



## SPECIFIC PLAN



PSD2013-SP-13-001, PDS2013-GPA-13-001, PDS2013-STP-13-003,  
PDS2013-TM-5575, PDS2013-REZ-13-001, PDS2013-ER-12-08-002

County of San Diego November 2017



***DRAFT***

# **Valiano Specific Plan**

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## 1.0 INTRODUCTION

### 1.1 OVERVIEW OF THE SPECIFIC PLAN

The Valiano Specific Plan provides the County of San Diego with a comprehensive planning document to direct the orderly development of approximately 239 acres in Northern San Diego County (**Figures 1-1 and 1-2**). The Valiano Specific Plan establishes a framework for development of the area including:

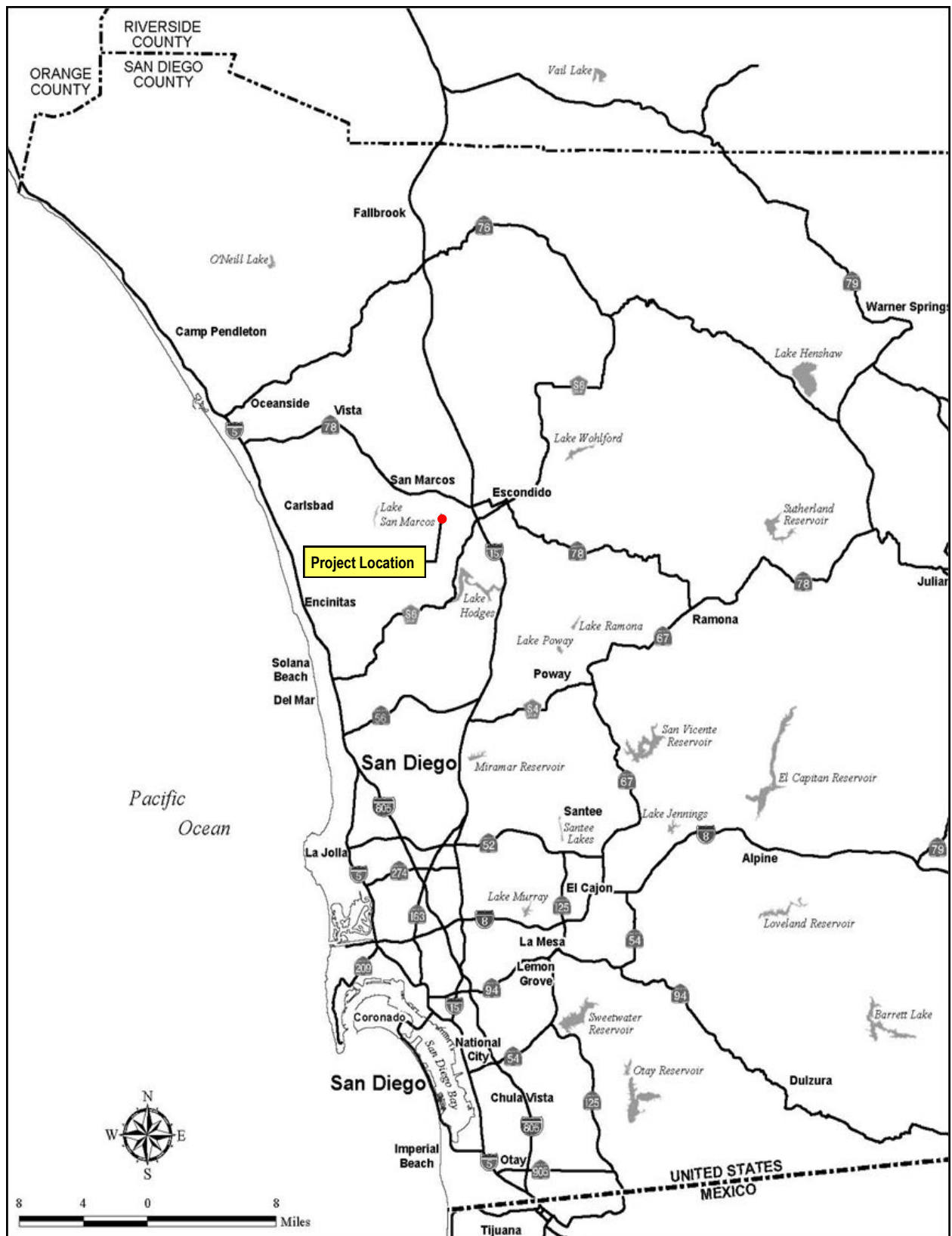
- Proposed land uses, development regulations and design standards (Chapter 2);
- A vehicular, pedestrian, bicycle and equestrian circulation plan (Chapter 3);
- A plan for protecting and managing natural resources (Chapter 4);
- Infrastructure facilities required, including financing and phasing, to support Plan development (Chapters 5, 6 and 7); and
- Implementation and administrative processes needed to approve specific development project in the Plan Area (Chapter 8).

The Valiano Specific Plan is designed as a semi-rural residential community with associated park and recreation amenities. The Plan includes five single-family residential neighborhoods with varying densities, lot sizes and home styles. A multi-use and pedestrian trail network passes through the heart of the community to allow for additional recreational opportunities for a variety of users including equestrian. In addition to the proposed residential development, approximately 28 percent of the project site will be conserved in open space. This includes 31.2 acres of biological open space, 35.4 acres of agricultural open space, 55.7 acres of common area open space, and 27.1 acres of landscaped easements for a landscaped total of 149.4 acres. When the 149.4 acres of open space is added to the 89.4 developed area, the project area total equals 238.8 acres.

Given the projected phased buildout of the Plan area and the potential changes in market conditions over time, the Valiano Specific Plan assumes that certain minor variations in the Land Use Plan could occur. However, the Specific Plan establishes a total maximum allowable number of 326 single family housing units in the Plan area.

### 1.2 PLANNING OBJECTIVES

A Specific Plan allows a developer to comprehensively plan the land uses and public facilities of a large contiguous land area while maintaining a degree of design flexibility to respond to future conditions.

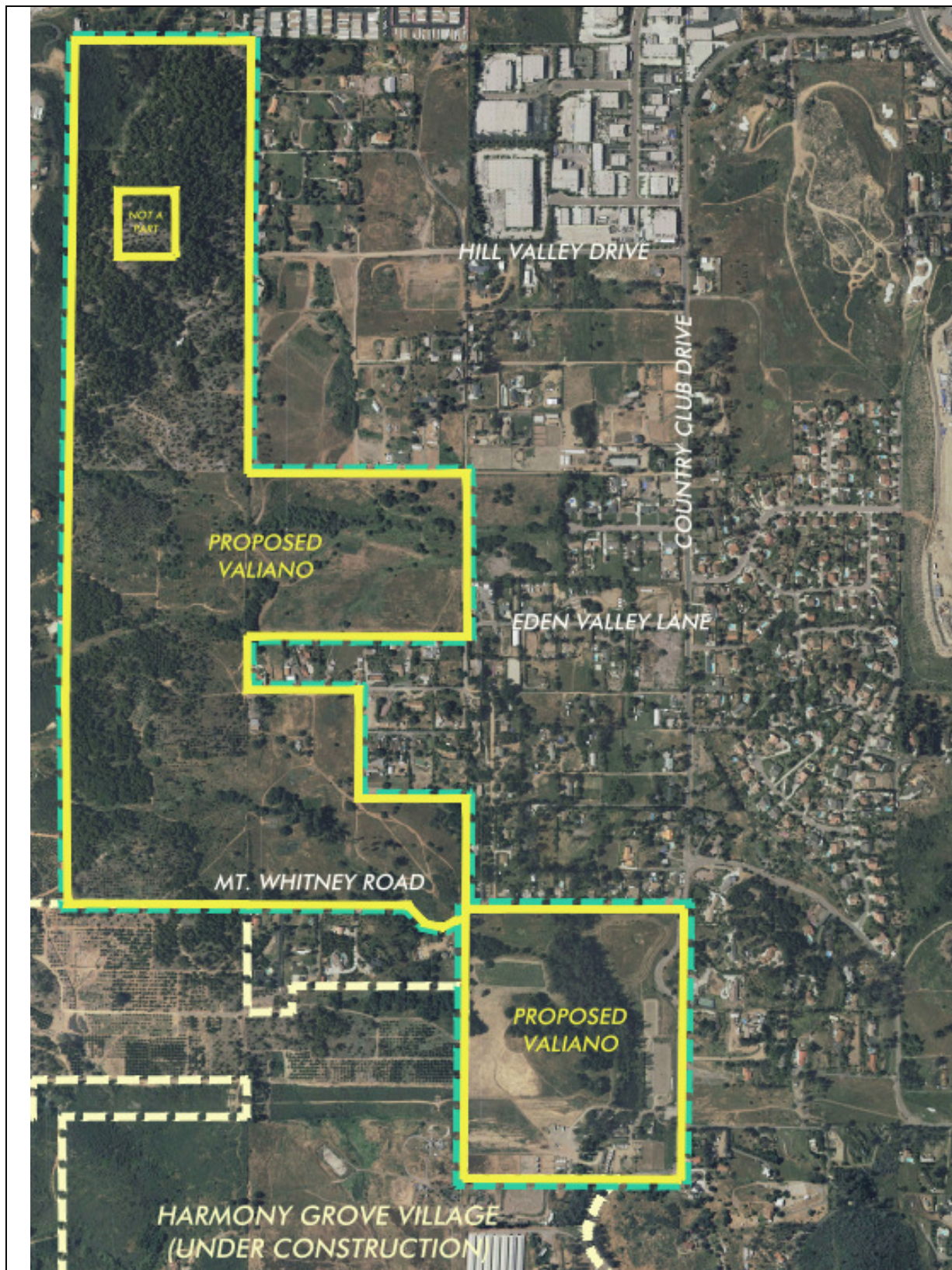


Source: Helix Environmental Planning

**Valiano Specific Plan**  
**County of San Diego**

**Figure 1-1**  
**Regional Location**





The following planning objectives have been established to guide the development of the Valiano Specific Plan Area:

- Develop a community which complements and responds to the unique topography and character of the Plan area and surrounding area;
- Utilizing Smart Growth concepts, provide a variety of housing opportunities, ranging in size and affordability, to meet the growing housing needs of the region;
- Provide a range of lot sizes to accommodate a full spectrum of housing sizes to meet the varied family make up;
- Provide for a range of for sale market rate detached housing types to accommodate broad market needs from singles to large families and across age groups;
- Provide recreation areas to serve the recreation needs of the future Plan area residents;
- Design a community that embraces and preserves the equestrian activities and the equestrian nature of the surrounding areas and provides amenities for the community area;
- Provide a healthy living component including multi-use trail network that connects to other trails adjacent to the Plan area to encourage pedestrian and equestrian mobility and outdoor connectivity;
- Provide increased residential density close to the shopping, employment, and transportation centers of Escondido and San Marcos;
- Set aside on-site biological and agricultural resources within open space areas and purchase off-site biological mitigation land protected in perpetuity;
- Design a safe and efficient circulation system that adequately supports the anticipated level of traffic in and around the Plan area that is pedestrian safe;
- Provide for adequate Public Services and facilities to accommodate the proposed residential uses;
- Develop a financing and phasing plan that provides for the efficient and timely provision of infrastructure and public services as development occurs; and
- Provide for the significant preservation of resources and preservation of community character through implementation of the Valiano Specific Plan.



### **1.3 SPECIFIC PLAN PURPOSE AND SCOPE**

The Valiano Specific Plan serves as the primary land use, policy and regulatory document for the Plan area by providing for an efficient development planning and review process. The planning and review process emphasizes the direct and comprehensive correlation between land use, public services and infrastructure necessary to support those land uses. When implemented together, the elements of the Valiano Specific Plan support the logical development of the Plan area by establishing a comprehensive planning program that is responsive to the opportunities and constraints of the area.

The Valiano Specific Plan is both a policy and a regulatory document. As policy document, the Plan applies the broader goals and policies of the County of San Diego General Plan (General Plan) by establishing specific objectives for the Plan area. As a regulatory document, the Plan specifies the land uses and associated development, as well as design and infrastructure standards that must be met to successfully implement the Plan. Through inclusion of development, design and infrastructure standards, this Plan creates standards specifically applicable to the Plan area. As a regulatory document, all subsequent design documents and development activities in the Valiano Specific Plan area are required to be consistent with this Plan.

### **1.4 SPECIFIC PLAN AUTHORITY**

California Government Code Section 65450 gives a legislative body the authority to prepare a Specific Plan for the systematic implementation of a General Plan for all or part of the area covered by a General Plan. Per Sections 65451 and 65452, a specific plan shall contain the following information:

- A statement of the relationship of the Specific Plan to the General Plan;
- The distribution, location and extent of land uses;
- The distribution, location and extent of major infrastructure needed to support the land uses described in the plan;
- Development standards and criteria; and
- A program of phasing and implementation measures.

### **1.5 CONTENTS OF THE SPECIFIC PLAN**

To meet the requirements described above, the Valiano Specific Plan includes the following components and features:

- Planning objectives that expand upon the General Plan regarding land use, circulation, resource management as well as public services and utilities (Chapter 1);
- Written and graphic descriptions of proposed land uses within the Planning area, including clearly identified specific development patterns and design standards (Chapter 2);
- Written and graphic descriptions of proposed vehicular, pedestrian and equestrian circulation systems for the Plan area and how these networks will tie into adjacent properties (Chapter 3);
- Textual descriptions and graphic illustrations of significant natural resources in the Plan area and a plan for the protection of important resources (Chapter 4);
- A public service and utility plan that includes the location and extent of public services and utilities necessary to serve the Plan area (Chapters 5 and 6);
- A public facility financing and phasing plan that provides the general framework for the financing and phasing of public improvements in the Plan area (Chapter 7); and
- An implementation program that describes the project review procedures and regulations for specific development projects within the Plan area and any future Plan amendments (Chapter 8).

## 1.6 PLAN AREA SETTING

### 1.6.1 Regional and Local Setting

The approximately 239-acre Valiano Specific Plan area is located in an unincorporated area of San Diego County, between the cities of San Marcos and Escondido on the eastern toe of the Merriam Mountains. The Plan area is generally divided into two areas, a larger northwestern portion of approximately 191 acres and a smaller southeastern portion of approximately 48 acres. The two areas connect corner to corner. The northern area is generally bounded by the City of San Marcos on the north and west, Mt. Whitney Road on the south, and the Eden Valley area on the east. The southern portion of the Plan area is bound by Mt. Whitney Road on the north and Country Club Drive on the east.

The Plan area is in close proximity to major transportation, employment, health, education, recreation, and retail service centers. Transportation in the surrounding area consists of two major highways (State Route 78 and Interstate 15), a SPRINTER station, and BREEZE bus service. Employment centers include industrial and business parks located in San Marcos and Escondido, and further south on Interstate 15 is Rancho Bernardo's employment center. Along with elementary,

middle and high schools, there are two higher education institutions, California State University San Marcos and Palomar College, located within a few miles of the Plan area. A new regional hospital recently opened within a mile of the project and regional and neighborhood shopping opportunities are available in the adjacent Escondido and San Marcos communities. The Plan area's location near these transportation and service resources make it an ideal location for an infill Smart Growth project. A discussion of all factors that shaped the Plan is presented in Section 1.6.3, below.

Land use adjacent to the Plan area is residential in nature and incorporates some equestrian uses. The Harmony Grove Village Specific Plan (HGVSP) abuts the southern portion of the Valiano Specific Plan, whereas the HGVSP is further from infrastructure as described above compared to Valiano Specific Plan.

Several easements surround and traverse the Plan area. These easements are primarily for utility providers, such as San Diego Gas & Electric and Rincon del Diablo Municipal Water District. The easements and their associated facilities will be retained, vacated or realigned as appropriate.

### **1.6.2 Plan Area Physical Characteristics**

The Valiano Specific Plan covers 13 parcels totaling approximately 239 acres, including the following APNs: 228-313-13, 232-013-01, 232-013-02, 232-013-03, 232-020-55, 232-492-01, and 232-500-18 thru 24.

The Valiano Specific Plan area has varying topography with the highest point located near the northwestern corner the Plan area. Elevations range from 632 feet above mean sea level (amsl) in the southeastern portion of the site to 1,012 feet amsl in the northwestern corner of the site.

Agricultural uses cover approximately 57 percent of the Plan area, primarily on the sloped western portion of the site. Non-native grassland is also present, primarily in the south and south central portion of the Plan area. Other vegetation within the Plan area is a mix of native and non-native habitats. Jurisdictional wetlands and waters also occur within the Plan area.

The Plan area is primarily undeveloped and existing development on the site is limited. The agricultural uses and associated farm roads are the dominant features within the Plan area. There are two farm/ranch complexes located within the Plan area and the Harmony Grove Equestrian Center is located within the southeast corner of the southern portion of the Plan area.

### **1.6.3 Factors that Influence the Specific Plan**

The opportunities and constraints described below are the key factors influencing the design of the Valiano Specific Plan. In addition to these factors, the Specific Plan incorporate input from County of San Diego staff and neighbors to the Plan area.

#### **General Location**

The Plan's location is in an area that is already developed with residential uses varying from high density mobile home parks to one to four-acre parcels. Additionally, it is near regional transportation, employment, services and shopping. Proposing infill Smart Growth residential uses would be consistent with the existing adjacent uses and provide additional homes near already established infrastructure, services and employment centers. Proposing residential uses near regional transportation, employment, services and shopping promotes the interregional relationship between housing and employment. Additionally, placing infill Smart Growth residential uses near employment and services helps minimize vehicles miles traveled and reduce greenhouse gases, which is consistent with the goals of Senate Bill 375 (SB 375) (Sustainable Communities and Climate Protection Act of 2008). Thus, the Valiano Specific Plan maximizes the project's location to established infrastructure, employment opportunities and services.

#### **Topography**

The Plan area has varying topography from flat to rolling hills, and steeper slopes with the highest point located near the northwestern corner the Plan area. The primary slopes on the project site support agriculture while the flat and rolling hills could support development. Topography is an important element from a grading and drainage design perspective. Thus, the design of the Specific Plan considered topography as a factor. The resulting Valiano Specific Plan responds sensitively to the steep slopes by clustering development to minimize the amount of grading and disturbance and maintain many of the natural land formations.

#### **Agricultural Operations**

Existing agricultural activity occurs on more than 57 percent of the site with varying quality from poor (non-producing) to good. Understanding the importance of agriculture operations from both an economic perspective as well as a visual amenity towards preserving semi-rural character, the Plan was designed to retain and integrate higher quality agricultural uses into the overall Plan concept. Under the Plan, 35.4 acres will be preserved within an agricultural open space easement. This will allow for ongoing agricultural activity and also contribute to the retention of some of the Plan area's visual character.

### **Biological Resources**

In addition to the agricultural operations, the Plan area contains some sensitive habitats, including upland habitats and wetland/water areas. A pond feature exists in the southeastern portion of the site. Preservation of important biological resources was considered in the design of the Plan. Under the Plan 31.2 acres will be preserved in a Biological Open Space Easement.

### **Adjacency to Harmony Grove Village Specific Plan**

The southern portion of the Valiano Specific Plan area is adjacent to the Harmony Grove Village Specific Plan. The Valiano Specific Plan considered the density of future development within the Harmony Grove Specific Plan as well as its proposed infrastructure and circulation network. The Valiano Specific Plan has been designed to complement the Harmony Grove Village Specific Plan by providing additional mid-sized lots, since many of the HGVSP lots are small lot configurations.

### **Equestrian Character of Surrounding Community**

The Plan area vicinity supports equestrian uses and the Valiano Specific Plan was designed to respond to those uses. Specifically, the Plan incorporates a multi-use trail, and trail head area as an integral part of the Plan. These amenities would benefit the surrounding residents who ride horses. The project would also increase the customer base for nearby equestrian facilities.

## **1.7 RELATIONSHIP TO EXISTING PLANS AND REGULATIONS**

The Valiano Specific Plan is closely related to several documents that will also have a bearing on development within the Plan area. This section describes the relationship between this Plan and other applicable regulatory documents.

The Plan area is within the jurisdiction of unincorporated San Diego County. The General Plan serves as the blueprint for future growth and development and establishes policies for lands located within the unincorporated areas of San Diego County.

### **1.7.1 County of San Diego General Plan**

The County of San Diego is the lead agency maintaining the General Plan and Community Plan policies. As noted below the Valiano Specific Plan is consistent with the overarching goals and intent of the General Plan.

**Specific Plans** - The Land Use Element of the General Plan describes Specific Plans as a planning tools allowed for by State law that may be developed for areas of the County to provide more precise

guidance for land development, infrastructure, amenities and resource conservation consistent with the use types and densities specified by the Land Use Designations and the goals and policies of the General Plan. The General Plan notes that the intention is to retain the underlying densities on the General Plan Land Use Plan to clearly show the area's relationship within the context of where it is located.

The Valiano Specific Plan implements the goals and policies of the General Plan by providing development guidelines that reflect the unique opportunities and constraints of the Plan Area. According to Government Code Section 65454, a Specific Plan must be consistent with the adopted General Plan. The Specific Plan's consistency with the General Plan and the proposed General Plan Amendments are described in general, below, in relation to each individual General Plan Element.

**Land Use Element - Regional Category** - The Valiano Specific Plan area is identified as having a Semi-Rural regional category in the General Plan. "The Semi-Rural category identifies areas of the County that are appropriate for lower-density residential neighborhoods, recreation areas, agricultural operations, and related commercial uses that support rural communities. Semi-Rural areas often function as a transition between the Village and Rural Lands categories, providing opportunities for development, but without the intensity and level of public services expected in Villages and with design approaches that blend the development with the natural landscape. Semi-Rural residential densities are derived in consideration of the physical conditions, community character, and availability of public services, roads, and other infrastructure. Higher densities within the allowable range should be located near Village areas and surrounding urban areas such as San Marcos and Escondido, while lower densities should be located near Rural Land areas. Site design methods that reduce on-site infrastructure costs and preserve contiguous open space or agricultural operations are encouraged." (San Diego County General Plan, page 3-8.)

**Land Use Element - Designations** - The parcels that make up the Valiano Specific Plan area are currently designated as a mix of Semi-Rural 1 (SR-1) and Semi-Rural 2 (SR-2). Depending on the slope on an individual parcel, SR-1 densities can range from 1 du/gross acre to 1 du/4 gross acre. Similarly, depending on the slope on the individual parcels, SR-2 densities can range from 1 du/2 gross acres to 1 du/8 gross acres.

With implementation of the Valiano Specific Plan and General Plan Amendment, all portions of the Plan area would change to the Semi-Rural 0.5 (SR-0.5) designation. Densities under the proposed designation range from 2 dus/gross acre to 1 du/2 gross acres, depending on the slope. The densities proposed under the Valiano Specific Plan are consistent with the proposed SR-0.5 designation. SR-0.5 is the highest density in the Semi-Rural category, which is consistent with General Plan direction to



locate higher densities near the urban areas of San Marcos and Escondido, as well as the Village area of HGVSP.

**Mobility Element** - The Mobility Element provides a framework for a balanced, multi-modal transportation system for the movements of people and goods within the unincorporated areas of the County of San Diego. The Valiano Specific Plan includes a circulation plan with five street types and an integrated multi-use trail network that will connect to existing and proposed road and trail networks. Additionally, the Plan area is located near transportation infrastructure, including SR-78 and the Nordahl SPRINTER station. Placing infill Smart Growth residential uses near public transit provides multiple mobility options for future Plan area residents. It also fulfills the General Plan goals and is consistent with SB 375. This Specific Plan is consistent with the seven goals of the County's Mobility Element.

**Conservation and Open Space Element** - The Conservation and Open Space Element of the General Plan provides direction to future growth and development in the County of San Diego with respect to natural resources, cultural resources, protection of open space and the provision of park and recreation resources. Key resources within the Plan area include biological resources and agricultural resources. Future residential development within the plan area is clustered to minimize the amount of disturbance and to make more areas available as open space. The Valiano Specific Plan preserves both biological and agricultural open space areas. Specifically, the Plan preserves 31.2 acres preserved in a biological open space easement and 35.4 acres preserved in an agricultural open space easement. This Specific Plan is consistent with the 24 goals of the County's Conservation and Open Space Element.

**Housing Element** - The Housing Element of the General Plan seeks to balance housing requirements with infrastructure deficiencies, safety issues, and the rural and semi-rural character of many of the County's unincorporated communities. It also seeks to reconcile housing needs with competing land use interests. Residential development in the Valiano Specific Plan area will provide up to 326 additional single-family homes in the region. Proposed residences will vary in size and appeal to a variety of economic groups. Development under the Plan will assist the County in fulfilling its affordable housing requirements by providing three distinct housing opportunities within the Plan area: single-family homes on their own lots, detached condo lots with four or five homes surrounding a central courtyard, and a maximum of 54 Accessory Dwelling Units that could be used for rental or multi-generational family members. Accessory Dwelling Units would be restricted to 640 square feet or less. These home types are specifically designed and targeted to meet affordable need by offering both detached and attached Accessory Dwelling Units. The total number of affordable homes will exceed the minimum state required ten percent of the overall homes onsite.

The Plan area is located near regional transportation, employment, services, and shopping. Proposing infill residential uses would be consistent with the existing adjacent uses and provide additional homes near already established infrastructure, services and employment centers. This Specific Plan is consistent with the six goals of the County's Housing Element.

**Safety Element** - The Safety Element of the General Plan addresses the natural hazards and human activity that may pose a threat to public safety in the areas of wildfires, geologic and seismic hazards, flooding, hazardous materials, law enforcement and airport hazards. The Plan has been reviewed for safety in all of these areas. This Specific Plan is consistent with the 15 goals of the County's Safety Element.

**Noise Element** - The Noise Element of the General Plan provides for control and abatement of environmental noise to protect citizens from excessive exposure. A noise study was prepared for the Plan. This Specific Plan is consistent with the six goals of the County's Noise Element.

### 1.7.2 Subregional and Community Plans

While the Land Use Element inclusive of Land Use Maps and Goals and Policies applies to all lands throughout the unincorporated County, there are special land use issues and objectives that uniquely pertain to each of its diverse communities. These are addressed by Community Plans in which goals and policies are defined to provide more precise guidance regarding the character, land uses, and densities within each community planning area. The Valiano Specific Plan area is located within the San Dieguito Community Plan area.

#### San Dieguito Community Plan

The Plan area is within the northern portion of the San Dieguito Community Plan area, which is characterized as a low-density estate residential area bordered in close proximity to rapidly urbanizing areas in the North San Diego County. The San Dieguito Community Plan identifies goals related to community character, land use, circulation, public safety/services/facilities, conservation, recreation, scenic highways, open space, noise, and energy. The County of San Diego is the lead agency maintaining the goals of the San Dieguito Community Plan and the Valiano Specific Plan's consistency with those goals. The Valiano Specific Plan will amend the Elfin Forest Harmony Grove portion of the Community Plan so as to stay consistent with the goals of the San Dieguito Community Plan.

#### Elfin Forest and Harmony Grove Community Plan

The southeastern portion of the project site (future Neighborhood 5) is within the Elfin Forest and Harmony Grove Community Plan (EFHGCP) area, which is characterized as an area of primarily single-

family rural residential communities on estate lots sprawling over hillsides, along with agricultural uses and residential livestock keeping. The EFHGCP identifies goals related to community character, land use, circulation/mobility, conservation/open space, safety and noise. The County of San Diego is the lead agency maintaining the goals of the Harmony Grove portion of the EFHGCP and the Valiano Specific Plan's consistency with those goals.

### **1.7.3 County of San Diego Zoning Ordinance**

The San Diego County Zoning Ordinance serves as the implementation tool for the Land Use Element of the General Plan. The Zoning Ordinance identifies specific types of land use, intensity of land use and development performance standards applicable to each parcel of land under the County's jurisdiction. The land use types, use regulations, and development design standards within this Plan supersede the standards contained with the Zoning Ordinance. However, the Zoning Ordinance continues to apply to all other topics not specifically discussed in the Plan.

## **1.8 COMPLIANCE WITH CEQA**

An Environmental Impact Report (EIR) for the Valiano Specific Plan accompanies this Plan. The EIR, prepared in accordance with the California Environmental Quality Act (CEQA) examines the potential environmental impacts of the implementation of the Specific Plan and identifies mitigation to reduce impacts to below a level of significance. It serves as the base environmental document for the purpose of evaluating subsequent entitlements associated with the Plan. The EIR is to be certified concurrently with the adoption of the Specific Plan.

A mitigation monitoring and reporting program (MMRP) is adopted in accordance with Public Resources Code Section 21081.6 to ensure implementation of the EIR mitigation measures. As applicable, future development within the Plan area is required to implement the mitigation measures specified in the MMRP.

In accordance with California Government Code Section 65457, subsequent development proposals within the Plan area, if found by the County to be consistent with this Plan and the impact analysis and mitigation measures in the certified EIR, may be approved and implemented in accordance with and based upon the certified EIR without further environmental review. County of San Diego staff will determine if further environmental analysis is required for any proposed Amendment to the Specific Plan.

## **2.0 LAND USE AND DESIGN**

### **2.1 DESIGN VISION**

The Valiano community is unique in both its natural and manmade setting. The natural attributes of the site, expansive vistas, oak studded grasslands and semi-rural character has been an attraction for many residents over the years. The existing agriculture provides a unique opportunity to continue the agricultural tradition of the site and area. Another unique opportunity of the Plan area is its location near regional transportation infrastructure (SR-78 and SPRINTER), employment centers, services, educational campuses and shopping opportunities.

The design addresses basic community planning goals and concepts as well as community wide issues of conservation and design. These goals include the preservation of the hillsides and open space through careful layout and orientation of roads and neighborhoods. These goals include:

- Design the major roadway system as an amenity that will become a unique feature and centerpiece of the community.
- Create neighborhoods that are linked by the community roadway with a series of interconnected trails, sidewalks and open space. A network of trails provides opportunities for physical activity to improve fitness and mental health. These will connect residents to the regional trail system and community center. Neighboring residents will also be connected to the regional trail system.
- Maintain the semi-rural character of the community by using natural materials that enhance the existing unique features and identity of the Site.
- Create a series of built features or icons that are found throughout the community that bring together architecture and landscape and establish a distinct identity.
- Protect open space for a variety of informal outdoor experiences where regular use is encouraged through careful placement and attractive design.
- Provide for the efficient use of water through the use of natural drainage systems, the onsite well, drought tolerant landscaping and use of pervious surfaces.

### 2.1.1 Land Use Plan

The Valiano Specific Plan (Plan) is an approximately 239-acre residential community. The Plan is comprised of two primary components, the residential neighborhoods and the open space, park and recreation areas.

The Plan has been designed to demonstrate sustainable design practices through a variety of measures including energy efficient home design, functional street trees, native and drought resistant plant materials, and Low Impact Development (LID) storm water facilities, which are intended to reduce the overall footprint of the community. A significant amount of vegetation is proposed, and many existing trees are preserved. A system of interconnected public and private trails provides an alternative mode of travel. The Plan shall use landscape shading of paved and hardscape surfaces and employ the use of high reflective and porous materials that will significantly reduce the heat gain of pavements by the sun. The Plan shall use cool pavement technology where possible for roadways and sidewalks to help reduce energy consumption, air pollution, and greenhouse gas emissions. The final location of the cool pavement areas will be identified during final engineering.

In addition to regulatory requirements, the Project would incorporate several design features and best management practices to reduce construction and operational GHG emissions. The energy features would also be verified in the Title 24 Compliance Report submitted during the building permit process. These features include:

- Participation in the California Green Builder Program;
- Enhanced heating, ventilation and air condition (HVAC) systems and duct seals insulation (15 percent above 2008 Title 24);
- Enhanced ceiling, attic and wall insulation (15 percent above 2008 Title 24);
- High-efficiency water heaters;
- Energy-efficient three-coat stucco exteriors;
- High-efficiency window glazing;
- Energy Star appliances and energy-efficient lighting;
- Renewable energy would supply 100 percent of residential electricity needs per planning area (Neighborhoods 1-5), which may include but not be limited to, rooftop solar or mandatory continued enrollment in SDG&E's SunRate, or equivalent, renewables program;
- Residential electric vehicle charging stations that would provide electrical capacity and appropriate circuitry in proximity to vehicle parking areas and/or garages;

- Parallel hot water piping or hot water recirculation systems;
- Buyer-optional high-efficiency clothes washers;
- Drought-tolerant landscaping plan;
- High efficiency drip irrigation systems;
- The use of reclaimed water from the proposed wastewater treatment and water reclamation facility (WTWRF) for outdoor irrigation;
- The Project would provide areas for storage and collection of recyclables and yard waste for each residence;
- Maximization of shade and minimization of impervious surfaces;
- Low-Volatile Organic Compounds (VOC) coatings and sealants during construction and operation;
- Educational materials (such as brochures) that provide information regarding the use of low-VOC paints and consumer products shall be provided to every residence.
- Natural gas fireplaces;
- Traffic calming measures where allowed;
- Use of Tier 4 construction equipment;
- Building products that have at least 10 percent recycled content;
- Use of recycled materials for flooring, and sustainable wood products and other recycled materials where possible; and
- Prepare a Construction and Demolition Debris Management Plan that requires 90 percent of inerts and 70 percent of all other materials to be recycled during construction, in compliance with the County's Municipal Code.
- .

### 2.1.2 Residential Neighborhoods

Residential development is proposed in five neighborhoods within the Plan area. **Figure 2-1** depicts the neighborhood layout. Each neighborhood will have a unique housing product type. Descriptions of each neighborhood, including the number of units and average lot size is provided below.

#### Neighborhood 1

Neighborhood 1 includes 98 single family residential units. Lot sizes in Neighborhood 1 will be a minimum of approximately 5,630 square feet with an average lot size of approximately 8,400 square



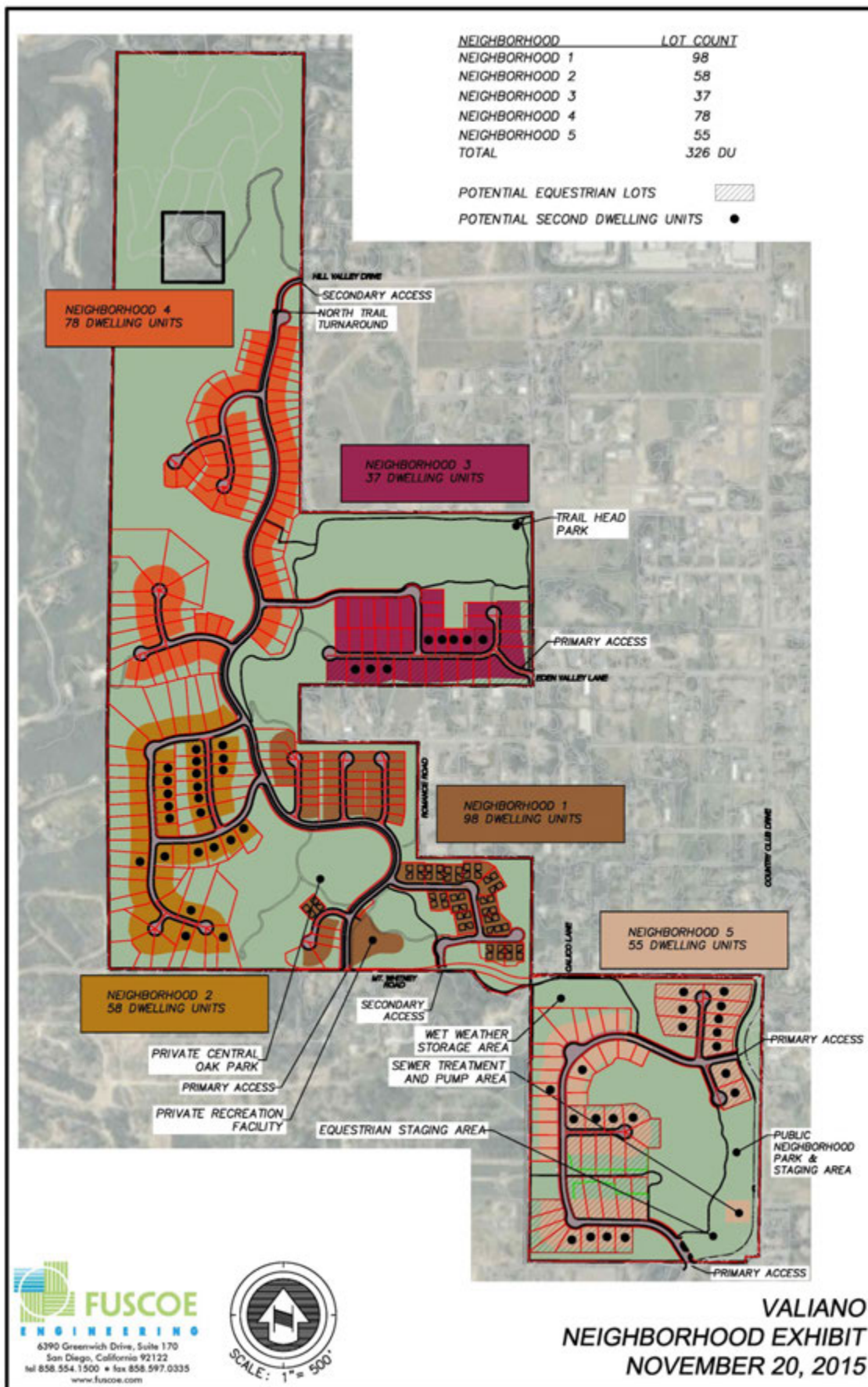
feet. Two housing types are planned within this area including: (1) a cluster of detached courtyard homes sharing a common lot with home sizes ranging from approximately 1,800 to 2,100 s.f. and (2) standard lots with homes ranging from approximately 2,350 s.f. to 2,750 s.f. Accessory Dwelling Units are not allowed in Neighborhood 1.

**Figure 2-2a** shows a typical lot configuration, setback and product footprint for this neighborhood. Lots will be a minimum of 50 feet wide and 100 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home.

**Figure 2-2b** shows a typical courtyard configuration, setback and product footprint for the smaller lot homes. These detached condos share a common lot with a minimum of 110 feet wide and 120 feet deep. Homes will be set back 5 feet from the side yard lot lines, a minimum of 20 feet from the rear lot line, and a minimum of 15 feet from the front lot line. There will be a minimum of 10 feet between homes. Garages are oriented to the interior shared driveway.

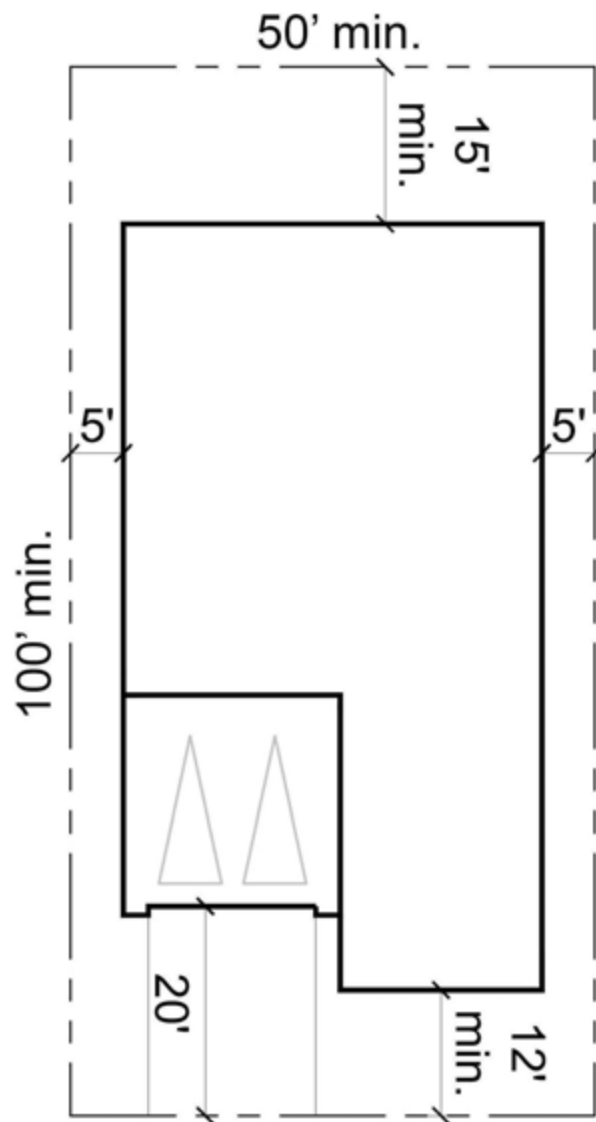
### Neighborhood 2

Neighborhood 2 includes 58 single family residential units. Lots are clustered to limit impact footprints. Lot sizes in Neighborhood 2 will be a minimum of 8,620 square feet with an average lot size of approximately 19,200 square feet. Neighborhood 2 homes will range from approximately 3,600 s.f. to 4,000 s.f. in size. Neighborhood 2 can accommodate 23 Accessory Dwelling Units.



