operated in conjunction with DSFPD at 9127 West Lilac Road, located adjacent to the

proposed development and approximately 2.3 miles from the furthest structure when the development is fully constructed. Miller Station consists of a 3,000 square foot fire station located on a 2-acre parcel and is staffed by a three member crew. This station receives funding from the County of San Diego, for extension of its use during the non-fire season under an Amador contract. The travel time from the Miller Station site to the furthest structure when all phases of the proposed development are completed would be approximately 4.5 minutes, below the 5-minute travel time requirement.

DSFPD identified Fire Station 11 as the “primary” fire station for the project in the Project Facility Availability Form (~~PFAF~~, [DPLU J-399F Form](#)). Although response times from Station 11 do not ~~fully~~ meet the time standards identified by the County General Plan (~~Dudek and Hunt Research Corp, January 2013~~), it has been determined as acceptable to the District because pursuant to the County’s Guidelines for Determining Significance a finding can be made that sufficient fire protection mitigation is available for the project for the following reasons:

- a. The District can augment response with ALS capable equipment to the entire project within 7-9 minutes, which is an acceptable District Standard travel time and would ensure adequate fire services to protect health, safety and the general welfare of the community;
- b. The analysis shows that the DSFPD has existing capability and capacity to respond to fire emergency incidents on the project;
- c. The project will pay statutory mitigation fees and annual assessments that will be provided to the District, which can be used by the District to upgrade and provide new facilities if necessary, as determined by the District;
- d. The project can be provided with fire services from three fire stations within 10-minutes to the furthest structure and nearby fire departments pursuant to mutual aid agreements;
- e. Sufficient mitigation measures (as set forth in the FPP) that minimize fire hazards are included in the project, such as fire resistant construction methods and fuel modification zones;
- f. Travel time from the closest fully staffed fire station - Miller Station to the furthest structure within the project would meet the travel time identified by the County General Plan;
- g. The project’s water supply meets the requirements of the San Diego County’s Consolidated Fire Code and the Fire Code for a commercial/business/residential development; and;
- h. Fire access to the project will meet the requirements of the County and Deer Springs Fire Protection District.

The District currently has the capacity to provide fire and emergency medical services to the project. The additional response to emergency calls from the project could result in an increase from 2.0 calls per day to 3.9 calls per day at build out. As discussed in the FPP,

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even though the call volume would be doubled, the stations would be able to absorb the additional calls generated by the project at build out, ~~and with any of the three following options, the project would meet the County's travel times.~~ The following discussion identifies the options discussed in the Capabilities Assessment, attached as Appendix E, regarding how emergency fire and medical response may be provided to the project on a permanent basis. In addition to the project design features, the project could implement any of the following options:

~~**Option 1:** This option includes DSFPD and/or SDCFA and CAL FIRE agreeing that CAL FIRE's Station 15 (Miller Station) would provide primary response to project emergencies. This option would include a new fire station or a remodel of the existing Station 15 site, and a new Type I engine. This would require a new agreement between DSFPD and/or SDCFA, and CAL FIRE.~~

Option 1: The most efficient and cost-effective approach to providing fire services to Lilac Hills Ranch from the perspective of the overall fire delivery system would be for the DSFPD and CAL FIRE to service the project from existing stations (Station 15 and Station 11). This option would be based upon Miller Station providing fire and medical emergency services to the Project in the manner currently being provided within the District under the existing Amador Agreement (fire services during the offseason) and the Automatic Aid Agreement between Deer Springs Fire Protection District and North County Fire Protection District. The existing Station 15's location is optimal for servicing the entire Lilac Hills Ranch project within 5-minutes. Specific augmentations would be provided so that the response capability of the station's engine company would be enhanced for the type of responses it would routinely receive. Lilac Hills Ranch would provide funding to DSFPD, pursuant to a separate agreement, for DSFPD to use to augment the fire and emergency medical services capabilities of Miller Station, which could include adding a cross-staffed Type I engine at this site. This amount would be in addition to the fire mitigation fees that will be paid to DSFPD pursuant to the Fire Mitigation Fee Ordinance. This option may also include improvements to the existing station to add a dual bay engine room or to increase the living quarters. CAL FIRE's Station 15 (Miller Station), is already currently providing first responder services to the immediate area and is located directly adjacent the development, would provide primary response to Lilac Hills Ranch emergencies. The option includes significant savings for the County, more robust response capabilities for CAL FIRE, and benefits to a large population in north San Diego County. This available "excess revenue" could be used to offset the \$650,000 in supplemental funding that the County currently provides to DSFPD or to offset the \$250,000 Amador contract with CAL FIRE.

~~**Option 2:** This option would include~~ is based on the desire to have a ~~new~~ separate DSFPD ~~fire station~~ facility on the CAL FIRE Station 15 site in order for such facility to be completely independent from CAL FIRE. (Although the new facility would be staffed by CAL FIRE personal under contract with DSFPD.) This option would

include an agreement between DSFPD with CAL FIRE to either remodel Station 15 to co-locate and staff a DSFPD Type I paramedic engine on the site with the existing CAL FIRE station or the construction of a completely separate DSFPD station. The new station or remodel would accommodate an additional 3 person engine company with the third position being a reserve firefighter. The engine could be a reassigned engine from station 11 or a new engine purchased for the new facility. This option would ~~require an amendment~~ cost significantly more than the one-time fire fees generated by the Project. However this option may enable San Diego County to cancel the existing \$250,000 Amador Agreement Contract with CAL FIRE as there would be an engine company on the site year-round, minimizing the need for CAL FIRE's presence during the winter, "off-season" and enabling the County to reallocate the \$250,000. This option includes a high level of cost, redundancy and inefficiency.

Option 3: Option 3 may be implemented in addition to Option 1, in-lieu of Option 1 or if an agreement cannot be reached between SDCFA the County and/or DSFPD and CAL FIRE (Option 1) or between DSFPD and CAL FIRE (under option 2), a new. Under Option 3, the developer could agree to build a neighborhood fire station ~~would be constructed~~ within the community purpose facility site located within Phase 3 of the Lilac Hills Ranch Project. A Type I paramedic engine ~~would~~ with a 3 person crew and the third position as a reserve firefighter could be added at ~~the~~ this station by DSFPD. The engine ~~could~~ would either be reassigned from Station 11 or a new Type I purchased for the Station. ~~The construction of a new~~ A fire station at the Phase 3 site would be triggered ~~upon the construction of any lot outside the 5 minute response time, equivalent prior~~ to the 54th unit issuance of the first building permit in Phase 4. If 3 or another date agreed to by DSFPD agrees, a temporary on-site fire station ~~could be constructed at the same trigger~~.

~~Each of these options would result in emergency fire and medical response throughout the Lilac Hills Ranch project within the County travel time requirements. In addition, there would be benefits to the existing community emergency response system. The cost effectiveness and efficiency of Developer Interim fire service would be provided as described below. Ongoing annual expenses are anticipated to slightly exceed the options varies, with Option 1 representing annual assessments generated by the most efficient and project, but as with Option 32, the least efficient use~~ Amador Contract could be cancelled under this option due to the presence of an engine company year round within close proximity to Station 15. A portion of available funding, the \$250,000 could be reallocated to DSFPD to cover any costs that are above the revenues generated by the project.

Option 4: Option 4 may be implemented in conjunction with Option 1, in-lieu of Option 1 or 3, or if an agreement cannot be reached between the County and/or DSFPD and CAL FIRE under option 2. The Mountain Ridge Road Fire Station Alternative must be adopted under this Option. Lilac Hills Ranch would construct a

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fire station on a 2 acre site located on SFS-6 within Phase 5 in lieu of constructing the facility on the Phase 3 site (See **Figure 62 and Appendix B**). The neighborhood fire station will be built prior to the issuance of the first building permit in Phase 5 or another date agreed to by DSFPD. Interim fire service would be provided as described below. This future fire station option would include a permanent fire station in Phase 5 with the specifications detailed in Option 3 with regard to size, equipment, apparatus and staffing. The project would contribute generated fees and assessments toward construction of the fire station and the land would be dedicated free of liens and encumbrances.