**Valiano Specific Plan  
County of San Diego**

**Figure 2-1**  
**Neighborhood Layout**

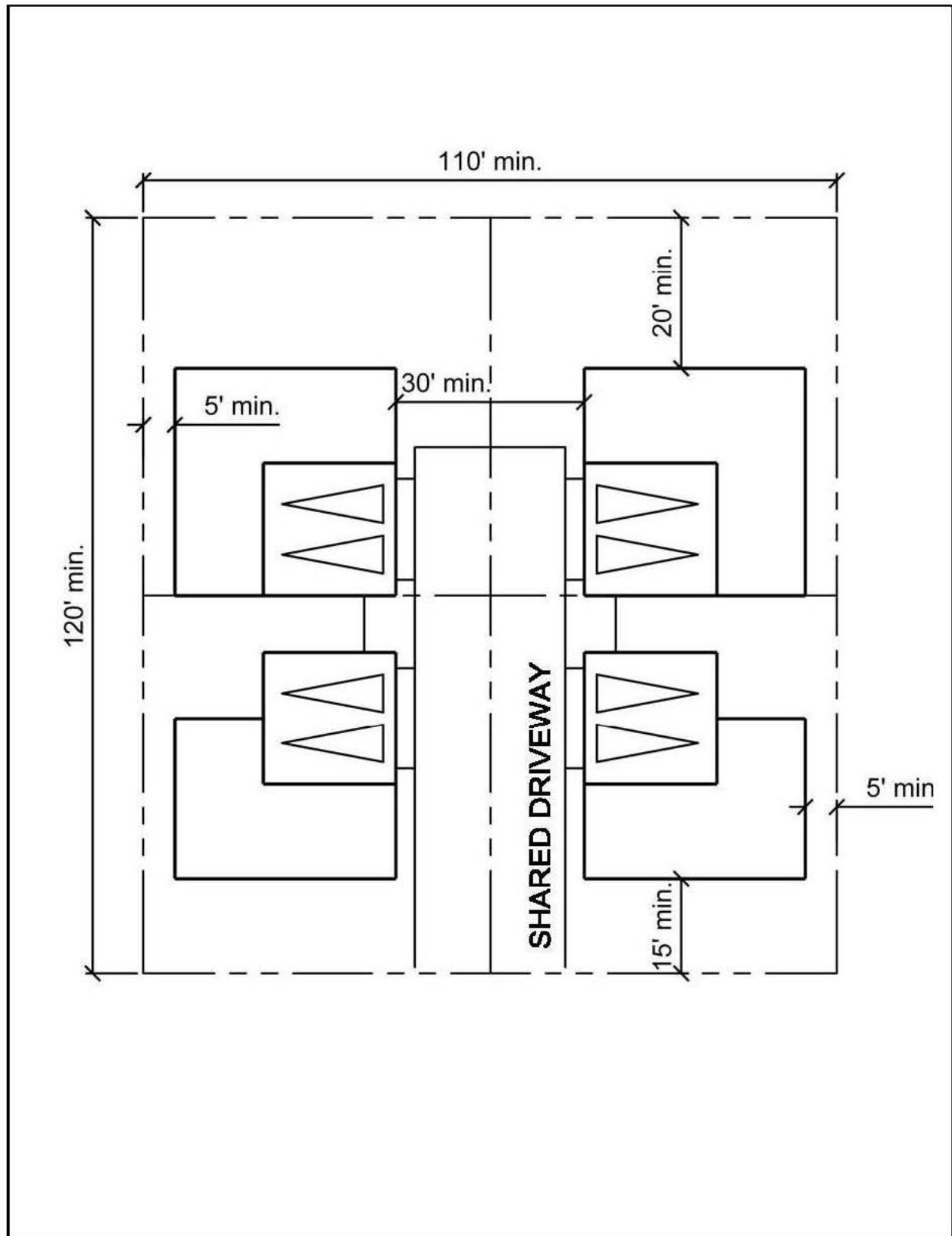


## NEIGHBORHOOD 1

Source: Summa Architecture

Valiano Specific Plan  
County of San Diego

**Figure 2-2a**  
Neighborhood 1 - Typical Configuration  
Footprint and Setbacks



Source: Summa Architecture

Valiano Specific Plan  
County of San Diego

**Figure 2-2b**  
Neighborhood 1 - Courtyard Configuration  
Footprint and Setbacks

**Figure 2-3a** shows a typical lot configuration, setback and product footprint for this neighborhood. Lots will be a minimum of 70 feet wide and will be a minimum of 113 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home. Neighborhood 2 may have Accessory Dwelling Units which are ideal for multi-generational families. The unit could be attached or detached from the primary unit and would be a minimum of 8 feet from the rear lot line and no greater than 50 percent of the width of the main structure. **Figure 2-3b** presents configuration examples for these secondary units. Secondary Dwelling Units would comply with section 6156(x) and other applicable sections of the Zoning Ordinance, except that they would be allowed on lots smaller than 20,000 square feet as long as they met the setbacks set by this Specific Plan and the Vesting Site Plan. In addition, Accessory Dwelling Units within the Valiano Specific Plan could provide one parking space instead of two because they will not exceed 640 square feet and are expected to house extended family members instead of two-car families.

### Neighborhood 3

Neighborhood 3 includes 37 single family residential units. Lots are clustered to limit impact footprints and to maximize the areas for the Trail Head recreation feature and trail components. Lot sizes in Neighborhood 3 will be a minimum of 9,680 square feet with an average lot size of over 14,600 square feet. Neighborhood 3 homes will range from approximately 3,800 s.f. to 4,200 s.f. in size.

Lot configurations, setbacks and product footprints for this neighborhood will be the same as Neighborhood 2. Garages will be attached and set back from the front of the home.

Neighborhood 3 can also accommodate up to 8 Accessory Dwelling Units. The unit could be attached or detached from the primary unit, up to 640 square feet in size, and would be a minimum of 8 feet from the rear lot line and no greater than 50 percent of the width of the main structure.

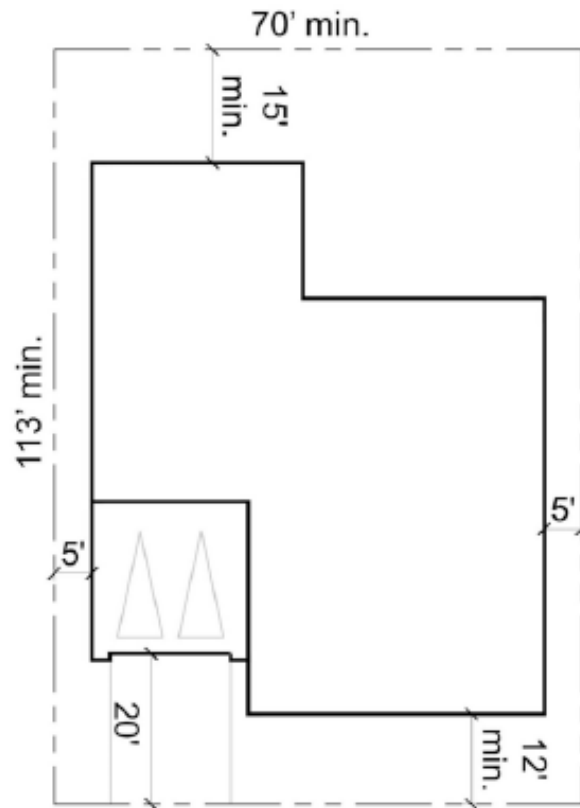
Neighborhood 3 can also accommodate an animal enclosure on 16 lots. Animal enclosures must have the same front setback as the home, a side yard setback of 15 feet and a rear seatback of 10 feet. **Figure 2-4** depicts a typical layout and setback for a lot that includes an animal enclosure. The project CC&Rs and HOA would allow grazing of leisure and market animals in residential fenced front yards.

### Neighborhood 4

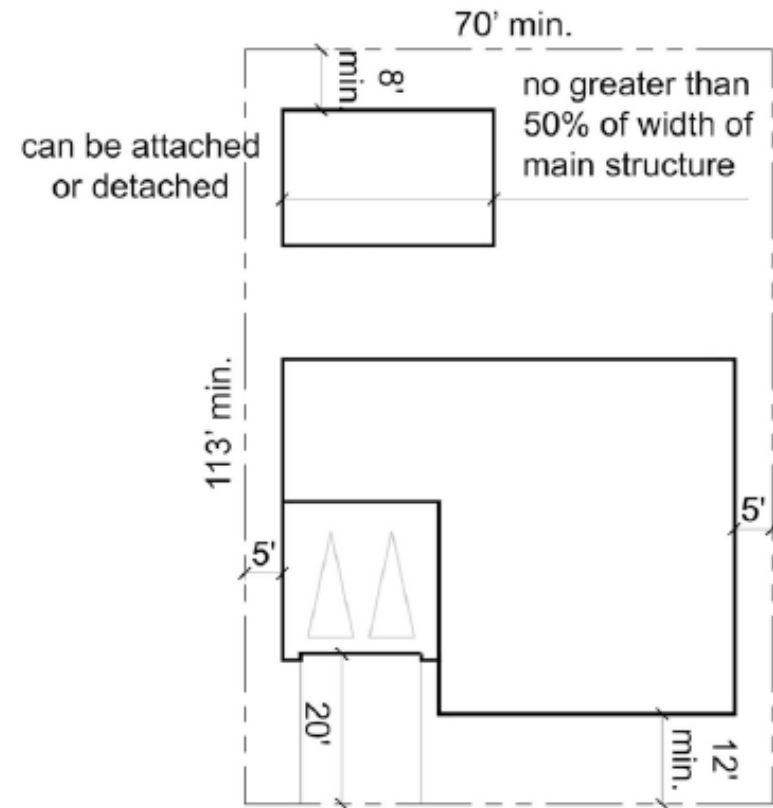
Neighborhood 4 includes 78 single family residential units. Lots are clustered to limit impact footprints and to maximize retention of existing agriculture in the Plan area. Lot sizes in Neighborhood 4 will be a minimum of 7,000 square feet with an average lot size over 14,700 square feet. Neighborhood 4 homes will range from approximately 3,200 s.f. to 3,600 s.f. in size.

**Figure 2-5.a** shows a typical lot configuration, setback and product footprint for this neighborhood. Lots will be a minimum of 63 feet wide and 105 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home. Accessory Dwelling Units would not be allowed in Neighborhood 4.



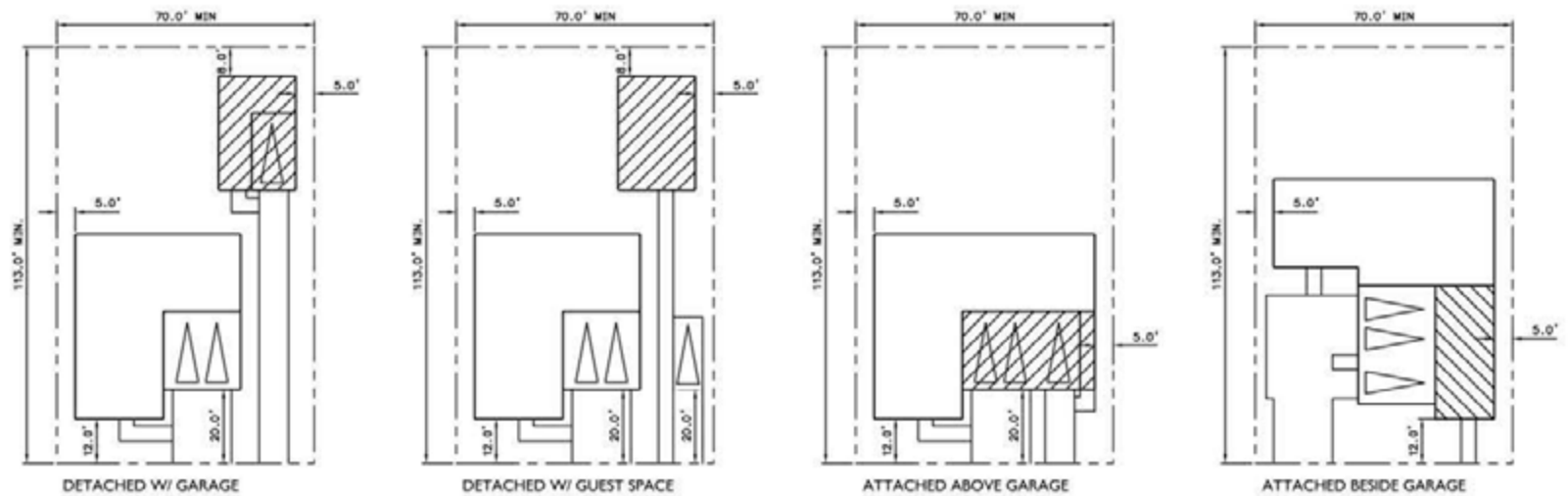


NEIGHBORHOOD 2, 3



NEIGHBORHOOD 2, 3  
MULTI-GENERATION SETBACK

Source: Summa Architecture

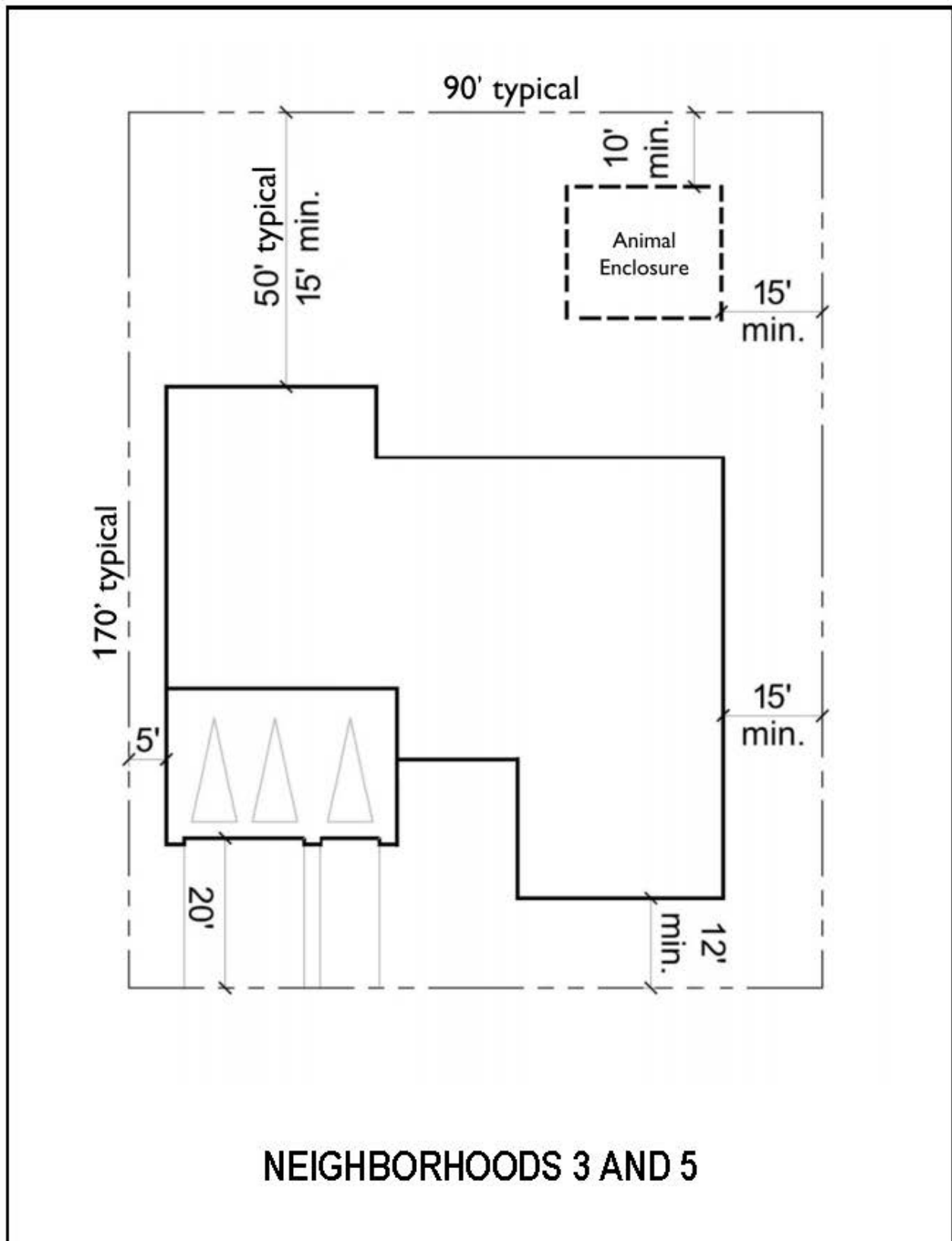


EXAMPLES OF ACCESSORY UNIT CONFIGURATIONS

Source: Summa Architecture

Valiano Specific Plan  
County of San Diego

**Figure 2-3b**  
Neighborhoods 2 and 3 - Footprints and Setbacks



Source: Summa Architecture

Valiano Specific Plan  
County of San Diego

**Figure 2-4**  
Neighborhoods 3 and 5  
Footprint and Setbacks

### Neighborhood 5

Neighborhood 5 includes 55 single family residential units, some with wider and deeper lots to allow horse and market animal keeping. Lots are clustered to limit impact footprints and to maximize the retention of an existing water feature within this neighborhood. Lot sizes in Neighborhood 5 are a minimum of 8,350 square feet with an average lot size of approximately 17,200 square feet. Neighborhood 5 homes will range from approximately 4,100 s.f. to 4,600 s.f. in size. Neighborhood 5 can accommodate up to 20 Accessory Dwelling Units.

**Figure 2-4** shows a typical lot configuration, set back and product footprint for this neighborhood. Lots will be a minimum of 50 feet wide and 100 feet deep. Homes will be set back five feet from the side yard lot lines, a minimum of 15 feet from the rear lot line and a minimum of 12 feet from the front lot line. Garages will be attached and set back from the front of the home.

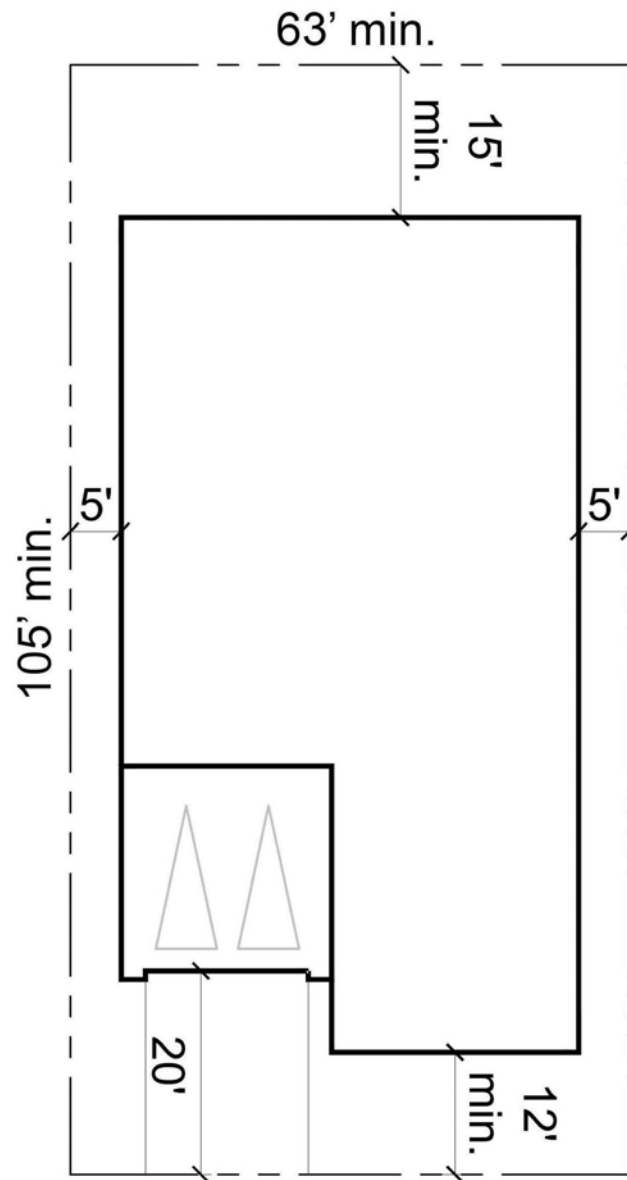
Neighborhood 5 can also accommodate an animal enclosure on some lots. Animal enclosures must have the same front setback as the home, a side yard setback of 15 feet and a rear seatback of 10 feet. The project CC&Rs and HOA would allow grazing of leisure and market animals in residential fenced front yards.

### Subdivision Ordinance

Section 84.401.b of the Subdivisions Ordinance states that subdivisions should have a minimum lot size of 6,000 s.f. Six reduced sized lots were included in the Plan in Neighborhood 1 to allow the development to comply with the County's General Plan policies regarding clustering and the desire to reduce the development foot print and maximize open space. A clustered design is more beneficial than meeting the standard minimum lot size because it allows for the preservation of larger blocks of resources, including biological open space and agricultural open space areas.

Section 84.401.d of the Subdivision Ordinance states subdivisions should have 50-foot frontage independent of side yard setbacks. With 5-foot side yard setbacks, this means the required frontage is 60 feet. The Plan includes some lots in Neighborhoods 1, 4 and 5 that are less than 60 feet wide. Neighborhoods 1 and 5 are located in flatter areas of the site that will not require grading in the side yards; thus, the lots less than 60-feet wide will be able to accommodate single-family residences of a size suitable for the area. Narrower lots are proposed to comply with the County's General Plan policies regarding clustering and the desire to reduce the development foot print and maximize open space, as further described above. Several of the lots in Neighborhood 4 which have a width of less than 60 feet at the narrowest point are wedge-shaped lots which are wider towards the back of the lot, so that the majority of the lot is greater than 60 feet in width. This includes lots 163, 180-182, 196-204, 210, 213, 215, 224-226. In other cases, the lot width has been reduced in order that the lots may fit within the

challenging existing topography of this Neighborhood. Section 84.401.e states that cul-de-sac frontage must be a 33-foot minimum. Six of the proposed cul-de-sacs in the Plan area do not meet this minimum. Some reduced sized cul-de-sacs were included in the project to allow the development to comply with the County's General Plan and the requirements to reduce the development foot print and maximize open space. Section 84.401.i of the Subdivision Ordinance states lots should have a length to width ratio or 3:1 or less. The developable pads satisfy the 3:1 ratio. In some instances, the lot lines in the rear of the lot were extended to the project boundary, top/toe of slope, or adjacent lot line in order to avoid odd-shaped lots and to give the homeowners the benefit of additional lot area.



## NEIGHBORHOOD 4

Source: Summa Architecture

Valiano Specific Plan  
County of San Diego

**Figure 2-5.a**  
Neighborhood 4 - Footprint and Setbacks

### 2.1.3 Architectural Styles

Building styles within the Plan area would include a variety of architectural themes and styles, including Craftsman, European Cottage, Mission, Monterey, Spanish and Italian. By providing a variety of architectural styles, the future homes will feature varied facades which will create a pleasing experience from the roadway. The overall character of Community is intended to convey a spirit of timeless elegance as represented by the traditional building styles of Southern California. Although these styles originated in Europe and the Mediterranean, they have been adapted by the constraints of climate, topography and tradition to become a regional representation of a lifestyle.

It is Important to note that while these are uniquely individual styles, many of their features and characteristics are interchangeable. The purpose of this section of the Design Guidelines is not to restrict, but to inspire in order to create a varied, but consistently high level of architectural design. The following descriptions loosely define the character of the styles in more detail, and how they might be applied to building sites.

**Spanish** - This style (**Figure 2-5b**) is generally adapted from the early *ranchos* of California and *haciendas* of Mexico. This style is more informal with larger roof overhangs. Structures are primarily low and wide profile with the occasional use of "miradors", a turret or tower element, with one story portions. Roof pitches are 3:12 to 5:12, with deep-set openings. Stucco is the dominant wall material with the occasional use of painted masonry. Roofs are flat or 'S' shaped tile, typically with a random pattern. Colors should be similar to Mission style. Stone columns and ornate, stucco pilasters and columns are used to define major openings and support the beams of the loggias and porches, shutters and lintels are used as accents windows and doors. Eave overhangs could be 18" to 24", and supported on exposed beams with corbeled ends.

**Italian** - This classic design style (**Figure 2-5b**) is derived from the many regions of the Italy, particularly Tuscan and Roman influences. The basic forms are characterized by strong two story volumes. Roof pitches are dominated by hips and are usually 4:12 to 5:12 pitch. Openings are typically symmetrical and balanced with obvious order and importance of Entry. A tower or pediment could be used to announce the main entrance. Stucco with a semi-smooth finish, usually is the predominant wall material. Colors will be muted earth tone; hues could be yellow or cream to the rust range. Tile, brick, and stone are common accent materials. Roofs are covered with concrete or clay tiles. Openings are usually

## *2.0 Land Use and Design*

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surrounded by ornate trim. Eave overhangs are large usually supported with corbels or built-up cornices. A unique feature to the style is the use of 'quoins' which replicated the limestone edges of the exterior walls. Sculptural iron work and wood shutters could be appropriate accents.





## ITALIAN



## SPANISH

*Source: Summa Architecture*

**Valiano Specific Plan  
County of San Diego**

**Figure 2-5b**  
Spanish Italian

**Mission** - This classic design style (**Figure 2-5c**) is derived from the many regions of the Mediterranean, particularly Southern Spain and Northern Africa. The basic forms are characterized by simple strong one and two-story volumes. Roof pitches are shallow, usually 3:12 to 4:12. All major openings are deep-set twelve inches (12") to give the appearance of substantial walls and structure. Stucco with a semi-smooth finish, is the predominant wall material. Although white is the "typical" color, hues should be in the light tan to beige range. Tile, brick, and stone are common accent materials. Roofs are covered with Spanish 'S' shaped tile. Arched openings could be used with restraint. Molded plaster and cut stone are used as accents for major openings. Eave overhangs are small usually formed with a plaster cornice mold with the occasional use of exposed beam ends as accents, particularly at porches and loggias.

**Monterey** - The Monterey style (**Figure 2-5c**) has its origins in northern California as a combination of the Spanish *haciendas* and Colonial styles imported by early settlers from New England. The structures are a combination of thick wall adobe construction and refined wood detailing. Plan forms are very simple, generally horizontal two-story volumes with secondary single-story wings. Roofs are generally 4:12 pitch. The predominant characteristic of the style is the horizontal second floor balcony usually over the entry side of structure. Stucco and painted masonry are the predominant wall materials. Colors range from light beiges and tans to darker earth colors with lighter colors used for trim. Roofs are traditionally flat or barrel clay tile with heavy timber columns to support the porches. "Colonial" doors and windows could be blended with the Hispanic traditions of deep-set windows and thick walls. Shutters are commonly used for accent windows. Second floor portions could be cantilevered for visual relief to the simple horizontal lines.



## MONTEREY



## MISSION

Source: Summa Architecture

Valiano Specific Plan  
County of San Diego

**Figure 2-5c**  
Mission Monterey

**Craftsman** - This classic design style (**Figure 2-5d**) is derived from the Arts & Crafts movement in the last turn of the century which even took influence from some Japanese architecture. The height of the style was demonstrated by the Gamble House in Pasadena. The basic forms are characterized by wide proportions in one and two-story masses. The style is dominated by gable roofs with shallow pitches and extended eaves, typically 3:12 to 4:12 pitch. Porches typically reach out to welcome guests with tapered columns and stone bases. A mix of siding and plaster are common wall materials. Colors are meant to come from the earth and can be dark tones such as olive or burnt umber. The roof should be flat concrete tile with high definition shingle relief. Openings are typically trimmed with an extended head and sill angle cut to show the artistry of the carpenter. Wood kickers, braces and outlookers typically accompany the gables and ridges. Windows mullions with smaller top quarters help distinguish the theme.

**European Cottage** - This classic design style (**Figure 2-5d**) is derived from the many regions of Europe, particularly France and Great Britain. The basic forms are characterized by vertical one and two-story volumes. Roof pitches are steep, usually 5:12 to 8:12. Gable end rakes are typically tight with the roof tile rolled over. All major openings are deep-set twelve inches (12") to give the appearance of substantial walls and structure. Stucco with a smooth finish is the predominant wall material. Although white is the "typical" color, hues should be in the light tan to beige range. Tile, brick, and stone are common accent materials. Roofs are covered with flat shaped concrete tile. Detailing is usually simple as the style is not historically adorned with many ornaments. Shutters, sometimes arched, can add accent color to the elevation. The gable end can include some wood detail to reflect the historical framing such as 'half-timbering' or with clipped gables to create the style.





**EURO COTTAGE**



**CRAFTSMAN**

*Source: Summa Architecture*

**Valiano Specific Plan  
County of San Diego**

**Figure 2-5d**  
**Craftsman & European Cottage**

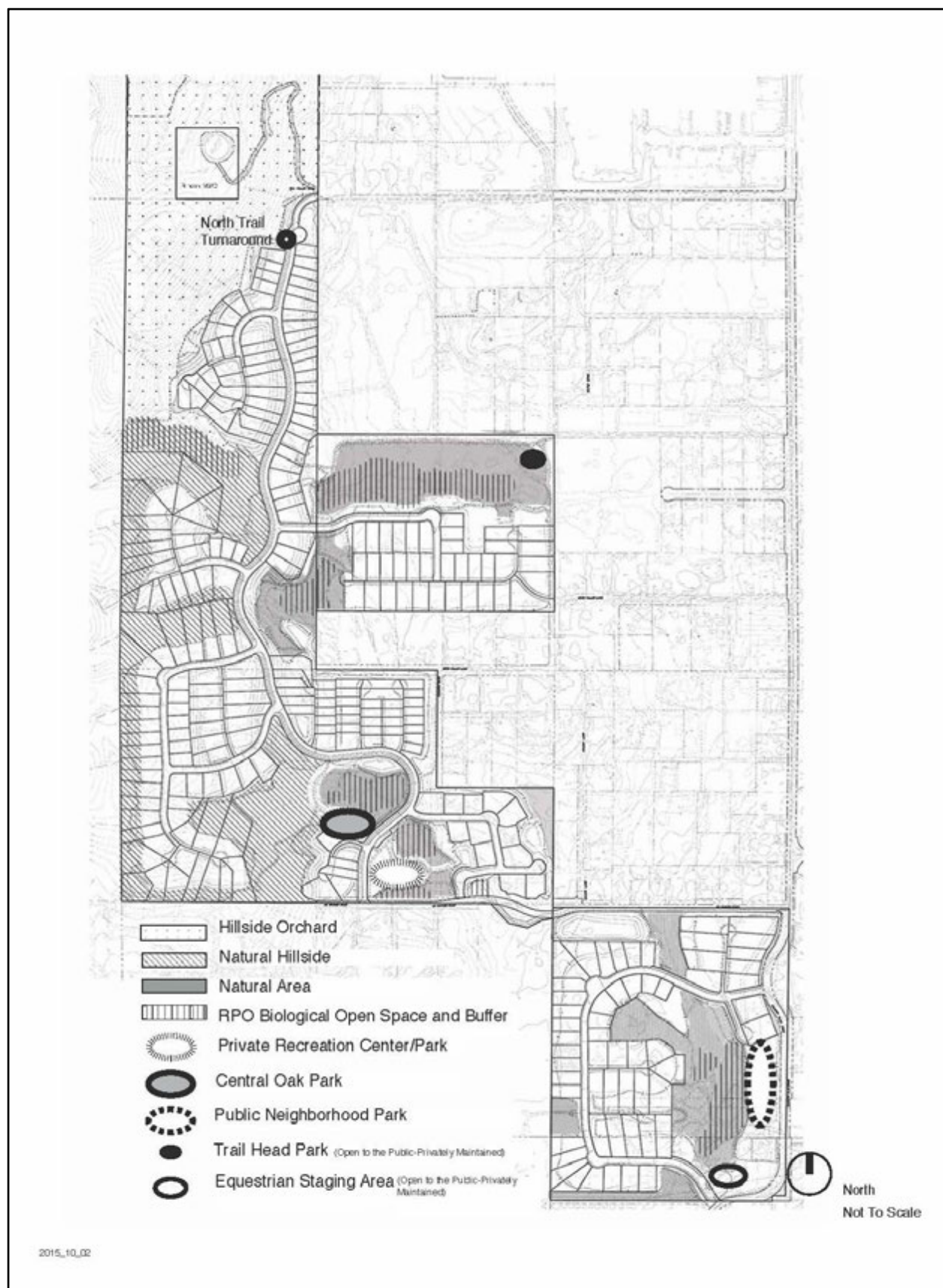
## **2.1.4 Parks, Recreation and Open Space**

### **Community Open Space Features**

Open space, recreation and trails provide the backbone to a successful community as well as connectivity. Within the Valiano Specific Plan there is one public park and several private parks, recreation and open space opportunities for residents of all ages to enjoy. An overview of the open space and recreation features is presented in **Figure 2-6**. A comprehensive multi-use trail system will also provide access to regional park and trail systems for Eden Valley residents.

The recreation opportunities for Valiano will be casual in nature, such as open lawn areas, rustic picnic areas, benches and trails. Trails provide ample physical activity in the form of walking, running, horse riding, mountain biking. Other relaxing activities such as observing nature, bird watching, painting, photography, or picnicking are encouraged. Areas set aside for storm water management will feature grasses and other plants that will treat the initial runoff and will be integrated into the open space design.

In order to provide local park experience, the project seeks park credit for both public and private park experiences for future residents. Park land dedication is based on the requirements set forth in the Park Lands Dedication Ordinance (PLDO) for the Escondido Local Park Planning Area (LPPA). The Valiano Specific Plan provides a total of 3.2 net acres of applicable private and public park credit that exceeds the PLDO requirement of 2.79 acres (**Table 2-1**).



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-6**  
Open Space and Recreation

**Table 2-1. Summary of Park Acreage Type and Credit**

	Units	Required sf/du	Requirement	
<b>Required Acreage</b>				
Escondido LLPA	326	373.74 sf/du	2.79 acres	
<b>Provided Acreage</b>				
<i><b>Park Name</b></i>	<i><b>Public or Private</b></i>	<i><b>Gross Acres</b></i>	<i><b>Net Acres (Per PLDO)</b></i>	<i><b>PLDO Credit</b></i>
Public Neighborhood Park and Staging Area	Public	2.65	1.42	100%
Private Central Oak Park	Private	1.23	0.61	50%
Private Recreation Facility	Private	2.33	1.17	50%
Equestrian Staging Area – Round Pen, Trail Connection	Public	1.19	0.00	0%
Trail Head Park	Private	0.45	0.00	0%
North Trail Turnaround	Private	0.03	0.00	0%
<b>Totals</b>		<b>7.88</b>	<b>3.20</b>	

Each of the parks emphasizes the rural context and open-space aspect of the community and allows for the preservation of natural habitat. Organized sports facilities are not included. The parks are described in detail below. **Table 2-2** summarizes the individual park amenities and proposed phasing. The overall project will be phased with up to four phases. Park amenities would be provided in the first 50 percent of development.



**Table 2-2. Proposed Amenities and Phasing**

<b><i>Park Name</i></b>	<b><i>Proposed Amenities</i></b>	<b><i>Phase</i></b>
Public Neighborhood Park and Staging Area	Open Lawn Area, One Group Shade Structure, Three Picnic Tables, Children's Play Areas with Age Separated Activities, Half-Court Basketball, One Horse Hitching Station, Seating areas, Community Garden, One Kiosk with Trail Map, Five Benches, public restroom, and Off Street Parking	Phase 1
Private Central Oak Park	Open Lawn Area, Trails, Two Picnic Tables, Four Benches, One Small Shade Structure, and two Exercise Stations	Phase 2 or 3
Private Recreation Facility A	Swimming Pool with Community Room, Restrooms, Shade Structure, Two Picnic Tables, One Children's Play Area, Open Lawn Area	Phase 2 or 3
Private Equestrian Facility	Public Trail Connection, Round Pen, Public Horse Trailer Parking	Phase 1 or 2
Trail Head Park	Two Picnic Tables, Two Benches, One Kiosk with Trail Map. Horse Tie Up	Phase 2, 3, or 4
North Trail Turnaround	One Bench, Trash Receptacle, Signage, Shade Trees	Phase 5

***Public Neighborhood Park and Trail Staging Area*** - Valiano includes a 2.65-acre public Neighborhood Park located in the southeast portion of the Plan Area adjacent to Country Club Drive. This Neighborhood Park has been designed as a natural park to seamlessly integrate and complement the rural character of Eden Valley. It is intended to provide a local gathering space and pedestrian staging area for residents within Eden Valley. The Neighborhood Park is designed to include a variety of programming opportunities including, but not limited to open lawn area, group shade structure, picnic areas, children's play areas with age separated activities, half-court basketball, a horse hitching station, and a community garden. Structures and amenities shall be designed to reflect the rural design of the community and be reflective of its landscape and architectural character. **Figure 2-7** presents a concept plan for the Public Neighborhood Park.

The Public Multi-Use Trail runs through the park and pedestrian access is provided from the surrounding neighborhoods. Park design shall incorporate unique cultural elements or focal points consistent with the history of the property to create a distinct identity.

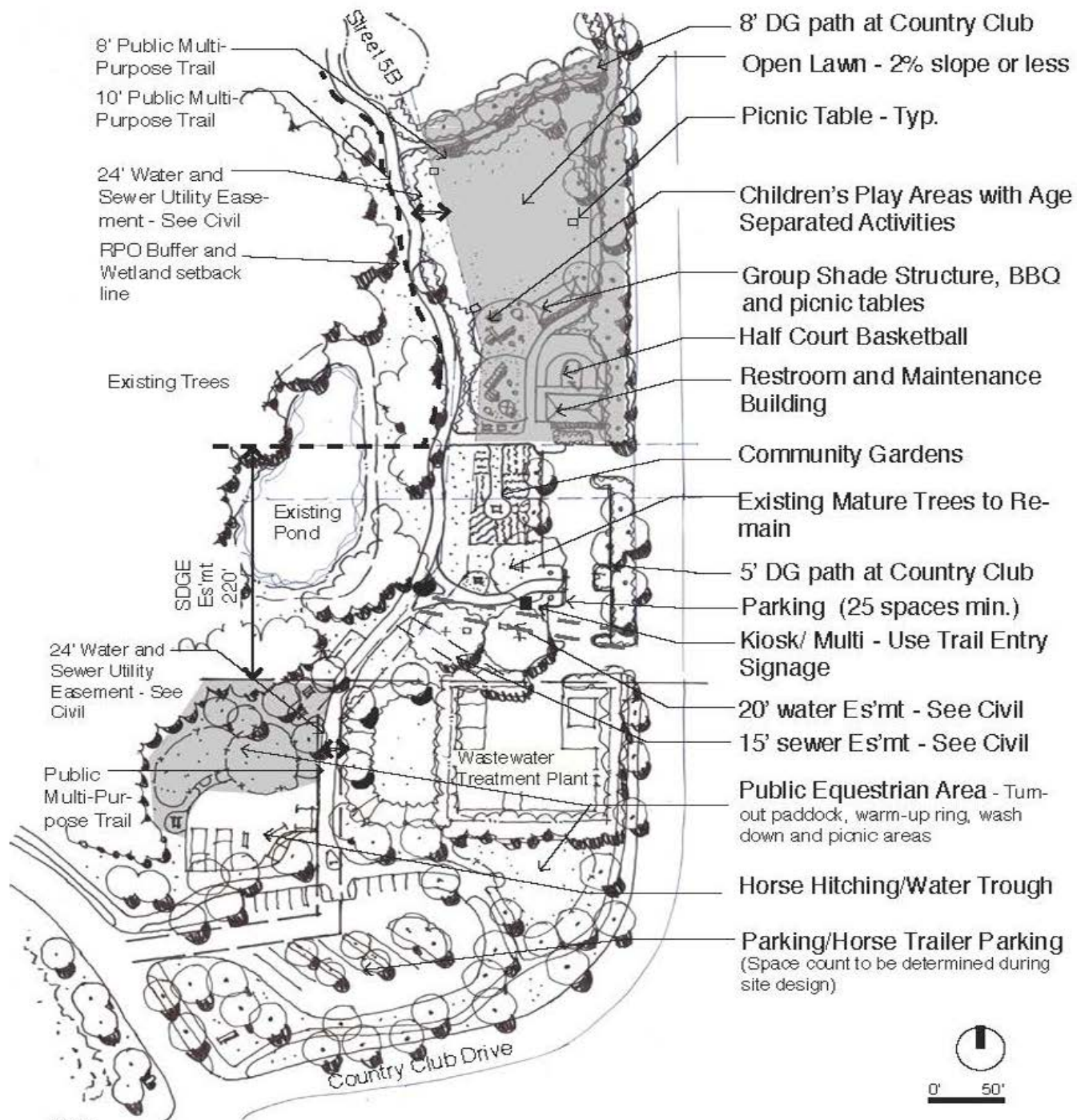
***Private Central Oak Park*** - Truly a treasure, this existing grove of mature oaks will be preserved for the community to enjoy. It is located along the Community Parkway as a symbol of the important visual and

social role it will play in the community. It is conveniently connected to neighborhood walks and the public multi-use trail (**Figure 2-7b**). This 1.23-acre park will maintain existing habitat, and provide opportunities for both active and passive recreation such as open lawn areas, picnic areas, two fitness nodes, and informal children's play areas. Informal play areas may consist of interestingly designed pathways, random arrangement of boulders, logs and other natural objects that can provide a variety of play opportunities to encourage children to use their imagination or create their own adventure game. A fitness course or fitness stations is proposed along the private trail system within the park. The park will be privately maintained. No other additional uses that require parking are allowed.

**Private Recreation Facility** - The Valiano Recreation Center located off of Mount Whitney Road will be a private facility for residents. It is part of the entry experience into the community and visually connected to the Central Oak Park (**Figure 2-7b**) and to community trails. The 2.33-acre Park will include a small community building, swimming pool, open lawn area, picnic areas, and a children's play area. The built facilities will be carefully nestled into the mature landscape and riparian area. Limited parking will be provided on street. No other additional uses that require parking are allowed.

**Equestrian Staging Area** – Portions of the existing equestrian training on the property will remain and be maintained by the HOA and operated privately, yet open to the public. The site will be reconfigured to allow public horse trailer parking and use of an exercise ring for the public to access the multi-use trail (conceptual design in **Figure 2-7** to be refined during final engineering).

**North Trail Turnaround** – At the north end of the multi-use trail, a convenient turnaround has been provided with shade trees, benches, trash receptacle, and trail signage (**Figure 2-7a**). The Trail End Turnaround will be maintained by the Valiano Homeowners Association.

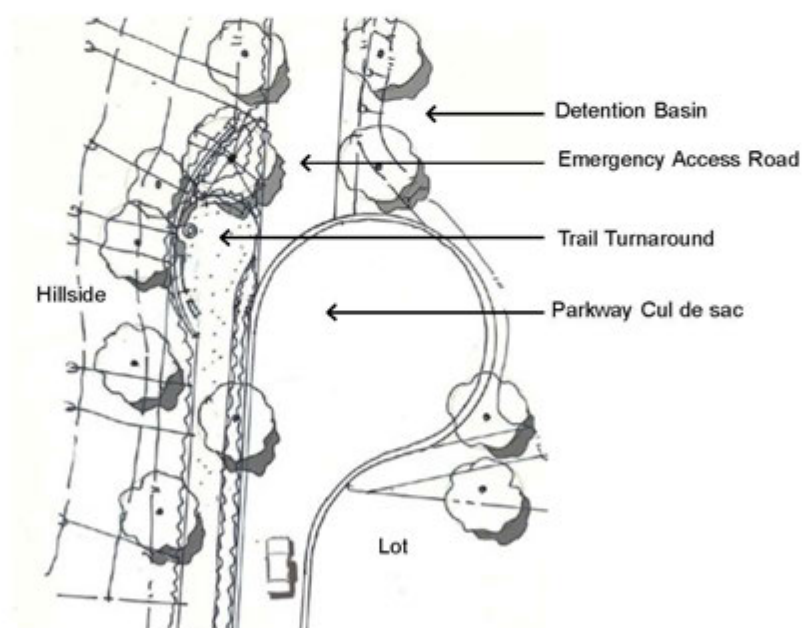
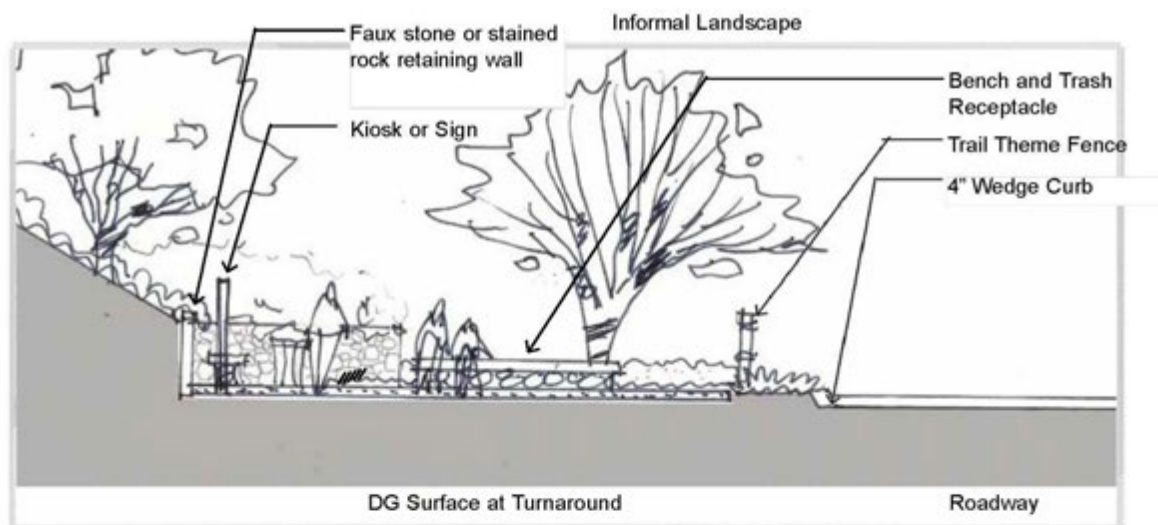


Note:  
Park facilities and program locations are conceptual and subject to further review and refinement. Shaded area shows area used for park credit. All Public Park facilities shall be maintained by the County of San Diego. Equestrian Area is privately operated but open to the Public. See Park Table for Park Credit breakdown.