Interim Fire Facility: The Fire Protection Plan has identified a number of options available for providing interim fire and emergency services to the Project: (1) Lilac Hills Ranch may construct a temporary fire station within the Project, at any of the locations allowed in the Specific Plan, prior to the issuance of the 72nd residential building permit within Phase 1 or prior to the issuance of the first residential building permit in which such facility is needed in order to meet the General Plan's Travel Time standards for the Project, whichever occurs first, (2) by providing other mitigation measures, if such measures are approved by the County as a part of the Project's approval, (3) by receiving fire and emergency medical services from CAL FIRE, or (4) by another option determined appropriate by the County for providing such services.

6. Schools ~~, Parks, Open Space and Trails~~

School services are provided by the ~~Fallbrook Union High School District, the~~ Valley Center-Pauma Unified School District, and the Bonsall Unified School District. School fees are paid prior to building permit. A K-8 school site is provided in the Lilac Hills Ranch Community.

7. ~~Recreational Facilities and~~ Parks, Open Space and Trails

Lilac Hills Ranch provides ~~403.6~~104.1 acres of biological open space that will be preserved within a permanent biological open space easement. P-~~407~~ is a public park in accordance with requirements of the County's Park Lands Dedication Ordinance. The park site would be located adjacent to the school site and private recreation facility that will ensure its location near other Community oriented public facilities. The facility will be both dedicated to the County and constructed as a 'turnkey' facility by the Project and maintained as a County public recreational facility. An on-going funding mechanism must be established and adequate revenue must be generated prior to the County assuming operations and maintenance responsibilities of the public park. The funding mechanism may be one of the finance options listed below and must be agreed upon by the County Department of Parks and Recreation. There will, in addition, be ~~14~~at least 10 private parks maintained by the HOA throughout the Community. Private parks will be included in the design of each Implementing Tentative Map. The Community implements both public and private multi-use trails as components of the County trails system.

8. Financing Options

Financing the above-mentioned facilities requires utilizing appropriate public facilities financing mechanisms to secure their acquisition, construction, and maintenance. No property outside of the project will be included in any of these financing options. The financing options include:

a. County Service Area

Property owners within the County have the option of assessing their properties for a higher level of service. These services could include construction, operation, and maintenance of facilities. For example, a County Service Area could be established for the construction and maintenance of the local park, park site, and recreational trails in Lilac Hills Ranch.

b. Mello-Roos Community Facilities Act

This Act authorizes the formation of Community Facilities Districts (CFD) which authorize the financing of certain public services or facilities through approved special taxes. The Mello-Roos Act can provide funding for the purchase, construction, expansion, rehabilitation, or maintenance of open space, parks, recreation, or parkway facilities, on and off-site streets, drainage and storm water management, water, sewer, recycled water facilities, community power generation, fire, paramedic, and police/sheriff facilities, public service facilities, and educational facilities. At the appropriate time, the Community will submit a completed CFD Application as required under the Counties adopted CFD Goals and Policies (Board of Supervisors Policy I-136). The Community understands that any CFD formed through the County requires approval from the County Board of Supervisors.

c. Infrastructure Financing District

An Infrastructure Financing District (IFD) is a financing mechanism used to finance infrastructure improvements from tax increment growth in assessed values. An IFD can provide funding for facilities of a Community wide benefit including but not limited to roadways, sewer and water, flood control and park and recreational facilities.

d. Assessment Districts

This financing mechanism is used where the value or benefit of a particular improvement is assignable to particular properties. Assessments are levied in exact amounts on individual properties based on the specific benefits each parcel receives from the said improvement. Special assessments are used for both publicly dedicated on-site and off-site improvements.

Generally, public type improvements are financed through Assessment Districts, including Community Facilities Districts (CFD), County Maintenance Districts (CMD), and Landscape Maintenance Districts (LMD). Assessments are levied and bonds issued to fund the construction of public improvements. Bonded indebtedness is a collective responsibility of all parcels within the Assessment District. The bond issue

IV. IMPLEMENTATION

is a lien against each property with a special assessment. Bonds are not issued to represent individual parcels but are pooled in marketable denominations. Assessments for the construction of infrastructure improvements are predominantly administered through the following legislation: the Improvement Act of 1911; the Municipal Improvement Act of 1913; and the Improvement Bond Act of 1915.

e. Dedication

Dedication of land by developers for public facilities is a simple and direct financing tool used throughout the State. Land dedications may include: road and utility rights-of-way; park sites; open space and trails; Community purpose facility sites; wastewater treatment plant sites including pump station and treated effluent storage sites.

f. Subdivision Exaction

The exaction of local or Community level public improvements are required by jurisdictions under the Subdivision Map Act (SMA) for subdivisions. The SMA requires individual development projects to fund and/or construct local street, utility and associated recreational improvements. Projects are conditioned for specific exaction, where appropriate, to insure the construction of facilities phased with the actual development.

g. Development Fees

As an alternative to direct exaction, an increasing number of communities require payments of impact or development fees to finance local public improvements. These fees compensate the Community for the extra costs of public facilities caused by the development. The fee is typically collected at time of a building permit issuance, with the proceeds placed in a fund designated for the construction of certain facilities. Generally, fees are collected to fund traffic mitigation; parks and recreational facilities; fire facilities and services; schools; drainage and flood control facilities; as well as water and sewer facilities.

h. Developer Reimbursement Agreements

For area-wide facilities required to be constructed on-site, off-site, and/or oversized to accommodate future development, a Developer Reimbursement Agreement provides a mechanism for future payback (reimbursement) to the developer for the additional costs of these facilities. Subsequent development Communities pay their "fair share" portion of the appropriate costs for a shared facility with area wide benefits. Upon collection of a developer's share, the County reimburses the initial developer.

i. Habitat Management

The recently amended Lighting and Landscaping Act, Streets and Highways Code, Section 22500 et. seq. allows for the establishment of a Habitat Maintenance District (HMD) for maintenance of open space areas dedicated to the County (or habitat

management agency acceptable to the County). An HMD is an assessment district established by the County to provide long-term maintenance of natural habitats.

9. Finance Plan

The public facilities and services required to support Lilac Hills Ranch are intended to be financed on an equitable basis to ensure that all parcels within the Specific Plan area, and no parcels outside of the Specific Plan area are equitably assessed for the benefit accruing from the public improvements, using various sources and methods of public and private financing. Infrastructure improvements require long term financing. However, long-term financing strategies may be combined with short-term financing methods when advantageous for reasons of timing or economics with prior approval of the County.

Development of Lilac Hills Ranch requires the provision of adequate public facilities and services. Technical studies prepared for Lilac Hills Ranch identifies the Community's impact on existing facilities and the improvements required to serve the Community. These studies include the Lilac Hills Ranch Traffic Impact Study, prepared by Chen Ryan and Associates; the Overview of Water Service for Lilac Hills Ranch and the Wastewater Management Alternatives for the Lilac Hills Ranch Community, prepared by Dexter Wilson Engineering, Inc.; and, the Fire Protection Plan and Evacuation Plan, prepared by FireWise 2000, Inc. The public facilities and services required to support Lilac Hills Ranch are to be available when needed and financed to ensure that all parcels within the Specific Plan area are equitably assessed for the benefit accruing from the public improvements, using various sources and methods of public and private financing.

Table 4410 below summarizes on and off site services required to be available at the time of need as well as a description of the recommended financing option(s) or their implementation. The recommended financing mechanisms are provided as guidelines and should not be considered as final recommendations. Actual implementation of a specific financing mechanism will be accomplished pursuant to certain proceedings as established by special districts, the County of San Diego, and relevant State and Federal laws.

IV. IMPLEMENTATION

~~Table 11~~ Table 10 - Facility and Improvement Financing

Required Facility	Recommended Financing Mechanism(s)
Off-site Highway and Street Improvements	Developer and/or Formation of Assessment District (AD)/Community Facilities District (CFD)/Infrastructure Financing District (IFD) and/or Reimbursement Agreements
Circulation Street Improvements and Expansion	Developer and/or Formation of AD/CFD/IFD and/or Reimbursement Agreements
Drainage and Storm Water Management	Developer and/or Formation of AD/CFD/IFD and/or Reimbursement Agreements
Water	Developer improvements and/or Payment to Valley Center Municipal Water District of capacity, and connection fees. All of which may be financed through Formation of AD/CFD/IFD.
Sewer	Developer improvements and/or Payment to Valley Center Municipal Water District of connection fees. All of which may be financed through Formation of AD/CFD/IFD.
Schools	Payment of fees, dedication of land, construction of facilities or financed through a CFD
Parks and Trails	Land dedication, Park land Dedication Ordinance funds, County Service Area participation for maintenance and/or AD/CFD/IFD
Open Space Preserve	Habitat Management District and/or applicable application of Habitat Management Plan, and/or Landscape Maintenance District(LMD)/CFD
Fire, Paramedic and Law Enforcement	Fees, and/or AD/CFD

Lilac Hills Ranch SPECIFIC PLAN

Lilac Hills Ranch Promenade



Lilac Hills
Ranch

Senior Center



V. GENERAL PLAN CONFORMANCE

- A. *San Diego County General Plan*
- B. *Chapter 3 - Land Use Element*
- C. *Chapter 4 - Mobility Element*
- D. *Chapter 5 - Conservation & Open Space Element*
- E. *Chapter 6 - Housing Element*
- F. *Chapter 7 - Safety Element*
- G. *Chapter 8 - Noise Element*
- H. *Valley Center Community Plan*
- I. *Bonsall Community Plan*

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V. GENERAL PLAN CONFORMANCE

Policies applicable to the Lilac Hills Ranch are contained in the Valley Center and Bonsall Community Plans, and San Diego County General Plan. These policies address a variety of issues, including development at appropriate densities and in accordance with existing community character, protection of steep slopes, conservation of sensitive habitats, provision of open space and recreational opportunities, protection of visual amenities, regulation of signage and lighting, and protection against incompatible land uses.

A. San Diego General Plan

The San Diego County General Plan includes six elements, each with a series of Goals, each one of which is supported by a number of policies which address how the Goal is to be accomplished. The goals, and therefore the policies, all flow from the Guiding Principles which are stated in Chapter 2 of the General Plan. A summary of how the project complies with the Guiding Principles and with each element of the County General Plan is provided below.

Guiding Principles

Guiding Principles; Chapter 2 includes ten Guiding Principles which are intended to provide guidance for how the County's future growth can be accommodated while still retaining the County's rural character, economy, sensitive resources and unique communities.

1. Support a reasonable share of projected regional population growth.

The project supplies a small percentage of the projected regional housing need. The recently adopted General Plan Update was accompanied by an EIR which included estimates about numbers of housing units in this area of the County. These estimates included existing units which could be counted, and assumptions about un-built, approved land development projects and pending land development projects which have been subsequently approved. The estimates regarding the amount of residential units in a given area is important in the development of General Plan documents as they provide a baseline for assessing impacts of future development, ensuring that service levels are adequate and housing needs are met.

2. Promote health and sustainability by locating new growth near existing and planned infrastructure, services, and jobs in a compact pattern of development.

Lilac Hills Ranch implements this principal because it is located one-quarter mile from a major freeway and is a mixed-use, sustainable, compact community that includes all necessary public services. Lilac Hills Ranch is located within the Valley Center Municipal Water District and the Deer Springs Fire Protection District. Potable water is available on the property. A recycling facility will provide residents with an additional option to sell their recyclables and pick up mulch made from green waste. The Community will locate housing close to retail, services, schools, and jobs allowing for the preservation of an increased amount of open space, natural habitat, and

agriculture that will contribute to the retention of the rural setting and lifestyle of the adjacent community. Civic uses such as a school and public park are located centrally in a school-park complex and are also be located within the mixed-use Town Center and the two Neighborhood Centers which provide additional commercial services. These three complexes ensure that services are available to all residents within a ~~20 minute (1/2 mile) walk~~10 minute (1/2 mile) walk. A one-half mile radius is the de facto standard for walkable communities, which corresponds to the distance over which someone from the edge of the circle can reach a mixed-use center within 10 minutes walking at 3 mph. The commercial and mixed-use Town Center together with the two Neighborhood Centers, school, and facilities related to the age restricted neighborhood will provide a significant number of new jobs within this compact community. An extensive network of trails is provided to further encourage residents to walk and bike throughout the Community. All of these features combine to create a state-of-the-art community that will achieve important planning sustainability goals and policies.

3. Reinforce the vitality, local economy, and individual character of existing communities when planning new housing, employment, and recreational opportunities.

The Community site is located a quarter-mile from the I-15 corridor. The Valley Center Community Plan area is one of the larger adopted planning areas in the County. The General Plan Update identified Valley Center and Bonsall as areas with a greater capacity to grow than other communities in the County. The two existing village core areas of Valley Center are located some 10 miles east of Lilac Hills Ranch while the Village of Bonsall is located approximately 12 miles to the west. It is not anticipated that this village will compete with the existing North and South Villages of Valley Center or with the existing Village of Bonsall since they are approximately 25 minutes away from the Community by car.

Due to the close proximity of the I-15 corridor, Lilac Hills Ranch as proposed is similar in size, scale and intensity of uses to a number of other large scale projects both north and south on I-15 ~~like such as~~like such as Hidden Meadows, Welk Village, Castle Creek, ~~Rancho Viejo~~, Meadowood and Pala Mesa Resort. The services and commercial opportunities built into Lilac Hills Ranch will be available to area residents as well. The commercial and Mixed-Use Town Center together with the two Neighborhood Centers, school, and facilities related to the age restricted neighborhood will provide a significant number of new jobs, enhancing the economic vitality of this portion of northern San Diego County.

4. Promote environmental stewardship that protects the range of natural resources and habitats that uniquely define the County's character and ecological importance.

Lilac Hills Ranch utilizes the compact model of sustainable village development and includes a variety of small lot sizes and residential mixed-use homes in a compact development footprint. Consequently the development of the less sensitive upland

Impacts to wetlands will be minimized and has been designed so that each wetland has no more than one crossing. Lilac Hills Ranch includes approximately 103.6 acres of sensitive biological resources. These are generally located to preserve a major drainage and riparian woodland that forms a major tributary to Moosa Canyon. Moosa Canyon generally parallels I-15 and is a valuable part of the proposed North County MSCP preserve system. While Lilac Hills Ranch is located outside of the proposed Pre-Approved Mitigation Area (PAMA) where the preserve is to be located, the proximity of the biological open space is such that it could provide a valuable addition to the proposed regional preserve system. Any additional mitigation for biological impacts will be provided within the proposed North County MSCP PAMA as feasible or in some other manner approved by the County. In this manner, a significant contribution will be made to an interconnected preserve system, minimizing the habitat fragmentation that results at a regional level from attempting to save resources on a project-by-project basis.