Source: Monica Simpson ASLA

**Valiano Specific Plan**  
**County of San Diego**

**Figure 2-7**  
**Public Neighborhood Park Concept Plan**

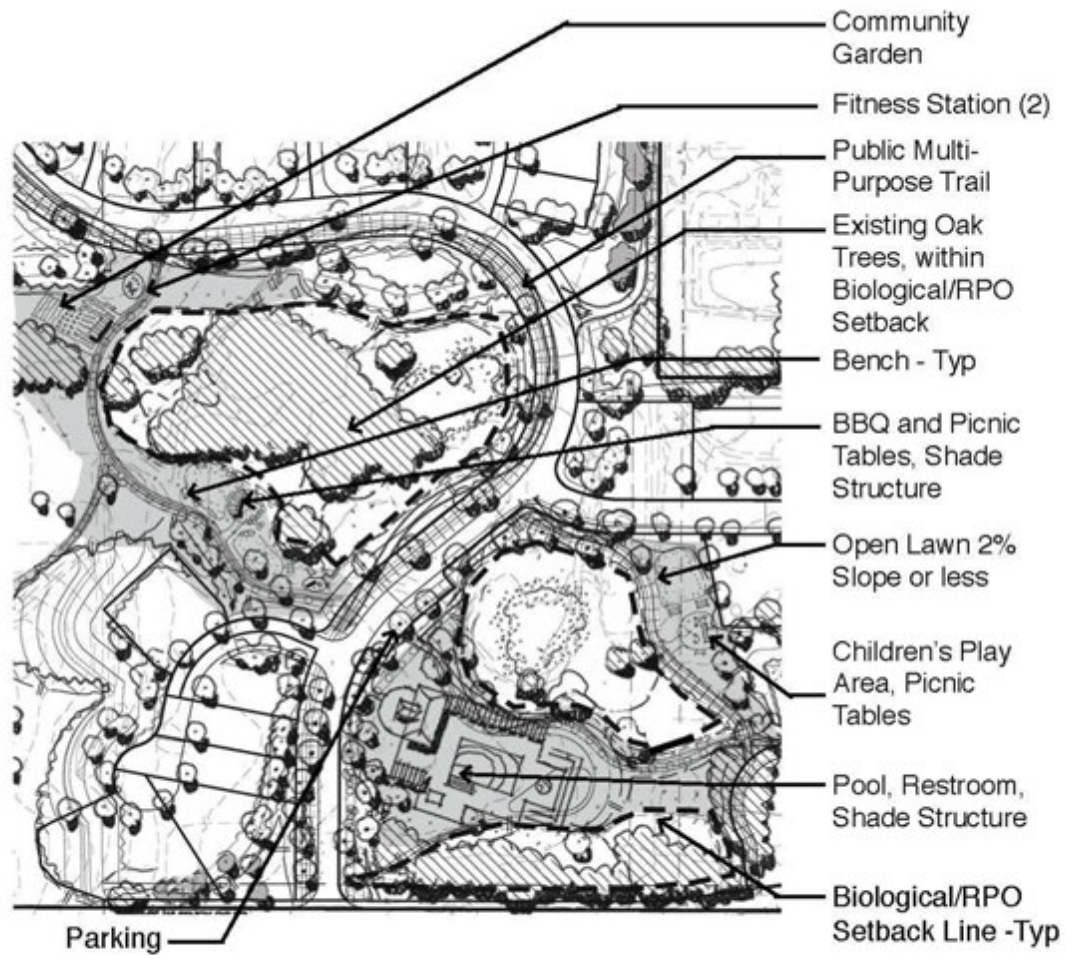


Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-7a**  
North Trail Turnaround



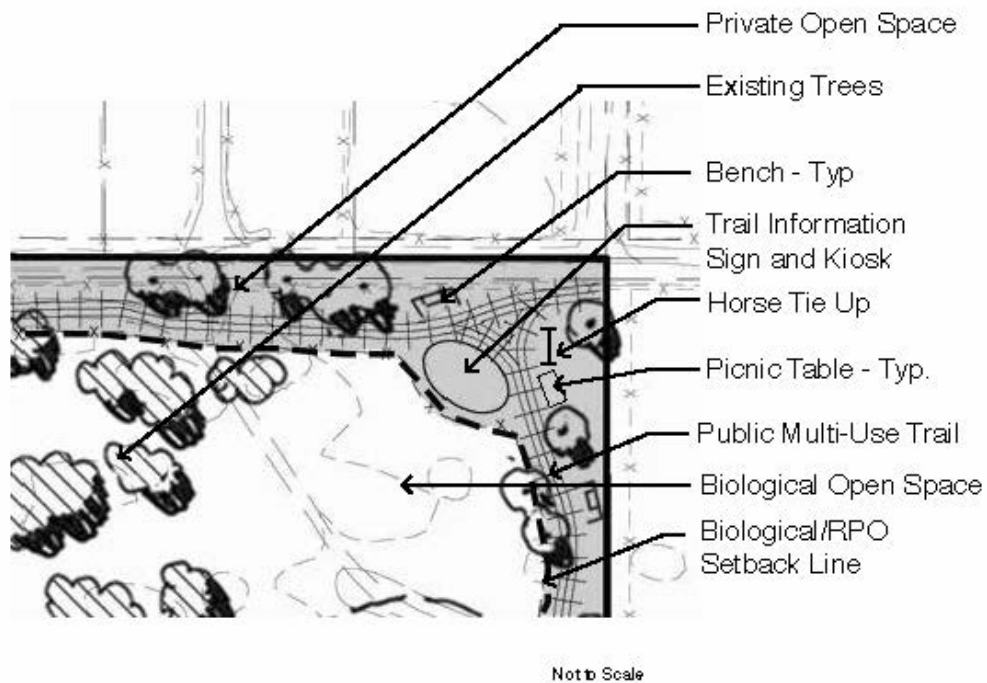


Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-7b**  
Private Recreation Facility and Central Oak Park

**Trail Head Park** – An approximate 0.5-acre Trail Head Park is proposed within the eastern portion of the project in Neighborhood 3 and will provide convenient non-motorized access to the trail system for Eden Valley residents to the east of the Plan area. The Trail Head Park (**Figure 2-7c**) is intended to have benches, picnic tables, and a trail map/area information kiosk. The Trail Head Park will be maintained by the Valiano Homeowners Association. Motorized access to the public trail system will be provided at the Public Neighborhood Park.



## Trail Head Park

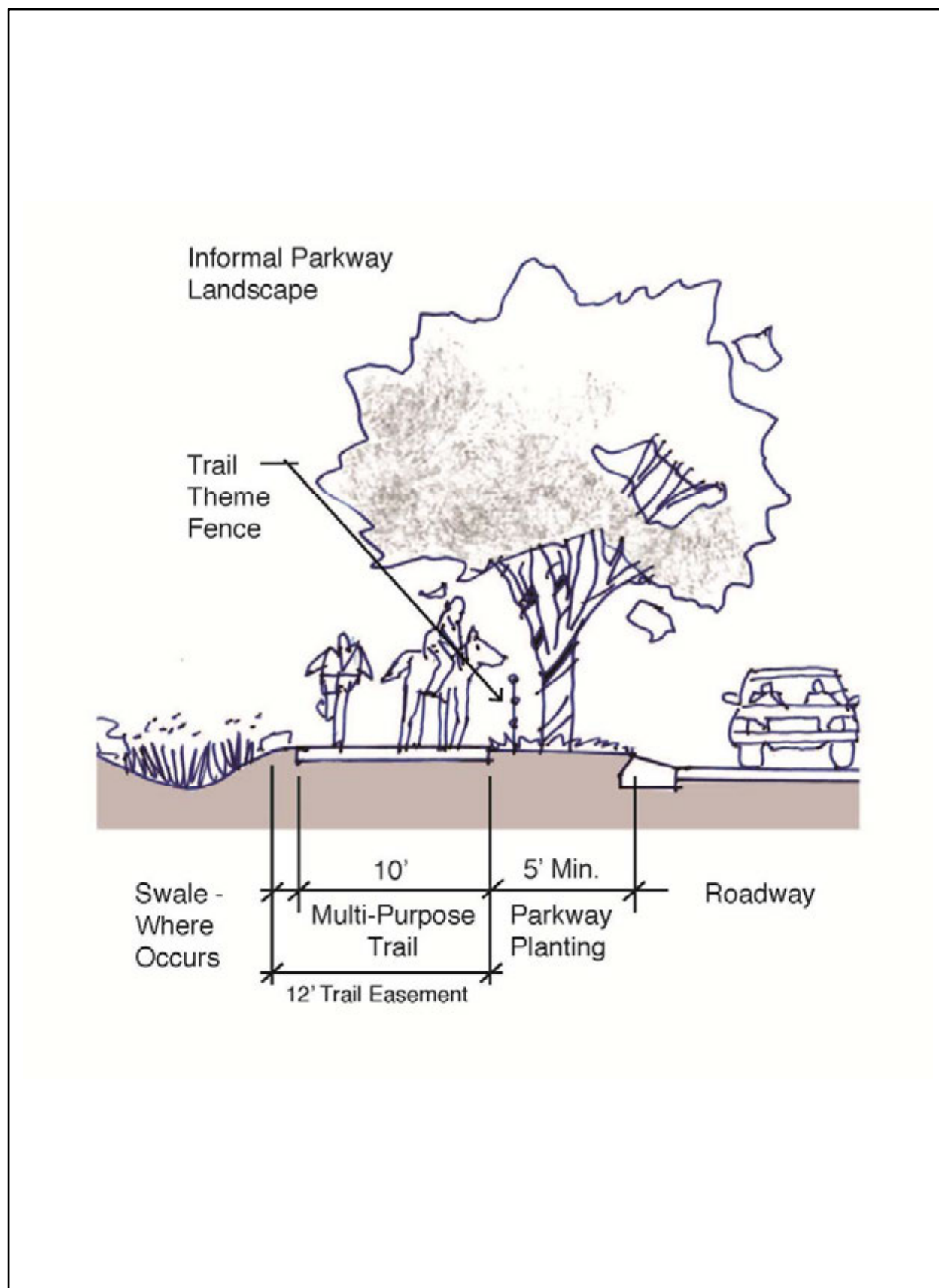
A privately maintained park allowing Eden Valley resident access to the County maintained Public Multi-Use Trail.

Source: Monica Simpson, ASLA

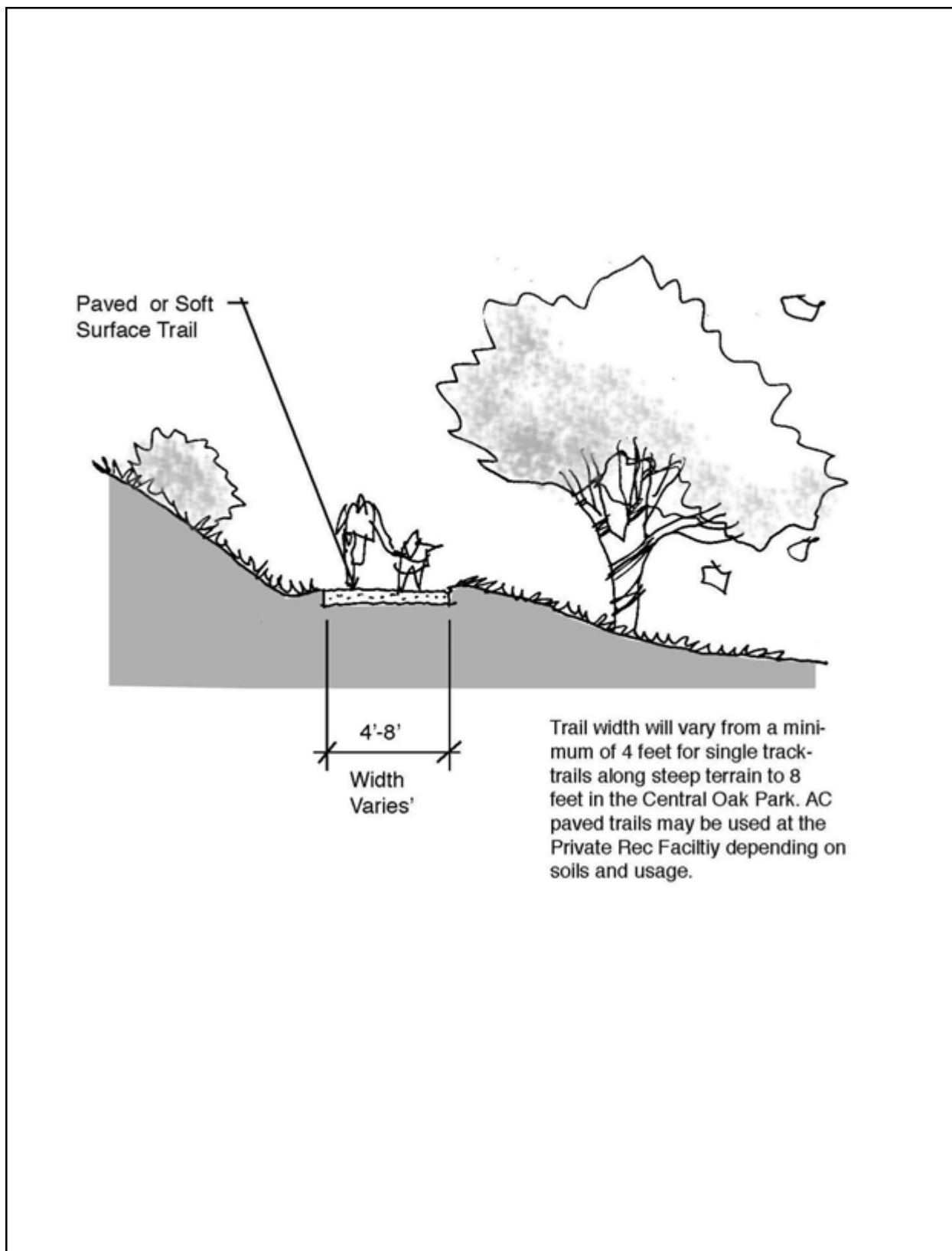
### Trails

Public multi-use trails and private internal trails will link key open space features of the site and will connect the site to offsite public trails and nearby residents. The multi-use trail will be 10 feet wide and intended to provide equestrian, hiking, biking, jogging and nature viewing, highlighting Valiano's unique open space features. The trail is intended to be a respite from daily life, a place to explore and learn about the wonders of nature and encourage a healthy lifestyle. The trail will run entirely along the community parkway, in addition to connecting with parks and open space. The public trail is within the private road system and will require an easement and dedication to the County and will also require an additional easement within the private road for the County to access the trail for maintenance. A cross section of the multi-use trail is presented in **Figure 2-8**. Smaller private pedestrian trails will be located within the community connecting to residential neighborhoods as well as linking to the public multi-use trail. A cross section of the private pedestrian trails is presented in **Figure 2-9**. **Figure 3-12** shows the locations of the trails.





Source: Monica Simpson, ASLA



Source: Monica Simpson, ASLA

### 2.1.5 Community Identity Elements

The strength of the natural landscape should have an overwhelming effect on the shape, form, and style of the identifying features for Valiano. While there will be no public buildings, there is an opportunity to create an identifying architectural vocabulary through the landscape. **Figure 2-10** and **2-10a** presents the key community identity elements.

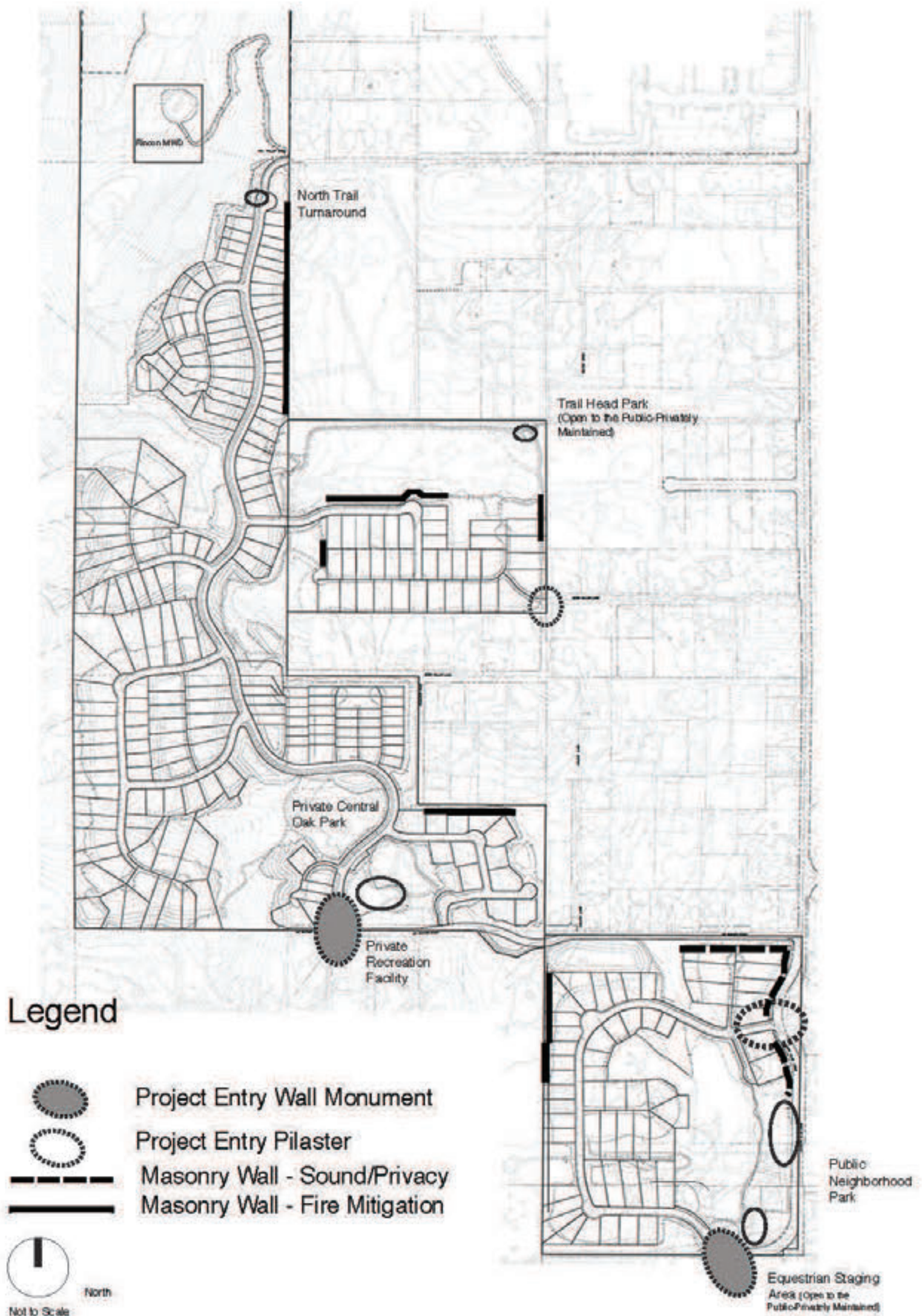
A series of landscape architectural features are proposed to be placed at key points in the community. These elements complement the landscape and include shade structures, creek crossings, documentation, signage, walls and fences. The natural materials found in the surrounding landscape—the color, scale, massing, and texture—shall be incorporated into the designs. Park structures are proposed to be located at the Trail Head area and the natural park. These community landmarks or icons will provide neighborhood focus and places to meet and gather. The final design of the elements will be coordinated with the design of the community recreation center and project entry monumentation.

**Monumentation and Signage** - Consistent with the existing character of Eden Valley, signage will be quiet and understated. Natural materials will be used in the design of the community signage in addition to other materials as appropriate. The goal of the signage program will be that of creating a sense of discovery. Rather than being a large scale, monumental community element, the signage of Valiano will be integrated with the imagery of the natural and agricultural landscape.

To maintain this character at the entry into the community, the landscape and monumentation proposed is minimal and open. Low rock walls and boulders similar to the native rocks found in the area will be used. Signage will be subtle and understated. Landscape will be characterized by large groves of native and other canopy and vertical accent trees, groups of boulders and low water using plants. There are two main entries into the northern community, one at Mount Whitney Road and the other at Hill Valley Drive. The southern property has two entries off of Country Club Drive.

**Community Structures** - The identity of the community is enhanced with a series of landmarks that can be discovered in the landscape. These structures will be typically found in parks and open space areas and can be shade structures, trellis gateways, stone benches or other pieces of site furniture that can be as are intended to be as interesting as the surrounding nature.

These elements will become visual icons and provide places for the residents to gather and relax. Site furniture within the parks can vary but should be of the same family of rustic yet modern elements, with ease of long term maintenance in mind.

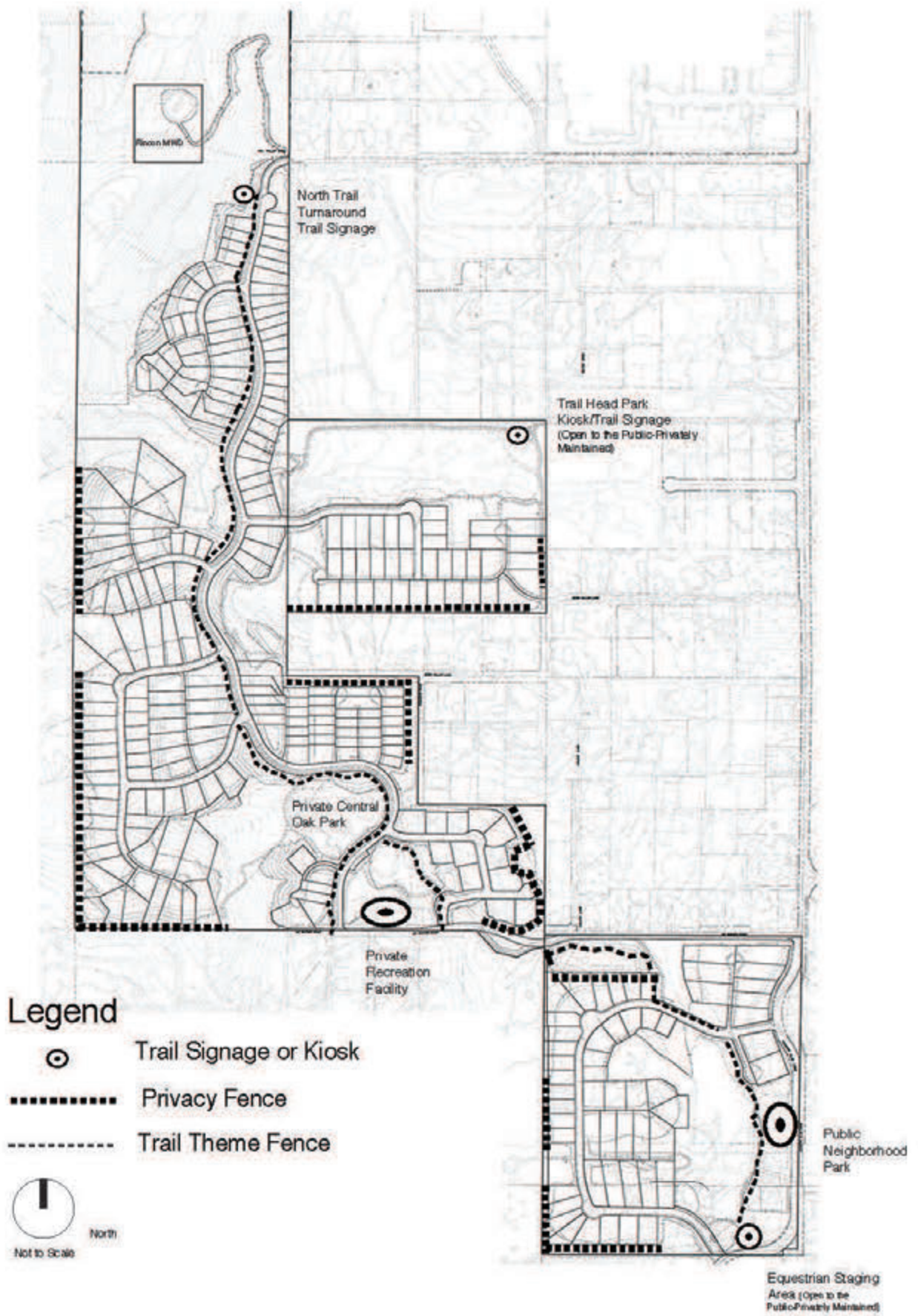


Source: Monica Simpson, ASLA

**Valiano Specific Plan**  
**County of San Diego**

**Figure 2-10**  
Wall and Monument Plan

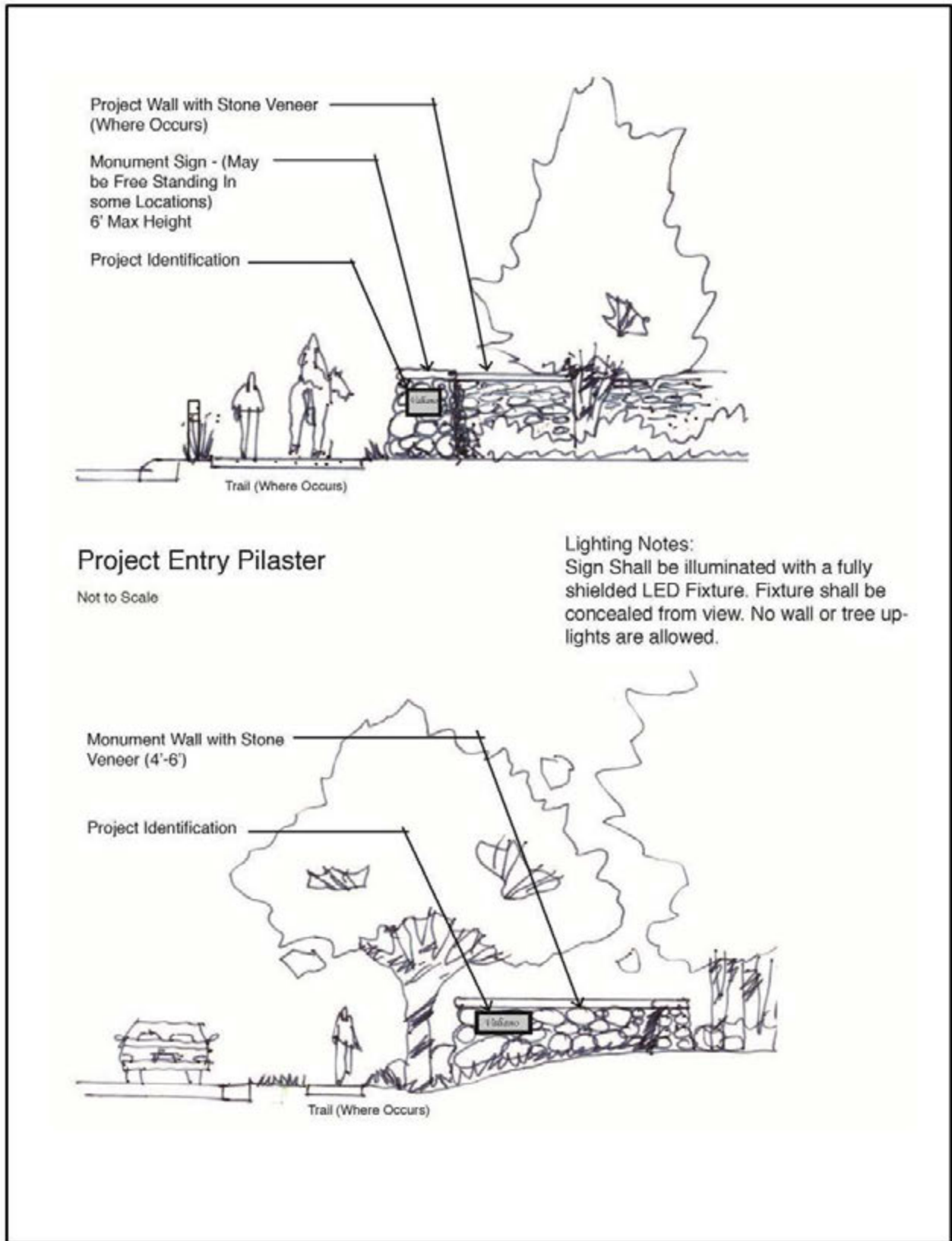




Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-10a**  
Fence Plan



Source: Monica Simpson, ASLA

**Walls and Fencing** - Generally the design of the walls and fences are intended to recede into the landscape rather than become a dominant visual feature. Walls are located only where necessary for privacy. Low field type stonewalls will be utilized at major project entries.

Fence types may include tube steel and “rustic” character fences such as post-and-rail equestrian fences and shadow box fences among others. Stone and masonry fencing are suited for public areas for screening and sound attenuation purposes and should be minimized. Variation in fence type is encouraged for visual interest and character and in keeping with the eclectic feel of Eden Valley.

Walls and fences that occur on residential lots shall be an extension of the colors and materials of the adjacent residential architecture, visually compatible or be of materials related to the land such as stone. They may occur within the interior yard as an extension of house living spaces, to frame courtyards, to direct views, or to provide privacy. Transparent fencing styles should be used wherever desired to maintain views. All fence materials in fuel modification zones shall conform to fuel modification zone requirements. Fences shall be constructed of non-combustible material or be pressure treated with fire retardant to meet fire-resistive standards as applicable. **Figures 2-11a and 2-11b** present the typical character of walls and fences that would be used within the Specific Plan area.

**Lighting** - Consistent with the rustic character of Valiano, street lighting will be minimal and understated. Rural standards for street lighting will be followed and the County Dark Sky ordinance will be observed. Please see **Figure 2-12** for the lighting exhibit.

The primary objective of common area lighting within the Specific Plan area is to enhance and accent the semi-rural character of the area while establishing a design vocabulary that is pedestrian scaled and does not detract from the environment. By modulating the height, material and quality of the light projected from the fixtures, a consistent lighting design will reinforce the rural character. There are two major distinctions in the lighting fixture characteristics. Project entries, intersections and major streets will receive taller, slightly higher intensity light fixtures. Parks, and people oriented places will have low lighting and pedestrian scale fixtures.

Accent lighting will be used in park and recreation areas. Low voltage accent lighting can add a distinctive quality to the environment and where appropriate light will be directed off trees, rocks and other natural features in non-sensitive areas. Accent light sources should be shielded to eliminate glare and light trespass.

The scale and material of the fixtures should not detract from the image of the community and provide a sense of authenticity. Materials may include metal, wood, composite material and masonry.





**Masonry/Stone Wall**  
Exterior Privacy Wall Option



**Masonry/Stucco Wall**  
Exterior Privacy Wall Option



**Tube Steel Fence**  
Privacy/Security Fence Option



**Post and Rail Fence**  
Trail Theme Fence



**3 Strand Wire Fence**  
RPO Protective Fencing (See EIR)



**Masonry/Fence**  
Privacy/Security Fence Option



**Detailed Solid Fence**  
Privacy/Security Fence Option



**See -Through Fence**  
Privacy/Security Fence Option

See EIR for RPO Fence locations. All walls and fences proposed will conform to Fuel Modification Zone requirements. To promote the rural character, a variety of fence/wall designs are encouraged at the project perimeter

Source: Monica Simpson, ASLA

**Valiano Specific Plan**  
**County of San Diego**

**Figure 2-11a**  
**Wall and Fence Character**

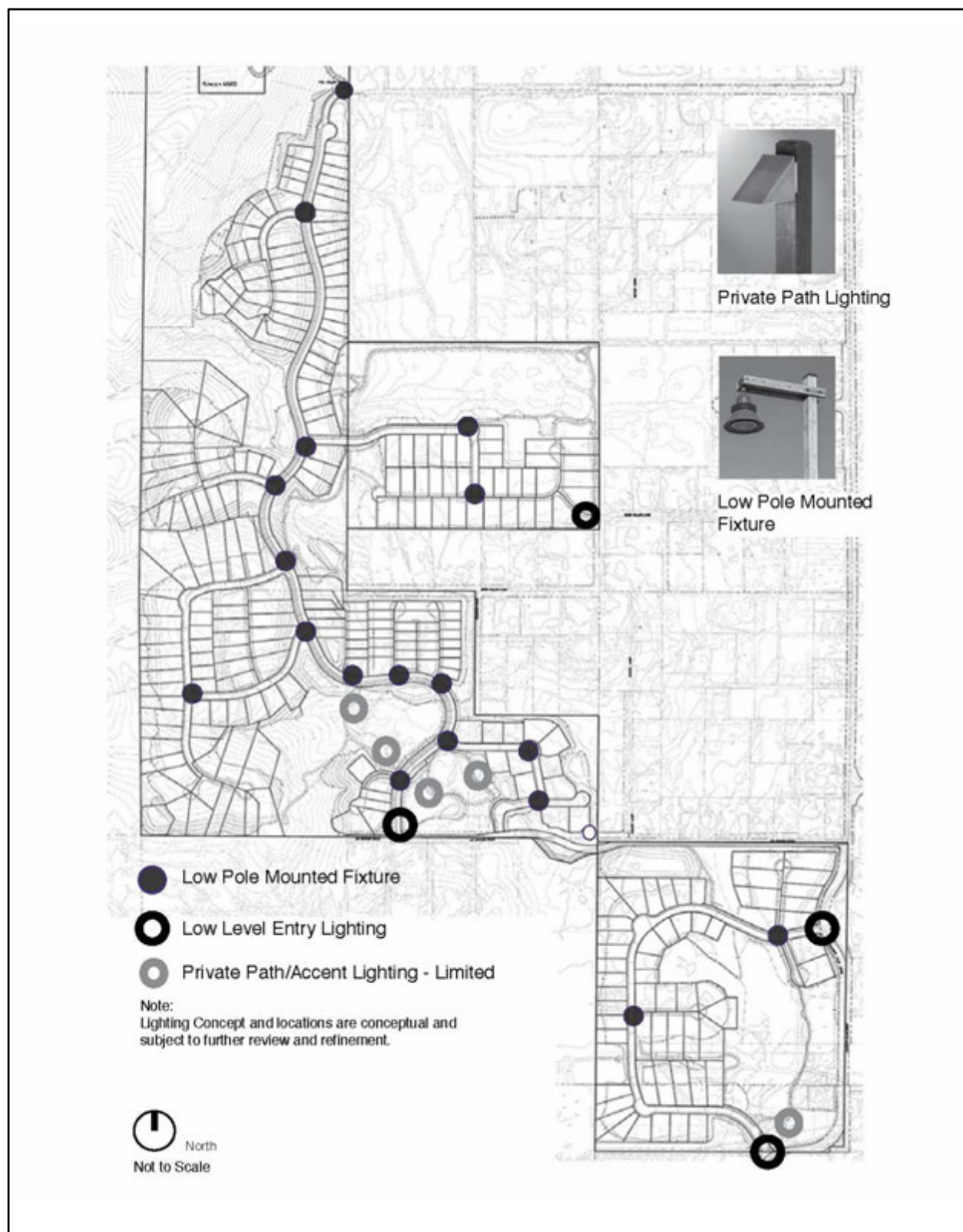




Source: Monica Simpson, ASLA

**Valiano Specific Plan  
County of San Diego**

**Figure 2-11b**  
Retaining Wall Elements



Source: Monica Simpson, ASLA

**Valiano Specific Plan**  
**County of San Diego**

**Figure 2-12**  
**Lighting Plan**

The lighting design will meet all County Ordinance related to light pollution, dark sky protection, and safety. A Lighting Plan will be prepared and submitted to the County which describes the general character and theme of the light fixtures and define how they will vary in public parks and residential areas.

Proposed lighting types include:

- Street Lights on private streets shall be located only at intersections and be a shielded downlight 18 feet to 20 feet tall. Street lights on public roads will meet San Diego Regional Standards.
- Pedestrian lights at trail intersections shall occur at intersections and key locations and be a shielded downlight 10 to 14 feet tall.
- Lighting shall be designed and located to minimize ambient light levels throughout the community but be consistent with public safety standards.
- Lighting near biological open space shall be shielded and directed away from the biological open space.
- Ornamental pedestrian scale fixtures shall be used as much as possible. Full cutoff fixtures, low-reflective surfaces and low-angle spotlights shall be used.
- Lighting shall be designed to minimize glare and the direct view of light sources. No lighting shall blink, flash, or be of unusually high intensity or brightness.
- Light should be generated by efficient light sources to save energy and minimize operating costs.
- Sewage Treatment Plant Lighting shall be planned to minimize illumination of neighboring uses and use full cut off fixtures for all lights. Pole lights shall be shielded, 10 to 14 feet tall.

## **2.2 LANDSCAPE DESIGN CONCEPT**

Landscape is one of the most important components of the Valiano community structure. As an ever-present visual element along the streets, hillsides and along open space, the Valiano landscape plays an important role in creating an environment that is both attractive and meaningful. The landscape design is intended to borrow heavily from the existing natural and agricultural landscape character. The landscape will take advantage of the expansive views of the surrounding valley and hills beyond. The unique geography of the site, as well as the existing oaks and agriculture offer the opportunity to

incorporate several distinct landscape zones. **Figure 2-13** presents the overall landscape concept for the Valiano Specific Plan.

### 2.2.1 Landscape Zones

The landscape zones are based upon topography, landform and natural systems. Within these zones a layer of unique landscape features are proposed to add interest and diversity within the community. The major landscape zones are the Parkway Landscape, the Orchard Hillside Landscape, Natural Hillside landscape, the Woodland Landscape, and the Buffer Landscape. **Figure 2-14** presents the proposed landscape zones. In addition to the major landscape zones, concepts for other community landscape elements are discussed.

The development has maximized protection of trees and vegetation by identifying them early in the process in conjunction with designing the road pattern and lot layout. A tree protection plan and construction staging plan will be prepared for all stages of development identifying any type of protection (e.g., fencing, pruning, grading and drainage) if any, needed for specific trees or groups of trees. These plans will be done under the supervision of a landscape professional. Mitigation for any forests or woodlands to be removed will be completed per the mitigation requirements identified in the biological resources report. Impacts to coast live oak woodland will be mitigated at a 3:1 ratio. Mitigation will be accomplished through the off-site preservation of 20.4 acres of coast live oak woodland or the purchase of a similar number of credits in an approved mitigation bank.

All landscape and irrigation plans shall be prepared by a licensed California Landscape Architect and be submitted to the County of San Diego and to the Master Developer for review and approval prior to the start of construction. Plans shall be in compliance with the County's Water Conservation Landscaping Ordinance, the Water Efficient Landscape Design Manual, the Design Guidelines of the Specific Plan, and the County's Grading Ordinance.

**Parkway Landscape** - The parkway is a key element in the overall plan for Valiano. It is the continuous vegetated feature that links the residential neighborhoods. For the residents it will be a regular part of their lives and a significant ingredient in the image they have of their home. The cadence and rhythm of planting are important.

The planting will consist of informal drifts of trees, shrubs and grasses to evoke a California rural landscape consisting of oaks and sycamores with olives at the entries against the backdrop of the avocado laden hillsides. The parkway also contains numerous vistas into existing mature oak woodlands and new bioswales. Native and ornamental understory shrubs and grasses are used sparingly to reduce maintenance needs and minimize a manicured appearance. Fifty percent of the planting will be native

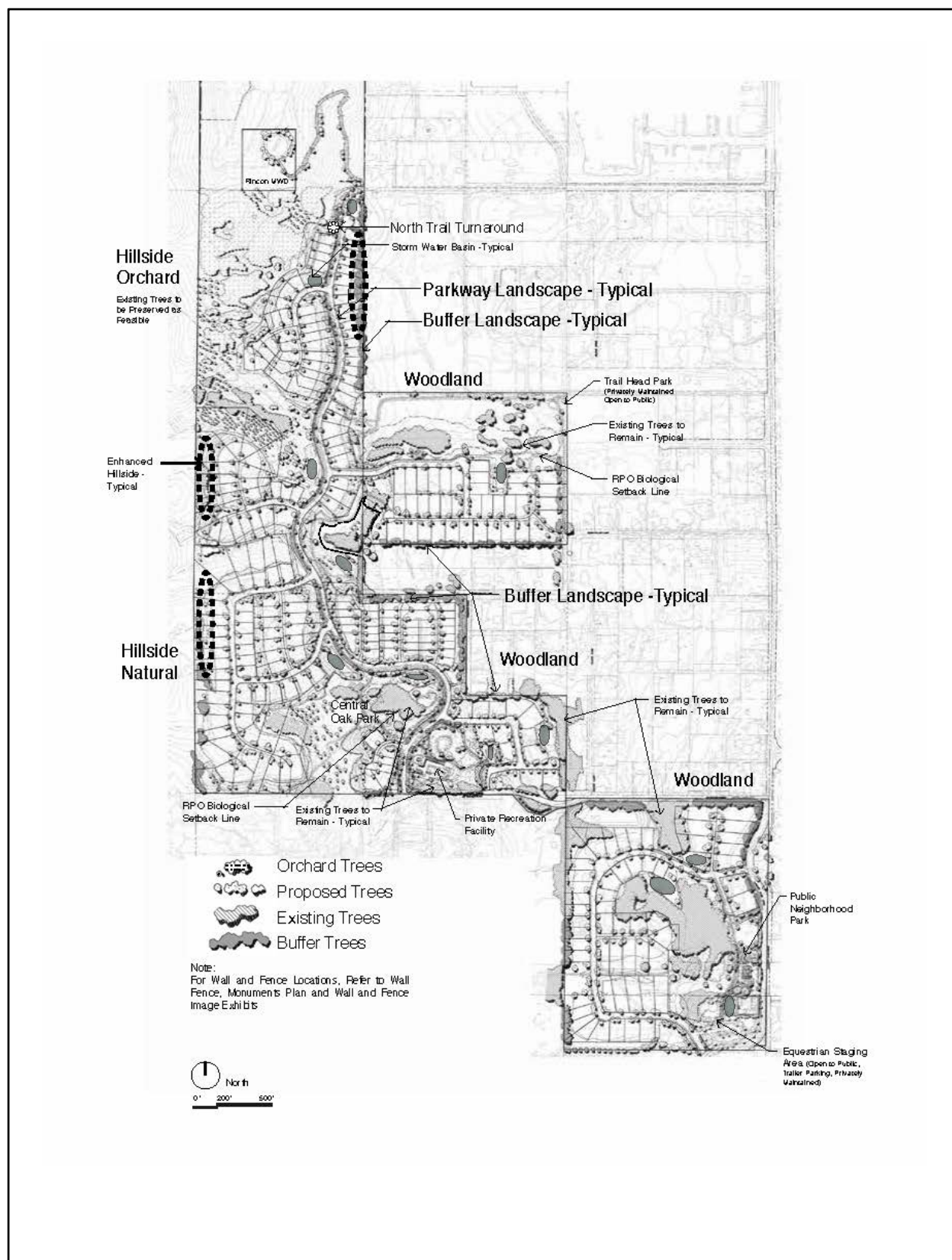
species. Boulders are located to provide interest and maintain the connection with the existing rock features of the area.

**Woodland Landscape** - Existing mature oak and broad canopy trees typify the Woodland landscape. New landscape in this zone has been designed to reinforce the larger natural landscape patterns and utilize the oak woodland and grassland setting that gives the community a sense of beauty and timelessness. Planting designs within this zone are to reinforce the continuity of the overall oak woodland in the street landscape character. Large canopy trees and understory plants are to be planted in large drifts, rather than a diverse mix of plants planted in singles and doubles. It will be a combination of native and proven ornamental species. Country Club Drive is a part of this landscape and will continue the character as proposed for Harmony Grove Village with California peppers and occasional groups of Oaks, Sycamores and Brisbane box. Fifty percent of the planting will be native species.

**Orchard Hillside Landscape** - The land in the northwestern hillside area offers an opportunity to continue agricultural operations that were historically on the Valiano site. Continued opportunity of this area for avocado production and even small-scale viticulture production allows for the semi-rural character of the area to be maintained and become an integrated part of the community landscape fabric. Trees near homes will be selected and sited to provide shade and scale while framing views to the valley. An informal arrangement of plant materials will respond to the functional requirements while providing an overall semi-rural character. Some of these areas are also within the fuel modification zone and plant material type will be restricted. Fifty percent of the planting will be native species.

**Typical Enhanced Hillside** - Planting of slopes and other disturbed areas adjacent to areas of native vegetation shall be accomplished in a manner so as to provide visual and horticultural compatibility with the indigenous native plant materials. Native Plants and hydroseed mixes shall be used where ever possible and appropriate. Trees, and Oaks in particular should be a mix of 1, 5, 15-gallon and 24 and 48-inch box to create a mixed-age stand. For the enhanced plantings on manufactured slopes, one gallon and five-gallon shrubs would be planted in addition to the hydroseed mix. See Plant List for additional understory material.

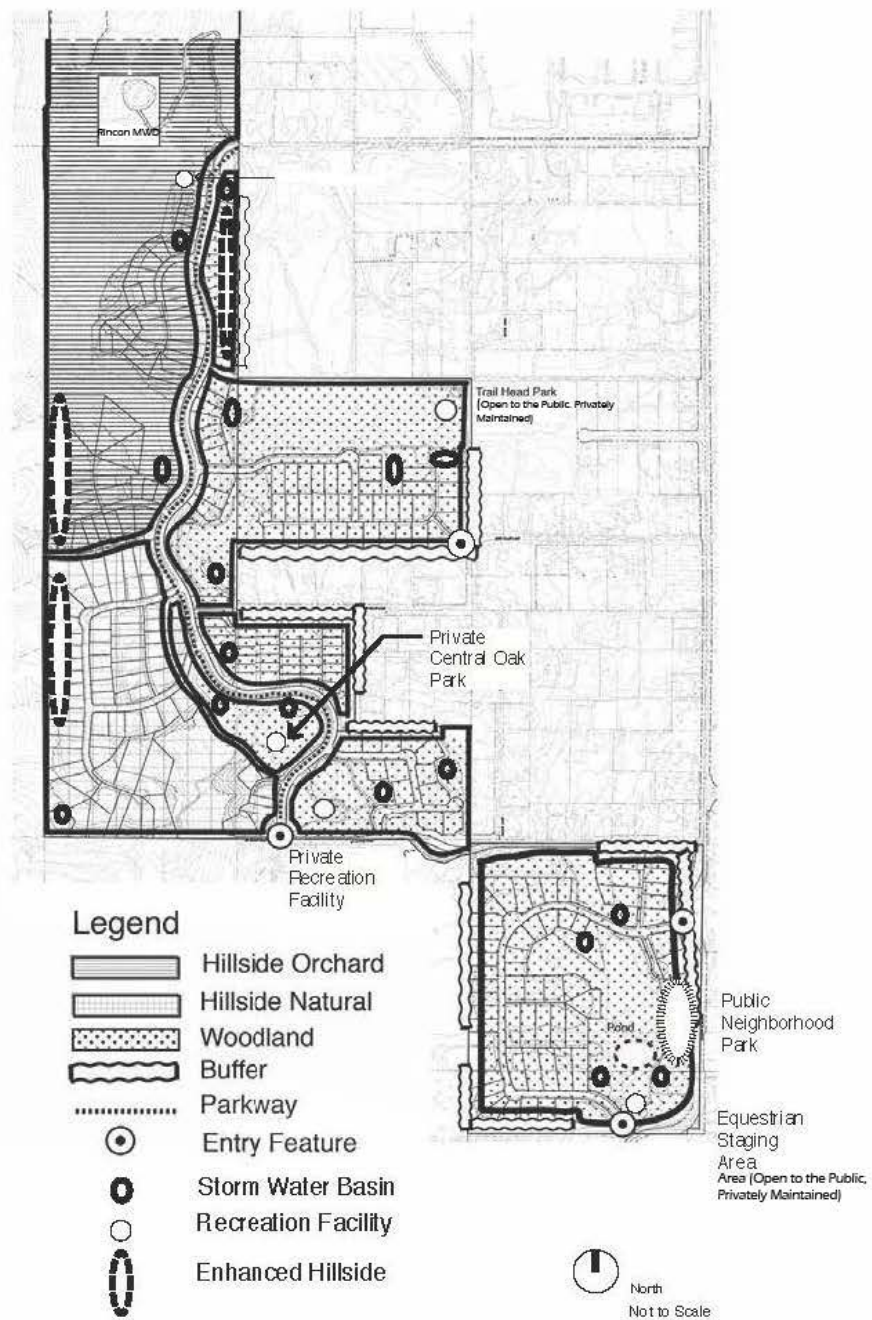




Source: Monica Simpson, ASLA

**Valiano Specific Plan**  
**County of San Diego**

**Figure 2-13**  
**Landscape Concept Plan**



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-14**  
Landscape Zones

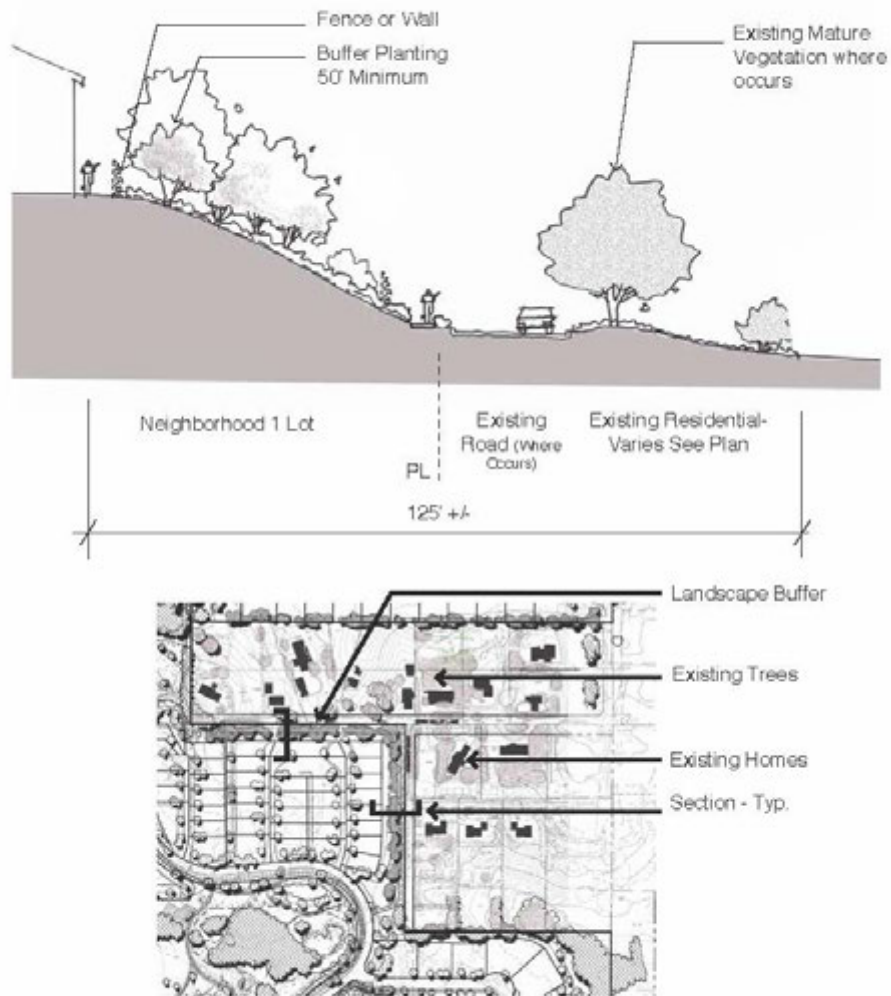
**Natural Hillside Landscape** - In the southwestern hillside zone a large area of diseased and damaged avocado trees will be replaced with a blended transition between the developed areas of the project and the adjacent native hillsides. The goal will be to seamlessly blend from the “California” ornamental landscape of the residential lots to native and low water using plant materials. Natural hillside landscaping will help reestablish wildlife habitat, reduce erosion and restore soil health, as well as contributing to the aesthetic beauty of blending in with the natural landscapes. Planting and irrigation will conform to the requirements of the Fuel Modification Zone. Fifty percent of the planting will be native species. While low water plant materials will be used, an irrigation system may be introduced in some of the natural areas or former avocado groves to establish plant material.

**Storm Water Basins** - These features are meant to be an invisible design element that looks as if it is a natural, integral part of the landscape design and not a separate uncoordinated feature. They will be informally planted with native grasses in the bottoms and trees at the upper edges. Shrubs and ground covers may be incorporated as appropriate. In order to meet the stormwater treatment requirements, both bioretention basins and extended detention basins with a bioretention component are proposed. For detailed description and design of these features, please refer to the Storm Water Management Plan. Basins will be maintained by the Valiano Home Owners Association.

**Buffer Landscape** - A Buffer landscape edge will be planted along several property boundaries to provide an attractive visual and dimensional separation between the existing adjacent residential lots and the new proposed residential lots. Planting of trees and shrubs will be designed in a manner to provide a soft and appealing edge between the project and the existing homes. **Figures 2-15a, 2-15b and 2-15c** depict the buffer landscape in the neighborhood setting for Neighborhoods 1, 3 and 5, respectively.

The planting will also help maintain a sense of privacy and physical separation highly valued in Eden Valley. Trees, such as oaks, will be used along with native and adapted shrubs. Any walls or fences proposed along the edges will be screened with plant material. Trails within these zones will be adjacent to the property line edge.

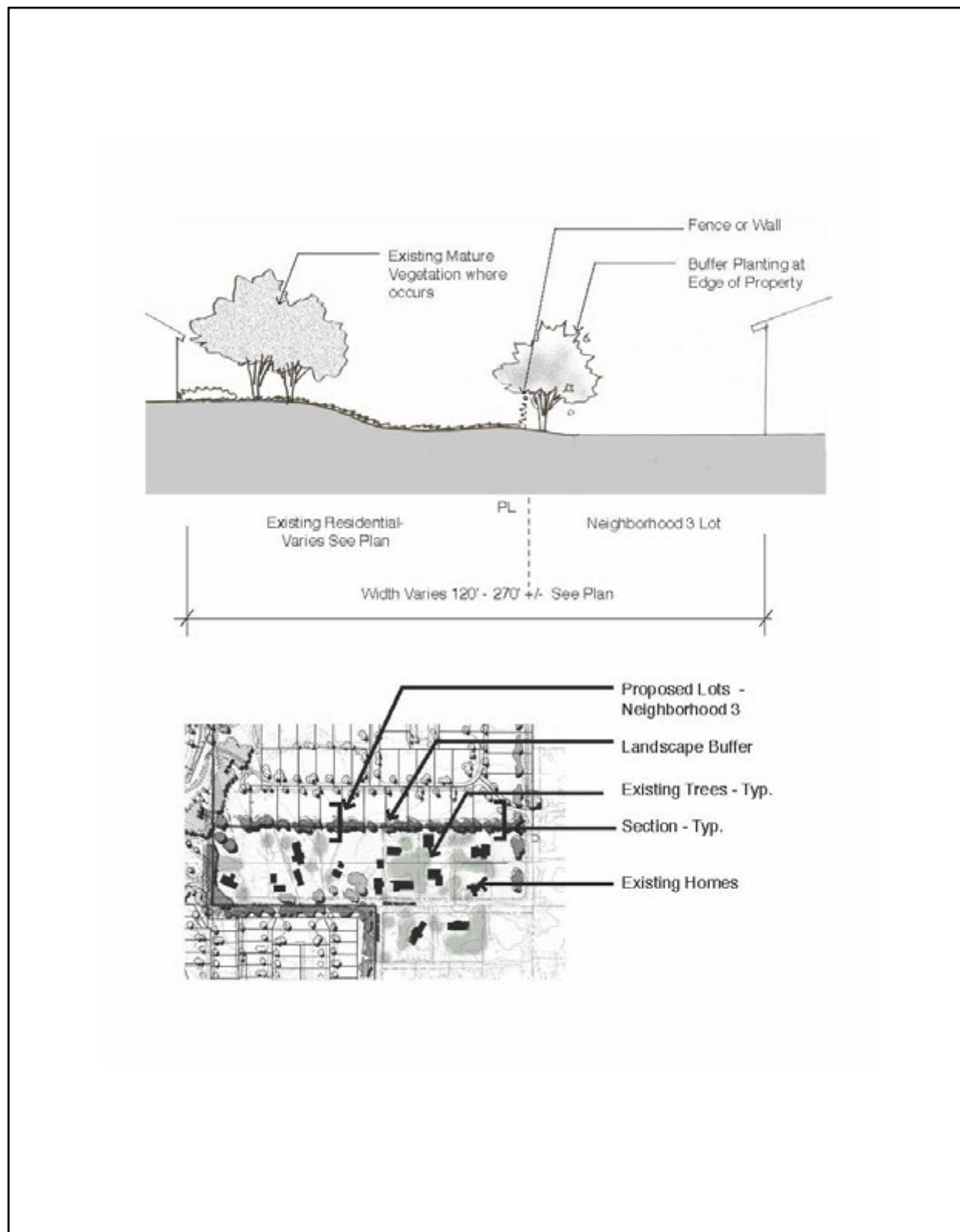




Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

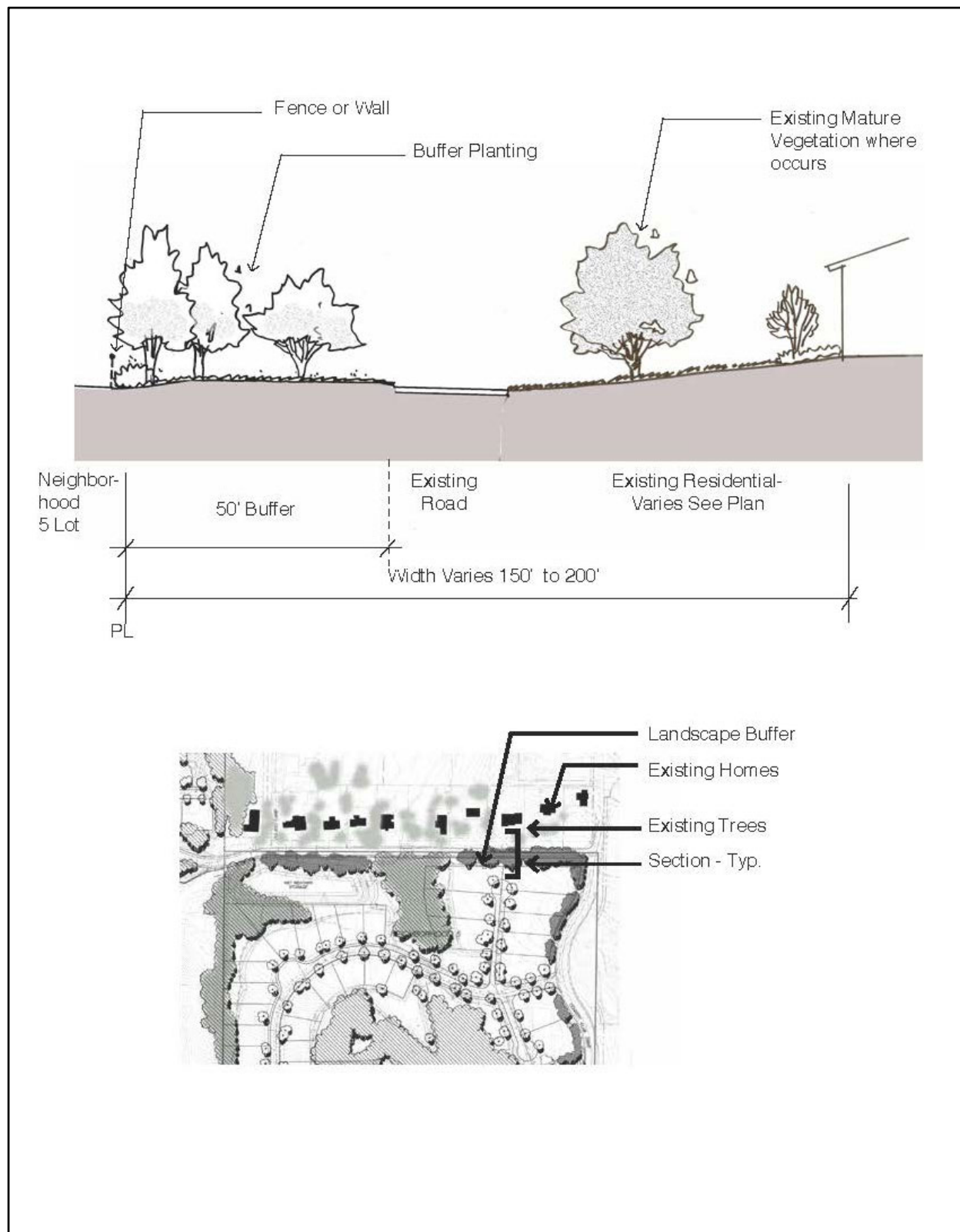
**Figure 2-15a**  
Typical Section Landscape Buffer  
Neighborhood 1



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-15b**  
Typical Section Landscape Buffer  
Neighborhood 3



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 2-15c**  
Typical Section Landscape Buffer  
Neighborhood 5

### 2.2.2 Fuel Modification

The Valiano Specific Plans will adopt fuel modification zones to assure proactive and effective fire prevention. Fire resistant landscape design will provide required buffering while striving to maintain the visual and biological integrity of the native/naturalized plant communities.

The Valiano Fire Protection Plan (FPP) identifies requirements for fire protection for future development within the Plan area. Those requirements are incorporated by reference into the Valiano Specific Plan.

On-site, the perimeter buffer and Fuel Management Zone (FMZ) would consist of a minimum of 50 foot irrigated zone from the edge of all structures in the development. All vegetation would be removed that is not fire resistant and re-planted with irrigated fire-resistant landscaping. This would be defined as Zone 1.

Unless included in Zone 1, the area between 50 to 150 feet from inhabited structures (50 to 100 feet to interior islands of natural fuels), all dead and dying vegetation shall be removed. Where native- and non-native vegetation exists within this Zone, it may remain provided that the vegetation is modified so that combustible vegetation does not occupy more than 50 percent of the square footage of this area. In this Zone the actively managed and irrigated orchard (mostly avocado) presently located within the proposed development may be integrated into the zone.

The FMZ shall be a minimum of a 150-foot area, or as approved using mitigation measures by the SMFD, surrounding and extending in all directions from all structures, in which flammable vegetation or other combustible growth is cleared away or modified, except for:

- Single specimens of trees or other vegetation that are well pruned and maintained;
- Non-irrigated grass (weed-whipped to 4-inch stubble height) and other vegetation located more than 50 feet from the structure and less than 18 inches in height above the ground;
- All ornamental landscaping that is consistent with San Diego County acceptable plants for a defensible space in fire prone areas plant list; and
- A Non-irrigated Zone 2 Fuel modification less than 100 feet beyond Zone 1 onsite with one of the following: 1) interior islands of native fuels with a completed and approved Resource Management Plan, 2) fuel modification on adjacent property which provides the additional distance to meet Zone 2 criteria, 3) Zone 2 fuel modification is provided with recorded easements on adjacent property for this purpose, 4) where adjacent managed and irrigated agriculture crops/orchards provide fuel modification to meet Zone 2 fuel modification requirements, 5) where twice the calculated fire

flame length is less than the zone width, 6) where calculated fireline intensities would not create a significant hazard to ignition-resistant structures (See these measured distances illustrated in Exhibit 1 – Fuel Treatment Location Map, or 7) where Zone 2 fuel modification criteria is applied to 20 feet on either side of roadways.

### **Zone 1 Fuel Modification – Irrigated**

Zone 1 is the area 50 feet beyond each residence. Roads and other “non-structure” improvements are allowed in this zone. Manufactured slopes will be included in this zone when present. In addition, included is a building setback of 15 feet at the rear of the lots. Following are other specific requirements for Zone 1.

- Zone 1 shall be irrigated (micro-irrigation acceptable when overhead irrigation may cause erosion). It includes a 15 feet setback at the rear of the backyard and the manufactured slopes within the zone.
- All undesirable non-native vegetation shall be removed. Also, no plants on the California Exotic Pest Plant Council’s list of “Exotic Pest Plants of Greatest Ecological Concern in California as of October 1999” or more recent version shall be planted.
- Vegetation may include single or cluster (no more than two to three plants/tree) of trimmed fire resistant native and ornamental plants.
- Dense plant masses adjacent to the structures and at bases of trees and tree clusters shall not be placed in this zone. Vegetation must be low growing, fire resistive, deep rooted, drought tolerant plantings to maintain erosion control and soil stability, especially on manufactured slopes.
- Native or ornamental trees can be retained within this fuel modification zone. They shall be pruned to maintain a vertical separation of approximately 10 feet above underlying shrubs or groundcover. Pruning of the shrubs will minimize the impact of the tree pruning.
- Tree canopies shall not be allowed to overhang the roof of any structure; the outer edge of the canopies of mature trees will be a minimum of 10 feet from the building eaves, and free of all dead or dying parts. All the dead material must be pruned out of all vegetation on a regular

basis. Trees and vegetation should not be planted in areas where fire truck access is impaired, should not impair or obstruct the use of fire department ladders.

- Mulches, chips and other small multi-cuttings (cut to less than two inches in diameter and four inches in length) shall be evenly spread over the area no more than 4 inches, at least 50 feet from structures. This can be used to maintain soil moisture and prevent grass and weed encroachments within the treated areas. Regular maintenance, vegetation pruning, and irrigation to establish drought tolerant, fire-resistive landscaping are very important in this Zone.
- Construction materials, firewood, and other combustible materials shall not be stored in unenclosed spaces beneath buildings or structures, or on decks or under eaves, canopies or other projections or overhangs. Storage may occur in the defensible space located a minimum of 30 feet from structures and separated from the crown of trees by a minimum of 10 feet, measured horizontally.
- Ornamental plants will not be planted or allowed to become established within this Zone, unless shown in the Recommended Plant Lists (see Appendix A of the FPP) (or in an approved landscape plan and approved by the Fire Marshal).
- Plants in this zone will not include any pyrophytes that are high in oils and resins.
- Non fire-resistive trees, including conifers, pepper trees, eucalyptus and acacia species, shall be located and maintained so that the trees drip line at maturity is a minimum of 30 feet from any combustible structure.
- Non- flammable patios, walkways, rock, driveways and gravel can be used to break up fuel continuity within this zone.
- If shrubs are located underneath a tree's drip line, the lowest branch will be at least three times as high as the understory shrubs or 10 feet, whichever is greater.
- Trees may be planted and/or maintained as individual specimens, or clustered with 2 to 3 trees in a single cluster; and avoid planting trees directly uphill of one another. For 0 to 20 percent slope, a 20-foot required distance is required between edges of mature tree canopies. For slopes greater than 21 percent a minimum 30-foot distance is required between edges of mature tree canopies.

### Zone 2 Fuel Modification – Non-Irrigated

Zone 2 (*Shown as "Green" on the Fuel Treatment Location Map*) is generally the area described as 50-150 feet from structures, except 50 to 100 feet to interior islands of natural fuels. Roads and other “non-structure” improvements are allowed in this zone. Zone 2’s fuel management shall also be applied to all roadways, including private controlled access roadways. Manufactured slopes will be included in this zone when present. Zone 2 can either be cleared in conformance with Zone 1 above, or selectively cleared and modified as described below.

- Zone 2 is generally an area 50 to 150 feet (or more) beyond Zone 1 and where the fuel volume will be removed or thinned by 50 percent, including the removal of all undesirable species.
- Irrigation will be used only if needed to establish and maintain fire-resistive landscaping.
- As the native vegetation cover in Zone 2 is reduced, there is a very high probability that the openings will be dominated with non-native weed or grass species. Therefore, all grasses and weeds are to be mowed or weed-whipped to a 4-inch stubble height by June 1<sup>st</sup> of each year or when the fuels become cured, whichever occurs first.
- Any vegetative biomass (debris and trimmings) produced by thinning and pruning shall be removed from the site or converted to mulch by chipping and evenly distributed to a maximum depth of four (4) inches a minimum of 30 feet from the edge of structures. This mulching concept helps to maintain soil moisture for the designated plants, reduces the growth of annual grass and minimizes soil erosion.
- The area on each side of the improved width of highways, private roads, and driveways shall comply with the requirements of a this fuel modification zone. For newly constructed roads, the vegetation shall be modified/reduced by 50 percent for 30 feet on either side of the road.
- The following native species will be removed in this zone even as specimen plants because of their flammability: California sagebrush, Flat-topped buckwheat, and Black sage.
- The exterior walls of the dwelling unit facing the open space that fall within the area that is less than the 150’ defensible space requirement shall be two-hour fire rated.
- All roofs shall be Class ‘A’ material. Roof or floor coverings for patio covers or balconies shall also be Class ‘A’ rated or non-combustible material.
- All eaves, overhangs or projections shall be non-combustible material. No exposed wood allowed.
- All windows shall be dual pane, with both window panes being tempered glass. This also applies to any skylights being installed.
- The following native species will be removed in this zone even as specimen plants because of their flammability: California sagebrush, Flat-topped buckwheat, and Black sage.

- The exterior walls of the dwelling unit facing the open space that fall within the area that is less than the 150' defensible space requirement shall be two-hour fire rated.
  - All roofs shall be Class 'A' material. Roof or floor coverings for patio covers or balconies shall also be Class 'A' rated or non-combustible material.
  - All eaves, overhangs or projections shall be non-combustible material. No exposed wood allowed.
  - All windows shall be dual pane, with both window panes being tempered glass. This also applies to any skylights being installed.
  - All vents shall be ember-resistant type with baffles; Brandguard, O'Hagan or equivalent. No vents shall be on the side of a dwelling facing vegetation.
  - Any accessory attachments or structures such as patio covers, decks, partially enclosed exterior patios, sheds, play structures etc., shall be non-combustible or heavy timber and comply with OSFM requirements for fire resistive materials. This shall only apply to those area(s) of the lot that fall below the 150' setback requirement.
  - Exterior fire sprinklers will be required for any projection from a dwelling that exceeds four feet in width and/or length.
  - All spaces of dwellings shall be sprinklered throughout, including attic, concealed spaces, closets or other areas.
  - Exterior fences attached to dwellings shall be non-combustible material on the side of the dwelling facing open space this is within the 150' defensible space.
  - No fire pits will be allowed. Enclosed exterior fireplaces may be allowed on a case by case basis.
  - In areas that fall within the 150' defensible space requirement new trees shall be planted a minimum of 30' from any dwelling. No tree canopy at full maturity shall grow within 20' of any wall of a dwelling. Trees shall be planted in a manner that tree canopies at full maturity shall be spaced a minimum of 30' from each other.
  - Any new vegetation planted shall be fire resistive, drought tolerant, and meet the County of San Diego requirements for plants, shrubs, and trees. **Fuel Maintenance**
- 
- Maintenance within the zones shall be performed year-round and include the following:
  - Prune and thin trees around structures to decrease fuel volume, retain succulent growth and to provide adequate clearance between structures and plants, as required in the County Consolidated Fire Code.
  - Tree branches overhanging roofs shall be removed.



- Trash and combustible debris shall be cleared from around structures, and removed from roofs and rain gutters.
- Irrigation systems will be maintained to ensure that they function properly and plantings are watered sufficiently to maintain succulent growth.
- The responsibility for the fuel modification maintenance defined above shall remain with each lot owner and any subsequent owners, and a Home Owner Association (HOA) for the common areas. In the event a lot is repossessed or sold, the unit or agency holding title to the lot will be responsible for maintenance.

### 2.2.3 Landscape Palette

The plant material listed below is not intended to be a complete list, but rather offer a representation of the plants suitable for the project. The areas described below are to be utilized by the developer. In areas with plant restrictions, such as fuel modification zones, revegetation or mitigation areas, plant material shall conform to the guidelines of the agency having jurisdiction over these areas. In Fuel modification zones certain plants may be prohibited or limited in the quantities used. Please see Section 2.2.2 for information on prohibited species within specific fuel modification zones. Plant material shall conform to all height and setback requirements in utility easements. Plant material chosen should also be commercially available. Where feasible, areas of high quality significant native vegetation disturbed by road construction shall be transplanted to adjacent landscape areas.

**Typical Parkway Landscape** - The primary street trees are California Sycamore and Coast Live Oaks. They should be planted in informal groves occasionally interrupted by limited drifts of California bay laurel. Olive trees will be located at the entries.

<i>Olea europaea</i> 'Fruitless' (Entries Only)	Fruitless Olive
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Platanus racemosa</i>	California Sycamore
<i>Umbellularia californica</i>	Bay Laurel

**Typical Woodland Landscape Zone** - Broad canopies dominate the landscape. Existing woodlands open space should utilize native species only, with no planting within biological open space easements. Acceptable species for streets and residential areas include but are not limited to:

<i>Alnus rhombifolia</i>	White Alder
<i>Cinnamomum camphora</i>	Camphor tree

<i>Fraxinum species</i>	Evergreen Ash
<i>Koelreuteria species</i>	Chinese Lantern Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Platanus racemosa</i>	California Sycamore
<i>Quercus species</i>	Oak
<i>Ulmus parvifolia 'drake'</i>	Chinese Elm
<i>Umbellularia californica</i>	Bay Laurel

**Typical Orchard Hillside Landscape Zone** - Planting will be done in informal groves with dark evergreen trees. Acceptable species include but are not limited to:

<i>Arbutus marina</i>	Strawberry Tree
<i>Citrus Species</i>	Citrus
<i>Lophostemon confertus</i>	Brisbane Box
<i>Lauris nobilis</i>	Sweet Bay
<i>Olea europaea 'Fruitless'</i>	Fruitless Olive
<i>Podocarpus gracilior</i>	Fern Pine
<i>Quercus species</i>	Oak
<i>Quercus virginiana</i>	Southern Live Oak

**Typical Natural Hillside Landscape Zone** - Planting will be done in informal groves and may have fuel modification restrictions. Streets and residential yards can use compatible non-native adapted species. Acceptable species include but are not limited to:

### ***Trees and Shrubs for Native Zones***

<i>Heteromeles arbutifolia</i>	Toyon
<i>Quercus engelmannii</i>	Mesa Oak

### ***Street and Residential Lots***

<i>Cupaniopsis anacardiodes</i>	Carrotwood
<i>Olea europea</i>	Olive
<i>Pittosporum undulatum</i>	Victorian Box
<i>Quercus species</i>	Coast Live Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Schinus molle</i> (limited)	California Pepper

**Typical Enhanced Hillside** - Planting of slopes and other disturbed areas adjacent to areas of native vegetation shall be accomplished in a manner so as to provide visual and horticultural compatibility with the indigenous native plant materials. Native Plants and hydroseed mixes shall be used where ever possible and appropriate. Trees, and Oaks in particular should be a mix of 1, 5, 15-gallon and 24 and 48-inch box to create a mixed-age stand. For the enhanced plantings on manufactured slopes, one gallon and five-gallon shrubs would be planted in addition to the hydroseed mix. See Plant List for additional understory material.

Sample Native Hydroseed Plant Material for Slopes (Seed Mix to be determined by location and micro climate)

<i>Baccharis pilularis</i>	Coyote Bush
<i>Eriophyllum Confertiflorum</i>	Golden Yarrow
<i>Encelia californica</i>	Bush sunflower
<i>Eschscholzia californicus</i>	California Poppy
<i>Lupinus Succulentus</i>	Arroyo Lupine
<i>Mimulus sp.</i>	Monkeyflower
<i>Nassella pulchra</i>	Purple Needlegrass
<i>Plantago erecta</i>	California plantain
<i>Salvia Apiana</i>	White sage
<i>Vulpia microstachys</i>	Three Week Fescue

**Typical Buffer Landscape** - Planting will be done in informal groves to provide a heavy screen and may have fuel modification restrictions. Drought tolerant plants are recommended.

<i>Archtothylus species</i>	Manzanita
<i>Mahonia 'Golden Abundance'</i>	Hybrid Oregon Grape
<i>Prunus illicifolia</i>	Catalina Cherry
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus dumosa</i>	Coastal Scrub Oak
<i>Romneya 'white Cloud'</i>	Matillia Poppy
<i>Rhamnus californica and cultivars</i>	Coffeeberry
<i>Rhus ovata</i>	Sugar bush

**Storm Water Basins** - Plant selections should aim to control erosion and wick water from soils. Accordingly, groundcovers and grasses that provide quick cover are the best choices for the lower zones. Trees and large shrubs are best planted in the high zone where their roots can absorb the infiltration. Low shrubs, grasses and groundcovers may be used in the mid zone depending on the slope, soil type, and drainage patterns. These areas will be maintained by the Valiano Homeowners Association.

### **Trees**

<i>Aesculus californica</i>	California Buckeye
<i>Alnus rhombifolia</i>	White alder
<i>Cercis occidentalis</i>	Western rosebud
<i>Fraxinus latifolia</i>	Oregon ash
<i>Prunus lyonii</i>	Catalina cherry
<i>Salix coulteri</i>	Coulter willow
<i>Salix laevigata</i>	Red willow
<i>Salix lasiolepis</i>	Arroyo willow
<i>Sambucus mexicana</i>	Blue elderberry
<i>Umbellularia californica</i>	California bay.

### **Shrubs/Ground Cover**

<i>Baccharis species</i>	Baccharis
<i>Rhamnus californica</i>	Coffeeberry
<i>Ribes species</i>	Currant/Gooseberry
<i>Rosa californica</i>	California rose
<i>Salvia species</i>	Sage

### **Grasses**

<i>Carex ssp</i>	Sedge
<i>Elymus ssp</i>	NCN
<i>Festuca californica</i>	California fescue
<i>Festuca mairei</i>	Atlas fescue
<i>Iris douglasiana</i>	Douglas iris
<i>Juncus patens</i>	Common rush
<i>Juncus textilis</i>	Basket rush
<i>Muhlenbergia rigens</i>	Deer grass
<i>Pennisetum spp</i> ( <i>P. setaceum</i> not allowed)	Fountain grass

**Understory Plant Material** - The following shrubs and ground covers may be used within the project. Plants should be grouped according to exposure and water requirements and according to compatible design and aesthetic character of the zone. Typically, the hillside should consist of dryer plant material transitioning to the natural environment. Native species and cultivars are encouraged. Acceptable species include but are not limited to:

<i>Agave species</i>	Agave
<i>Aloe species</i>	Aloe
<i>Arctostaphylos species</i>	Manzanita
<i>Baccharis species</i>	Baccharis
<i>Bougainvillea spp.</i>	Bougainvillea
<i>Calliandra species</i>	Fairy Duster
<i>Callistemon species</i>	Bottle Brush
<i>Cistus purpurpureus</i>	Orchid Rockrose
<i>Carissa macrocarpa</i>	Natal Plum
<i>Cotoneaster species</i>	Cotoneaster
<i>Dendromedon species</i>	Bush Poppy
<i>Dodonaea viscosa</i>	Hop Seed Bush
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Galvezia speciosa</i>	Island Bush Poppy
<i>Gardenia jasminoides 'mystery'</i>	Gardina
<i>Gossypium harknessii</i>	San Marcos Hibiscus
<i>Huechera species</i>	Coral bells
<i>Hemerocallis species</i>	Daylilly
<i>Iris douglasiana</i>	Pacific Iris
<i>Lantana species</i>	Lantana
<i>Lavandula species</i>	Lavender
<i>Lavatera species</i>	Tree Mallow
<i>Leptospermum species</i>	Tea Tree
<i>Leucohyllum species</i>	Sage
<i>Maytenus phyllanthoides</i>	Mangle Dulce
<i>Myrtus communis 'compacta'</i>	True Myrtle
<i>Oenothera species</i>	Evening Primrose
<i>Raphiolepis species</i>	Indian Hawthorne
<i>Punica granatum</i>	Pomegranite
<i>Rhus ovata</i>	Sugar Bush
<i>Rose species</i>	Rose
<i>Rosmarinus species</i>	Rosemary

<i>Salvia species</i>	Sage
<i>Sambucus mexicana</i>	Blue Elderberry
<i>Senna species</i>	Cassia
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Vitex agnus-castus</i>	Chaste Tree
<i>Wisteria species</i>	Wisteria
<i>Xylosma congestum</i>	Glossy Xylosma

### Other Ornamentals and Grasses

<i>Agrostis species</i>	Bentgrasses
<i>Carex species</i>	Sedge
<i>Dasyllirion species</i>	Mexican Grass Tree
<i>Elymus glaucus</i>	Blue Wild Rye
<i>Festuca species</i>	Fescue
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Mulenbergia rigens</i>	Deer Grass
<i>Nolina species</i>	Nolina
<i>Opuntia species</i>	Cactus
<i>Stipa tenuissima</i>	Mexican Feather Grass
<i>Yucca species</i>	Yucca

### Plant Container Sizes

Trees: Container Sizes for trees will vary from 5-gallon to 48" box, depending on the location, species and availability. Final plant selection and container sizes will be submitted during final engineering and design review process. Per the project Visual Impact Analysis in the EIR, Trees would be routinely planted from 15-gallon or 24-inch box containers (with focused larger sizes as specified below) and shrubs would be planted from one- and five-gallon containers.

Due to their slow growth rate relative to other species noted above, the entry olives would be installed from 36- to 48-inch boxes. Key visual locations of Oaks also would be planted from 48-inch boxes within streetscape and buffer areas and mixed with 15 Gallon and 24" box for diversity.

Shrubs: Shall have a minimum size of one (1) gallon.

Groundcovers shall be planted from minimum size of flats.

### **Irrigation**

Plants shall be grouped in hydrozones, which are groupings of plants with similar watering needs. Irrigation shall be calibrated to the water needs of each hydrozone to avoid over- and under watering. Low-water native plants and ornamentals will be used whenever possible, in non-irrigated areas, supplementary irrigation may still be needed to maintain these plants.

The Project will be connecting to a recycled water system in the future in accordance with the standards set by Rincon del Diablo Municipal Water District (Rincon) for all common area landscape irrigation, including private parks, streetscapes and manufactured slopes. It is anticipated that Rincon will interconnect the Project's recycled water system with the facilities approved and being constructed in Harmony Grove for recycled water. The initial irrigation system will use potable water but the irrigation equipment will be installed anticipating recycled water and use purple indicators on irrigation equipment and purple pipe to accommodate the future water source.

At such time the recycled water system is connected, all above ground, exposed facilities shall be consistently color-coded (purple) and marked to differentiate recycled water facilities from potable water and/or wastewater facilities and signed to meet Rincon standards. All future irrigation plans will be reviewed and approved by the County's Environmental Health Department in conjunction with Rincon Water District prior to approval of landscape and grading plans.

Revegetated areas may use temporary irrigation for establishment if needed. Large areas of former agriculture zones may not need irrigation unless they fall within an irrigated fuel modification zone. All irrigation systems shall follow the County's Water Conservation and Landscape Ordinance Design Manual to establish efficient irrigation systems.

### **Notes**

1. Common area open space and landscape will be maintained by an HOA. Maintenance areas will be delineated at a future date.
2. Fuel Modification zones are show on a separate exhibit entitled "Fire Protection Plan".
3. All plant material shall comply with County of San Diego, Utility company restrictions and San Diego County Fire Authority, San Marcos Fire District spacing and setback requirements.
4. Landscape shall conform to policies of the Elfin Forest Harmony Grove Community Plan and the San Dieguito Community Plan, in particular Soils policy #7, which states, "When the natural terrain is altered, new landscaping shall utilize at least 50% native species."

5. Per San Marcos Fire District all tree canopies are to be spaced so crowns of all mature trees on level ground maintain a 20' separation and trees on slopes maintain a 30' horizontal separation in the fuel modification zones.
6. Refer to the Biological Open Space maps and documents for plant restrictions and setbacks in those zones.
7. In graded areas where exposed rock face is present, a desert varnish rock stain shall be used in conjunction with a certified letter from a geotechnical engineer that states no significant soil erosion is present.
8. Plans shall be submitted to SDG&E Land Management department for review for all landscape work within the easement. All plant material shall conform to SGDE requirements.