5. Ensure that development accounts for physical constraints and natural hazards of the land.

During the designing of the Lilac Hills Ranch the development footprint was adjusted to account for the few physical constraints on Lilac Hills Ranch. As a consequence approximately 91 percent of the RPO 'steep slopes' are avoided. The few areas that are flood prone are located in open space. The Community comprehensive Fire Protection Plan analyzes the potential fire safety issues of the project area and includes detailed fire prevention measures that will be incorporated into the project design. In addition a 50 to 100 feet wide fuel modification zone is provided around the perimeter of the property and along natural open space areas as required by the Fire Protection Plan. Additional measures are included to ensure that safety is not compromised. Ignition resistant construction provides additional safety.

6. Provide and support a multi-modal transportation network that enhances connectivity and supports community development patterns and, when appropriate, plan for development which supports public transportation.

Lilac Hills Ranch will make improvements to West Lilac ~~Hills~~ Road, a Mobility Element road addressing long standing safety issues resulting from the sub-standard curves and improvements that exist today. Many of the substandard horizontal and vertical issues present in the existing road will be brought up to standard with the improvements to West Lilac Road. Improvements to West lilac Road will include development of a major east-west County Master Trail linkage, which is also connected into the extensive project trail network. In addition the project design is based on a compact form of development that includes an extensive network of trails, sidewalks, paseos, and paths that will encourage residents to walk or bike to the Town Center, Neighborhood Centers, and school-park complex. The trail system complements the interconnected network of roads included within the project. As discussed in the Specific Plan text, when the Community reaches a point in its

development the NCTDB system will be able to locate a transit stop that has been reserved in the Lilac Hills Town Center. As the discussion included with the Principal indicates the transportation system in the unincorporated areas of the County will rely primarily on the public road network.

7. Maintain environmentally sustainable communities and reduce greenhouse gas emissions that contribute to climate change.

Lilac Hills Ranch will be developed in accordance with the compact development model resulting in reduced automobile use and increased opportunities for walking and bicycling. A recycling facility will allow residents an additional opportunity to recycle. Civic uses such as a school and a public park are located centrally in a school-park complex or in the three mixed-use Centers that also provide commercial uses within close proximity to housing. Residents, both within the project and from the surrounding area, will be able to use the extensive trail system to move through the new Community without using their automobiles to go to school, attend recreational activities, or buy necessary goods in Escondido, Fallbrook, Bonsall, and/or Temecula. Lilac Hills Ranch is designed to reduce vehicle trips and emissions by providing services and a community focus where none currently exists.

8. Preserve agriculture as an integral component of the region's economy, character, and open space network.

The ~~LARA (Local Agricultural Resources Assessment)~~ Report prepared by Recon Environmental, Inc. ~~to assess~~assesses the potential Lilac Hills Ranch Community impact on agriculture~~concluded~~. The report concludes that based on the results of the Local Agricultural Resources Assessment (LARA) Model the site is ~~not an important agricultural resource. The site received a low rating for soil quality.~~

~~By developing this project, growth in the County will be directed to an area that is not considered an important agricultural resource.~~ due to its receipt of a moderate rating for soil quality and a high rating for climate and water resources. Mitigation would be implemented, requiring the purchase of 43.8 acres of agricultural land, or in-lieu credits through the County's PACE program (or equivalent).

The compact form of the development will provide a long and steady stream of new housing which will reduce the pressure on more agriculturally productive farms in the Valley Center area from being developed. Notwithstanding the fact that maintaining agriculture in the face of increasing land, water and energy costs will continue to become increasingly difficult. In addition, Lilac Hills Ranch will maintain active agricultural areas within the project's open spaces. Recycled water may be used for irrigation. Provision will be made for a farmers' market in the Town Center to encourage nearby agricultural activities.

9. Minimize public costs of infrastructure and services and correlate their timing with new development.

Lilac Hills Ranch implements this principal because it is a mixed-use, sustainable, compact planned community located in close proximity to existing and planned infrastructure and services. Because of its' compact design it requires a less extensive road network and infrastructure to meet its' needs. The Project is located within the Valley Center Municipal Water District and the Deer Springs Fire Protection District. The overwhelming majority of the streets within the project are proposed as private streets but are built to ensure that emergency and safety vehicles can easily access all parts of the new Community. As private streets they will be maintained by the project HOA, and will not therefore require any public costs for their maintenance and upkeep. Services will be phased to ensure they are available when needed. The cost of services will be borne by the residents of Lilac Hills Ranch.

Infrastructure and public services will be paid for by the developer or through a financing mechanism that is applied only to the residents of Lilac Hills Ranch. Payment of transportation impact fees, school fees and other similar fees will ensure that the cost to the public is minimized. Recreation and school facilities will be closer, potentially eliminating or reducing long bus rides for children.

Lilac Hills Ranch also implements this principal in that it includes a number of innovative new technologies seldom seen in County development proposals. A wastewater recycling facility will provide reclaimed water for irrigation. Additionally, an on-site recycling facility will provide additional opportunity for residents to sell their recyclable materials.

10. Recognize community and stakeholder interests while striving for consensus.

The Community proponents have conducted a multi-year community outreach process including surveys, open houses and workshops, group discussions and one-on-one meetings. The project was extensively redesigned in response to the comments and issues raised during the meetings and workshops held over the past several years. The project has been the subject of review by the VCCPG, BCSG, and VCDRB. Each of these groups will have an opportunity to review and comment on certain future implementation development proposals based on the standards and review authority of each entity.

B. Chapter 3 – Land Use Element

Several of the eighteen Land Use Element goals (3, 5, 6, 9, and 11) seek to encourage and establish compact and efficient land uses that reduce vehicle trips and include a variety of housing types to accommodate a diversity of lifestyles. The Goals express the need for Villages to be compact and include a variety of commercial and civic uses that, again, reduce reliance on the automobile. Villages are expected to be a Community focal point that fosters the development of community pride.

There are several specific Land Use Element goals and policies that merit a short discussion in this summary.

GoalPolicy LU-1. A land use plan and development doctrine that sustain the intent and integrity of the Community Development Model and the boundaries between Regional Categories.

The Project is designed in accordance with the Community Development Model. Diagrammatically, the General Plan Community Development Model requires that a village be surrounded by a ring of higher density residential development, followed by outer rings of successively lower density residential areas. Lilac Hills Ranch is designed in the same way, with a village core which includes the highest density areas, and then by areas of lower density. The Project's Town Center contains the densest neighborhoods and a broad range of commercial and civic uses that are supported by a network of local roads, bicycle lanes and walkways that link the neighborhoods with parks, schools, and public areas. Valley Center and Bonsall have been identified in the General Plan as areas with a greater capacity to grow than other communities in the County.

As a planned community, the Project consists of balanced land uses that have self-sustaining infrastructure and public services. The Project will be located near an existing transportation corridor which reduces the size and number of required roadways. Water and sewer service will be provided by the Valley Center Municipal Water District and fire protection will be provided by the Deer Springs Fire Protection District. Residential uses would be located in close proximity to commercial and civic uses, reducing the number and length of automobile trips. The Project would allow for a reduction in the village's footprint by incorporating open space and retaining natural habitat in its design.

The Project is currently located in an area of existing agricultural uses, which also include existing residential and commercial uses. ~~The LARA Report concluded that the site is not an important agricultural resource and it received a low rating for soil quality and water resources.~~

~~The Project will accommodate growth in Valley Center by directing development~~Pursuant to an area that has been identified as an~~the LARA Model analysis performed for the site, it was determined to be a significant~~ agricultural resource, resulting in the conversion of ~~low importance. By concentrating development here, it will reduce the pressure on areas that contain farm land~~43.8 acres of ~~more~~soils that are available for agricultural ~~importance~~use and ~~discourage such farms from being developed. Agricultural land of low importance and would meet the soil~~ quality ~~cannot be expected to continue~~criteria for Prime Farmland or Statewide Importance. As a result, the project would result in ~~long term a significant direct impact to agricultural production due to steady increases in cost and the unpredictability of water supplies.~~resources. The Project will mitigate for this impact at a 1:1 ratio.