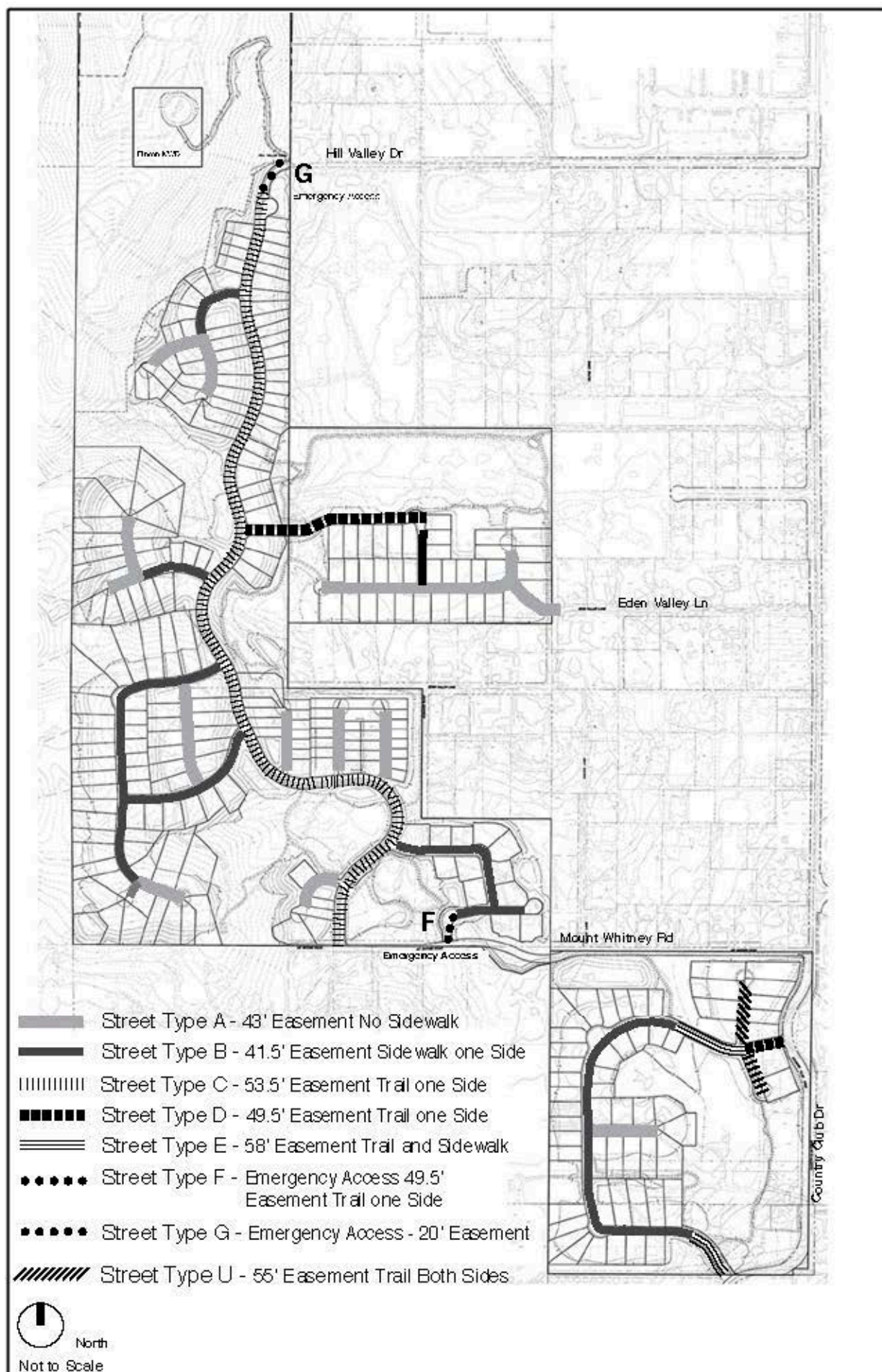
## 3.0 CIRCULATION PLAN

### 3.1 OVERVIEW OF CIRCULATION PLAN

The Valiano Circulation Plan complements the Land Use Plan and creates a safe and interconnected system for vehicles, bicycles, pedestrians and equestrian uses. The Circulation Plan also provides the community with the convenient access to the regional arterial and highway network. The Circulation Plan connects to existing roadways in the vicinity, including Hill Valley Drive, Eden Valley Lane, Mount Whitney Road and Country Club Drive. All internal roadways for the Valiano Specific Plan will be private. **Figure 3-1** presents the overall Circulation Plan concept. **Table 3-1** and Section 3.2, below, detail the individual characteristics of each of the roadway types.

**Table 3-1. Roadway Summary**

Street Type	Private Road Easement Width (feet)	Pavement Width (feet)	Vehicle Lanes	Lane Width (feet)	Street Parking	Pedestrian or Trail Component	Specific Plan Figure #
Type A Residential Roadway	43	32	2	12	Within 8 feet on one side	None, except for a 4-foot DG path on street 5C	3-2
Type B Residential Roadway	41.5	32	2	12	Within 8 feet on one side	4-foot pedestrian walkway on one side, except for a 4-foot DG path on streets 5A and 3B	3-3
Type C-1 Trailside Roadway at Slope	53.5	24	2	12	No Parking	10-foot multi-use pedestrian/ equestrian trail on one side of roadway	3-4
Type C Trailside Roadway at Lots	53.5	24	2	12	No Parking	10-foot multi-use pedestrian/ equestrian trail on one side of roadway	3-5
Type D Residential Roadway and Trail	49.5	32	2	12	Within 8 feet on one side	10-foot multi-use pedestrian/ equestrian trail on one side of roadway	3-6
Type E Residential Roadway - Trail and Walk	58	32	2	12	Within 8 feet on one side	10-foot multi-use pedestrian equestrian trail on one of roadway and 4-foot pedestrian walkway on the other	3-7
Type F Emergency Access (Width Varies)	49.5	32	1	32	None	10-foot multi-use equestrian/pedestrian trail on one side of roadway	3-8
Type G Emergency Access Road	40	20-24	1	20-24	None	None	3-9
Type U Residential Roadway	40-20-24	32	2	12	8 feet on one side	10-foot multi-use trail on both sides of the roadway	3-9a



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-1**  
Circulation Plan

## **3.2 PROPOSED ROADWAYS**

The roadways proposed within the Specific Plan Area are all neighborhood streets that are designed to accommodate the level of traffic to be generated for the project. They are also designed to provide quiet, safe and attractive frontages for residential lots, provide safe and convenient movement through the Plan area, and to accommodate low volume vehicular traffic.

### **Street Type A – Residential Roadway (No Sidewalk)**

Street Type A is a residential roadway with a 43-foot right-of-way (ROW) and two 12-foot vehicle lanes. Parking is permitted along one side of the road and will be identified as such through signage, curb painting or other measures. A pedestrian sidewalk is not included with this street type since these are short residential roadways with the primary purpose of accessing homes; however, street 5C in Neighborhood 5 will have a 4-foot DG path. This street type is proposed in all of the neighborhoods within the Plan area. **Figure 3-2** shows a cross section of this roadway type.

### **Street Type B – Residential Roadway (Single Sidewalk)**

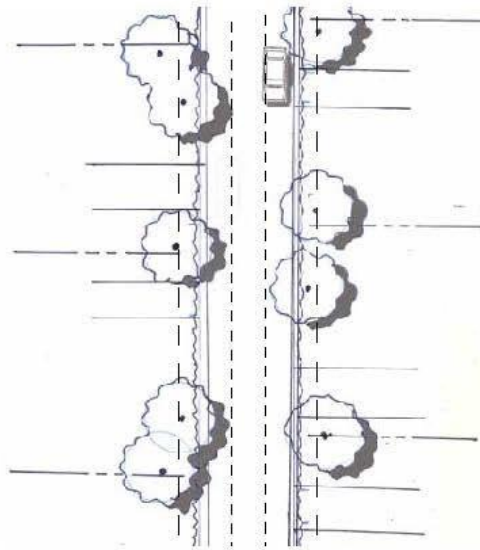
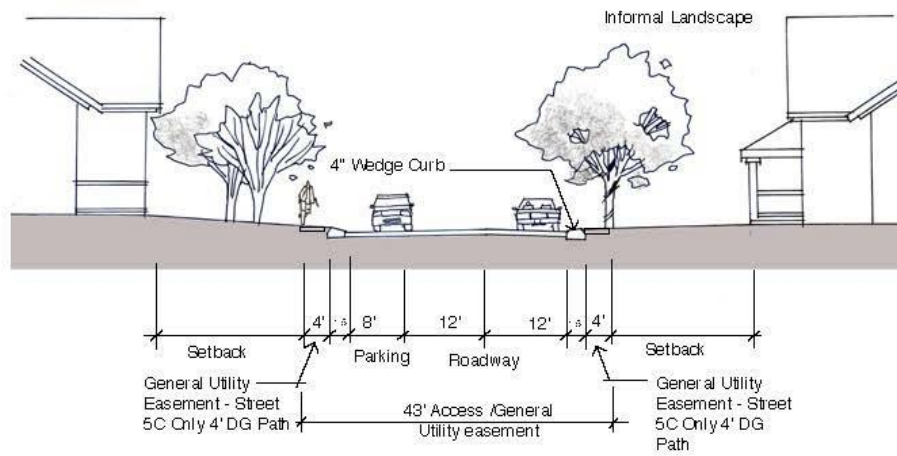
Street Type B is a residential roadway with a 41.5-foot ROW and two 12-foot vehicle lanes. Parking is permitted along one side of the road and will be identified as such through signage, curb painting or other measures. This street type incorporates a 4-foot pedestrian sidewalk on one side of the road, except streets 3B and 5A which will have a 4-foot DG path. This street type is proposed in all of the neighborhoods within the Plan area. **Figure 3-3** shows a cross section of this roadway type.

### **Street Type C – Trailside Roadway**

Street Type C is a residential roadway with at 53.5-foot ROW and two 12-foot travel lanes. A 10-foot multi-use trail is included on one side of the roadway. This street type serves as the primary roadway through the larger portion of the Plan area where it has a general north/south orientation and will connect into existing roadways at Hill Valley Drive on the north and Mt. Whitney Road on the south. Parking is not allowed on this roadway and will be identified as such through signage, curb painting or other measures. **Figures 3-4 and 3-5** show a cross section of this roadway type.

### **Street Type D – Residential Roadway and Trail**

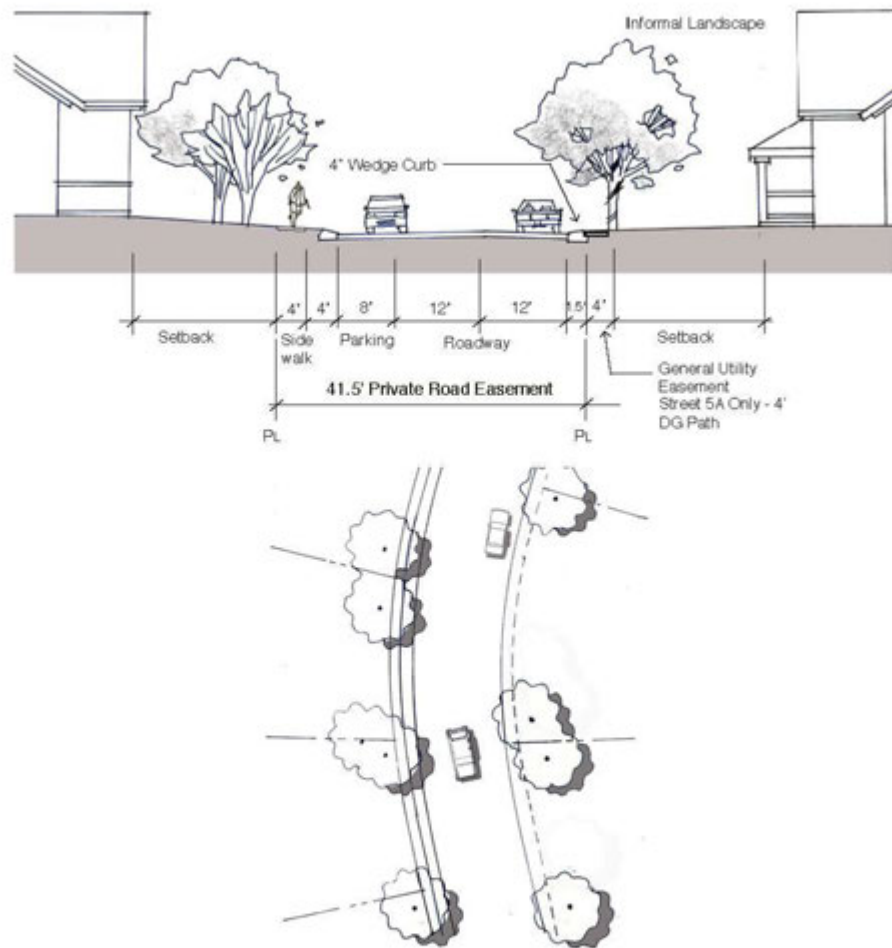
Street Type D is a residential roadway with a 49.5-foot ROW and two 12-foot travel lanes. A 10-foot multi-use trail is included on one side of the roadway. Parking is permitted on one side of the roadway and will be identified as such through signage, curb painting or other measures. This roadway type will be located within a portion of Neighborhood 3. **Figure 3-6** shows a cross section of this roadway type.



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-2**  
Street Type A Residential Roadway

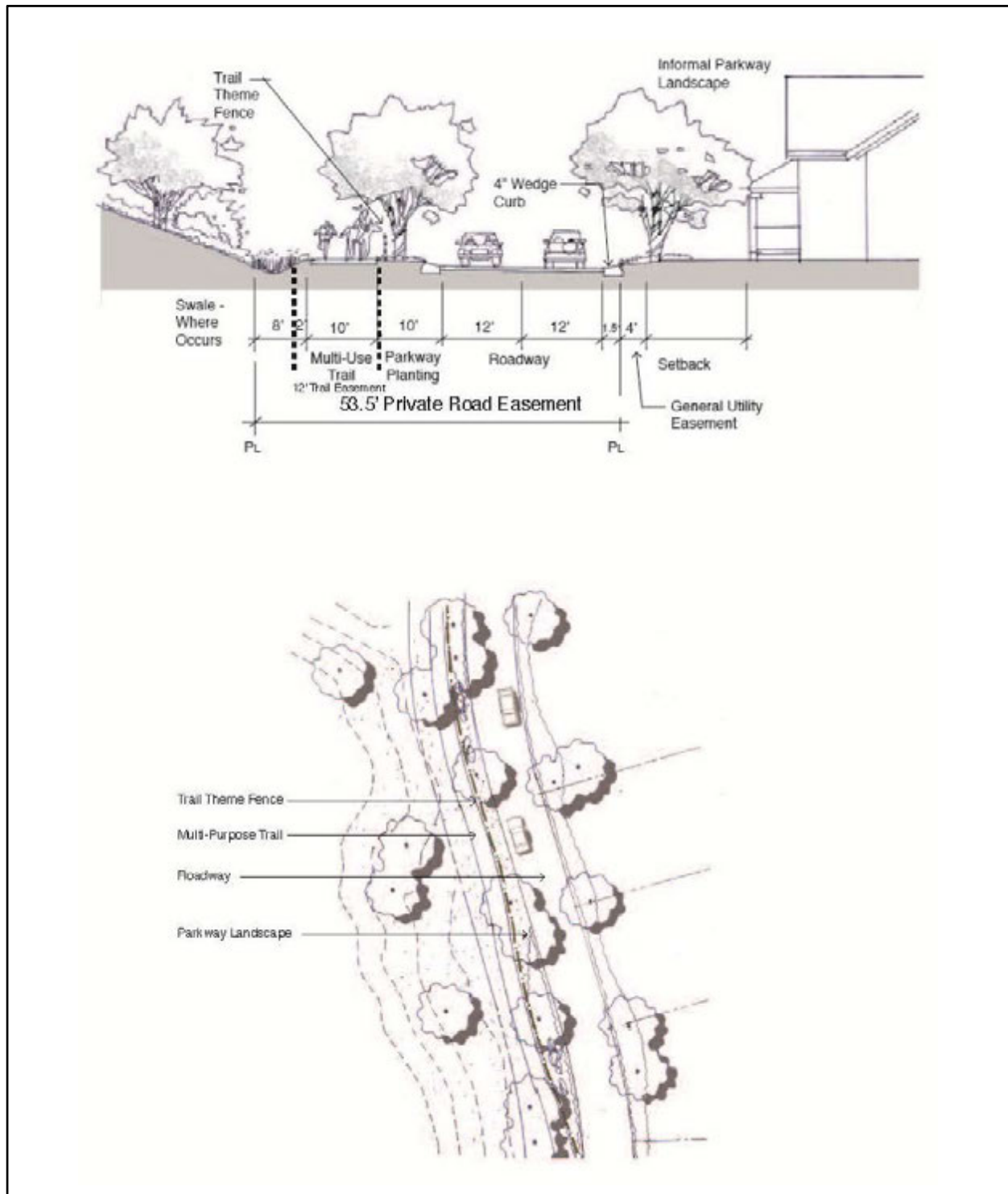


**Street Type B**  
**Residential Roadway - Sidewalk One Side**

Source: Monica Simpson, ASLA

Valiano Specific Plan  
 County of San Diego

**Figure 3-3**  
**Street Type B**  
**Residential Roadway – Sidewalk One Side**

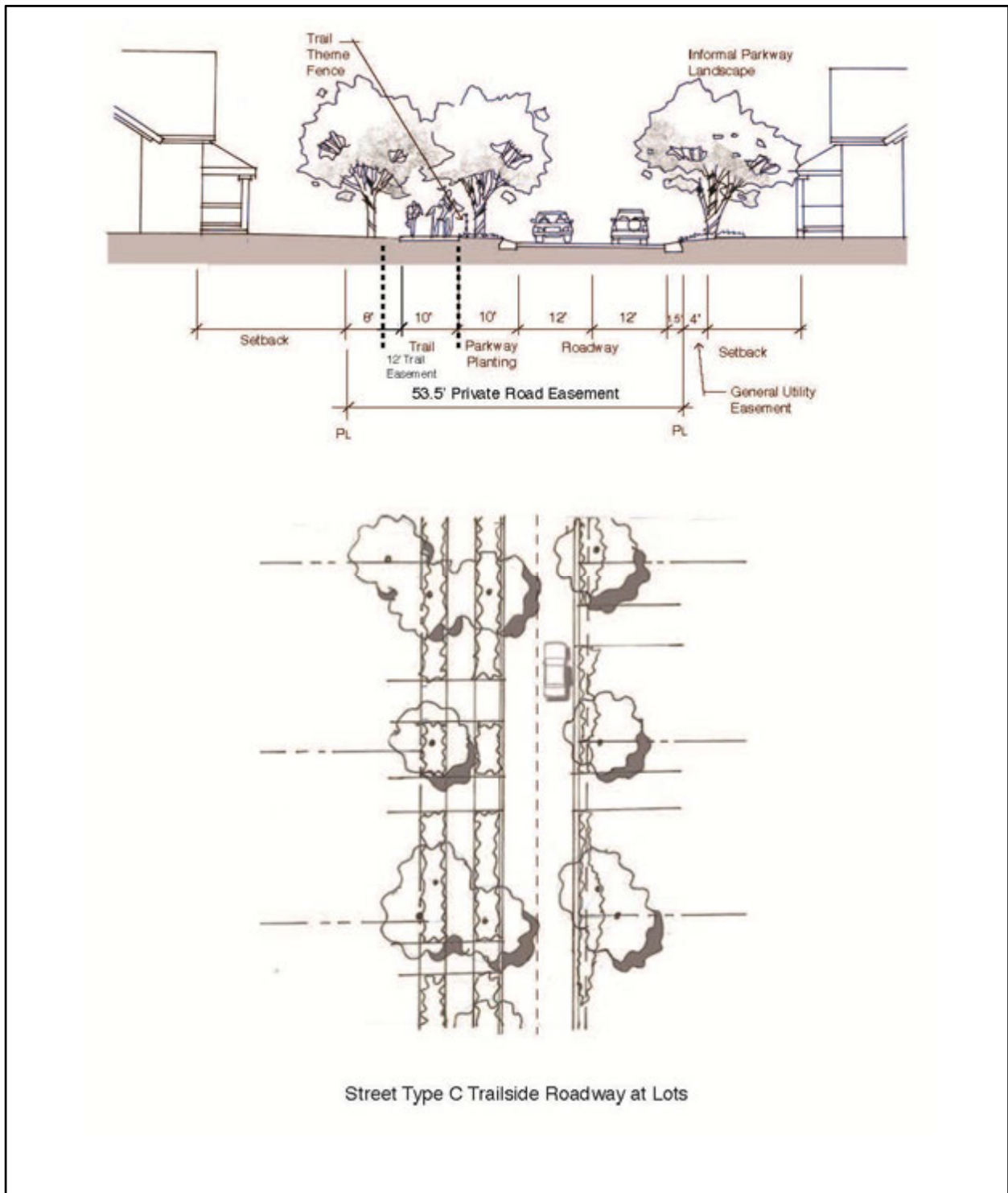


Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-4**  
Street Type C1  
Trailside Roadway at Slope



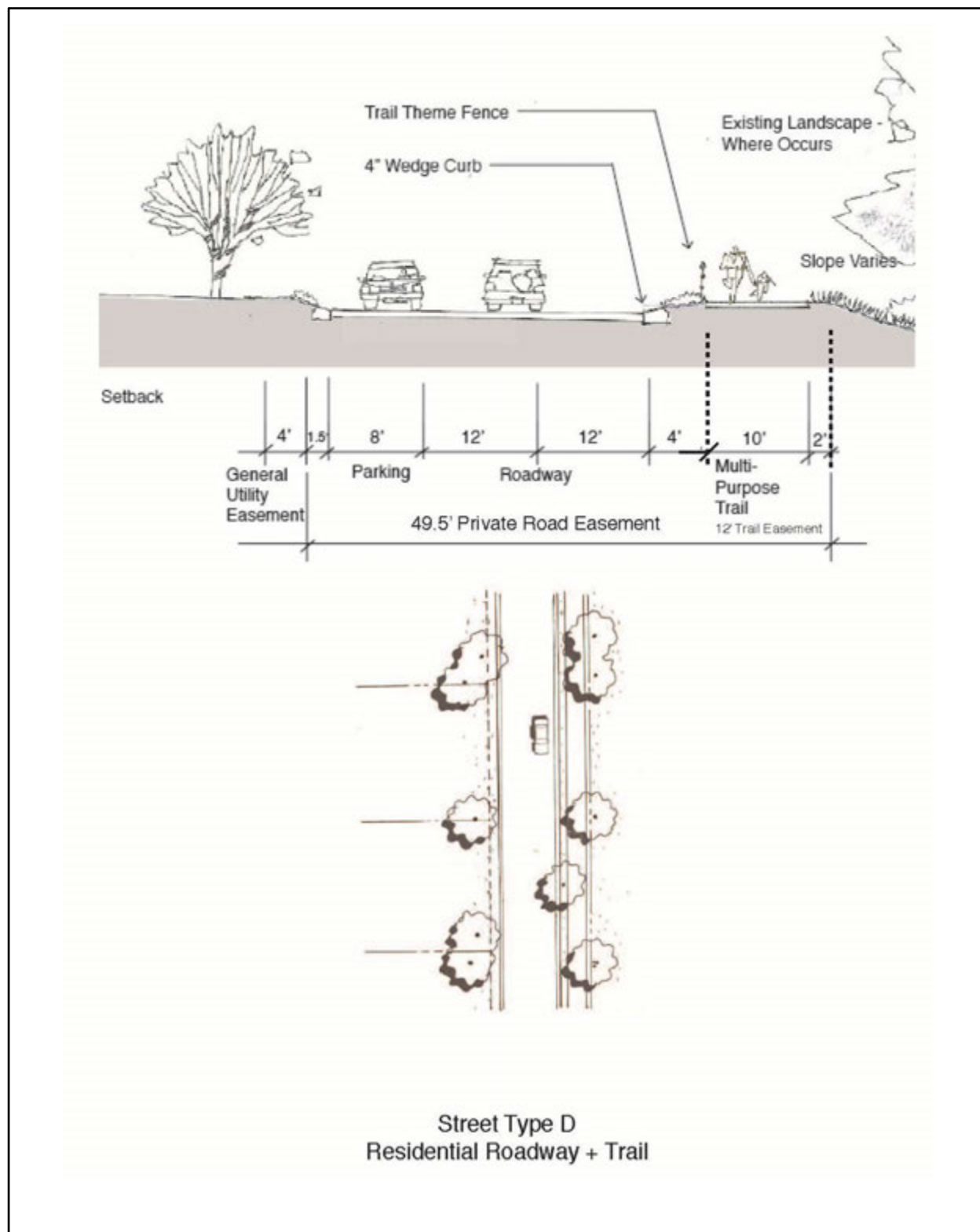


Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-5**  
Street Type C  
Trailside Roadway at Lots





Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-6**  
Street Type D  
Trailside Roadway + Trail

### **Street Type E – Residential Roadway (Trail and Sidewalk)**

Street Type E is a residential roadway with a 58-foot ROW and two 12-foot travel lanes. A 10-foot multi-use trail is included on one side of the roadway and a four-foot sidewalk is located on the other side of the street. Parking is allowed on one side of the roadway and will be identified as such through signage, curb painting or other measures. This type of roadway is proposed within a portion of Neighborhood 5. **Figure 3-7** shows a cross section of this roadway type.

### **Street Type F – Emergency Access with Trail**

Street Type F is an emergency access roadway with a trail feature. A 10-foot multi-use trail is included on one side of the roadway. Parking is not allowed on this roadway and will be identified as such through signage, curb painting or other measures. This type of roadway is proposed within Neighborhood 1. **Figure 3-8** shows a cross section of this roadway type.

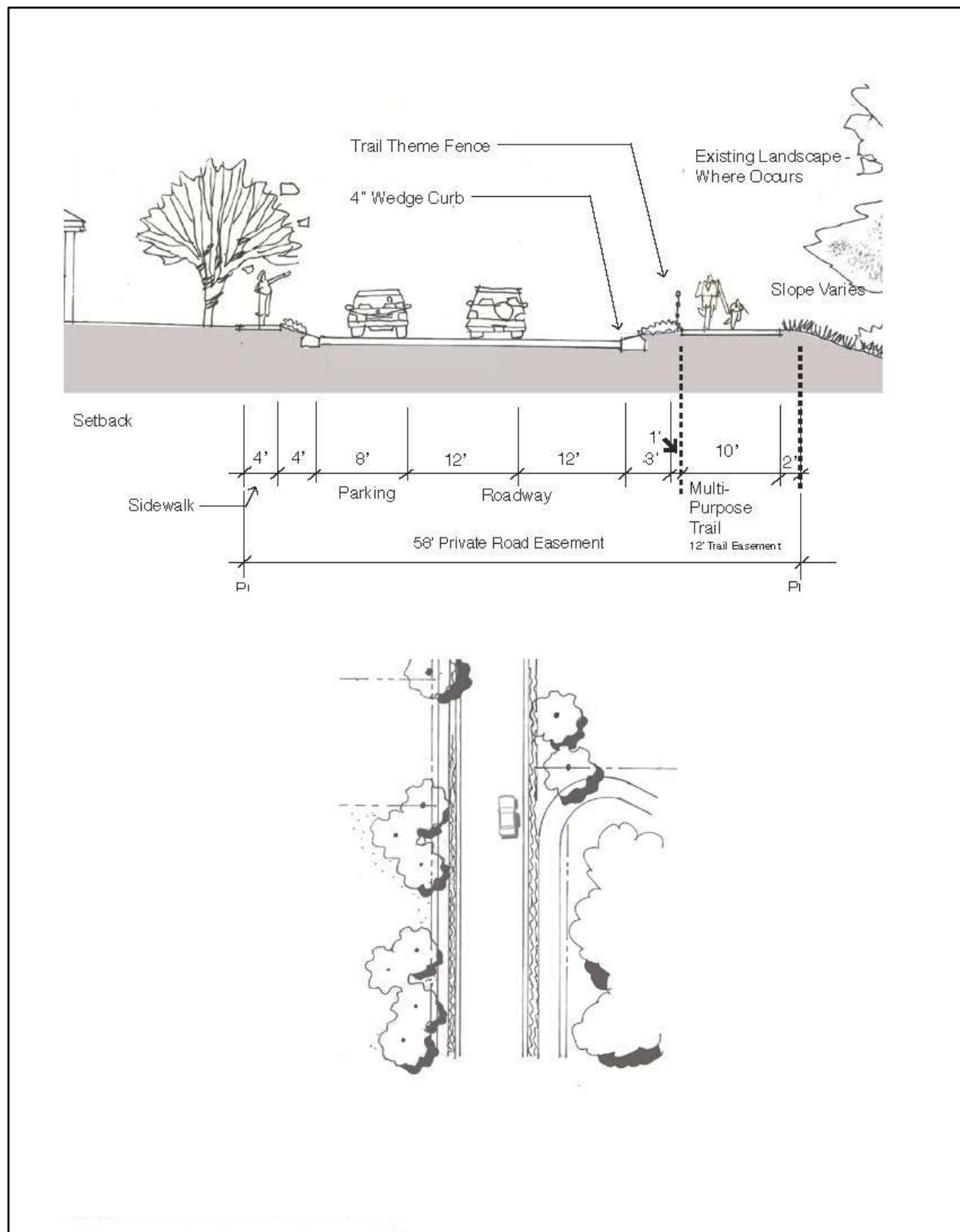
### **Street Type G – Emergency Access**

Street Type G is an emergency access roadway. Parking is not allowed on this roadway and will be identified as such through signage, curb painting or other measures. This type of roadway is proposed within Neighborhood 4. The road also serves as the multi-use trail connection. **Figure 3-9** shows a cross section of this roadway type.

**Street Type U** – Street Type U is a residential roadway with a 55-foot easement and two 12 foot travel lanes. A 10-foot multi use trail is located on both sides. Parking is allowed on one side of the roadway. This type of roadway is proposed in neighborhood 5 and serves as a multi-use trail connection. **Figure 3-9a** shows this type of trail connection.

### **Entry Concept**

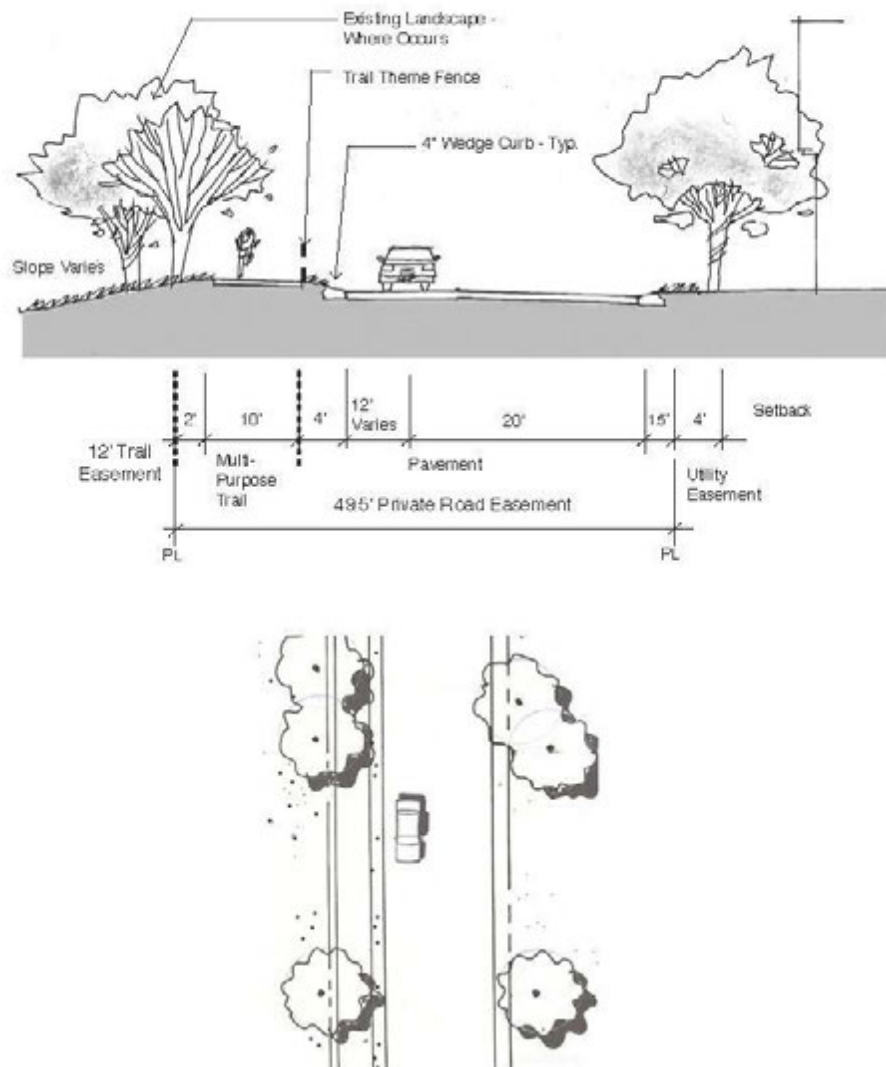
The entry concept for the project includes 24-foot travel lanes with monument signage. A ten-foot trail is included on one side of the road. **Figure 3-10** shows a cross section of a typical entry concept.



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-7**  
Street Type E

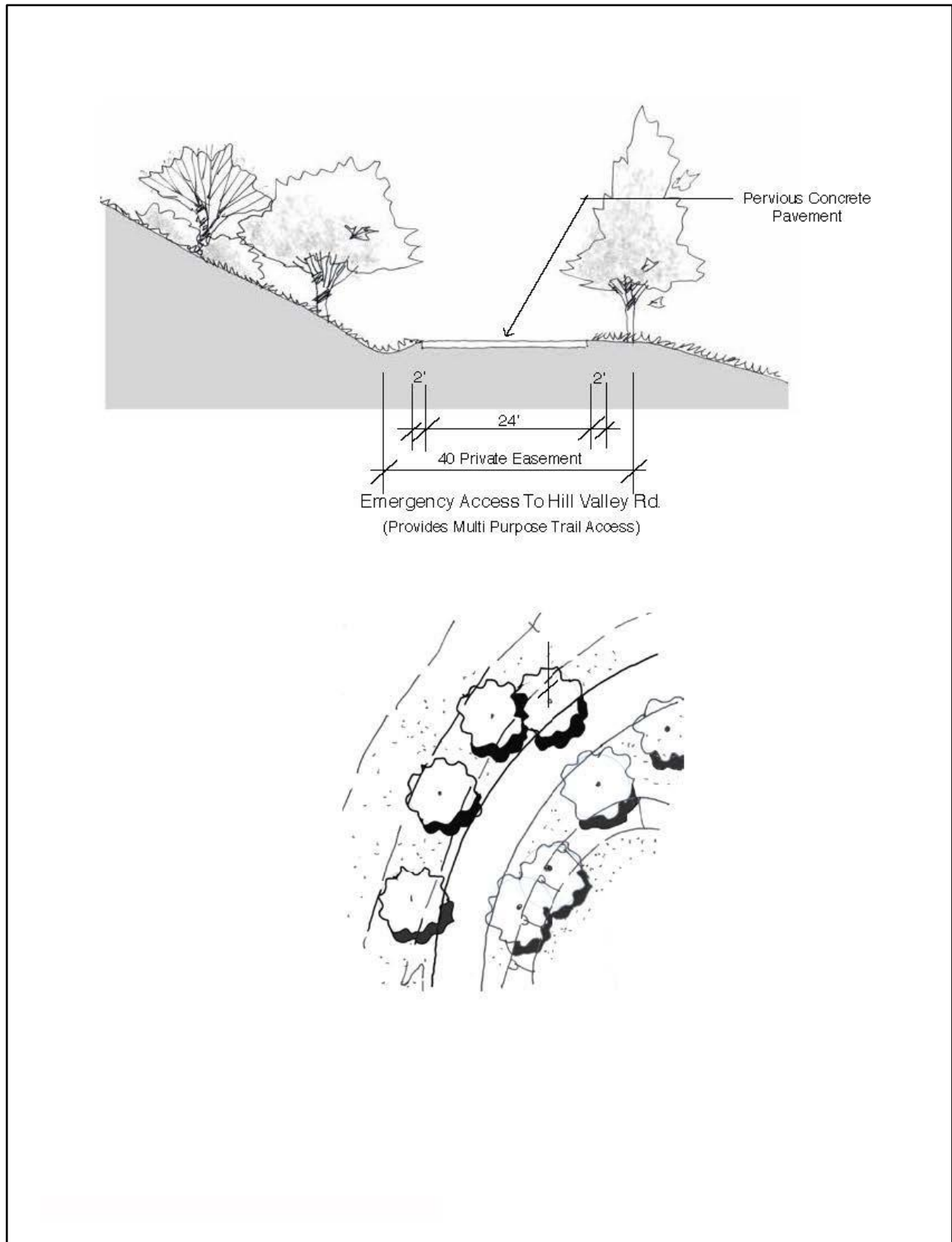


Street Type F  
Emergency Access Road With Trail

Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

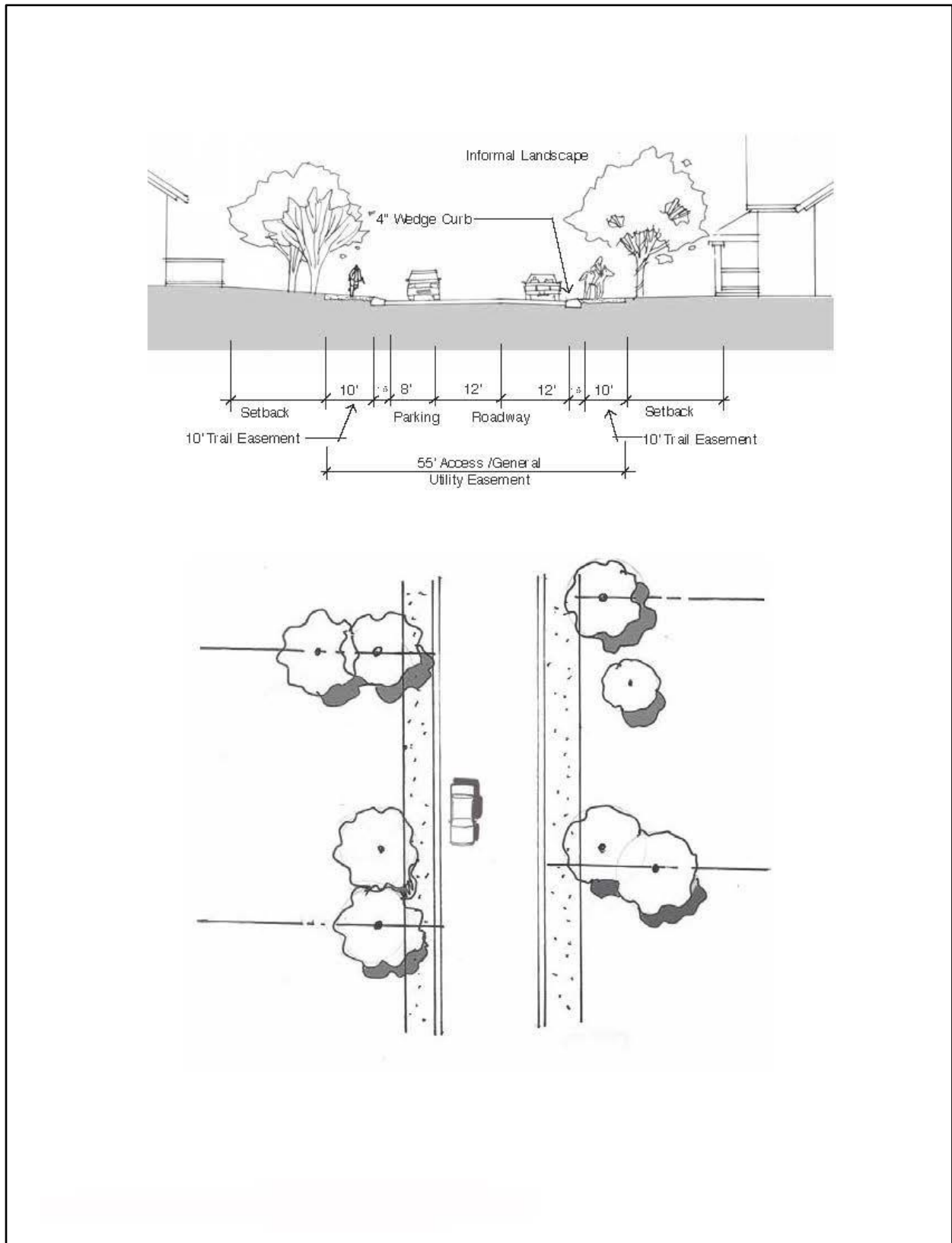
**Figure 3-8**  
Street Type F  
Emergency Access Road with Trail



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

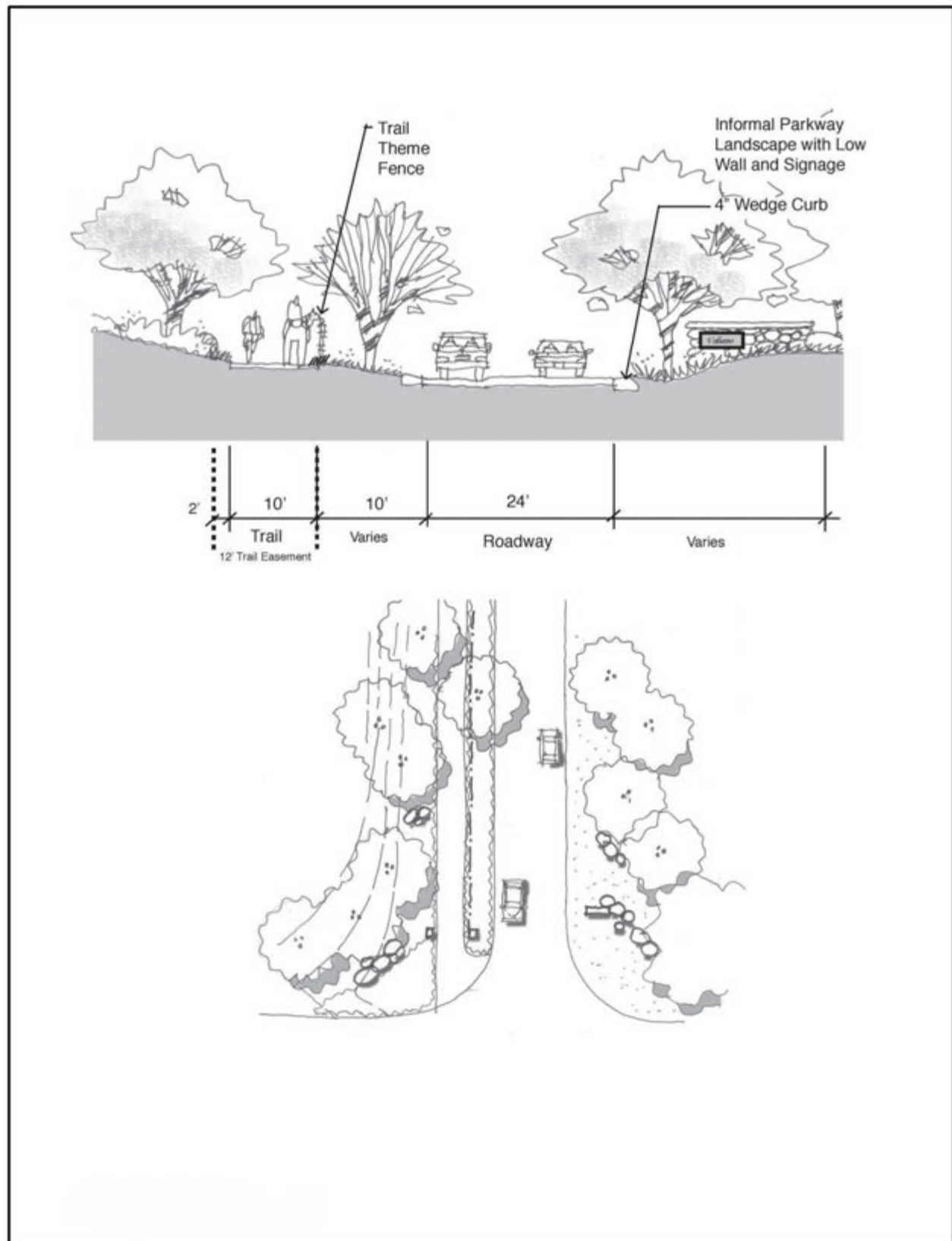
**Figure 3-9**  
Street Type G  
Emergency Access Road



Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-9a**  
Street Type U  
Residential Roadway



Source: Monica Simpson

Valiano Specific Plan  
County of San Diego

**Figure 3-10**  
Entry Concept



### 3.2.1 Traffic Calming Measures

Local streets are environments that are shared by pedestrians, bicyclists, parked vehicles, and people socializing. In addition to traditional controls for moving traffic, the street system also needs features that “calm” traffic and help create a safe and enjoyable community environment.

Traffic control elements typically include items such as stop signs, posted speed limits, crosswalks, and directional signage. Proposed traffic calming concepts would occur at trail crossings to further reduce speed along the main parkway, if approved by the San Marcos Fire Protection District. These elements help keep traffic moving in an orderly, efficient and safe manner. Traffic calming features are also designed to help move traffic, while reducing speeds and fostering a comfortable, safe environment.

### 3.2.2 Street Landscaping

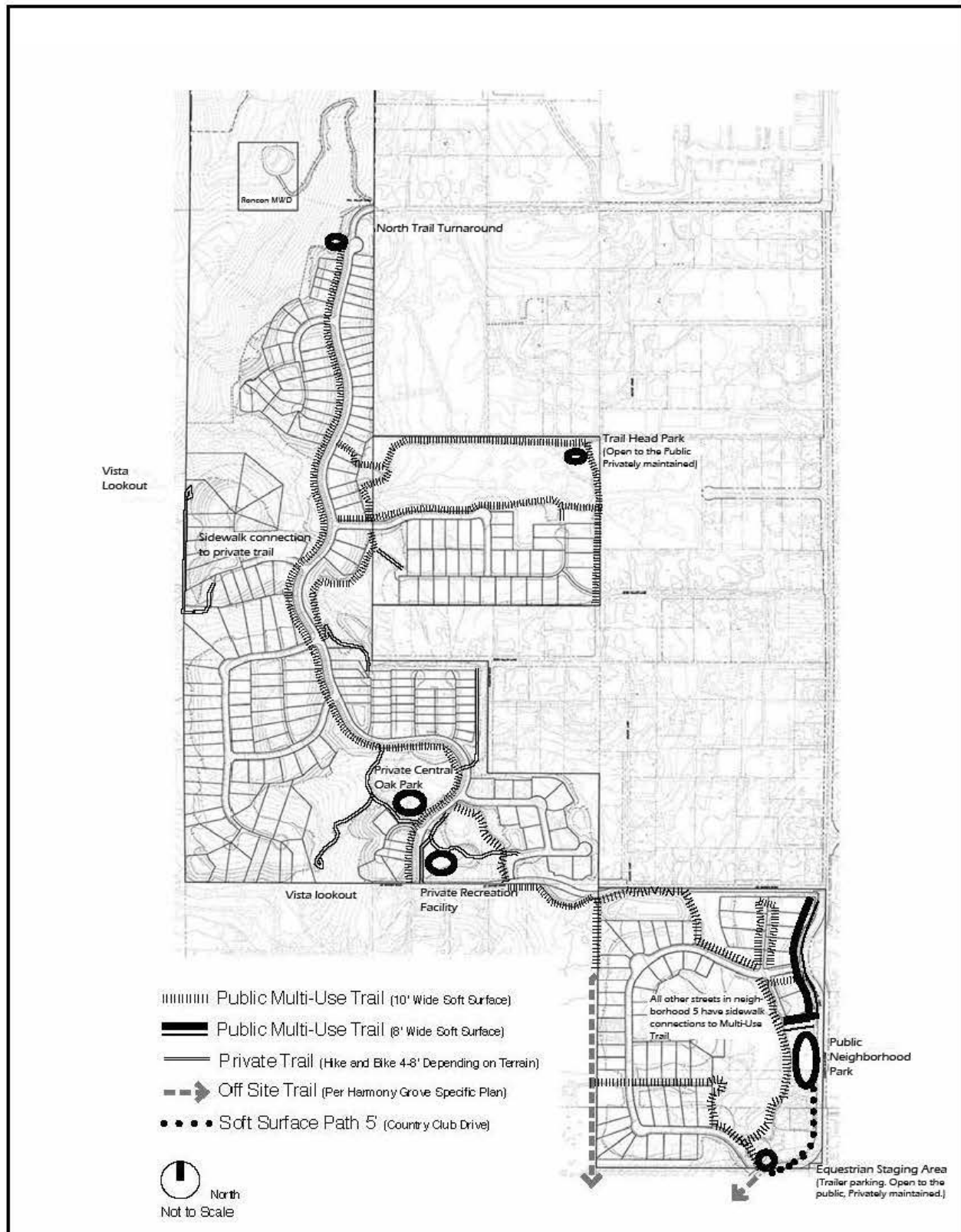
Landscaping is proposed along the streets to provide a pleasant driving experience and to also separate vehicular traffic from adjacent trails and pathways. The landscape plan is discussed in detail in Section 2.2 of the Specific Plan. Roadside landscaping is also depicted in the roadway cross sections (**Figures 3-2 through 3-9**). The primary roadway through the Plan area will be planted primarily with informal drifts of trees, shrubs and grasses to evoke a California rural landscape consisting of oaks and sycamores with olives at the entries. It is anticipated the Developer or Builder will install parkway street landscaping within the road easement and the Home Owners Association shall be responsible for maintenance. The trees depicted in the private yards outside of the easement are intended to be planted and maintained by the home owner.

## 3.3 Trail Network

A system of public multi-use trails and private trails will link key open space features of the site and will connect the site to proposed offsite public trails and nearby residential uses. The conceptual trail plan is presented in **Figure 3-11**.

The public multi-use trail will be 10 feet wide bound by fencing on one or both sides and will have a surface of native soil or similar suitable material. The Public Trail will be located within a 12-foot easement. Where adjacent to private roads, the 10'-wide public trails will be located within a 10'- 12'- wide public easement. The trail easement shall be free and clear of utility encroachment as shown in the street sections where the opposite side has a General Utility Easement. The established tread width shall be clear and free of obstructions or encroachments such as trees, decorative rocks, ground cover, bushes, irrigation systems, above ground utility facilities (boxes, pedestals, anchor wires, cellular facilities etc.), guard rails, concrete sidewalks, and large monument-type mailbox enclosures. Vertical

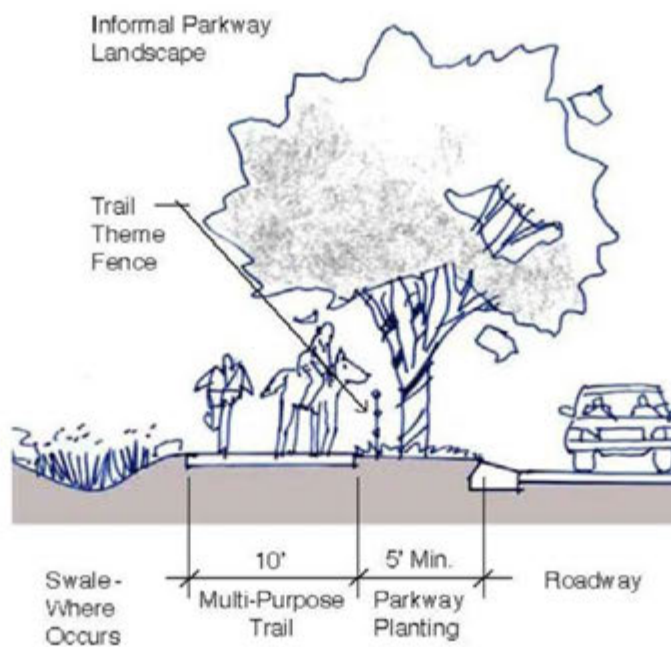
(overhead) clearance shall be a minimum of 10'. Signage depicting trail safety and rules will be located at strategic places along the trail. The trail is intended to provide equestrian, hiking, biking, jogging and nature viewing, highlighting Valiano's unique open space features. At the north end of the multi-use trail, a convenient turnaround has been provided with shade trees, benches, trash receptacle, and trail signage. The multi-use trail will be built to County of San Diego Trail Design Standards. The trail is intended to be a respite from daily life, a place to explore and learn about the wonders of nature and encourage a healthy lifestyle. The trail will run the full length the community parkway, in addition to connecting with parks and open space. A cross section of the multi-use trail is presented in **Figure 3-12**.



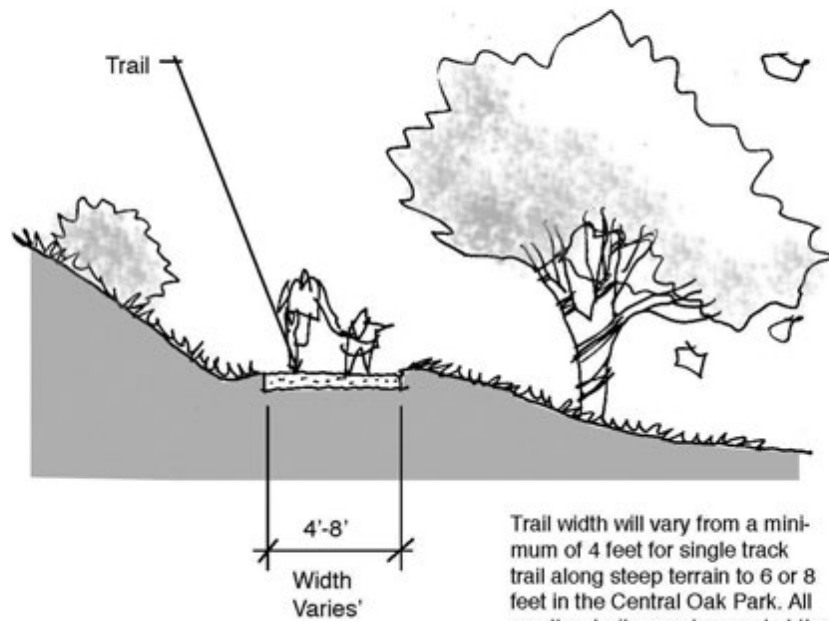
Source: Monica Simpson, ASLA

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County of San Diego

**Figure 3-11**  
Trails Plan



Source: Monica Simpson, ASLA



Trail width will vary from a minimum of 4 feet for single track trail along steep terrain to 6 or 8 feet in the Central Oak Park. All weather trails may be used at the Private Rec Facility depending on soils and usage.

Source: Monica Simpson, ASLA

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County of San Diego

**Figure 3-13**  
Private Trail Section

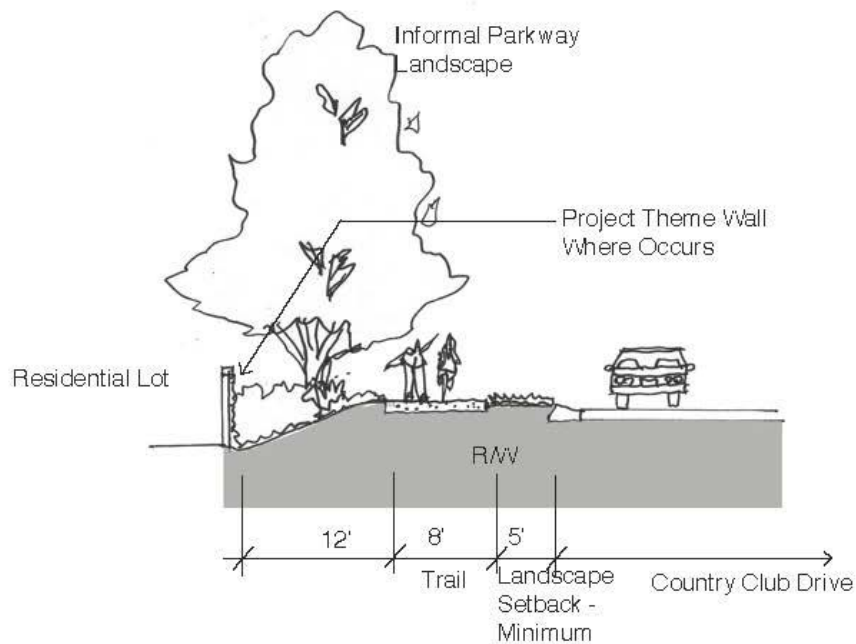
Smaller private hiking and biking trails intended for project homeowners will be located within the community connecting to residential neighborhoods as well as linking to the public multi-use trail. Trails will be from four to eight feet wide depending on terrain with a soft surface or asphalt as appropriate (**Figure 3-13**). The Plan area also includes a private pedestrian trail to a viewing point in the western portion of the project site, which takes the user to a prominent topographic feature to enjoy scenic vistas.

The trail network will also make connections to offsite trails, including connection to a future trail proposed by the adjacent Harmony Grove Specific Plan along Country Club Drive, south of Mount Whitney Road at the Western Project edge of Neighborhood 5. The off-site trail connection with Harmony Grove requires a gap connector between the specific plan boundaries and shall require overlapping easements to ensure a connection is made.

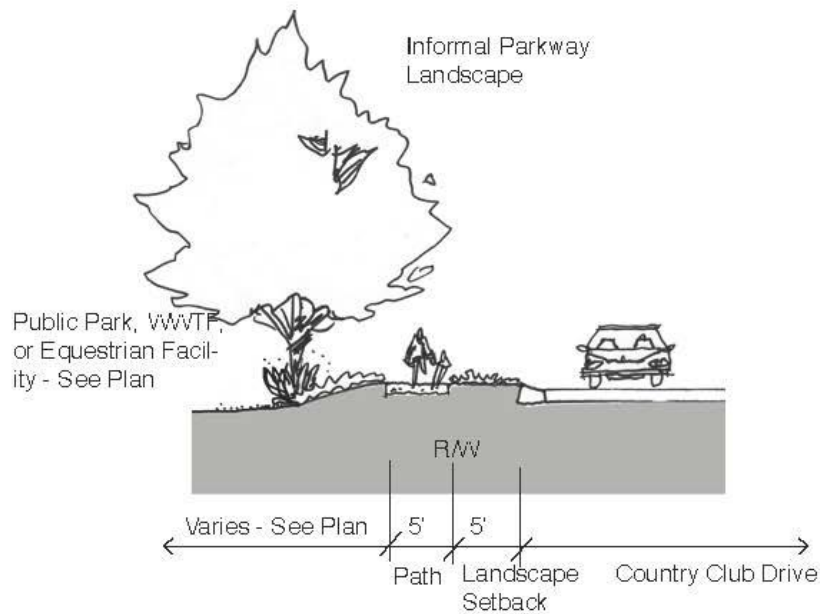
In addition, sidewalks will be located along most internal roadways, which in turn connect to the trail system. Sidewalks will be concrete. A five-foot wide stabilized decomposed granite trail is proposed along Country Club Drive. This continues the trail that is being constructed with the Harmony Grove project. **Figure 3-14** presents a cross section of the proposed trail along Country Club Drive.

## 3.4 PUBLIC TRANSIT

The North County Transit District (NCTD) provides public transit for North San Diego County, including the BREEZE bus system, COASTER commuter rail service, SPRINTER light rail, LIFT paratransit, and FLEX rural service. The closest public transit stop near the Plan area is the Nordahl SPRINTER station, which is located approximately one-mile northeast of the Plan area. The BREEZE bus Route 353 includes stops on W. Citricado Parkway, which is located about one mile east of the Plan area.



**8' Public Trail at Country Club Drive** (Note 8' Trail Turns into Park - See Plan)



**5' Path at Country Club Drive**

Source: Monica Simpson, ASLA

Valiano Specific Plan  
County of San Diego

**Figure 3-14**  
Trail Cross Section – Country Club Drive



## **4.0 RESOURCES ONSITE**

### **4.1 OVERVIEW OF RESOURCES ONSITE**

Sensitive resources in the Valiano Specific Plan area include biological resources (vegetation, wetlands and wildlife), agricultural resources (orchards and apiary uses), and cultural resources (archaeological and historical). This section of the Plan describes these resources and their proposed management.

### **4.2 ONSITE RESOURCES**

Onsite resources within the plan area include;

#### **4.2.1 Biological Resources**

Biological resources within the Plan area are presented in **Figures 4-1a and 4-1b**. Acreage of each vegetation type is presented in **Table 4-1**. Agriculture and non-native grassland represent the largest vegetation types, covering over approximately 81 percent of the Plan area.

##### **Flora and Fauna Observed in the Planning Area**

A total of 187 plant species were observed within the Plan area during biological resources surveys, with 94 of the species (50 percent) being non-native species. The predominance of non-native species is indicative of the fact that most of the site is in active agriculture use or contains non-native grasslands.

A total of 91 animal species were observed and/or detected within the Plan area, including 11 invertebrates, one amphibian, four reptiles, 65 bird, and ten mammals.

##### **Sensitive Habitats**

Sensitive habitats that occur on the site include: southern riparian forest, southern riparian woodland, southern willow scrub, mule fat scrub, freshwater marsh, herbaceous wetland, disturbed wetland, open water/pond, coast live oak woodland, Diegan coastal sage scrub, southern mixed chaparral, and non-native grassland.

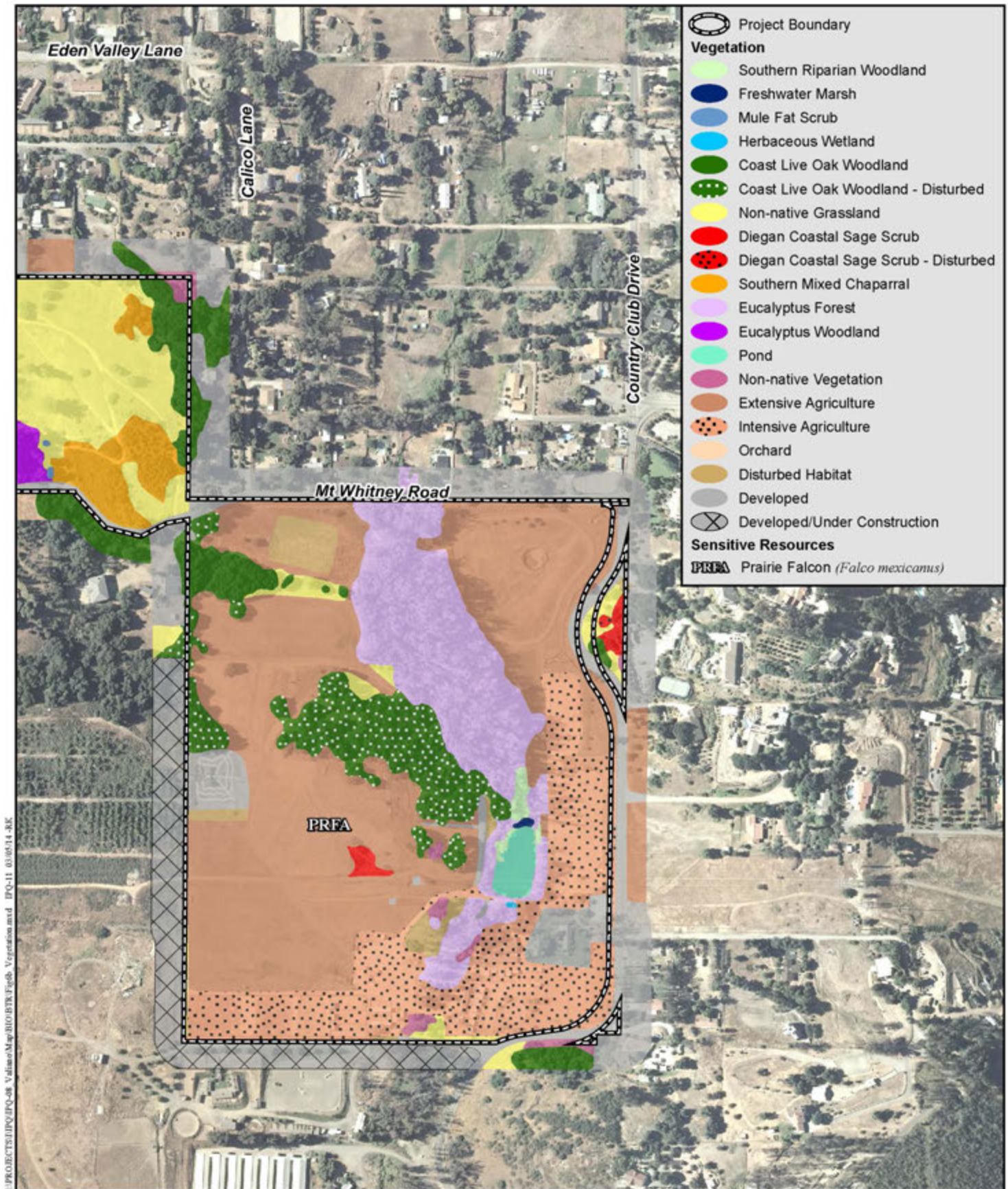
##### **Sensitive Plant and Wildlife Species**

A rare plant survey was conducted in May 2013. No sensitive plant species were observed. Ten sensitive wildlife species were observed within the Plan area: Cooper's hawk, grasshopper sparrow, red-









**Vegetation and Sensitive Resources Map**

VALIANO

shouldered hawk, turkey vulture, northern harrier, white-tailed kite, prairie falcon, southern mule deer, yellow warbler, and western bluebird. Protocol surveys for coastal California gnatcatcher and least Bell's vireo were completed in 2013. Neither of these species were observed or otherwise detected on the site.

**Table 4-1. Vegetation/Habitat Types in the Plan Area**

<b>Vegetation/Habitat Type</b>	<b>Acreage</b>
Southern Riparian Forest	2.50
Southern Riparian Woodland	0.29
Southern Willow Scrub	0.15
Mule Fat Scrub	0.02
Freshwater Marsh	0.12
Herbaceous Wetland	0.35
Disturbed Wetland	0.13
Open Water/Pond	0.51
Tamarisk Scrub	0.04
Coast Live Oak Woodland (including disturbed)	11.7
Diegan Coastal Sage Scrub (including disturbed)	1.8
Southern Mixed Chaparral (including disturbed)	8.0
Eucalyptus Forest	7.2
Eucalyptus Woodland	3.5
Non-native Grassland	63.9
Non-native Vegetation	1.5
Orchard	100.2
Intensive Agriculture	8.8
Extensive Agriculture	21.3
Disturbed Habitat	2.4
Developed Land	4.1
<b>TOTAL</b>	<b>238.8</b>

### **Open Space for Biological Resources**

The protection of sensitive biological resources, including wetlands has been considered in the Land Use Plan for the Valiano Specific Plan. Approximately 31.2 acres (13.1 percent of the Plan area) will be protected within a biological open space easement (**Figure 4-2**).

To deter unauthorized access, the outer edge of the biological open space will be fenced with 3-strand wire fencing (or similar). Signage identifying the area as open space will be placed approximately every 100 feet along the biological open space boundary as shown on figure 16a and 16b of the Biological Technical Report.

**Open Space Maintenance** – Biological open space within the Valiano Specific Plan shall be maintained by the homeowners association. The HOA shall be responsible for maintaining fences and signs, monitoring for unauthorized entry, and trash removal on at least a quarterly basis, and invasive weed abatement if deemed necessary. Any vegetation removal within the biological open space must be supervised by a qualified biologist from the County's approved consultant list. Additionally homeowners shall be made aware all biological open space areas are to remain off-limits to human activities and to homeowners' pets.

### **4.2.2 Agricultural Resources**

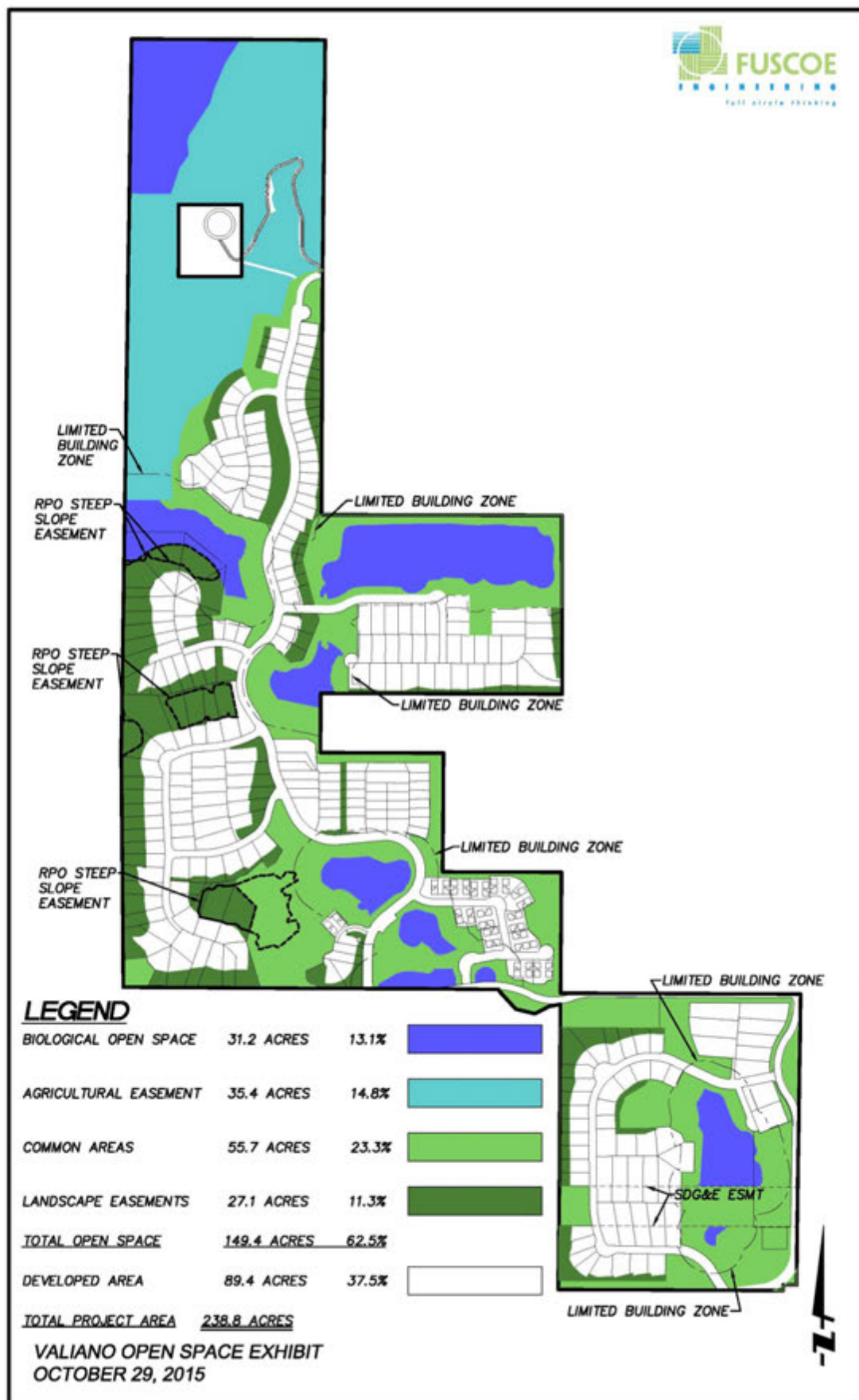
Approximately 137.16 acres of the project site contains agricultural resources of varying degrees of health, including areas used currently or historically for commercial agricultural operations. The quality of the agricultural resources on the site varies, from poor quality to better quality. This includes 116.96 acres of active avocado orchards, and 0.4 acre of active apiary (bee keeping) use, 12.9 acres of historic orchard use in the southeastern portion of the site, 1.59 acres of historic orchard use in the east-central portion of the site, 1.35 acres of historic row/field crop production in the east-central portion of the site, and areas mapped as Unique Farmland and Farmland of Local Importance by the Farmland Mapping and Monitoring Program (FMMP). The orchards are primarily located on the steep slopes on the site. Agriculture is an important part of the San Diego County economy. In addition agricultural uses provide an aesthetic value and can contribute to a less urban community character.

### **Open Space for Agricultural Resources**

The protection of existing agricultural operations on the site has been considered in the Land Use Plan for the Valiano Specific Plan. Approximately 35.4 acres of existing agricultural acreage on the site will be retained as an agricultural preserve, via an easement that would preclude development or other uses that could prevent or diminish the availability or viability of this area for continued agricultural use.

Specifically, the 35.4-acre agricultural easement would be granted to the County of San Diego to protect the viability of the associated agricultural uses. All non-agricultural uses would be prohibited, including: (1) the construction or placement of any residence, garage, or any accessory structures designed or intended for human occupancy; (2) the construction or placement of any recreational amenities such as tennis courts or swimming pools; and (3) other non-agricultural related grading or construction that would render any portion of the noted easement unavailable or non-viable for agricultural use. Exceptions to the described prohibitions may include grading and construction for wells, water distribution systems or other activities/facilities required for agricultural operation, as well as fuel management activities required by a written order from the Fire Marshal. Agriculture activities on the site would not include the growing of invasive plants that could spread to native habitats.





Source: Fuscoe Engineering

Valiano Specific Plan  
County of San Diego

**Figure 4-2**  
Open Space

The Homeowner's Association would retain an agricultural manager to oversee the continued operation of the land, following all applicable regulations and best management practices. Irrigation for ongoing agricultural activities would come from an existing on-site well and related facilities that are currently used to irrigate the existing avocado orchards. In addition, uses such as small orchards and gardens would be allowable within individual residential lots on the proposed development. Such uses would constitute a design feature on residential lots to provide transitional/buffer areas with off-site agriculture and/or open space.

The open space area has been designed to retain a large connected block of agriculture to ensure the viability of ongoing agricultural operations. In addition, the retention of agriculture provides a unique feel to the Valiano Plan area and retains a connection to past uses within the Plan area. **Figure 4-2** shows the proposed open space.

### 4.2.3 Cultural Resources

A cultural resources analysis was conducted in order to assess the presence of any prehistoric or historic cultural resources within the Plan area and to determine their significance under the California Environmental Quality Act (CEQA) and the County of San Diego Resource Protection Ordinance (RPO). The archaeological investigation identified nine archaeological sites, one isolate and two historic farm/ranch complexes.

Eight of the archaeological sites and the one isolate were determined not to be significant under CEQA or the RPO. One site was assessed as a significant resource under CEQA but did not meet the requirements for significance under the RPO. Impacts to this resource will be mitigated to below a level of significance by implementation of a research design and data recovery program.

Both of the historic farm/ranch complexes were evaluated for significance and determined to not be significant resources under CEQA or RPO. While the cultural resources analysis concluded the standing structures at the Fines historic complex (the current Harmony Grove Equestrian Center) are not significant resources, they are located in an area where a family farm was in operation from the 1870s to the mid-1930s and there is a potential for subsurface historic cultural resources materials in the area surrounding the buildings and structures.



## 5.0 PUBLIC SERVICES AND FACILITIES PLAN

### 5.1 OVERVIEW OF PUBLIC SERVICES AND FACILITIES PLAN

The Valiano Public Services and Facilities Plan addresses the public facilities and services necessary to provide the Plan area with a full range of public services while minimizing the impact on existing service providers and resources. Options for the financing, phasing and maintenance of public services and facilities are addressed in Section 7.0. **Figure 5-1** depicts the location of public facilities in the vicinity of the Plan area.

The San Diego Association of Governments (SANDAG) publishes information on the average number of people per household in various areas of San Diego County. Unincorporated San Diego County had an average of 2.95 persons per household. With up to 326 residential units proposed in the Plan area, this translates to a population increase of approximately 962 residents upon full build-out of the Valiano Specific Plan.

### 5.2 SCHOOLS

The Plan area is served by the Escondido Union School District for K-8 education and the Escondido Union High School District for grades 9-12. The Escondido Union School District (EUSD) serves major portion of the city of Escondido and portions of the surrounding unincorporated area. EUSD serves more than 18,000 students in 23 schools.

The Escondido Union High School District (EUHSD) serves the major portion of the city of Escondido and portions of the surrounding unincorporated area. EUHSD serves more than 8,500 students across three high schools, the Del Lago Academy, and one continuation campus.

Schools that would serve the Plan area include:

- Rock Springs Elementary School, 1155 Deodar Road, Escondido (Grades K-5).
- Del Dios Middle School, 1400 W 9<sup>th</sup> Avenue, Escondido (Grades 6-8).
- San Pasqual High School, 3300 Bear Valley Parkway, Escondido (Grades 9-12).

The Plan area would generate an estimated 150 students upon buildout (**Table 5-1**). This includes approximately 66 elementary school students, 32 middle school students and 52 high school students.



Source: GoogleEarth

**Valiano Specific Plan**  
County of San Diego

**Figure 5-1**  
Public Services and Facilities in  
Project Vicinity

**Table 5-1. Projected Plan Area Student Generation**

Dwelling Type	Total Dwelling Units	Education Level	Generation Factor	Students Generated
Single Family	326	Elementary School Grades K-5	0.1971	64
		Middle School Grades 6-8	0.0954	31
		High School Grades 9-12	0.1554	51
Total Students Generated				146

Please see the Valiano Specific Plan Environmental Impact Report for more detailed information regarding current enrollment and planned capacity for each of the referenced schools.

## 5.3 COMMUNITY FACILITIES

### 5.3.1 Parks and Recreation Space

The Valiano Specific Plan incorporates park space as part of the overall land use concept. A multi-use trail network is proposed and has been designed to accommodate equestrian uses. A local trail head is proposed in the north-central portion of the project site. All recreation facilities will be developed in conformance with the concept park exhibits within the Valiano Specific Plan, the standards and guidelines of the County Department of Parks and Recreation, and the County Park Lands Dedication Ordinance (PLDO). Park Site Plans which include full plans and specifications for each public and private park must be approved by the Director of Parks and Recreation prior to approval of the Final Map. Any private recreation facilities receiving credit for land dedication must be restricted for park and recreational purposes by an open space or recreation easement or other instrument approved by the County. These easements must be approved prior to approval of Final Map.

**Public Neighborhood Park and Staging Area** - Valiano includes a 2.65-acre Neighborhood Park located in the southeast portion of the Plan Area adjacent to Country Club Drive. This Neighborhood Park has been designed as a natural and informal park to seamlessly integrate and complement the rural character of Eden Valley. It is intended to provide a local gathering space and pedestrian staging area for residents within Eden Valley. The Neighborhood Park is designed to include a variety of programming opportunities including, but not limited to, open lawn area, group shade structure, picnic areas, children's play areas with age separated activities, half-court basketball, a horse hitching station, and a community garden. Structures and amenities shall be designed to reflect the rural design of the

community and be reflective of its landscape and architectural character. **Figure 2-7** presents a concept plan for the public neighborhood park.

**Equestrian Staging Area** – Portions of the existing equestrian training on the property will remain and be maintained by the HOA and operated privately, yet open to the public. The site will be reconfigured to allow public horse trailer parking and use of an exercise ring for the public to access the multi-use trail (conceptual design in **Figure 2-7** to be refined during final engineering).

**Private Recreation Facility** – The Valiano Recreation Center located on 2.33-acres off of Mount Whitney Road will be a private facility for residents. It is part of the entry experience into the community and visually connected to the Private Central Oak Park and to community trails **Figure 2-7b**. The Park will include a small community building, swimming pool, open lawn area, picnic areas, and a children’s play area. The built facilities will be carefully nestled into the mature landscape and riparian area. Limited parking will be provided on street.

**Private Central Oak Park** - Truly a treasure, this existing grove of mature oaks will be preserved for the community to enjoy. It is located along the Community Parkway as a symbol of the important visual and social role it will play in the community. It is conveniently connected to neighborhood walks and the public multi-use trail **Figure 2-7b**. This 1.23-acre park will maintain existing habitat, and provide opportunities for both active and passive recreation such as open lawn areas, picnic areas, two fitness nodes, and informal children’s play areas. Informal play opportunities may consist of interestingly designed pathways, random arrangement of boulders, logs and other natural objects that can provide a variety of play opportunities to encourage children to use their imagination or create their own adventure. A fitness course or fitness stations is proposed along the private trail section with the park. The park will be privately maintained.

**Trail Head Park** – An approximate 0.45-acre Trail Head Park is proposed within the eastern portion of the project in Neighborhood 2 and will provide convenient non-motorized access to the trail system for Eden Valley residents to the east of the Plan area **Figure 2-7c**. The Trail Head Park is intended to have benches, picnic tables, and a trail map/area information kiosk. The Trail Head Park will be maintained by the Valiano Homeowners Association. Please see Section 3.3 for a description of the trail plan.

**North Trail Turnaround** – At the north end of the multi-use trail, a convenient turnaround has been provided with shade trees, benches, trash receptacle, and trail signage **Figure 2-7a**. The Trail End Turnaround will be maintained by the Valiano Homeowners Association.

**Other Recreational Opportunities** - Existing park and recreation facilities owned and maintained by the City of San Marcos in the vicinity of the Plan area include Jack’s Pond Park and Montiel Park. Jack’s Pond

Park is located approximately 0.6 miles northwest of the Plan area and is developed with a trail, picnic area, restroom, tot lot and nature center. Montiel Park is located approximately 1.5 miles northeast of the project site and is developed with a dog run, half-basketball court, picnic tables, open play grass area, 9-hole disc golf course, and portable restrooms. Recreational amenities are also proposed within the Harmony Grove Village Specific Plan to the south of the Valiano Specific Plan area.

### **5.3.2 Library Services**

The project area is served by the San Diego County Library system. The closest facility is the San Marcos branch, located at 2 Civic Center Drive, approximately two miles northwest of the Plan area. The main branch of the Escondido Public Library, located at 239 South Kalmia in Escondido, is approximately 3.5 miles east of the Plan area. Additional library resources are available to the community through two colleges located in San Marcos. A community member may purchase an annual Community Borrower card for \$30.00 to obtain borrowing privileges at the California State University San Marcos campus library. Palomar Community College offers free access to materials by using a valid picture ID and proof of current mailing address.

## **5.4 FIRE PROTECTION**

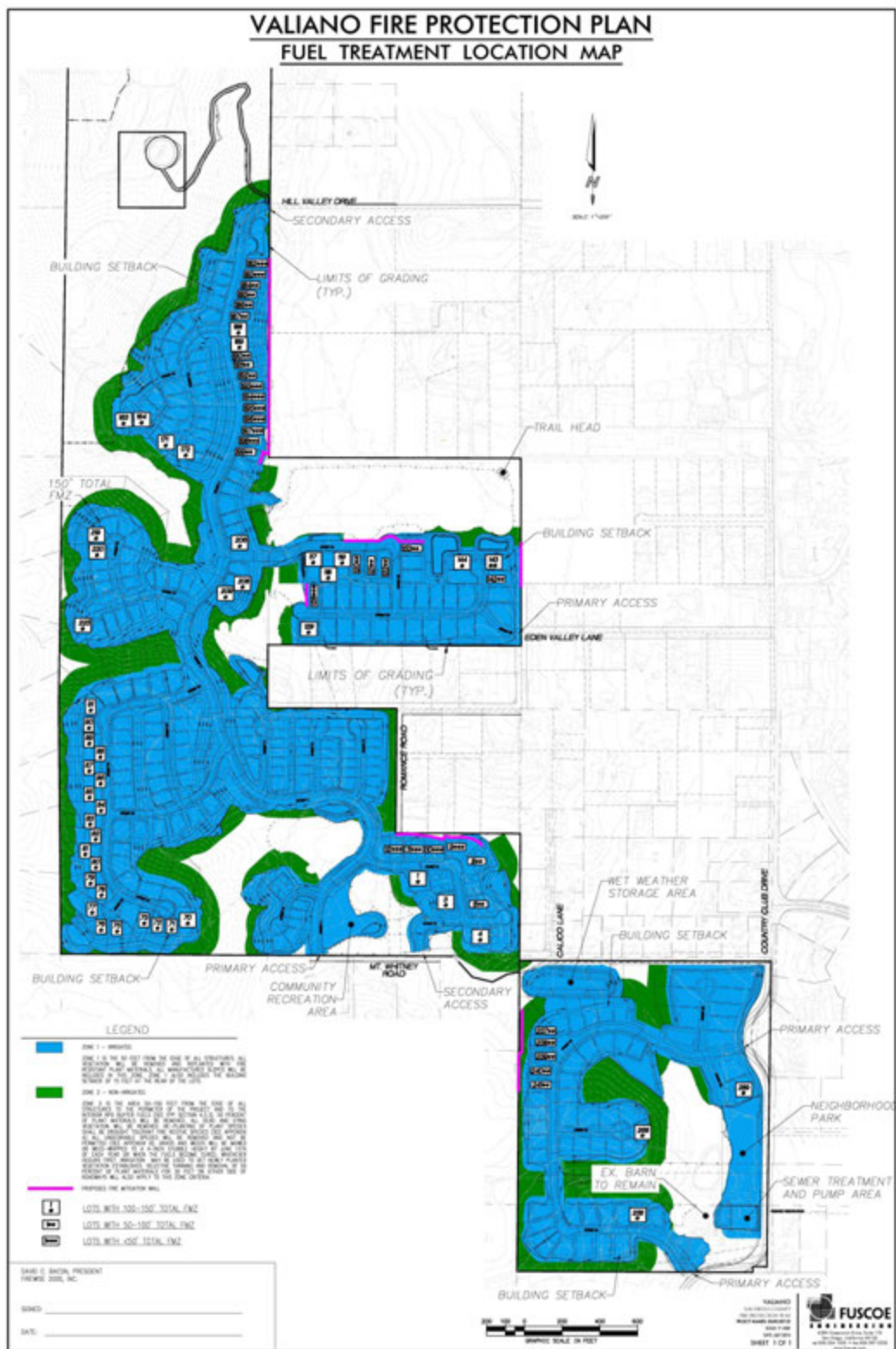
The Valiano Specific Plan is within the San Marcos Fire Protection District, served by the San Marcos Fire Department (SMFD) which will provide service for the Plan area. The closest San Marcos fire station to the project is Station 3, located at 404 Woodland Parkway in San Marcos. This fire station is fully staffed 24 hours a day, seven days a week. The travel time from this station to the furthest structures, which would be planned in Neighborhood 2, would be approximately 7.0 minutes. This travel time is based on an average safe speed of 35 mph and would exceed the County General Plan policy for maximum travel time. If the travel time is based on posted speeds of the roadway (e.g., Country Club Road posted speed is 45 mph), the calculated travel time would be significantly reduced. Strobe sensors on the major intersection street/traffic lights would also decrease the travel time by reducing the acceleration/deceleration constant for emergency apparatus. The approximate travel time would be reduced by approximately 1.25 minutes when travel is based on posted speeds and installation of strobe sensors.