The Project includes a proposed General Plan Amendment that would replace the Project's Semi-Rural Category Regional Category Designation with the Village Regional Category consistent with the goals and policies of the General Plan. Upon the approval of this amendment the boundaries between Regional Categories will be maintained. Policy LU-1.1 *Assigning Land Use Designations* provides the policy basis for the implementation of the General Plan's Guiding Principles stated desire to see future development accommodate

future growth in a compact and sustainable footprint. The policy comes complete with a graphic which illustrates **the Community Development Model** and the policy.

The assignment of land use designations to the Project is based upon the Community Development Model which provides for compact development which begins with a central core in which the highest intensities of development are located. See Goal LU-1 above for a detailed discussion.

The Regional Categories Map and Land Use Maps are graphic representations of the Land Use Framework and the related goals and policies of the General Plan. The Land Use Maps are to be used and interpreted only in conjunction with the text and other figures contained in the General Plan. Since the amendment to the Regional Category Designation and Land Use Designations must be consistent with the goals and policies of the General Plan, changes to the Maps will also be consistent with the General Plan.

Policy LU1.2 - Leapfrog Development. Prohibit leapfrog development which is inconsistent with the Community Development Model. Leapfrog Development restrictions do not apply to new villages that are designed to be consistent with the Community Development Model, that provide necessary services and facilities, and that are designed to meet the LEED-Neighborhood Development Certification or an equivalent. For purposes of this policy, leapfrog development is defined as Village densities located away from established Villages or outside established water and sewer service boundaries.

Policy LU-1.2 Leapfrog Development defines the term, and specifically notes that development proposals which conform to the Community Development Model are *not* by definition Leapfrog Development. In essence this policy states that new Villages, outside of existing urban designated areas may be proposed and approved as consistent with the General Plan so long as they;

1. Conform to the Community Development Model, and
2. Provide necessary services and facilities, and
3. Are designed to meet the LEED-Neighborhood Development Certification or an equivalent, and
4. Are within established water and sewer service boundaries.

The Lilac Hills Ranch Specific Plan has been designed to meet and achieve all of these criteria. The application of LEED-ND or an equivalent provisions and project compliance with the other bullets in LU 1.2 are discussed extensively in ~~Chapter II~~ the EIR, General Plan Conformance Matrix (EIR, Appendix W). In summary:

The Project Conforms to the Community Development Model.

V. GENERAL PLAN CONFORMANCE

The Lilac Hills Ranch Project is a new village whose structure, design and function are based on the Community Development Model. The Project proposes a "Village" Regional Category, surrounded by Semi-Rural Regional Category land uses that transitions to Rural Regional Category. This gradation of land use densities is illustrated at the Project level in the Specific Plan at Figure 8, entitled, "Proposed Community Plan Land Use Designations." The following illustrates how the Project is designed to meet the community development model described in The General Plan at page 3-20.

Under the Community Development Model, The edge of a "Village" can be defined by a boundary which is designed to differentiate permitted development densities and design standards. The Project's perimeter is designed to adhere to this model boundary concept. The Project edge contains the following features: ranchette-style lots that are 100 feet wide with grade separations and matured planting buffers, a multi-purpose pathway with low, rustic stone and wood-rail fencing that is equestrian-friendly, a 50-foot wide agricultural buffer planted with two rows of orchard trees (avocado, citrus, olives), and a 104-acre Biological Open Space Preserve. These developed and managed features differentiate the "Village" from the surrounding "Semi-Rural" densities and corresponding design standards. Outside of the "Village," "Semi-Rural" areas would continue to maintain low-density residential neighborhoods, small-scale agricultural operations, and rural commercial businesses.

The Project is designed under the Community Development Model to contain the densest neighborhoods and a broad range of commercial and civic uses supported by a dense network of local roads containing bicycle lanes and walkways linking the neighborhoods with parks, schools, and public areas. The highest intensities (commercial, mixed-use and attached residential) are to be located within the central portion of a Project (Town Center) with the lower-intensity residential uses (single-family detached) around the perimeter.

The Project contains a Rural Village that is anchored by a 20-acre Town Center that consists of an integrated mixed use core that is pedestrian-oriented and includes higher-density attached residential, retail commercial, and professional office uses, as well as private and public facilities, such as a park, a civic center, a country inn, and a recycling facility, that serve the entire community. The composition includes 270 mixed-use homes, such as attached units, live/work lofts and row homes, zoned for a minimum of 1,000 square feet, with the retail, commercial, and professional office spaces both at the ground level and free standing up to three stories high.

The residential-oriented Neighborhoods will radiate out from the Town Center to the Project perimeter with the largest, ranchette-styled lots feathering the edges. The composition includes 1,371 single family detached homes, zoned for a minimum of 2,800 square feet, one and two stories high. There are two Neighborhood Centers (highly abbreviated forms of the Town Center) planned southeast of the Town Center. The closer one clusters 105 attached homes with commercial and retail uses on 4.3 acres, and the further one is consistent with the model concept of graduating lesser intense uses away from its core, supporting the commercial uses.

The local road network is densest at the Town Center. The Project trail network consists of 16 miles of community trails, feeder trails and ranch multi-use trails, connected at key points to county regional trails. The trail network will be designed for pedestrian and bicycle uses, with bike lanes and community trails placed alongside the local road network. Equestrian trails and a staging area will be placed nearer the Project edges, and there will be a parking area for visitors who wish to access the Project trail network. This trail network threads the higher intensity urban uses at the Town Center to the lower intensity residential-oriented uses in the Neighborhoods and weaves the “Village” as a whole to the still lesser intensity rural uses in the surrounding “Semi-Rural” and “Rural Areas.”

The Project will provide all necessary services and facilities

The Project will provide all of the necessary facilities and services required to meet the needs of the Project. Lilac Hills Ranch is located within the County Water Authority, Valley Center Municipal Water District (VCMWD), Valley Center School District, Bonsall School District and the Deer Springs Fire Protection District (DSFPD). As detailed in EIR Chapter 1, the project includes parks and recreational facilities, an opportunity for an on-site school, an internal private road system, storm drain facilities, underground utility lines, water lines, and an on-site water reclamation facility with distribution system, detention basins and wet weather storage ponds. The Project includes a looped potable water system and a water reclamation facility that would provide service from the VCMWD. The “Lilac Hills Ranch Fire Protection Plan,” prepared by FIREWISE 2000, Inc., described how the DSFPD will provide fire services to the Project and the Capabilities Assessment Report by Dudek and Hunt, dated April 16, 2014, demonstrates that the District has the capacity to provide fire protection services. In addition, the project includes four options for fire service. All options would allow fire service to be provided to the project in conformance with the requirement of the General Plan (see subchapter 2.7).

The Project is designed to meet the LEED-ND Certification or equivalent program

Lilac Hills Ranch integrates the principles of smart growth, new urbanism and green building at the community design level. The Lilac Hills Ranch planning and design applies these sustainable development principles to site selection, compact and efficient development footprints, variation in lot and building design, mixed-use and clustered development, innovative zoning techniques, conservation of wildlife habitat, soil, steep slopes, water and energy, best practices storm water management, water efficient and native palette landscaping, operation and maintenance plans, recycling and innovating wastewater technology, and extensively integrated pedestrian and bike paths connecting the community amenities and subordinating dependence on the automobile. (See also the EIR, Appendix W, LU-1.2 analysis for thorough explanation of compliance with this General Plan Policy.)

The aforementioned principles when integrated at the design level for an entire community become one of the most effective, forward approaches to reducing the carbon footprint. Lilac Hills Ranch encourages sustainability through the following sustainable development practices:

Smart Location. The project incorporates principles of smart location as required by the County General Plan, which requires new villages to be located within existing water and sewer districts and near existing infrastructure and facilities. In addition, State and Local planning policies (for example, SB-375 and AB-32) encourage locating Projects near major transportation corridors, in part to reduce commuting distances and carbon footprints by lowering vehicle miles travelled ("VMT's"). The project site is located less than a half-mile from the I-15, and as shown in Table 4.12 of the Traffic Impact Study (EIR, Appendix E), would reduce trip lengths within the Valley Center community by 0.08 miles, assuming the construction of Road 3, and 0.09 miles without the construction of Road 3. The proposed project is projected to have an average vehicular trip length of 7.6 miles, which is over a half-mile lower than the rest of the Valley Center community, both with and without the construction of Road 3. Finally, the project is outside the pre-approved mitigation area of the draft North County MSCP and is not located within an Agricultural Preserve or Williamson Contract lands.

Sustainable Site Design. The project was designed to be consistent with the Community Development Model. Lower intensity, residential land uses graduate out from a dense, clustered, mixed-use, high intensity, village core. The project is pedestrian-oriented and shifts reliance from automobile as every resident is a short walk from goods and services. Live/work units and offices offer alternatives to highway commuting. Recycling of wastewater, containers, and compost conserve water, energy and raw materials. Community gardens and orchards, and specialty retail, including farmer's markets, promote agricultural sustainability by supporting local farms. The project would preserve sensitive biological resources over one-sixth of the project site. The open space areas would support wildlife habitat, protect creeks and wetlands, associated upland habitats and management of open space preserve areas, and oak woodlands. 99.7 percent of all proposed grading will not impact RPO Steep Slope land. The project also proposes to restore natural drainages and wetland habitat on-site. Portions of the existing agricultural on-site would remain within open space and the project would mitigate its direct impacts to agriculture by purchasing a conservation easement for agriculture land on or off-site. The project's Specific Plan incorporates residential and commercial uses in the village core, diversifying housing types from 1,000 square foot live/work lofts, to townhomes, to larger attached and detached homes, of varying configurations, creating thoroughly integrated, walkable commercial centers and neighborhoods, making a development footprint that is compact and provides community-based amenities, thus reducing regional automotive trips.

Innovative Land Use. As stated above, the project design and proposed compact land uses would create a walkable community. All residents could walk or bike on dedicated, community paths, to stores, parks and recreational fields, the civic center, professional offices, a senior center, a recycling center, a gym and pool, community gardens and orchards, and nature trails. The location of homes near the Town Center reduces driving distances thus reducing gas and electricity consumption. The project's Specific Plan incorporates a number of landscaping measures and policies that enhance sustainable

planning principles such as the use of native, drought tolerant and regionally appropriate plants and ornamentals and the use of reclaimed water, allowance for rain-water harvesting, and grey-water systems. A biological preserve compliments the regional habitat program and enhances stormwater management. Grading Design, Erosion Control, Stormwater and Drainage Best Management Practices are incorporated into the Specific Plan and the accompanying project plans such as the Stormwater Management Plan and Water Conservation Plan.

Integrated Transportation Planning. The project site is less than a half-mile from I-15, with access to regional destinations, and approximately a mile of frontage along West Lilac Road (a mobility element light collector roadway), maximizing efficient community access within Valley Center and Bonsall. The village core is planned to include a mass transit stop, which is located within a short walk or bike ride from all points within the community. A 16-plus mile community path and trail network supports pedestrians, bicyclists, and equestrians and is connected to the County trail system at the north and south ends of the Project. Streets are designed to promote traffic calming through the use of narrow roads, curvatures, roundabouts, treescaping, and parallel parking. The proposed paths are placed parallel to the streets to reduce vehicle speeds, promote pedestrian connections and increase roadway safety. Finally, the Project will implement a Transportation Demand Management ("TDM") Plan and private interim-transit program until regional transit plans are coordinated.

Sustainable Building. Lilac Hills Ranch homes and buildings will be designed, constructed and built to CAL-GREEN building standards and will be designed to exceed 2008 Title 24 Energy Standards by 30%. All buildings would be solar ready and have roofs built for solar panels and pipes for solar hot water, and are individually planned to consider solar orientation. All buildings would have dual pipe irrigation systems to conserve fresh water resources. The project would also plant approximately 35,000 trees, which would negate the formation of urban heat islands and reduce energy demand during the hottest weather. Sustainable green buildings, designed to CAL-GREEN and will exceed 2008 Title 24 standards by 30%, consume less energy and water, improve indoor air quality, and preserve and enhance natural biological resources.

Policy LU-1.8 Density Allocation on Project Sites states that projects which have more than one Land Use Designation, and which are subject to a Specific Plan are allowed to transfer densities within the project, even across Land Use Designation boundaries. This is a new policy and reverses the practice under the previously adopted General Plan.

The Lilac Hills Ranch includes more than one land use designation, and also establishes 1,746 units as the maximum number of units that will be allowed. The Specific Plan text includes a statement that provides for the distribution of densities within the Specific Plan's development footprint, so long as the maximum number is not exceeded.

Policy LU-2.2 Relationship of Community Plans to the General Plan establishes as a matter of General Plan policy that:

1. Community Plans are part of the General Plan and
2. As legally required by State law, Community Plans must be internally consistent with General Plan goals and policies of which they are a part, and
3. That they cannot undermine the policies of the General Plan,
4. Community Plans are subject to amendment by the Board of Supervisors.

This policy explains the relationship between the County's community plans and the General Plan. It clearly states that community plans must be internally consistent with the General Plan's Goals and Policies and cannot be used to undermine the policies of the General Plan. This means that community plans must be read and interpreted in the context of the goals and policies set forth in the General Plan. This policy in particular should be used for guidance when addressing this project's consistency with Goals and Policies of the Valley Center and Bonsall Community Plans.

C. Chapter 4 – Mobility Element

The Mobility Element includes twelve goals. Three of these (Goals 1, 3 and 4) require road networks that are interconnected and safe with multiple points of ingress and egress. The road network within Lilac Hills Ranch consists of public and private streets that form a modified grid which provides multiple points of ingress and egress to the project. The private streets will be to not only accommodate project traffic, but to also meet applicable fire safety standards, ensuring safety and emergency vehicle access. The major point of entry will be provided by West Lilac Road, which forms the northern project boundary, and which is a Mobility Element road. The road will be built so as to provide the County with the needed frontage right of way for the revised classification of 2.2F as proposed by the Mobility Element GPA (Policy M-3.1). The project will minimize traffic congestion in the established surrounding neighborhoods by not including any direct access points from the project's residential driveways, increase travel operations on the road, and provide more area in which to better incorporate buffers and other environmental measures as may be needed.