In addition, SMFD has established several mutual and automatic aid agreements with surrounding fire departments, such as the City of Escondido, which has seven stations. Escondido Fire Station 1, located at 310 North Quince is 4.2 miles and approximately 7.75 minutes travel time. Station 6, located at 1735 Del Dios Highway is 3.1 miles from the Plan area and has an approximately 5.9 minute travel time to the

project site. The closest unit/drop boundary agreement, with automotive vehicle locators on engines, enables dispatch to locate and send the closest unit, regardless of agency.

Additionally, a new fire station (Harmony Grove Fire Station) will be constructed on the site of the adjacent Harmony Grove Village Project. The temporary Harmony Grove Fire Station is currently operational and the permanent station should be operational as early as 2017. A two-acre lot has been transferred to the County for the new fire station and a Community Facilities District (CFD) has been established with a funding mechanism in place. A portion has already been funded and the final payment would be paid upon construction of the 100 building permit estimated at the middle of 2016. The new station will be within a 5-minute response time to the entire Valiano site.





Source: Firewise 2000 and Fuscoe Engineering

Valiano Specific Plan  
County of San Diego

**Figure 5-2**  
Fuel Treatment

A comprehensive approach to fire safety is proposed for the Plan area. The Valiano Fire Protection Plan (FPP) identifies recommendations for fire protection for future development within the Plan area. Those recommendations are incorporated by reference into the Valiano Specific Plan. Key components of the Valiano FPP include:

- Implementation of a 150-foot Fuel Modification Zone (FMZ), and/or mitigation measures where the 150-foot buffer cannot be met per the Valiano Fire Protection Plan (FPP), around all inhabited structures and the entire project perimeter. The FMZ (**Figure 5-2**) includes two zones. Zone 1 represents the first 50 feet from inhabited structures and will be planted with irrigated fire-resistant landscaping. Zone 2 represents the area between 50 to 150 feet from structures. This is a non-irrigated area that will be subject to on-going maintenance to remove or thin vegetation by 50 percent;
- Implementation of a 30-foot FMZ on either side of roadways per Zone 2 requirements; and
- Use of ignition-resistant construction materials and installation of automatic fire sprinklers.

### 5.5 POLICE PROTECTION

Police protection services for the Valiano Specific Plan area will be provided through the San Diego County Sheriff's Department, under contract with the City of San Marcos. Specifically, the project will be served by the existing San Marcos Station located at 182 Santar Place, approximately 1.5 miles northwest of the Plan area.

The San Marcos Station provides law enforcement services to the City of San Marcos as well as the unincorporated communities surrounding the station including parts of Escondido, Harmony Grove, Elfin Forest, Lake San Marcos, Mountain Meadows and San Pasqual Valley.

Services are available 24 hours a day, seven days a week and include general patrol, traffic enforcement, criminal investigation, crime prevention, juvenile services, communication and dispatch and various management support services. Law enforcement services include Community Oriented Police and Problem Solving (COPPS) Teams, traffic enforcement, criminal investigation, canine handlers, juvenile diversion, narcotics and gang investigations and crime prevention.



## **5.6 SOLID WASTE DISPOSAL**

Waste collection and recycling services in the vicinity of the Plan area currently provided under contract by EDCO Waste & Recycling Services. Prior to the issuance of building permits, each development project within the Plan area will be required to provide adequate areas for collecting and loading of recyclable materials, as well as solid waste storage. In addition to curbside pick-up, community drop off locations within the Cities of Escondido and San Marcos are available for proper disposal of universal waste and household hazardous waste.

## 6.0 UTILITIES PLAN

### 6.1 OVERVIEW OF UTILITIES PLAN

This section of the Valiano Specific Plan addresses the utility systems required to serve the Plan area. Each component of the utility system is designed to ensure adequate infrastructure capacity to serve demand from all land uses at buildout of the Valiano Specific Plan. The following Plan area utilities are discussed in detail below: water, wastewater, stormwater drainage and detention, electricity and natural gas. **Table 6-1** identifies the utility providers for the Plan area.

**Table 6-1. Utility Providers**

Utility	Provider
Water	Rincon del Diablo Municipal Water District
Sewer	San Diego (County) Sanitation District (preferred option) Valiano Home Owner's Association/Project Owner
Storm Drainage	Valiano Home Owner's Association/Project Owner
Natural Gas	San Diego Gas & Electric
Electricity	San Diego Gas & Electric

### 6.2 POTABLE WATER SUPPLY

Water service for fire protection and potable residential use will be provided by Rincon del Diablo Municipal Water district. The Plan area is located entirely within the boundaries of the Rincon del Diablo Municipal Water District (Rincon). Rincon serves approximately 30,000 people through nearly 8,000 connections in portions of the cities of Escondido, San Marcos and San Diego.

Specifically, the Plan area will be served by the Improvement District 1 South (ID 1) water system. ID-1 South includes existing development generally south of State Route 78 and west of Interstate 15. The San Diego County Water Authority SDCWA is the sole supplier of water to the ID 1 service area via two connections to the First Aqueduct, near the Hubbard Hill area to the northeast of the Project.

The Plan area is located to the west of the District's current service area and will be served by the 959 Pressure Zone in this area. Potable water service for the Plan area will be primarily provided by connections to existing 14-inch water main along the southern boundary of the Plan area, near Country Club Lane. Secondary sources of water supply are required for the project and a new 12-inch main is recommended to Eden Valley Lane and the backbone 16-inch to the north at Hill Valley Drive so it can be

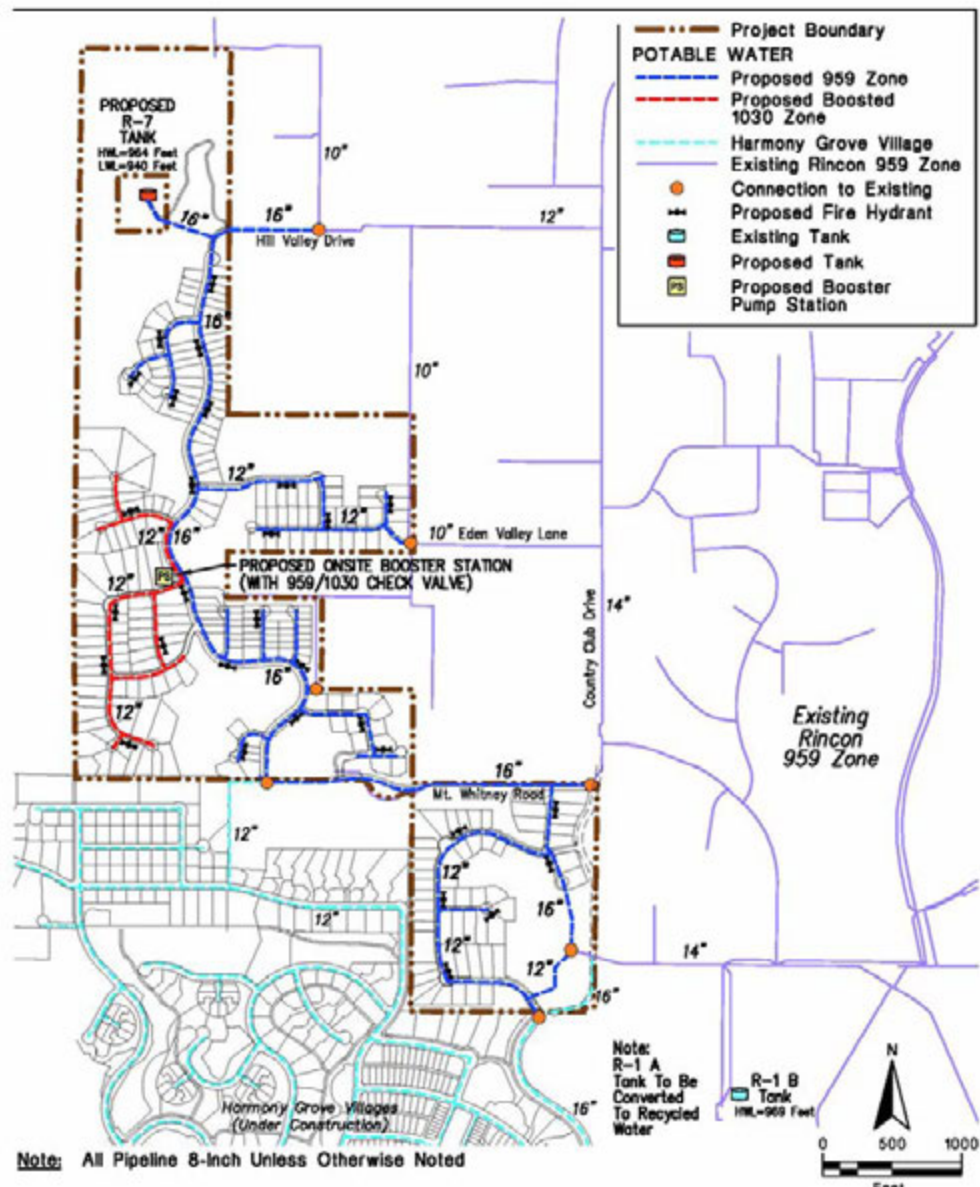
connected to the District’s reservoir and transmission project. **Figure 6-1** depicts the proposed potable water infrastructure concept.

The 959 Pressure Zone can generally serve lots at elevations of 800 feet or lower; lots with higher elevations may require boosted pressures to meet peak domestic demands and fire flows while maintaining residual pressures in accordance with the District’s criteria. A water system analysis will be performed by the District to determine the extent of onsite and any offsite water system requirements. The District has updated its Water Master Plan (June 2014), which identifies facility improvements, potable service extensions, and future capital improvement projects. As part of the Water Master Plan an expansion of the District’s recycled water system is also presented, that includes the extension of a recycled water system to the Valiano Project.

Water demand factors and total water demand for the project vary by the type of proposed land use. **Table 6-2** summarizes the anticipated potable water demand for domestic use within the Valiano Specific Plan.

**Table 6-2. Potable Water Demand Criteria**

Site	Units/Acres	Unit Demand (gpd/unit)	Average Demand		Max Day Demand		Peak Hour Demand
			(gpd)	(gpm)	(gpd)	(gpm)	
Condominium Residential (Detached)	49	400	19,600	14	50,960	35	55
Single Family Residential	277	510	141,270	98	365,889	254	382
<b>Total</b>	<b>326</b>		<b>160,870</b>	<b>112</b>	<b>416,849</b>	<b>289</b>	<b>437</b>



Source: Atkins

Valiano Specific Plan  
County of San Diego

**Figure 6-1**  
Potable Water Concept

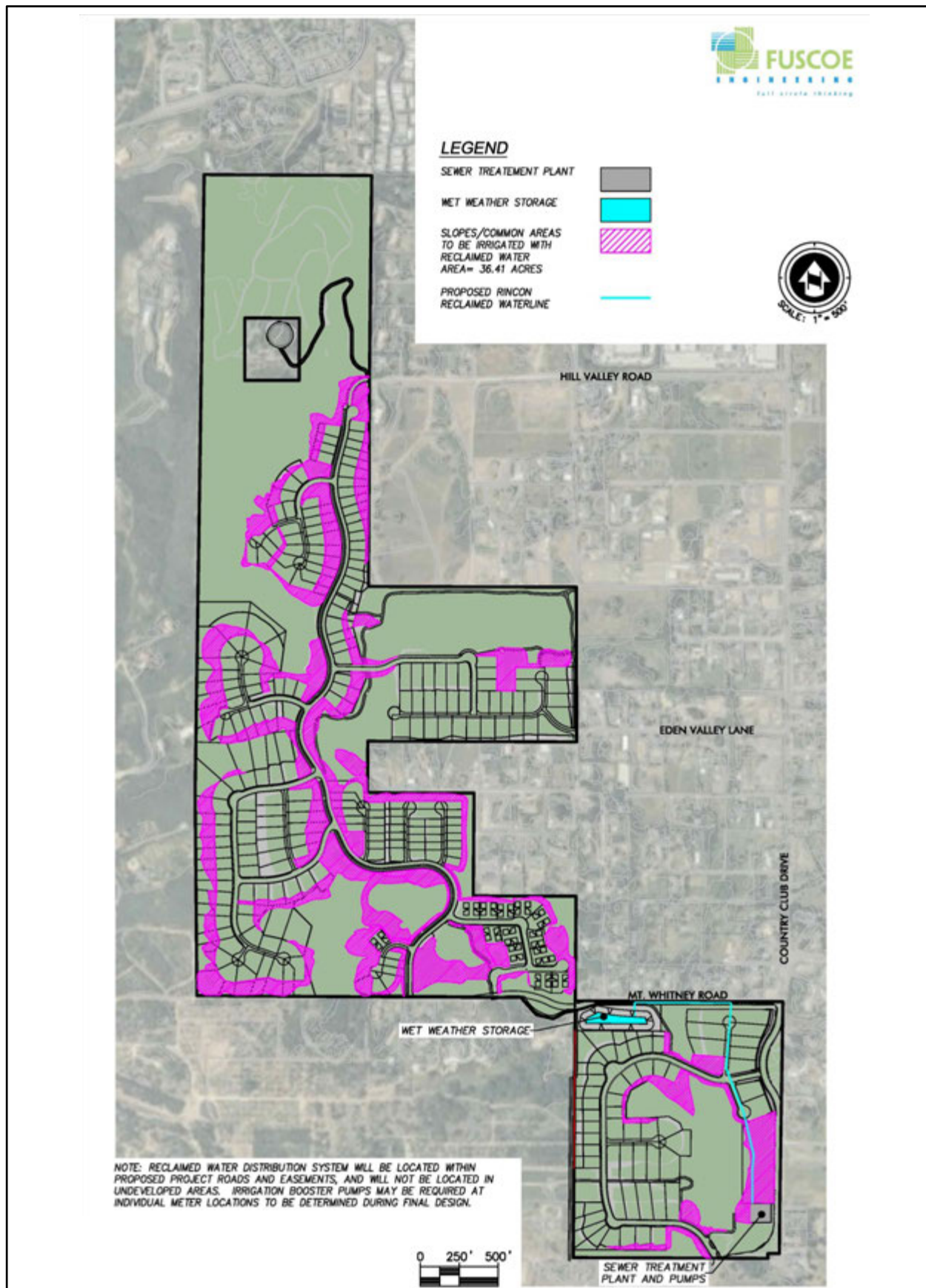
### **6.3 RECYCLED WATER SUPPLY**

The primary source of recycled water for the project will be the on-site wastewater treatment and water reclamation facility (WTWRF) (assumed County owned and operated) located at the southeast corner of the development. The WTWRF will produce recycled water meeting California Title 22 water standards and provide a recycled water supply for on-site irrigation demands. At build-out, the WTWRF is estimated to produce 72,000 gallons per day (gpd) or 50 gallons per minute (gpm) average daily flow.

Parks, open space, parkways and private landscaping within the Plan Area would be irrigated with recycled water. Typical irrigation demands throughout the county range from 2.0 to 3.5 acre-feet per year (AFY) per irrigated acre. The project will develop sufficient on-site irrigation demands to dispose of all effluent generated from the project on an average annual basis. In essence, similar to Harmony Grove Village, the onsite irrigation will serve as a “spray field” for effluent disposal. In concept, approximately 72,000 gpd of irrigation is required. Assuming an average of 3.0 acre-feet per acre per year (2,700 gpd per acre), this equates to about 27 acres of area to be permanently irrigated, which can be developed on site. All preliminary assumptions on yearly irrigation demands for HOA-maintained slopes and common areas will be finalized during future submittals of final landscape construction drawings and must comply with Sections 86.712 (Maximum Applied Water Allowance) and 86.713 (Estimated Total Water Use) of the County’s Water Conservation in Landscaping Ordinance.

The proposed recycled water system will originate at the new WTWRF, which will require a dedicated recycled water pump station to serve the distribution system and wet weather storage site. Given the relatively small size of booster pump station, no significant storage is recommended on-site at the WTWRF, since storage will exist in the District’s system in the form of the converted existing potable reservoir R-1A (3.1 MG) to recycled water as part of the Harmony Grove Village development. The proposed recycled water pump station would be sized for the maximum day demands and designed to operate in conjunction with the Harmony Grove WRP recycled water pump station. The estimated capacity for the recycled water pump station is about 150 gpm.

The project also includes 6.4 MG of recycled water storage as part of the design of the Valiano WTWRF to satisfy the permit requirements of the San Diego Water Quality Control Board. This study assumes this storage is primarily dedicated to the WTWRF operations during wet weather events. Surplus recycled water generated by the WTWRF during winter months could be stored in the wet weather storage facility for future use by the project. This study recommends that the District coordinate this operation as part of its agreement with the County. Recycled water storage in the wet weather storage



Source: Fuscoe

Valiano Specific Plan  
County of San Diego

**Figure 6-2**  
Reclaimed Water Concept

site will likely need to be retreated or filtered at the WTWRF and this would be properly designed into the WTWRF.

**Figure 6-2** presents the proposed recycled water system to serve the proposed irrigated areas and to achieve the minimum 27 acres of irrigated area.

### 6.4 WASTEWATER

The existing parcels within this Specific Plan Area either have no dwelling units, or are served by existing septic systems. The proposed development will generally be served by a system of public sewer mains and a public treatment facility to be located at the southeasterly corner of the project. **Figure 6-3** shows the proposed wastewater infrastructure for the Plan area. Peak onsite wastewater flows at full buildout of the Plan area will be approximately 286,380 gallons per day (gpd) or 200 gallons per minute (gpm) under peak hour weather condition.

Six scenarios are under consideration for wastewater treatment and disposal for the project site. They are:

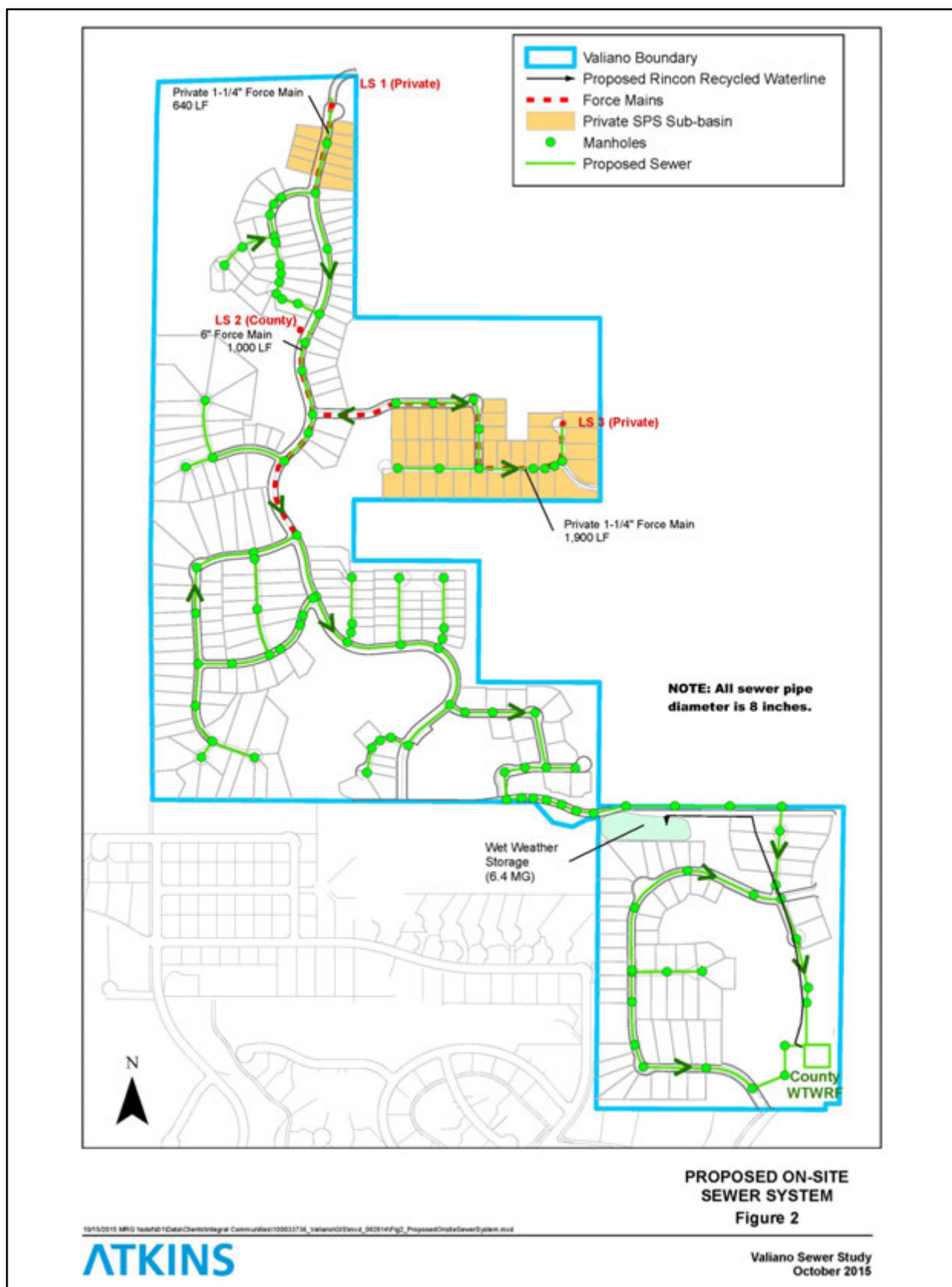
- Onsite Water treatment and water reclamation facility (WTWRF) owned and operated by the County.
- A re-rated Harmony Grove Water Reclamation Plan (HGWRP) based on actual lower flows and wastewater loading from the proposed Harmony Grove development resulting in excess wastewater treatment plant capacity.
- Out-of-service agreement between the County and Escondido for sewer treatment and disposal.
- Acquisition of excess sewer capacity by the County from the City of San Diego in the Escondido sewer treatment plant.
- Annexation to Vallecitos Water District for sewer service only.
- Activation of Rincon MWD latent powers for sewer service and development of new sewer system.

A new County WTWRF is the preferred sewer option, although depending on regulatory and institutional changes other sewer options could be implemented. Each of these options is explained in further detail, below.



#### **6.4.1 Onsite WTWRF Facility**

A proposed new WTWRF would be located on a 0.4-acre site adjacent to a proposed park site, with a common access driveway at the south end of the park site off Country Club Lane in Neighborhood 5. A proposed storm water detention basin is located to the west, and an existing equestrian area is immediately to the south. The facility would use Aero-mod processing and would be owned and operated by the County of San Diego. Wastewater quality assumptions for development of the 72,000 gpd Aero-Mod WTWRF are based on the wastewater loading rates developed in the Harmony Grove Design Report. Based on the County's comments and review, a similar preliminary design effort would be undertaken for the new WTWRF as part of the design and engineering phase. Wet weather storage would be constructed to meet the Regional Water Quality Control Board's requirement for approximately 90 days of recycled water storage. Therefore, a total of approximately 6.4 million gallons (MG) of storage must be provided. Given the WTWRF site constraints, a wet-weather storage site has been identified on the tentative map, about 1,500 feet to the northwest. An earthen storage basin has been assumed, and its final size would be determined during pre-design of the WTWRF.



Source: Atkins

Valiano Specific Plan  
County of San Diego

**Figure 6-3**  
Proposed Onsite Sewer System

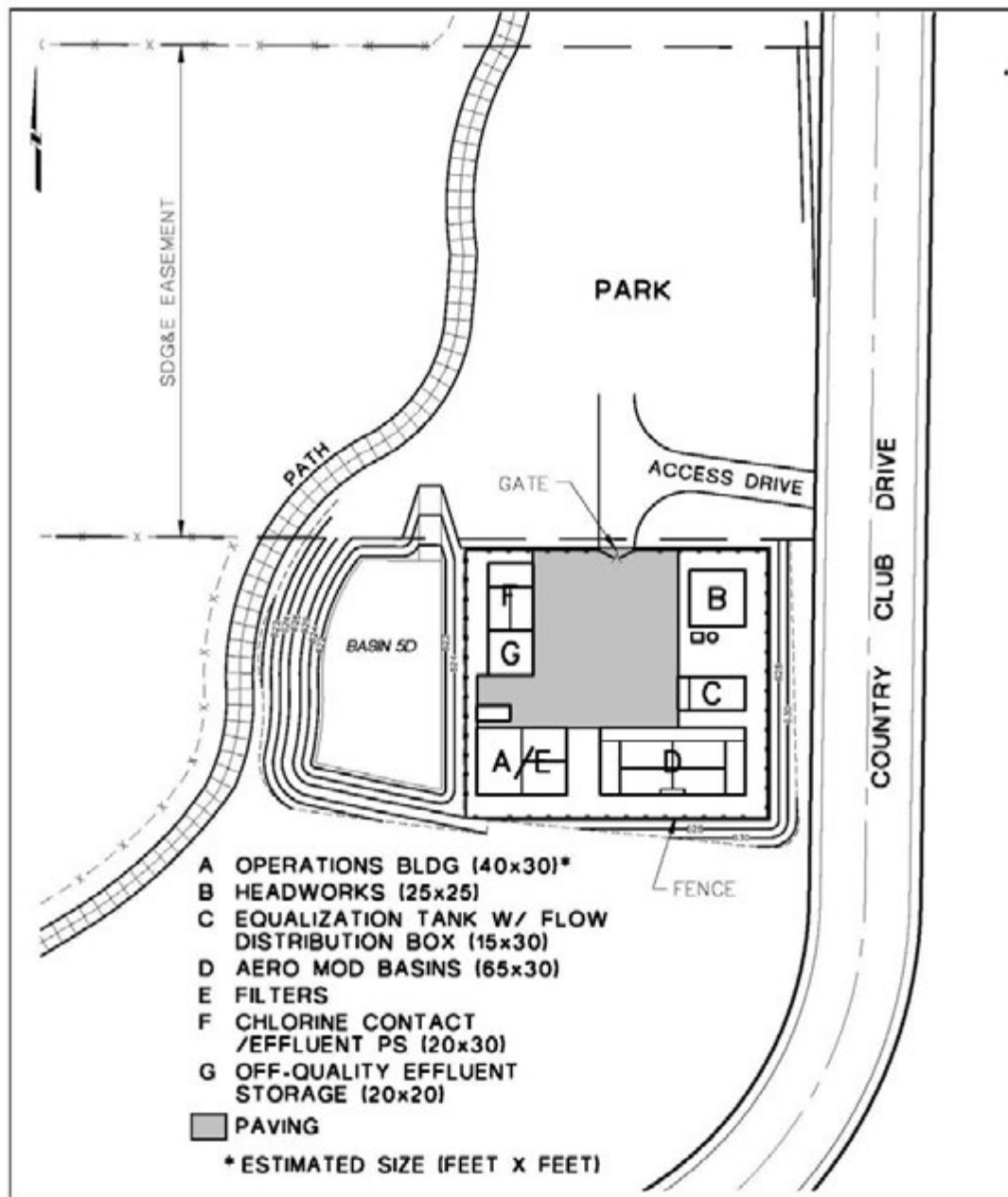
The County as part of the HGWRP design has developed specific design criteria and standards for an “Aero-Mod” WTWRF, a plant process design that is currently being used in the Rancho Santa Fe Community Facilities District. “Aero-Mod” is a company based in Kansas that offers a packaged wastewater treatment plant approach based on the extensive use of “common-wall” construction between basins, performing a version of the extended aeration wastewater treatment process. Extended aeration is an approach to the activated sludge process that relies upon treating the wastewater for an extended period of time (approximately 24-hours on average). Based on the loading and design criteria used in the HGWRP plant design, a smaller version could be constructed to serve the Valiano development. This treatment approach has already gained County approval in the case of the HGWRP. **Figure 6-4** includes a preliminary site lay-out of all required components of an Aero-Mod plant, within the dedicated Plant site of approximately 0.4 acres. A summary of major plant components include:

- **Headworks** providing fine screening of the influent wastewater.
- **Equalization basin** to balance out variations in flow by storing a portion of the peak flows received for treatment in the plant during low-flow periods.
- **Aeration basins and anoxic basins** performing the activated sludge process along with biological nitrogen removal.
- **Clarifier basins** to settle most of the solids out of the wastewater to yield a clarified flow that goes to filters for further turbidity removal.

In addition to these design features the following measures will be incorporated into the WTWRF design to control odor release:

- The facilities would be covered to avoid uncontrolled odor release.
- Active odor control units would be located to manage gases from the wet and solids stream treatment processes.
- All processes and equipment would be housed (or otherwise contained) and ventilation controlled such that no objectionable odors would be discernible at the Project site boundaries.

- A misting system with odor neutralizing liquids to break down the foul smelling chemical compounds in the biogases would be installed.
- Bio filters would be utilized to capture odor causing compounds in a media bed where they are oxidized by naturally occurring micro-organisms.
- Wastewater operators would routinely check the digester pressure relief valves to make sure they are not venting to the outdoors and that the waste gas burner is performing optimally.



0 30 60 FEET

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**ATKINS**

COUNTY WTRF  
 Figure 3

Valiano Sewer Study  
 October 2015

Source: Atkins

Valiano Specific Plan  
 County of San Diego

**Figure 6-4**  
 Proposed WTRF Layout

- **Filters** for further removal of turbidity to produce reclaimed water meeting Title 22 standards for effluent clarity. “Tetra” filters, similar to those found in a drinking water treatment plant would be used at the Valiano WRP.
- **Chlorine contact basins** for disinfection of the reclaimed water by chlorine solution.
- **Residual solids processing.** The Aero-Mod process typically includes digester basins for further reduction of the settled solids produced by the treatment process. The current design includes handling all solids on site, however, at a plant as small as the Valiano WTWRF it may be more efficient to thicken the solids and transfer them to the HG WRP for further processing, based on the County’s determination of any available processing capacity.
- An **operations/laboratory building** providing space for employees to store their personal items, restrooms and showers for employees, some desk space and a small laboratory for use in operational control of the plant, although given the proximity to the HG WRP, the requirements for this building may be minimal.

The architectural design for the WTWRF would be consistent with the rest of the Proposed Project (a small-scale compound reflecting a rural ranch style). The WTWRF buildings, including the control room, would be one-story and no higher than 20 feet. Specific design measures will be required as conditions of the Wastewater Treatment and Water Reclamation Facility (WTWRF) Major Use Permit approval to ensure that park users will not be affected by odors caused by WTWRF operations. Parking for the WTWRF shall not be shared with the public park parking. Under the three off-site sewer options, the on-site housing development would remain the same with the proposed five neighborhoods containing 326 residential units. The onsite Water Treatment and Water Reclamation Facility (WTWRF), approximately 0.4 acre in size, would not be constructed and the site would be used as part of the proposed equestrian staging area similar to the previous use. The pump station facilities may also be constructed on the WTWRF site; however, the pump station would occupy a smaller footprint. The wet weather storage area, approximately 1.6 acres in size, located in the northern portion of Neighborhood 5, would not be constructed under the connection to VWD facilities off-site sewer option. This area would remain undeveloped and placed in an HOA landscape easement. The other two off-site options would utilize the proposed wet weather storage area for water storage.

### **6.4.2 Expanded Harmony Grove Water Reclamation Plant (HGWRP) and Service Option**

This section describes the merits of potentially expanding capacity of the County's Harmony Grove sewer service area to include the project. Recognizing that is practically impossible to physically expand the HGWRP and influent sewer lift station since they are in construction, there may be opportunities in the future, should average sewer generation rates and assumed wastewater loading be lower than anticipated, that minor modification could be undertaken by the County to re-evaluate treatment process components and re-rate these hydraulically and/or loading wise through an amended permit with the Regional Board for the the HGWRP.

#### **Conveyance to HGWRP**

This option assumes the on-site sewer collection system would be constructed and maintained by the County, but instead of treating the wastewater at a new on-site WTWRF, the sewage will be pumped directly to the headworks of the HGWRP, currently under construction. This alternative is depicted in **Figure 6-5**. Approximately 4,500 linear feet of 6-inch force main will be required to convey the sewage to the HGWRP. The force main would be located in existing or proposed County streets, namely Country Club Lane. The Harmony Grove Village development is constructing improvements to Country Club Lane, including sections within Valiano. A new sewer lift station would be located at the on-site WTWRF site, referenced as Lift Station 4 and would be operated and maintained by the County. The lift station will have back-up emergency generator for power failures, have site security, and SCADA system.

#### **Modification to HGWRP**

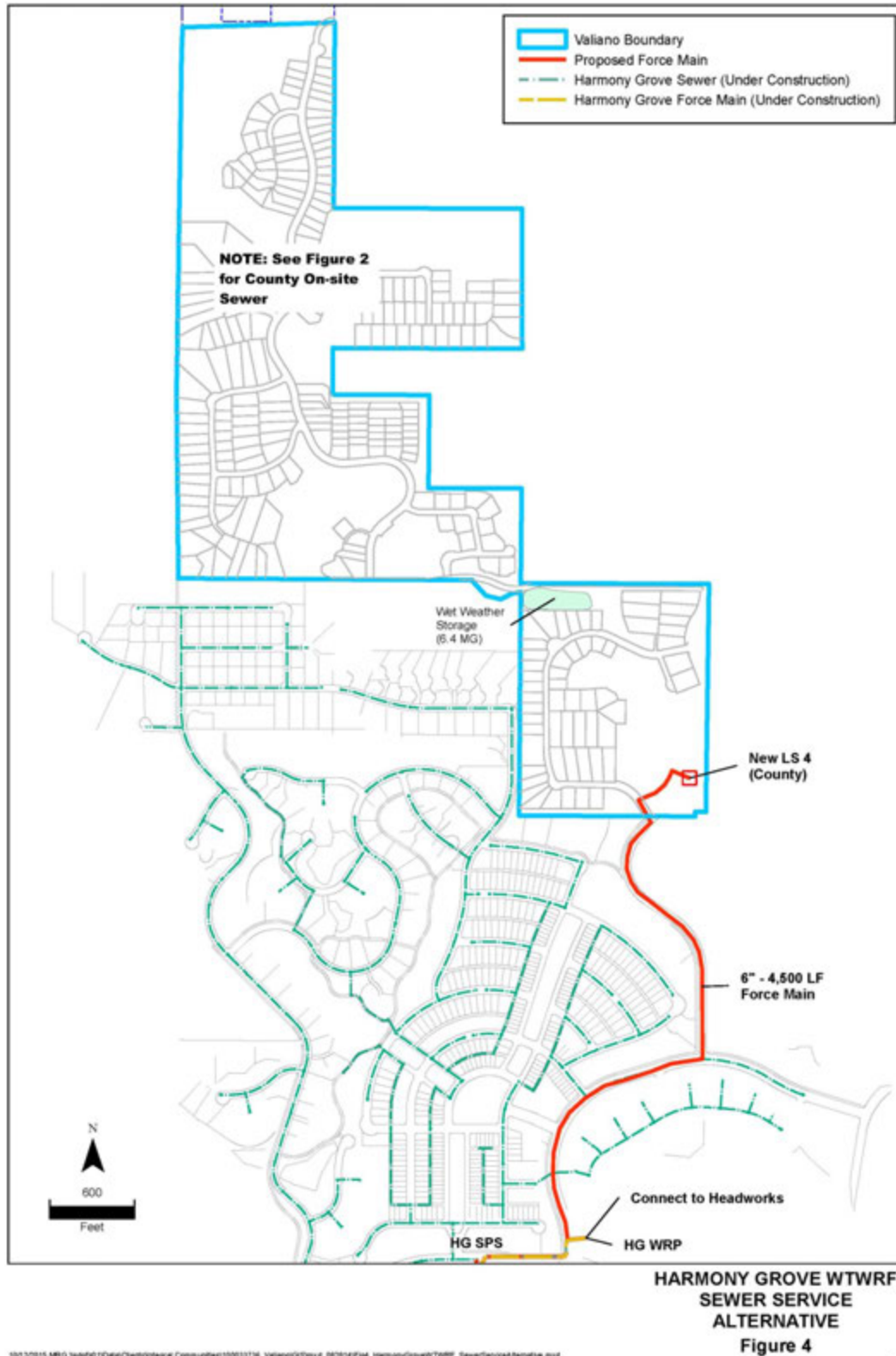
The HGWRP is currently under construction as a 180,000 gallon per day (gpd) "Aero-Mod" wastewater treatment and water reclamation plant (WRP) that will be owned and operated by the County and only serve the Harmony Grove Village wastewater flows. The best opportunity for sewer service to HGWRP would depend largely on the County experiencing lower flows and reduce wastewater loading during the operation of the Aero-Mod plant, and would re-evaluate the process criteria and capacity to allow more flow to be accepted. In the future, the County, as owners and operators of the plant, could therefore re-analyze increasing connections to the plant. A summary of the possible conditions or changes which may allow more sewer connections include:

- Average sewer flows are 20-30 percent lower than the design flow of 215 gpd/EDU.



- Reduced peaking on the sewer system that allow for more equalization capacity.
- Reduced sewer loading due to lower people per dwelling unit.
- Revisions to plant redundancy criteria to allow use of dedicated standby treatment trains.

This sewer option must be evaluated under the assumption that physically the plant cannot be re-designed at this time and would require changes in assumptions and design criteria once the plant is operating to determine if any opportunity exists to connect to the HGWRP. It should be noted that the on-site wet-weather storage site would be available under this option to meet any increase flows and re-rating at the HGWRP.



Source: Atkins

Valiano Specific Plan  
County of San Diego

**Figure 6-5**  
Expanded HGWRP and Service Option

### **6.4.3 Out of Service Agreement (Escondido/County)**

The City of Escondido owns and operates a wastewater collection, treatment, and disposal system, including the Hale Avenue Resource Recovery Facility (HARRF), a wastewater treatment and recycling plant located approximately 4,200 feet from the Plan area, and currently has excess average dry weather wastewater capacity that can be made available for the project with the recent trends in lower sewer generation rates. Furthermore, Escondido provides sewer service to the Rancho Bernardo area of the City of San Diego, through an out-of service agreement for treatment and disposal. San Diego's sewer flows are reported to be well below agreement capacity.

The Escondido sewer option would include a similar arrangement between the County of San Diego and Escondido for the treatment and disposal of approximately 72,000 gpd. HARRF currently operates on average of about 13 million gallons per day (mgd); Valiano would represent less than 0.6 percent of the total flow. Escondido does experience a peak wet weather capacity constraint on the Escondido land outfall system, which would need to be mitigated. The peak events occur for a very short duration during the rainy season. In consideration for the project's impacts on the Escondido peak wet weather Plant capacity and its land outfall disposal system, the project would provide the wet weather storage facility site for the temporary storage of Title 22 recycled water during peak wet weather storm events. The Escondido sewer option would therefore be based on the following:

- County will own and maintain the on-site gravity system within Valiano.
- A new LS 12 would be constructed at the Valiano WTWRF site and would require approximately 2,700 LF of 12-inch sewer main in Country Club Drive between the abandoned and the new LS 12.
- The Valiano flow plus the Escondido flow (existing connections within the sub-basin for existing LS 12) would be conveyed approximately 1,600 linear feet in an 8-inch force main to the existing gravity main in Kauna Loa Drive.
- The 72,000 gpd of sewage from Valiano would be treated at HARRF.
- Escondido would own the wet weather storage facility at the Valiano site and approximately 950 LF of 12-inch sewer to the gravity main in Country Club Drive.

- Escondido would own the new LS 12, gravity main between the abandoned LS12 and new LS 12 upstream from the abandoned LS 12, the new 8-inch force main, and gravity main between the wet weather storage and the main in Country Club Drive.
- This lift station would be a duplex submersible type with wet well level control, emergency generator, security fencing, flow meter, and SCADA. This system is depicted in **Figure 6-6**.

#### **6.4.4 Sewer Capacity Agreement (Escondido via San Diego and the County)**

This scenario is similar to the alternative described in Section 6.4.3, except that the sewer treatment capacity required at Escondido's HAARF facility would be acquired through the City of San Diego by the County of San Diego. The City of San Diego has the treatment and disposal rights to 5.0 MGD of sewer capacity at HAARF to provide sewer service to the north Rancho Bernardo community through an existing sewer agreement. In addition, the City of San Diego has the first rights to an additional 0.3 mgd of treatment capacity at HAARF, if they choose to purchase. The Rancho Bernardo community is essentially a build-out and existing sewer flows to Escondido are reported to be approximately half of the actual agreement flows on an annual basis. In summary, the City of San Diego has excess sewer capacity at HAARF that could be made available to the County of San Diego. The City of San Diego has a similar arrangement with the City of Poway to convey sewer flows to Escondido.

There are two potential scenarios based on the current sewer agreement between San Diego and Escondido:

- County to acquire 72,000 gpd from San Diego via a transportation agreement for treatment and disposal at HAARF. No change would be made in San Diego's agreement with Escondido.
- San Diego would relinquish first rights on its 0.30 mgd excess capacity back to Escondido, who would then sale this capacity to the County. This would likey require a modification to the San Diego agreement with Escondido.

Under this scenario all infrastructure projects described in Section 6.4.3 would remain the same to convey Valiano flows to HARRF.

#### **6.4.5 Annexation to VWD**

Under this scenario, the on-site sewer system is assumed to be owned and operated by VWD. The on-site gravity system will be modified slightly as shown on **Figure 6-7**. In lieu of the Valiano WTWRF, a new VWD lift station (LS 4) will be required to convey a large portion of the project sewer flows north to LS 1

which will convey the flows to the existing VWD gravity sewer as shown in **Figure 6-8**. Note that LS 2 will also have a different discharge point. The private lift station LS 3 will remain unchanged from previous alternatives. LS 1 will be a much larger lift station than in the previous alternatives because it will convey all project flows through approximately 3,400 linear feet of 6-inch force main to the existing VWD 8-inch gravity main located in the La Moree Mobile Home Estates. It is assumed that the three larger lift stations (LS 1, LS 2, and LS 4) will be owned and operated by Vallecitos WD. LS 1 and LS 2 are assumed to be a duplex submersible type with wet well level control, emergency generator, security fencing, flow meter, and SCADA. LS 3 will be package pump station with security fencing, flow meter, and an automatic transfer switch for a portable generator. LS 4 will be a progressive cavity pump lift station due to the high head. The lift station will also have an upstream grinder, emergency generator, security fencing, flow meter, and Supervisory Control and Data Acquisition (SCADA) system.

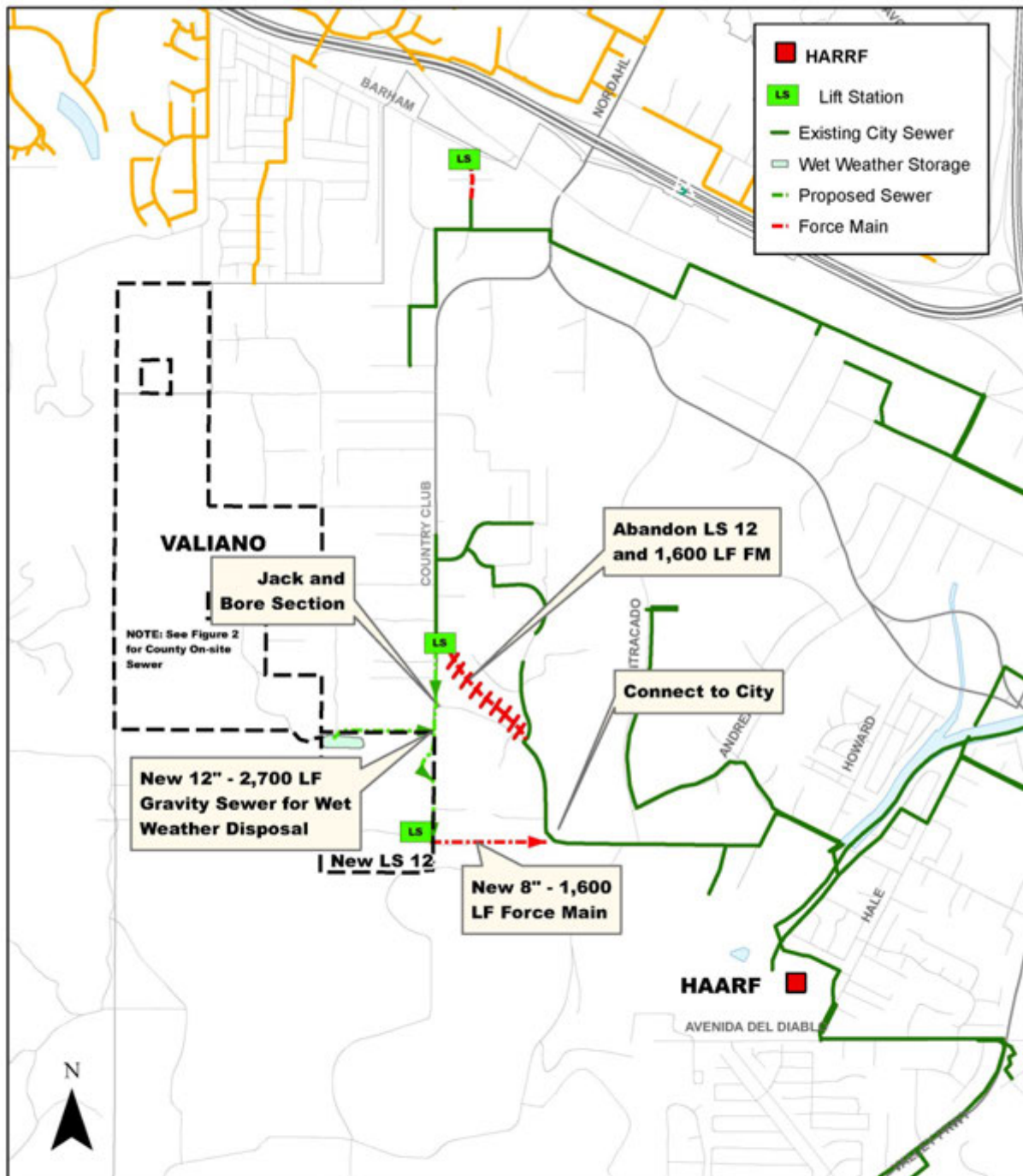
Based on a preliminary review of VWD's Water, Wastewater and Recycled Water Master Plan, this sewer option will potentially require upgrades to the VWD sewer system as follows:

- Approximately 3,200 linear feet of pipeline through the mobile home park and on Barham Drive (from 8-inch to 12-inch).
- Approximately 500 linear feet of pipeline under SR-78 from Barham Drive to Rancheros Drive (from 8-inch to 12-inch).

Additional offsite facilities were reviewed that may require upgrading have been identified in the VWD Masterplan and may be required as a condition of development by VWD or contribution through annexation and connection fees. The VWD Water, Wastewater, and Recycled Water Master Plan Final Program EIR includes the following capital improvement projects:

- SP2 – replace 3,200 linear feet of 21-inch sewer with 39-inch sewer.
- SP-11 – replace 1,400 linear feet of 21-inch sewer with 36-inch, and install 800 linear feet of 8-inch sewer.
- SP-12 – replace 2,000 linear feet of 21-inch sewer with 36-inch.
- Possible improvements to the Land Outfall.

As part of the annexation process, VWD would review the project and sphere of influence areas to determine the potential impacts.



NOTE: On-site sewer system to be owned and operated by the County

ESCONDIDO SEWER SERVICE ALTERNATIVE  
Figure 5

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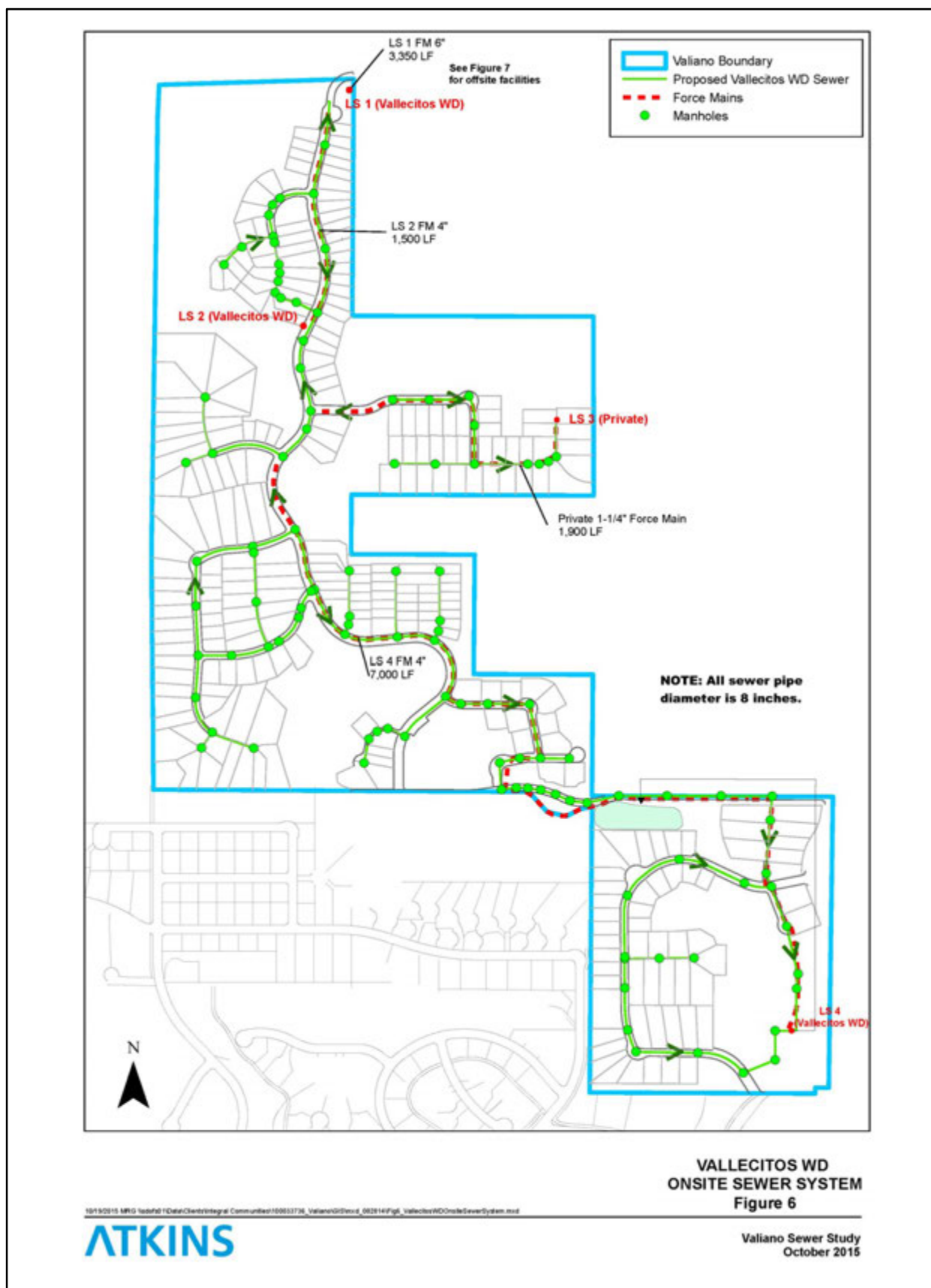
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Source: Fuscoe Engineering

Valiano Specific Plan  
County of San Diego

**Figure 6-6**  
Escondido Sewer Plan

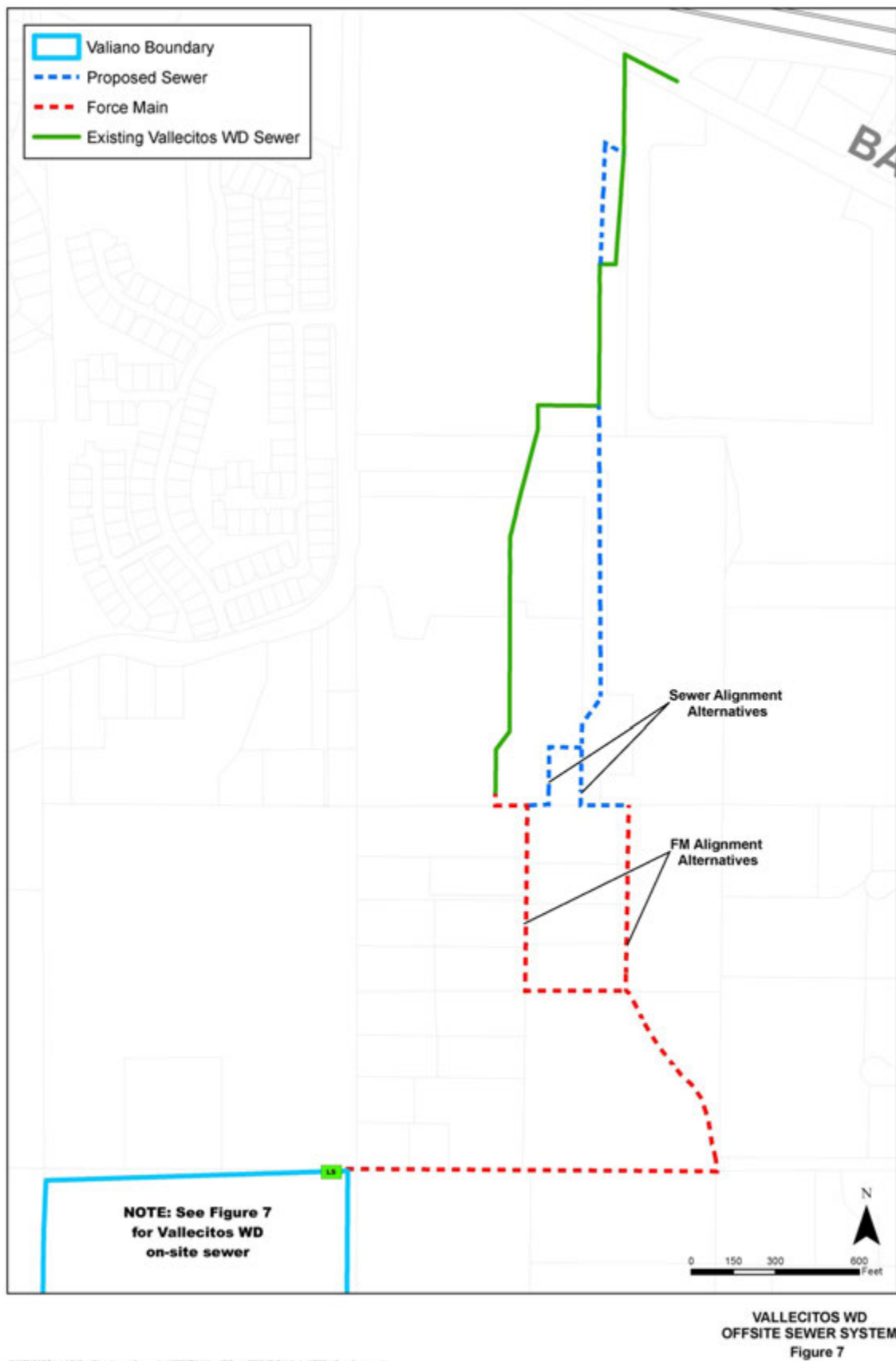


Source: Atkins

Valiano Specific Plan  
 County of San Diego

**Figure 6-7**  
 VWD Option – Onsite System





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Source: Fuscoe Engineering

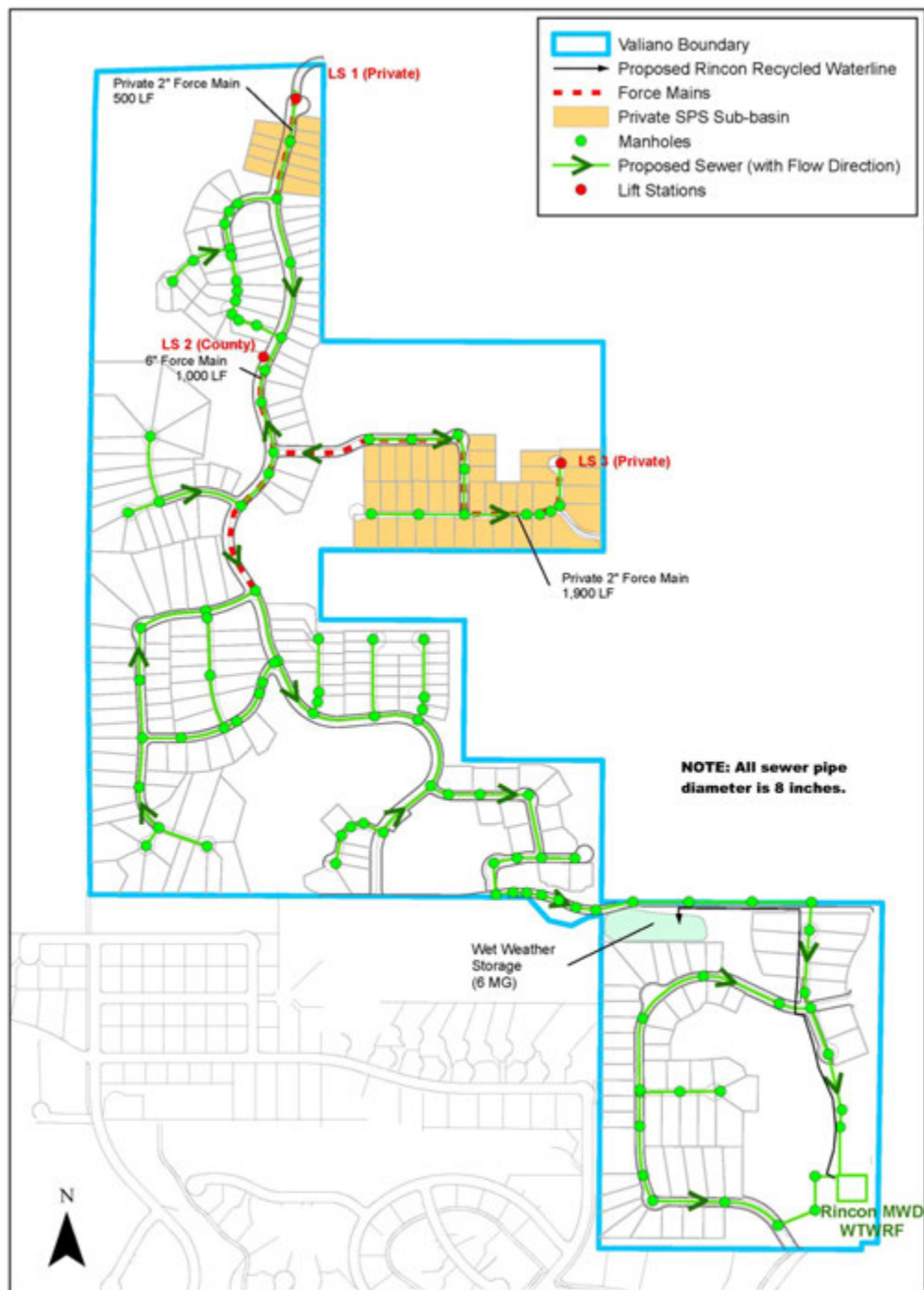
Valiano Specific Plan  
County of San Diego

**Figure 6-8**  
VWD Offsite Sewer System

#### **6.4.6 Activation of Rincon MWD Latent Powers**

The Plan area is located within Rincon MWD sphere of influence for water and recycled water service. Although Rincon MWD does not currently provide sewer service in the project area, there have been previous discussions on sewer service. Moreover, Rincon MWD does maintain latent powers to provide sewer service, and could potentially provide sewer service to unincorporated areas within Rincon MWD. Activation of sewer latent powers would require considerable study and eventual action by the Board of Directors of Rincon MWD and also require a Municipal Service Review by LAFCO.

Under this option, the previously proposed County on-site sewer collection system and the proposed WTWRF would instead be owned and operated by Rincon MWD and is depicted in **Figure 6-9**. One treatment recommendation for this sewer option would be for Rincon MWD to consider the construction of a membrane bio-reactor (MBR) wastewater treatment plant, which could be constructed at a lower capital cost produce high quality recycled water, and fit better on the small treatment plant site. One of the advantages of the MBR system would be to design the site for additional expansions should additional areas be served sewer by Rincon MWD, especially areas of potentially failing septic tanks. The Title 22 recycled water produced by the Valiano WTWRF (MBR) will have to be fully disposed of on-site through dedicated landscape irrigation and will also require the wet weather storage site.



RINCON DEL DIABLO MWD  
SEWER SERVICE ALTERNATIVE  
Figure 9

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Valiano Sewer Study  
October 2015

Source: Atkins

Valiano Specific Plan  
County of San Diego

Figure 6-9  
Rincon MWD Option

## **6.5 STORMWATER MANAGEMENT**

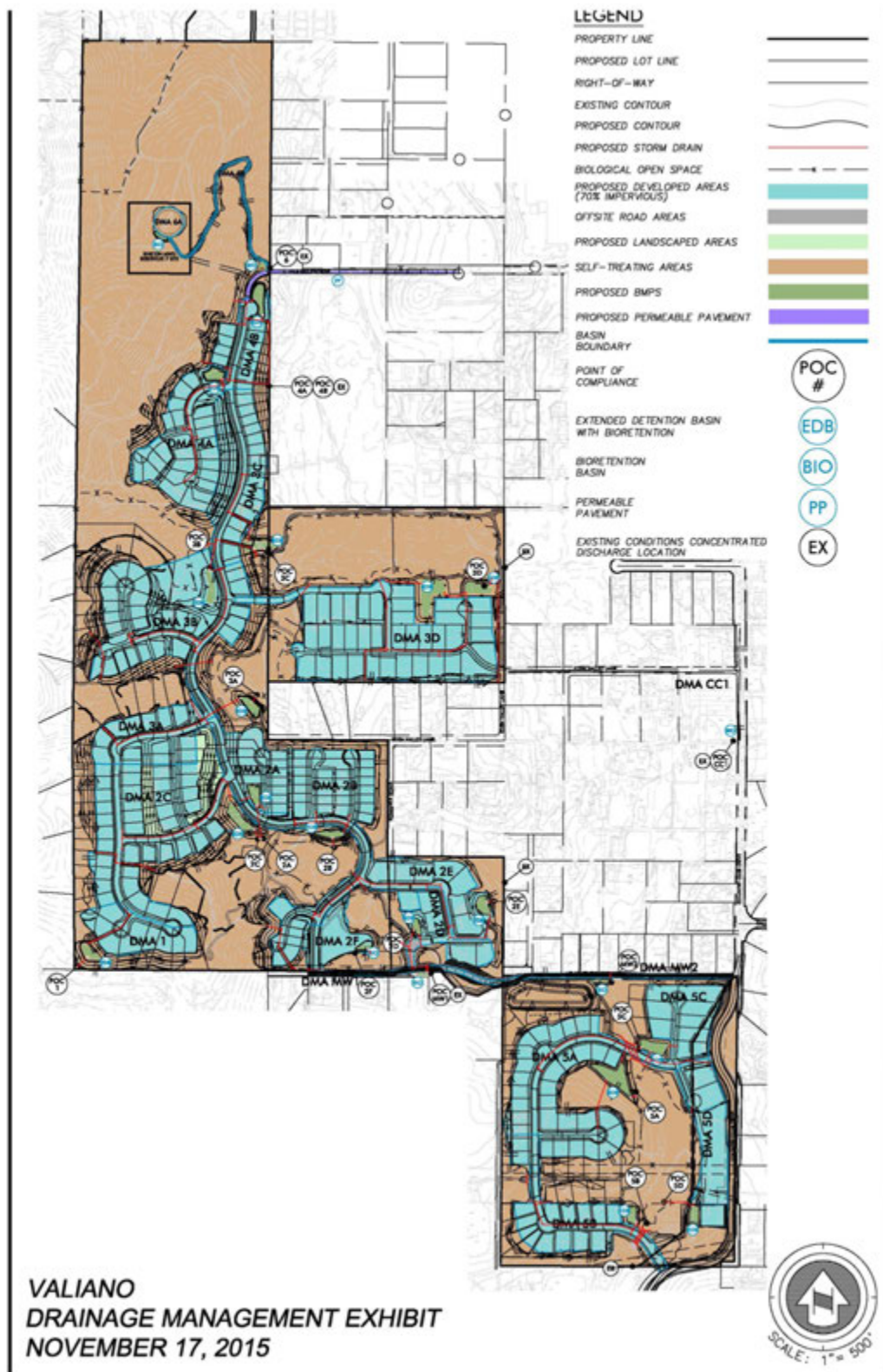
Due to the hillside nature of the site, runoff from the project site splits into several major drainage basins. The drainage report for the Valiano Specific Plan identifies four major drainages (A through D) that are further divided into Drainage Management Area (DMAs). The drainage management strategy for the project uses multifunction Integrated Management Practice (IMP) to provide water quality treatment, hydromodification mitigation and peak detention for the developed portions of the site.

**Figure 6-10** depicts the DMA and management strategies.

Extended detention basins are the primary form of stormwater management for the Plan area because of their small footprint and their ability to function for peak storm detention. Depending on the space available and the detention requirements, the detention basins will have enough depth to meet the County regulations.

Maintenance of the proposed IMP (per the San Diego County 2<sup>nd</sup> maintenance category), including the extended detention basins and the bioretention basins will be by the Valiano Homeowner's Association (HOA). Until the formation of the HOA, the Eden Hills Project Owner, LLC or the current owner of the property will be responsible for the maintenance. A maintenance agreement shall be recorded with the County of San Diego, clarifying maintenance roles and responsibilities. Maintenance for the extended detention basins requires regular landscape maintenance with monthly inspections during the rainy season to remove sediment, trash and debris and ensure that orifices, overflow inlets and storm drain pipes remain clear of obstructions. Maintenance for the bioretention basins is regular landscape maintenance with semiannual inspections.

Vegetation within the bioretention basins should be left to a minimum six inches height to facilitate pollutant filtrations and removal within the area. Water within the bioretention basins should not be allowed to pond (should drain completely within 72 hours). If ponding is occurring, minor re-grading of the basin may be required. Additionally, soils in the basin may need to be replaced as needed.



Source: Fuscoe Engineering

Valiano Specific Plan  
County of San Diego

**Figure 6-10**  
Drainage Management

## **6.6 DRY UTILITIES**

### **6.6.1 Electricity**

There are existing San Diego Gas & Electric (SDG&E) overhead 12 KV distribution lines within the Plan area. This system will be converted to underground, removed or rearranged to prepare the Plan area for development. There is also an SDG&E transmission easement along the southern portion of the Plan area. Within this easement there are two 230 KV transmission lines, one 138 KV transmission line, one 69 KV transmission line, and one 12 KV distribution circuit. No development is proposed within the easement area and permanent drivable access to these SDGE facilities will be maintained.

SDG&E will provide the electrical distribution system necessary to serve the Plan area. Currently SDG&E facilities are located underground to service the project, the routing of new underground systems within the site to locations requested on each lot.

The developers will be required to hire a contractor to provide all trenching, backfill, substructures, conduits and transformer pads necessary for the work. This may include extra facilities deemed necessary by SDG&E for system reliability. SDG&E will install the necessary cables, connectors, and pad mounted equipment as required. All overhead and underground lines in conflict with improvements will need to be converted to underground, removed or rearranged as required. Facilities may also be available from the future Harmony Grove Village site depending on scheduling of project commencement.

Renewable energy would supply 100 percent of residential electricity needs per planning area (Neighborhoods 1-5), which may include but not be limited to, rooftop solar or mandatory continued enrollment in SDG&E's SunRate, or equivalent, renewables program.

### **6.6.2 Gas**

SDG&E maintains a gas distribution system within La Moree Road. The gas lines will be extended through the project site in the same joint trench alignment as the electric, cable and telephone facilities. Facilities may also be available from the future Harmony Grove Village site.

## **7.0 PUBLIC FACILITY AND FINANCING PLAN**

### **7.1 OVERVIEW**

This section of the Valiano Specific Plan provides the general framework for the financing and phasing of public improvements in the Plan area including: the proposed mechanisms for financing the cost of construction together with the operation and maintenance of those facilities; and the phasing of construction.

### **7.2 FINANCING OF PUBLIC IMPROVEMENTS**

Development of the Valiano Specific Plan Area requires the provision of adequate public facilities and services. The following summary identifies on and offsite services required to be available at the time of need as well as description of financing options for their implementation.

#### **7.2.1 Circulation Improvements**

Internal streets within the Valiano Specific Plan Area are private and will be financed and maintained by the developer/HOA. Public road improvements and mitigation measures for traffic impacts are identified in the Valiano Traffic Impact Analysis. Community improvements include the following:

- Country Club Drive.
- Mount Whitney Road.
- Eden Valley Lane.
- Hill Valley Drive.

Road improvements to the offsite streets identified above will be financed and constructed by the developer as well as participating in the County of San Diego Traffic Impact Fee (TIF) program.

#### **7.2.2 Fire, Paramedic, and law Enforcement Services and Facilities**

**Fire and Paramedic Services and Facilities** - The Valiano Specific Plan is within the San Marcos Fire Protection District, served by the San Marcos Fire Department (SMFD) which will provide service for the Plan area. In addition, SMFD has established several mutual and automatic aid agreements with surrounding fire departments, such as the City of Escondido, County of San Diego, and Rancho Santa Fe Fire Protection Districts.



**Law Enforcement Services and Facilities** - Police protection services for the Valiano Specific Plan area will be provided through the San Diego County Sheriff's Department, under contract with the City of San Marcos. Specifically, the project will be served by the existing San Marcos Station located at 182 Santar Place. Valiano's contribution to the City of San Marcos for police and fire services, Valiano will pay their fair share contribution to the City of San Marcos Community Facility District (CFD) 98-01.

### **7.2.3 Schools**

School services shall be provided by the Escondido Union School District for K-8 education and the Escondido Union High School District for grades 9-12. The school fees shall be paid with one of 2 options. Option 1; School fees would be paid through the County of San Diego standard process at time of building permit. Option 2; The creation of a Community Facility District (CFD) where school fees would be assessed annually through property tax assessments for each of the future residents.

### **7.2.4 Recreational Facilities, Parks, and Open Space**

The public park shall be constructed by the developer and shall be owned and maintained by the County of San Diego Department of Parks and Recreation. All public multi-use trails within the Valiano Specific Plan area will be constructed by the developer.

There are three categories of open space within the Valiano Specific Plan Area: Non-biological open space including common area slopes and water quality features, agricultural open space, and biological open space, all of which will be financed by the developer. Maintenance responsibilities of recreational facilities, parks and open space will be described in section 7.4 below.

### **7.2.5 Financing Options**

Financing of the public improvements requires utilization of appropriate public facilities financing mechanisms to secure their acquisition, construction, and maintenance. No properties outside the Specific Plan Area shall be included in any Valiano financing options.

## **7.3 PHASING**

The Plan area is comprised of five neighborhood components. The development timing of each neighborhood will be determined by market conditions. Within each neighborhood, construction of the Valiano Specific Plan would meet the following objectives:

- Provide for the order buildout of the community based upon market and economic conditions;

- Provide adequate public infrastructure and facilities concurrent with construction of each phase; and
- Protect the interests of public health, safety and welfare.

Project construction is broken down into five main construction sequential phases. The first phase focuses on Neighborhood 5. Included within the first phase is the grading, infrastructure, and construction of the Sewer treatment plant, wet weather storage, Public Neighborhood Park and Staging Area, Equestrian Staging Area and Round Pen (Phase 1 or 2) and Multi-use Trail. The second phase consists of Neighborhood 1 and the Private Recreation Facility and Private Central Oak Park (Phase 2 or 3). The third phase consists of the grading, infrastructure and construction of Neighborhood 2. The fourth phase consists of the grading, related infrastructure, and construction of Neighborhood 3, including the Trail Head Park. The final fifth phase will include the grading, infrastructure and construction of Neighborhood 4 and will include the construction of the North Trail Turnaround.

### **7.4 OPERATION AND MAINTENANCE OF PUBLIC IMPROVEMENTS AND PRIVATE FACILITIES**

Maintenance responsibilities for the Valiano Specific Plan shall be as follows:

- The public park shall be owned and maintained by the County of San Diego Department of Parks and Recreation, financed by a CFD or similar mechanism established for the project.
- Maintenance of the Valiano private parks system shall be the responsibility of the Valiano HOA.
- Maintenance of the public multi-use trails on site shall be the responsibility of the County Department of Parks and Recreation, financed by a CFD or similar mechanism.
- Maintenance and financing of the private trails shall be the responsibility of the Valiano HOA.
- Maintenance of the dedicated agricultural and biological open space shall be the responsibility of the Valiano HOA.
- Maintenance of landscaping for any brush management areas within the usable areas of individual lots will be the responsibility of the homeowner.
- Maintenance of brush management and landscaped slope areas within landscape easements (outside homeowners' fences) will be the responsibility of the HOA.

## *7.0 Public Facility Financing/ Phasing Plan*

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- Private streets, landscaped parkways, entry monuments and gates, and common area slopes shall be maintained by the HOA or an assessment mechanism such as a Landscape Maintenance District (LMD).
- The WTWRF is anticipated to be owned and operated by the County of San Diego.
- The private road system within the community boundaries shall be maintained by the property owners in the community through the HOA or assessment mechanisms such as an LMD. Private roads that are already within a Permanent Road Division will remain so.

## **8.0 IMPLEMENTATION**

### **8.1 OVERVIEW**

This section of the Valiano Specific Plan (the “Plan”) describes the mechanisms for implementing the Plan and is to be consulted whenever there is a question concerning the Plan implementation in relation to the subsequent actions that may be proposed within the Plan area boundaries. As the County of San Diego is the public agency responsible for the administration of the Valiano Specific Plan, the tools and procedures described in this section are to be implemented consistent with all County rules, regulations and policies, except where different procedures are described herein, in which case the County has exercised its authority under Government Code 65451 (a)(4) and Government Code 65452 to create different Specific Plan procedures.

### **8.2 PROJECT REVIEW PROCEDURES AND FUTURE ENTITLEMENTS**

This section describes the review and entitlement procedures for development within the Plan area.

#### **Specific Plan Authority**

The Valiano Specific Plan is to be adopted by Resolution of the County of San Diego Board of Supervisors and used as the basis for the review of all subsequent discretionary entitlements in the Valiano Specific Plan area. As the regulatory document, the Plan establishes the land use and associated development, design and infrastructure standards that must be met to successfully implement the project.

Through the inclusion of development, design and infrastructure standards and incorporation by reference of the applicable Zoning Ordinance provisions, the Plan creates zoning standards specifically applicable to the Plan area. All design documents and development activities within the Valiano Specific Plan area are required to be consistent with this Plan. In the instances where the requirements of this Plan conflict with the Zoning Ordinance or Subdivision Ordinance, the Valiano Specific Plan shall be the controlling document. Conversely, if the Plan is silent on an issue, regulations within the existing Zoning Ordinance, or other adopted County standards shall prevail.

#### **Administration**

The County of San Diego Department of Planning & Development Services is the public agency responsible for the administration, implementation and enforcement of the Valiano Specific Plan. The Homeowner’s Association established in the Plan area is responsible for enforcing private property and

open space easement and agricultural easement maintenance requirements pursuant to the standards identified in the Plan and any separately created Covenants, Conditions and Restrictions (CC&Rs).

### 8.3 PROJECT PROCESSING

As described in more detail below, concurrent with this Plan, the San Diego County Board of Supervisors is to approve a General Plan Amendment, a Rezone, a Vesting Tentative Map, a Major Use Permit, and a Vesting Site Plan. Examples of subsequent approvals include another Site Plan (“V” Setback Designator and “D” Special Area Designator) when residential architecture is selected, a Final Map or Final Maps, Grading Plans, Improvement Plans, a Park Plan and Building Permits. Any additional development proposed within the Plan area would be subject to review and may require subsequent discretionary permits from the County of San Diego. Application, fee and processing requirements shall be in accordance with the County’s regulations, unless modified by this Plan.

The following discretionary actions are being processed concurrently with the Plan:

**General Plan Amendment** – A General Plan Amendment is necessary to change the Land Use Designations from SR-1 and SR-2 to SR-0.5. The Amendment is also to provide consistency with the County of San Diego’s General Plan Policy LU-6.3 Conservation-Oriented Project Design which promotes clustered projects utilizing specific plans. The Valiano Specific Plan was developed to provide more precise guidance for the land development, infrastructure, amenities, and resource conservation with the use types and densities specified by the Land Use Designations and the goals and policies of the General Plan.

**Rezone** – The existing Zoning or Use Regulation is A70, Limited Agricultural. The Rezone is proposed to change the Use Regulation to S88, Specific Plan Area Use Regulation. A portion of the property is proposed to change the Animal Designator “L” to “S”. The Building Type and Height Designators will not change. The Setback Designator is proposed to change from “C” to “V” and will require a subsequent Site Plan to establish the setbacks. The Special Area Regulation will add a “D” and will require a subsequent Site Plan to determine conformance to the Plan.

**Vesting Tentative Map** - The Vesting Tentative Map includes review of proposed land subdivisions and grading. The purpose of the Vesting Tentative Map is to show the design and improvements of the proposed major subdivision and the existing conditions in and adjacent to the project pursuant to the county’s Subdivision Ordinance. Upon compliance with the conditions of the approved Vested Tentative Map, the Final Map shall be recorded, allowing for the creation of individual lots within the Specific Plan Area.

**Major Use Permit** – A wastewater treatment facility is classified by the San Diego County Zoning Ordinance as a Major Impact Service and Utility pursuant to Section 1350 of the Zoning Ordinance and a Major Use Permit is required as a part of this Specific Plan for the wastewater treatment facility site. No revision to the Major Use Permit is required when processing the final engineering of the wastewater facility as long as the facility stays within the identified footprint on the Major Use Permit plot plan.

**Site Plan** – The Site Plan is required to identify the Tentative Map as vesting throughout the subdivision. Information from the Vesting Tentative Map is depicted on the Vesting Site Plan; including the buildable area on each single-family lot based on the minimum front, side, and rear setbacks. The Vesting Site Plan further establishes the maximum height for each single-family planning area. A subsequent Site Plan is also required by the “D” Special Area Regulation to determine conformance to the Plan and by the “V” Setback Designator to establish the setbacks. This subsequent Site Plan is required when architecture is selected for the single-family residences to demonstrate conformance to the design guidelines of the Plan (Chapter 2).

Future permit applications will be reviewed for consistency with all pertinent development standards, design standards, mitigation measures identified during the environmental review process, and other applicable conditions of approval adopted as part of the Plan. Applications will be reviewed by the Department of Planning & Development Services using established procedures, unless modified by this Plan. All subsequent development permits, public improvements and other activities shall be consistent with this Plan. In acting to approve a subsequent permit, to the extent permitted by law, the County may impose conditions as are reasonably necessary to ensure the project is in compliance with the Plan and all applicable plans/regulations. Either the applicant or County staff may initiate an amendment to the Valiano Specific Plan. Amendment procedures are detailed in Section 8.4, below.

The project processing requirements described within this Plan apply to all development proposed within the Plan area. This description addresses only entitlements that the County of San Diego has authority to grant.

Permits from other governmental agencies may be required prior to project implementation and the County assumes no responsibility for the identification of, or the pursuit of these permits on behalf of any applicant. As appropriate, State, federal and other local agency approvals are required prior to any development activity within the Plan area.

### **Environmental Review**

Consistent with CEQA Guidelines 15162(c), each development project requiring a subsequent discretionary approval shall be reviewed to ensure compliance with the California Environmental Quality

Act (CEQA). The Environmental Impact Report (EIR) certified concurrently with the Valiano Specific Plan serves as the base environmental document for all subsequent discretionary entitlements within the Plan area. Discretionary development applications will be reviewed on a project-by-project basis to determine consistency with the certified EIR. Subsequent ministerial approvals are not subjected to CEQA review because they do not involve the exercise of the County's discretionary powers. (CEQA Guidelines 15060(c)(1).)

### **Options for Further CEQA Review of Subsequent Discretionary Approvals**

#### **Supplemental or Subsequent EIR**

No subsequent or supplemental EIR shall be required for future discretionary development projects in the Plan area unless the County of San Diego determines substantial evidence exists that supports findings set forth in CEQA Guidelines Section 15162 or 15163. If the findings of CEQA Guidelines Section 15162 or 15163 are made, a determination will be made by the County of San Diego Department of Planning & Development Services Director as to appropriate subsequent or supplemental environmental document.

#### **EIR Addendum**

Pursuant to CEQA Guidelines Section 15164(a), the County of San Diego shall prepare an addendum to a previously certified EIR if some changes or additions are necessary, but none of the conditions described in CEQA Guideline Section 15162 calling for preparation of a subsequent EIR have occurred.

#### **Exemption**

Separately, California Government Code Section 65457 and CEQA Guidelines Section 15182 specifically state that no EIR or negative declaration is required for any residential project undertaken in conformity with an adopted Specific Plan for which an EIR has been certified where there is substantial evidence that none of the events described in CEQA Guidelines Section 15162 have occurred. The County of San Diego may choose to document the applicability of this residential specific plan exemption through a checklist, initial study, or and EIR Addendum.

A mitigation monitoring and reporting program (MMRP) was also adopted in accordance with CEQA Guidelines Section 15097 to ensure implementation of the EIR mitigation measures. As applicable, future developments within the Specific Plan area is required to implement mitigation measures in the MMRP, unless lawfully modified.



## **8.4 SPECIFIC PLAN MINOR MODIFICATIONS, OTHER REVISIONS AND FORMAL AMENDMENTS**

### **Minor Modifications**

Consistent with its authority under Government Code 65452, the County finds it necessary and desirable to implement the Specific Plan in a manner that accounts for market and other changes that may require minor modifications to the Specific Plan and may be approved as consistent with Specific Plan administratively by either the Planning Director or the Planning Commission. Upon application by the Applicant, which may include maps, text, and/or technical studies describing the nature of the minor modification, the Planning Director is presumed to make most minor modification decisions, but the Applicant can apply to the Planning Commission (or the Planning Director can delegate to the Planning Commission) the administrative decision in accordance with the following criteria which the County Board hereby deems to be consistent with the General Plan and the Valiano Specific Plan:

- **Setbacks** – Refer to Section 2.1.2 for a list of minimum front, side, and rear setbacks. This includes setbacks for the accessory dwelling units and animal keeping structures;
- **Architectural Styles** – Section 2.1.3 shall be used as the guideline for architectural styles and features within the community;
- **Walls and Fencing** – Refer to Section 2.1.5 for guidance of the design and character of walls and fences that occur on residential lots;
- **Fuel Modification** – Refer to section 4.5.4.1 of the Valiano Fire Protection Plan (FPP) for a list of lots that will be required to mitigate for reduced Fuel Modification Zones (FMZ);
- **Landscaping** – Refer to Section 2.2.3 for a representation guideline of the plants suitable for the Valiano community;
- Final facility sizing and alignment of water, sewer and storm drain improvements (with concurrence of County Engineer or County Public Works); Changes in utility and/or infrastructure servicing agency or changes in ownership of facilities from public to private;
- Deletion of utility infrastructure deemed redundant or unnecessary (with concurrence of County Engineer or County Public Works);

- Final alignment, width or grade of local public or private streets within the Specific Plan so long as the number and approximate spacing of connections is in general conformance with the Specific Plan Exhibits;
- Final bike and trail alignments;
- Changes in landscaping materials or location, wall materials, wall locations, entry design, fencing, signage, gates, lighting and streetscape design consistent with the conceptual design of the Specific Plan's Design Guidelines;
- Minor architectural changes (i.e. siding, railings, shutters, etc.);
- Addition or moving of accessory structures (i.e. detached garages, guesthouse, sheds) within the appropriate setbacks;
- Changes to the Design Guidelines that the Planning Director finds is reasonably calculated to provide a superior aesthetic design;
- Changes that do not violate any applicable health and safety regulations;
- Changes that realign or modify lot lines, pad levels, grading line adjustments, or changes in overall or per planning area grading quantities (with concurrence of County Engineer);
- Changes that modify brush management boundaries that County Fire concurs provides a functionally equivalent level of protection as the approved Fire Protection Plan;
- Changes in the size and location of the private parks recreation center or Private Central Oak Park (with concurrence of Director of Parks and Recreation);
- Changes that expand or contract the geographic area of a Neighborhood within the outer boundaries of the Specific Plan;
- Change land uses, including intensity and density changes, height and setback changes, transfers of uses or density (dwelling units) between planning areas, and substitution of uses (so long as the use is one that is allowed somewhere in the Specific Plan);
- Increase or decrease in the total number of units;
- Changes in the sequencing or thresholds for development phasing;

- Changes necessary to comply with final conditions of approval in County-issued permits, regulations and approvals issued by other agencies with jurisdiction over the project;
- Changes caused by amendments to permits from other agencies with jurisdiction over the project that are deemed minor modifications under the other agencies' rules and regulations governing such approvals; and
- Any other minor modifications similar to those listed above and deemed minor by the Planning Director, which are in keeping with the intent of the Specific Plan.

The County finds that the minor modification criteria is necessary and desirable given that the Specific Plan is a conceptual land use plan intended to provide general guidance. The land uses and development yield identified in this Specific Plan have been carefully analyzed in the EIR. A revision to the Plan will not be considered minor if the revision triggers any of the conditions set forth in CEQA Guidelines Section 15162 as determined by the Director of Planning & Development Services.

### **Other Revisions**

If a proposed revision is determined to meet the above listed minor modification criteria then a Revised Tentative Map, a Minor Deviation to the Major Use Permit, a Modification to the Major Use Permit, a Minor Deviation to the Site Plan, or a Modification to the Site Plan can be processed without concurrently processing a formal Amendment to the Specific Plan. The Director of the Department of Planning and Development Services will determine which process is applicable by referencing these procedures in the Subdivision Ordinance or the Zoning Ordinance.

### **Formal Amendments**

This Specific Plan can be amended anytime through a formal discretionary Specific Plan Amendment pursuant to Government Code Section 65453, which is the same manner as the initial Specific Plan adoption, and is required where the Planning Director (or Planning Commission) determines none of the minor modification factors are present. The County shall process all formal Specific Plan Amendments, minor modifications, or other revisions with additional environmental review in accordance with the **"Options for Further CEQA Review of Subsequent Discretionary Approvals"** described above in Section 8.3.