Access to the Community will also be provided at Covey Lane, Rodriguez Road by Street "B," and Mountain Ridge Road. Covey Lane includes an on-site private road portion and an off-site extension which will become a dedicated public road through the acceptance of existing Irrevocable Offers of Dedication. Both Street "B" and Mountain Ridge Road are private roadways which will be built to meet private road standards (except as modified). Private roads within the senior community will have gates that will provide the rural community character compatible with the surrounding neighborhoods a number of which also include gates on their private access roads. The gates will be able to be opened in the event of an emergency and will increase safety by providing additional evacuation routes for all area residents. Goals 4 and 12 encourage walkability and the creation of trails that, again, encourage walking and biking instead of driving. Lilac Hills Ranch includes sidewalks and paseos along streets within the

village and hard and soft surface trails through the open space. [\(Attached to the EIR is a complete analysis of each Mobility Policy and its applicability to the Project\)](#)

D. Chapter 5 – Conservation and Open Space Element

The Conservation and Open Space Element seeks to conserve and protect all resources to “ensure that they are available for the future.” This element includes twenty-four goals. Goals 1, 2, and 3 insure that the natural environment is protected and remains sustainable. Lilac Hills Ranch is a compact, efficient village located in an area with few sensitive resources. Major drainages, supporting wetlands and large stands of oaks are preserved in open space. These drainages form a major tributary to Moosa Canyon, called out as a proposed Pre-Approved Mitigation Area (PAMA) in the draft North County Multiple Species Conservation Program (MSCP). On-site preservation of these areas provides a valuable contribution to the proposed integrated preserve system for northern San Diego County. Lilac Hills Ranch will provide additional contribution to this regional open space system by mitigating for other upland habitats within the proposed PAMA.

The Community has been designed and engineered for the distribution and beneficial use of reclaimed and recycled water.

Lilac Hills Ranch complies with all of the Open Space and Conservation Element goals, and therefore with all of the policies.

E. Chapter 6 – Housing Element

The Housing Element includes six goals, however only the first three are relevant to private developments like the Lilac Hills Ranch. The project is consistent with all of the applicable Housing Element goals. The Project will be served by the Valley Center Municipal Water District and the Deer Springs Fire Protection District (Policy H-1.3). The Community will provide attached single family and residential-mixed-use housing adjacent to the Town Center and two Neighborhood Centers so that residents can walk to commercial uses, recreation and a neighborhood school; and also includes a variety of single family homes on a variety of small lot configuration in keeping with the compact nature of the development footprint (Policies H-1.6 and H-2.2). The Lilac Hills Ranch Community will expand the variety of housing available in this part of northern San Diego County, accommodating a range of incomes and lifestyle choices.

Lilac Hills Ranch has been designed to resemble a ~~rural~~ village within the surrounding natural terrain. The objective of the Project is to provide an environmentally sensitive, residential community compatible with the character of the surrounding area and preserving the existing natural open space, landforms, and topography. (Policies H-2.1,) Lilac Hills Ranch will provide a Town Center, two smaller neighborhood centers, a community trail throughout the Project site, open space buffers, public parks, and a K-8 school site. (Policy H-2.2) The Community recognizes the highly varied, eclectic nature of development in northern San Diego County where well over half of the homes within five miles of the project are on lots less than two acres in size. Within this 5 mile area there are a number of compact planned communities which are

surrounded by semi-rural estate lots and agricultural enterprises. In keeping with the existing character of the area, Lilac Hills Ranch proposes a compact new village that will provide a variety of housing types and densities that will provide new opportunities that do not currently exist in this part of the County.

Lilac Hills Ranch also conforms to two important Housing Element policies. Policy H 1.5, Senior and Affordable Housing near Shopping and Services directs projects to provide opportunities for senior housing and affordable housing development within Town Centers, transit nodes, and other areas that offer access to shopping and services. The Lilac Hills Ranch has identified ~~172.2~~173.9 acres (roughly one third of the development footprint) that will be developed as a Senior Citizen Neighborhood within the Community.

In addition Policy H 1.9 Affordable Housing through General Plan Amendments requires developers to provide an affordable housing component when requesting a General Plan amendment for a large-scale residential project when this is legally permissible. The Lilac Hills Ranch includes areas within the Town Center which are zoned to accommodate affordable housing densities (25 du/acre) as accepted by the State Department of Housing and Community Development (HCD) in approving the General Plan Housing Element.

F. Chapter 7 – Safety Element

The Safety Element includes some fifteen goals. In designing the Lilac Hills Ranch, every effort has been made to ensure that the project meets or exceeds the Goals and the Policies of this Element. The project has been designed to accommodate fire and emergency accessibility. The Fire Protection Plan, prepared by Firewise 2000, shows that the DSFPD, will have full response capability and capacity to respond to fire emergency incidents on the project.

1. Fire Protection

The entire Project site is encompassed within the boundaries of the Deer Springs Fire Protection District (“DSFPD”). (Policy S-3.4) Fire service to the Project ~~will~~could be conditioned to implement one of ~~three~~four options as described in detail in Section IV E (Public Facilities Finance Plan) ~~1-e.~~1. The Community meets the requirements of the County and DSFPD with respect to access. (Policy S-3.5) The Project’s water supply will meet the water supply requirements of the San Diego County’s Consolidated Fire Code and County of San Diego Fire Code. (Policy S-6.1) The Community will also comply with the County’s fuel management zone requirements. (Policy S-3.6 and S-4.1) Fire resistant landscaping and ignition-resistant construction standards will be used for the Project. (Policies S-3.3, S-3.6, and S- 3.7)

2. Law Enforcement

Law enforcement services will be provided by the San Diego County Sheriff’s Department from the Valley Center Substation, approximately ten miles northeast of the Community. (Goal S-13 and Policy S-13.1)) The Community will provide a roadway network that will provide access for law enforcement personnel throughout the site. (Policy S-14.1)

G. Chapter 8 – Noise Element

The Noise Element includes six goals designed to ensure that the population is not exposed to excessive noise levels. Lilac Hills Ranch complies with all policies which implement the Noise Element goals. For example, Policy N 1.2, noise management strategies is addressed through project design. The interconnected road network disperses traffic throughout the project. Roads are two-lane and the design of the streets keeps speed at a reduced level. Other noise generators such as the recycling facility and the wastewater treatment plant are located away from residential areas and contained in enclosed buildings.

H. Valley Center Community Plan

The San Diego County General Plan is augmented by the community and sub-area plans. Community Plans must be consistent with the General Plan but can provide additional guidance that reflects the unique nature of each of the unincorporated area's communities. Many of the goals and policies included in the community plan mirror those in the General Plan.

The General Plan clearly describes the relationship between the General Plan and the County's community plans. Community plans must be internally consistent with the General Plan's Goals and Policies and cannot be used to undermine the policies of the General Plan. This means that community plans must be read and interpreted in the context of the goals and policies set forth in the General Plan. This policy in particular should be used for guidance when addressing this project's consistency with Goals and Policies of the Valley Center and Bonsall Community Plans.

As currently written, the Valley Center Community Plan envisions the two existing rural Villages as the only areas recognized on the plan map where urban levels of development are permitted. The Lilac Hills Ranch proposes to add a new rural Village in the north-west corner of the Valley Center Community Plan. As discussed above, the General Plan's goals and policies permit the establishment of a new village that is designed to be consistent with the Community Development Model, provide necessary services and facilities, and designed to meet ~~the~~ LEED-ND Certification or an equivalent.

The Lilac Hills Ranch project proposes, as part of the General Plan Amendment process, to modify the text of the Valley Center Community Plan to be consistent with the General Plan Amendment being proposed by changing the number of rural villages from two to three, and by adding a new Lilac Hills Ranch Specific Plan textual insert following similar descriptions of the other six Specific Plans in the text.

Perhaps the major goal in the Valley Center Community Plan is to maintain its rural character. The theme of this goal is repeated in several policies. One of the general Land Use goals states; "A pattern of development that accommodates people of diverse ages, lifestyles, occupations, and interests with opportunities for village, semi-rural and rural living." Another states "A pattern of development that conserves Valley Center's natural beauty and resources, and retains Valley Center's rural character."

V. GENERAL PLAN CONFORMANCE

In addressing these goals it must be recognized that residents of San Diego County's unincorporated area enjoy many different aspects of rural living. Large towns (e.g. Valley Center) and small planned communities (e.g. Welk Village, Champagne Village, Hidden Meadows, Circle R Estates), gated communities, equestrian oriented communities, extensive groves and small boutique farms all coexist and create a broad definition of "rural". This is the context in which Lilac Hills Ranch should be considered. Lilac Hills Ranch is a self-contained, sustainable Village that will complement the surrounding rural and agricultural land uses and provide new opportunities for rural living that do not currently exist in that area. This new village will not compete with the downtown Valley Center, 11-miles to the east. Rather, Lilac Hills Ranch will offer additional services and opportunities to area residents where none currently exist. The project will retain agriculture throughout, reinforcing the agricultural nature of the surrounding area. The major drainages and oak woodlands will be retained, providing definition of neighborhoods within the Community and separation from adjacent uses along the western boundary.

Lilac Hills Ranch includes many different densities and architectural styles that integrate this Community through landscaping, trails and a Town Center to provide community focus. The design guidelines and other provisions of the Specific Plan will ensure that diversity is achieved.

Several goals and policies in the Valley Center Community Plan emphasize that sensitive natural resources should be preserved. Many of these are similar to Conservation and Open Space Element goals and policies in the General Plan. Lilac Hills Ranch is located on a property which has been extensively farmed for sixty years, and as a result the property is largely devoid of sensitive habitat. The exception to this is a tributary to the offsite Moosa Canyon. This drainage and its tributaries support stands of oaks and wetland vegetation. They will be preserved as part of the project, providing a valuable contribution to a proposed integrated open space system. Wetlands that have been disturbed over several decades by agricultural activities will be restored as mitigation for other impacts.

With respect to Mobility, the Valley Center Community Plan reflects residents' concerns about traffic congestion as well as a desire for rural roads; two concerns that are often at odds. Lilac Hills Ranch carefully balances these two concerns in a number of ways. West Lilac Road is included as 'public road' in the County maintained road system but currently exists largely without benefit of a dedicated public right of way along the Community frontage. West Lilac Road along the project's northern frontage will be re-designated from a 2.2C Light Collector to a 2.2F Light Collector per the project's Mobility Element General Plan Amendment. The road improvements will also include a fully improved 8-foot pathway within the road right-of-way. Covey Lane will be improved: (a) the onsite portion segment will be improved at private road standards while the off-site portion will be improved to Public Road standards to provide access to and from the eastern connection with West Lilac Road. Restricted access points into the Community will be provided at Street "B" to Rodriguez and Mountain Ridge Road. Controlling the access will allow these two roads to remain as rural private roads, consistent with the desire of existing residents. However, in an emergency, these two restricted access

points can be opened, benefiting residents outside Lilac Hills Ranch by providing additional evacuation routes.

Within Lilac Hills Ranch, an interconnected road network is provided that gives residents multiple ways to access most areas of the new Community. These roads are designed to maintain slower speeds that are more conducive to the village function. Sidewalks and bicycle lanes will encourage the residents to access public areas by walking and biking. An extensive network of trails in the open space will provide more opportunities for residents to walk from their homes to a variety of services and will connect residents with the natural environment. The in-project trail system connects to two regional public trails, providing the public with the opportunity to walk or bike to the Town Center. The Community will dedicate and improve these two trail segments for the on-site portions only.

Finally, the Public Facilities and Services section of the Valley Center Community Plan includes goals and policies that require provision of adequate services. The Community will be provided water and sewer service by the Valley Center Municipal Water District, with the potential for recycled water that may reduce the projects reliance on imported water. The Community will be provided fire protection by the Deer Springs Fire Protection District. The project is located within three school districts. A recycling facility will reduce the waste stream to existing sanitary landfills. Landscape mitigation demands may be partially augmented by existing wells. Energy conservation measures will be built into buildings while provision is also made for generation of solar energy. All facilities will be phased to ensure that they are available when needed.

I. Bonsall Community Plan

A portion of the Lilac Hills Ranch is also located within the Bonsall Community Plan. Approximately 201-homes are located in the Bonsall Community Plan area and approximately 76 acres of the 608 acre Lilac Hills Ranch (12.5 percent) is located in the Bonsall Community Plan.

As currently written, the Bonsall Community Plan designates three separate areas with the Village Regional Category located in the Olive Hill Road/Mission Road and SR-76 area. The Lilac Hills Ranch project proposes as part of the General Plan Amendment process to modify the text of the Bonsall Community Plan to be consistent with the General Plan Amendment being proposed by changing the number of areas with the Village Regional Category from three to four, and by adding a new Lilac Hills Ranch Specific Plan textual insert following similar descriptions of the other areas in the text.

Land Use Element policies 1.2 and 2.2 will permit the consideration of new ~~rural Villages~~[Village](#) as consistent with the Land Use Element and the Guiding Principles so long as the specific standards within Policy 1.2 are met.

V. GENERAL PLAN CONFORMANCE

Perhaps the major goal in the Bonsall Community Plan is the maintenance of rural character. This goal is supported by several policies emphasizing the retention of agriculture and large lot estate development.

As with Valley Center, it must be recognized that residents of northern San Diego County enjoy a variety of homes, lot sizes, small planned communities, gated communities, extensive groves and small boutique farms that form the context in which Bonsall is located and into which Lilac Hills Ranch will be placed. The homes located in the Bonsall portion of the new Village are all single family homes located on variously sized lots that still fit into the compact, walkable goal. The Town Center to which these homes will be oriented is located within a half-mile, or an approximately ~~20~~10-minute walk. This new Village will not compete with the existing village of Bonsall located approximately 7-miles to the west. Rather, Lilac Hills Ranch will complement surrounding agricultural and estate uses, and provide additional opportunities for community activities and commercial services where none currently exist.

Several goals and policies in the Bonsall Community Plan emphasize that sensitive natural resources should be preserved. Lilac Hills Ranch includes an extensive oak riparian network which will be retained. Wetland restoration and enhancement will replace disturbed wetlands, ensuring no net loss of such habitats. Additional policies call for grading to be limited in steep slope areas and for topography to be retained. Less than 15 percent of Lilac Hills Ranch meets the definition of steep slopes under RPO, and less than 1.5 acres of those steep slopes are graded. In general, the grading plan retains the rolling “shape” of the property. Less than 2,300 yards of material will be moved per house.

The Bonsall Community Plan calls for safe roads, community services provided as needed and adequate water and wastewater treatment systems. With respect to roads, only a small percentage of traffic from Lilac Hills Ranch will use roads within the Bonsall Community Plan area with the exception of West Lilac Road, Old Highway 395 and I-15. The portion of West Lilac Road in Bonsall will remain as is except for the addition of the Regional Trail link. West Lilac Road will be the major east-west collector through the project. Signal and intersection improvements detailed in the Traffic Impact Study will ensure that local roads within the Bonsall Community Plan will operate as envisioned in the General Plan Mobility Element. All Community services, such as schools and parks, will be provided by the applicant. Approximately ~~seven public~~eleven parks (totaling ~~24~~approximately 25.6 acres) will be provided: including one public park 13.5-acres in size. These parks, ~~as well as~~and the privately owned Village Green are accessible to all residents, including those in the Bonsall Community Plan. Water will be provided by the Valley Center Municipal Water District. VCMWD will also provide wastewater treatment via an onsite or offsite facility that will make reclaimed water available to this portion of their district.

Lilac Hills Ranch SPECIFIC PLAN

Lilac Hills Farmers Market



VI. APPENDICES

Appendix A. 1000-Scale Vicinity Map

*Appendix B. Fire Station Public Road
Alternative*

Appendix C. Project Facility Availability Forms

Appendix D. Capabilities Assessment

*Appendix E. Bonsall Community Plan
Amendment (Strikeout)*

*Appendix F. Valley Center Community Plan
Amendment (Strikeout)*

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